



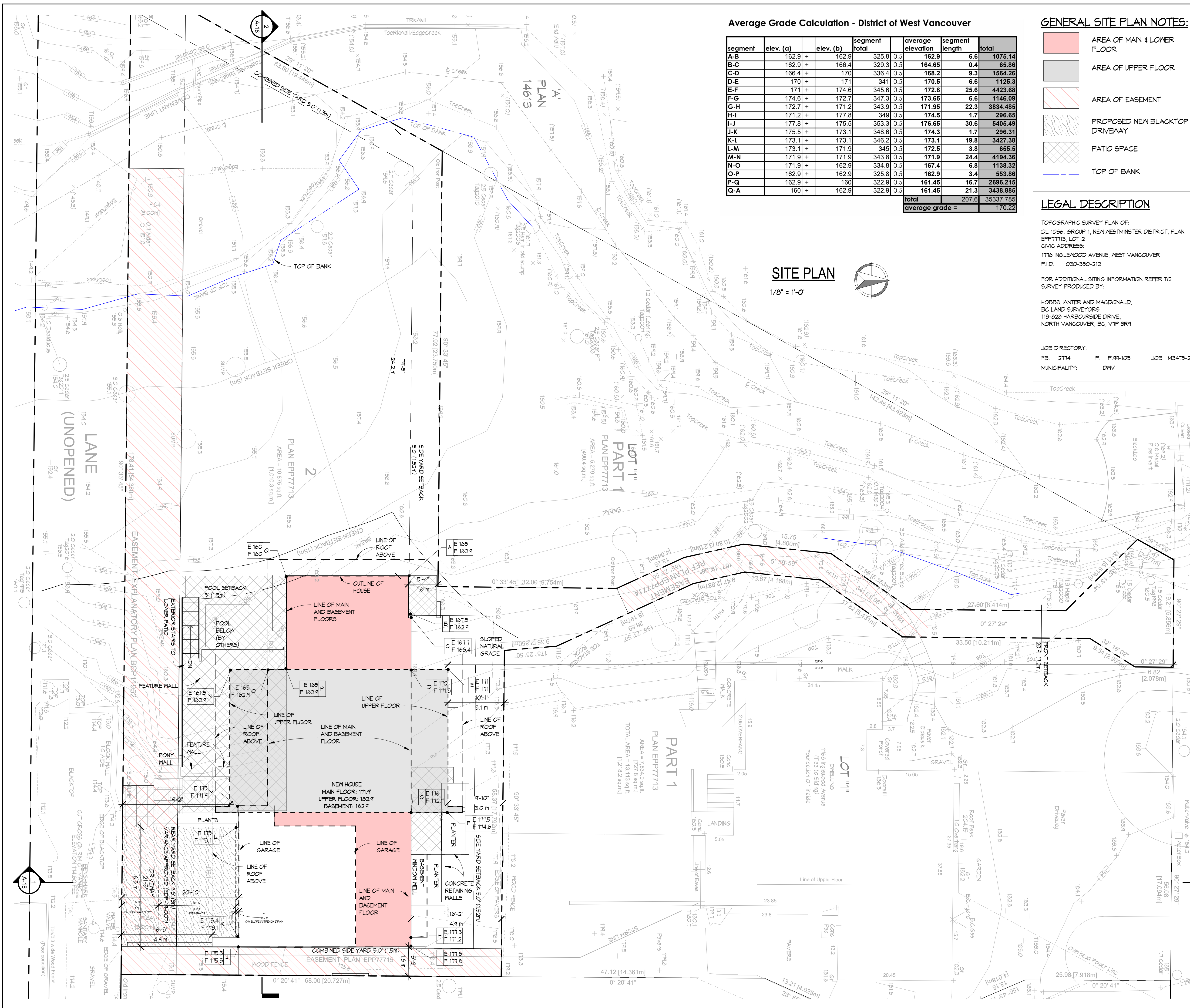
VILLAVICENCIO CUSTOM RESIDENCE

1776 Inglewood Avenue West Vancouver, BC

01.13.2025

**SYN
THE
SIS**
DESIGN

synthesis design inc.
258 east 1st street
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Average Grade Calculation - District of West Vancouver

segment	elev. (a)	elev. (b)	segment total	average elevation	segment length	total	
A-B	162.9	162.9	325.8	0.5	162.9	6.6	1075.14
B-C	162.9	166.4	329.3	0.5	164.65	4.4	65.86
C-D	166.4	170	336.4	0.5	168.2	9.3	1564.26
D-E	170	171	341	0.5	170.5	6.6	1125.3
E-F	171	174.6	345.6	0.5	172.8	25.6	4423.68
F-G	174.6	172.7	347.3	0.5	173.65	6.6	1146.09
G-H	172.7	171.2	343.9	0.5	171.95	22.3	3834.485
H-I	171.2	177.8	349	0.5	174.5	1.7	296.65
I-J	177.8	175.5	353.3	0.5	176.65	30.6	5405.49
J-K	175.5	173.1	348.6	0.5	174.3	1.7	296.31
K-L	173.1	173.1	346.2	0.5	173.1	19.8	3427.38
L-M	173.1	171.9	345	0.5	172.5	3.8	655.5
M-N	171.9	171.9	343.8	0.5	171.9	24.4	4194.36
N-O	171.9	162.9	334.8	0.5	167.4	6.8	1138.32
O-P	162.9	162.9	325.8	0.5	162.9	3.4	553.86
P-Q	162.9	160	322.9	0.5	161.45	16.7	2696.215
Q-A	160	162.9	322.9	0.5	161.45	21.3	3438.885
total							207.6
average grade =							170.22

GENERAL SITE PLAN NOTES:

- AREA OF MAIN & LOWER FLOOR
- AREA OF UPPER FLOOR
- AREA OF EASEMENT
- PROPOSED NEW BLACKTOP DRIVEWAY
- PATIO SPACE
- TOP OF BANK

LEGAL DESCRIPTION

TOPOGRAPHIC SURVEY PLAN OF:
DL 1056, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN EPP11713, LOT 2
CIVIC ADDRESS:
1776 INGLEWOOD AVENUE, WEST VANCOUVER
P.I.D. 030-350-212

FOR ADDITIONAL SITING INFORMATION REFER TO SURVEY PROVIDED BY:
HOBBS, WINTER & MACDONALD, BC LAND SURVEYORS
119-828 HARBOURSIDE DRIVE, NORTH VANCOUVER, BC, V7P 3R9

JOB DIRECTORY:
FB. 2714 P. P.99-105 JOB M3475-25
MUNICIPALITY: DWV

SITE PLAN
1/8" = 1'-0"

SHAPING AND SITING ANALYSIS - RS-5 ZONING

LOT ADDRESS: 1776 Inglewood Avenue, West Vancouver	ALLOWED	EXISTING	PROPOSED	CONFORMS
Minimum Lot Area	5,252.8 sqft (488m ²)	10,874 sqft (1,010.3m ²)	-	Y
Lot Area for Calculation*	-	9,448.6 sqft (877.8m ²)	-	-
Minimum Lot Width	43.6' (13.3m)	-	-	Y
Minimum Lot Depth	4.5 X Site Width	-	-	Y
Minimum Flanking Lot Width	66' (20.1m)	-	-	N/A

Lot Area Dictates Site Coverage	STEPCODE 5	Additional 8% of allowable Site Cov	Lot Area between: 7,147.2 sqft (664m ²) & 9,526 sqft (885m ²)	Lot Area > 9,526 sqft (885m ²)
2,834.6 sqft (263.3m ²)	3,061.3 sqft (284.4m ²)	-	2,614 sqft (242.8m ²)	-
-	-	-	-	N/A
-	-	-	-	N/A

PRINCIPAL BUILDING SETBACK	Front Yard	Side Yard	Rear Yard
STEPCODE 5	24.9' (7.6m)	23.8' (7.2m)	129.7' (39.5m)
Front Yard Reduction of 1'-0" (0.3m)	5.0'	5.0'	5.3'
Yard to "LOT 1"	5.0'	1.52m	1.6m
Considered Side Yard	24.9'	9.1m	-
Rear Yard	28.9'	8.8m	16.2'
STEPCODE 5	28.9'	8.8m	16.2'
Rear Yard Reduction of 1'-0" (0.3m)	5.0'	5.0'	4.9m
East Side Yard to **	5.0'	5.0'	5.2'
STEPCODE 5	4.0'	1.2m	1.6m
East side Reduction of 1'-0" (0.3m)	5.0'	1.52m	-
West Side Yard**	4.0'	1.2m	79.4'
STEPCODE 5	4.0'	1.2m	24.2m
West side Reduction of 1'-0" (0.3m)	9.8'	3.0m	84.6'
Combined Side Yard**	9.8'	3.0m	25.8m

HEIGHT OF BUILDING	Principal Building	Accessory Building
STEPCODE 5	25' (7.62m)	22.8'
Additional 1'-0" (0.3m)	28' (8.52m)	22.8'
STEPCODE 5	22'	23.8'
Additional 1'-0" (0.3m)	23'	23.8'

ACCESSORY BUILDING SETBACK	Rear Yard	From Principal Dwelling***	Left Side Yard***	Right Side Yard***	Combined Side Yard***
STEPCODE 5	5.0'	4' (1.2m)	-	-	-
Additional 1'-0" (0.3m)	5.0'	4' (1.2m)	-	-	-

ACCESSORY BUILDING HEIGHT	Accessory Building
STEPCODE 5	12' (3.7m)

OFF STREET PARKING	Minimum car parking space	FLOOR AREA RATIO	Lot Area > 7,333 sqft (681.3m ²)	Lot Area x 0.30 (Max. 3,153.8 sqft)	HRA Approved area	STEP CODE 5	Allowable FAR exemption of 8%	Lot Area > 4,400 sqft (408.8m ²)	Lot Area x 0.50 max
1	2	1	2,834.6 sqft (263.3m ²)	2,834.6 sqft (263.3m ²)	2,583.3 sqft (239.8m ²)	3,061.3 sqft (284.4m ²)	206.7 sqft (19.2m ²)	4,400 sqft (408.8m ²)	2,200 sqft (204.4m ²)

Basement	Main Floor	Upper Floor	Overhang Overage	Attic	Crawlspace	Garage	Max. exemption
1,508 = 562.45 sqft	1,264.5 sqft	923.5 sqft	9 sqft	N/A	N/A	N/A	N/A
Countable = 1.6 sq.ft (Total 441.6sqft)							

for floor area ratio and site coverage calculations, shall exclude 50% of the total horizontal area within a creek protection area.

TOTAL AREA EXCLUSION: 2,850.75sqft (Creek protection area) - 50% = 1,425.37 sqft

** (1) Dwellings of 1 storey, with or without basement, or 2 storeys, with or without basement, in which the upper storey width is less than 2/3 the minimum main storey width:

- (a) minimum side yard: (i) 1.52 metres
- (b) minimum combined side yard: (i) 20% of site width, but no less than 3 metres or more than 12.1 metres

(2) All other dwellings (i.e. dwellings of 2 storeys, with or without basement, in which the upper storey width is greater than 2/3 the minimum main storey width):

- (a) minimum side yard: (i) 10% of site width, but no less than 1.52 metres or more than 3 metres
- (b) minimum combined side yard: (i) 25% of site width, but no less than 3 metres or more than 18.2 metres

*** (4) No part of an accessory building shall be located less than:

- (a) 4.5 metres from a principal building, with the exception that a single accessory building with a floor area of no more than 4.8 square metres that is otherwise permitted on the site may abut a principal building;
- (b) 3.0 metres from a building containing a detached secondary suite; and (Bylaw #5192)
- (c) 1.2 metres from another accessory building.

Variances approved through HRA No. 4943 include:

- a. 205.12 (Highest Building Face Envelope) from 6.72m to 9.3m.**
- b. Section 205.04 (Site Width) from 15.2m to 5.9m.**
- c. Section 205.08 (Rear Yard) from 9.1m to 3.0m.**

Basement Exemption Calculation
See Sheet A-19 "Code Compliance plans" for basement exemption calculations.

ALL WORK WITHIN STREAMSIDE SETBACK TO BE CONFIRMED WITH ENVIRONMENTAL DEPARTMENT

SUBJECT TO HERITAGE ALTERATION PERMIT (HAP) APPROVAL

ENERGY STEP CODE 5 PURSUED

REVISIONS	#	BY
IFC Changes 07.11.2024	4	AL
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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All dimensions shall be verified on site prior to commencement of work.

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VILLAVENCIO CUSTOM RESIDENCE
1776 Inglewood Avenue
West Vancouver, BC

Drawing Title
SITE PLAN

Date 01.13.2025
Scale 1/8" = 1'-0"
Drawn PCS / AL / DK
Job No. 24005
Sheet **A-1**
Of 19 Sheets

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OUTLINE SPECIFICATIONS

Div. 0 Tender Conditions & Contract Documents

Contract Documents

The Contract Documents refer to:

- The Contract between the Owner and General Contractor.
- Construction Documents (all drawings, specifications and surveys).
- Site Visit and Construction Administration (CA) Forms.
- Consultant's Drawings and Reports.
- SYNTHESIS DESIGN, INC. will not be responsible for any costs incurred to Owner or Contractor through errors or omissions in the Contract Documents after building permit is issued.
- SYNTHESIS DESIGN, INC. will not be responsible for any alterations or changes during the construction process that are not documented in the Contract Documents.

Div. 1 General Requirements

Summary of Work

- The General Contractor, herein referred to as the Contractor, shall provide all labour, products, plants, equipment and materials required to complete the project as described in the Contract Documents.
- The Contractor is to be responsible for all taxes, licenses, bonds, insurance for fire and liability, WCB coverage and all municipal and engineering inspections.
- The building permit shall be posted in a prominent location and the municipally approved drawings protected from the elements and on site at all times.
- The Owner retains the right of access and occupancy during construction and / or prior to final completion but will maintain the Contractor's ability to execute the prescribed work.
- Care must be taken to ensure safety of the public and adjoining properties at all times.

Coordination and Supervision

- HOBBS WINTER MACDONALD (604-986-1371) will be retained as the Surveyors, unless otherwise noted.
- TASH ENGINEERING, LTD. (604-986-2256) will be retained as the Structural Engineers, unless otherwise noted.
- BINDERHOLZ (706-912-4612) will be the Mass timber manufacturer provider & structural engineer consultant, unless otherwise noted.
- PUAR ENGINEERING (604-913-7827) will be retained as the Geotechnical & Civil Engineers, unless otherwise noted.
- CAPITAL HOME ENERGY (604-562-0367) will be the Energy Advisor, unless otherwise noted.
- PAUL INYARI (604-761-5088) will be the envelope engineer, unless otherwise noted.
- DIAMOND HEAD CONSULTING (604-733-4886) will be the Wildlife and Arborist consultants, unless otherwise noted.
- ROK ENVIRONMENTAL INC. (604-987-5588) will be the Environmentalist Consultant, unless otherwise noted.
- DONALD LUTTON & ASSOCIATES (604-685-1216) will be the Heritage Consultant, unless otherwise noted.
- FIRE BUSTERS (604-599-4499) Will be the Fire Sprinkler design and installer, unless otherwise noted.
- All construction, materials and workmanship shall conform to current WCB & BCBC Standards.
- The Contractor shall take adequate and reasonable precautions to protect the public from hazards and dangers arising from all operations.
- The Contractor will ensure that all trades observe all local construction and noise regulations; ensure also that all preceding or adjacent work enables continuation or subsequent trade work can be undertaken properly.
- The Contractor shall distribute all Consultant's reports, drawings, schedules, etc. upon receipt.
- The Contractor shall ensure fulfillment of all requirements within the Consultants' reports, drawings, schedules, etc., and arrange appropriate municipal inspections.

Field Engineering

- The Contractor will verify all grades and property lines as established by the Owner and report any errors or inconsistencies to SYNTHESIS DESIGN, INC. before commencing work.
- The Contractor is to check and verify all dimensions and conditions on the drawings and job site prior to construction and report any discrepancies to SYNTHESIS DESIGN, INC. - written dimensions have precedence over scaled dimensions.

Quality Control

- The Contractor shall arrange all inspections, municipal and provincial, obtain form work and foundation surveys, and advise the Engineers of construction progress, specifically enabling them to view form work 24 hours before pouring concrete.
- The Contractor shall coordinate all storm, sanitary and water main work with the Municipal Works Department, as required by the Municipal Engineering Department.
- The Contractor is required to be licensed by the Homeowner Protection Office and arrange for third-party home warranty insurance on proposed new homes. Coverage includes 2 years on labour and materials (some limits apply), 5 years on the building envelope and 10 years on the structure of the home.
- All materials, species, grades, colours, and finishes are to be approved by SYNTHESIS DESIGN, INC. and / or Owner, with samples to be provided on request, prior to ordering.

Construction Facilities & Temporary Controls

- The Contractor shall provide municipal water and sewer connections as required by the Municipality, as well as temporary water, power, light, heat, telephone, sanitary facilities and first aid as may be required during construction.

Material and Equipment

- The Contractor shall protect all materials, executed work and the site from damage by the elements, the public or any other source and shall repair or replace on item or work so damaged.

Contract Close-Out Procedures

- The Contractor shall maintain a continuously clean work site and provide a final professional clean up of glass, painted surfaces, floors and fixtures. All stains are to be removed and scratched or broken glass replaced.
- All ducts, furnaces and air exchange systems to be professionally cleaned.
- Deficiencies and defects are to be corrected within 30 days of Substantial Performance. Those items incomplete will be undertaken by the Owner with costs deducted from the final payment.
- All bid and construction sets of contract documents are to be returned to SYNTHESIS DESIGN, INC. at completion of work.

Div. 2 Sitemap

Subsurface Investigation

- Standard penetration tests such as drilling and subsurface investigations are the responsibility of the Contractor and are to be carried out by trades experienced in such work.

Demolition

- The Contractor shall remove and dispose of all materials pertaining to the work.
- The Contractor shall remove and store on site any items as indicated by the Owner.
- The Contractor shall ensure that the alteration or removal of existing structures and services will not alter or endanger those to remain which may require shoring, underpinning and / or bracing.
- The job site must be clean and any debris left on site must be placed in locations (as approved by the Owner) to maintain safe conditions for the Owners, Contractor, and Sub Trades.

Site Preparation

- Site preparation, tree cutting, excavation, blasting, rock removal, trenching for services, backfill and rough grade are the responsibility of the Contractor and are to be carried out by trades experienced in such work and performed in a manner that avoids unnecessary loss, damage, or disturbance to the site adjacent.
- No work permitted within the 15m setback. Prior to any work, get approval from SYNTHESIS DESIGN INC., the Environmental consultant and the DW.
- If encroaching the 15m setback, contact the Environmental consultant.
- Materials shall be handled and stored according to local regulations.

Dewatering (if applicable)

- The Contractor will provide trenches, piping and holding ponds necessary to control site drainage during construction.
- The Contractor shall provide concrete sump(s) as required by the Municipal Engineering Department and / or Geotechnical Engineer to deal with existing and added perimeter drainage and rain water run off.

Earthwork

- Contractor to follow municipal regulations for dealing with sediment and erosion (refer to sediment and erosion plan where applicable).
- Excavation for footings is to be at least 18" below grade to solid bearing and remain so until the concrete is in place.
- Unexpected soil conditions are to be reported to the Engineer before start of form work.
- Excavate to required levels for footings and finish grades as required, making allowance for perimeter drains, required form work, wall coatings and thickness of base and surfacing material specified.
- Footings base shall be firm, clean and free of mud and water; rock bases to be washed and dirt free with grouted pins as per Engineer and / or BCBC.
- Excavate to required dimension and pitch of any trenches and pits for all mechanical, plumbing, sewage, electrical, communication and gas services.
- No backfilling shall be done until all form work has been removed, walls coated, and drain lines viewed by the Engineer, and approved by the Municipal Inspector.
- Backfill against cast-in-place concrete only after 14 days with joists in place and coatings dry.
- Backfill material shall be frost free and contain no discarded building or organic material which might deteriorate.
- Provide and place any additional subsoil, fill or gravel required to bring existing grades to finish grades indicated.
- Such material shall be of acceptable low moisture content, applied in 1' (300 mm) layers, and consolidated.

Paving and Surfacing

- Sub grade under paved areas is to be well drained and compacted to 95% standard proctor density.
- Sand bases courses are to be clean and free of deleterious material, and compacted.
- Broom finish surfaces are to be poured as 100 mm (4") reinforced slab or 50 mm (2") topping. Use 10 mm (3/8") maximum round washed aggregate and distribute evenly. Retardant and / or water wash, as required.

Landscaping

- Finished landscaping - including screened top soil, sod, and plants - are not included in contract.
- All finished landscape work to be coordinated by the Owner following the completion of the job and final grading.
- Existing plants and topsoil are to be stripped from the construction area, stored in an Owner approved protected area.
- All trees and shrubs outside the essential excavation shall be preserved and protected against damage.

Div. 3 Concrete

Form work

- Form work shall be constructed to dimension and profiles shown, properly braced to maintain position and shape during and after pour to prevent leakage of concrete.
- Provide insulated Concrete Forms (ICF) as per manufacturer specification. Contact Joey Fearn at Vancouver ICF (604)229-9829
- Allow through wall blocking for electric wiring, drainage, piping, vents, grilles and beam pockets.
- Forms shall be moistened just prior to concrete pour.
- Maximum deflection permitted: 1/2 mm (1/4") for columns, or as per Engineer.
- COMSLAB, Metal composite concrete slab system, as per manufacturer and P.ENG specifications. Suitably qualified personal shall install COMSLAB floor components.

Concrete Reinforcement

- Reinforcing steel shall comply with CSA specifications for intermediate grade (40) bars. All bars shall be deformed according to ASTM A305.
- All reinforcing steel shall be firmly positioned and secured against displacement, by chairs, spacers and hangers.

Cast-in-place Concrete

- Standard concrete shall be machine mixed from clean and properly graded aggregates, clean water and Portland Cement, and shall have a strength of 28 days of 21 MPa (3000 psi) min. for reinforced concrete, or as per Engineer.
- Concrete shall be deposited, vibrated and compacted so as to prevent honeycombing or segregation.
- Plain and reinforced cast in place concrete for foundations and building structure shall conform to CAN3-A23.1 & A23.3.
- Top of slabs to be true and level surface; grouting as required.
- Garage concrete slab at entry to be thickened to 18" below grade.
- Foot footings are required as per Structural Engineer.
- Provide concrete spread footings under all load bearing walls, as per the Structural Engineer.
- Coordinate work of other trades in placing of sleeves and services in slabs or foundations.
- Notice shall be given prior to the pouring of slabs to allow trades to position their work.
- Lay concrete slabs, reinforced as shown, with necessary expansion and control joints, screed to level surface.
- Thoroughly float before final set, steel trowel to a hard, smooth finish. (Do not dust with cement before troweling).

Concrete Accessories (as per Structural Engineer)

- Embed 1/2" anchor bolts for sills at 12M, 4'-0" O.C., unless noted, minimum two bolts per straight plate length.
- Anchor posts to footings to resist uplift, as per the Structural Engineer.
- Other concrete reinforcing, dowels, shoes and connections for columns etc. shall be supplied and installed as detailed.

Concrete Curing

- Ensure that weather conditions will not alter concrete mixture or curing.
- All concrete shall be left in forms for three days and kept moist for seven days.

Polished Concrete

- Concrete mix must allow for polishing, polish as per manufacturer's specifications.

Div. 4 Masonry

N/A

Div. 5 Metals

Structural Steel

- All nails, spikes, screws, bolts, plates, fasteners, and brackets to be in accordance with BCBC.
- All hangers and sockets to be in accordance with the intended load.
- Shop drawings are to be submitted for all metal work and other specified work upon request of SYNTHESIS DESIGN, INC.
- Structural hardware to be shop primed or not dipped if in contact with water.
- All joint metal work to be coated with rust proof paint or powder coating.
- See Structural Drawings for steel beam sizes and details, if necessary.

Fabricated Metal & Aluminium Rails

- Supply and install 42" high semi-frame tempered glass railings as per manufacturer specifications. (see drawings for locations).
- Exterior guard rails to be minimum 42" - Refer to BCBC 9.8.8.3.
- Guards protecting a level located more than 4.2 m above the adjacent level shall be designed so that no member, attachment or opening located between 140 mm and 900 mm above the level protected by the guard facilitates climbing. (See Note A-9.8.8.6.(1)).
- Provide railings / guards for exterior decks, as per structural.
- Guard rails to be minimum 42" exterior (where the walking surface served by the guard is more than 6 feet above the finished ground level) & 36" interior.
- Guard rails to be minimum 36" exterior (where the walking surface served by the guard is not more than 6 feet above the finished ground level). Refer to BCBC 9.8.8.3.
- Face mounted metal and glass guard rail, manufacturer to provide engineer's Schedule B.

Div. 6 Woods & Plastics

Rough Carpentry

- The Contractor shall provide lumber, plywood, fasteners etc. for framing and coordination of work of other trades.
- Techniques, fastening, blocking, fire stops, bracing and sheathing to BCBC Residential Standards.
- All lumber to be SPT and all sheathing shall be plywood - grades shall conform to BCBC and local codes.
- Supporting wood posts to be 6x6 minimum as per Structural Engineer.
- Exposed wood columns shall have concealed knife blade style post base connectors as per Structural Engineer.
- Exposed wood beams shall be connected to columns with internal connectors provided by BINDERHOLZ, as per Structural Engineer.
- Twisted, misaligned or structurally inadequate framing members to be replaced prior to finish as per Engineer.
- Provide blocking, backing and bracing for doors, stairs, railings, cabinets, pedestal sinks, wall fittings and attachments.
- Provide 1" plywood treats on all interior stair cases - stairs, guards and handrails to comply with BCBC #3.3.11.5 & 9.8
- Primary stair minimum width to be 34", the sum of two stair risers and one run shall not be less than 22" and not more than 28".
- Stair handrails to be located between 34" & 38" above the nosing of each tread.
- Stairs 43" in width or greater require two handrails as per BCBC #9.8.7.1.

Glue-Laminated Structural Units (GLULAM)

- Provided as per manufacturer BINDERHOLZ Structural Design.
- Manufacturer to note placement of skylights, floor drains, bulkheads, coffers and peaks prior to manufacturing.
- Layout to be confirmed by SYNTHESIS DESIGN, INC. and Owner prior to ordering.

Manufactured Cross-Laminated Timber (CLT)

- Provide as per manufacturer BINDERHOLZ Structural Design.
- Manufacturer to note placement of skylights, floor drains, bulkheads, coffers and peaks prior to manufacturing.
- Layout to be confirmed by SYNTHESIS DESIGN, INC. and Owner prior to ordering.

Finish Carpentry - As per Owner

- Provide Micro CLT as per Owner, Corfirm location by SYNTHESIS DESIGN, INC. and Owner prior to ordering.

Milwork - As per Interior Design Specifications

- Provide kitchen cabinets, built in units, washroom vanities as indicated on drawings.
- All cabinets to be approved by SYNTHESIS DESIGN, INC. and / or Owner and installed in a professional manner.
- Do not deliver, store, or install finish cabinets or trim until building is fully enclosed, heated, and lockable.
- Coordinate work of kitchen, bathroom and storage cabinets / organizers with related trade.

Counter Tops - As per Interior Design Specifications

- All counter tops and backsplashes to be approved by Owner and installed in a professional manner.

Wood Treatment

- Any lumber likely to come into contact with water shall be pressure treated with approved preservative and bear on railed foam gasket.
- Protect exposed beams and structural elements from water damage; clean or replace as per BINDERHOLZ recommendation.
- Provide treated studs c/w 0.5" of space when turning out concrete in Basement, if applicable.
- Provide treated sleepers when adding sub floor systems in Basements and crawlspaces, if applicable.

Div. 7 Thermal & Moisture Protection

Waterproofing

- Minimum slope of decks over living spaces is to be 1/4"12".
- Ensure that decks (not over living space), concrete patios, walkways and driveways have positive slopes of 1/8"12".
- Ceramic / slate tile or equivalent required to bathroom floors, As per interior design specifications.
- Allow for parapet walls surrounding the decks/balconies to drain out through a scupper and as per refer recommendation.

Damp Proofing

- Apply water based primer and peel and stick waterproof membrane under dimpled membrane (Delta MS or equivalent, as per manufacturer's specifications) to perimeter foundation to line established on site; not to exceed height of final ground level; ensure all holes are plugged, patched and cured prior to application of coatings; coat top of footings and apply to manufacturer's specifications; remove excess and smears.
- Provide rigid foam gaskets between wood sill plates and concrete sills.
- Provide 4" diameter PVC drain tile around perimeter of concrete strip footings (c/w 6" drain rock above) to tie into existing perimeter drain tile system.

Insulation

- Thermal insulation located and sized as per drawings; use mineral wool batts for walls and floors as per local municipal codes; rigid polystyrene rated at 5psi/rch for foundation, slabs and roof deck applications (ensure foamed plastic insulation receives protection).
- Provide 5" of rigid XPS insulation on exterior wall assembly as per Energy Advisors recommendations.
- Provide 5" of rigid XPS insulation on roof assemblies. As per Energy Advisor recommendations.
- Provide continuous fully coated 6 mil U.V. vapour barrier around entire building envelope, including below all concrete slabs as per BCBC #9.25.4.
- Interior heated concrete slabs on grade to receive 2.5" rigid Styrofoam SM insulation around edge of slab - 20" vertical or horizontal from bottom edge of slab.
- Provide minimum 2.5" clearance between roof sheathing and insulation BCBC #9.19.1.3.
- Ensure no air gap between the CLT and the Rigid XPS insulation.
- Spray applied polyurethane insulation shall be installed in accordance with CAN/ULC-S705.2, "Thermal Insulation - Spray-Applied Rigid Polyurethane Foam, Medium Density, Installers Responsibilities - Specification as per BCBC # 9.25.2.5. See drawings for locations.

1. Vaulted Ceiling:

-N/A

2. Attic Space:

-N/A

3. Crawlspace:

-N/A

4. New Exterior Walls:

- All exterior 2x6 wood framed walls are to receive R-24 insulation and 3" of rigid XPS insulation on the exterior. (XPS Thickness and assembly as per Energy Advisor)

5. Suspended Floors:

- Suspended floors As per structural Engineer are to receive rigid insulation As per Energy Advisor recommendations.

6. Renovation of Existing Walls:

-N/A

7. Acoustic Insulation:

- Supply and install acoustic batt insulation (Rockwool® / or equivalent) as per manufacturer's specifications, locations as indicated on drawings, 3 1/2" for 2x4 walls, 5 1/2" for 2x6 walls and ceilings.
- Supply and install acoustic floorboard insulation as underlayment of finish floor over internal floor CLT. 45mm FERMACELL 2E35 , install as per manufacturer.

Membrane Roofing

- All membrane roofing to be installed over approved roofing underlayment, in a professional manner, by an established, licensed, bonded, and insured (including WCB) roofing contractor.
- Contractor to ensure that roofing contractor will provide Owner with copies of all warranties, including: 1) Manufacturer's Material; 2) Roofing Contractor's Labour; and 3) Third Party Association Guarantee.
- Flat roofs to have a minimum positive slope of 1:50 or to manufacturer's specifications.
- Flat roofs to be 20 year, black, TORCH-ON installed with positive slope and to manufacturer's specifications.

Soffits

- Use the underside of the CLT panels as soffit, protected and treated.

Cladding and Siding

- Provide High pressure laminate panels (KRONOSPAN® / or equivalent) c/w 1/2" reveal as per manufacturer's specifications. See drawings for locations.
- Provide natural look composite vertical lap siding (NEUTECHWOOD® / or equivalent) as per manufacturer's specifications. See drawings for locations.
- Caulk ungrouted seams and openings with appropriate coloured latex or silicone.
- Provide 8" clearance between grade and siding.

Rain Screen

- Provide approved rain screen assembly for all new cladding applications (see drawings for details). Confirm assemblies with municipal regulations. Use KRONOSPAN®&NEUTECHWOOD® rain screen clips as per manufacturer.

Exterior Trim

- Warp fascia and gutter with Anodized Aluminum heavy gauge, to be finished to match dark KRONOSPAN COLOR, as per Owner

Flashing and Sheet Metal

- Provide continuous flashing; at all edges for wind and watertight installation; over all exterior windows and doors and at all horizontal intersections of differing cladding materials.
- All roof flashings, caps and fittings to match colour of roofing as close as possible.

Roof Specialties and Accessories

- All new gutters are to match Aluminum fascias c/w screened rain water leaders unless noted. Locations to be confirmed by Owner.
- Skylights and flashing kits to be VELUX (or equivalent), double glazed, unless noted.
- All skylights to be tempered glass as per municipal requirements and conform to BCBC #9.7.2. (1) & (2).
- All new skylights to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1).
- Ensure that tempered glass displays manufacturer's authentication markings.

Div. 8 Doors, Windows, Glazing & Mirrors

Doors

- Before the door order is placed, the Contractor is to measure on site to confirm whether or not any proposed openings require a custom sized door.
- Ensure that every door has 2.5" minimum of framing material around the entire door jamb as per E2 CONCEPT manufacturer specifications.
- All exterior doors to have solid blocking (vertical and horizontal), for two stud spaces, both sides at locking height so that the jambs will resist spreading by force. In the case where its mounted against glazing post then refer as per MANUFACTURER specifications.
- All exterior wood doors to be paint grade solid core c/w weather stripping.
- All overhead garage doors to be insulated metal c/w tempered frosted glass panels and remove 1/2 hp LIFTMASTER opener - Owner to provide.
- All interior doors to be paint grade, solid core (E2 CONCEPT, or similar) Sliding, pocket and Pivot doors, refer to plans and schedule, Style as per owner.
- Contractor to install Owner supplied hardware (including astragals and hinges) for all exterior and interior doors, including: dead bolts with a cylinder not having less than 5 pins and a bolt throw not less than 25 mm operable from the interior without the use of keys; strike plates fastened to wood frames with wood screws providing a minimum 25 mm penetration into wood studs on all exterior swinging doors, and locking passage sets on interior bathroom doors.
- Operable glass wall systems to be wood finish supplied by Nanoflak Systems, (604) 897-8444. Contact Stewart at stewartn@nanoflak.com Or similar as per owner.
- Door viewer required on solid front doors with a viewing angle not less than 160 degrees.
- Non-removable pin (NRP) hinges required for out swing doors as per BCBC #9.75.2.
- Glazing in all eaded doors to be tempered and double glazed (exterior doors only) as per municipal codes, in all sliding, glass paneled and French style doors - ensure that tempered glass displays manufacturer's authentications.
- Any door connecting the Garage with living spaces is to be solid core (45min. fire rating) and insulated c/w weather stripping and self close as per BCBC #9.10.13.15.
- Furnace/Utility room doors to be 2"-8" minimum as per BCBC #9.55.1.
- All new exterior doors to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1).
- See "Door Schedule" on drawings.

Windows

- Contractor is not to order windows until all rough openings are approved by SYNTHESIS DESIGN, INC. and Owner.
 - Final style, colour and material of windows are to be approved by SYNTHESIS DESIGN, INC. and Owner.
 - All wood windows shall be stain grade, to match glulam and CLT finish, double glazed with double thermal break or as per municipal codes unless noted.
 - Glazing to be float in windows, with oversized windows to conform to BCBC #9.7.3.2. - provide manufacturer's specifications.
 - Glass slide lights, windows within 3'-0" of an exterior door lock and windows less than 8" from the floor shall be tempered.
 - The bottom of an operable window in a bedroom is not to exceed 4'-11" above the floor, and have a minimum opening dimension 15" with an area of 3.75 s.f. (supplier to ensure that windows meet BCBC egress requirements).
 - Window wells are to be 30" minimum width when required as bedroom egress as per BCBC # 9.9.5.5.
 - Windows in walls enclosing shower and tub must be tempered and waterproofed if located at or below the waterproof wall finish height (16" min above bathtubs not equipped with showers, 47" above bathtubs equipped with showers, 71" above the floor in shower stalls), as per BCBC 9.29.2.1.
 - All new windows to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1).
 - See Window Schedule on drawings.
- #### Glazing & Mirrors - Refer to Interior Design specifications
- All mirrors to be approved by Owner and to be installed by a qualified glazier.
 - Glass doors and partitions around showers are to be tempered glass.

Div. 9 Finishes (As per Interior Design Specifications)

Gypsum Board

- GWB to walls to be 1/2" (screwed to walls) and installed in a professional manner with a minimum of 3 coats of mud.
- Ceramic/slate tile flooring to be set on minimum 125 (3/4" x 1/2") 1/2" drywall subfloor c/w thin set base, unless noted.
- 5/8" or C.D. 1/2" drywall required to COMSLAB ceiling, as per manufacturer installation guidelines.

Tile - As Per Interior Design Specifications

- All ceramic/slate tiles to be approved by Owner and installed in a professional manner.
- Ceramic/slate tile flooring to be set on minimum 125 (3/4" x 1/2") 1/2" drywood subfloor c/w thin set base, unless noted.
- Ceramic tile wall and shower surrounds to be mounted on 1/2" Dens Shield Tile Backer, or equivalent.

Wood Flooring - As Per Interior Design Specifications

- Supply and install hardwood or engineered hardwood flooring. See drawings for locations. Finish as per owner.

Painting - As Per Interior Design Specifications

- All interior walls to be BLENDED MOORE (or equal) - colours as per Owner and applied in a professional manner.
- All interior walls to have one primer coat and two finish coats of egg shell latex - provide water-based enamel in Kitchens, Bathrooms and Laundry Rooms.
- All pre-primed interior doors to have two finish coats of semi gloss latex. As per owner, if applicable.

Wall Coverings - As Per Interior Design Specifications

- All wall coverings to be approved by SYNTHESIS DESIGN, INC. and Owner and installed in a professional manner.
- Micro CLT finish to be used instead of GWB. Manufacturer, Finish material and Stain as per Owner

Div. 10 Specialties

Fireplaces and Stoves - As Per Interior Design Specifications

- Supply and install gas fireplace c/w thermostat and trim - See drawings for specifications.
- Manufactured gas fireplace to conform to #9.22.8 of NEC and to be installed in accordance with manufacturer's installation instructions and CAN / ULC S 610 standard for factory-built fireplaces.
- Mount height and width to conform with fire place unit's installation instructions.
- Maintain minimum 2" clearance between metal flue and combustible framing.
- Provide 1/2" fire cement board as protection under non-combustible hearth finish.
- Exhaust location to be straight out the back of the fireplace, To be confirmed on site by contractor and owner.

Postal Specialties

- Contractor to install Owner supplied mail box beside front door, or by Inglewood Street. Install Owner supplied address numbers to be mounted on wall between the garage door and main entrance.

Storage Shelving - As Per Interior Design Specifications

- All shelving as per closet organizer supplier and owner.

Wardrobe and Closet Specialties - As Per Interior Design Specifications

- All shelving as per closet organizer supplier and owner.

Div. 11 Equipment

Appliances - As Per Owner

- Allow for Owner supplied kitchen appliances.
- Provide required ducting for range hood vents and dryers where necessary.

Div. 12 Furnishings

Book Shelves - Refer to Interior Design specifications

- All book shelves to be approved by SYNTHESIS DESIGN, INC and Owner and installed in a professional manner.

Div. 14 Plumbing

Water Supply & Drainage Waste

- Supply and install PEX tubing for water supply as required.
- Supply and install copper water supply piping between Utility Room and roof for connection to future rooftop solar collector. Routes and location to be determined by mechanical contractor and to be approved by Owner.
- Supply and install copper water supply piping to Owner supplied Refrigerator in Kitchen.

REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		
Main Floor Kitchen Re-layout	5	AL
07.09.2024		

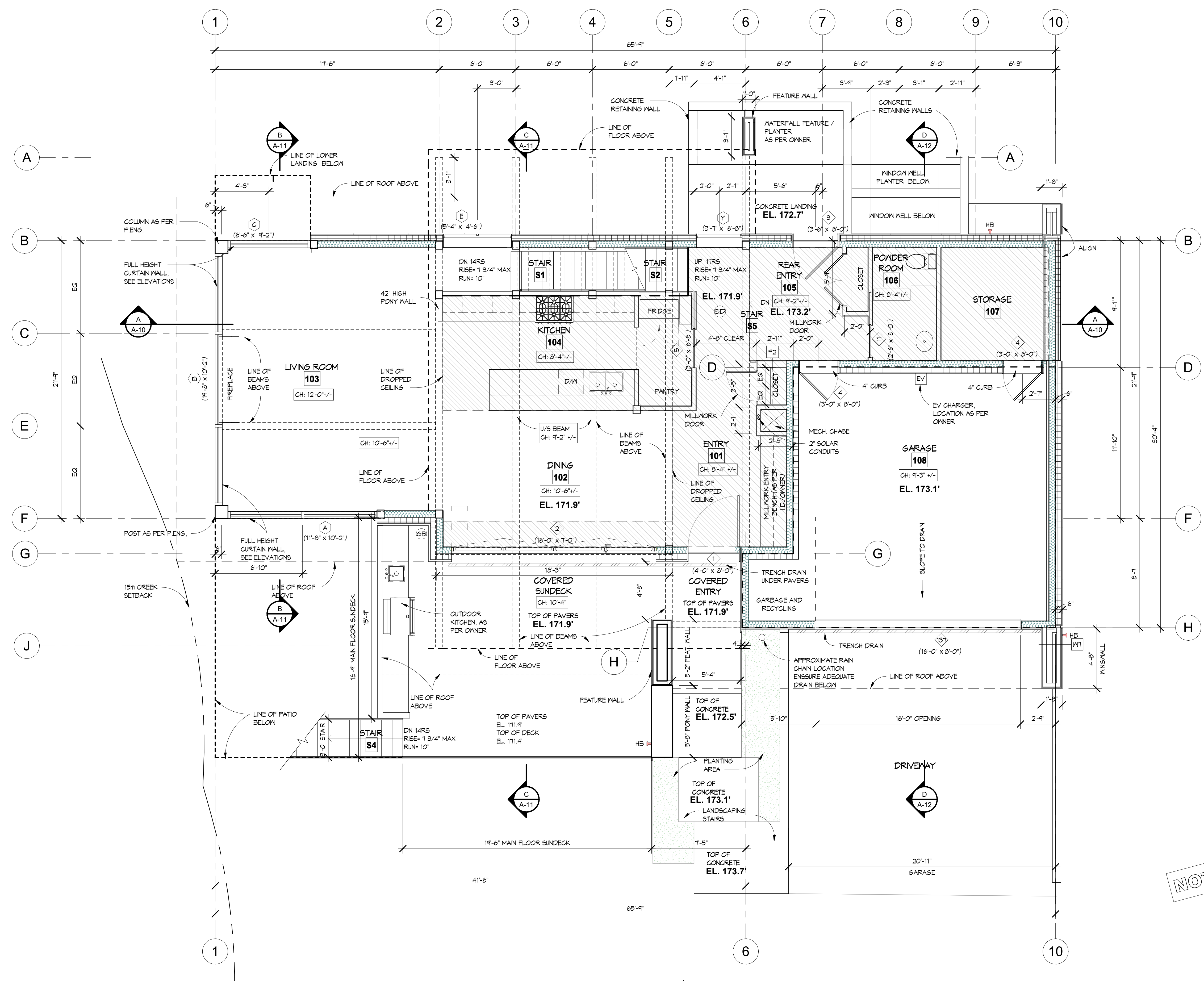
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LEGEND

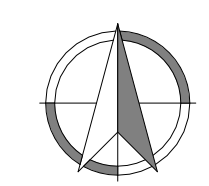
- NEW INTERIOR WALL
- NEW INSULATED INTERIOR WALL
- NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION
- NEW DOOR
- NEW WINDOW
- NEW POST
- GAS BIBB
- HOSE BIBB
- SMOKE / CO ALARM
- INDICATES CEILING HEIGHT
- ELECTRIC VEHICLE CHARGING STATION
- GLULAM BEAMS ABOVE
- BULKHEAD / DROPPED CEILING

NOTES:

- ALL DOOR HEADER HEIGHTS ON MAIN FLOOR TO BE 8'-0", EXCEPT DOOR '2' TO BE 7'-0", DOOR '9' TO BE 8'-2" AND DOOR '10' TO BE 4'-8"
- ALL WINDOW HEADER HEIGHTS ON MAIN FLOOR TO BE 8'-0", EXCEPT WINDOWS 'A', 'B', AND 'C' TO BE 9'-2"
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION

NOT FOR CONSTRUCTION

MAIN FLOOR PLAN
1/4" = 1'-0"



Drawing Title
MAIN FLOOR PLAN

Date 01.13.2025

Scale 1/4" = 1'-0"

Drawn PGS / AL / DK

Job No. 24005

Sheet **A-3**

Of 19 Sheets

REVISIONS	#	BY
Upper Floor Bathroom and Dropped Ceiling Layout	2	AL
06.27.2024		
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

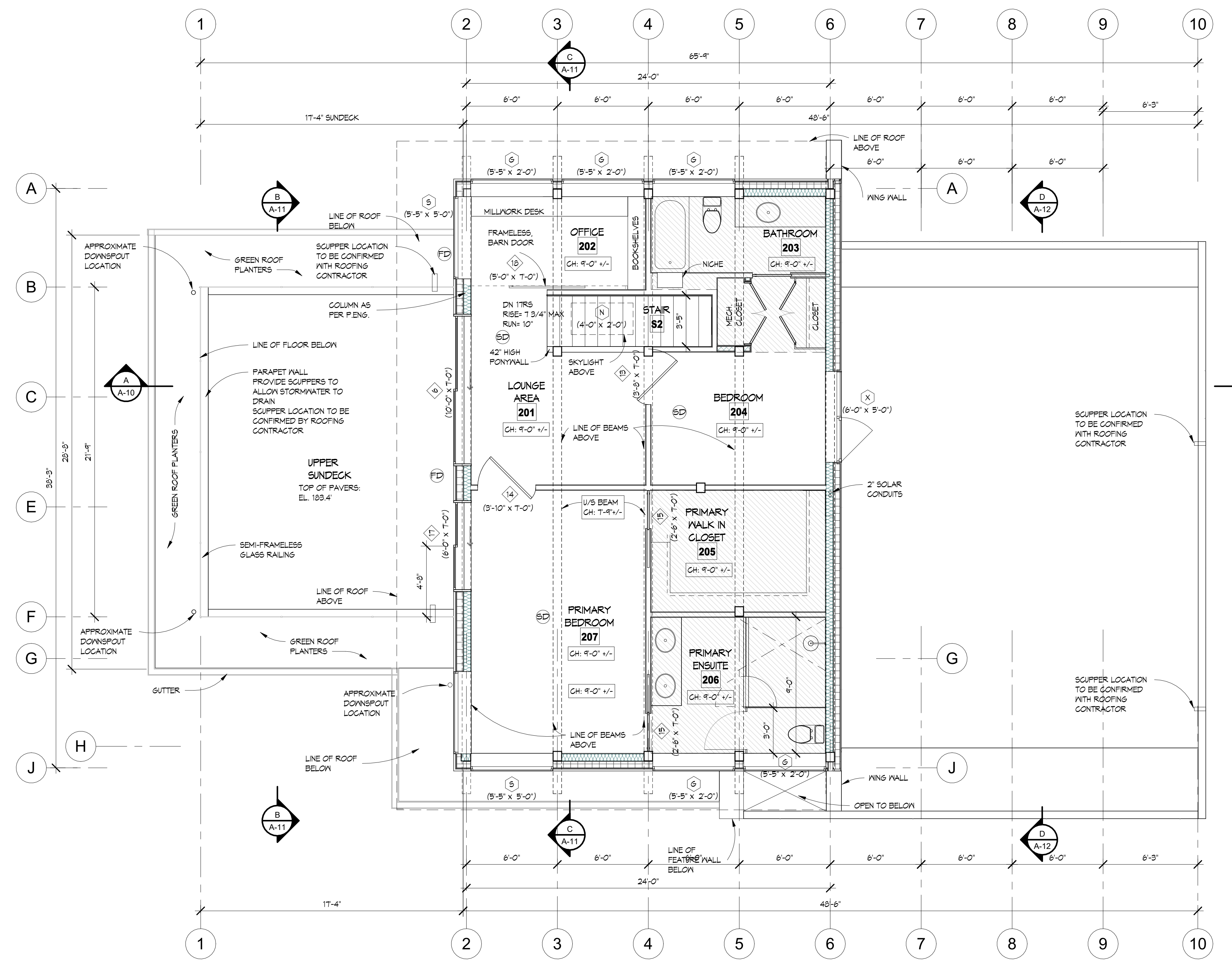
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LEGEND

- NEW INTERIOR WALL
- NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION
- NEW DOOR
- NEW WINDOW
- NEW POST
- C.H.: INDICATES CEILING HEIGHT
- SMOKE / CO ALARM
- FLOOR DRAINS AS PER ROOFING CONTRACTOR
- GLULAM BEAMS ABOVE
- BULKHEAD / DROPPED CEILING

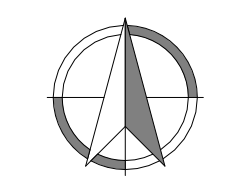
NOTES:

- ALL INTERIOR DOOR HEADER HEIGHTS ON UPPER FLOOR TO BE T-0"
- ALL EXTERIOR DOOR HEADER HEIGHTS ON UPPER FLOOR TO BE T-6"
- ALL WINDOW HEADER HEIGHTS ON UPPER FLOOR TO BE T-6", EXCEPT 2 LOWER WINDOWS 'G' ON GRID 10 TO BE 3'-0" AND 5'-0" RESPECTIVELY.
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION

NOT FOR CONSTRUCTION

UPPER FLOOR PLAN

1/4" = 1'-0"

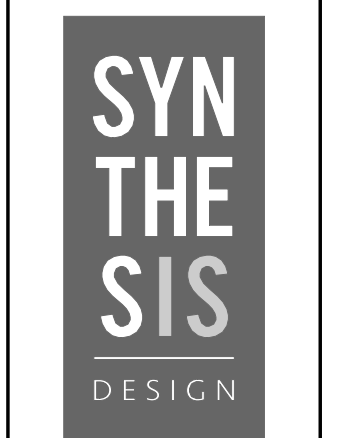


Drawing Title	UPPER FLOOR PLAN
Date	01.13.2025
Scale	1/4" = 1'-0"
Drawn	PGS / AL / DK
Job No.	24005
Sheet	A-4
Of	19 Sheets

REVISIONS	#	BY
Basement Floor Re-layout	1	PGS
06.18.2024		
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		

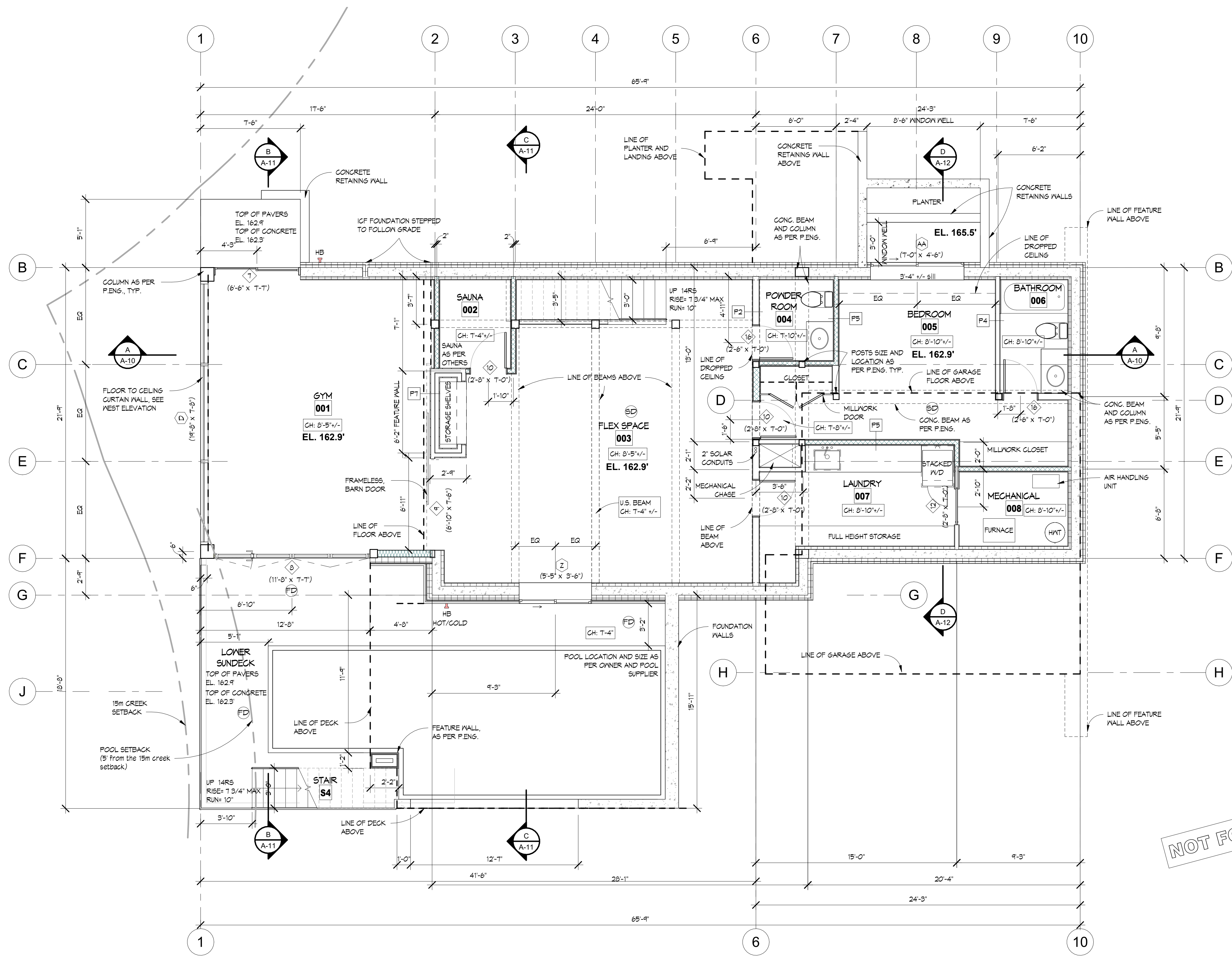
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LEGEND

- NEW INTERIOR WALL
- NEW ACOUSTIC INSULATION IN INTERIOR WALL
- NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION
- NEW ICF FOUNDATION WALL
- NEW DOOR
- NEW WINDOW
- NEW POST
- INDICATES CEILING HEIGHT
- CEILING HEIGHT OVER 14'-4"
- SMOKE/CO ALARM
- GLULAM BEAMS ABOVE

NOTES:

- ALL DOOR HEIGHTS ON LOWER FLOOR TO BE 7'-0", EXCEPT DOORS '1' & '3' TO BE 7'-7"
- WINDOW 'J' TO HAVE HEADER HEIGHT OF 7'-0" AND WINDOW 'D' TO HAVE HEADER HEIGHT OF 7'-8" +/-
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION

NOT FOR CONSTRUCTION

BASEMENT PLAN
1/4" = 1'-0"

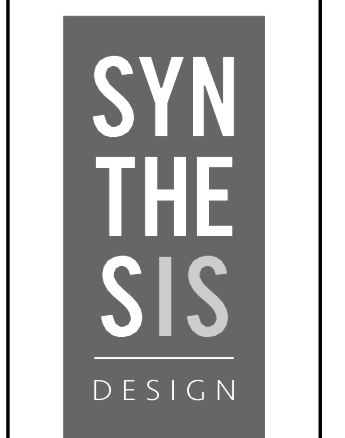
Drawing Title
BASEMENT PLAN

Date 01.13.2025
Scale 1/4" = 1'-0"
Drawn PGS / AL / DK
Job No. 24005
Sheet **A-5**

REVISIONS	#	BY
Structural Changes	3	AL
IFC Changes	4	AL

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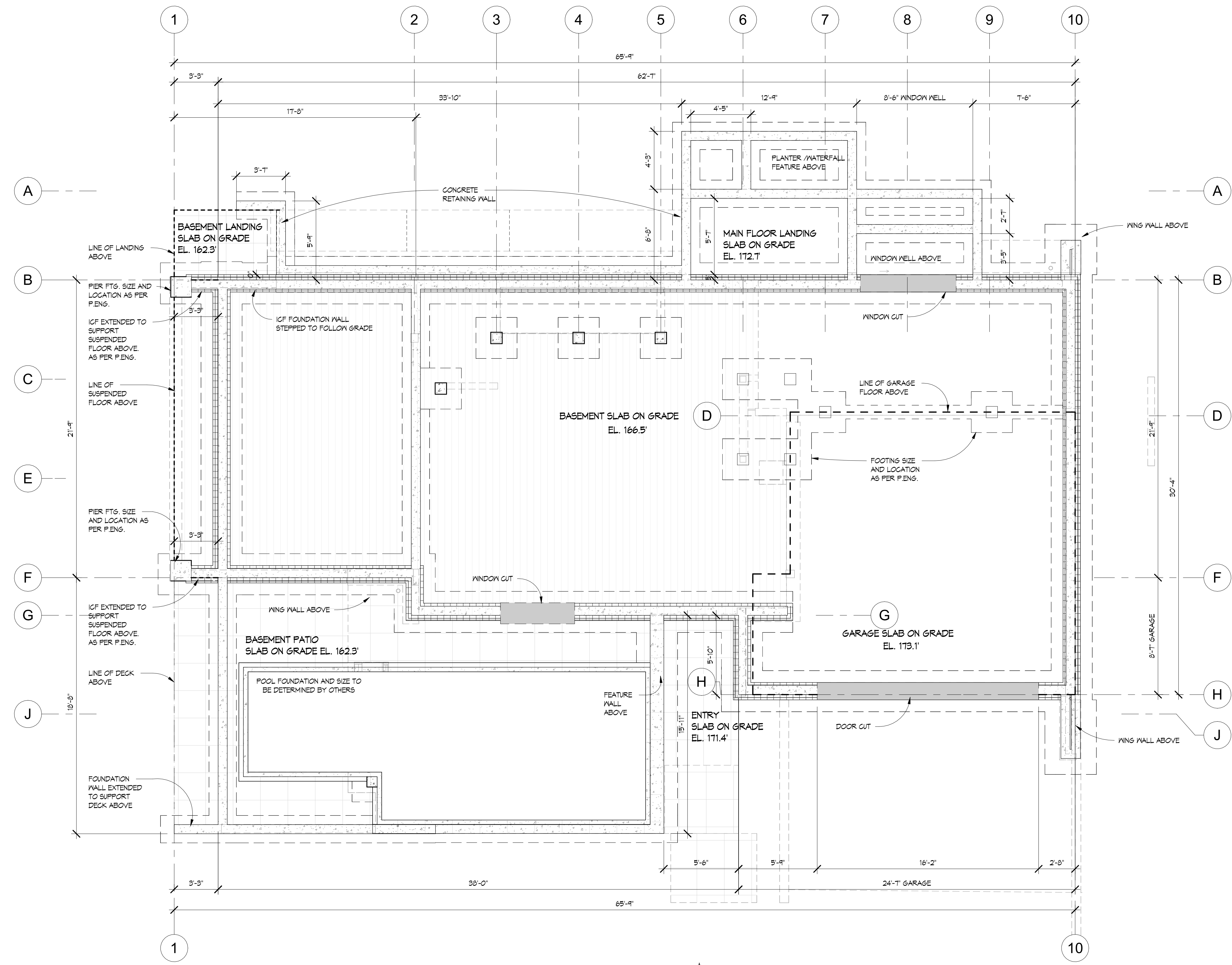


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Drawing Title
FOUNDATION PLAN

Date 01.13.2025
Scale 1/4" = 1'-0"
Drawn PGS / AL / DK
Job No. 24005
Sheet **A-6**



LEGEND

- ICF FOUNDATION WALL
- FOOTING
- PIER FOOTING

FOUNDATION NOTES:

- FOUNDATION PLAN FOR LOCATION ONLY. FOR ALL TECHNICAL INFORMATION REFER TO STRUCTURAL ENGINEER DRAWINGS.
- ALL SLAB ON GRADE ELEVATIONS TO BE MEASURED TO THE TOP OF CONCRETE.

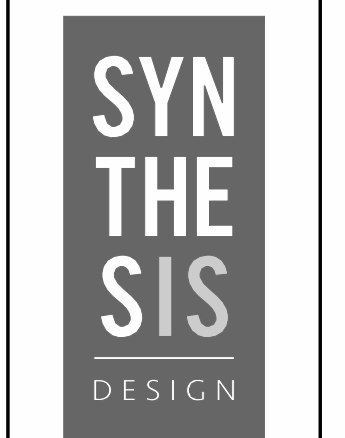
FOUNDATION PLAN
1/4" = 1'-0"



REVISIONS	#	BY
Structural Changes 06.27.2024	3	AL
IFC Changes 07.11.2024	4	AL
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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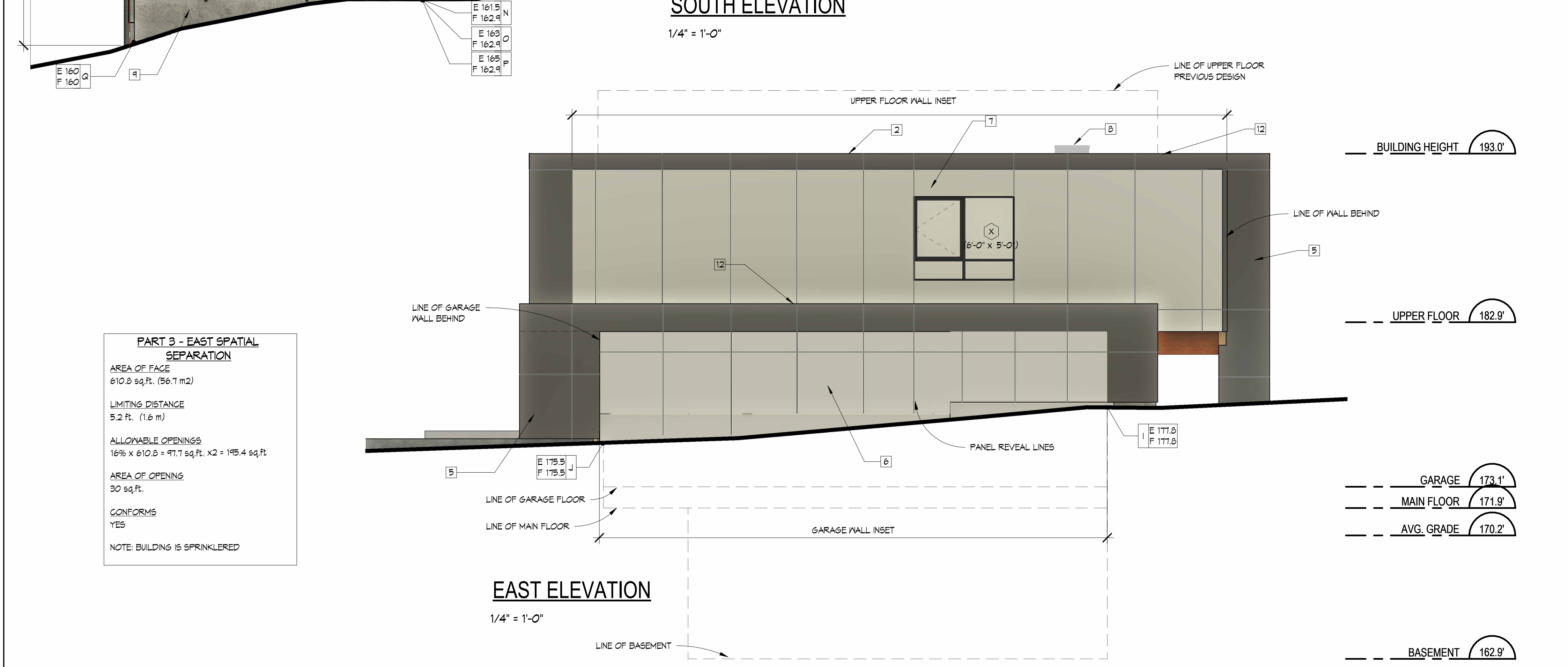
VILLAVENCIO CUSTOM RESIDENCE
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West Vancouver, BC

Drawing Title
SOUTH AND EAST ELEVATIONS

Date 01.13.2025
Scale As indicated
Drawn PGS / AL / DK
Job No. 24005
Sheet **A-8**
Of 19 Sheets



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

PART 3 - EAST SPATIAL SEPARATION

AREA OF FACE
610.8 sq.ft. (56.7 m²)

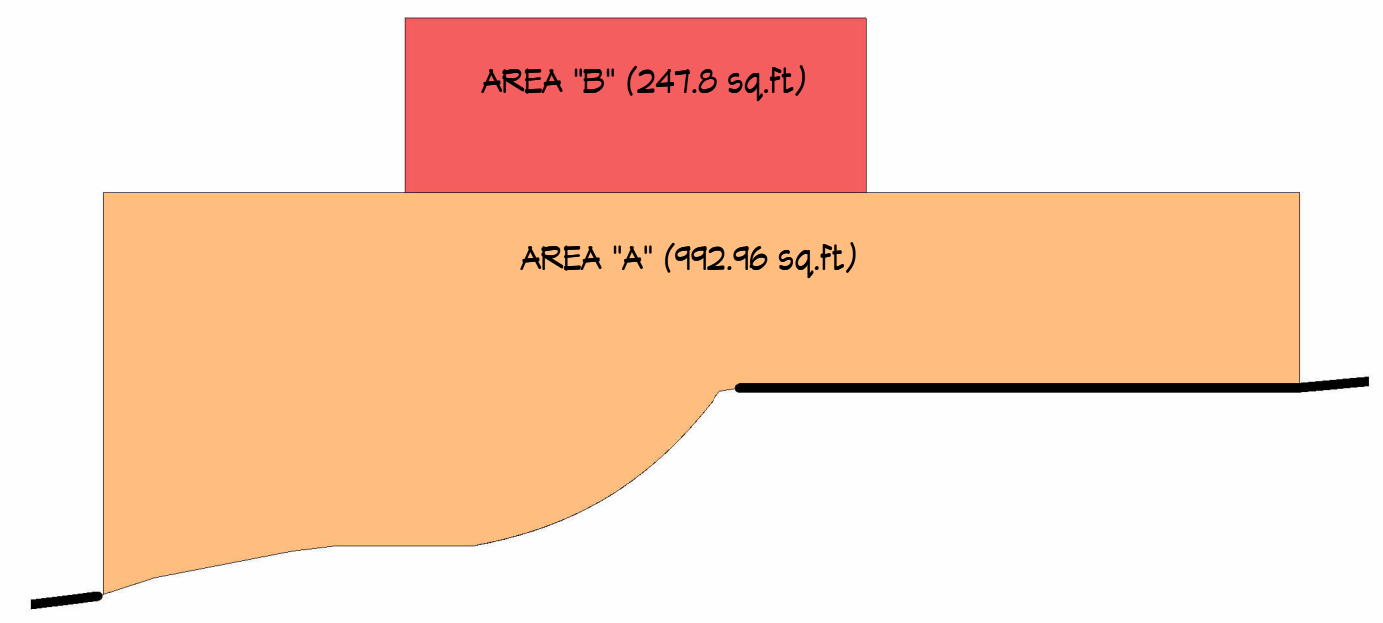
LIMITING DISTANCE
5.2 ft. (1.6 m)

ALLOWABLE OPENINGS
16% x 610.8 = 97.7 sq.ft. x 2 = 195.4 sq.ft.

AREA OF OPENING
30 sq.ft.

CONFORMS
YES

NOTE: BUILDING IS SPRINKLERED



SOUTH SPATIAL SEPARATION ELEVATION

PART A - SOUTH SPATIAL SEPARATION

AREA OF FACE
993 sq.ft. (92.2 m²)

LIMITING DISTANCE
20.83 ft. (6.3 m)

ALLOWABLE OPENINGS
30.8% x 993.0 = 305.6 sq.ft. x 2 = 711.2 sq.ft.

AREA OF OPENING
455.9 sq.ft.

CONFORMS
YES

NOTE: BUILDING IS SPRINKLERED

PART B - SOUTH SPATIAL SEPARATION

AREA OF FACE
247.8 sq.ft. (23 m²)

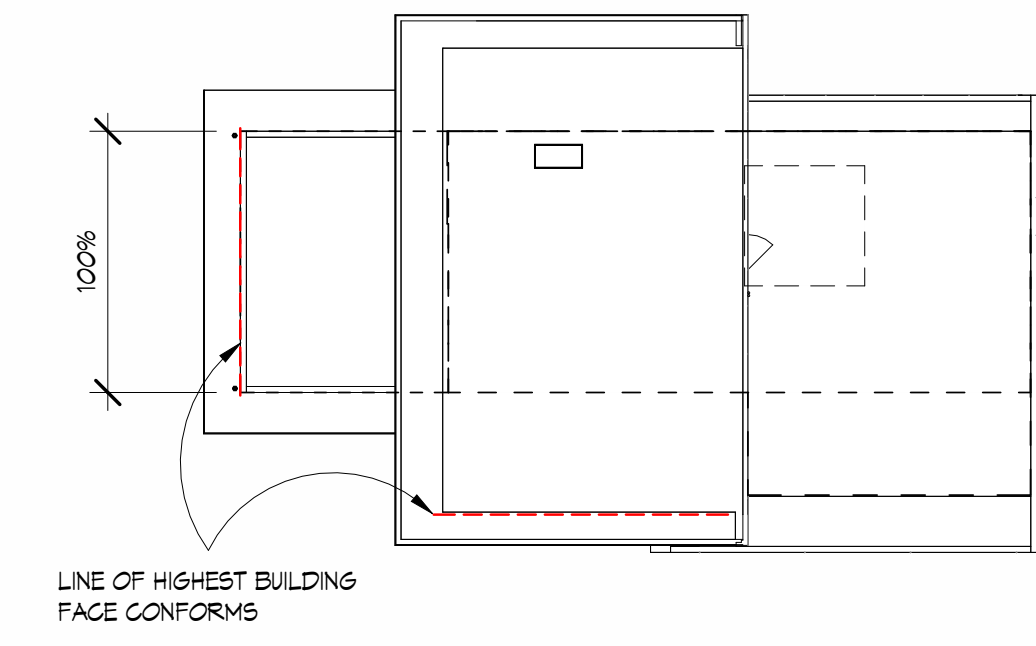
LIMITING DISTANCE
19.25 ft. (5.9 m)

ALLOWABLE OPENINGS
06.5% x 247.8 = 214.3 sq.ft. x 2 = 428.6 sq.ft.

AREA OF OPENING
59.6 sq.ft.

CONFORMS
YES

NOTE: BUILDING IS SPRINKLERED



ROOF PLAN - HIGHEST BUILDING FACE

MATERIAL LEGEND

- BUILT-UP FASCIA WRAPPED IN ANODIZED ALUMINUM
- TORCH-DOWN MEMBRANE ROOF
- 6" METAL BOX GUTTER (COLOUR TO MATCH FASCIA)
- NEYTECHWOOD VERTICAL SHIPLAP SIDING, SILVER GREY
- HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) Colour: 6299 ACRYLIC MATT COBALT GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
- HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) Colour: 0112 ACRYLIC MATT STONE GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
- 1" ANODIZED ALUMINUM TRIM AROUND ALL OPENINGS INCLUDING HEAD AND BILL FLASHING, COLOUR AND FINISH TO MATCH FASCIA
- ALUMINUM SKYLIGHTS (SEE SCHEDULE FOR DETAILS)
- EXPOSED PAPER BACK ARCHITECTURAL CONCRETE WALL, CONE TIES TO BE REMOVED
- P.T. TIMBER EXTERIOR STAIR STRINGERS WITH PORCELAIN PAVER TREADS AND RISERS TO MATCH PATIO
- ANODIZED ALUMINUM CAP OVER PARAPET WALLS, TO MATCH GUTTERS
- GLULAM BEAM AND CONNECTORS AS PER "BINDERHOLZ"
- GLULAM COLUMN AND CONNECTORS AS PER "BINDERHOLZ"
- SEMI-FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPERED GLASS PANELS, AS PER MANUFACTURER SPECIFICATIONS
- PORCELAIN PAVERS ON PEDESTALS (ENMON NORTH AMERICA-PROJECT-PP6060B SILVER)
- POWDER COATED ROUND METAL DOWNSPOUTS, COLOUR TO MATCH GUTTER

REVISIONS	#	BY
Structural Changes	3	AL
IFC Changes	4	AL
HRA Comments, Spatial, Context, Areas	6	DK

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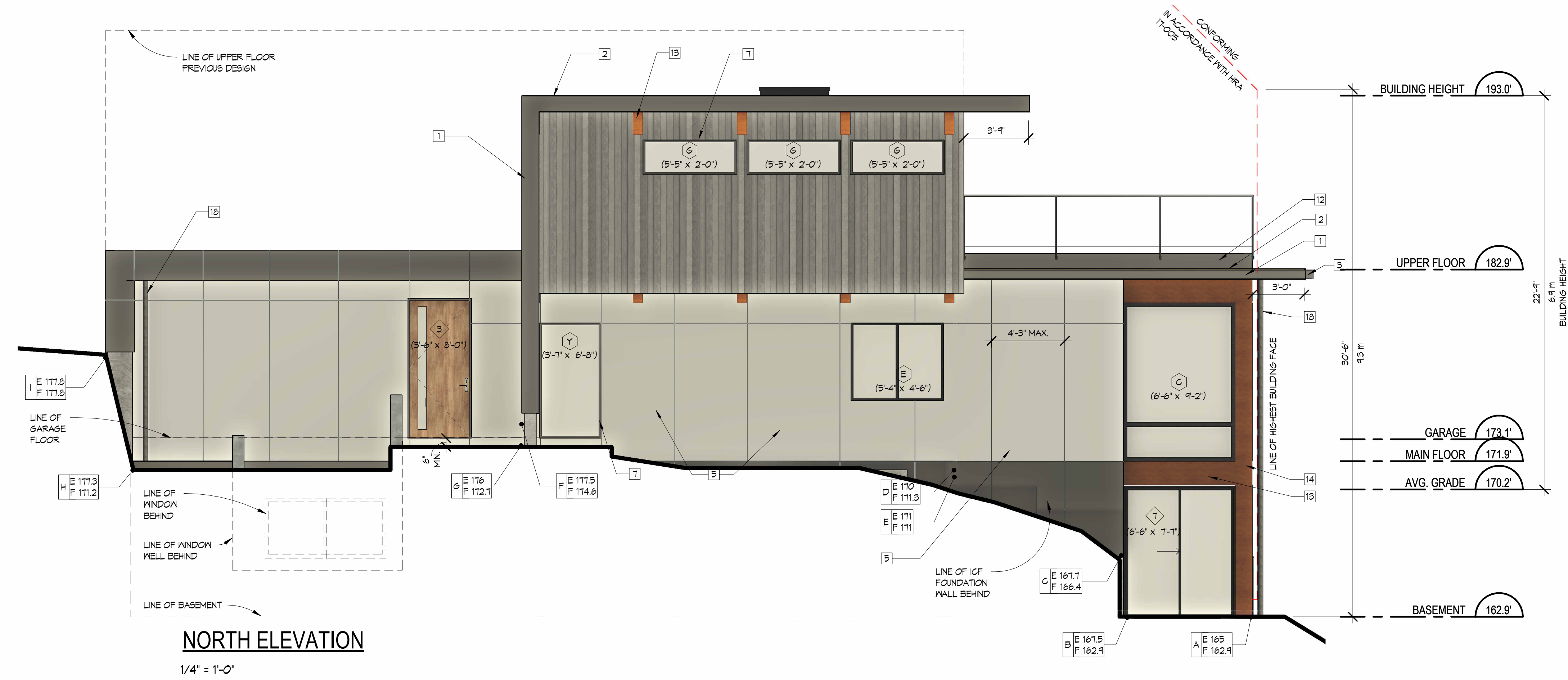
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Drawing Title
NORTH AND WEST ELEVATIONS

Date 01.13.2025
Scale 1/4" = 1'-0"
Drawn PGS / AL / DK
Job No. 24005
Sheet **A-9**
Of 19 Sheets

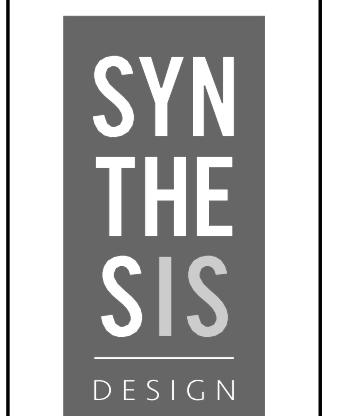


NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		

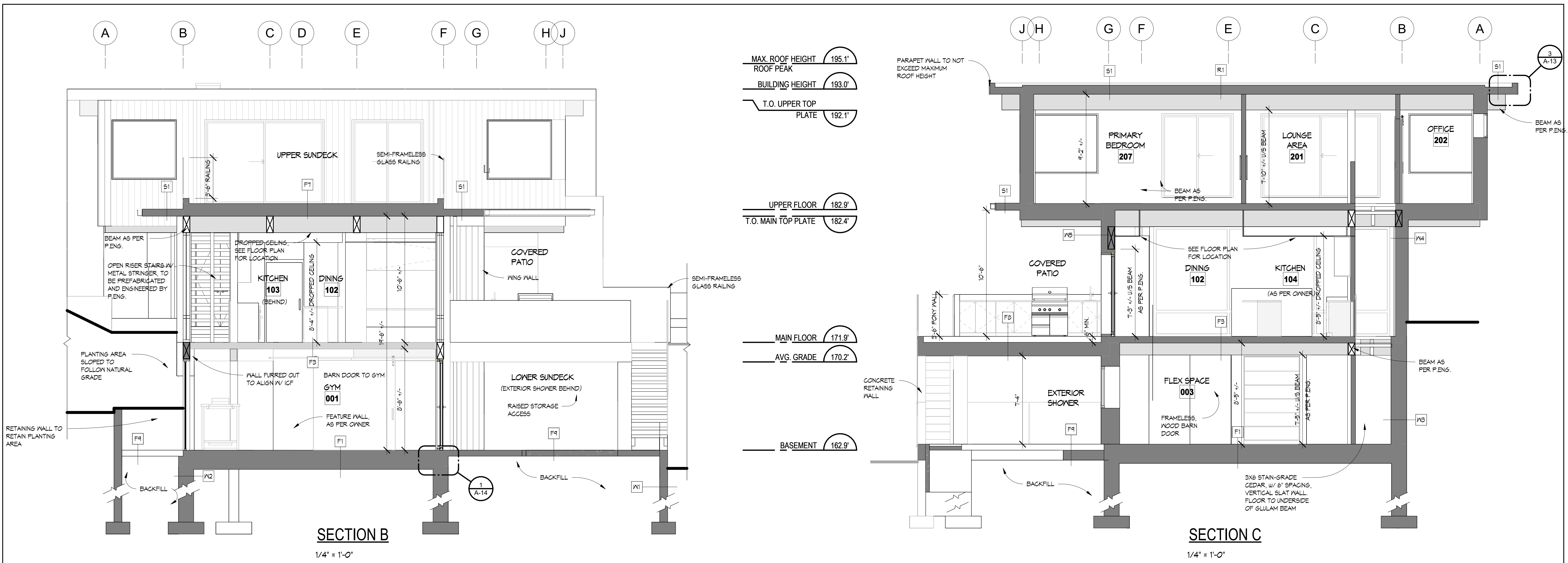


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VILLAVICENCIO CUSTOM RESIDENCE
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Drawing Title
SECTIONS AND ASSEMBLIES

Date 01.13.2025
Scale 1/4" = 1'-0"
Drawn PJS / AL / DK
Job No. 24005
Sheet **A-11**
Of 19 Sheets



Roof	Roof Assemblies	Walls	Wall Assemblies	Floors	Floor Assemblies		
R1	<ul style="list-style-type: none"> DECORATIVE (MEXICAN RIVER ROCK OR GREEN ROOF PLANTER) SEE PLANS FOR LOCATION TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) R-25 XPS RIGID INSULATION CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER EXPOSED CLT PANEL FINISH AS PER OWNER 	W2	<ul style="list-style-type: none"> 2 COATS DAMP PROOFING 4 DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) 2" XPS RIGID INSULATION (AS PER MANUFACTURER) ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH IV WALL ABOVE) 8" CONCRETE FOUNDATION WALL ICF 2 5/8" INSULATION (AS PER MANUFACTURER) 	F1	<ul style="list-style-type: none"> SLAB ON GRADE FLOOR FINISH (STYLE AS OWNER), POLISHED CONCRETE FOR GARAGE 4" CONCRETE SLAB CONTINUOUS WIRE MESH 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER R-30 EPS RIGID INSULATION (OR EQUIVALENT) 2" SAND 6" COMPACTED GRAVEL 	F6	<ul style="list-style-type: none"> INTERIOR FLOOR ABOVE GARAGE HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) 45mm FLOORBOARD IV MINERAL WOOL (FERMACELL®/ OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER 5" XPS RIGID INSULATION AS PER ENERGY ADVISOR 1/2" GNB
Skirt/Roof/Overlaping	<ul style="list-style-type: none"> TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/8" PER FOOT) CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER EXPOSED CLT PANEL FINISH AS PER OWNER 	W3	<ul style="list-style-type: none"> 2 COATS DAMP PROOFING 4 DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) 2" XPS RIGID INSULATION (AS PER MANUFACTURER) ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH IV WALL ABOVE) 8" CONCRETE FOUNDATION WALL ICF 2 5/8" INSULATION (AS PER MANUFACTURER) 6 MIL CONTINUOUSLY CAULKED VAPOUR BARRIER 1/2" GNB 	F2	<ul style="list-style-type: none"> CANTILEVERED SUSPENDED SLAB (SEE SECTION A) FLOOR FINISH (STYLE AS PER OWNER) CONCRETE SLAB AS PER STRUCTURAL ENGINEER 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER R-32 SPRAY FOAM INSULATION P.T. BACK FRAMING AS REQUIRED SOFFIT AS PER OWNER 	F7	<ul style="list-style-type: none"> DECK OVER LIVING SPACE 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) 5" XPS RIGID INSULATION OVER CLT CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER EXPOSED CLT PANEL FINISH AS PER OWNER
Interior	<p>WALL ASSEMBLIES</p> <p>P1</p> <ul style="list-style-type: none"> 1/2" GNB 2x4 STUDS @ 16" O/C 1/2" GNB <p>P2</p> <ul style="list-style-type: none"> 1/2" GNB 2x6 STUDS @ 16" O/C 1/2" GNB <p>P4</p> <ul style="list-style-type: none"> BASEMENT SHOWER WALL (NOT SHOWN ON SECTION) TILE (STYLE AS PER OWNER) SCHLUTER KERDI MAT 1/2" DENSESHIELD OR EQUIVALENT 2x4 STUDS @ 16" O/C 1/2" GNB <p>P5</p> <ul style="list-style-type: none"> 1/2" GNB 2x4 STUDS @ 16" O/C 3 1/2" BATT ACOUSTIC INSULATION RESILIENT CHANNEL @ 16" OR 24" O/C 1/2" GNB <p>P6</p> <ul style="list-style-type: none"> GARAGE WALL SEPARATION 1/2" GNB 2x6 STUDS @ 16" O/C R-22 BATT INSULATION 5" XPS RIGID INSULATION 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER 1/2" GNB <p>P7</p> <ul style="list-style-type: none"> 3/4" MICRO-CLT AS PER CLIENT 2x4 STUDS @ 16" O/C AIR SPACE 2x4 STUDS @ 16" O/C 3/4" MICRO-CLT AS PER CLIENT 	Exterior	<p>W4</p> <ul style="list-style-type: none"> HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) (HIDDEN CLIPS TO ATTACH PANELS) 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS 1/2" PLYWOOD SHEATHING 2x6 STUDS @ 16" O/C R-22 BATT INSULATION 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER 1/2" GNB <p>W5</p> <ul style="list-style-type: none"> VERTICAL NEWTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS 1/2" PLYWOOD SHEATHING 2x6 STUDS @ 16" O/C R-22 BATT INSULATION 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER 1/2" GNB <p>W6</p> <ul style="list-style-type: none"> HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) (HIDDEN CLIPS TO ATTACH PANELS) 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS 1/2" PLYWOOD SHEATHING 2x6 STUDS @ 16" O/C R-22 BATT INSULATION 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER 1/2" GNB <p>W7</p> <ul style="list-style-type: none"> WING WALL (NOT SHOWN ON SECTION, SEE FLOOR PLAN FOR LOCATION) HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) (HIDDEN CLIPS TO ATTACH PANELS) 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS 1/2" FT PLYWOOD SHEATHING 2x4 STUDS AIR SPACE 2x4 STUDS 1/2" FT PLYWOOD SHEATHING 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS (HIDDEN CLIPS TO ATTACH PANELS) VERTICAL NEWTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) 	F3	<ul style="list-style-type: none"> HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) 45mm FLOORBOARD IV MINERAL WOOL (FERMACELL®/ OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS CROSS-LAMINATED TIMBER (PANEL THICKNESS VARIES) AS PER STRUCTURAL ENGINEER EXPOSED CLT PANEL FINISH AS PER OWNER 	F8	<ul style="list-style-type: none"> DECK AT MAIN FLOOR 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) 3" EXTERIOR GRADE T&G PLYWOOD (GLUED & SCREWED) BLOCKING TO PROVIDE SLOPE TO DRAIN (AT 1" PER FOOT) DRAINS AS REQUIRED TJI FLOOR JOISTS AS PER STRUCTURAL ENGINEER 3/4" MICRO-CLT PANEL FOR SOFFIT (PROVIDE CONTINUOUS VENTING)
Foundation	<p>W1</p> <ul style="list-style-type: none"> 2 COATS DAMP PROOFING 4 DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) 8" CONCRETE FOUNDATION WALL 			F5	<ul style="list-style-type: none"> GARAGE FLOOR (CONSLAB) POLISHED CONCRETE FINISH (AS PER OWNER) CONCRETE OVER CONSLAB DECK, THICKNESS AS PER STRUCTURAL ENGINEER 4-25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT FURRING CHANNEL ATTACHED TO RIBS, AS PER MANUFACTURER 1/2" GNB OR 3/4" MICRO-CLT (AS PER OWNER) 	F9	<ul style="list-style-type: none"> PATIO ON GRADE 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) 4" CONCRETE SLAB CONTINUOUS WIRE MESH 6" COMPACTED GRAVEL

ENERGY STEP CODE 5 PURSUED
ALL ASSEMBLIES TO BE APPROVED BY BUILDING ENVELOPE CONSULTANT

REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		

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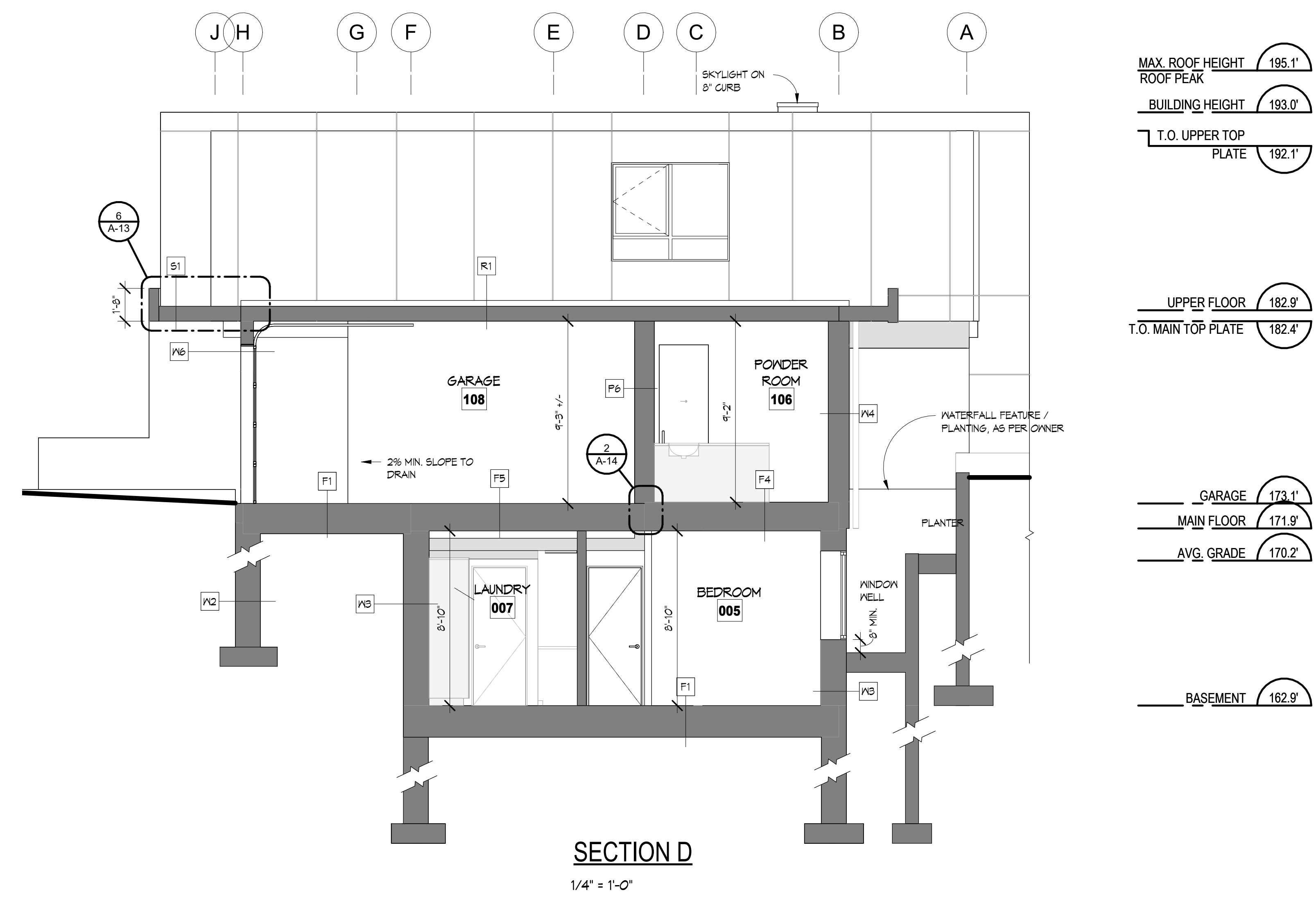
All dimensions shall be verified on site prior to commencement of work.

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West Vancouver, BC

Drawing Title	SECTION AND ASSEMBLIES
Date	01.13.2025
Scale	1/4" = 1'-0"
Drawn	PGS / AL / DK
Job No.	24005
Sheet	A-12
Of	19 Sheets

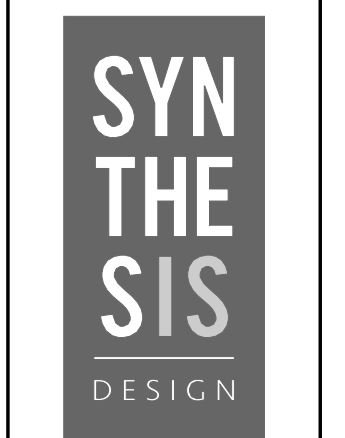


ROOF ASSEMBLIES	WALL ASSEMBLIES	FLOOR ASSEMBLIES	FLOOR ASSEMBLIES
R1 - DECORATIVE (MEXICAN RIVER ROCK OR GREEN ROOF PLANTER) SEE PLANS FOR LOCATION - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - R-25 XPS RIGID INSULATION - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER	W2 - 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH IV WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - ICF 2 5/8" INSULATION (AS PER MANUFACTURER)	F1 SLAB ON GRADE - FLOOR FINISH (STYLE AS OWNER), POLISHED CONCRETE FOR GARAGE - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 EPS RIGID INSULATION (OR EQUIVALENT) - 2" SAND - 6" COMPACTED GRAVEL	F6 INTERIOR FLOOR ABOVE GARAGE - HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) - 45mm FLOORBOARD IV MINERAL WOOL (FERMACELL®/ OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - R-30 SPRAY FOAM INSULATION - P.T. BACK FRAMING AS REQUIRED - SOFFIT AS PER OWNER
Skirt Roof/Overhang S1 - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/8" PER FOOT) - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER	W3 - 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH IV WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - ICF 2 5/8" INSULATION (AS PER MANUFACTURER) - 6 MIL CONTINUOUSLY CAULKED VAPOUR BARRIER - 1/2" G/MB	F2 GANTILEVERED SUSPENDED SLAB (SEE SECTION A) - FLOOR FINISH (STYLE AS PER OWNER) - CONCRETE SLAB AS PER STRUCTURAL ENGINEER - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 SPRAY FOAM INSULATION - P.T. BACK FRAMING AS REQUIRED - SOFFIT AS PER OWNER	F7 DECK OVER LIVING SPACE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6080B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - 5" XPS RIGID INSULATION OVER CLT - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER
Interior P1 - 1/2" G/MB - 2x4 STUDS @ 16" O/C - 1/2" G/MB	W4 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB	F3 - HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) - 45mm FLOORBOARD IV MINERAL WOOL (FERMACELL®/ OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS - CROSS-LAMINATED TIMBER (PANEL THICKNESS VARIES) AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER	F8 DECK AT MAIN FLOOR - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6080B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - 3/4" EXTERIOR GRADE T&G PLYWOOD (GLUED & SCREWED) - BLOCKING TO PROVIDE SLOPE TO DRAIN (AT 1" PER FOOT) DRAINS AS REQUIRED - TJI FLOOR JOISTS AS PER STRUCTURAL ENGINEER - 3/4" MICRO-CLT PANEL FOR SOFFIT (PROVIDE CONTINUOUS VENTING)
P2 - 1/2" G/MB - 2x6 STUDS @ 16" O/C - 1/2" G/MB	W5 - VERTICAL WHITE TECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB	F4 MAIN FLOOR (COMSLAB) - HARDWOOD FLOOR FINISH ON BUILT-UP BLOCKING, AS NECESSARY TO ALIGN IV FINISHED FLOOR (STYLE AS PER OWNER) - CONCRETE OVER COMSLAB DECK, AS PER MANUFACTURER - 4.25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT - FURRING CHANNEL ATTACHED TO RIBS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT, AS PER OWNER	F9 PATIO ON GRADE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6080B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6" COMPACTED GRAVEL
P4 BASEMENT SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - 1/2" DENSIFIELD OR EQUIVALENT - 2x4 STUDS @ 16" O/C - 1/2" G/MB	W6 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB	F5 GARAGE FLOOR (COMSLAB) - POLISHED CONCRETE FINISH (AS PER OWNER) - CONCRETE OVER COMSLAB DECK, THICKNESS AS PER STRUCTURAL ENGINEER - 4.25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT - FURRING CHANNEL ATTACHED TO RIBS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT (AS PER OWNER)	F10 UNINSULATED GANTILEVERED SUSPENDED SLAB ON LOWER PATIO (NOT SHOWN ON SECTION) - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6080B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH
P5 - 1/2" G/MB - 2x4 STUDS @ 16" O/C - 3 1/2" BATT ACOUSTIC INSULATION - RESILIENT CHANNEL @ 16" OR 24" O/C - 1/2" G/MB	W7 - VERTICAL WHITE TECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" FT PLYWOOD SHEATHING - 2x4 STUDS - AIR SPACE - 2x4 STUDS - 1/2" FT PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS)		
P6 GARAGE WALL SEPARATION - 1/2" G/MB - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 5" XPS RIGID INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB	W8 - VERTICAL WHITE TECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" FT PLYWOOD SHEATHING - 2x4 STUDS - AIR SPACE - 2x4 STUDS - 1/2" FT PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS)		
P7 - 3/4" MICRO-CLT AS PER CLIENT - 2x4 STUDS @ 16" O/C - AIR SPACE - 2x4 STUDS @ 16" O/C - 3/4" MICRO-CLT AS PER CLIENT	W9 - VERTICAL WHITE TECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS)		
Foundation W1 - 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 8" CONCRETE FOUNDATION WALL			

REVISIONS	#	BY
IFC Changes	4	AL
07.11.2024		

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All dimensions shall be verified on site prior to commencement of work.

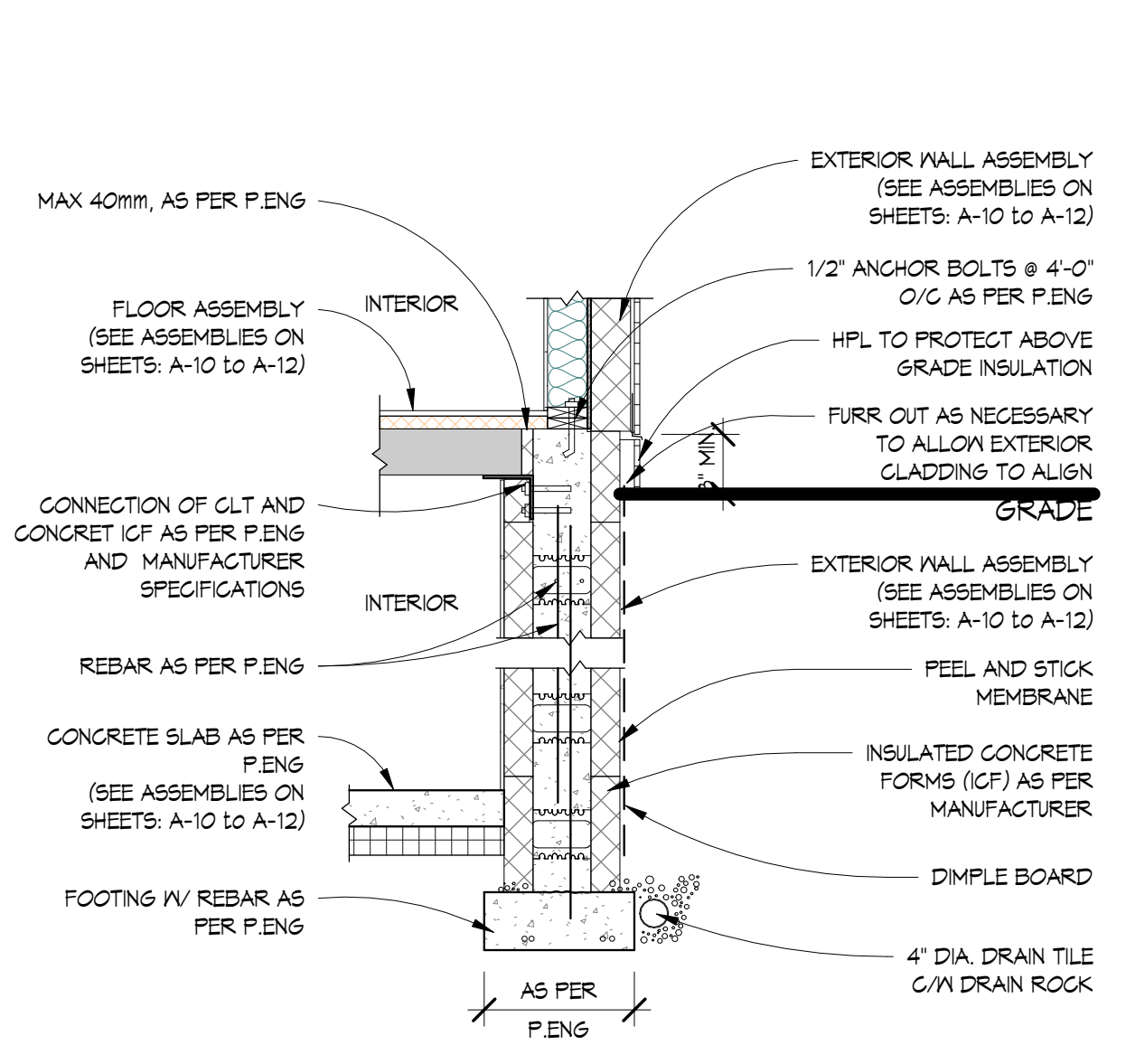


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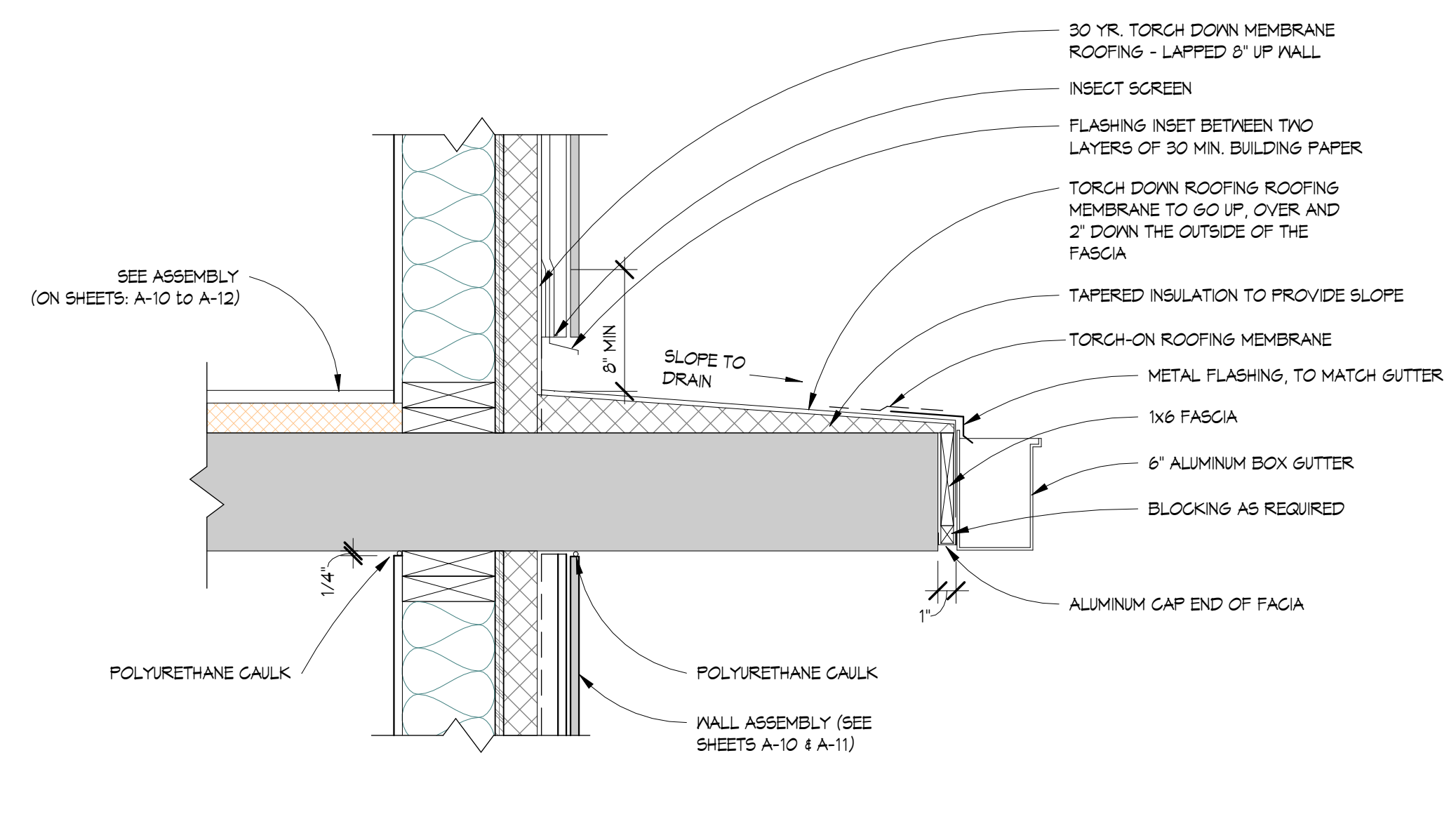
VILLAVENCIO CUSTOM RESIDENCE
1776 Inglewood Avenue
West Vancouver, BC

Drawing Title
DETAILS

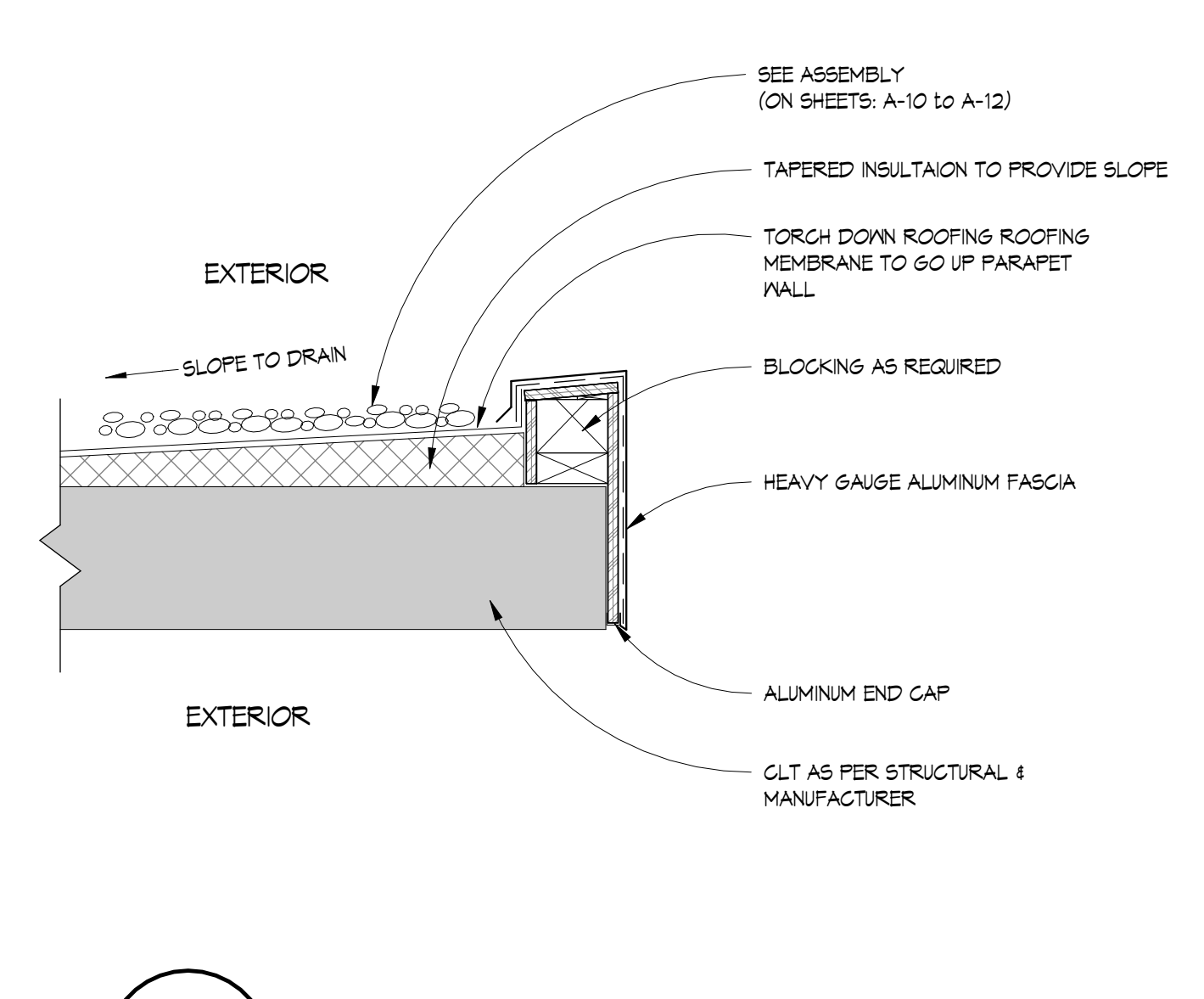
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Scale	As indicated
Drawn	PCS / AL / DK
Job No.	24005
Sheet	A-13
Of	19 Sheets



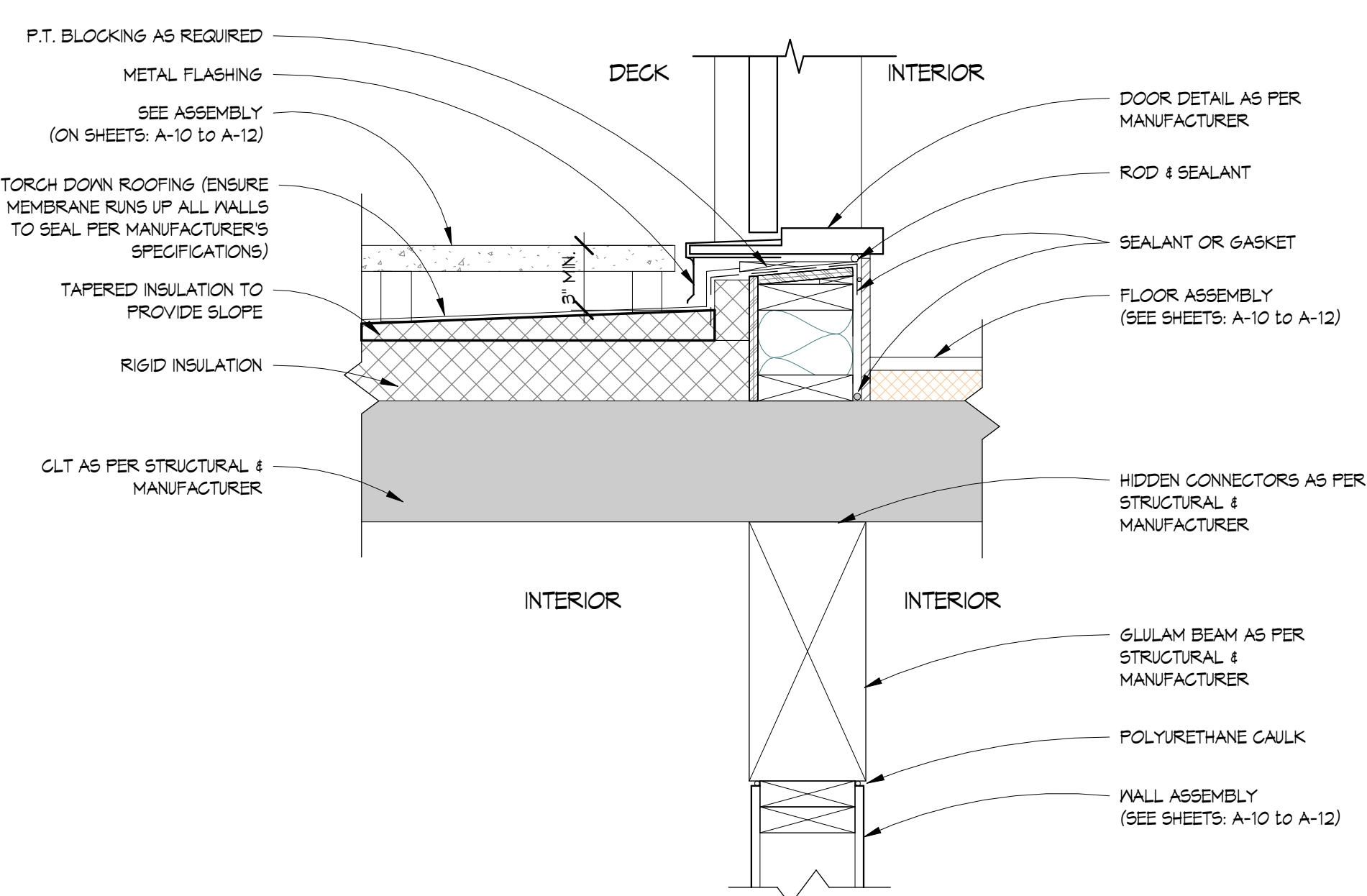
1 FOUNDATION WALL ICF
A-10 1/2" = 1'-0"



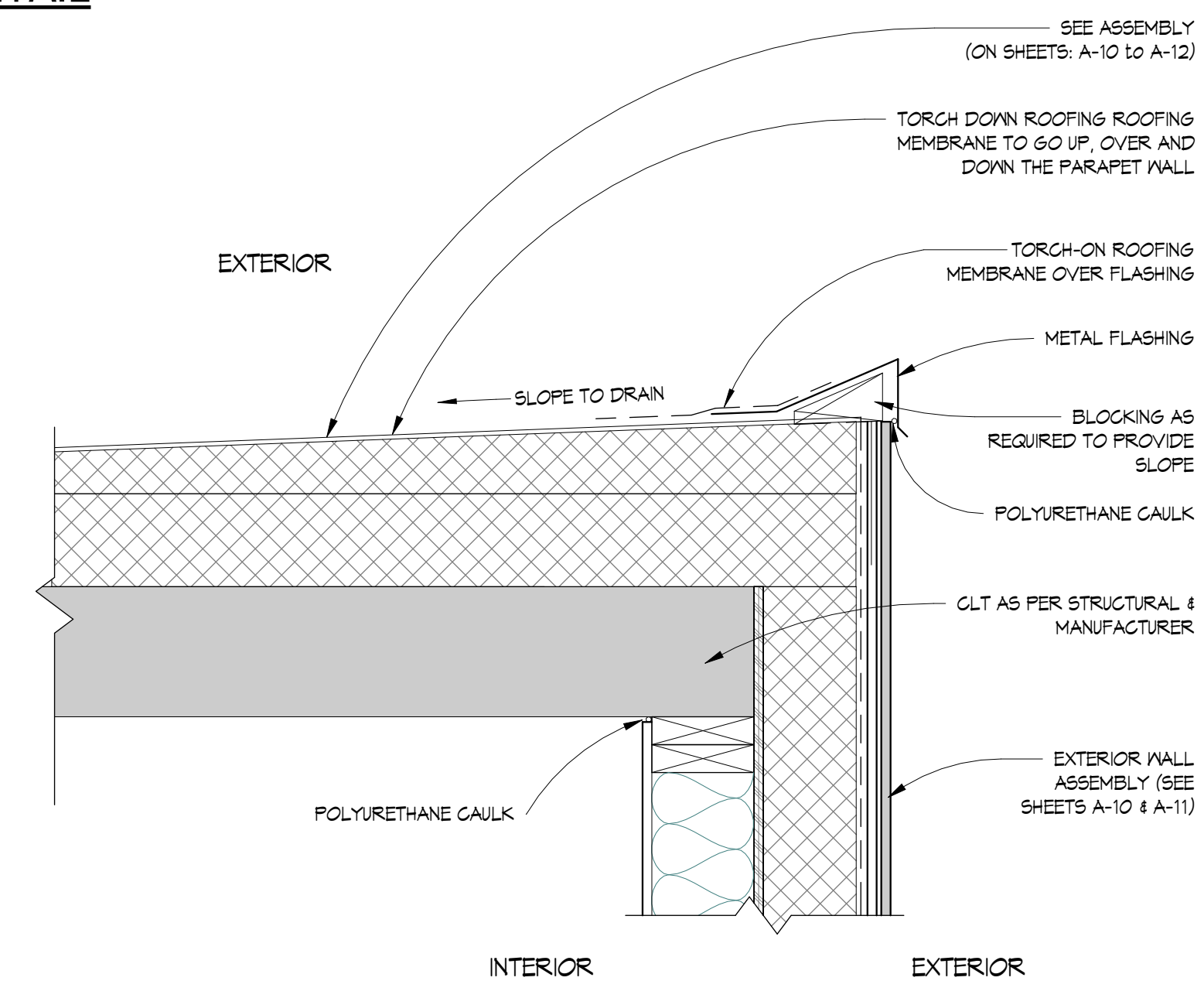
2 SKIRT ROOF DETAIL
1 1/2" = 1'-0"



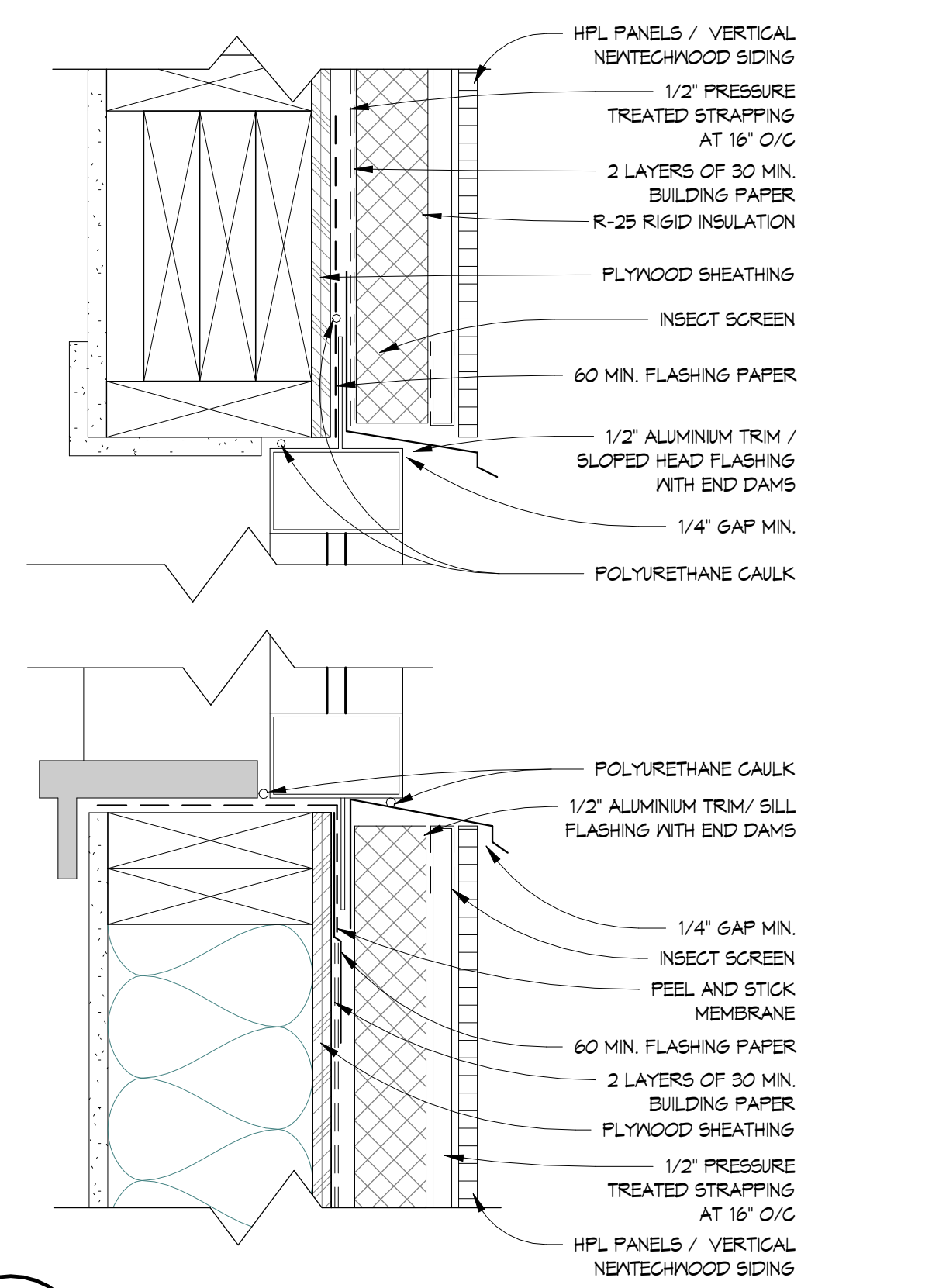
3 OVERHANG DETAIL
A-11 1 1/2" = 1'-0"



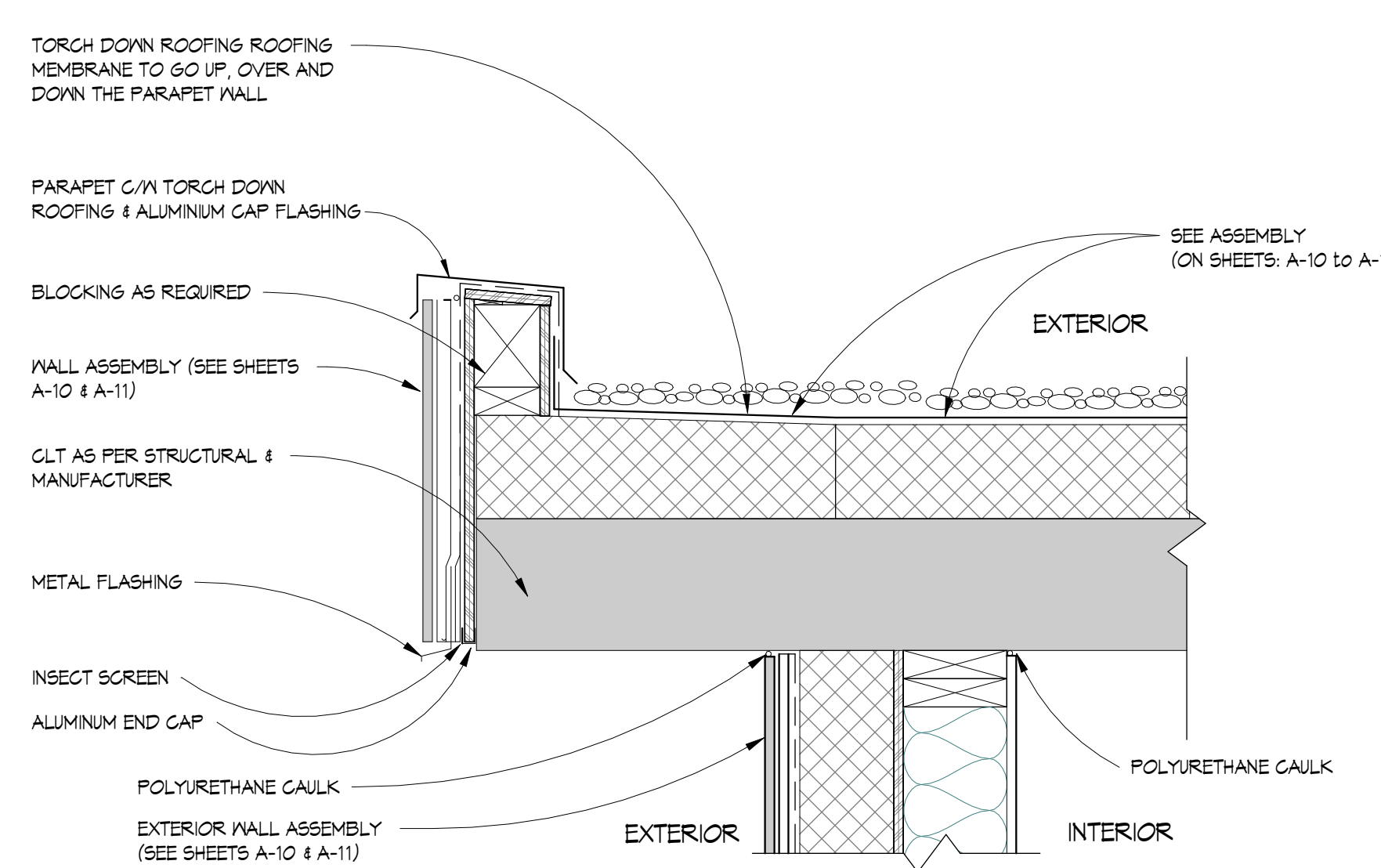
4 DECK AT DOOR THRESHOLD OVER LIVING SPACE
A-10 1 1/2" = 1'-0"



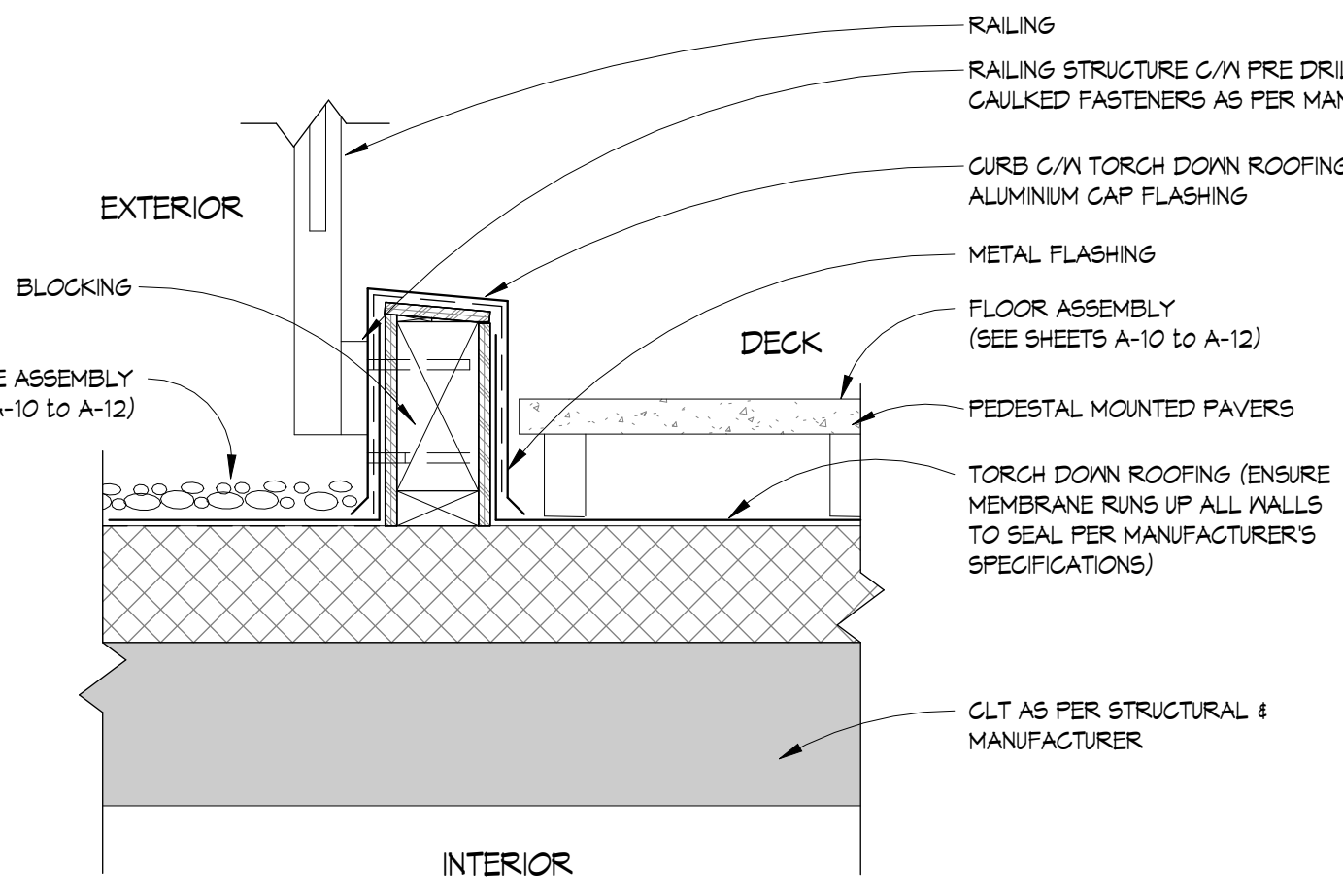
5 ROOF W/ NO OVERHANG
A-10 1 1/2" = 1'-0"



8 WALL W/ RAINSCREEN
3" = 1'-0"



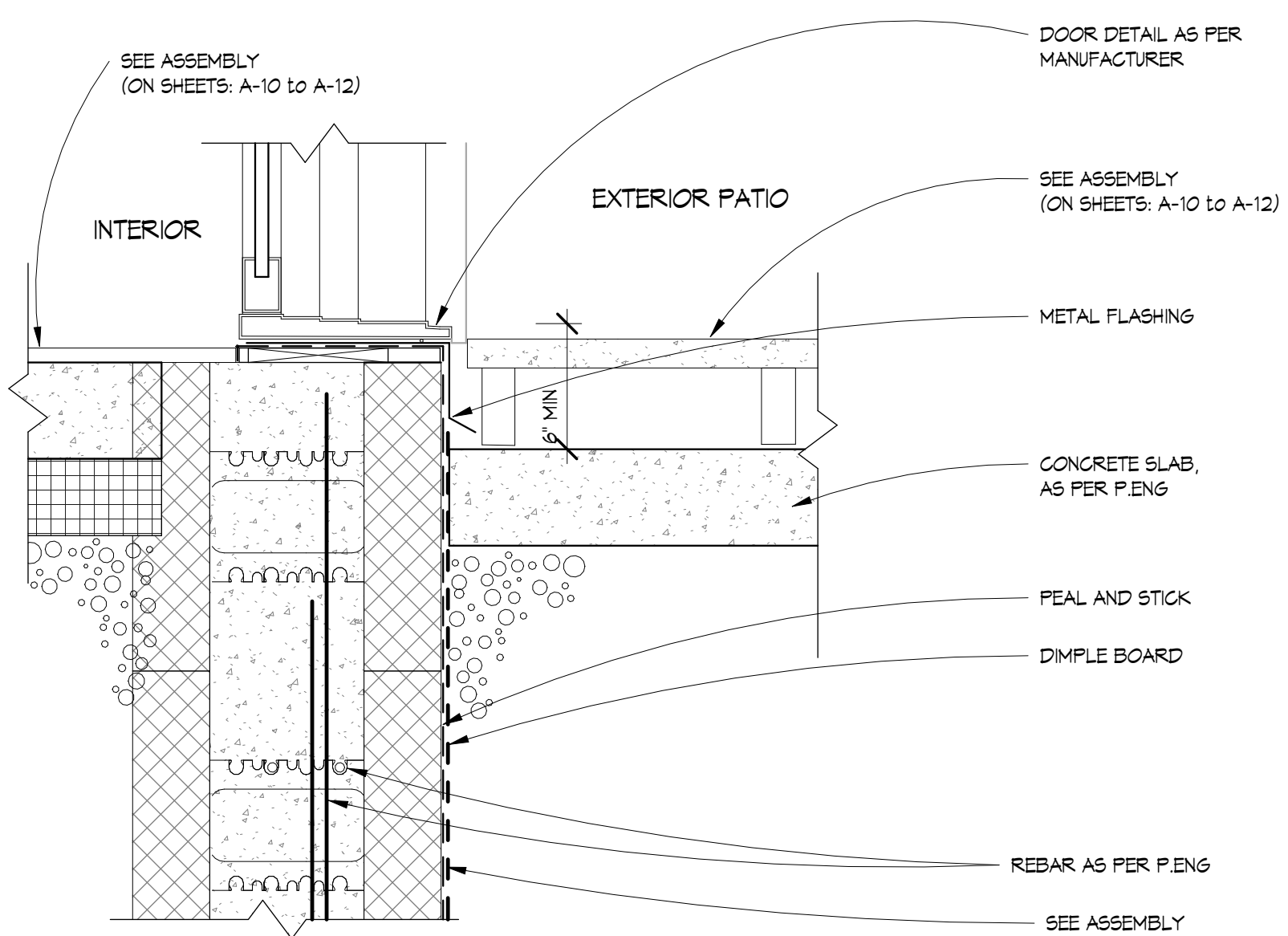
6 SKIRT ROOF
A-12 1 1/2" = 1'-0"



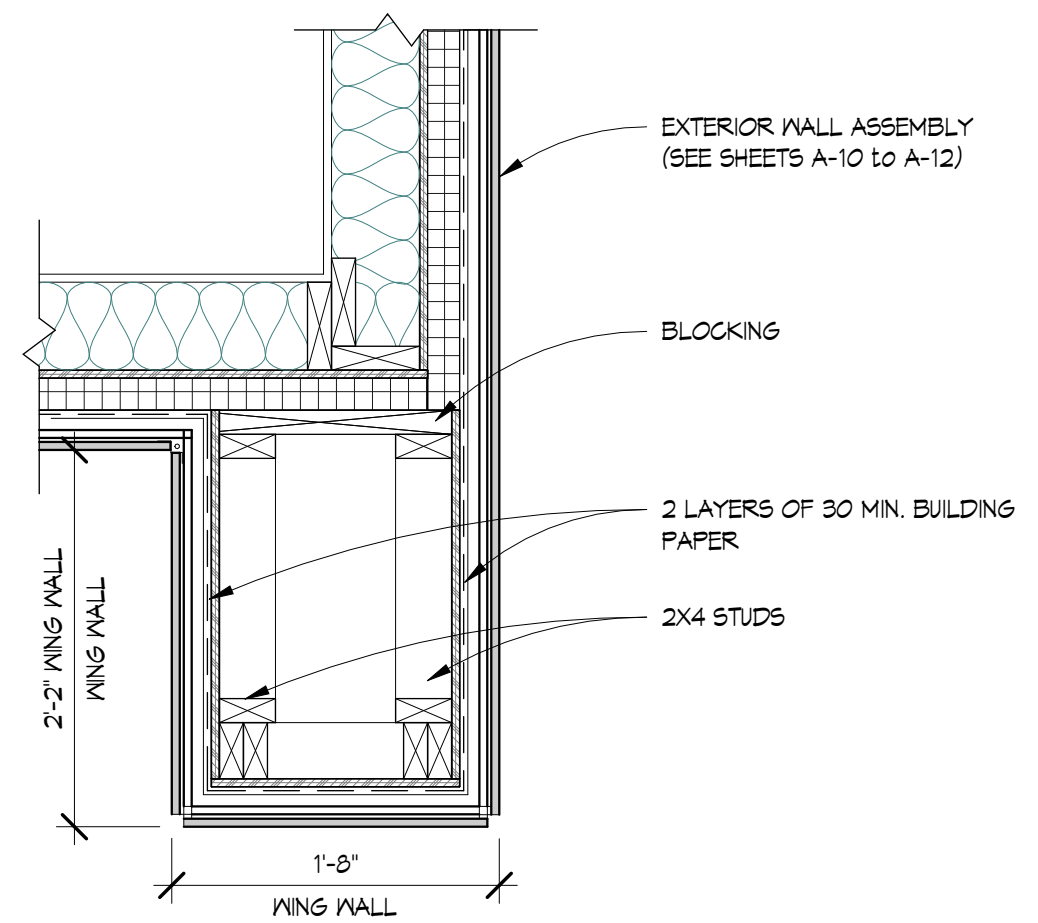
7 DECK AND RAILING ABOVE LIVING SPACE
1 1/2" = 1'-0"

ALL DETAILS TO BE APPROVED BY BUILDING ENVELOPE CONSULTANT

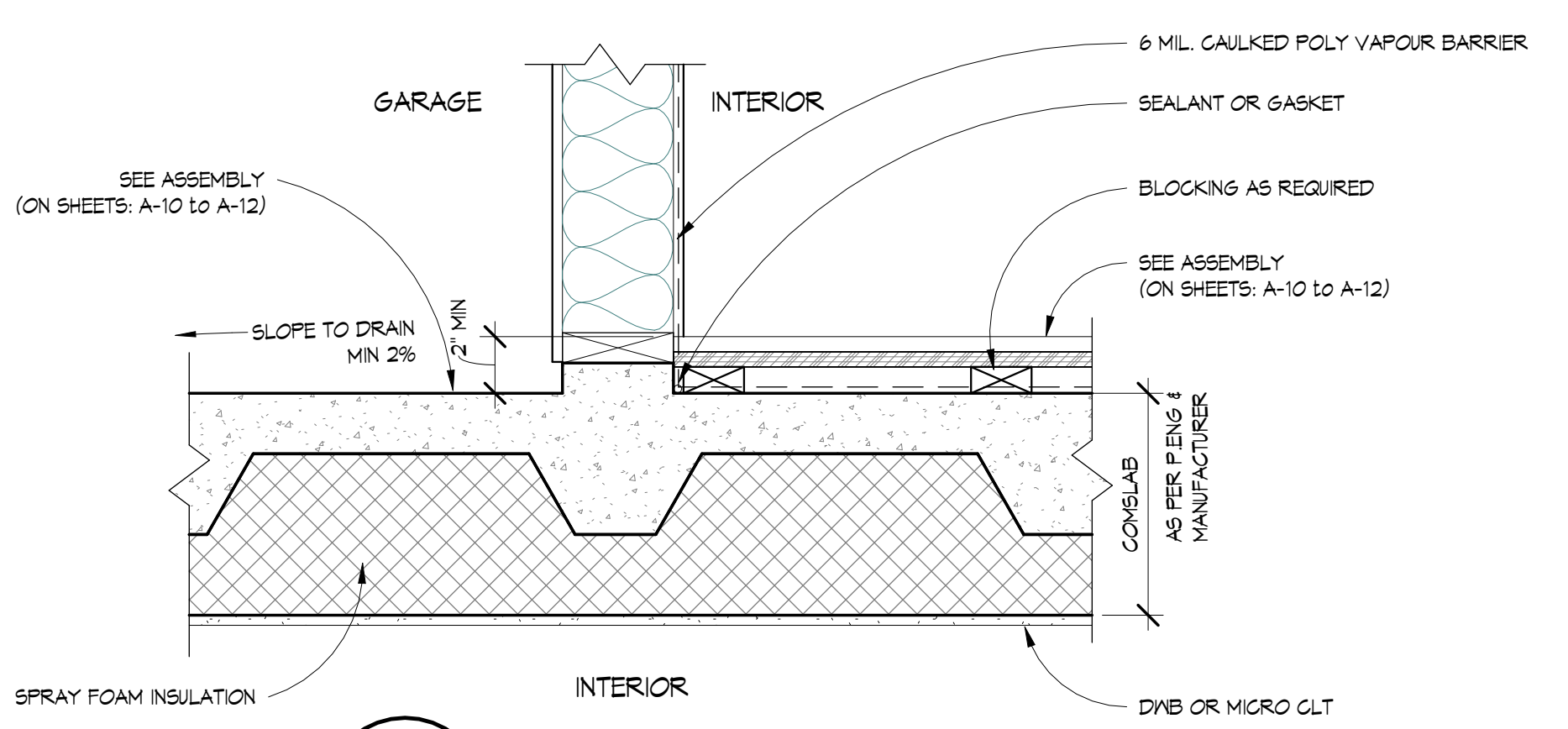
REVISIONS	#	BY
IFC Changes 07.11.2024	4	AL



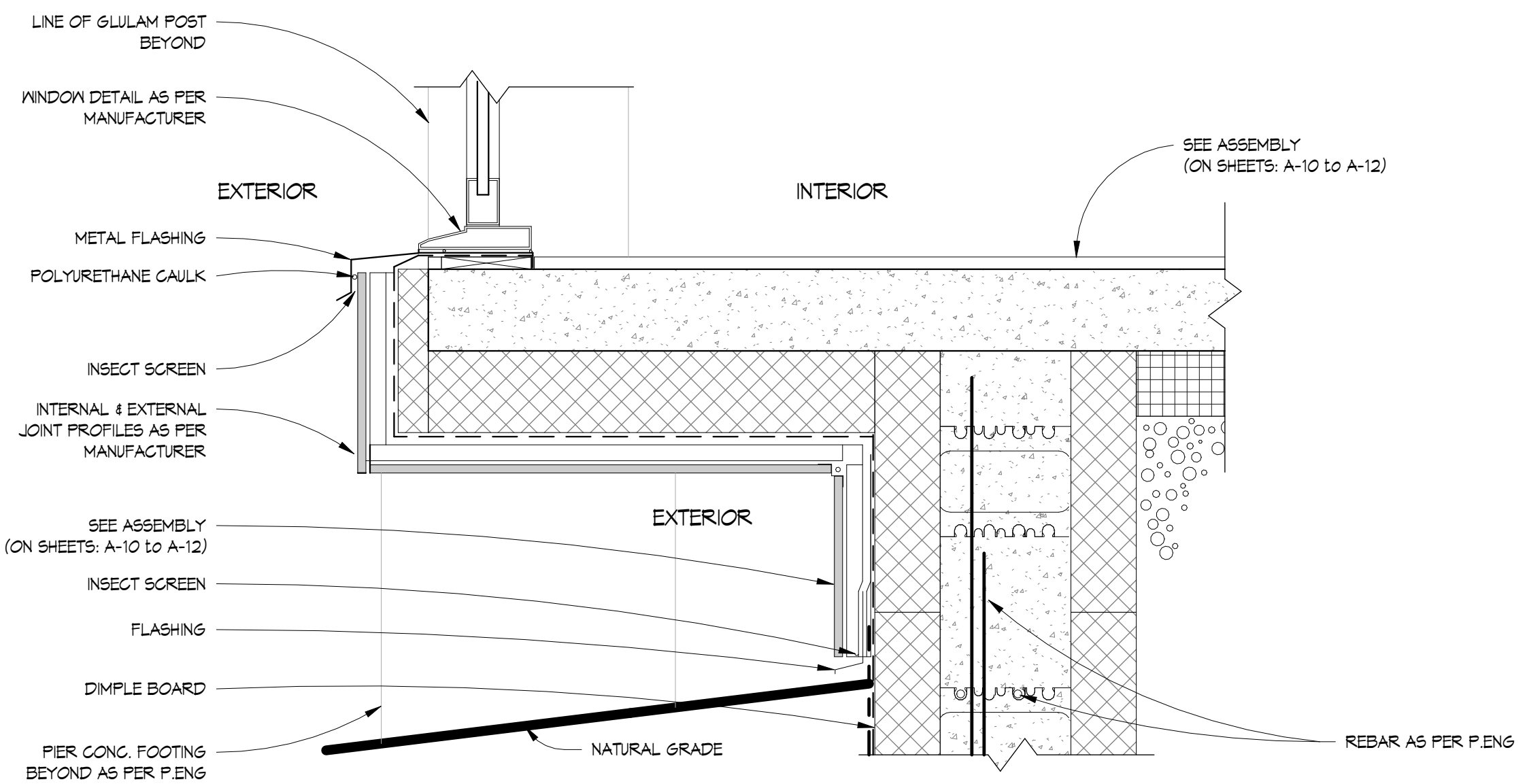
1 EXTERIOR DOOR SILL
1 1/2" = 1'-0"



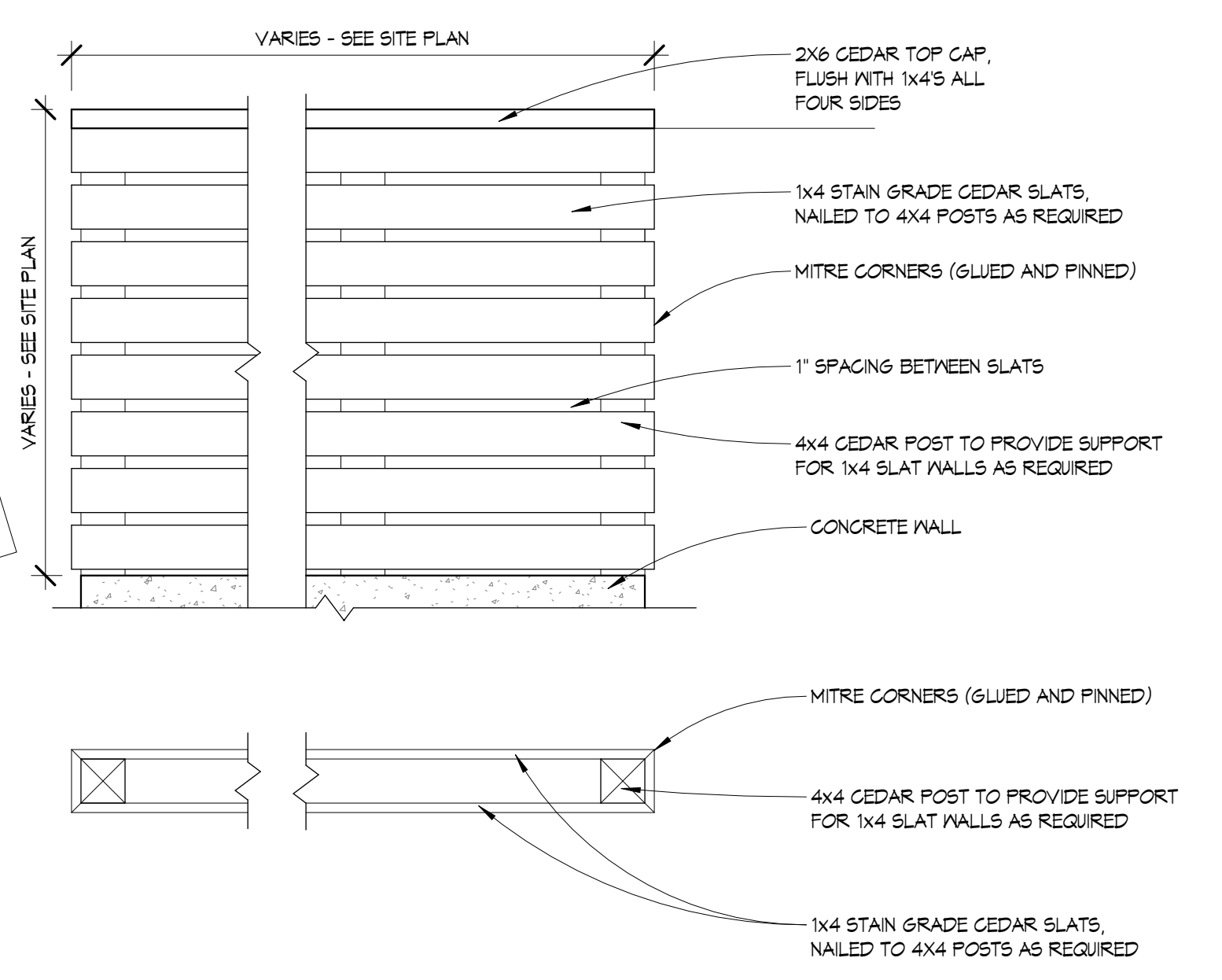
3 WING WALL
1" = 1'-0"



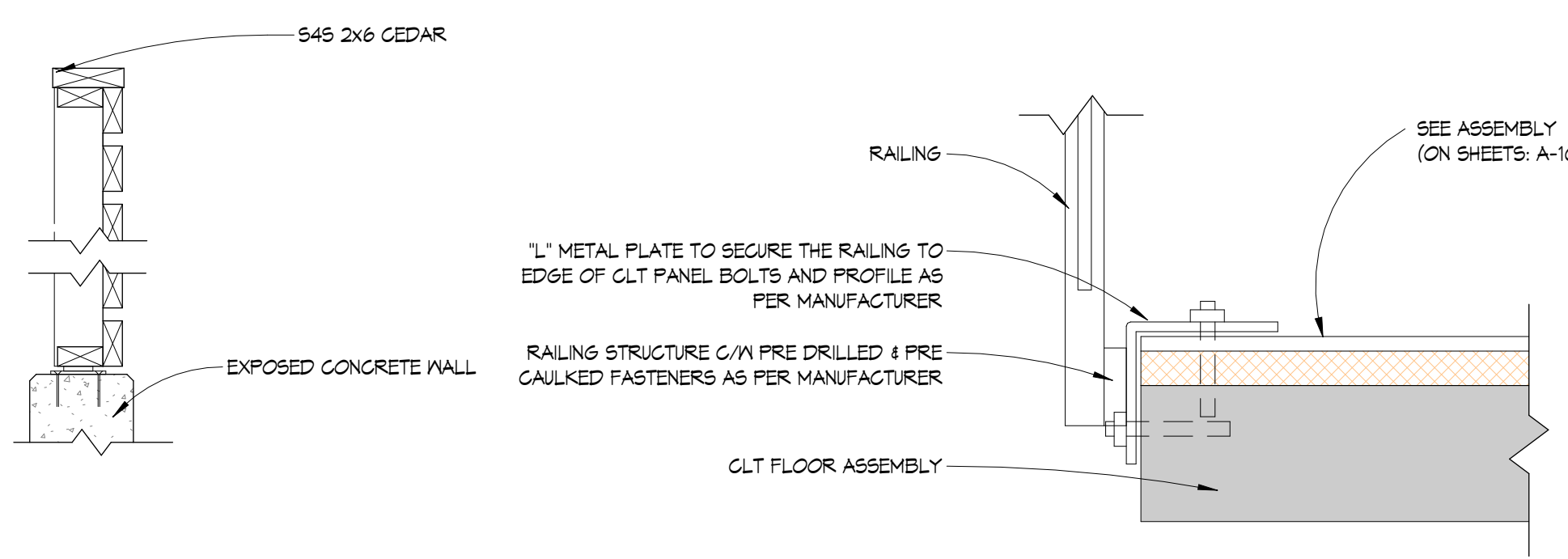
2 GARAGE DOOR SILL
1 1/2" = 1'-0"



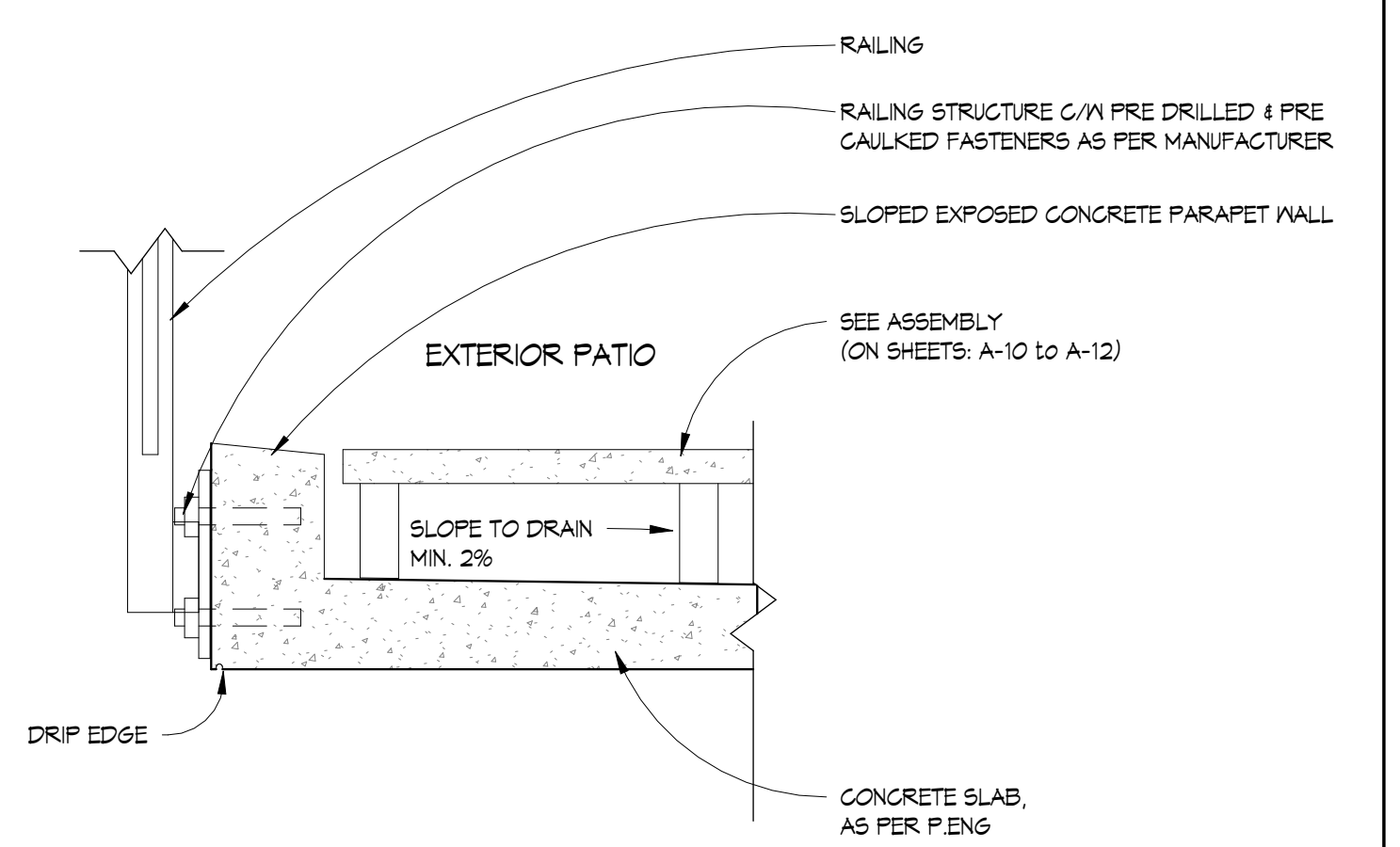
4 SLAB ON GRADE W/ SUSPENDED FLOOR
1 1/2" = 1'-0"



5 SLAT WALL DETAIL
1" = 1'-0"



6 INTERIOR RAILING
1 1/2" = 1'-0"



7 EXTERIOR RAILING
1 1/2" = 1'-0"

DOOR SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	ASSEMBLY	NOTES
1	1	4'-0"	8'-0"	Exterior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating weather stripping NPR hinges style as per ID
2	1	16'-0"	7'-0"	Exterior, Folding 3, 1 Door In	Wood, Tempered Glass	Folding door 4-3-1	Weather stripping, assembly as per manufacturer specifications, NPR Hinge
3	1	3'-6"	8'-0"	Exterior, Swing, Single	Wood, Tempered Glass	Solid Core	Weather stripping c/w NPR Hinges, style as per owner.
4	2	3'-0"	8'-0"	Interior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating, self closer, weather stripping
5	1	3'-0"	6'-8"	Interior, Pocket, Single			
6	1	10'-0"	7'-0"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
7	1	6'-6"	7'-7"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
8	1	11'-8"	7'-7"	Exterior, Folding 3, 1 Door In	Wood, Tempered Glass	Folding door 4-3-1	
9	1	6'-10"	7'-6"	Interior, Barn Style, Single, Flush Panel	Painted Wood		
10	3	2'-8"	7'-0"	Interior, Swing, Single	<varies>	Solid Core	Min. 2'-8" opening
11	1	2'-6"	8'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	
12	1	2'-8"	7'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	Min. 2'-8" opening
13	1	3'-8"	7'-0"	Interior, Pivot, Single	Painted Wood	Solid Core	Min. 2'-6" opening
14	1	3'-10"	7'-0"	Interior, Pivot, Single	Painted Wood	Solid Core	Min. 2'-8" opening
15	3	2'-6"	7'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	
16	2	2'-6"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	
17	1	6'-0"	7'-0"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass		
18	1	5'-0"	7'-0"	Interior, Barn Style, Single, Flush Panel	Painted Wood		
23	3	4'-0"	6'-8"	Interior, Swing, Double			
72	1	2'-6"	9'-1 1/2"	Curtain Wall, Single Swing			
137	1	16'-0"	8'-0"	Exterior, Overhead Sectional, Frosted Panel	Metal, Frosted Glass	Solid Core	Weather stripping & garage door opener

TOTAL: 29 ALL DOORS ARE +/-

- DO NOT ORDER DOORS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE
- DOORS TO NOT HAVE DOOR JAMS, AS PER MANUFACTURER
- ALL DOOR STYLES ARE TO BE AS PER AS PER OWNER/ID, UNLESS NOTED OTHERWISE

WINDOW SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	NOTES	
A	1	11'-8"	10'-2"	Main Floor Curtain Wall - South Wall	Wood, Tempered Glass	Divided into 2 equal panels, see elevation for location	
AA	1	7'-0"	4'-6"	Sliding, Double	Wood		
B	1	19'-8"	10'-2"	Main Floor Curtain Wall - West Wall	Aluminum, Tempered Glass	Divided into 3 panels, see elevation for location	
C	1	6'-6"	9'-2"	Main Floor Curtain Wall - North Wall	Wood, Tempered Glass	Divided into 2 equal panels, see elevation for location	
D	1	19'-8"	7'-8"	Main Floor Curtain Wall - West Wall	Wood, Tempered Glass	Divided into 3 panels, see elevation for location	
E	1	5'-4"	4'-6"	Fixed, Divided, Two Sections	Wood		
G	5	5'-5"	2'-0"	Fixed	<varies>	Tempered glass in shower	
N	1	4'-0"	2'-0"	Skylight, Flat	Aluminum, Tempered Glass		
S	3	5'-5"	5'-0"	Fixed	Wood	Tempered glass	
X	1	6'-0"	5'-0"	Casement, Double, Fixed Bottom & Side			
Y	1	3'-7"	6'-8"	Fixed	Wood, Tempered Glass		
Z	1	5'-5"	3'-6"	Sliding, Double			

TOTAL: 18

- ALL WINDOW ARE +/-
- DO NOT ORDER WINDOWS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE
- DO NOT SCALE DRAWINGS
- WINDOWS SUPPLIER TO ENSURE ALL APPLICABLE WINDOWS MEET EGRESS REQUIREMENTS
- ALL WINDOWS TO BE AS PER ID. / AS PER OWNER, UNLESS NOTED OTHERWISE

ALL DETAILS TO BE APPROVED BY BUILDING ENVELOPE CONSULTANT

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West Vancouver, BC

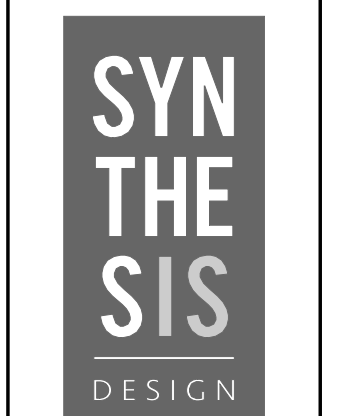
Drawing Title
DETAILS AND SCHEDULES

Date 01.13.2025
Scale As indicated
Drawn PCS / AL / DK
Job No. 24005
Sheet **A-14**
Of 19 Sheets

REVISIONS	#	BY
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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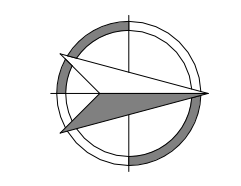
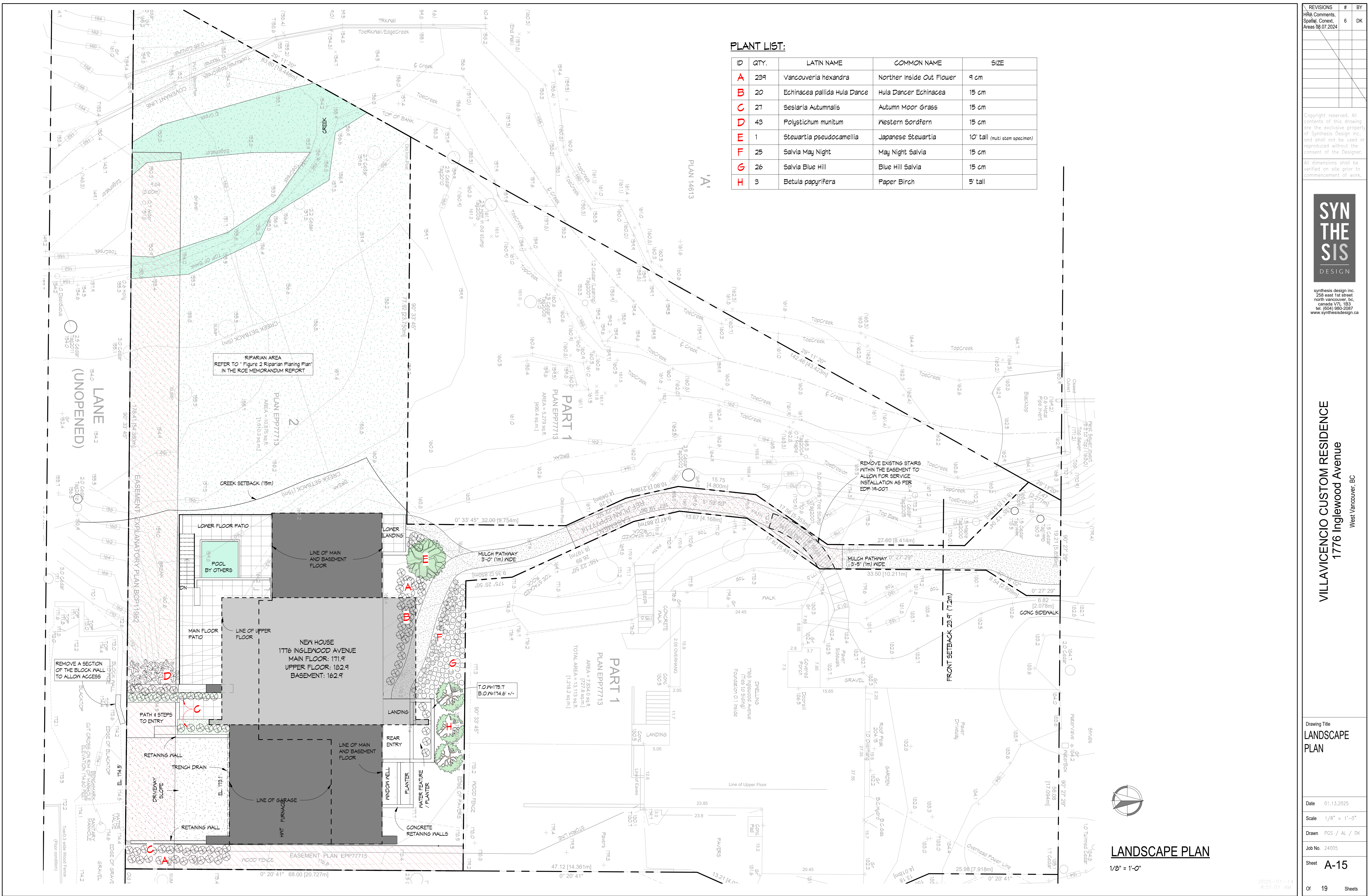
Drawing Title
LANDSCAPE PLAN

Date 01.13.2025
Scale 1/8" = 1'-0"
Drawn PGS / AL / DK
Job No. 24005
Sheet **A-15**

Or 19 Sheets

PLANT LIST:

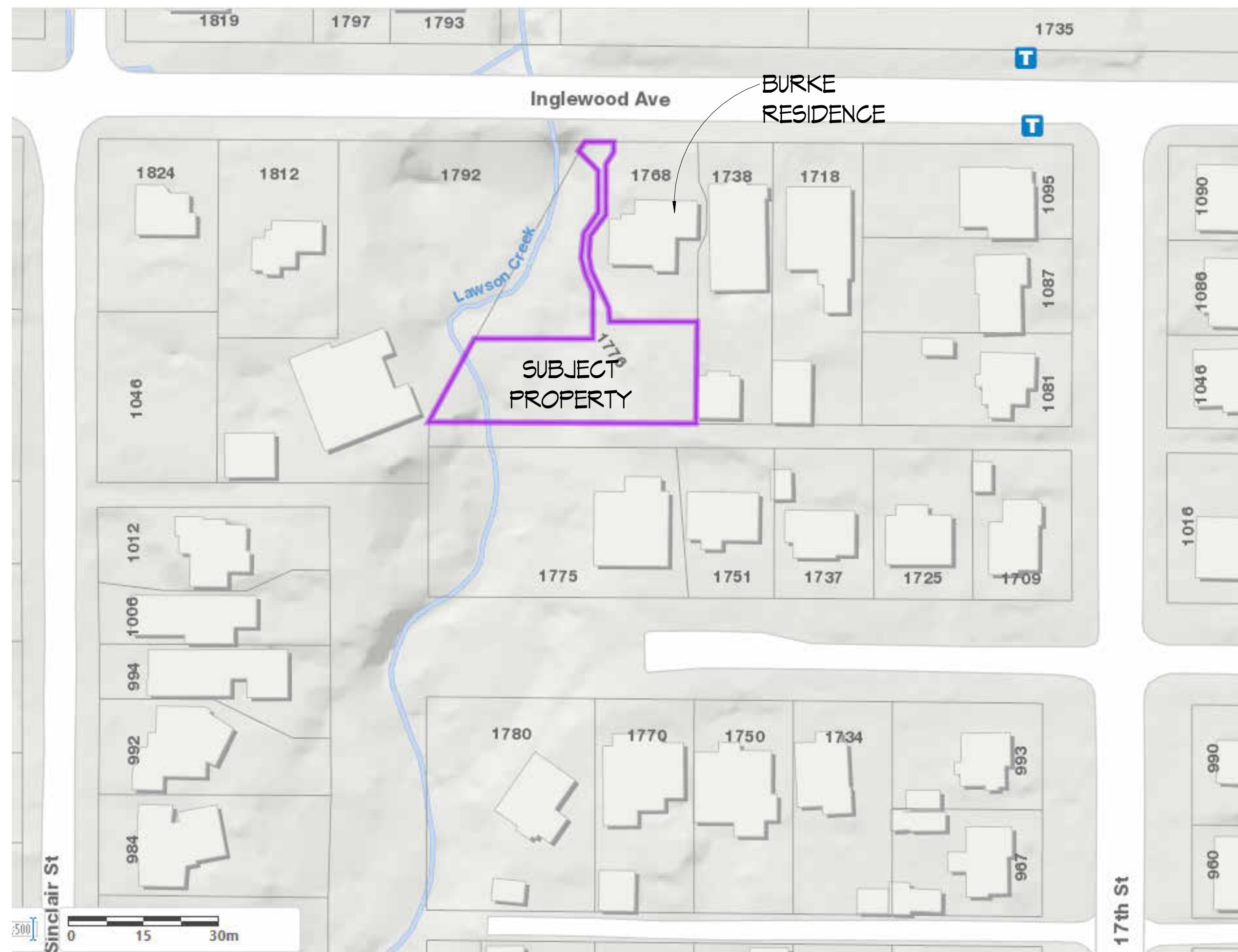
ID	QTY.	LATIN NAME	COMMON NAME	SIZE
A	239	Vancouveria hexandra	Norther Inside Out Flower	9 cm
B	20	Echinacea pallida	Hula Dancer Echinacea	15 cm
C	27	Sesleria Autumnalis	Autumn Moor Grass	15 cm
D	43	Polystichum munitum	Western Swordfern	15 cm
E	1	Stewartia pseudocamellia	Japanese Stewartia	10' tall (multi stem specimen)
F	25	Salvia May Night	May Night Salvia	15 cm
G	26	Salvia Blue Hill	Blue Hill Salvia	15 cm
H	3	Betula papyrifera	Paper Birch	5' tall



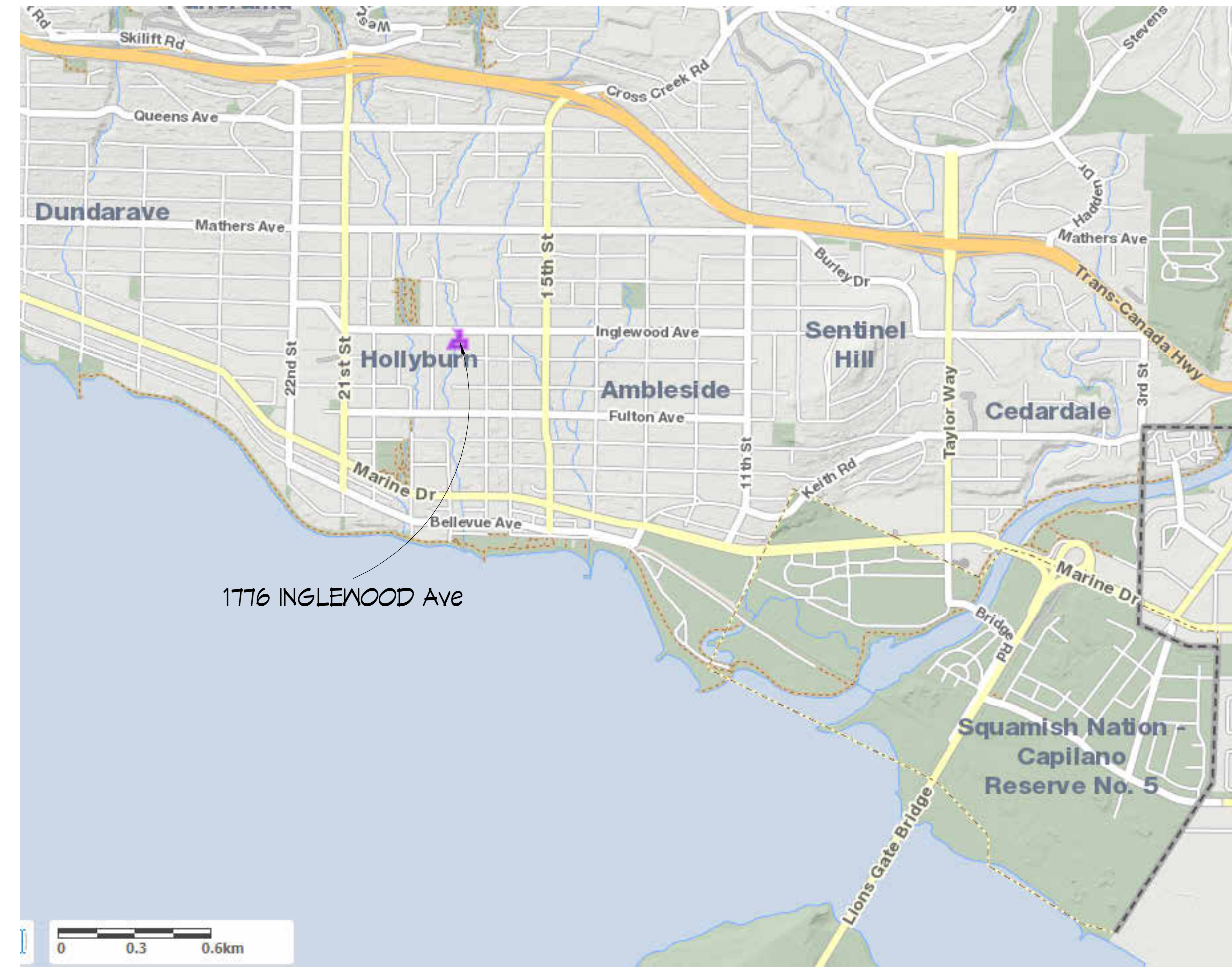
LANDSCAPE PLAN

1/8" = 1'-0"

2025-01-14
8:51:01 AM



NEIGHBOURHOOD CONTEXT PLAN

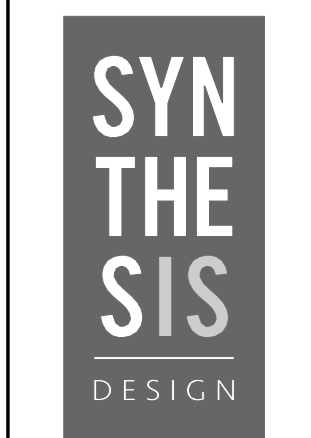


WEST VANCOUVER CONTEXT PLAN

REVISIONS	#	BY
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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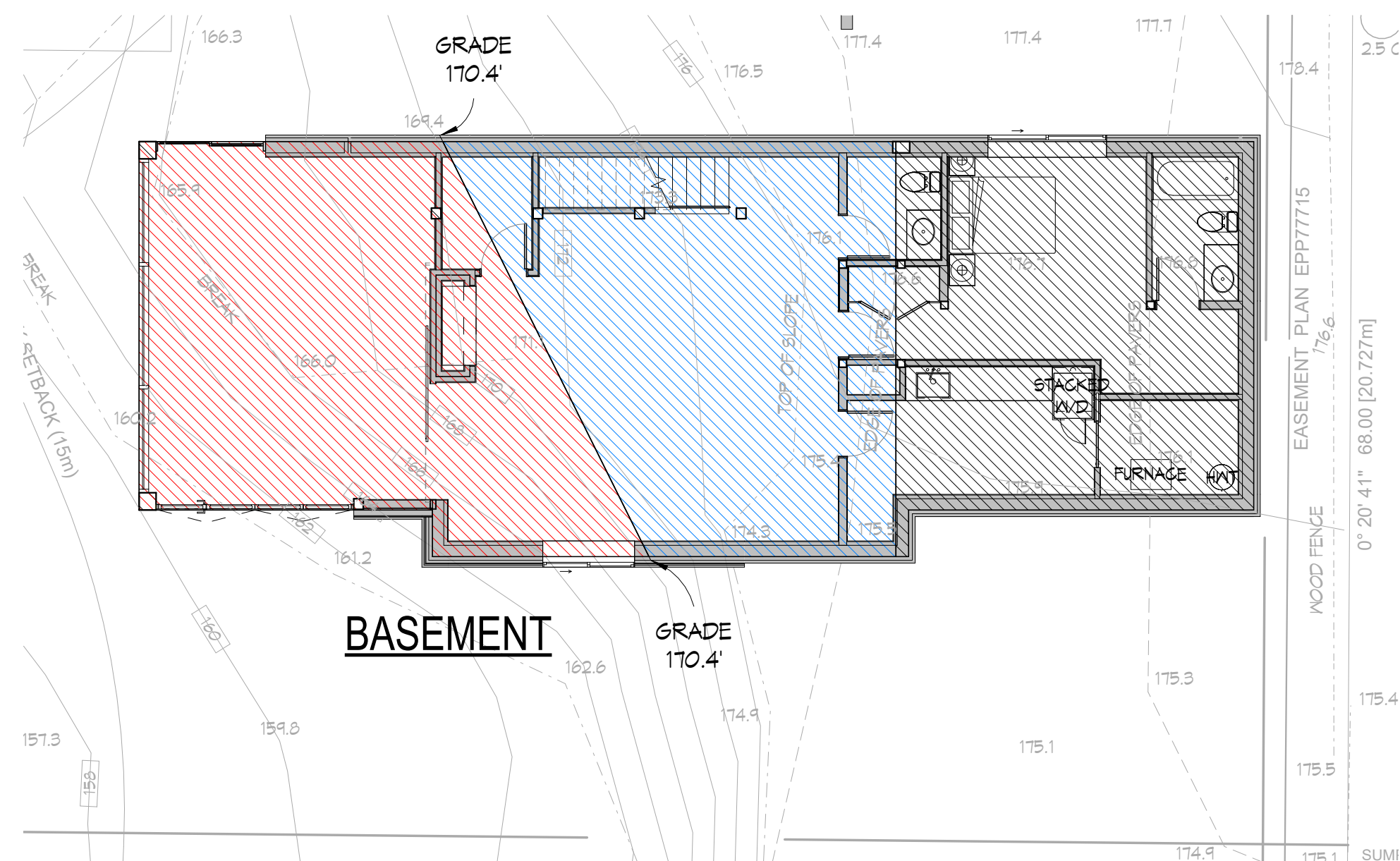


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Drawing Title
SITE CONTEXT

Date 01.13.2025
Scale NOT TO SCALE
Drawn PGS / AL / DK
Job No. 24005
Sheet A-17



BASEMENT

TOTAL BASEMENT AREA - 1,508 SF

PARTIALLY EXEMPT BASEMENT AREA:

(AVG. GRADE EL.) - (BASEMENT FLOOR EL.) / (MAIN FLOOR EL.) - (BASEMENT FLOOR EL.) x 100%

$(170.22) - (162.9) / (171.9) - (162.9) \times 100\% = 81.3\%$

PERCENTAGE INCLUDED = 100% - 81.3% = 18.7%

PARTIAL EXEMPT AREA = 540.53SF x 18.7% = 101.1 sq.ft (9.39 sq.m)

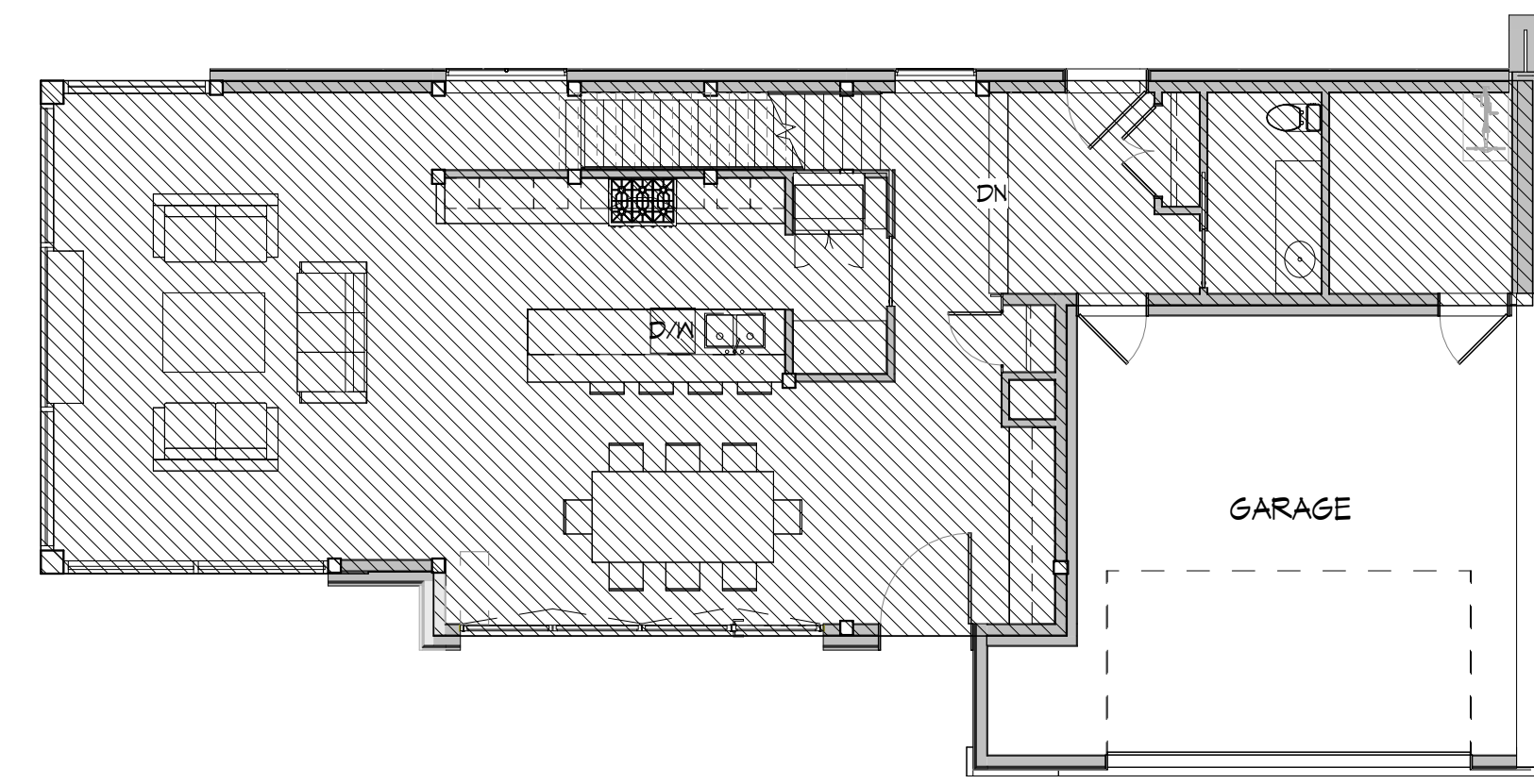
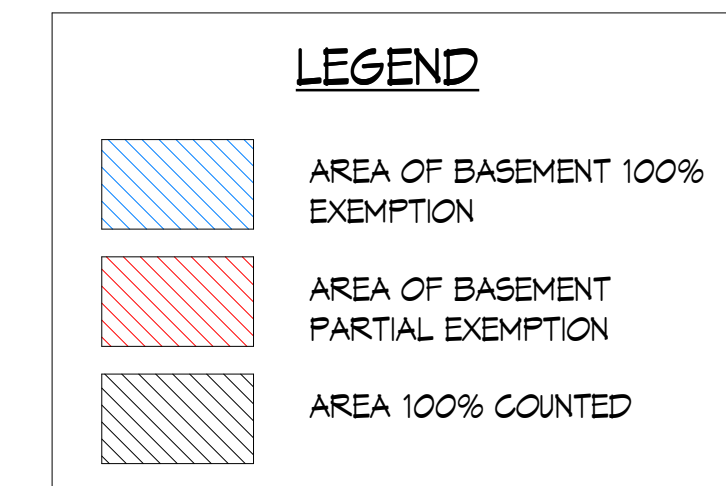
AREA 100% COUNTED = 461.35 sq.ft (42.9 sq.m)

AREA TOTALLY EXEMPT (LESS THAN 1.5' (0.45m)) = 506.14 sq.ft (47 sq.m)

TOTAL COUNTABLE BASEMENT AREA:

PARTIAL EXEMPT + 100% COUNTED

101.1 sq.ft + 461.35 sq.ft = 562.45sq.ft (52.25 sq.m)



MAIN FLOOR

MAIN FLOOR

MAIN FLOOR TOTAL INCLUDED AREA = 1264.5 sq.ft (117.5 sq.m)

GARAGE AREA CALCULATIONS

TOTAL GARAGE AREA - MAX. EXEMPT GARAGE AREA = TOTAL INCLUDED GARAGE AREA

441.6 sq.ft - 440 sq.ft = 1.6 sq.ft (0.15 sq.m)

TOTAL COUNTABLE MAIN FLOOR AREA - 1264.5 sq.ft + 1.6 sq.ft = 1266.1 sq.ft (117.6 sq.m)

TOTAL COUNTABLE FLOOR AREA:

COUNTABLE BASEMENT AREA + COUNTABLE MAIN FLOOR AREA + COUNTABLE UPPER FLOOR AREA

562.45 sq.ft (52.25 sq.m) + 1266.1 sq.ft (117.6 sq.m) + 923.5 sq.ft (85.8 sq.m)

COUNTABLE FLOOR AREA = 2,752 sq.ft (255.7 sq.m)

HRA & STEP CODE 5 COMPLIANCE CHECK:

TOTAL COUNTABLE LIVING AREA - STEP CODE 5 ALLOWABLE 8% EXEMPTION

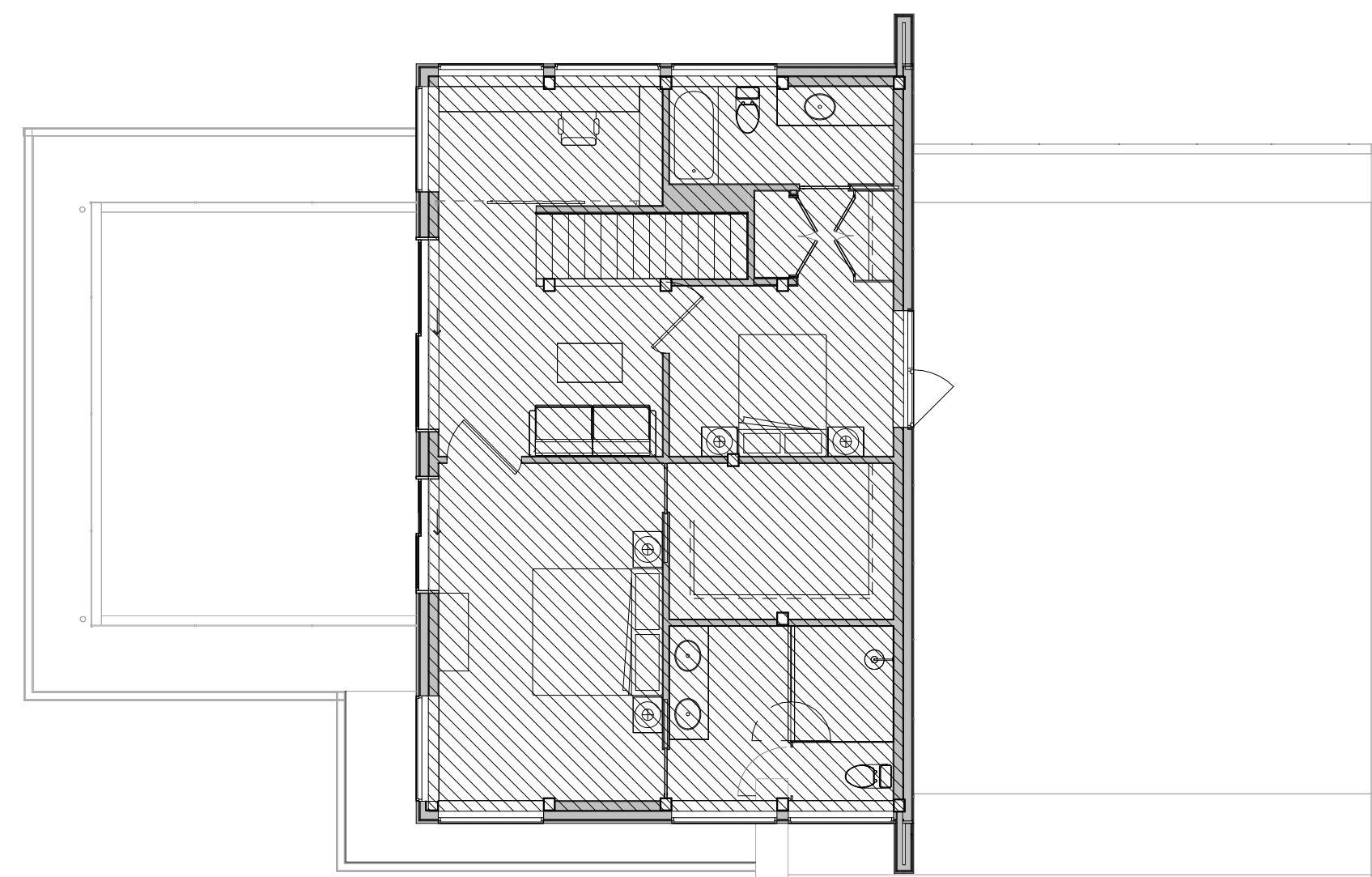
2,752 sq.ft (255.7 sq.m) - 206.7 sq.ft (19.2 sq.m)

FLOOR AREA = 2,545.3 sq.ft (236.5 sq.m)

HRA APPROVAL:

2,583 sq.ft (239.9 sq.m)

TOTAL COUNTABLE AREA COMPLIES WITH APPROVED HRA AND STEP 5 ALLOWANCE



UPPER FLOOR

UPPER FLOOR

TOTAL COUNTABLE UPPER FLOOR AREA = 923.5 sq.ft (85.8 sq.m)

REVISIONS	#	BY
IFC Changes	4	AL
HRA Comments, Spatial Context, Areas 08.07.2024	6	DK

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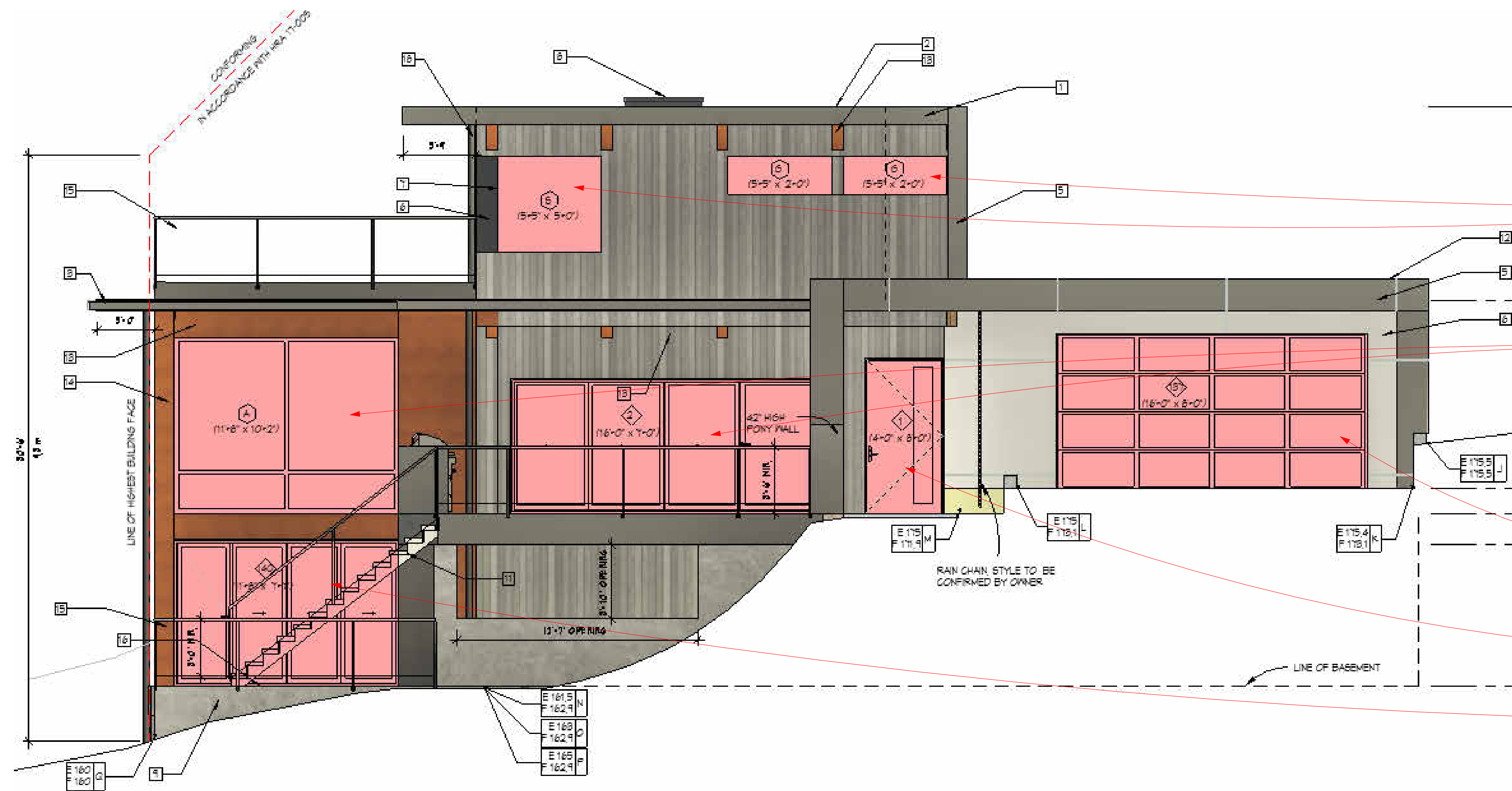


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Drawing Title
CODE COMPLIANCE PLANS

Date 01.13.2025
Scale 1/8" = 1'-0"
Drawn PGS / AL / DK
Job No. 24005
Sheet **A-19**



SYNTHESIS DESIGN PROPOSED- SOUTH ELEVATION

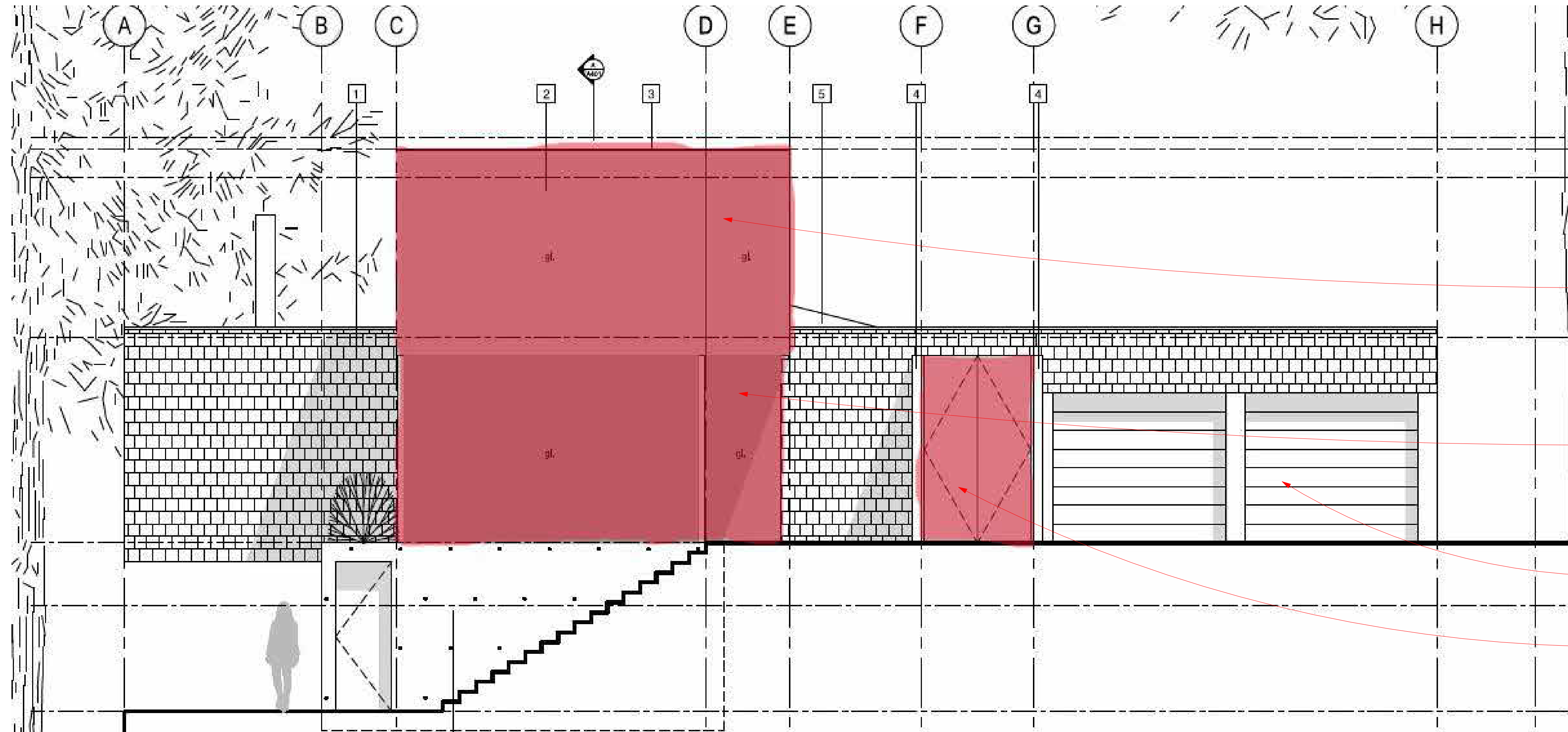
AREA GLAZING
UPPER FLOOR: 48.75sqft

AREA GLAZING
UPPER FLOOR: 216sqft
(excluding entry door and garage)

GARAGE: 130.9sqft

DOOR: 33.6sqft

AREA GLAZING
LOWER FLOOR: 88.2sqft
*BELOW GRADE AND BELOW THE LANE



BURGERS ARCHITECTS PREVIOUS DESIGN- SOUTH ELEVATION

AREA GLAZING
UPPER FLOOR: 172.2sqft

AREA GLAZING
UPPER FLOOR: 183sqft
(excluding entry door and garage)

GARAGE: 144sqft

DOOR: 52.33sqft

REVISIONS	#	BY

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Drawing Title
SOUTH ELEVATION COMPARISON

Date 10.01.2025
Scale 1/4" = 1'-0"
Drawn PCS / AL / DK
Job No. 24005
Sheet SKETCH 1
Of 1 Sheets