

ARGYLE AVENUE ARGYLE AVENUE

PROJECT STATISTICS
NATURAL ENVIRONMENT & HAZARD DEVELOPMENT PERMIT APPLICATION

LOCATION OF WORK - CIVIC ADDRESSES:
 1768 ARGYLE AVENUE, WEST VANCOUVER
LEGAL DESCRIPTION:
 LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

ZONING:
 CU5 (AMBLESIDE WATERFRONT COMMUNITY USE)

PROJECT SUMMARY:

THE EXISTING BUILDING NAVY JACK THOMAS HOUSE WAS ORIGINALLY BUILT IN 1872 BY JAMES BLAKE AND SOON ACQUIRED BY NAVVY JACK (JOHN THOMAS) A WELSH DESERTER FROM THE ROYAL NAVY. THIS HERITAGE BUILDING HAS STOOD ON THE FORESHORE FOR 152 YEARS. ITS HISTORY OF BEING THE LONGEST CONTINUOUSLY OCCUPIED HOUSE IN METRO VANCOUVER ADDS TO ITS HISTORICAL VALUE AND ROOTS OF EARLY DAY IMMIGRANTS TO CANADA'S WEST COAST.

THE DEVELOPMENT PROPOSAL IS TO RESTORE THE EXISTING HOUSE TO ITS ORIGINAL DESIGN WITH DOCUMENTATION PROVIDED BY THE HERITAGE CONSULTANT DONALD LUXTON AND ASSOCIATES INC. AND TO PROVIDE A MODEST CONTEMPORARY ADDITION TO THE WEST TO ACCOMMODATE FOR A BISTRO USE. THE PROPOSED DEVELOPMENT INCLUDES AN OUTDOOR PATIO TO THE SOUTH AND SEATING ON THE RESTORED PORCH OF THE NAVY JACK HOUSE WITH VIEWS TO THE FORESHORE, AND STANLEY PARK. AN ACCESSIBLE ACCESS PATHWAY FROM ARGYLE AVENUE AND RAMP PROVIDES PUBLIC ACCESS FROM THE NORTH'S WELL KNOWN AND USED SHARED PEDESTRIAN AND BIKE ROUTE. THE PUBLIC COMMUNITY AND NEIGHBOURHOOD BENEFITS TO RESTORE THE NAVY JACK AND ITS MODEST ADDITION IS A SIGNIFICANT CONTRIBUTION TO A NEW AMENITY AND GATHERING SPACE FOR WEST VANCOUVER.

LIST OF CONSULTANTS

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DRAWING LIST	
#	DRAWING NAME

DP100	SITE PLAN
DP101	ZONING, SITE CONTEXT, GARBAGE ACCESS & HYDRANT
DP102	PERSPECTIVE, MATERIALS, & COLOURS
DP103	EXISTING BUILDING CONDITIONS
DP110	RETENTION FLOOR PLANS
DP111	RETENTION ELEVATIONS
DP201	PROPOSED LEVEL 1 FLOOR PLAN (SEATING LAYOUT)
DP202	PROPOSED LEVEL 2 (ATTIC) MECHANICAL ROOM
DP203	ROOF PLAN
DP301	PROPOSED SOUTH ELEVATION
DP302	PROPOSED NORTH ELEVATION
DP303	PROPOSED EAST ELEVATION
DP304	PROPOSED WEST ELEVATION
DP401	PROPOSED BUILDING SECTIONS
DP402	PROPOSED BUILDING SECTIONS



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REVISIONS		
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13	DP RESUBMISSION	2024 JUNE 26
19	ISSUED FOR AHJ REVIEW	2024 JULY 26
20	DP RESUBMISSION#2	2024 SEPT 05
22	DP RESUBMISSION#3	2024 OCT 02

PROJECT:
 LOT A BLOCK U DISTRICT LOT 775
 PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
 WEST VANCOUVER

DRAWING TITLE

SITE PLAN

Date	Project number
2024 DEC 05	2329

Scale
 1/8" = 1'-0"

Drawn by
 HD

Approved by
 CK

2024-12-17 10:23:00 PM

NOTE: RETAIN THE IRRIGATION BOX VALVE IN THE NW CORNER OF THE PARK (1770 ARGYLE AVENUE) IN PLACE IF POSSIBLE.

ARBORIST TO SUPERVISE REMOVAL OF CONCRETE PAD WITHIN CRZ OF TREE#10

ARBORIST TO SUPERVISE PATH CONSTRUCTION WORKS WITHIN CRZ OF TREE#8

FOR PEDESTRIAN PASSAGE AND LANDSCAPING PLANTING ONLY. PLANTINGS MUST BE DONE BY HAND & UNDER SUPERVISION OF ARBORIST

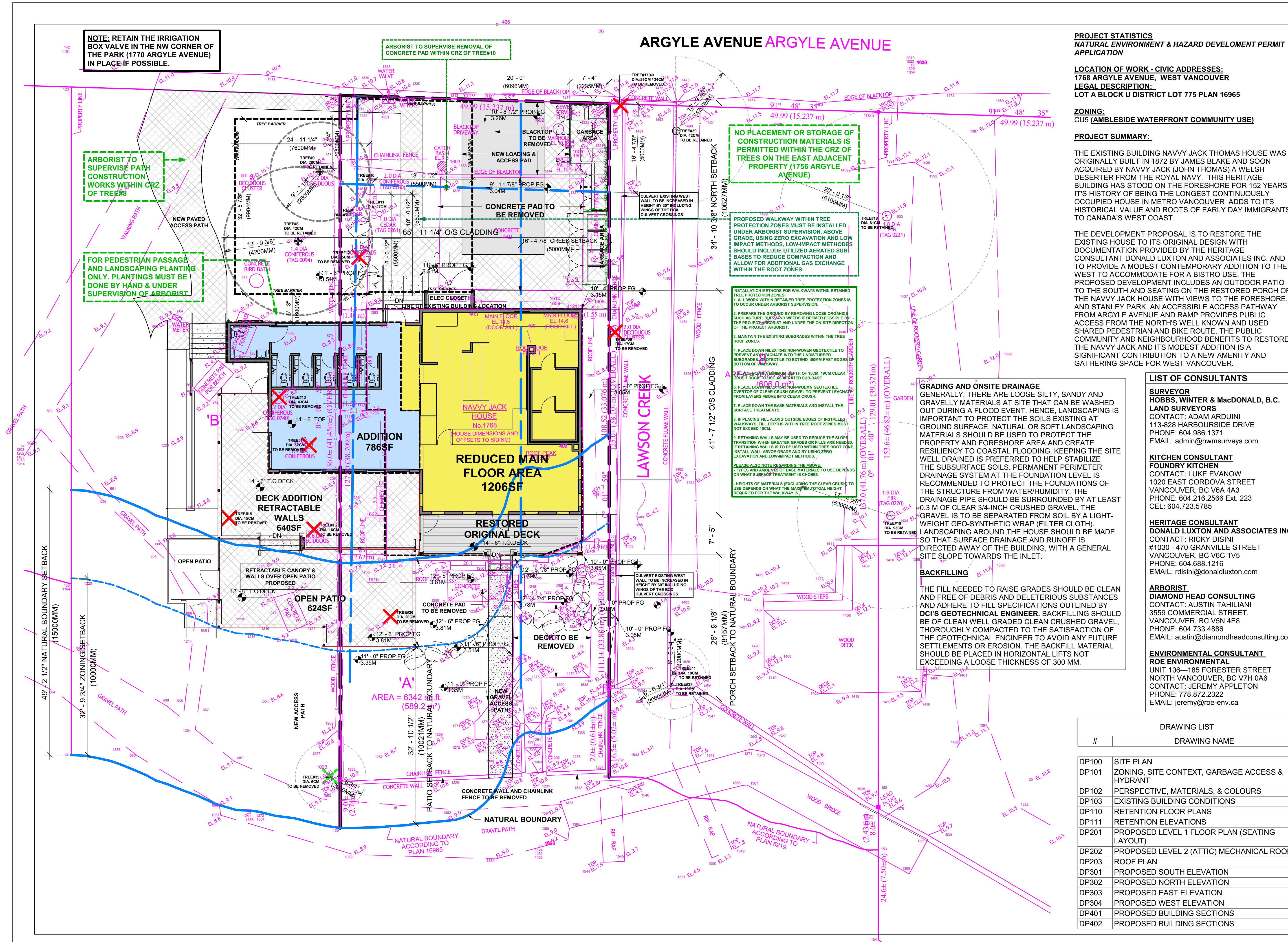
NO PLACEMENT OR STORAGE OF CONSTRUCTION MATERIALS IS PERMITTED WITHIN THE CRZ OF TREES ON THE EAST ADJACENT PROPERTY (1756 ARGYLE AVENUE)

PROPOSED WALKWAY WITHIN TREE PROTECTION ZONES MUST BE INSTALLED UNDER ARBORIST SUPERVISION, ABOVE GRADE, USING ZERO EXCAVATION AND LOW IMPACT METHODS. LOW-IMPACT METHODS SHOULD INCLUDE UTILIZED AERATED SUBBASES TO REDUCE COMPACTION AND ALLOW FOR ADDITIONAL GAS EXCHANGE WITHIN THE ROOT ZONES

INSTALLATION METHODS FOR WALKWAYS WITHIN RETAINED TREE PROTECTION ZONES:
 1. ALL WORK WITHIN RETAINED TREE PROTECTION ZONES IS TO OCCUR UNDER ARBORIST SUPERVISION.
 2. PREPARE THE GROUND BY REMOVING LOOSE ORGANICS SUCH AS TURF, DUFF, AND WEEDS IF DEEMED POSSIBLE BY THE PROJECT ARBORIST AND UNDER THE ON-SITE DIRECTION OF THE PROJECT ARBORIST.
 3. MAINTAIN THE EXISTING SUBGRADES WITHIN THE TREE PROTECTION ZONES.
 4. PLACE DOWN NILEX 4540 NON-WOVEN GEOTEXTILE TO PREVENT ANY REACH INTO THE UNDISTURBED SUBGRADES. GEOTEXTILE TO EXTEND 150MM PAST EDGES OF BOTTOM OF WALKWAY.
 5. PLACE DOWN MINIMUM DEPTH OF 15CM, 19CM CLEAR CRUSH ROCK TO USE AS AERATED SUBBASE.
 6. PLACE DOWN NILEX 4540 NON-WOVEN GEOTEXTILE OVER TOP OF CLEAR CRUSH GRAVEL TO PREVENT LEACHATE FROM LAYERS ABOVE INTO CLEAR CRUSH.
 7. PLACE DOWN THE BASE MATERIALS AND INSTALL THE SURFACE TREATMENTS.
 8. IF PLACING FILL ALONG OUTSIDE EDGES OF INSTALLED WALKWAYS, FILL DEPTHS WITHIN TREE ROOT ZONES MUST NOT EXCEED 19CM.
 9. RETAINING WALLS MAY BE USED TO REDUCE THE SLOPE TRANSITION WHEN GREATER GRADES OR FILLS ARE NEEDED. IF RETAINING WALLS IS TO BE USED WITHIN TREE ROOT ZONE, INSTALL WALL ABOVE GRADE AND BY USING ZERO-EXCAVATION AND LOW-IMPACT METHODS.
 PLEASE ALSO NOTE REGARDING THE ABOVE:
 - TYPES AND AMOUNTS OF BASE MATERIALS TO USE DEPENDS ON WHAT SURFACE TREATMENT IS CHOSEN.
 - HEIGHTS OF MATERIALS EXCLUDING THE CLEAR CRUSH TO USE DEPENDS ON WHAT THE MAXIMUM TOTAL HEIGHT REQUIRED FOR THE WALKWAY IS.

GRADING AND ONSITE DRAINAGE
 GENERALLY, THERE ARE LOOSE SILTY, SANDY AND GRAVELLY MATERIALS AT SITE THAT CAN BE WASHED OUT DURING A FLOOD EVENT. HENCE, LANDSCAPING IS IMPORTANT TO PROTECT THE SOILS EXISTING AT GROUND SURFACE. NATURAL OR SOFT LANDSCAPING MATERIALS SHOULD BE USED TO PROTECT THE PROPERTY AND FORESHORE AREA AND CREATE RESILIENCY TO COASTAL FLOODING. KEEPING THE SITE WELL DRAINED IS PREFERRED TO HELP STABILIZE THE SUBSURFACE SOILS. PERMANENT PERIMETER DRAINAGE SYSTEM AT THE FOUNDATION LEVEL IS RECOMMENDED TO PROTECT THE FOUNDATIONS OF THE STRUCTURE FROM WATER/HUMIDITY. THE DRAINAGE PIPE SHOULD BE SURROUNDED BY AT LEAST 0.3 M OF CLEAR 3/4-INCH CRUSHED GRAVEL. THE GRAVEL IS TO BE SEPARATED FROM SOIL BY A LIGHT-WEIGHT GEO-SYNTHETIC WRAP (FILTER CLOTH). LANDSCAPING AROUND THE HOUSE SHOULD BE MADE SO THAT SURFACE DRAINAGE AND RUNOFF IS DIRECTED AWAY OF THE BUILDING, WITH A GENERAL SITE SLOPE TOWARDS THE INLET.

BACKFILLING
 THE FILL NEEDED TO RAISE GRADES SHOULD BE CLEAN AND FREE OF DEBRIS AND DELETERIOUS SUBSTANCES AND ADHERE TO FILL SPECIFICATIONS OUTLINED BY DCI'S GEOTECHNICAL ENGINEER. BACKFILLING SHOULD BE OF CLEAN WELL GRADED CLEAN CRUSHED GRAVEL, THOROUGHLY COMPACTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER TO AVOID ANY FUTURE SETTLEMENTS OR EROSION. THE BACKFILL MATERIAL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING A LOOSE THICKNESS OF 300 MM.



NEW PAVED ACCESS PATH

CONCRETE PAD TO BE REMOVED

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CONCRETE PAD TO BE REMOVED

CONCRETE PAD TO BE REMOVED

CONCRETE PAD TO BE REMOVED

CONCRETE PAD TO BE REMOVED

DECK ADDITION RETRACTABLE WALLS 640SF

OPEN PATIO 624SF

RESTORED ORIGINAL DECK

DECK TO BE REMOVED

DECK TO BE REMOVED

DECK TO BE REMOVED

DECK TO BE REMOVED

DECK TO BE REMOVED

NEW GRAVEL ACCESS PATH

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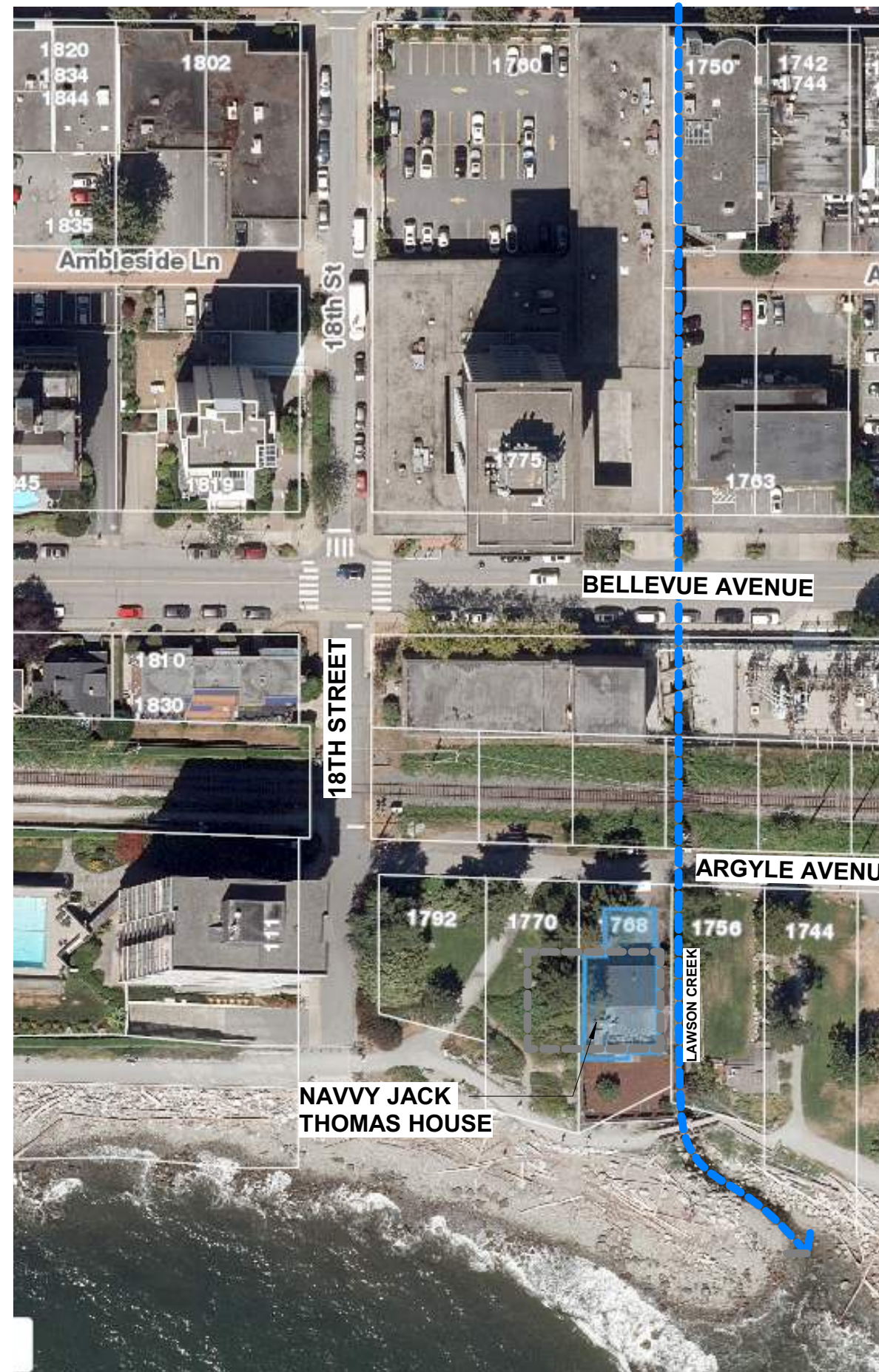
NEW GRAVEL ACCESS PATH

NEW GRAVEL ACCESS PATH

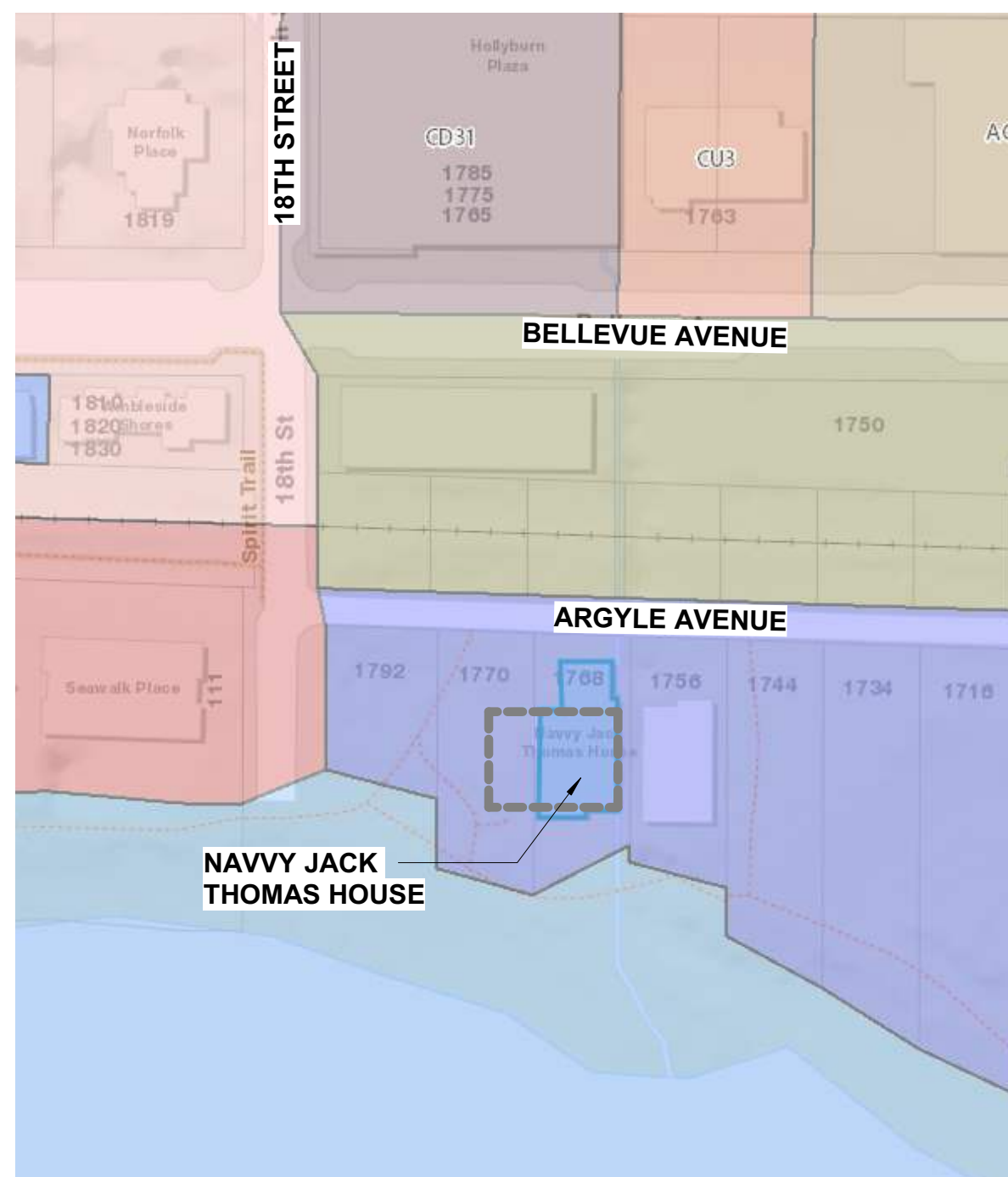
NEW GRAVEL ACCESS PATH

NEW GRAVEL ACCESS PATH

NEW GRAVEL ACCESS PATH



SITE CONTEXT - AERIAL



SITE CONTEXT - ZONING

LEGEND

- AC1 - AMBLESIDE CENTRE ZONE
- C2 - COMMERCIAL ZONE
- CD31 - COMPREHENSIVE DEVELOPMENT ZONE
- CD75 - COMPREHENSIVE DEVELOPMENT ZONE
- CU3 - COMMUNITY/PUBLIC USE ZONE
- CU5 - AMBLESIDE WATERFRONT COMMUNITY USE
- M1 - MARINE ZONE
- RD1 - DUPLEX DWELLING ZONE
- RD3 - DUPLEX DWELLING ZONE
- RM1 - MULTIPLE DWELLING ZONE
- RM2 - MULTIPLE DWELLING ZONE

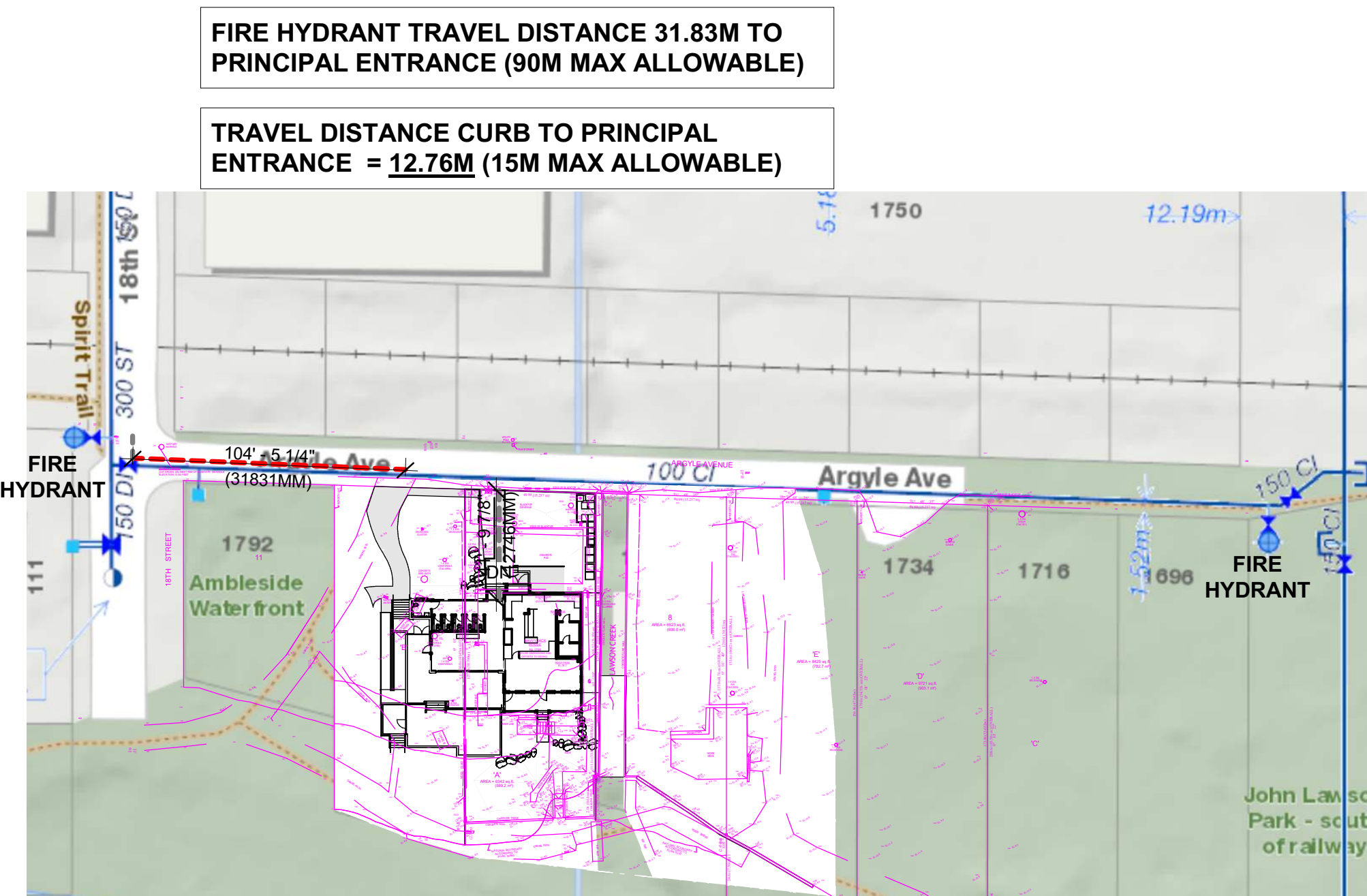
PROJECT STATISTICS - ZONING: CU5 - AMBLESIDE WATERFRONT COMMUNITY USE ZONE 5

1. <u>SITE AREA: N/A (2 DISTRICT LOTS)</u>			
2. <u>MAX. GROSS FLOOR AREA ALLOWABLE: 280SM (3013.9SF)</u> (RESTAURANT/BISTRO USE)			
	EXISTING	RETAINED	ADDITION
A) LEVEL 1 FLOOR AREA:	1731SF	1206SF	786SF
C) LEVEL 2 FLOOR AREA:	1041SF	0SF	N/A
C) TOTAL FLOOR AREA:	2772SF	1206SF	786SF
D) EXISTING PORCH AREA:		225SF	
E) NEW DECK AREA:		640SF	
F) PATIO:		624SF	(FAR EXEMPT)
G) TOTAL PORCH/DECK/PATIO AREA:		865SF	
TOTAL PROPOSED FLOOR AREA: 1206SF +786SF +865 = 2857SF (265SM)			

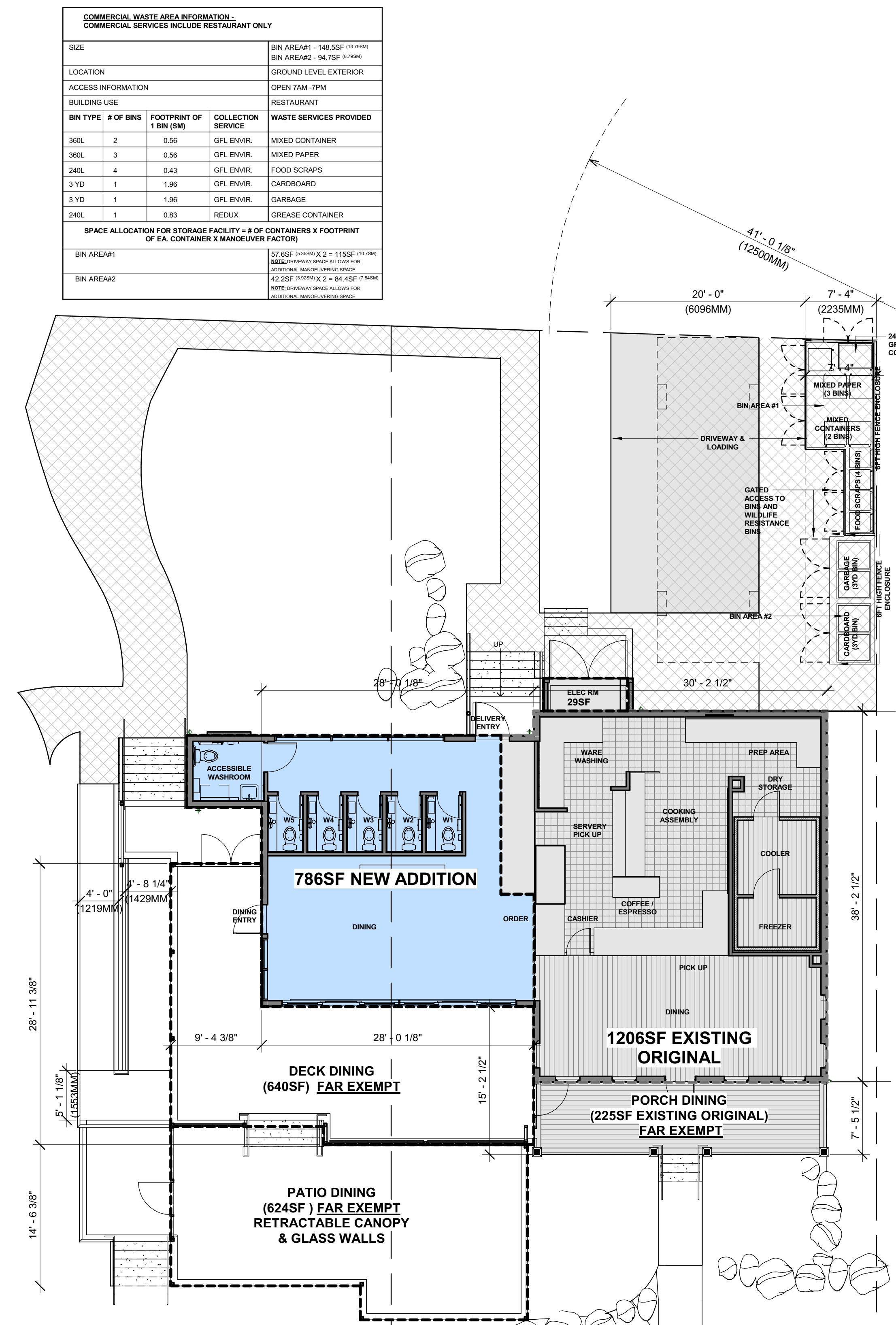
3. <u>SETBACKS</u>			
	PROPOSED	ALLOWABLE	
A) NORTH SETBACK =	34' - 10 3/8" (10.627MM)	16.4FT (5000MM)	
B) SOUTH SETBACK =	26' - 9 1/8" (8157MM)	32.8FT (10000MM)	

4. <u>MAX. ALLOWABLE NUMBER OF STOREYS: 2 STOREYS</u>	
PROPOSED 2 STOREYS EXISTING WITH UPPER STOREY/ATTIC DECOMMISSIONED AND USE FOR MECHANICAL EQUIPMENT ONLY WITH ACCESS BY CEILING HATCH.	

5. <u>PROPOSED VARIANCES:</u>	
A)	SOUTH SETBACK REDUCTION BY 1843MM (6.05FT) DUE TO RESTORATION OF THE ORIGINAL PORCH OF THE HERITAGE BUILDING.
B)	BUILDING TO BE STRADDLING WEST PROPERTY LINE THAT IS BETWEEN THE TWO SUBJECT PARCELS)



1-8 FIRE HYDRANT LOCATIONS
1" = 50'-0"



1-8 PROPOSED FLOOR AREA & GARBAGE ACCESS
1/8" = 1'-0"

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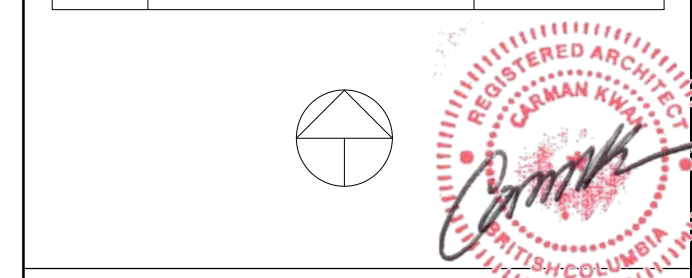
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REVISIONS

No.	Description	Date
1	ISSUED FOR DISCUSSION	2023 AUG 21
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05
22	DP RESUBMISSION#3	2024 OCT 02



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE

ZONING, SITE CONTEXT, GARBAGE ACCESS & HYDRANT

Date	Project number
2024 DEC 05	2329
Scale	As indicated
Drawn by	HD
Approved by	CK

DP101



WATERFRONT VIEW

- STAINED CEDAR ROOFING SHINGLES
BM ARBORCOAT EXTERIOR STAIN SEMI-TRANSPARENT K63820
- WOODEN DROP SIDING
BENJAMIN MOORE PAINT VICTORIAN PERIDOT VC-17 TBC BY HERITAGE CONSULTANT
- TRIM & WINDOW SASH
SHERWIN WILLIAMS PAINT PENDRELL GREEN
- FASCIA
SHERWIN WILLIAMS PAINT PENDRELL VERDIGRIS VC-22
- BALUSTERS & BRACKETS
SHERWIN WILLIAMS PAINT PENDRELL VERDIGRIS VC-22
- PORCH COLUMNS
SHERWIN WILLIAMS PAINT PENDRELL GREEN



WESTSIDE VIEW



ARGYLE AVENUE VIEW

- FASCIA & METAL FLASHING
BENJAMIN MOORE METRO GRAY 1499
- COMPOSITE PANEL CLADDING
BENJAMIN MOORE METRO GRAY 1499
- CLEAR ANODIZED ALUMINUM STOREFRONT

MATERIAL & COLOURS



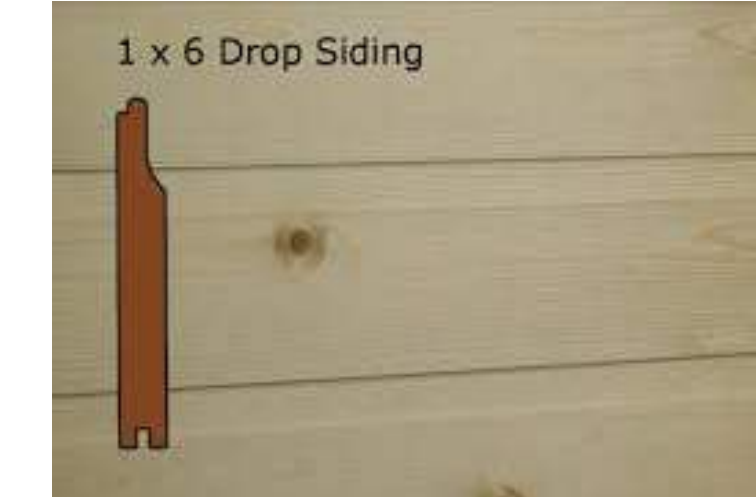
HARDIE PANEL CLADDING, FASCIA, FLASHING
SHERWIN WILLIAMS HARRIS GREY VC-25



HARDIE PANEL CLADDING



ANODIZED ALUMINUM STOREFRONT



DROP SIDING

TABLE 511.1 - HISTORICAL COLOUR SCHEME: NAVVY JACK HOUSE, 1768 ARGYLE AVENUE, WEST VANCOUVER BC

ELEMENT	COLOUR	CODE*	SAMPLE	FINISH
A Horizontal Drop Wood Siding	Pendrell Verdigris	VC-22		Flat
B Exterior drop wood horizontal sidings	VICTORIAN PERIDOT TBC BY HERITAGE CONSULTANT	VC-17		Flat
C Window and Door surround casings, sills,	Pendrell Green	VC-18		High Gloss
D Lathe-turned Posts on verandah	Pendrell Green	VC-18		High Gloss
E Decorative Wood Brackets	Pendrell Verdigris	VC-22		Semi Gloss
F Facias, Bargeboards	Pendrell Verdigris	VC-22		Semi Gloss
G Wood ballustrades	Pendrell Verdigris	VC-22		Semi Gloss
H Porch Flooring	Edwardian Porch Grey	VC-26		Flat
I Exposed roof raftertails and tongue-and-groove soffits	Pendrell Verdigris	VC-22		Semi Gloss
J Exterior wood window sashes	Pendrell Green	VC-18		High Gloss
K Exterior wood door sashes	Pendrell Green	VC-18		High Gloss
L Curved tin roof cladding with nailed down wood battens over	BM Arborcoat Exterior Stain Semi-Transparent	K63820		Stained
M Cedar Shingle Roof	BM Arborcoat Exterior Stain Semi-Transparent	K63820		Stained

*VC - Paint colours matched from Benjamin Moore's Historical Vancouver True Colours



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LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE

PERSPECTIVE,
MATERIALS, &
COLOURS

Date 2024 DEC 05 Project number 2329

Scale

Drawn by HD DP102

Approved by CK



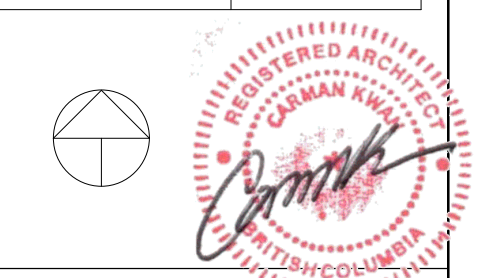
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28	DP RESUBMISSION#4	2024 NOV 22



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

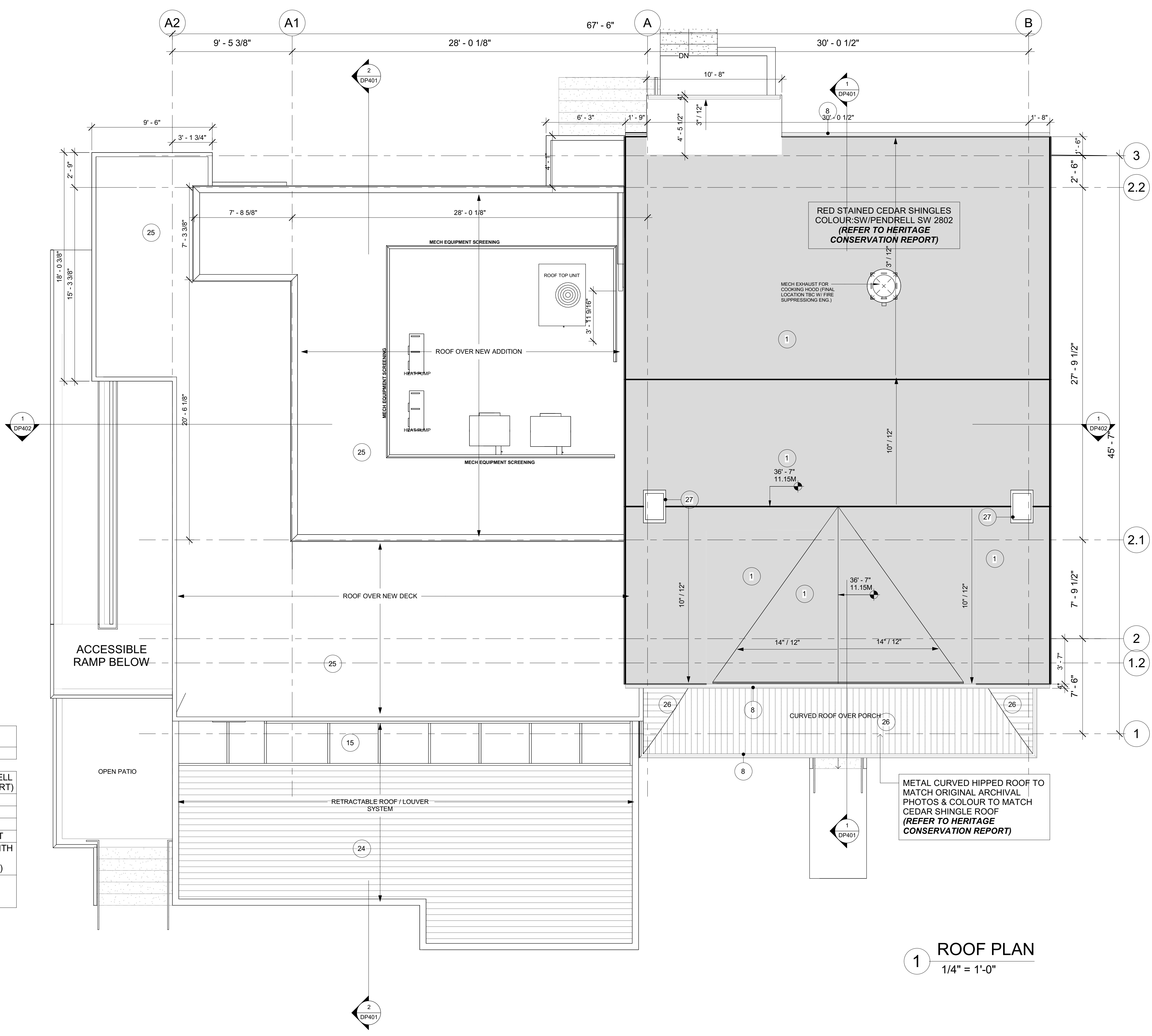
NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE
ROOF PLAN

Date	2024 DEC 05	Project number	2329
Scale	1/4" = 1'-0"	DP203	
Drawn by	CK		
Approved by	CK		

MATERIAL NOTES

#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
8	PREFINISHED ALUMINUM GUTTER
15	TEMPERED DOUBLE GLAZED SKYLIGHTS
24	RETRACTABLE ROOF / LOUVER SYSTEM
25	SBS TORCH ON ROOFING MEMBRANE C/W CAP SHEET
26	CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)
27	CIP CONCRETE CHIMNEY CAP (FINAL APPROVED DESIGN TO BE COORDINATED WITH HERITAGE CONSULTANT)



1 ROOF PLAN
1/4" = 1'-0"



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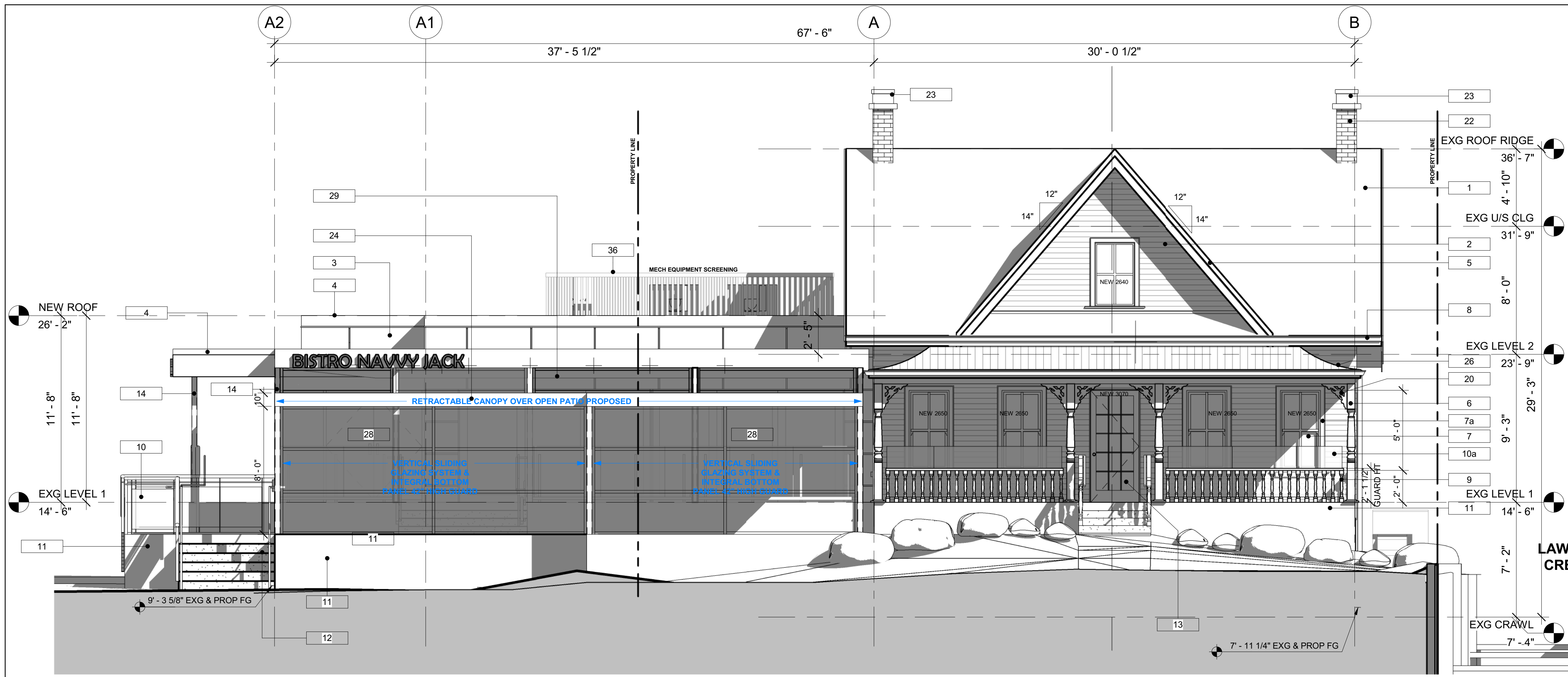
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PORCH CURVED INTERIOR SOFFIT AT SIDE ELEVATIONS



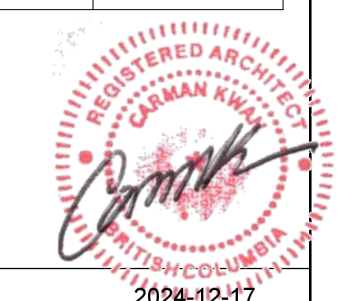
1-4 SOUTH ELEVATION
1/4" = 1'-0"

REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15
12	ISSUED FOR PRICING	2024 JUNE 05
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05

MATERIAL NOTES

#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR: SW/PENDRELL SW 2802 (REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
6	PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN
7	NEW WOOD WINDOWS DOUBLE GLAZED WITH SUBSTANTIAL FRAME SIZE TO MATCH HERITAGE BUILDING BASED ON HISTORICAL PHOTO DOCUMENTATION
7a	PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
8	PREFINISHED ALUMINUM GUTTER
9	PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN
10	LAMINATED 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
10a	LAMINATED 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
13	ENTRY WOOD DOOR ON NORTH SIDE TO BE REPLICA BASED ON HISTORICAL PHOTO DOCUMENTATION (NOTE MAIN ENTRY DOOR'S FIXED ORIGINAL DIVIDED LITE PATTERN TO BE REPLICATED)
14	EPOXY MARINE GRADE PAINTED STEEL COLUMN
20	PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
23	CONCRETE CHIMNEY CAP TO MATCH HERITAGE CONSERVATION REPORT RECOMMENDATIONS
24	RETRACTABLE ROOF / LOUVER SYSTEM
26	CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)
28	VERTICAL SLIDING GLAZING ALUM SYSTEM & INTEGRAL BOTTOM PANEL 42" HIGH LAMINATED GLASS GUARD
29	CLERESTORY ALUM STOREFRONT GLAZING SYSTEM
36	POWDERCOATED ALUM SCREEN



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE

PROPOSED SOUTH ELEVATION

Date: 2024 DEC 05 Project number: 2329

Scale: 1/4" = 1'-0"

Drawn by: HD **DP301**

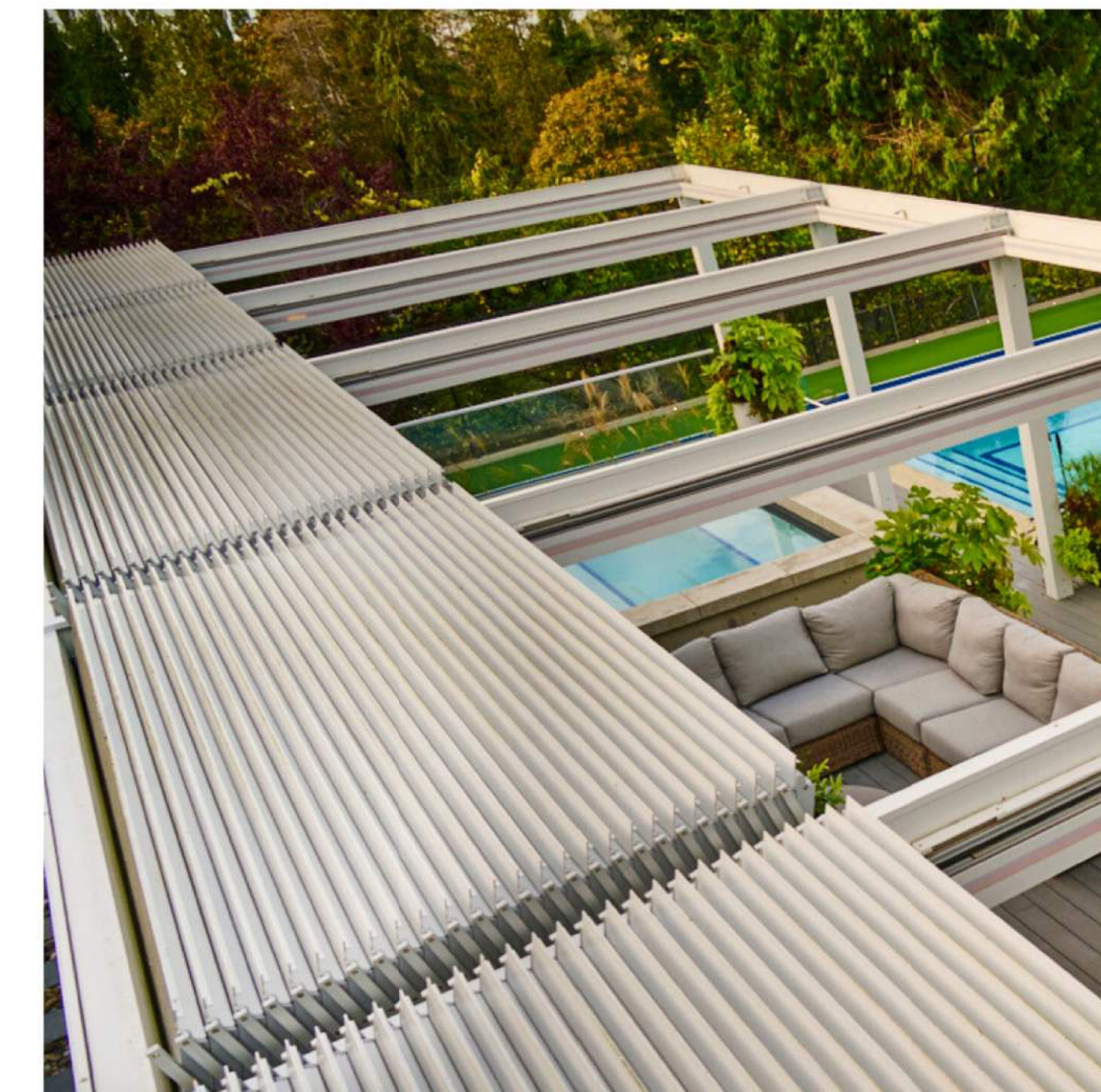
Approved by: CK



SLIDECLEAR - VERTASLIDE
VERTICAL SLIDE WITH BOTTOM GUARD PANEL



SLIDECLEAR - VERTASLIDE
VERTICAL SLIDE WITH BOTTOM GUARD PANEL



SLIDECLEAR - AIRIA LOUVERS (RETRACTABLE ROOF)



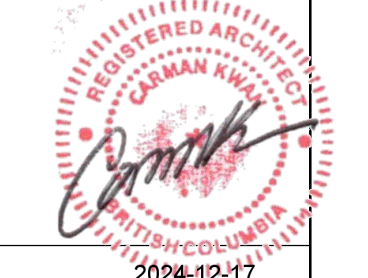
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REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15
13	DP RESUBMISSION	2024 JUNE 26
19	ISSUED FOR AHJ REVIEW	2024 JULY 26
20	DP RESUBMISSION#2	2024 SEPT 05
22	DP RESUBMISSION#3	2024 OCT 02
28	DP RESUBMISSION#4	2024 NOV 22

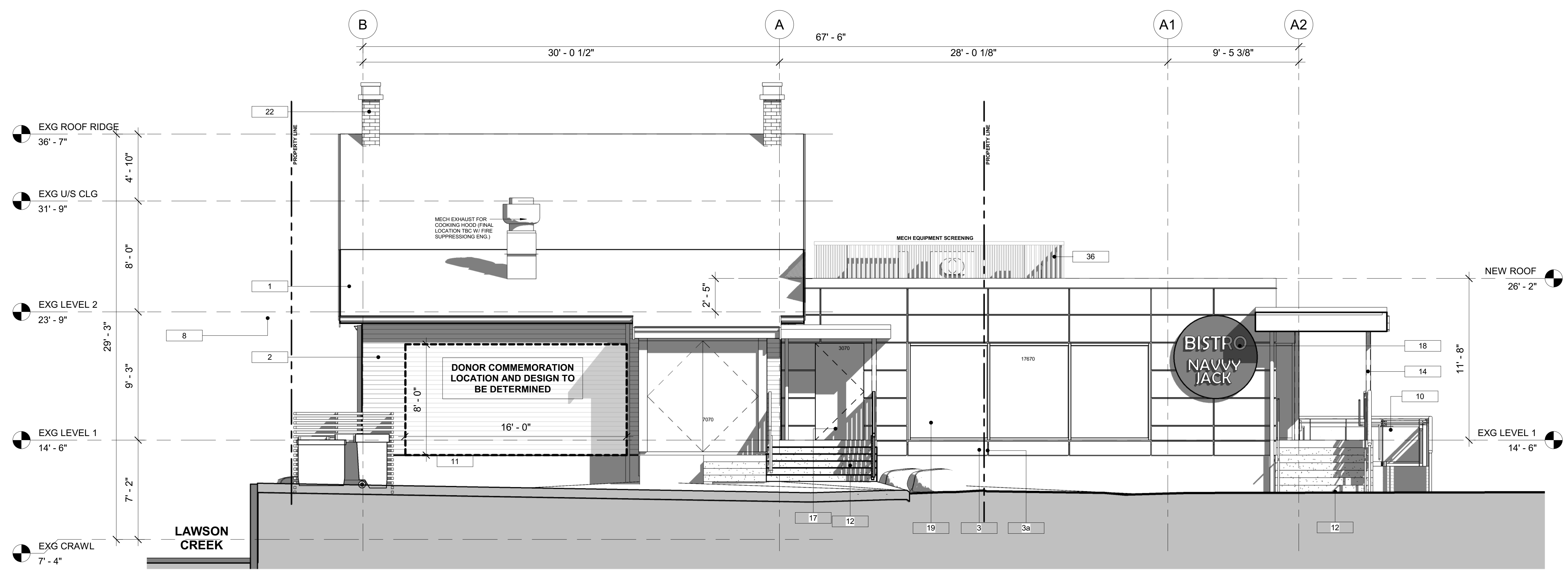


PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE
**PROPOSED
NORTH
ELEVATION**

Date	2024 DEC 05	Project number	2329
Scale	1/4" = 1'-0"	<p>DP302</p>	
Drawn by	HD		
Approved by	CK		



1-4 NORTH ELEVATION
1/4" = 1'-0"

MATERIAL NOTES

#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS
3a	
8	PREFINISHED ALUMINUM GUTTER
10	LAMINATED 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
14	EPOXY MARINE GRADE PAINTED STEEL COLUMN
17	EPOXY (MARINE GRADE) PAINTED METAL DOOR & FRAME (THERMALLY BROKEN & WEATHERSTRIPPED)
18	RESTAURANT SIGNAGE
19	ANODIZED ALUMINUM STOREFRONT SYSTEM
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
36	POWDERCOATED ALUM SCREEN

2024-12-17 10:25:07 PM



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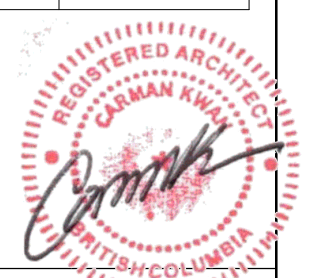
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19	ISSUED FOR AHJ REVIEW	2024 JULY 26
20	DP RESUBMISSION#2	2024 SEPT 05
22	DP RESUBMISSION#3	2024 OCT 02



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE

**PROPOSED EAST
ELEVATION**

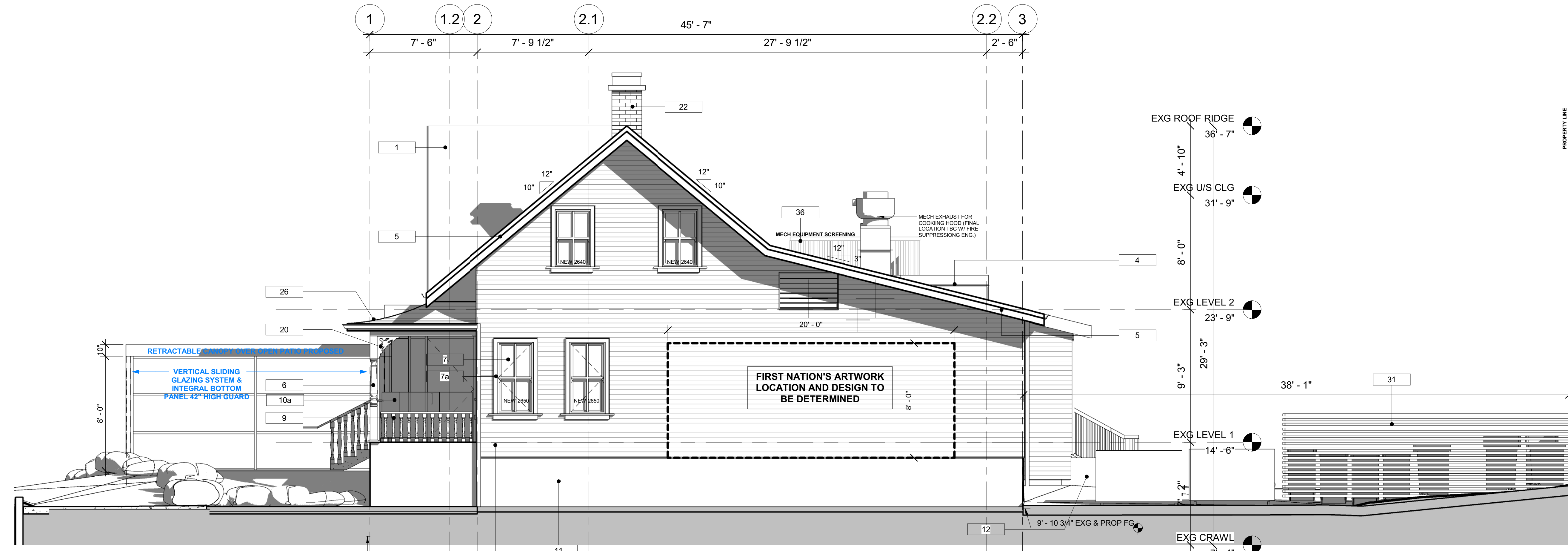
Date: 2024 DEC 05 Project number: 2329

Scale: 1/4" = 1'-0"

Drawn by: HD

Approved by: CK

2024-12-17 10:25:18 PM



1-4 EAST ELEVATION
1/4" = 1'-0"

MATERIAL NOTES

#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
6	PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN
7	NEW WOOD WINDOWS DOUBLE GLAZED WITH SUBSTANTIAL FRAME SIZE TO MATCH HERITAGE BUILDING BASED ON HISTORICAL PHOTO DOCUMENTATION
7a	PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
9	PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN
10a	LAMINATED 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
20	PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
26	CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)
31	POWDERCOATED ALUM SECURITY/SCREEN 1X1 HORZ SECTIONS W/ 1" GAP C/W SECURED GATES & DOOR HARDWARE TO PREVENT WILDLIFE ACCESS (6FT HIGH)
36	POWDERCOATED ALUM SCREEN



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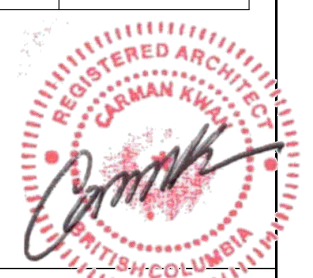
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13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05
22	DP RESUBMISSION#3	2024 OCT 02



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

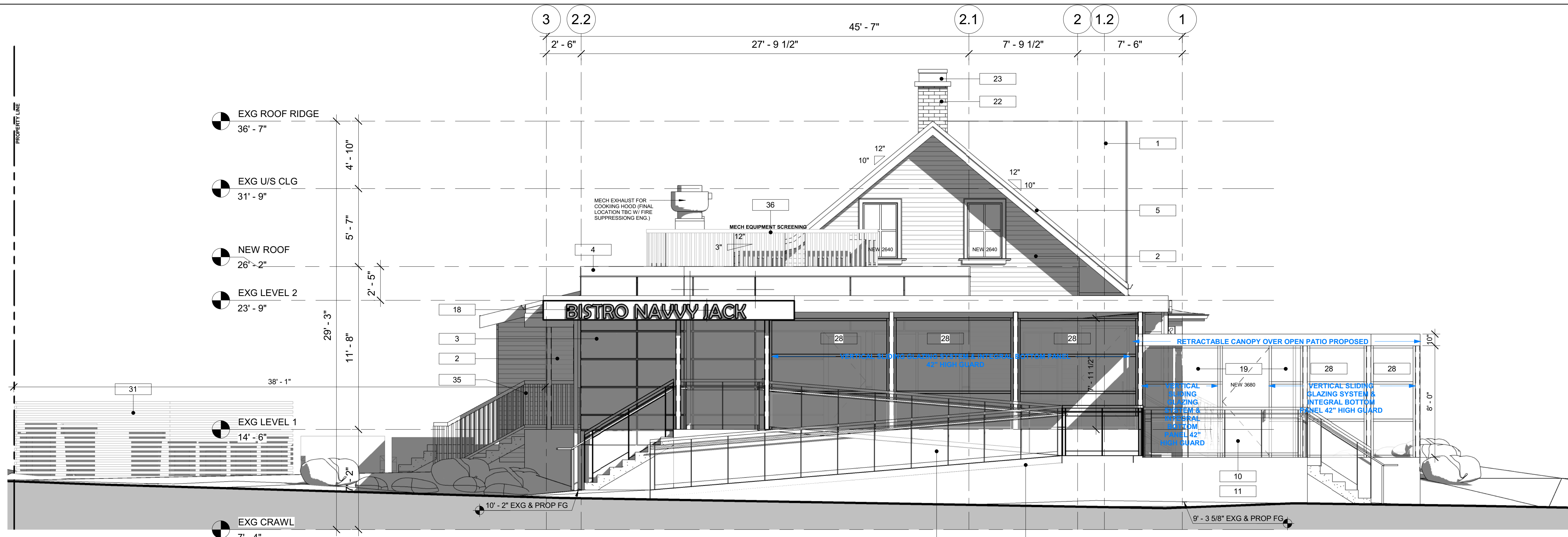
DRAWING TITLE
**PROPOSED WEST
ELEVATION**

Date: 2024 DEC 05
Project number: 2329

Scale: 1/4" = 1'-0"

Drawn by: HD
Approved by: CK

DP304



1-4 WEST ELEVATION
1/4" = 1'-0"

MATERIAL NOTES	
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
10	LAMINATED 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
11	CAST-IN-PLACE CONCRETE FOUNDATION
18	RESTAURANT SIGNAGE
19	ANODIZED ALUMINUM STOREFRONT SYSTEM
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
23	CONCRETE CHIMNEY CAP TO MATCH HERITAGE CONSERVATION REPORT RECOMMENDATIONS
28	VERTICAL SLIDING GLAZING ALUM SYSTEM & INTEGRAL BOTTOM PANEL 42" HIGH LAMINATED GLASS GUARD
31	POWDERCOATED ALUM SECURITY/SCREEN 1X1 HORZ SECTIONS W/ 1" GAP C/W SECURED GATES & DOOR HARDWARE TO PREVENT WILDLIFE ACCESS (6FT HIGH)
32	CIP CONCRETE RAMP & LANDING
35	POWDERCOATED ALUM PICKET GUARD C/W VERT 1X1 PICKETS 4" O/C C/W 1.5" DIA. HANDRAIL @ 36" HIGH
36	POWDERCOATED ALUM SCREEN

2024-12-17 10:25:29 PM



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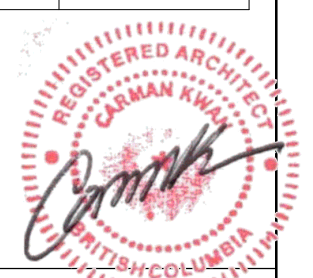
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REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
20	DP RESUBMISSION#2	2024 SEPT 05
22	DP RESUBMISSION#3	2024 OCT 02



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE

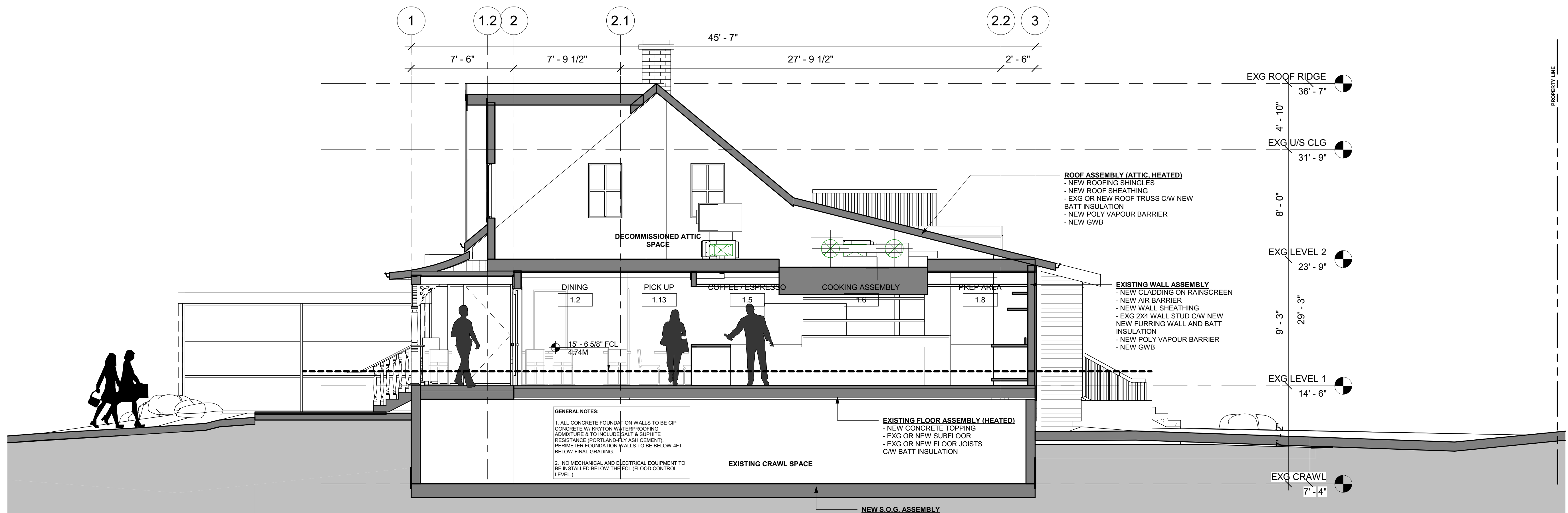
**PROPOSED
BUILDING
SECTIONS**

Date	2024 DEC 05	Project number	2329
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Scale
1/4" = 1'-0"

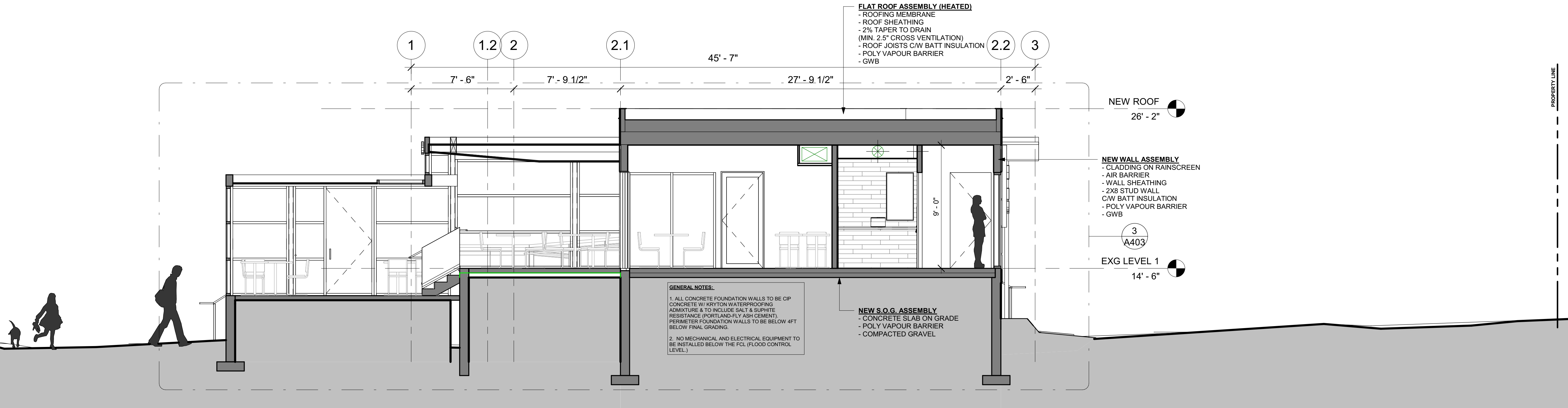
Drawn by	HD	DP401
Approved by	CK	

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1-4 NORTH-SOUTH SECTION THRU STAIRS

1/4" = 1'-0"



1-4 N-S BLDG SECTION THRU ADDITION

1/4" = 1'-0"



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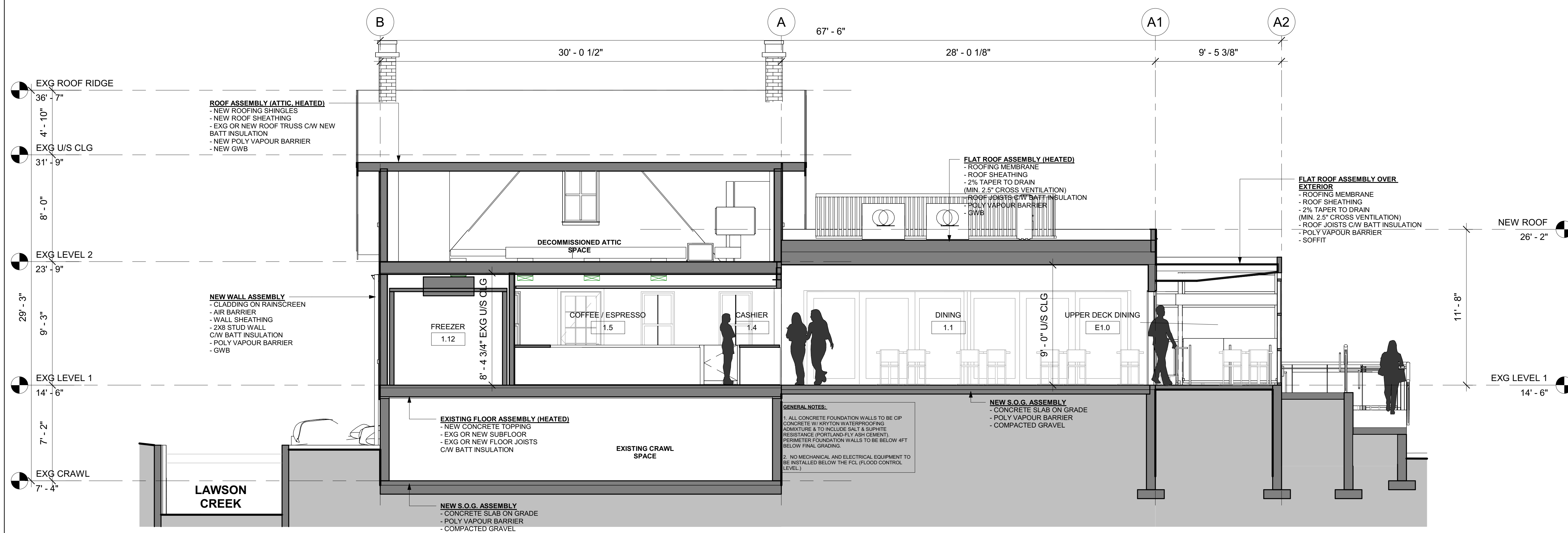
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REVISIONS

No.	Description	Date
05	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
20	DP RESUBMISSION#2	2024 SEPT 05



1 1-4 E-W BLDG SECTION
1/4" = 1'-0"



PROJECT:
LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,
WEST VANCOUVER

DRAWING TITLE
PROPOSED BUILDING SECTIONS

Date	2024 DEC 05	Project number	2329
Scale	1/4" = 1'-0"	DP402	
Drawn by	HD		
Approved by	CK		

2024-12-17 10:25:43 PM