

DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

13.3

COUNCIL REPORT

Date:	November 23, 2021
From:	Lisa Berg, Senior Community Planner
Subject:	Proposed Development Permit Amendments for the Sewell's Development
File:	1610-15-037

RECOMMENDATION

THAT proposed amendments to Development Permit No. 15-037 to allow for external changes to the proposed buildings as described in the report dated November 23, 2021 be considered at the January 24, 2021 Council meeting; and that notice be given of consideration of the proposed Development Permit amendments.

RECOMMENDATION

THAT Council authorise staff to enter into a modification agreement to secure trail improvements and public access through the Sewell's development site.

1.0 Purpose

To present information to Council regarding proposed development permit amendments to the Sewell's Landing development project (**Appendix A**), which include:

- changing from zinc standing seam roofing to painted aluminum roofing in zinc colour; and
- deletion of selected trellises.

Council is requested to schedule consideration of the application.

This report also provides information on proposed changes to the Works and Services Agreement (WSA) regarding securing trail improvement funding and additional public access through the Sewell's site in lieu of the (Wolseley) trail head relocation.

2.0 Legislation/Bylaw/Policy

Local Government Act (LGA)

Amendments to an approved Development Permit may be issued by Council in accordance with section 490 of the LGA.

Zoning Bylaw

The site is zoned CD54 (Sewell's Landing).

3.0 Council Strategic Objective(s)/Official Community Plan

The Official Community Plan (OCP) identifies the site as being within the Sewell's Landing Development Permit Area. Development is subject to the guidelines contained in BF-C10, which promotes:

- the siting and design of mixed commercial and residential development at Sewell's Landing in Horseshoe Bay that reflects a West Coast village expression stepping down from the hillside to the ocean,
- the creation of community connections to the Village of Horseshoe Bay by expanding public access to the waterfront,
- supporting the working waterfront marina, and
- the creation of an attractive public realm.

4.0 Financial Implications

No financial impacts to the District of West Vancouver will result from the proposed development permit amendments or changes to the WSA.

5.0 Background

5.1 Previous Decisions

Council, at its October 24, 2016, regular meeting, approved the Sewell's Landing development project including Development Permit No. 15-037.

5.2 History

Since the project was approved, the applicant obtained the required building permits and commenced construction of the project. At the time of writing this report, the project is nearing completion with occupancy of the buildings is anticipated for late 2021/early 2022.

During construction, the applicant brought forward a number of development permit amendments that were considered by staff. Some of the amendments considered by staff included adjustments to combustible materials with non-combustible materials, minor landscaping changes, siding, exterior cladding changes, guardrail detail adjustments, window changes, and parkade ceiling height to be consistent with the BC Building Code. Other changes require Council approval and are the subject of this report.

6.0 Analysis

6.1 Discussion

Site and Context

Sewell's Landing is located in the northwest corner of Horseshoe Bay Village. The site backs onto the base of the steep wooded terrain of Telegraph Hill. The waterfront is situated to the northeast and Horseshoe Bay Park, the ferry terminal, and Horseshoe Bay Village to the east and southeast. A residential neighbourhood, including detached homes and Libby Lodge, is located to the south and southwest. See Figure 1.



Figure 1: Sewell's Landing (shown outlined) and surrounding context

Proposed DP Amendments

The applicant has proposed two amendments to the approved development permit that are not considered minor changes that could be considered by staff. The proposed changes are described below.

1. Zinc Metal Roof

The applicant proposes to change the zinc standing seam roofing (on all buildings) to painted aluminium standing seam roofing painted in zinc colour.

The applicant made the proposed change to the roofing material during construction, and has advised that while they hoped to use zinc for the project, they moved forward with an alternate material in response to roofing best practices. The applicant indicates that the proposed

aluminum roof material is preferable in a coastal environment as zinc is prone to discolouration including corrosion resulting in a “mottled” appearance over time in a marine environment. The applicant was concerned that the future strata could potentially be burdened with costly roof maintenance, repairs, or replacement.

Given the low slope of the roofs, the limited visibility of the roofs from the ground plane, and that the applicant has chosen a colour that is very similar colour to match zinc, the change will have minimal impact to the surrounding community and be a benefit in the long term to the future strata. See Figure 2 for comparative images between the two materials.

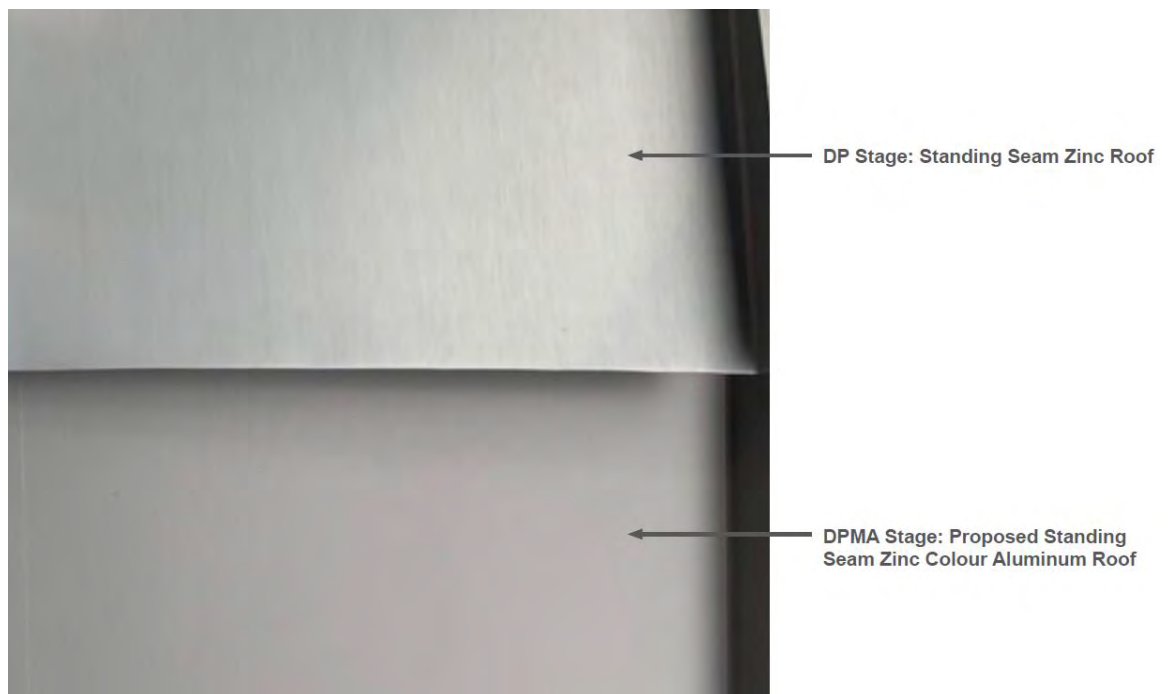


Figure 2: Zinc and Painted Aluminum Roofing

2. Trellis Details

The buildings feature trellis details throughout the various roof lines of each building, adding to the interest, texture, and materiality of the project. Westbank proposes to delete trellises that do not directly contribute to rain protection for patio doors or that provide solar protection.

The deletion of these particular sections of trellis will not negatively impact the overall expression of the project or interfere with building functionality for users. All other trellises will be retained. See Figure 3 and 4 for illustrative diagrams showing the locations of the proposed deleted trellises (shown outlined in red).



Figure 3: Trellises proposed to be deleted



Figure 4: Trellis proposed to be deleted

The proposed amendments are consistent with the development permit guidelines, as the proposed roofing material is of high quality and durability. The buildings will retain their West Coast architectural expression as there are no proposed changes to the massing, roof forms, terracing, and pitched slopes. Trellis details assist with the articulation of the building facades, and the deletion of a limited number of these does not impact the overall expression given their location in areas of the building that are not generally publically visible. Other elements that are maintained and contribute to building articulation include railings, columns, exterior walkways, planters, terraces and decks, and other similar elements.

The applicant has supplied a package of drawings and background materials for the proposed changes, which are attached to the proposed amended Development Permit (**Appendix B**).

Trail Head Relocation

As part of the approval process, the applicant entered into a Works and Services Agreement (WSA) with the District to secure the construction and installation of works and services required by the Servicing Bylaw. The works and services include both on and off-site works including civil works, street lighting, and utilities. As part of the off-site civil works, the applicant agreed to relocate an existing trail head north of the project (roughly where Wolseley Street ends) prior to occupancy.

The subject trail identified in the WSA was informally created by the public connecting Wellington Avenue to the Horseshoe Bay village and park. A majority of the trail crossed off of the Wellington Avenue right-of-way (ROW) and onto private property before entering onto the portion of the Sewell's property that was previously used as a parking lot (see Figure 5).



Figure 5: Subject Trail

The intent was to relocate the trail head at the foot of Wolseley Street and reconstruct the trail in the Wellington Avenue ROW in order to maintain this connection to the village and park. However, after consultation with the applicant and confirmation by Parks staff, reconstructing the trail head at the foot of Wolseley Street was determined to not be feasible. The area is characterized by steep and rugged terrain and relocating the trail to the proposed location could cause slope stability and other issues, including tree removal.

In lieu of the commitment for maintaining trail access to the village and park from the upper residential areas to the west, the applicant proposes to offer the District a cash contribution in the amount of \$40,000 to put toward improvements to an existing trail to the south (see Figure 6).



This trail is approximately 320 metres (5 minute walk) south of the Sewell's site and connects Nelson Avenue to Wellington Place and Wellington Avenue. The funds contributed by the applicant would be put toward improvements including replacement of the wood stairs with stone stairs, drainage works, etc.

Further, the applicant offers an additional public right-of-way (ROW) through the Sewell's site between Buildings 1 and 2 (see **Appendix C**). The proposed ROW would allow for a connection to a potential future entrance to Tye Point. Staff support securing this proposed ROW as it would advance the public interest in the future should Tye Point be acquired for park purposes.

6.2 Sustainability

The proposed development permit amendments will not impact the approved sustainability targets or objectives of the project.

6.3 Public Engagement and Outreach

Notification

Should the application advance, owners and occupants of properties located within 50 metres of the subject site will be notified of the proposed development permit amendments in accordance with Development Procedures Bylaw No. 4940, 2017.

Website

In alignment with current practise, a description of the proposed development permit amendment is available online. Applicable dates will be updated should the application advance.

6.4 Other Communication, Consultation, and Research

Planning staff have considered the proposed development permit amendments in context of the relevant development permit guidelines. The proposed trail improvements and additional secured access through the Sewell's site was considered and supported by District Parks staff.

7.0 Options

7.1 Recommended Option

- a. Set the date for consideration of the development permit amendments and authorize the notification to be sent to neighbours within 50 metres.

7.2 Considered Options

- a. Set an alternate date for consideration of the development permit amendments (to be specified) and authorize the notification to be sent to neighbours within 50 metres; or
- b. Request further information (to be specified); or
- c. Reject the proposal.

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8.0 Conclusion

The proposed development permit amendments are consistent with the development permit guidelines and will not detract from the success of the West Coast architectural expression of the buildings. A future strata could be faced with costly roofing issues given the buildings proximity to the marine environment. The building will be well articulated through the retention of the remaining trellises along with other building details and textures.

Staff support the proposed amendments and recommend that Council schedule the amended development permit for consideration.

The proposed upgrades to the existing trail that connects Wellington Avenue and Wellington Place to Nelson Avenue would enhance public access to the village and Horseshoe Bay Park. Further, the proposed additional public right-of-way through the Sewell's site would secure access to Tye Point should it be acquired for park purposes in the future.

Author:



Lisa Berg, Senior Community Planner

Concurrence



Michelle McGuire, Senior Manager of Current Planning and Urban Design

Concurrence

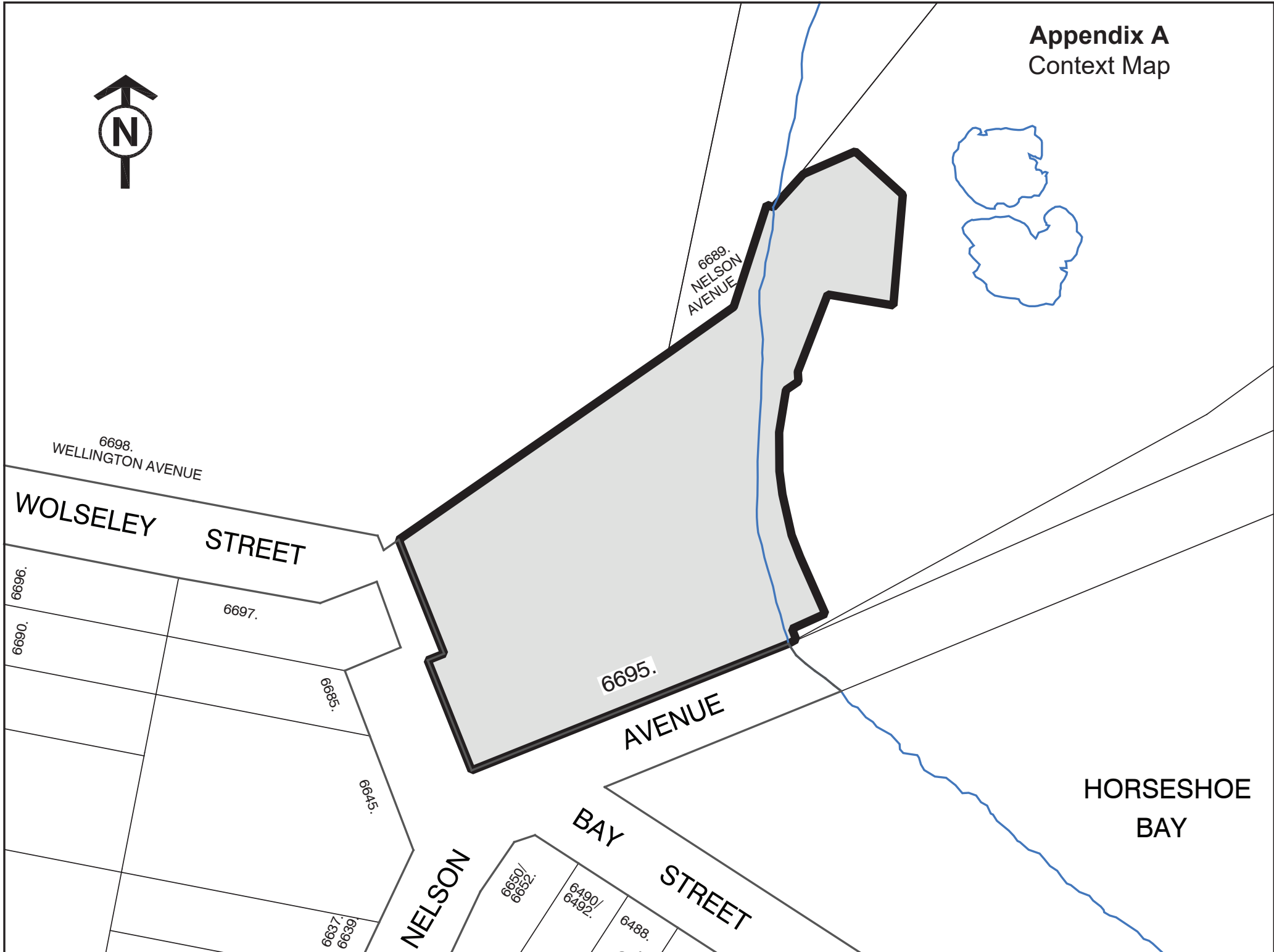


Ian Haras, Manager of Parks Planning and Development

Appendices:

- A. Context Map
- B. Proposed Development Permit 15-037 Amendment (with attached Schedule A)
- C. Proposed Public ROWs

Appendix A
Context Map



6698.
WELLINGTON AVENUE

WOLSELEY STREET

6696.
6690.

6697.

6685.

6645.

6637
6639

NELSON AVENUE

6650/
6652.

6490/
6492.

6488.

BAY STREET

6695.

AVENUE

HORSESHOE BAY

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APPENDIX B

DP 15-037

Amendment

District of West Vancouver

Proposed Amendment

Development Permit No. 15- 037

CURRENT OWNER: HB Nelson Property Inc.

THIS DEVELOPMENT PERMIT APPLIES TO:

CIVIC ADDRESS: 6687, 6693, 6691, 6709, 6699, 6697, and 6707 Nelson Avenue

LEGAL DESCRIPTION: 029-978-009
LOT 1 DISTRICT LOTS 430 AND 3840 GROUP 1 NEW WESTMINSTER
DISTRICT PLAN EPP64493
(the 'LANDS')

- 1.0 This Development Permit amendment is issued subject to:
 - (a) the Owners compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this development permit amendment; and
 - (b) the Lands shall be generally developed in accordance with **Schedule A**.
- 2.0 For clarity, all terms and conditions of Development Permit 15-037 still apply except where varied by this amendment.
- 3.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON _____.

MAYOR

CORPORATE OFFICER

FOR THE PURPOSES OF SECTION 3.0, THIS PERMIT IS ISSUED ON _____.

Schedule:

- A. Amended materials

GREGORY BOROWSKI
B.A., B.ARCH.(HONS),
ARCHITECT AIBC,
MRAIC, LEED AP

MITCHELL SAKUMOTO
DIPL.T., B.ARCH.,
ARCHITECT AIBC,
MRAIC, CAHP

SHAUN MCINTYRE
B.ED., M.ARCH.,
ARCHITECT AIBC,
MRAIC, LEED AP

LOUISE WEBB
B.A. (HONS),
DIP. ARCH., UK ARB,
ARCHITECT AIBC

12 April, 2021

VIA: Email

Schedule A DP 15 037 Amendment

Lisa Berg
Senior Planner
District of West Vancouver
Municipal Hall
750 17th Street
West Vancouver BC V7V 3T3

Dear Lisa:

RE: SEWELLS LANDING DP AMENDMENT

We have been asked by Westbank Projects to seek approval for the following changes from the approved Sewells Landing Development Permit:

- Change from zinc standing seam roofing to zinc colour standing seam aluminum roofing
- Rationalization of trellises to omit select redundant trellises

While we had hoped to use zinc for the project sloped roofs, we are advised that the Roofing Best Practices—per the attached excerpt from the AES Roofing Guide—recommends use of painted aluminum for roof applications in a coastal environment.

RDH Engineering has also advised that zinc is prone to discolouration over time in a marine environment, discolouration that may be of concern to the strata ownership in terms of maintenance and cost of future replacement. Given the low slope of the roofs, their limited visibility from below and the close colour match of the zinc colour paint, we believe this change will be of minimal visual impact and of benefit longterm to the strata. Please see attached photo of zinc sample beside zinc colour painted aluminum illustrating this.

With respect to the trellises, we have done a detailed assessment at Westbank Projects' request, and concluded that a modest number of the proposed trellises are not contributing to rain protection to patio doors or to solar protection. Consequently, we believe select deletion of these items will not compromise the project functionality, and given the substantial provision of trellises overall be of modest impact to the project look. We attach overview images showing this.

We look forward to your review and remain

Yours truly,



Paul Merrick
B. ARCH., RETIRED ARCHITECT AIBC, FRAIC, RCA
Design Consultant

GB/lj

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Q – What factors are in play when choosing metal roofing for coastal regions?

A – Actual distance from saltwater is important, but so is average rainfall, amount of fog, breaking surf or calm waters, and prevailing winds. An area with high rainfall will get lots of natural rinsing and is a better scenario than low rainfall, likewise, areas such as the Puget Sound with no breaking surf (low salt spray) and high rainfall is considering a milder marine environment than say the southern coast of California with strong surf (high salt spray) and low rainfall. All these factors influence the frequency and type of cleaning and maintenance that may be required to ensure good long-term performance.

Q – What type of metal roofing materials are better suited to coastal regions and why?

A – Painted aluminum is probably the best choice due to the corrosion resistance of the aluminum. Next best would be painted Galvalume utilizing a coastal paint system, which usually consists of a high build primer and/or clear coat, followed by painted galvanized. Click here to learn about AEP Span's [Aluminum](#) products

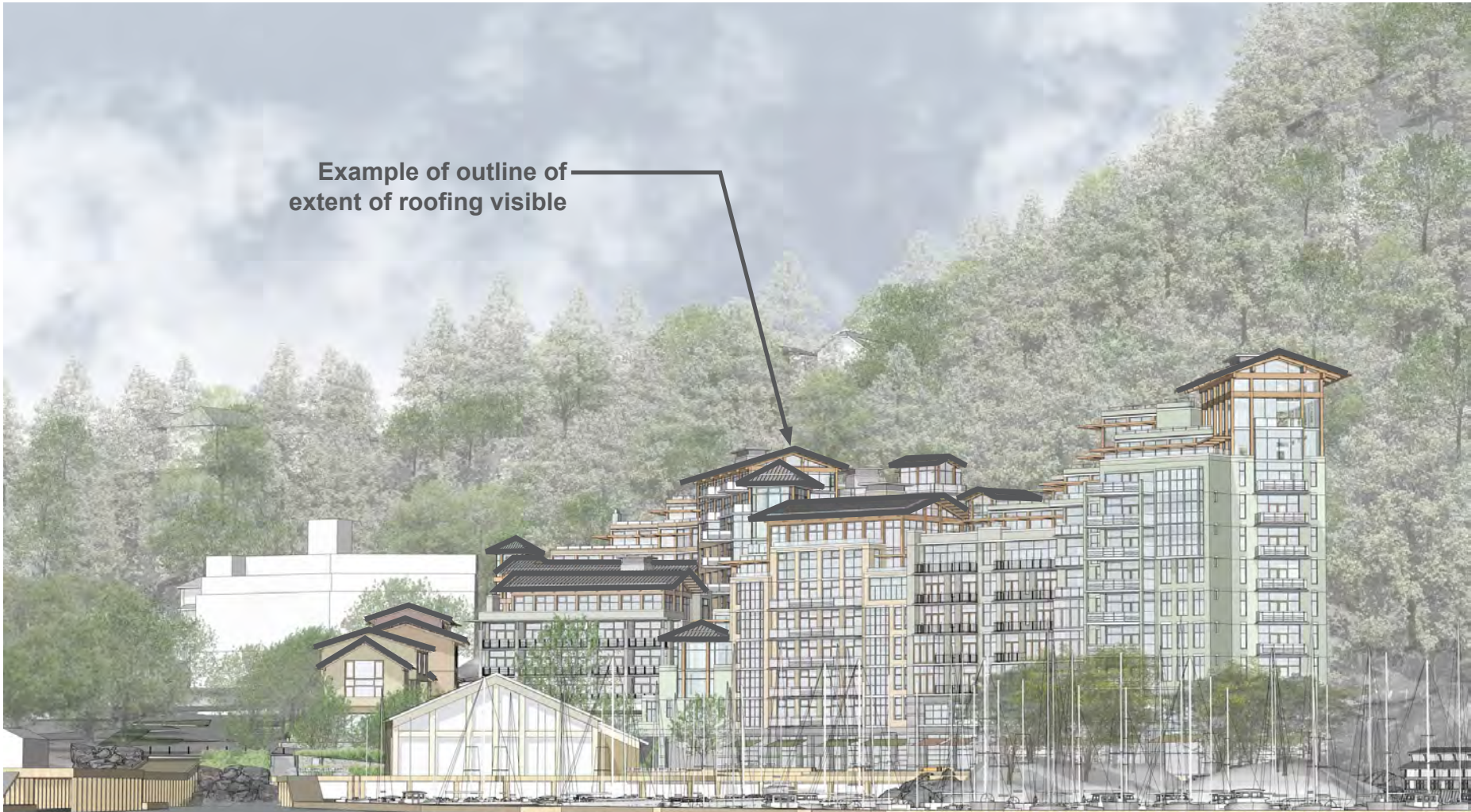


Painted Aluminum: recommended roofing choice in coastal region



Example of outline of extent of roofing visible

View of roofing proposed to be revised from standing seam zinc to standing seam zinc colour aluminum



Example of outline of extent of roofing visible

View of roofing proposed to be revised from standing seam zinc to standing seam zinc colour aluminum



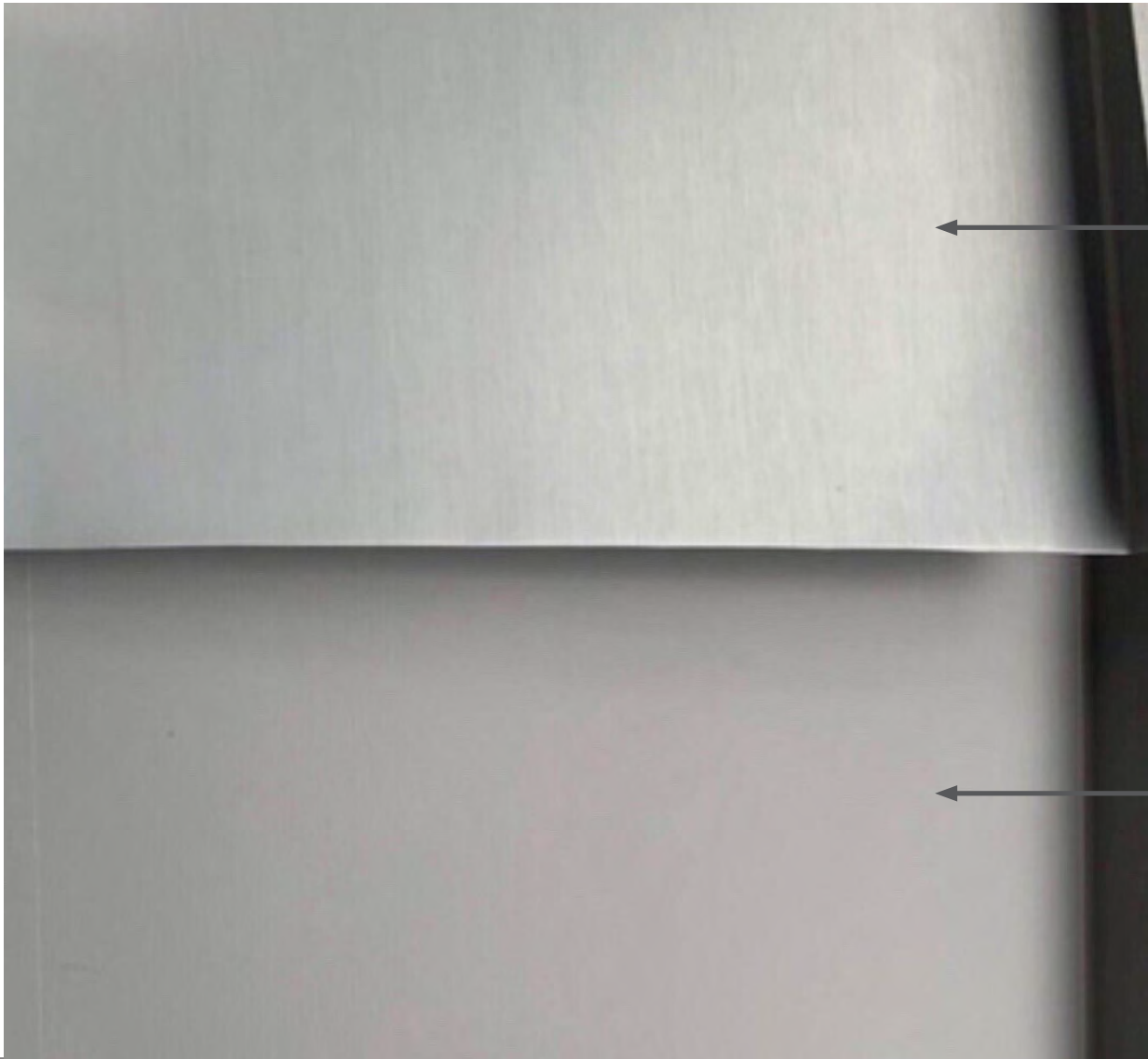
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21/04/20
Pg 4



DP Stage: Standing Seam Zinc Roof

DPMA Stage: Proposed Standing Seam Zinc Colour Aluminum Roof



RDH Building Science Inc.
4333 Still Creek Drive #400
Burnaby, BC V5C 6S6

Making Buildings Better™

TO: Renata Li
EMAIL: renata@westbankcorp.com
Westbank Projects Corp.
501 - 1067 West Cordova Street
Vancouver BC V6C 1C7

9414.006
Sewell's Landing

DATE: October 30, 2020

REGARDING: Sewell's Landing Wall and Roof Materials Report

Dear Ms. Li,

We are writing at your request to provide an opinion on the relative performance of the wall cladding and roofing materials proposed for the Sewell's Landing project in Horseshoe Bay. It is our understanding that some of the cladding and roofing materials are proposed to be changed relative to the initial drawings and specifications as follows:

Slop-Dash Stucco to Artesan Hardiplank

The exterior wall cladding system consists of a split interior/exterior insulated rainscreen wall system with a polyethylene vapour barrier, steel studs and batt insulation, exterior fiberglass faced sheathing, fully adhered vapour permeable air/moisture barrier, exterior mineral wool insulation and girts forming a drained and vented ¾" airspace and an exterior cladding layer. The originally proposed cladding is a slop-dash stucco with galvanized wire reinforcing and accessories. It is our understanding that a suitable warranty could not be obtained from the industry for the slop-dash stucco on this building due to its location and complexity, and as a result the cladding is proposed to be changed to factory primed Artesan Lap Hardiplank siding and trim complete with stainless steel fasteners (see attached proposed project specification) and a high quality exterior grade acrylic paint. It is our understanding that the Artesan Lap siding as described above will provide equivalent or better performance and durability compared to the slop-dash stucco, provided that it is properly designed by a professional engineer, and installed/maintained in accordance with the manufacturer's and professional engineer's instructions.

Pure Zinc Roofing to Painted Aluminum Roofing

The exterior metal roof system consists of an exterior insulated and vented rainscreen roof system consisting of exterior grade fiberglass faced sheathing, fully adhered modified bituminous air/vapour/moisture barrier, exterior insulation, spacer clips, and venting sheet forming a drained and vented airspace and an exterior metal roofing layer. The originally proposed metal roofing consists of pure zinc sheets. Pure zinc roofing over a vented rainscreen backup is an appropriate system for marine environments such as Horseshoe Bay, however like copper, pure zinc is susceptible to corrosion in areas where the salt cannot be washed off on a regular basis, and will change colour over many years as a natural patina develops. While this occurs, zinc roofing can often be perceived as mottled in appearance and this often results in owner complaints, of potential concern to the strata. It is our understanding that this is the primary reason that the roofing is proposed to be changed from zinc to aluminum.

9414_006 2020 10 30 BH LTR Sewells Wall and Roof Materials Report_ISSUED.docm Page 1



rdh.com

The proposed aluminum roofing is factory primed and painted on both sides with a high performance Sherwin-Williams Fluorothane Coastal coating system (see attached) and installed using concealed stainless-steel fasteners and clips. The painted aluminum roofing material described above will provide a durable roof cladding that will provide similar performance to pure zinc without experiencing the colour change and mottling associated with the development of the zinc patina. Consequently, it is anticipated that aluminum roofing would provide a more visually consistent and enduring finish to the strata's satisfaction over the long term.

Please do not hesitate to call if you have any questions regarding this letter.

Yours truly,

Reviewed by:

Brian Hubbs | P.Eng., BEP
Principal, Senior Building Science Specialist
bch@rdh.com
T 604-873-1181 x128
RDH Building Science Inc.

Rob Orlowski
Senior Building Science Technologist

Attachments

- Specification - Fiber Cement Board
- Data Sheet - Aluminum Roof Coating

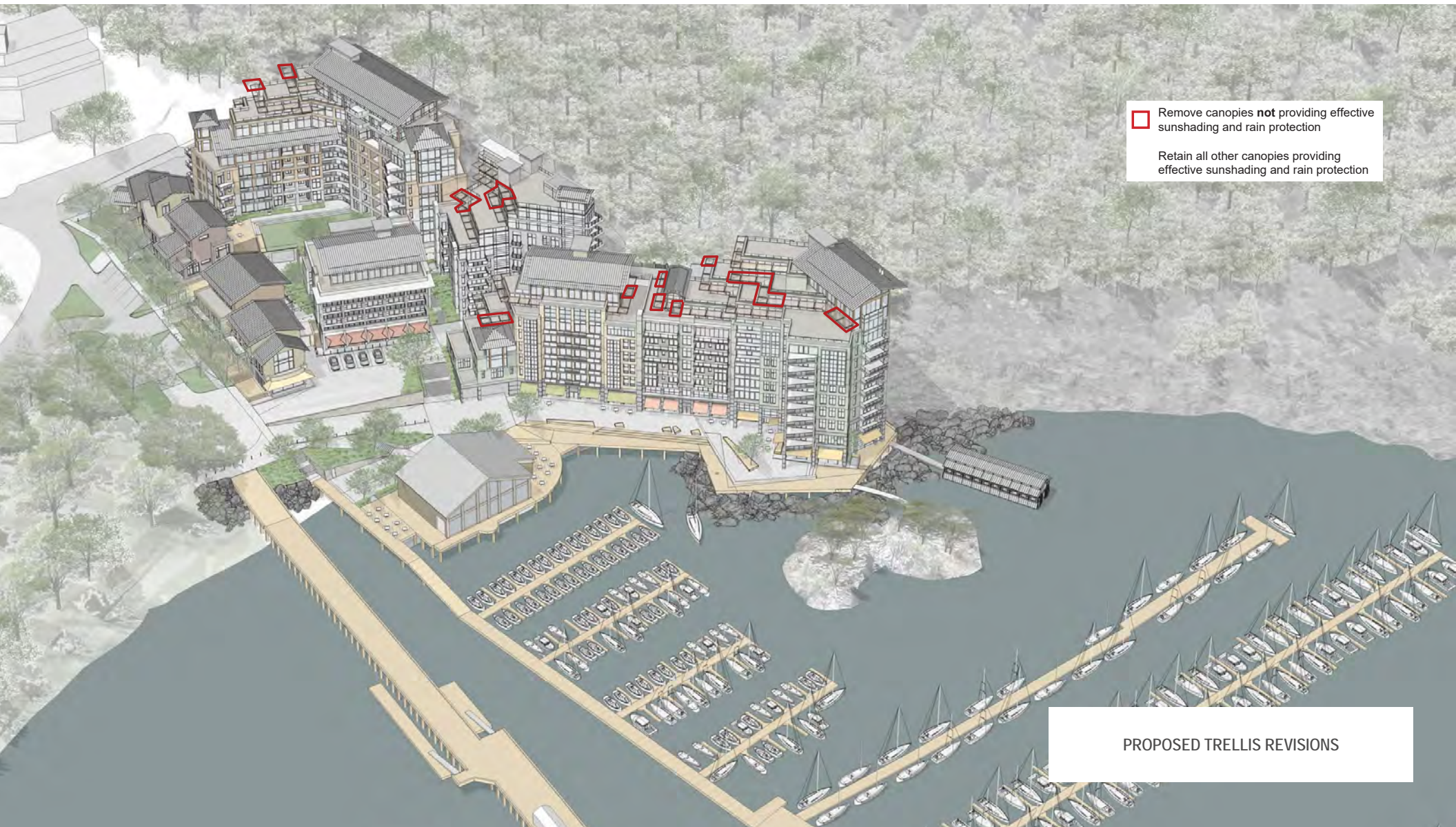
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Excerpt from RDH letter with respect to use of zinc vs. painted aluminum roofing in marine environment.



Remove canopies **not** providing effective sunshading and rain protection
 Retain all other canopies providing effective sunshading and rain protection

PROPOSED TRELLIS REVISIONS



 Remove canopies **not** providing effective sunshading and rain protection

Retain all other canopies providing effective sunshading and rain protection

PROPOSED TRELLIS REVISIONS



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21/04/20
Pg 8

Appendix: Proposed Roof and Trellis Revision Elevations

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ARCHITECTURE

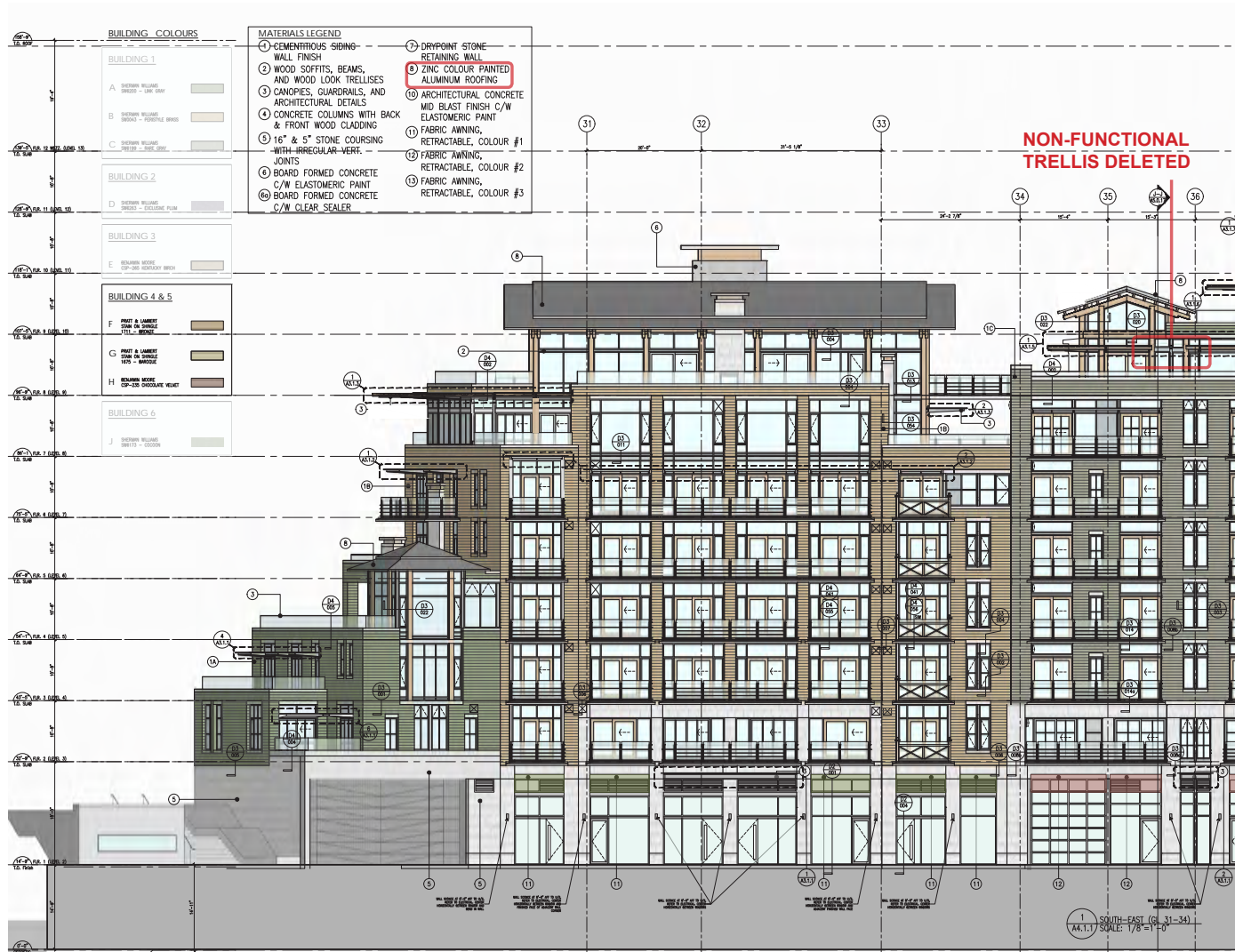
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Pg 9

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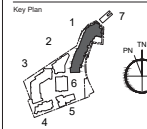
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Revision No. Description Date

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-Issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 1 BP	Sept. 18th, 2018
Issued for Tender Update	Oct. 19th, 2018
IFC Building 1	Nov. 19th, 2018
Revisions to DWG-Bldg 1-R1	Feb. 27th, 2019
SI #123 Rev3	Sept. 3, 2019
Issued for SI #152	Oct. 1st, 2019
SI #206	Nov. 18th, 2019
SI #206 Rev2	December 16, 2019
Issued for SI #233	January 10, 2020
Issued for SI #293	November 19, 2020

Consultant

Project: Sewell's Landing
6707 Nelson Avenue
Horseshoe Bay, BC
For HB Nelson LLP

Sheet Title: BUILDING 1 ELEVATION SOUTH-EAST (GL 31-34)

Drawn By: JR/NC Checked: GB
Project Number: 1504 Scale: AS NOTED
Revision: A Sheet Number

A4.1.1

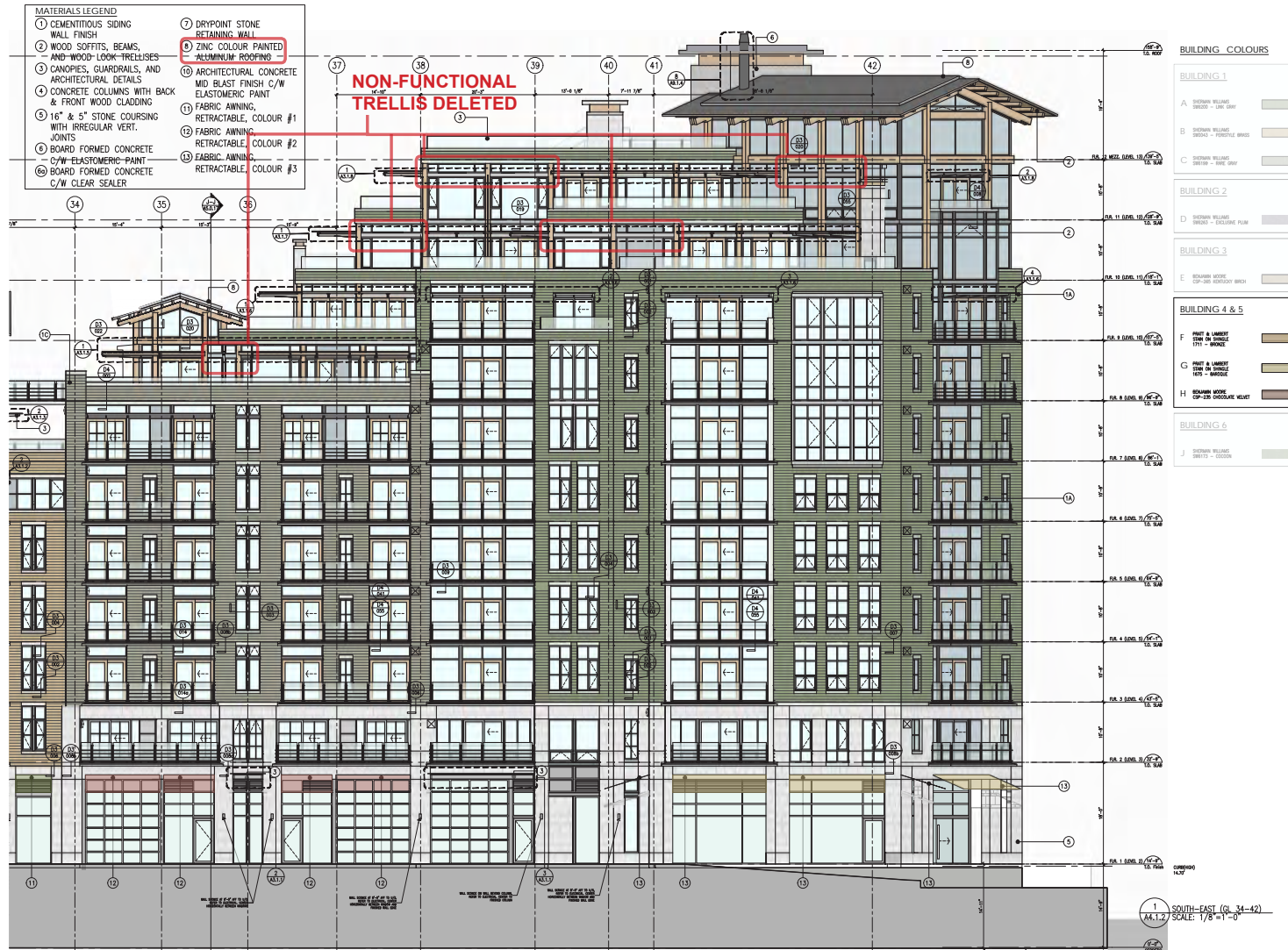
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21/04/20
Pg 10



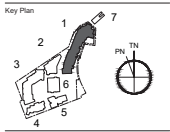
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SI #123 Rev.3	Sept. 3, 2019
Issued for SI #152	Oct. 1st, 2019
Issued for SI #203	January 10, 2020
Issued for SI #513	November 19, 2020
Issued for SI #540	January 21, 2021

Consultant

Project
Sewell's Landing
 6707 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
**BUILDING 1 ELEVATION
 SOUTH-EAST (GL 34-42)**

Drawn By	Checked
JR/MC	GJB
Project Number	Scale
1504	AS NOTED
Revision	Sheet Number
A	A

A4.1.2



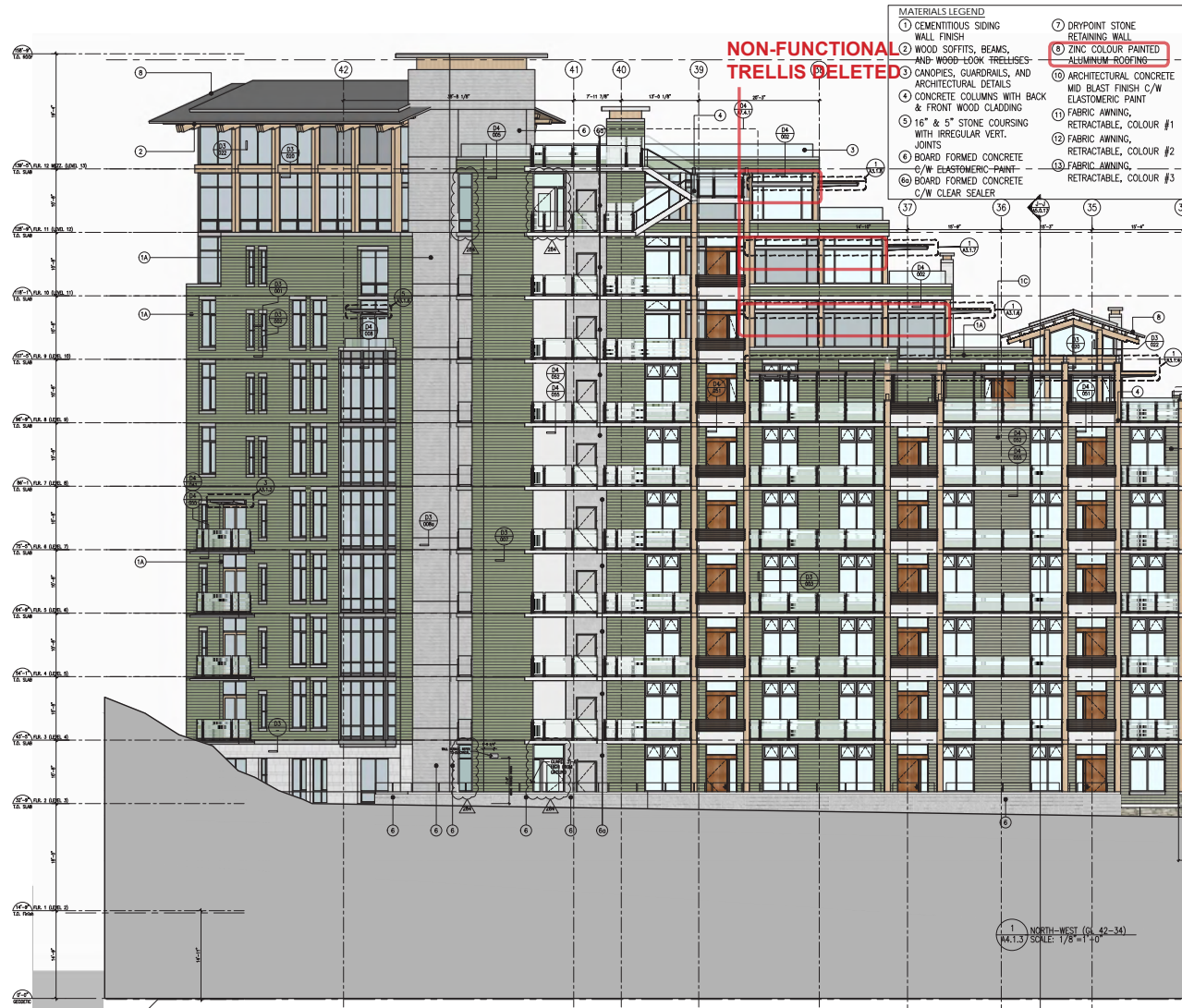
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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 11

BUILDING COLOURS	
BUILDING 1	
A	SEMI-MATTE WHITE - WALL SWAY
B	SEMI-MATTE WHITE - WALL SWAY
C	SEMI-MATTE WHITE - WALL SWAY
BUILDING 2	
D	SEMI-MATTE WHITE - WALL SWAY
BUILDING 3	
E	SEMI-MATTE WHITE - WALL SWAY
BUILDING 4 & 5	
F	PRIME LAMBERT STAIN ON BRASS 1115 - BRASS
G	PRIME LAMBERT STAIN ON BRASS 1115 - BRASS
H	SEMI-MATTE WHITE - WALL SWAY
BUILDING 6	
J	SEMI-MATTE WHITE - WALL SWAY

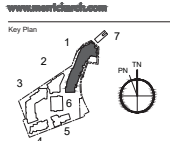


- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD-LOOK TRELLISES
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC-PAINT
 - ⑦ BOARD FORMED CONCRETE C/W CLEAR SEALER
 - ⑧ DRYPOINT STONE RETAINING WALL
 - ⑨ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3



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Revision No.	Description	Date

Issue	Issue Date
Issued for Below Grade BP	Oct. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 1 BP	Sept. 18th, 2018
Issued for Tender Update	Oct. 19th, 2018
IBC Building 1	Nov. 19th, 2018
Revisions to DWV-Bldg 1-R1	Feb. 27th, 2019
SIR90	June, 27th, 2019
SIR98 Rev#1	Sept. 17, 2019
Issued for SI #152	Oct. 1st, 2019
Issued for SI #233	January 10, 2020
Issued for SI #234	March 2, 2020
Issued for SI #517	November 16, 2020
Issued for SI #513	November 19, 2020

Project
Sewell's Landing
 6707 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
**BUILDING 1 ELEVATION
 NORTH-WEST (GL 42-34)**

Drawn By
 JR/NC

Checked By
 GB

Project Number
 1504

Scale
 AS NOTED

Revision
 Sheet Number
 A

A4.1.3

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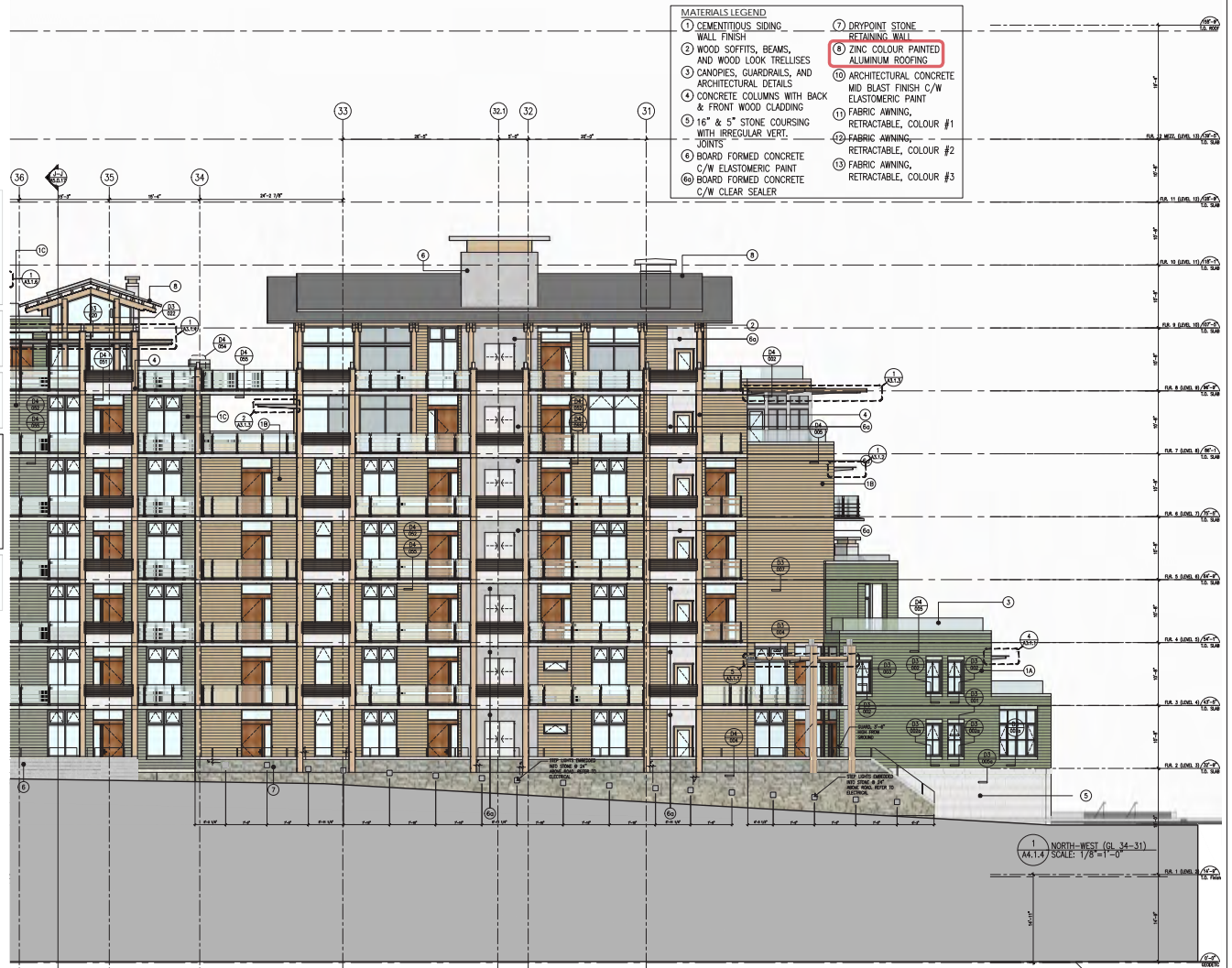


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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 12

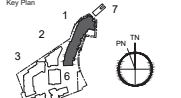


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Revision

No.	Description	Date
1	Issue	Dec. 20th, 2016
2	Issued for Tender	Jan. 31st, 2017
3	Addendum # 1	March, 14th, 2017
4	Re-issued for Below Grade BP	Aug. 16th, 2017
5	Issued for Building 1 BP	Sept. 18th, 2018
6	Issued for Tender Update	Oct. 15th, 2018
7	IFC Building 1	Nov. 19th, 2018
8	Revisions to DWV Bldg 1-R1	Feb. 27th, 2019
9	SI#200	June, 27th, 2019
10	SI#202	July 27th, 2019
11	Issued for SI #152	Oct. 1st, 2019
12	SI #203	November 18, 2019
13	SI #206 Rev2	December 16, 2019
14	Issued for SI #203	January 10, 2020
15	Issued for SI #184	August 24, 2020
16	Issued for SI #517	November 16, 2020
17	Issued for SI #513	November 18, 2020

Issue Date

Issue Date	Issue
Dec. 20th, 2016	Issue
Jan. 31st, 2017	Issued for Tender
March, 14th, 2017	Addendum # 1
Aug. 16th, 2017	Re-issued for Below Grade BP
Sept. 18th, 2018	Issued for Building 1 BP
Oct. 15th, 2018	Issued for Tender Update
Nov. 19th, 2018	IFC Building 1
Feb. 27th, 2019	Revisions to DWV Bldg 1-R1
June, 27th, 2019	SI#200
July 27th, 2019	SI#202
Oct. 1st, 2019	Issued for SI #152
November 18, 2019	SI #203
December 16, 2019	SI #206 Rev2
January 10, 2020	Issued for SI #203
August 24, 2020	Issued for SI #184
November 16, 2020	Issued for SI #517
November 18, 2020	Issued for SI #513

Consultant

Project

Sewell's Landing
 6707 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title

BUILDING 1 ELEVATION NORTH WEST (GL 34-31)

Drawn By JRM/C
Checked GSB
Project Number 1504
Scale AS NOTED
Revision A
Sheet Number

A4.1.4

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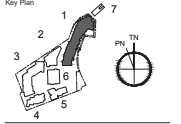
21/04/20
 Pg 13



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Revision No.	Description	Date

Issue	Issue Date
Issued for Building 1 BP	Sept. 19th, 2018
Issued for Tender Update	Oct. 19th, 2018
R/C Building 1	Nov. 19th, 2018
Δ Revision to DWV-Bldg 1-R1	Feb. 27th, 2019
SI#507	June, 24th, 2019
SI#509	June, 27th, 2019
SI#719E2	July 12th, 2019
SI#168 Rev1	Sept. 17, 2019
SI #206	Nov. 18th, 2019
SI #206 Rev2	December 10, 2019
Issued for SI #233	January 10, 2020
Issued for SI #254 Part 1	May 15, 2020
Issued for SI #245	September 22, 2020
Issued for SI #513	November 19, 2020

Consultant

Project
Sewell's Landing
6707 Nelson Avenue
Horseshoe Bay, BC
For
HB Nelson LLP

Sheet Title
BUILDING 1 ELEVATION
SOUTH (GL M-J) & NORTH
(GL P-U)

Drawn By J/RNC **Checked** GB
Project Number 1504 **Scale** AS NOTED
Revision A **Sheet Number**

A4.1.5

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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
Pg 14

MATERIALS LEGEND	
① CEMENTITIOUS SIDING WALL FINISH	⑦ DRYPOINT STONE RETAINING WALL
② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES	⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS	⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING	⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS	⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT	⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3
⑭ BOARD FORMED CONCRETE C/W CLEAR SEALER	

BUILDING COLOURS

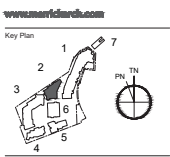
BUILDING 1	
A	CEMENTITIOUS SIDING (WOOD LOOK) - 100%
B	CEMENTITIOUS SIDING (WOOD LOOK) - 100%
C	CEMENTITIOUS SIDING (WOOD LOOK) - 100%
BUILDING 2	
D	CEMENTITIOUS SIDING (WOOD LOOK) - 100%
BUILDING 3	
E	WOODEN SIDING (SP-200) - 100%
BUILDING 4 & 5	
F	FRUIT & LUMBER FINISH (SP-200) - 100%
G	FRUIT & LUMBER FINISH (SP-200) - 100%
H	WOODEN SIDING (SP-200) - 100%
BUILDING 6	
J	CEMENTITIOUS SIDING (WOOD LOOK) - 100%



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Revision No.	Description	Date

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 2 BP	Nov. 16th, 2017
Issued for Tender Update	Oct. 19th, 2018
Revisions to DWV-Bldg 2-R1	Dec. 11th, 2018
IFC Building 2	Dec. 17th, 2018
SI#100	June, 27th, 2019
Issued for SI #513	November 19, 2020

Consultant

Project
Sewell's Landing
 6669 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title	
BUILDING 2 ELEVATION - EAST	
Drawn By	Checked
JR/NC	GB
Project Number	Scale
1504	1/4"=1'-0"
Revision	Sheet Number
A	

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A4.2.1



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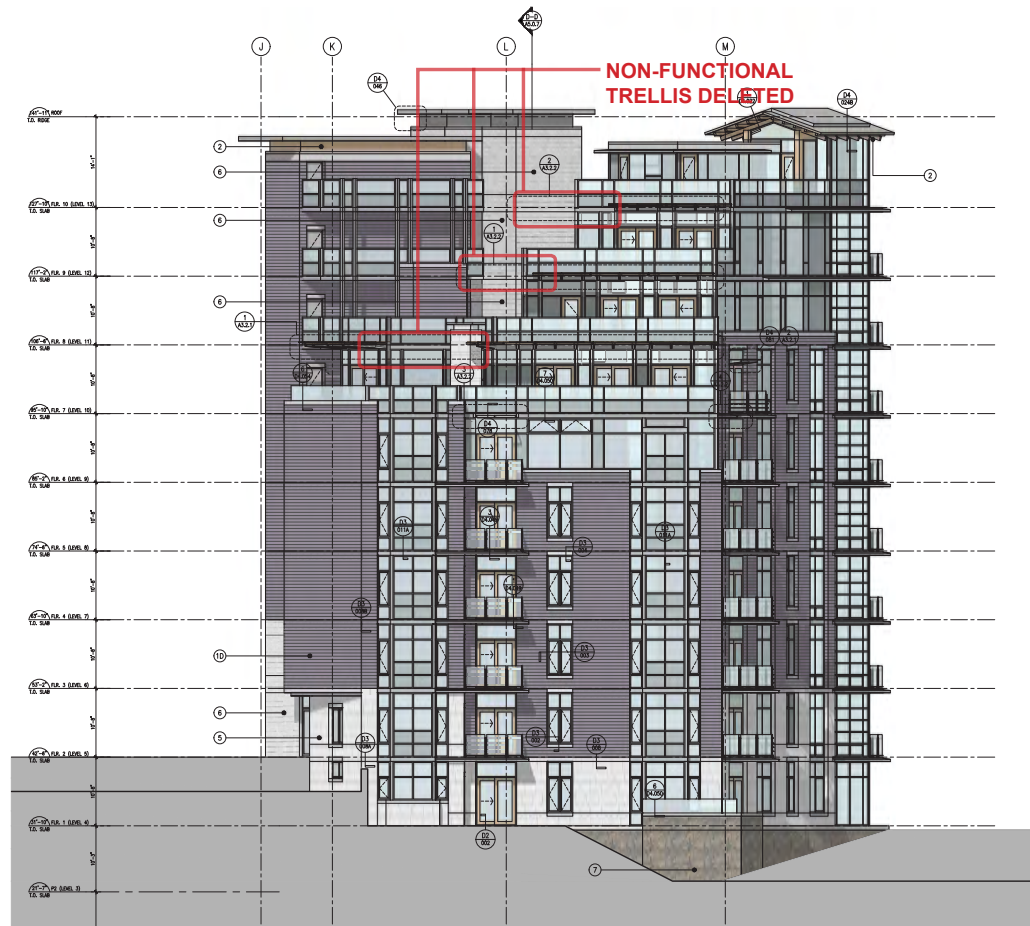
PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 15

- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES AND ARCHITECTURAL DETAILS
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT
 - ⑦ DRYPOINT STONE RETAINING WALL
 - ⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑨ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑩ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #3

BUILDING COLOURS

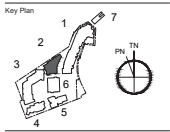
BUILDING 1	
A	CEMENTITIOUS SIDING - LIGHT GREY
B	CEMENTITIOUS SIDING - PEARL/WHITE BRICK
C	CEMENTITIOUS SIDING - PEARL GREY
BUILDING 2	
D	CEMENTITIOUS SIDING - EXCLUSIVE FLUX
BUILDING 3	
E	REINFORCED CONCRETE - EXCLUSIVE FLUX
BUILDING 4 & 5	
F	PAINT & LINEN FIBRE - BRICK
G	PAINT & LINEN FIBRE - BRICK
H	REINFORCED CONCRETE - EXCLUSIVE FLUX
BUILDING 6	
J	CEMENTITIOUS SIDING - COLOUR



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Revision No.	Description	Date

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 2 BP	Nov. 16th, 2017
Issued for Tender Update	Oct. 19th, 2018
Revisions to DWV-Bldg 2-R1	Dec. 11th, 2018
IFC Building 2	Dec. 17th, 2018
SI#200	June, 27th, 2019
Issued for SI #513	November 19, 2020

Consultant

Project
Sewell's Landing
 6669 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
BUILDING 2 ELEVATION - SOUTH

Drawn By	JR/MC	Checked	GIB
Project Number	1504	Scale	1/4"=1'-0"
Revision	A	Sheet Number	

A4.2.2

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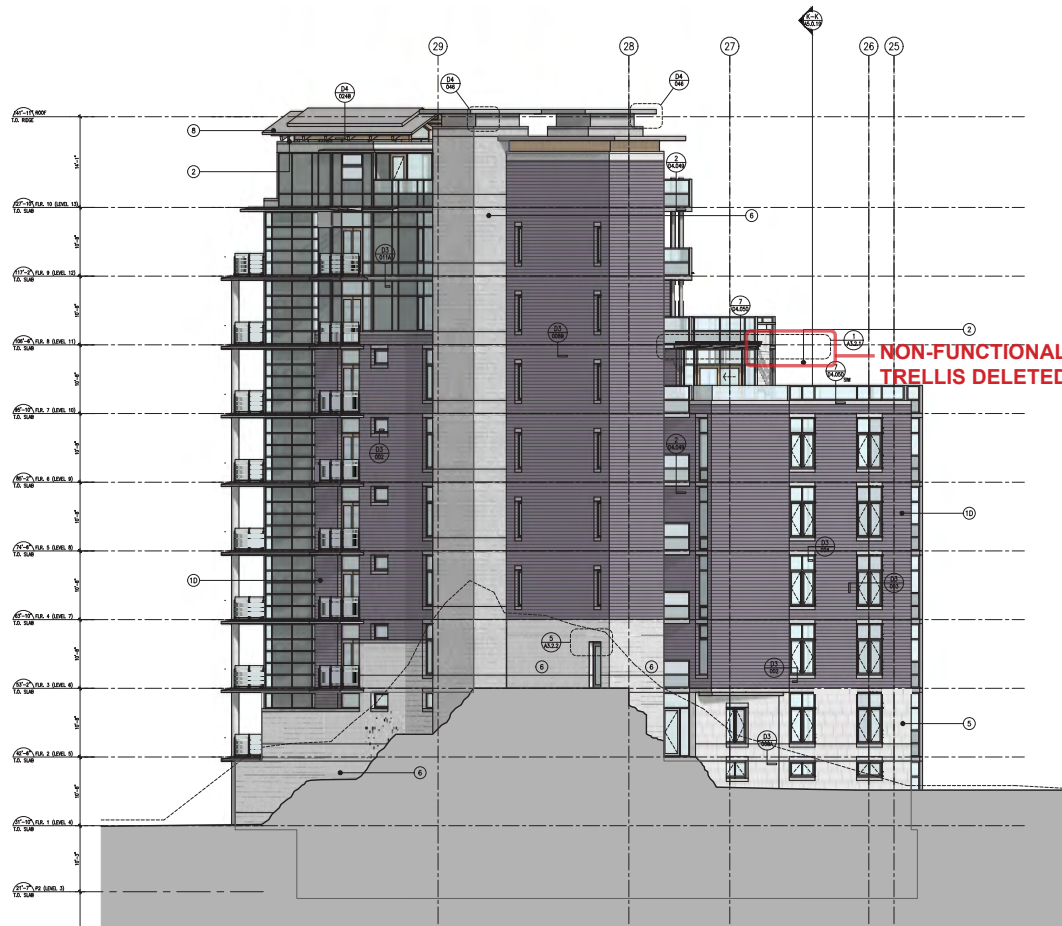
PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 16

- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES AND ARCHITECTURAL DETAILS
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT
 - ⑦ DRYPOINT STONE RETAINING WALL
 - ⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3
 - ⑭ BOARD FORMED CONCRETE C/W CLEAR SEALER

BUILDING COLOURS

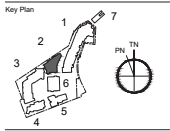
- BUILDING 1**
- A DRYPOINT STONE BRICK - 1/2" GAP
 - B DRYPOINT STONE BRICK - PERFORATE BRICK
 - C DRYPOINT STONE BRICK - 1/2" GAP
- BUILDING 2**
- D DRYPOINT STONE BRICK - PERFORATE FLUSH
- BUILDING 3**
- E REINFORCED WOOD CP-200 KNOCKOUT BRICK
- BUILDING 4 & 5**
- F PRST & LIGHT STONE - 1/2" BRICK
 - G PRST & LIGHT STONE - 1/2" BRICK
 - H REINFORCED WOOD CP-200 CHOCOLATE VENT
- BUILDING 6**
- J DRYPOINT STONE BRICK - COCKON



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Revision No.	Description	Date

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 21st, 2017
Addendum #1	March, 14th, 2017
Re-Issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 2 BP	Nov. 16th, 2017
Issued for Tender Update	Oct. 19th, 2018
Revisions to DWV-Bldg 2-R1	Dec. 11th, 2018
IFC Building 2	Dec. 17th, 2018
SI#00	June, 27th, 2019
Issued for SI #513	November 19, 2020

Consultant

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Sewell's Landing
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 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
BUILDING 2 ELEVATION - WEST

Drawn By	Checked
JR/NC	GB
Project Number	Scale
1504	1/4"=1'-0"
Revision	Sheet Number
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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 17

- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES AND ARCHITECTURAL DETAILS
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" x 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT
 - ⑦ BOARD FORMED CONCRETE C/W CLEAR SEALER
 - ⑧ DRYPOINT STONE RETAINING WALL
 - ⑨ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3

BUILDING COLOURS

BUILDING 1	
A	CHESTNUT WOOD BRICK - FINE GRAY
B	CHESTNUT WOOD BRICK - PERSIMMON BRICK
C	CHESTNUT WOOD BRICK - FINE GRAY
BUILDING 2	
D	CHESTNUT WOOD BRICK - PERSIMMON BRICK
BUILDING 3	
E	BURNING WOOD CP-200 BRICKLAY BRICK
BUILDING 4 & 5	
F	PAINT & LINEN FINISH ON BRICK F11 - BRICK
G	PAINT & LINEN FINISH ON BRICK F15 - BRICK
H	BURNING WOOD CP-200 BRICKLAY BRICK
BUILDING 6	
J	CHESTNUT WOOD BRICK - COCOON

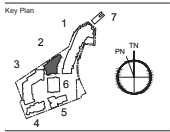


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Revision No.	Description	Date

Issue	Issue Date
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Re-Issued for Below Grade BP	Aug. 18th, 2017
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Issued for Tender Update	Oct. 19th, 2018
Revisions to DWV-Bldg 2-R1	Dec. 11th, 2018
IFC Building 2	Dec. 17th, 2018
SI#100	June, 27th, 2019
Issued for SI #513	November 19, 2020

Consultant

Project
Sewell's Landing
 6669 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
BUILDING 2 ELEVATION - NORTH

Drawn By	Checked
JR/NC	GJB
Project Number	Scale
1504	1/4"=1'-0"
Revision	Sheet Number
A	

A4.2.4

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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

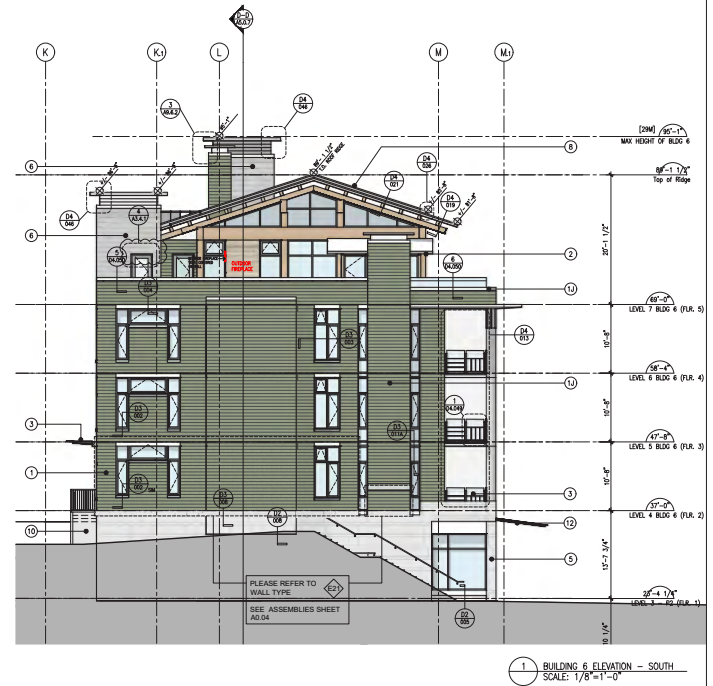
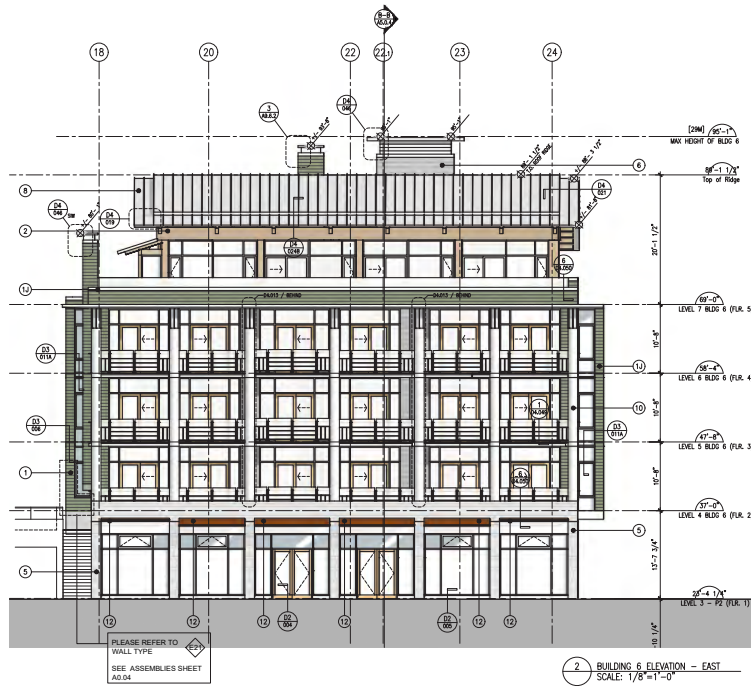
21/04/20
 Pg 18

MATERIALS LEGEND

① CEMENTITIOUS SIDING WALL FINISH	⑦ DRYPOINT STONE RETAINING WALL
② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES	⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS	⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING	⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
⑤ 16" x 5" STONE COURSING WITH IRREGULAR VERT. JOINTS	⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT	⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3
⑭ BOARD FORMED CONCRETE C/W CLEAR SEALER	

BUILDING COLOURS

BUILDING 1	BUILDING 4 & 5
A EXTERIOR WALLING BRICK - TAN GRAY	F PAINT & LINNET TYP. IN WALLS 171 - BRICK
B EXTERIOR WALLING BRICK - TERRAZZO BRICK	G PAINT & LINNET TYP. IN WALLS 170 - BRICK
C EXTERIOR WALLING BRICK - TAN GRAY	H EXTERIOR WALLING SP-20 CHOCOLATE HONEY
BUILDING 2	BUILDING 6
D EXTERIOR WALLING BRICK - TERRAZZO BRICK	J EXTERIOR WALLING BRICK - TERRAZZO
BUILDING 3	
E EXTERIOR WALLING SP-400 VENEZIA BRICK	

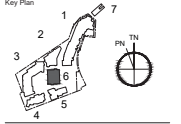


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Revision No.	Description	Date
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Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 6 BP	Dec. 08th, 2017
Issued for Tender Update	Oct. 19th, 2018
Re-issued for Building 6 BP	Dec. 17th, 2018
IFC Building 6	Jan. 21st, 2019
SI#200	June, 27th, 2019
Issued for SI #368	May 20, 2020
Issued for SI #385	June 04, 2020
Issued for SI #486	September 29, 2020
Issued for SI #513	November 19, 2020
Issued for SI #565	March 5, 2021

Consultant

Project
 Sewell's Landing
 6667 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
 BUILDING 6 ELEVATIONS

Drawn By	Checked
JR/NC	GJB
Project Number	Scale
1504	AS NOTED
Revision	Sheet Number
A	

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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

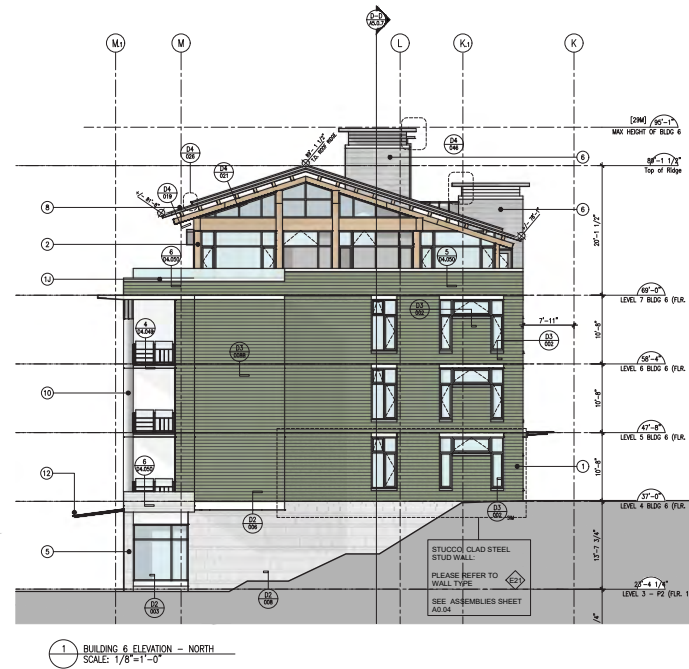
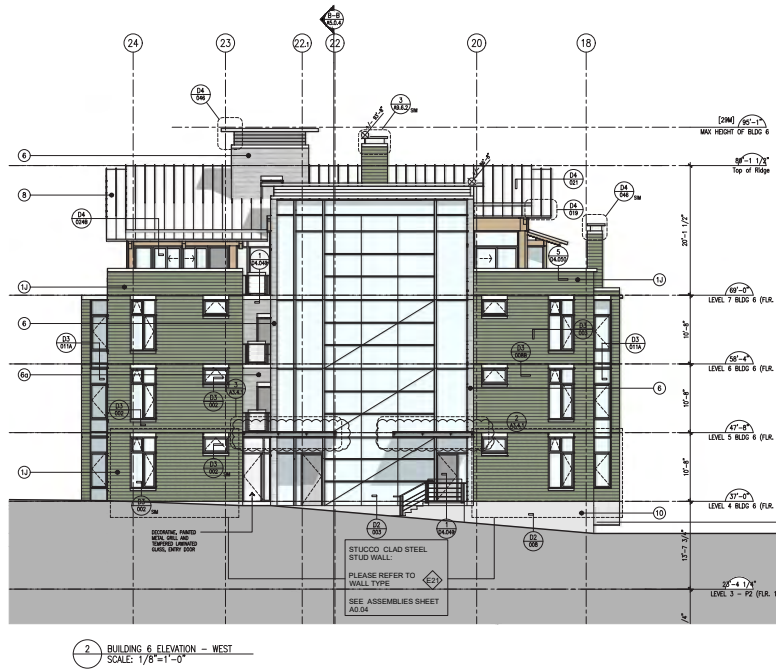
21/04/20
 Pg 19

MATERIALS LEGEND

① CEMENTITIOUS SIDING WALL FINISH	⑦ DRYPOINT STONE RETAINING WALL
② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES	⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS	⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING	⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS	⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT	⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3
⑨ BOARD FORMED CONCRETE C/W CLEAR SEALER	

BUILDING COLOURS

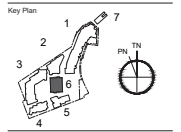
BUILDING 1	BUILDING 4 & 5
A DRYPOINT STONE (DRY - LOW GRAY)	F FRONT & LANEY (DRY OR SHINNY) (TT) - BRN
B DRYPOINT STONE (DRY) - FORECAST BRN	G FRONT & LANEY (DRY OR SHINNY) (HT) - BRN
C DRYPOINT STONE (DRY) - TONE GRAY	H BROWN WOOD (SP-22) CHOCOLATE HEAT
BUILDING 2	BUILDING 6
D DRYPOINT STONE (DRY) - VERTICAL PLAN	J DRYPOINT STONE (DRY) - COOL
BUILDING 3	
E BROWN WOOD (SP-22) CHOCOLATE BRN	



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Revision

No.	Description	Date

Issue

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Amendment # 1	March 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 6 BP	Dec. 08th, 2017
Issued for Tender Update	Oct. 19th, 2018
Re-issued for Building 6 BP	Dec. 17th, 2018
IFC Building 6	Jan. 21st, 2019
SI#909	June 27th, 2019
Revisions to DWG-Bldg 6-R1	Feb. 28, 2020
Issued for SI #965	May 20, 2020
Issued for SI #285	June 04, 2020
Issued for SI #513	November 19, 2020
Issued for SI #565	March 5, 2021

Consultant

Project
Sewell's Landing
6657 Nelson Avenue
Horseshoe Bay, BC
For
HB Nelson LLP

Sheet Title
BUILDING 6 ELEVATIONS

Drawn By	Checked
JR/NC	CSB
Project Number	Scale
1504	AS NOTED
Revision	Sheet Number
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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

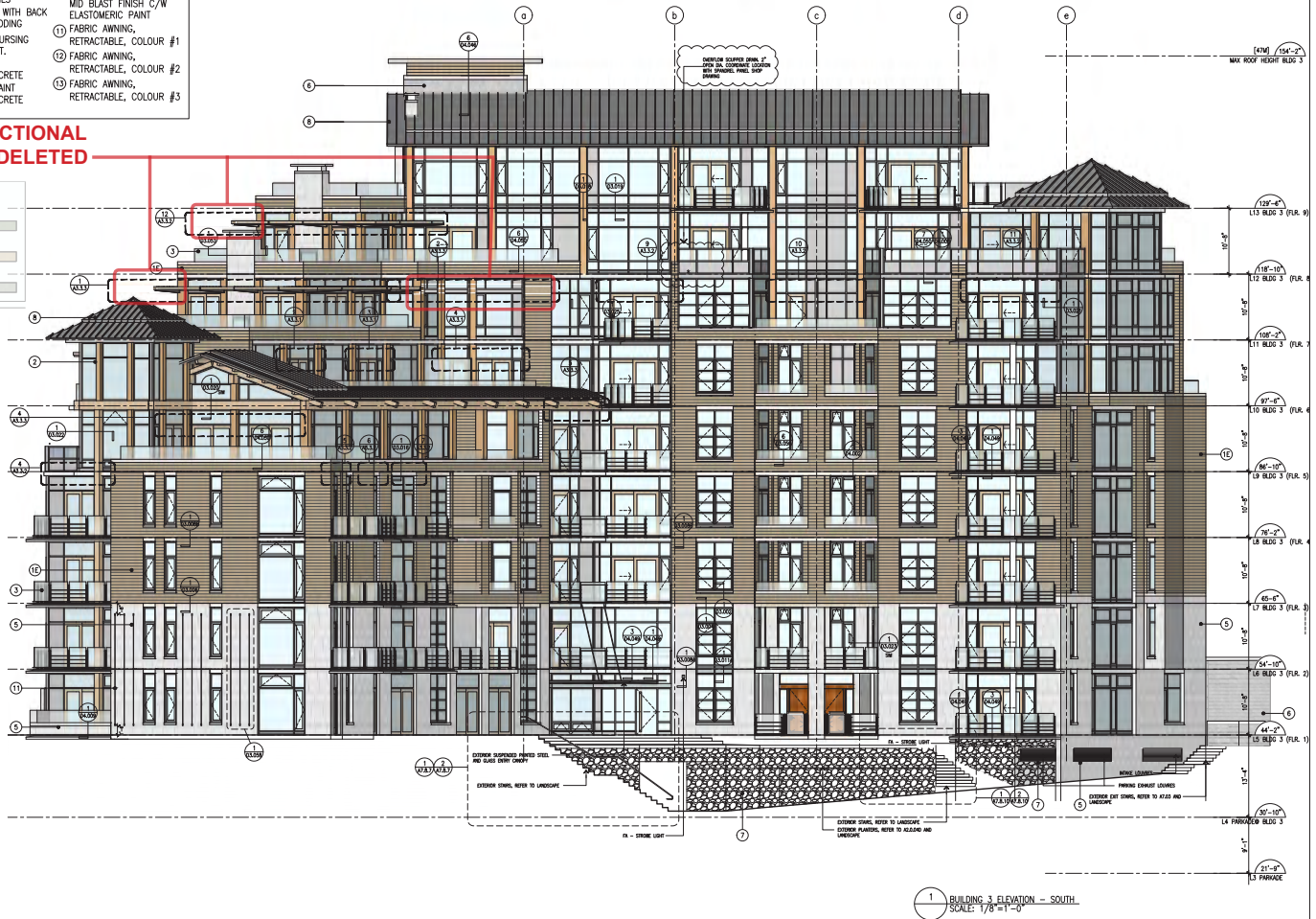
21/04/20
Pg 20

- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT
 - ⑦ DRYPOINT STONE RETAINING WALL
 - ⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑨ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑩ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #3
 - ⑬ BOARD FORMED CONCRETE C/W CLEAR SEALER

NON-FUNCTIONAL TRELLIS DELETED

BUILDING 3 COLOURS

BUILDING 1	Colour
A. EXTERIOR WALLS (WOOD - WOOD GRAY)	[Color swatch]
B. EXTERIOR WALLS (WOOD - PORTLAND GRAY)	[Color swatch]
C. EXTERIOR WALLS (WOOD - WOOD GRAY)	[Color swatch]

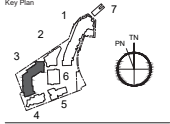


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No.	Description	Date

Issue

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 3 BP	Sept. 18th, 2017
Revisions to DWV-Bldg 3-R1	Aug. 10th, 2018
IFC Building 3	Oct. 3rd, 2018
Revisions to DWV-Bldg 3-R2	April 23rd, 2019
Stamp	June 27th, 2019
Revisions to DWV-Bldg 3-R3	Oct. 24, 2019
Issued for SI #259 Rev2	March 20, 2020
Issued for SI #545	May 15, 2020
Issued for SI #513	November 19, 2020

Consultant

Project
 Sewell's Landing
 6667 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
 BUILDING 3
 ELEVATION - SOUTH

Drawn By

Checked	Scale
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1504	AS NOTED
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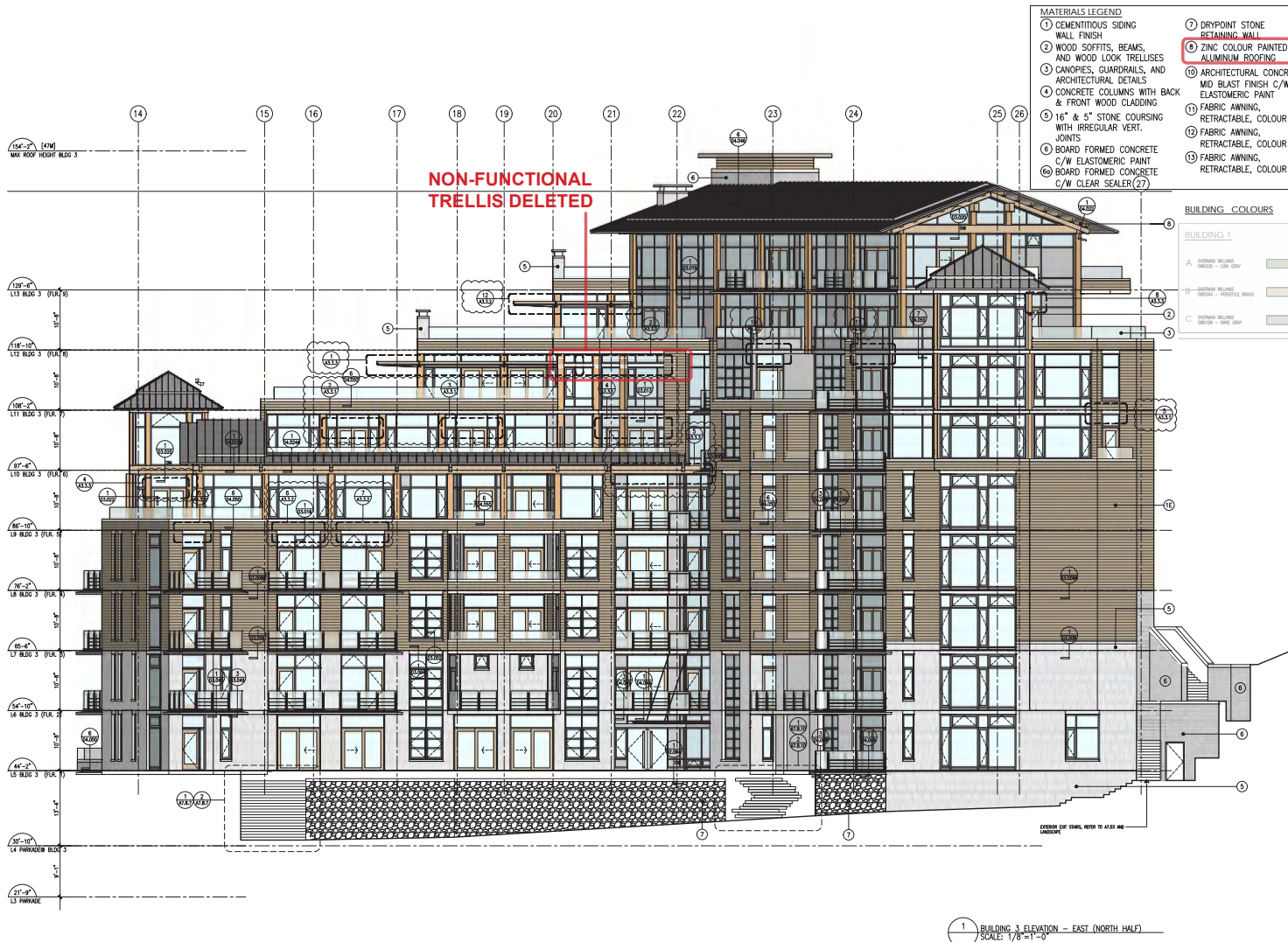
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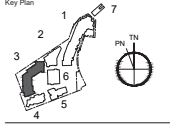
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 Pg 21



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Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum #1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 3 BP	Sept. 18th, 2017
Revisions to DWG-Bldg. 3-R1	Aug. 10th, 2018
IFC Building 3	Oct. 3rd, 2018
Revisions to DWG-Bldg. 3-R2	April, 23rd, 2019
Sitepro	June, 27th, 2019
Issued for SI #219 Rev2	March 26, 2020
Issued for SI #213	November 19, 2020

Consultant

Project
Sewell's Landing
6667 Nelson Avenue
Horseshoe Bay, BC
For
HB Nelson LLP

Sheet Title
BUILDING 3 ELEVATION - EAST (NORTH HALF)

Drawn By	Checked
JRN/C	GJB
Project Number	Scale
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Revision	Sheet Number
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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
Pg 22

- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELISES
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT
 - ⑦ DRYPOINT STONE RETAINING WALL
 - ⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑨ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑩ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #3

BUILDING COLOURS

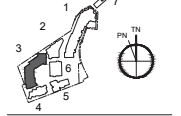
- BUILDING 1**
- A. SIDING - BROWN BRICK
 - B. SIDING - BROWN BRICK
 - C. SIDING - BROWN BRICK



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Revision

No.	Description	Date

Issue

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum # 1	March 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 3 BP	Sept. 18th, 2017
Revisions to DWV Bldg 3-421	Aug 10th, 2018
JFC Building 3	Oct. 3rd, 2018
Revisions to DWV Bldg 3-42	April. 23rd, 2019
SI 200	June 27th, 2019
Issued for SI #209 Rev2	March 26, 2020
Issued for SI #213	November 19, 2020

Consultant

Project
Sewell's Landing
 6687 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
BUILDING 3 ELEVATION - NORTH

Drawn By: JRM/NC
 Checked: CGB

Project Number: 1504
 Scale: AS NOTED

Revision: A
 Sheet Number: A4.3.3

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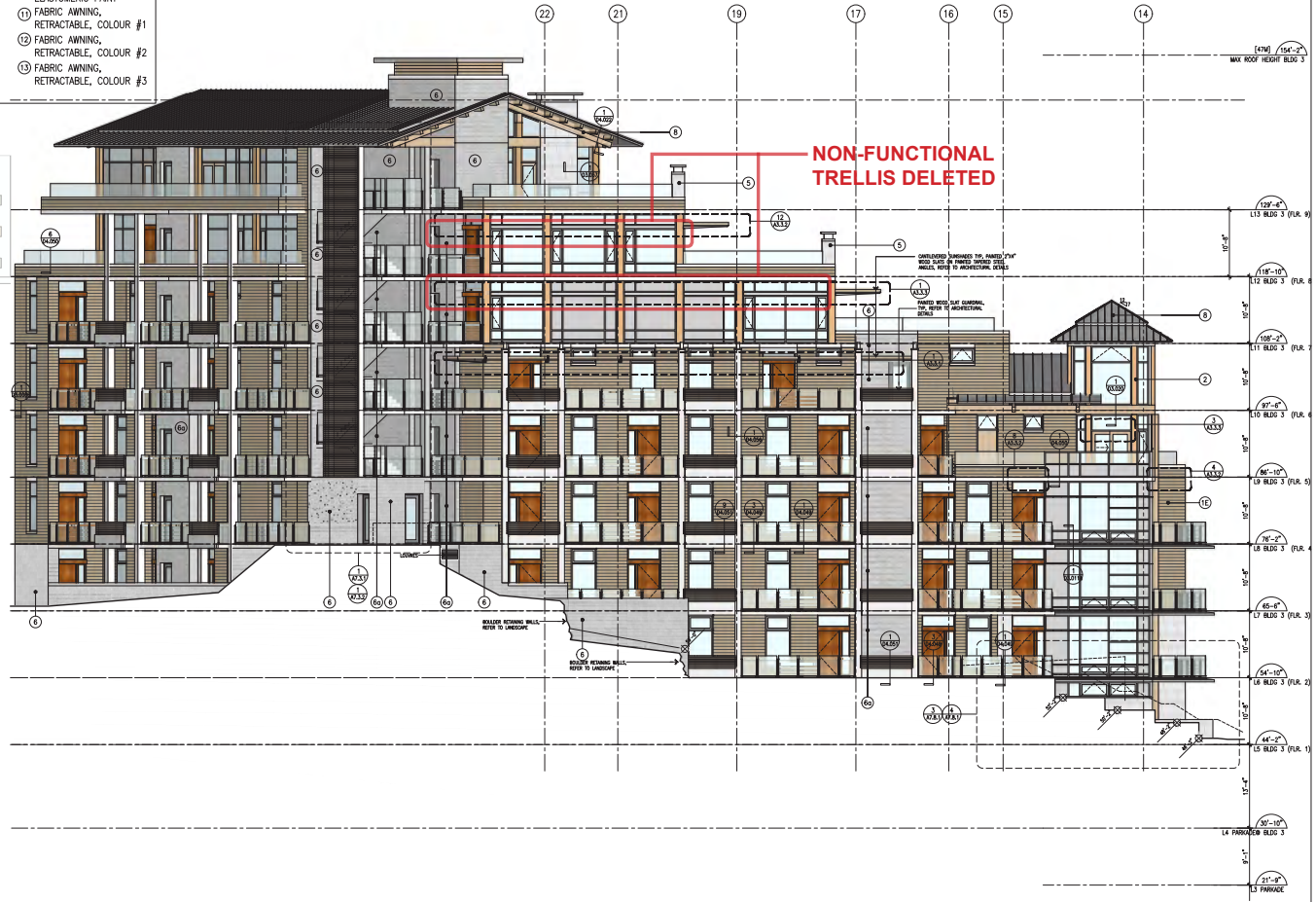
21/04/20
 Pg 23

- MATERIALS LEGEND**
- ① GEMENTIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ CONCRETE COLUMNS WITH BACK & FRONT WOOD CLADDING
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONCRETE C/W ELASTOMERIC PAINT
 - ⑦ BOARD FORMED CONCRETE C/W CLEAR SEALER
 - ⑧ DRYPOINT STONE RETAINING WALL
 - ⑨ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑩ ARCHITECTURAL CONCRETE MID BLAST FINISH C/W ELASTOMERIC PAINT
 - ⑪ FABRIC AWNING, RETRACTABLE, COLOUR #1
 - ⑫ FABRIC AWNING, RETRACTABLE, COLOUR #2
 - ⑬ FABRIC AWNING, RETRACTABLE, COLOUR #3

BUILDING COLOURS

BUILDING 3

A	EXTERNAL WALLS - BRICK - LIGHT GREY	
B	EXTERNAL WALLS - BRICK - PORCELAIN GREY	
C	EXTERNAL WALLS - BRICK - DARK GREY	



1 BUILDING 3 ELEVATION - WEST
SCALE: 1/8"=1'-0"

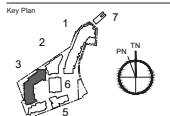
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Revision No.	Description	Date

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum # 1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 3 BP	Sept. 18th, 2017
Revisions to DWG-Bldg 3-R1	Aug 10th, 2018
IFC Building 3	Oct. 3rd, 2018
Revisions to DWG-Bldg 3-R2	April, 23rd, 2019
SITING	June, 27th, 2019
Issued for SI #299 Rev2	March 26, 2020
Issued for SI #313	November 19, 2020

Consultant

Project
Sewell's Landing
6687 Nelson Avenue
Horseshoe Bay, BC
For
HB Nelson LLP

Sheet Title
**BUILDING 3
ELEVATION - WEST**

Drawn By	Checked
JRN/C	GJB
Project Number	Scale
1504	AS NOTED
Revision	Sheet Number
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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
Pg 24

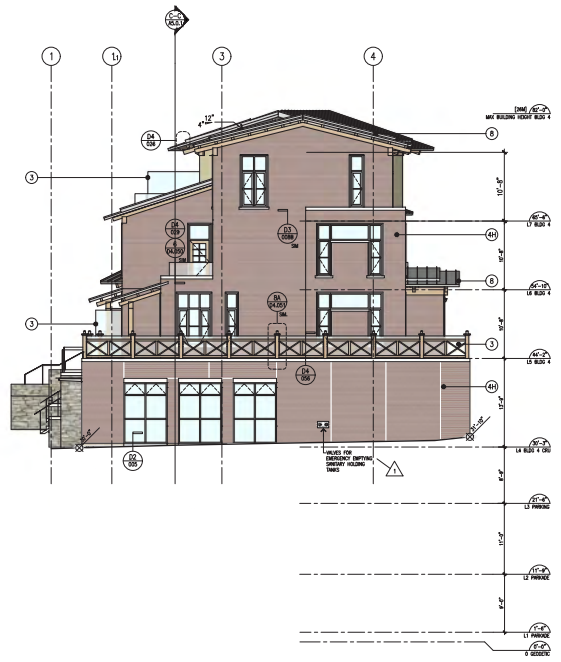
- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS AND WOOD LOOK TRELLISES
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ TOWNHOME SHINGLES
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONC.
 - ⑦ DRYPOINT STONE RETAINING WALL
 - ⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑩ VINE CABLES, SPACE HORIZONTAL CABLES @ 12" OC AND VERTICAL CABLES @ 18" OC
 - ⑫ FABRIC AWNING FIXED, COLOUR #4

- BUILDING COLOURS**
- BUILDING 1**
- A SYSTEM WALLS: BRICKS - LIME GRAY
 - B SYSTEM WALLS: BRICKS - PORTLAND BRICK
 - C SYSTEM WALLS: BRICKS - RED GRAY
- BUILDING 2**
- D SYSTEM WALLS: BRICKS - PORTLAND BRICK
- BUILDING 3**
- E RETAINING WALLS: COP-200 KIDSLAY BRICK

- BUILDING 4 & 5**
- F FRONT & LAMBERT SIDE ON SHINGLE 17 1/2" - BRICK
 - G FRONT & LAMBERT SIDE ON SHINGLE 18 1/2" - BRICK
 - H RETAINING WALLS: COP-200 CHOCOLATE HEART
- BUILDING 6**
- J SYSTEM WALLS: BRICKS - COBBLE



2 BUILDING 4 ELEVATION - SOUTH (NELSON STREET)
SCALE: 1/8"=1'-0"



1 BUILDING 4 ELEVATION - WEST
SCALE: 1/8"=1'-0"

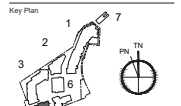
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Revision

No.	Description	Date

Issue

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum # 1	March, 14th, 2017
Re-issued for Below Grade BP	Aug. 16th, 2017
Issued for Building 4 BP	Nov. 23rd, 2017
Issued for Tender Update	Oct. 19th, 2018
Revisions to DWV-Bldg 4-R1	Nov. 26th, 2018
IFC Building 4	Dec. 3rd, 2018
Issued for SI-B380	May 25, 2020

Consultant

Project
Sewell's Landing
 6681 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
BUILDING 4 ELEVATIONS

Drawn By	JR/NC	Checked	CB
Project Number	1504	Scale	AS NOTED
Revision	A	Sheet Number	

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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 25

- MATERIALS LEGEND**
- ① CEMENTITIOUS SIDING WALL FINISH
 - ② WOOD SOFFITS, BEAMS, AND WOOD LOOK TRELLISES
 - ③ CANOPIES, GUARDRAILS, AND ARCHITECTURAL DETAILS
 - ④ TOWNHOME SHINGLES
 - ⑤ 16" & 5" STONE COURSING WITH IRREGULAR VERT. JOINTS
 - ⑥ BOARD FORMED CONC.
 - ⑦ DRYPOINT STONE RETAINING WALL
 - ⑧ ZINC COLOUR PAINTED ALUMINUM ROOFING
 - ⑩ VINE CABLES, SPACE HORIZONTAL CABLES @ 12" OC AND VERTICAL CABLES @ 18" OC
 - ⑪ FABRIC AWNING FIXED, COLOUR #4

BUILDING COLOURS

BUILDING 1		BUILDING 4 & 5	
A	SEMI-MATTE GREY - LOW GLOSS	F	FRONT & LAMBERT TON OF SHAPLE T11 - HONEY
B	SEMI-MATTE GREY - PEARLE BRUSH	G	FRONT & LAMBERT TON OF SHAPLE T11 - HONEY
C	SEMI-MATTE GREY - MATE GLOSS	H	SEMI-MATTE OP-205 CHOCOLATE NEUT
BUILDING 2		BUILDING 6	
D	SEMI-MATTE GREY - POLYURETHANE FINISH	J	SEMI-MATTE GREY - COOL
BUILDING 3			
E	SEMI-MATTE OP-205 MEDIUM BRUSH		



2 BUILDING 4 ELEVATION - NORTH
SCALE: 1/8"=1'-0"

1 BUILDING 4 ELEVATION - EAST
SCALE: 1/8"=1'-0"

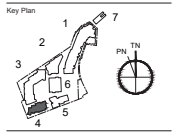
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Revision No.	Description	Date

Issue	Issue Date
Issued for Below Grade BP	Dec. 20th, 2016
Issued for Tender	Jan. 31st, 2017
Addendum # 1	March. 14th, 2017
Re-issued for Below Grade BP	Aug. 18th, 2017
Issued for Building 4 BP	Nov. 23rd, 2017
Issued for Tender Update	Oct. 19th, 2018
Revisions to DWV-Bldg 4-R1	Nov. 26th, 2018
IFC Building 4	Dec. 3rd, 2018
Issued for SI #452	August 24, 2020

Consultant

Project
Sewell's Landing
 6691 Nelson Avenue
 Horseshoe Bay, BC
 For
 HB Nelson LLP

Sheet Title
BUILDING 4 ELEVATIONS

Drawn By	Checked
JR/MC	GB
Project Number	Scale
1504	AS NOTED
Revision	Sheet Number
A	

A4.4.2



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PROPOSED DEVELOPMENT PERMIT MINOR AMENDMENT

21/04/20
 Pg 26

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Proposed connection to Tye Point

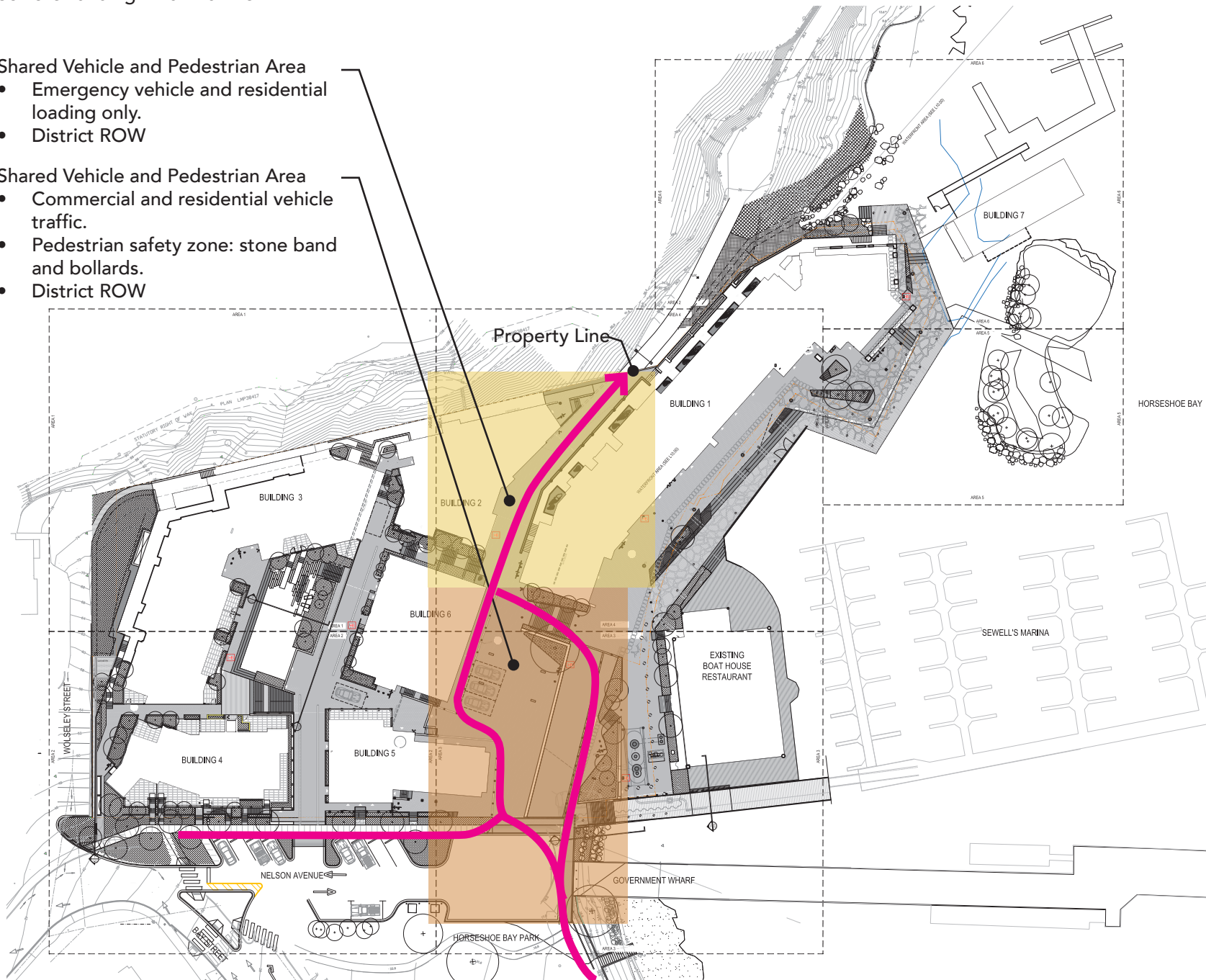
Sewells Landing . 2021-09-23

Shared Vehicle and Pedestrian Area

- Emergency vehicle and residential loading only.
- District ROW

Shared Vehicle and Pedestrian Area

- Commercial and residential vehicle traffic.
- Pedestrian safety zone: stone band and bollards.
- District ROW



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