



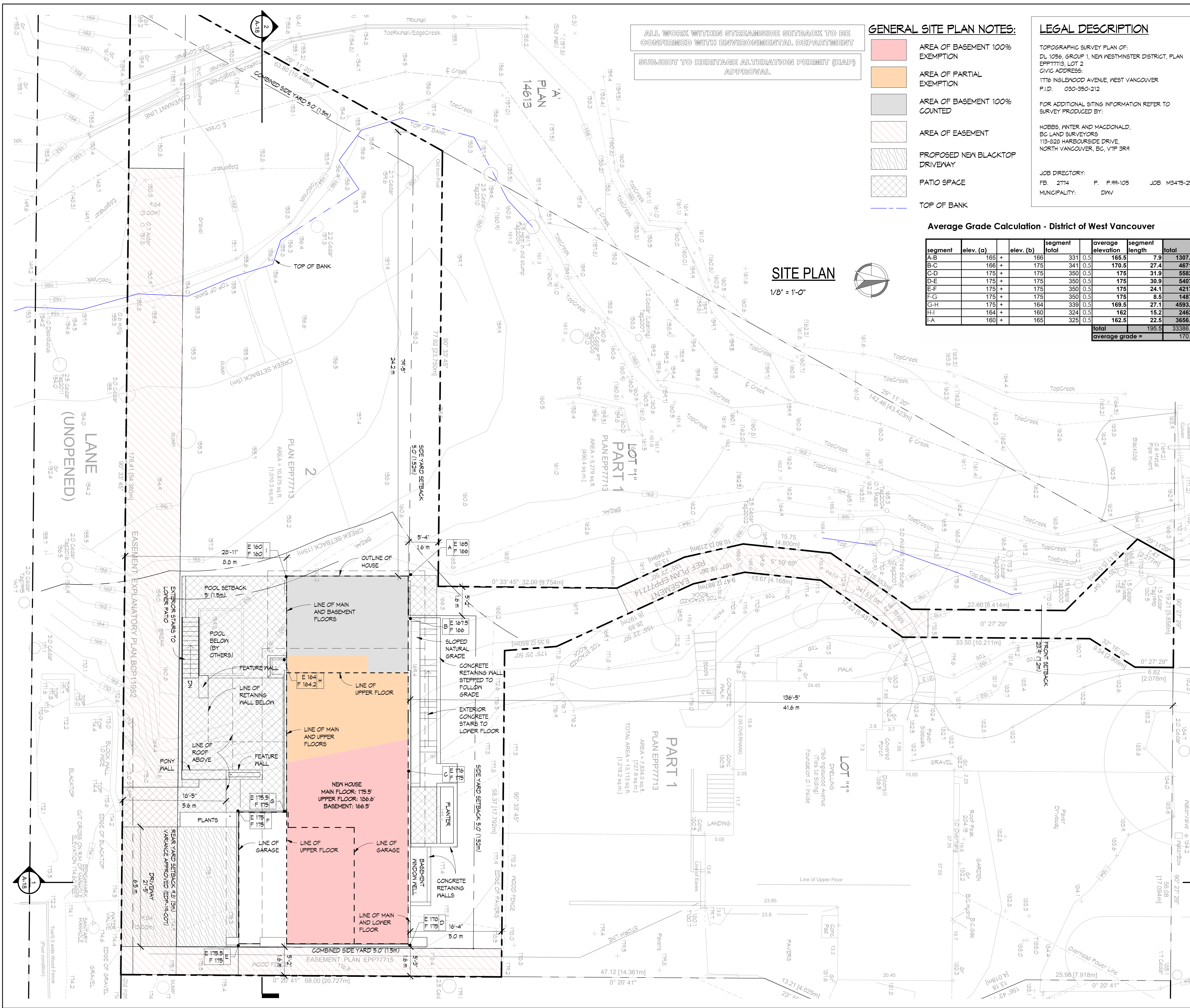
# VILLAVICENCIO CUSTOM RESIDENCE

1776 Inglewood Avenue West Vancouver, BC

07.09.2024

**SYN  
THE  
SIS**  
DESIGN

synthesis design inc.  
258 east 1st street  
north vancouver, bc,  
canada v7L 1B3  
tel. (604) 960-2087  
www.synthesdesign.ca



ALL WORK WITHIN STREAMSIDE SETBACK TO BE CONFIRMED WITH ENVIRONMENTAL DEPARTMENT  
SUBJECT TO HERITAGE ALTERATION PERMIT (HAP) APPROVAL.

**GENERAL SITE PLAN NOTES:**

- AREA OF BASEMENT 100% EXEMPTION
- AREA OF PARTIAL EXEMPTION
- AREA OF BASEMENT 100% COUNTED
- AREA OF EASEMENT
- PROPOSED NEW BLACKTOP DRIVEWAY
- PATIO SPACE
- TOP OF BANK

**LEGAL DESCRIPTION**

TOPOGRAPHIC SURVEY PLAN OF:  
DL 1056, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN EPP7713, LOT 2  
CIVIC ADDRESS:  
1716 INGLEWOOD AVENUE, WEST VANCOUVER  
P.I.D. 030-350-212

FOR ADDITIONAL SITING INFORMATION REFER TO SURVEY PRODUCED BY:  
HOBBS, YINTER AND MACDONALD,  
BC LAND SURVEYORS  
119-828 HARBOURSIDE DRIVE,  
NORTH VANCOUVER, BC, V7P 3R4

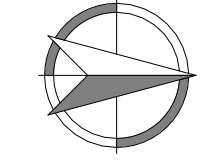
JOB DIRECTORY:  
FB: 2714 P: P.99-105 JOB M3475-25  
MUNICIPALITY: DWV

**Average Grade Calculation - District of West Vancouver**

segment	elev. (a)	elev. (b)	segment total	average elevation	segment length	total
A-B	165	166	331	0.5	165.5	7.9
B-C	166	175	341	0.5	170.5	27.4
C-D	175	175	350	0.5	175	31.9
D-E	175	175	350	0.5	175	30.9
E-F	175	175	350	0.5	175	24.1
F-G	175	175	350	0.5	175	8.5
G-H	175	164	339	0.5	169.5	27.1
H-I	164	160	324	0.5	162	15.2
I-A	160	165	325	0.5	162.5	22.5
<b>total</b>					<b>195.5</b>	<b>3388.28</b>
<b>average grade =</b>					<b>170.77</b>	

**SITE PLAN**

1/8" = 1'-0"



**SHAPING AND SITING ANALYSIS - RS-5 ZONING**

LOT ADDRESS: 1776 Inglewood Avenue, West Vancouver

Minimum Lot Area	ALLOWED	EXISTING	PROPOSED	CONFORMS
Minimum Lot Area	5,252.8 sqft (486m <sup>2</sup> )	10,874 sqft (1,003.3m <sup>2</sup> )	-	Y
Lot Area for Calculation*	-	9,448.6 sqft (877.8m <sup>2</sup> )	-	Y
Minimum Lot Width	43.6' (13.3m)	-	-	Y
Minimum Lot Depth	4.5 X Site Width	-	-	Y
Minimum Flanking Lot Width	66' (20.1m)	-	-	N/A

**SITE COVERAGE**

Lot Area Dictates Site Coverage	ALLOWED	EXISTING	PROPOSED	CONFORMS
Lot Area ≥ 9,526 sqft (885m <sup>2</sup> ) (Lot Area x 0.30)	2,834.6 sqft (263.3m <sup>2</sup> )	-	-	Y
STEP CODE 5	3,061.3 sqft (284.4m <sup>2</sup> )	2,400 sqft (223m <sup>2</sup> )	-	Y
Additional 8% of allowable Site Cov	-	-	-	-
Lot Area between 7,147.2 sqft (664m <sup>2</sup> ) & 9,526 sqft (885m <sup>2</sup> )	-	-	-	N/A
Lot Area ≤ 7,147.2 sqft (664m <sup>2</sup> ) (Lot Area x 0.40)	-	-	-	N/A

**PRINCIPAL BUILDING SETBACK**

Front Yard	Side Yard	Rear Yard	Height
24.9' (7.6m)	23.9' (7.3m)	23.9' (7.3m)	23.9' (7.3m)
STEP CODE 5	23.9' (7.3m)	23.9' (7.3m)	23.9' (7.3m)
Front Yard Reduction of 1'-0" (0.3m)	5.0' (1.52m)	5.0' (1.52m)	5.0' (1.52m)
Yard to "LOT 1"	5.0' (1.52m)	5.0' (1.52m)	5.0' (1.52m)
Considered Side Yard	29.9' (9.1m)	29.9' (9.1m)	29.9' (9.1m)
Rear Yard	28.9' (8.8m)	28.9' (8.8m)	28.9' (8.8m)
STEP CODE 5	28.9' (8.8m)	28.9' (8.8m)	28.9' (8.8m)
Rear Yard Reduction of 1'-0" (0.3m)	18.4' (5.6m)	18.4' (5.6m)	18.4' (5.6m)
Rear Yard: Variance approved (EDP-19-007)	9.8' (3.0m)	9.8' (3.0m)	9.8' (3.0m)

**HEIGHT OF BUILDING**

Principal Building	Height	Code
Principal Building	25' (7.62m)	STEP CODE 5
Additional 1'-0" (0.3m)	26' (7.92m)	STEP CODE 5
Highest Building Face Envelope	22' (6.72m)	STEP CODE 5
STEP CODE 5	22' (6.72m)	STEP CODE 5
Additional 1'-0" (0.3m)	23' (7.0m)	STEP CODE 5
Highest Building Face: Variance permitted in accordance with HRS 17-005, 30.5' (9.3m)	30.5' (9.3m)	STEP CODE 5

**ACCESSORY BUILDING SETBACK**

Accessory Building	Setback	Code
Accessory Building	12' (3.7m)	STEP CODE 5
Off Street Parking	1' (0.3m)	STEP CODE 5
Minimum car parking space	2' (0.6m)	STEP CODE 5
FLOOR AREA RATIO	2,834.6 sqft (263.3m <sup>2</sup> )	STEP CODE 5
Lot Area ≥ 7,333 sqft (681.3m <sup>2</sup> )	2,834.6 sqft (263.3m <sup>2</sup> )	STEP CODE 5
Lot Area x 0.30 (Max: 3,153.8 sqft)	2,583.9 sqft (239.9m <sup>2</sup> )	STEP CODE 5
HRA Approved area	2,583.9 sqft (239.9m <sup>2</sup> )	STEP CODE 5
Proposed Area Prior to Step Code 5 exemption	2,583.9 sqft (239.9m <sup>2</sup> )	STEP CODE 5
STEP CODE 5	2,583.9 sqft (239.9m <sup>2</sup> )	STEP CODE 5
Allowable FAR exemption of 8%	2,583.9 sqft (239.9m <sup>2</sup> )	STEP CODE 5
Lot Area ≤ 4,400 sqft (408.8m <sup>2</sup> )	2,583.9 sqft (239.9m <sup>2</sup> )	STEP CODE 5
Lot Area x 0.50 max	2,200 sqft (204.4m <sup>2</sup> )	STEP CODE 5

**OFF STREET PARKING**

Minimum car parking space	Count	Code
Minimum car parking space	1	STEP CODE 5
Minimum car parking space	2	STEP CODE 5

**Basement Exemption Calculation**

Area of Basement - 1,430.7 SF

Partially exempt:

(AVG GRADE EL.) - (BASEMENT FLOOR EL.) / (MAIN FLOOR EL.) - (BASEMENT FLOOR EL.) x 100%

(170.77) - (166.5) / (175.5) - (166.5) x 100% = 47.4%

PERCENTAGE INCLUDED = 100% - 47.4% = 52.6%

349.91SF x 52.6% = 184.1SF

PARTIAL EXEMPT AREA = 184.1 SF

AREA INCLUDED = 330.1 SF

AREA EXEMPT (LESS THAN 1.5' (0.45m) = 750.7 SF

TOTAL COUNTABLE BASEMENT:

184.1 + 330.1 = 514.2 SF

**ENERGY STEP CODE 5 PURSUED**

REVISIONS # BY

IFC Changes 07.11.2024 4 AL

HRA Comments, Spatial, Context, Areas 08.07.2024 6 DK

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synthesis design inc.  
258 east 1st street  
north vancouver, bc,  
canada v7l 1b3  
tel: (604) 980-2087  
www.synthesisthe.com

**VILLAVENCIO CUSTOM RESIDENCE**  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**SITE PLAN**

Date 07.03.2024

Scale 1/8" = 1'-0"

Drawn PCS / AL / DK

Job No. 24005

Sheet **A-1**

Or 19 Sheets



REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		
Main Floor Kitchen Re-layout	5	AL
07.09.2024		

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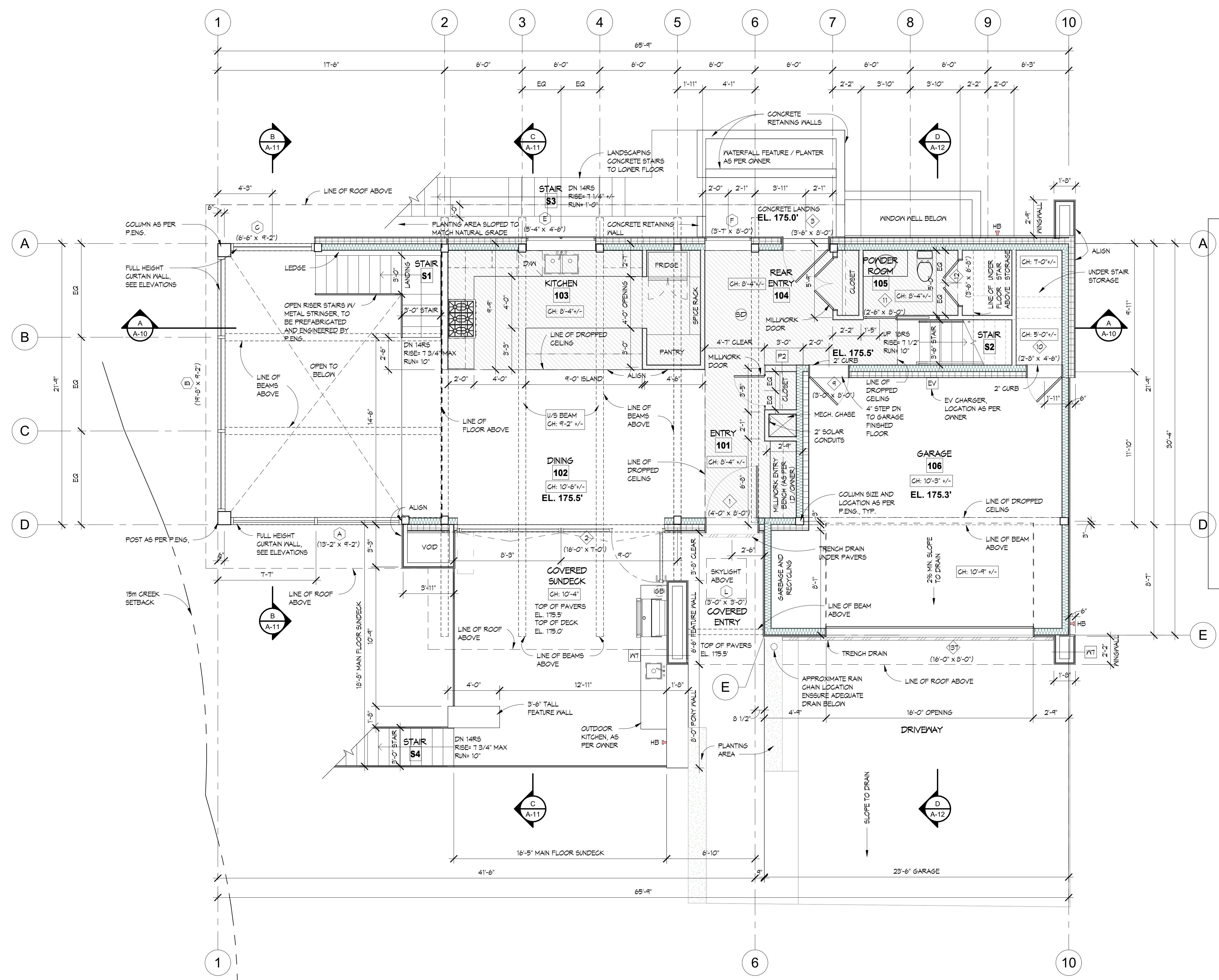
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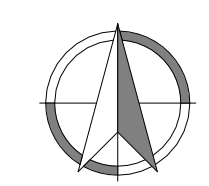
**VILLAVENCIO CUSTOM RESIDENCE**  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**MAIN FLOOR PLAN**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PGS / AL / DK  
Job No. 24005  
Sheet **A-3**



**MAIN FLOOR PLAN**  
1/4" = 1'-0"



REVISIONS	#	BY
Upper Floor Bathroom and Dropped Ceiling Layout	2	AL
06.27.2024		
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

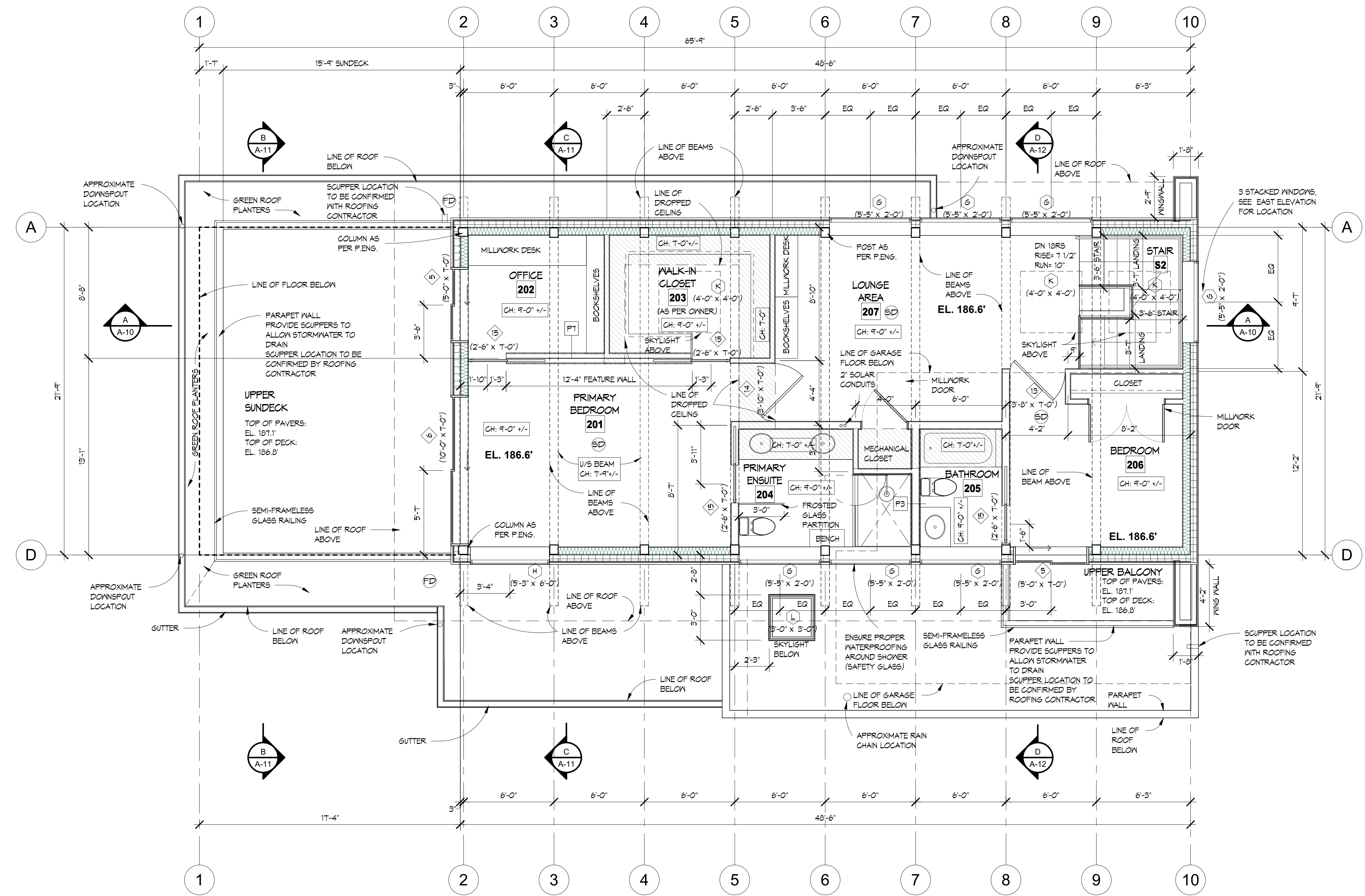
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north vanancouver, bc,  
canada v7l 1b3  
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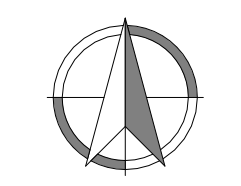
**LEGEND**

- NEW INTERIOR WALL
- NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION
- NEW DOOR
- NEW WINDOW
- NEW POST
- C.H.: INDICATES CEILING HEIGHT
- SMOKE / CO ALARM
- FLOOR DRAINS AS PER ROOFING CONTRACTOR
- GLULAM BEAMS ABOVE
- BULKHEAD / DROPPED CEILING

- NOTES:**
- ALL INTERIOR DOOR HEADER HEIGHTS ON UPPER FLOOR TO BE T-0"
  - ALL EXTERIOR DOOR HEADER HEIGHTS ON UPPER FLOOR TO BE T-6"
  - ALL WINDOW HEADER HEIGHTS ON UPPER FLOOR TO BE T-6", EXCEPT 2 LOWER WINDOWS 'G' ON GRID 10 TO BE 3'-0" AND 5'-0" RESPECTIVELY.
  - IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION

**UPPER FLOOR PLAN**

1/4" = 1'-0"



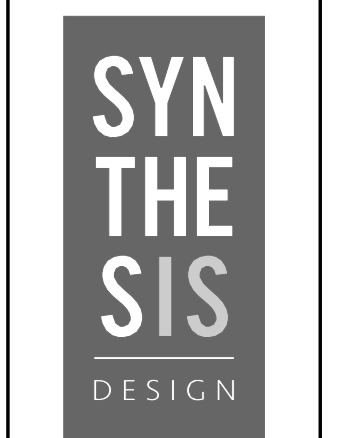
Drawing Title  
**UPPER FLOOR PLAN**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PGS / AL / DK  
Job No. 24005  
Sheet **A-4**

REVISIONS	#	BY
Basement Floor Re-layout	1	PGS
Structural Changes	3	AL
IFC Changes	4	AL

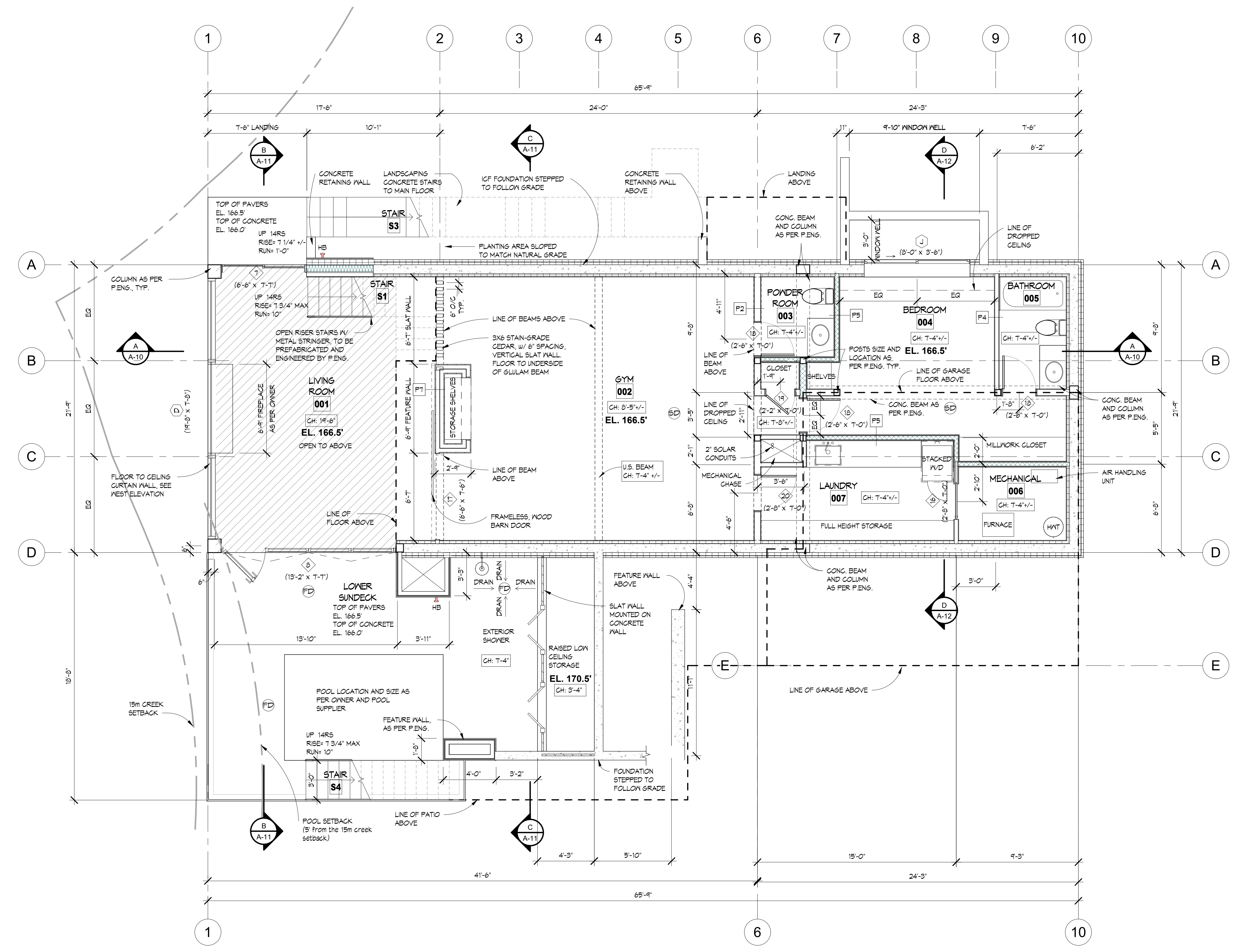
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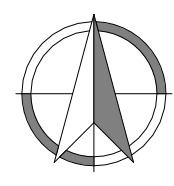
**LEGEND**

- NEW INTERIOR WALL
- NEW ACOUSTIC INSULATION IN INTERIOR WALL
- NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION
- NEW ICF FOUNDATION WALL
- NEW DOOR
- NEW WINDOW
- NEW POST
- INDICATES CEILING HEIGHT
- CEILING HEIGHT OVER 14'-4"
- SMOKE/CO ALARM
- GLULAM BEAMS ABOVE

**NOTES:**

- ALL DOOR HEIGHTS ON LOWER FLOOR TO BE T-0', EXCEPT DOORS T-4' TO BE T-1'
- WINDOW 'J' TO HAVE HEADER HEIGHT OF T-0' AND WINDOW 'D' TO HAVE HEADER HEIGHT OF T-8" +/-
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION

**BASEMENT PLAN**  
1/4" = 1'-0"



Drawing Title  
**BASEMENT PLAN**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PGS / AL / DK  
Job No. 24005  
Sheet **A-5**

REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		

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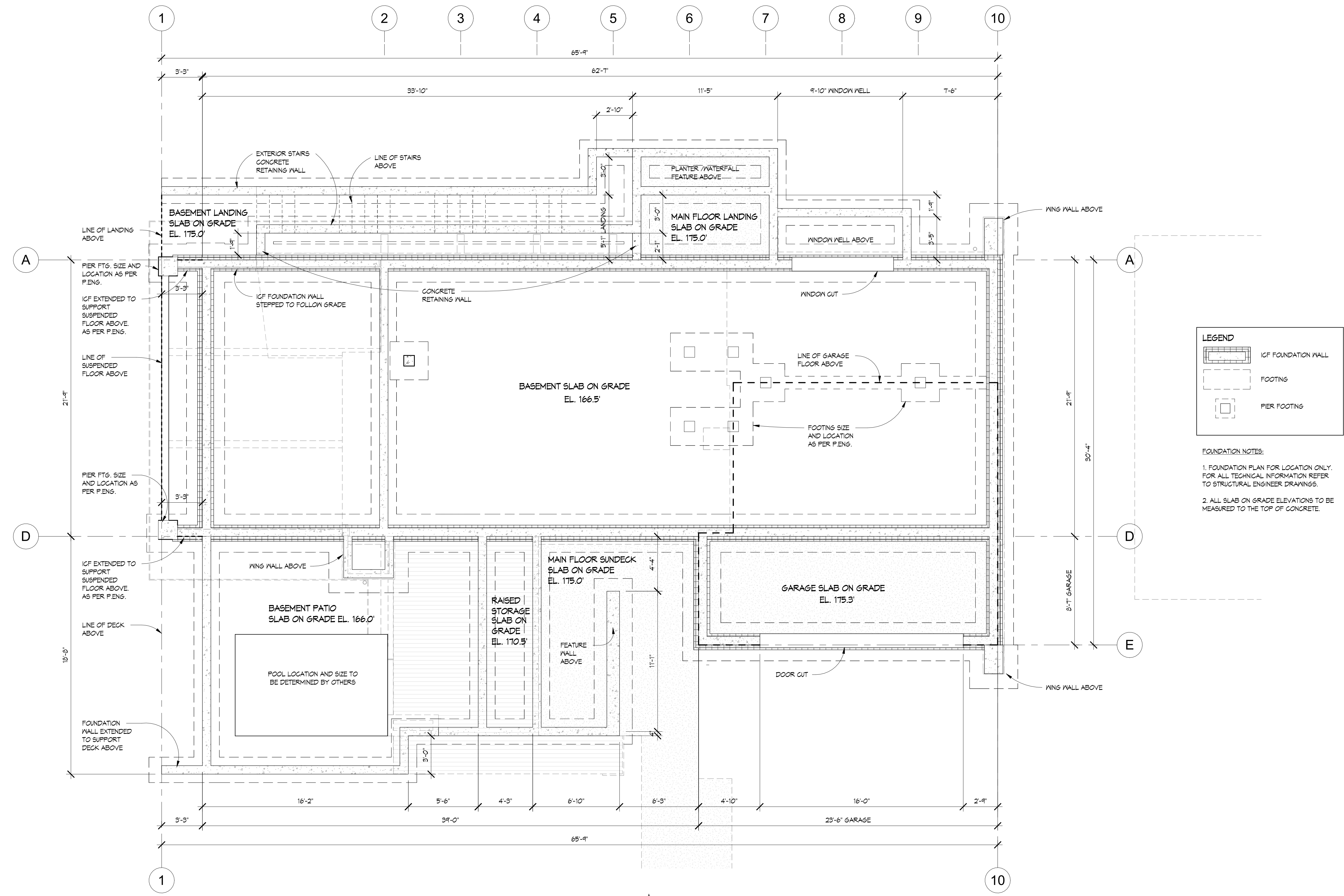
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**VILLAVENCIO CUSTOM RESIDENCE**  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**FOUNDATION PLAN**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PGS / AL / DK  
Job No. 24005  
Sheet **A-6**



**LEGEND**

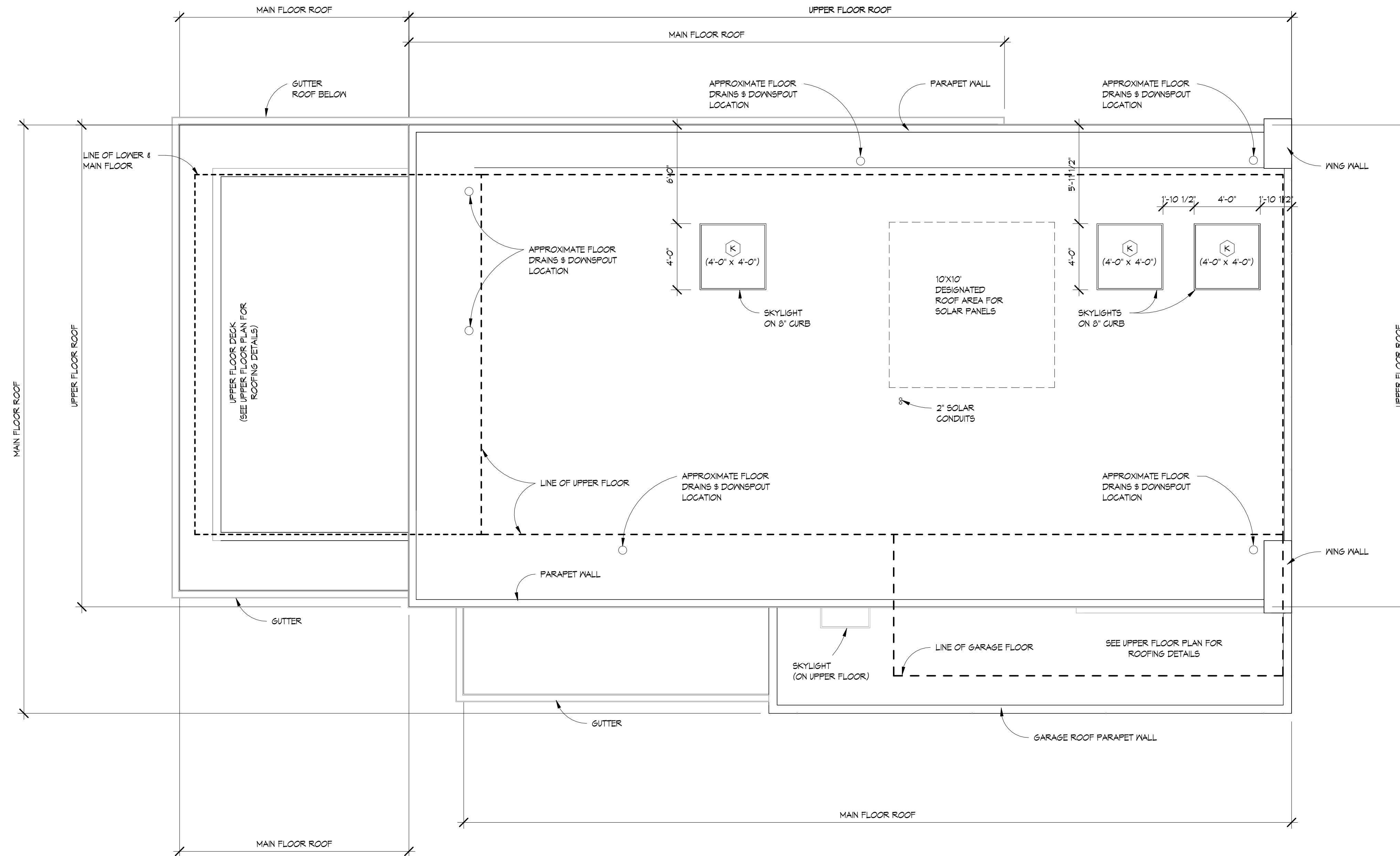
- ICF FOUNDATION WALL
- FOOTING
- PIER FOOTING

**FOUNDATION NOTES:**

- FOUNDATION PLAN FOR LOCATION ONLY. FOR ALL TECHNICAL INFORMATION REFER TO STRUCTURAL ENGINEER DRAWINGS.
- ALL SLAB ON GRADE ELEVATIONS TO BE MEASURED TO THE TOP OF CONCRETE.

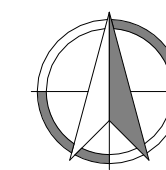
**FOUNDATION PLAN**  
1/4" = 1'-0"





**ROOF PLAN**

1/4" = 1'-0"



SLOPE TO DRAIN TO BE MIN. 2%.  
 LOCATION AND SIZE OF DRAINS ARE  
 FOR DESIGN INTENT PURPOSES ONLY.  
 TO BE CONFIRMED WITH ROOFING  
 CONTRACTOR

REVISIONS	#	BY
IFC Changes	4	AL
07.11.2024		

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 north vancouver, bc,  
 canada v7L 1B3  
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VILLAVICENCIO CUSTOM RESIDENCE  
 1776 Inglewood Avenue  
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Drawing Title  
**ROOF PLAN**

Date 07.09.2024

Scale 1/4" = 1'-0"

Drawn PGS / AL / DK

Job No. 24005

Sheet **A-7**

Of 19 Sheets

2024-09-13  
 11:51:15 AM



REVISIONS	#	BY
Structural Changes 06.27.2024	3	AL
IFC Changes 07.11.2024	4	AL
HRA Comments, Spatial Context, Areas 08.07.2024	6	DK

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VILLAVINCICIO CUSTOM RESIDENCE  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**SOUTH AND EAST ELEVATIONS**

Date 07.09.2024

Scale As indicated

Drawn PCS / AL / DK

Job No. 24005

Sheet **A-8**

Of 19 Sheets



**SOUTH ELEVATION**  
1/4" = 1'-0"

**PART 3 - SOUTH SPATIAL SEPARATION**

AREA OF FACE  
1411.8 sq.ft. (131.7 m<sup>2</sup>)

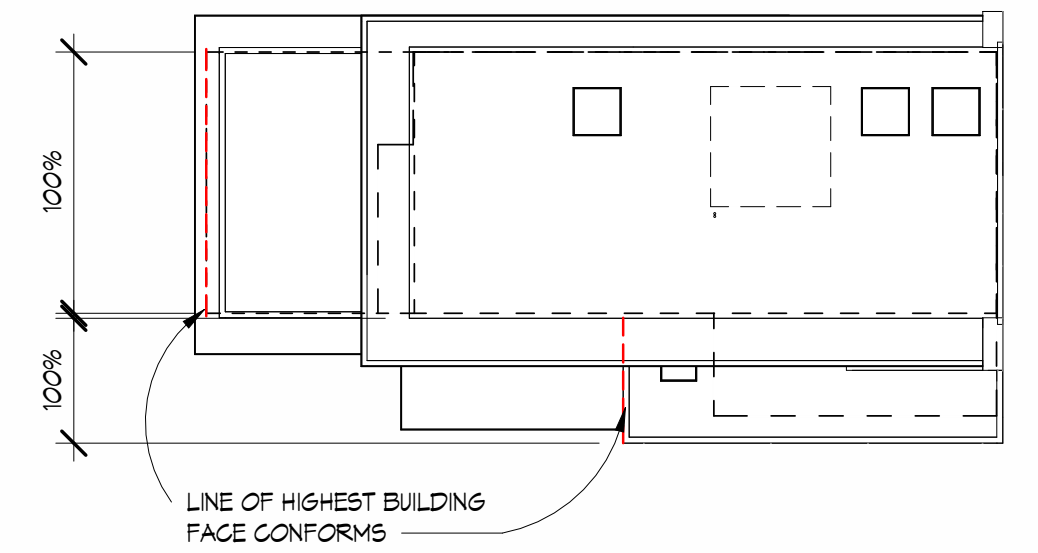
LIMITING DISTANCE  
21 ft. (6.4 m)

ALLOWABLE OPENINGS  
52% x 1411.8 = 731.9 sq.ft.

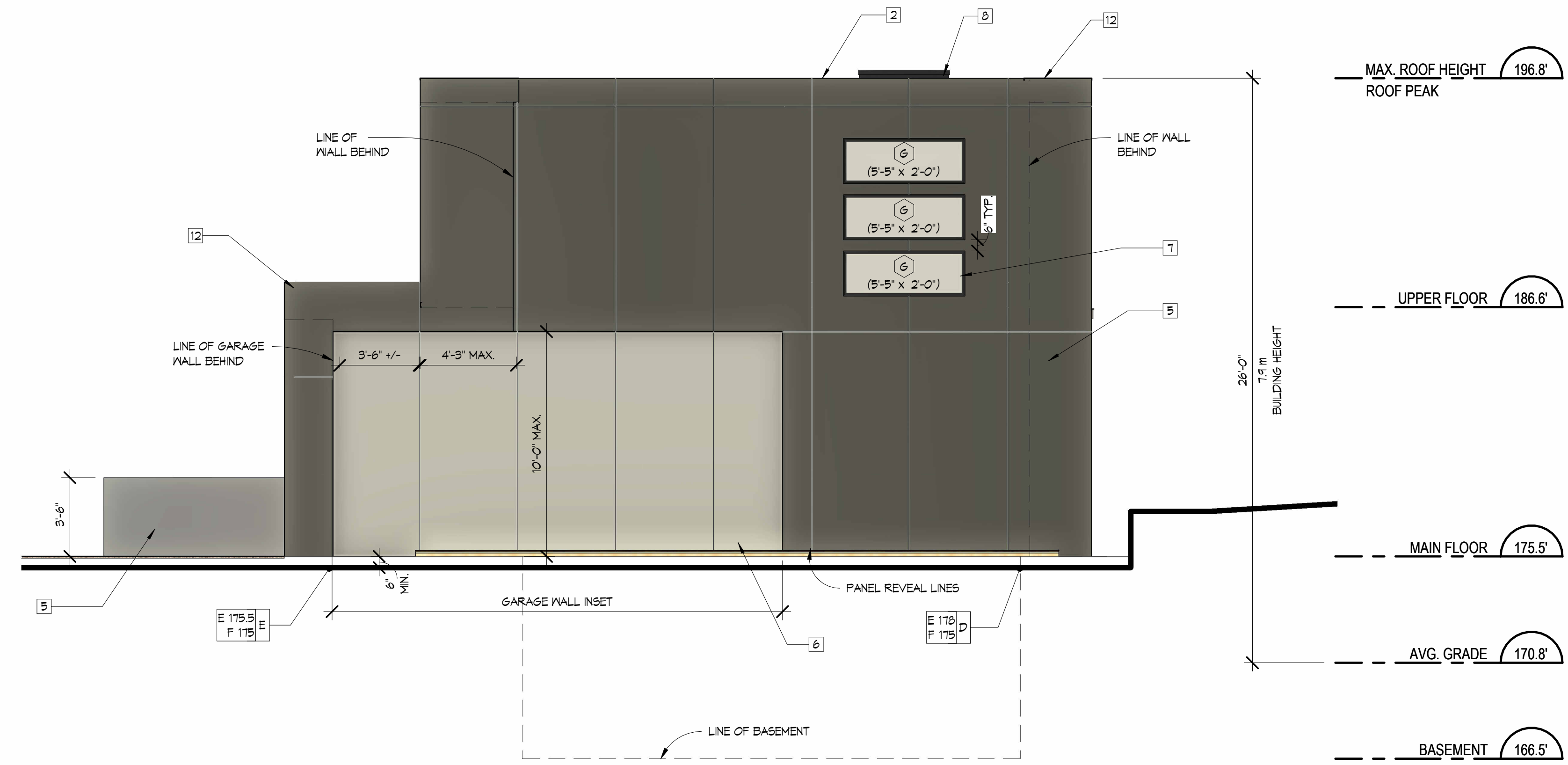
AREA OF OPENING  
514.4 sq.ft.

CONFORMS  
YES

NOTE: BUILDING IS SPRINKLERED



**ROOF PLAN - HIGHEST BUILDING FACE**



**EAST ELEVATION**  
1/4" = 1'-0"

**PART 3 - EAST SPATIAL SEPARATION**

AREA OF FACE  
560.5 sq.ft. (52.1 m<sup>2</sup>)

LIMITING DISTANCE  
5.2 ft. (1.6 m)

ALLOWABLE OPENINGS  
16% x 560.5 = 89.7 sq.ft.

AREA OF OPENING  
30 sq.ft.

CONFORMS  
YES

NOTE: BUILDING IS SPRINKLERED

**MATERIAL LEGEND**

- BUILT-UP FASCIA WRAPPED IN ANODIZED ALUMINUM
- TORCH-DOWN MEMBRANE ROOF
- 6" METAL BOX GUTTER (COLOUR TO MATCH FASCIA)
- NEOTECHWOOD VERTICAL SHIPLAP SIDING, SILVER GREY
- HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN/ OR EQUIVALENT) Colour: 6299 ACRYLIC MATT COBALT GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
- HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN/ OR EQUIVALENT) Colour: 0112 ACRYLIC MATT STONE GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
- 1" ANODIZED ALUMINUM TRIM AROUND ALL OPENINGS INCLUDING HEAD AND BILL FLASHING, COLOUR AND FINISH TO MATCH FASCIA
- ALUMINUM SKYLIGHTS (SEE SCHEDULE FOR DETAILS)
- EXPOSED PAPER BACK ARCHITECTURAL CONCRETE WALL, CONE TIES TO BE REMOVED
- CONCRETE CIP LANDSCAPE STAIRS
- P.T. TIMBER EXTERIOR STAIR STRINGERS WITH PORCELAIN PAVER TREADS AND RISERS TO MATCH PATIO
- ANODIZED ALUMINUM CAP OVER PARAPET WALLS, TO MATCH GUTTERS
- GLULAM BEAM AND CONNECTORS AS PER "BINDERHOLZ"
- GLULAM COLUMN AND CONNECTORS AS PER "BINDERHOLZ"
- SEMI-FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPERED GLASS PANELS, AS PER MANUFACTURER SPECIFICATIONS
- PORCELAIN PAVERS ON PEDESTALS (ENMON NORTH AMERICA-PROJECT-PP6060B SILVER)
- 1 X 4 HORIZONTAL CEDAR SLAT WALL
- POWDER COATED ROUND METAL DOWNSPOUTS, COLOUR TO MATCH GUTTER

REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		
HRA Comments, Spatial, Context, Areas	6	DK
08.07.2024		

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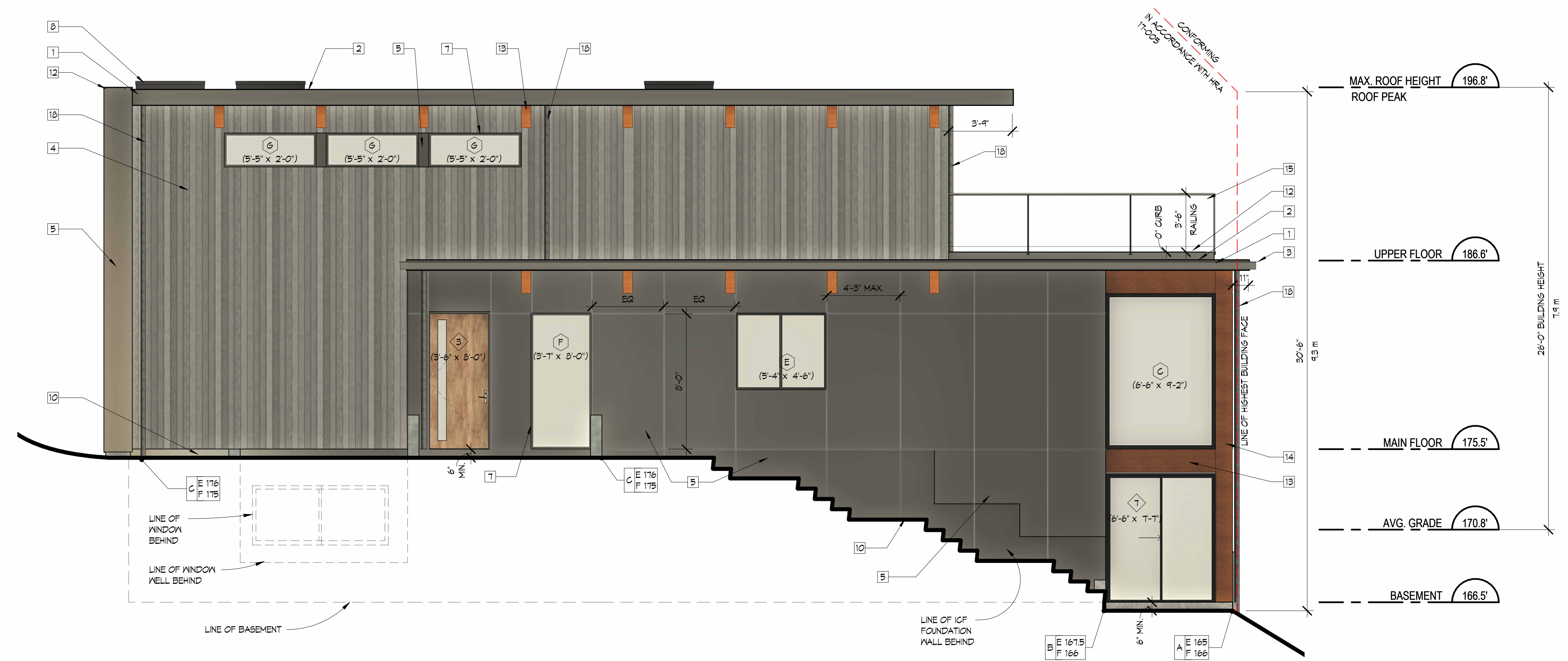
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**VILLAVINCICIO CUSTOM RESIDENCE**  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**NORTH AND WEST ELEVATIONS**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PGS / AL / DK  
Job No. 24005  
Sheet **A-9**  
Of 19 Sheets



**PART 3 - NORTH SPATIAL SEPARATION**

AREA OF FACE  
1371.9 sq.ft. (121.5 m<sup>2</sup>)

LIMITING DISTANCE  
16.4 ft. (5 m)

ALLOWABLE OPENINGS  
45% x 1371.9 = 617.4 sq.ft.

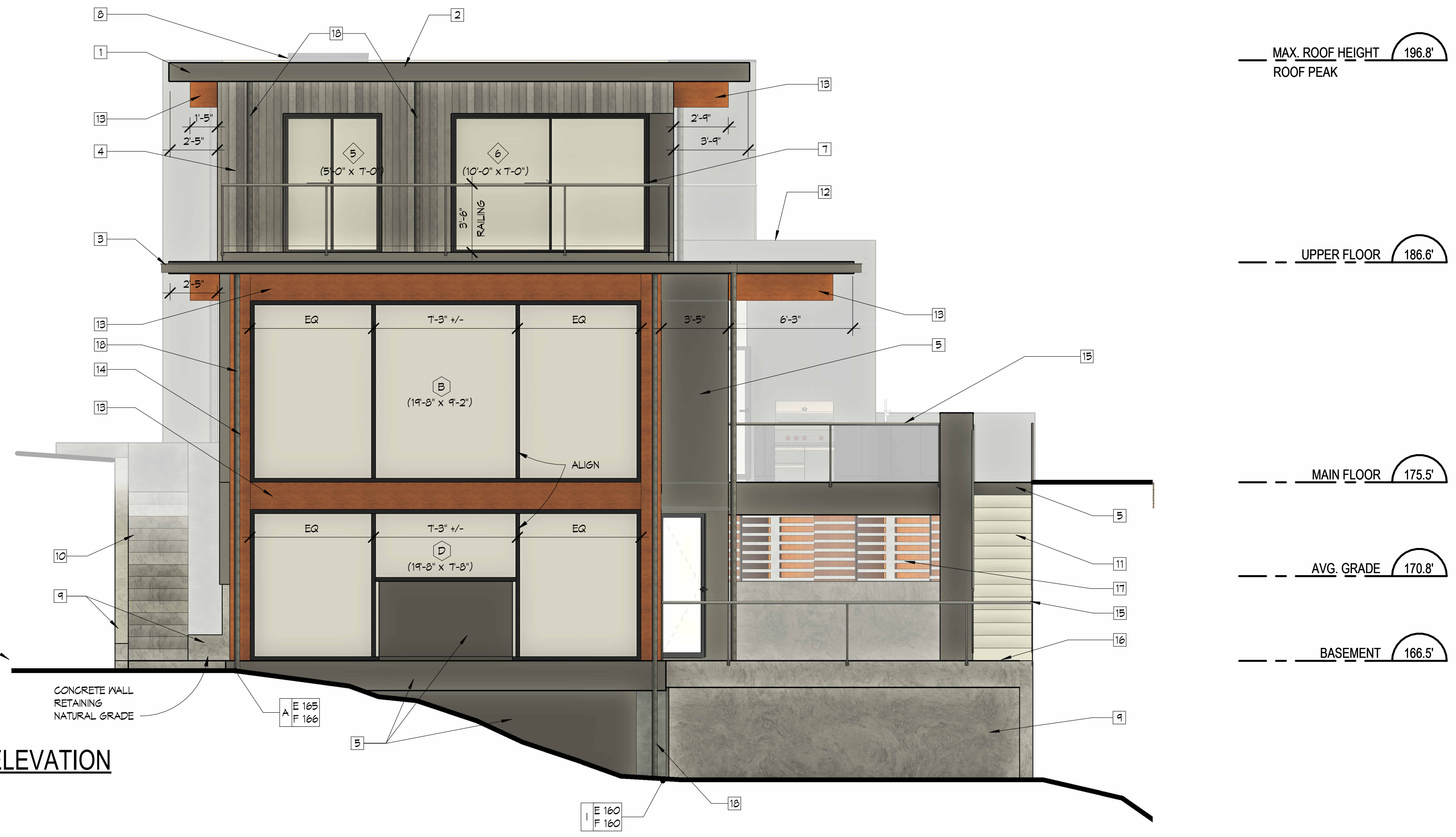
AREA OF OPENING  
193.3 sq.ft.

CONFORMS  
YES

NOTE: BUILDING IS SPRINKLERED

**NORTH ELEVATION**

1/4" = 1'-0"



**MATERIAL LEGEND**

1	BUILT-UP FASCIA WRAPPED IN ANODIZED ALUMINUM
2	TORCH-DOWN MEMBRANE ROOF
3	6" METAL BOX GUTTER (COLOUR TO MATCH FASCIA)
4	NEXTCHWOOD VERTICAL SHIPLAP SIDING, SILVER GREY
5	HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONSPAN®/ OR EQUIVALENT) COLOUR: 6299 ACRYLIC MATT COBALT GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
6	HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONSPAN®/ OR EQUIVALENT) COLOUR: 0112 ACRYLIC MATT STONE GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
7	1" ANODIZED ALUMINUM TRIM AROUND ALL OPENINGS INCLUDING HEAD AND SILL FLASHING, COLOUR AND FINISH TO MATCH FASCIA
8	ALUMINUM SKYLIGHTS (SEE SCHEDULE FOR DETAILS)
9	EXPOSED PAPER BACK ARCHITECTURAL CONCRETE WALL, CONE TIES TO BE REMOVED
10	CONCRETE SIP LANDSCAPE STAIRS
11	P.T. TIMBER EXTERIOR STAIR STRINGERS WITH PORCELAIN PAVER TREADS AND RISERS TO MATCH PATIO
12	ANODIZED ALUMINUM CAP OVER PARAPET WALLS, TO MATCH GUTTERS
13	GLULAM BEAM AND CONNECTORS AS PER 'BINDERHOLZ'
14	GLULAM COLUMN AND CONNECTORS AS PER 'BINDERHOLZ'
15	SEMI-FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPERED GLASS PANELS, AS PER MANUFACTURER SPECIFICATIONS
16	PORCELAIN PAVERS ON PEDESTALS (ENNON NORTH AMERICA-PROJECT-PP6060B SILVER)
17	1 X 4 HORIZONTAL CEDAR SLAT WALL
18	POWDER COATED ROUND METAL DOWNSPOUTS, COLOUR TO MATCH GUTTER

**WEST ELEVATION**

1/4" = 1'-0"

REVISIONS	#	BY
Structural Changes	3	AL
IFC Changes	4	AL

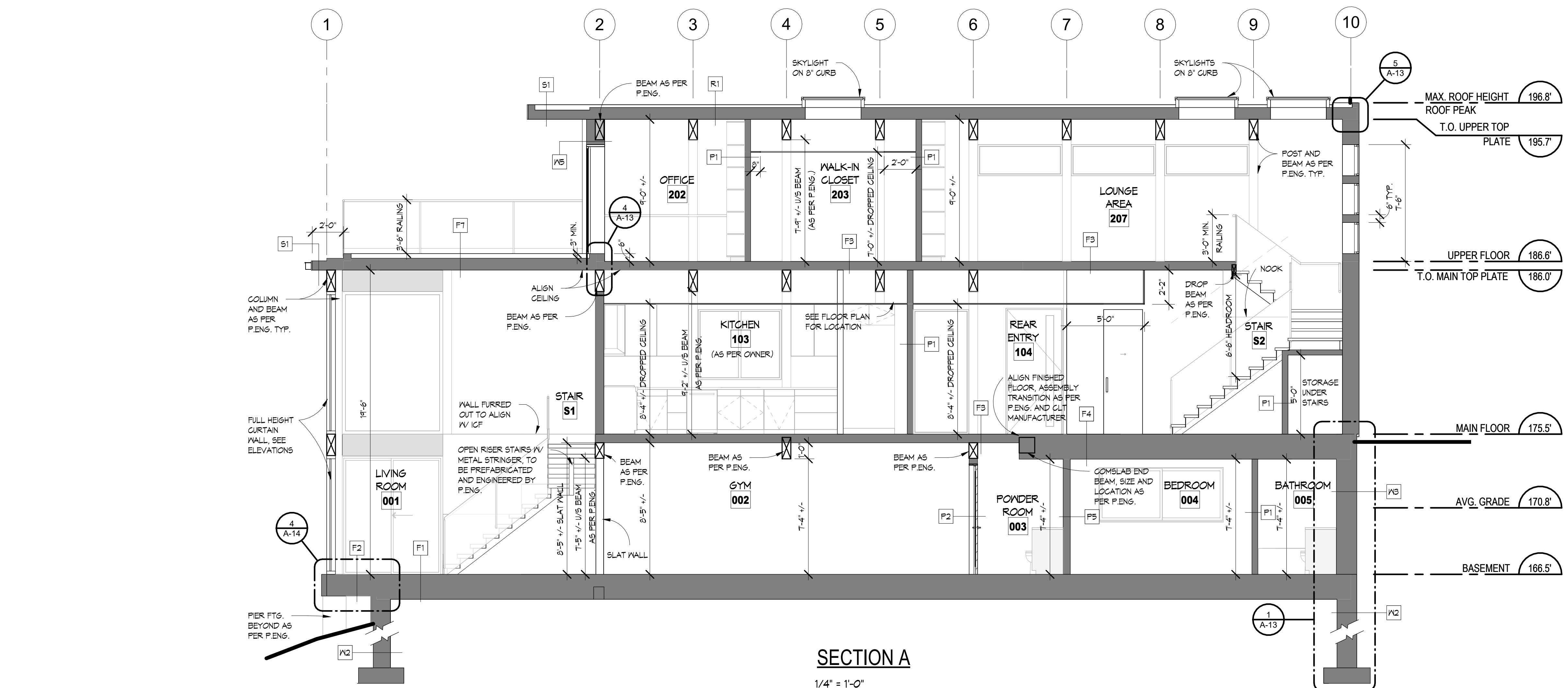
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All dimensions shall be verified on site prior to commencement of work.

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synthesis design inc.  
258 east 1st street  
north vanouver, bc,  
canada v7l 1b3  
tel. (604) 980-2087  
www.synthesisthe.com

**VILLAVICENCIO CUSTOM RESIDENCE**  
1776 Inglewood Avenue  
West Vancouver, BC



**SECTION A**  
1/4" = 1'-0"

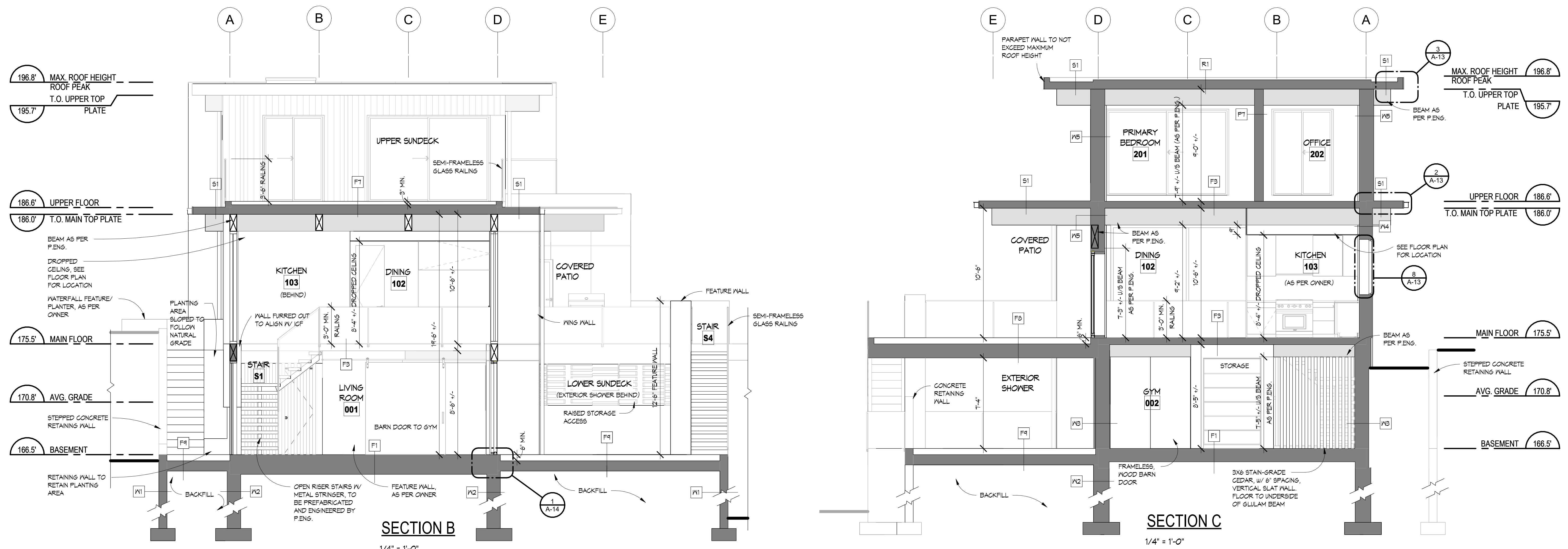
ROOF ASSEMBLIES	WALL ASSEMBLIES	FLOOR ASSEMBLIES	FLOOR ASSEMBLIES	
<b>Roof</b> R1 - DECORATIVE (MEXICAN RIVER ROCK OR GREEN ROOF PLANTER) SEE PLANS FOR LOCATION - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - R-25 XPS RIGID INSULATION - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER <b>Skirt Roof/Overhang</b> S1 - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/8" PER FOOT) - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER	<b>Foundation</b> W1 - 2 COATS DAMP PROOFING 4 DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 8" CONCRETE FOUNDATION WALL W2 - 2 COATS DAMP PROOFING 4 DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH 1/4" WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - ICF 2 5/8" INSULATION (AS PER MANUFACTURER) W3 - 2 COATS DAMP PROOFING 4 DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH 1/4" WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - ICF 2 5/8" INSULATION (AS PER MANUFACTURER) - 6 MIL CONTINUOUSLY CAULKED VAPOUR BARRIER - 1/2" G/MB <b>Exterior</b> W4 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN® OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB W5 - VERTICAL NEWTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB W6 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN® OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" FT PLYWOOD SHEATHING - 2x4 STUDS - AIR SPACE - 2x4 STUDS - 1/2" FT PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS) - VERTICAL NEWTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS)	<b>Interior</b> F1 - 1/2" G/MB - 2x4 STUDS @ 16" O/C - 1/2" G/MB F2 - 1/2" G/MB - 2x6 STUDS @ 16" O/C - 1/2" G/MB F3 - UPPER FLOOR SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - 1/2" DENS-SHIELD OR EQUIVALENT - 2x6 STUDS @ 16" O/C - 1/2" DENS-SHIELD OR EQUIVALENT - SCHLUTER KERDI MAT - TILE (STYLE AS PER OWNER) F4 - BASEMENT SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - 1/2" DENS-SHIELD OR EQUIVALENT - 2x4 STUDS @ 16" O/C - 1/2" G/MB F5 - 1/2" G/MB - 2x4 STUDS @ 16" O/C - 3 1/2" BATT ACOUSTIC INSULATION - RESILIENT CHANNEL @ 16" OR 24" O/C - 1/2" G/MB F6 - GARAGE WALL SEPARATION - 1/2" G/MB - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 5" XPS RIGID INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB F7 - 3/4" MICRO-CLT AS PER CLIENT - 2x4 STUDS @ 16" O/C - AIR SPACE - 2x4 STUDS @ 16" O/C - 3/4" MICRO-CLT AS PER CLIENT	<b>Exterior</b> F1 - SLAB ON GRADE - FLOOR FINISH (STYLE AS OWNER), POLISHED CONCRETE FOR GARAGE - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 EPS RIGID INSULATION (OR EQUIVALENT) - 2" SAND - 6" COMPACTED GRAVEL F2 - GANTILEVERED SUSPENDED SLAB (SEE SECTION A) - FLOOR FINISH (STYLE AS PER OWNER) - CONCRETE SLAB AS PER STRUCTURAL ENGINEER - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-32 SPRAY FOAM INSULATION - P.T. BACK FRAMING AS REQUIRED - SOFFIT AS PER OWNER F3 - varies F4 - MAIN FLOOR (CONSLAB) - HARDWOOD FLOOR FINISH ON BUILT-UP BLOCKING, AS NECESSARY TO ALIGN W/ FINISHED FLOOR (STYLE AS PER OWNER) - CONCRETE OVER CONSLAB DECK, AS PER MANUFACTURER - 4.25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT - FURRING CHANNEL ATTACHED TO RIBS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT, AS PER OWNER F5 - GARAGE FLOOR (CONSLAB) - POLISHED CONCRETE FINISH (AS PER OWNER) - CONCRETE OVER CONSLAB DECK, THICKNESS AS PER STRUCTURAL ENGINEER - 4.25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT - FURRING CHANNEL ATTACHED TO RIBS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT (AS PER OWNER)	<b>Interior</b> F6 - INTERIOR FLOOR ABOVE GARAGE - HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) - 4" FINISH FLOORBOARD W/ MINERAL WOOL (FERMACELLS® OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - 5" XPS RIGID INSULATION AS PER ENERGY ADVISOR - 1/2" G/MB F7 - DECK OVER LIVING SPACE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA® OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - 5" XPS RIGID INSULATION OVER CLT - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER F8 - DECK AT MAIN FLOOR - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA® OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - 3/8" EXTERIOR GRADE TAG PLYWOOD (GLUED & SCREWED) - BLOCKING TO PROVIDE SLOPE TO DRAIN (AT 1" PER FOOT) DRAINS AS REQUIRED - TJI FLOOR JOISTS AS PER STRUCTURAL ENGINEER - 3/4" MICRO-CLT PANEL FOR SOFFIT (PROVIDE CONTINUOUS VENTING) F9 - PATIO ON GRADE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA® OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH F10 - UNINSULATED GANTILEVERED SUSPENDED SLAB ON LOWER PATIO (NOT SHOWN ON SECTION) - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA® OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH

**ENERGY STEP CODE 5 PURSUED**

**ALL ASSEMBLIES TO BE APPROVED BY BUILDING ENVELOPE CONSULTANT**

Drawing Title  
**SECTIONS AND ASSEMBLIES**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PCS / AL / DK  
Job No. 24005  
Sheet **A-10**  
Of 19 Sheets



ROOF ASSEMBLIES	
R1	- DECORATIVE (MEXICAN RIVER ROCK OR GREEN ROOF PLANTER) SEE PLANS FOR LOCATION - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - R-25 XPS RIGID INSULATION - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER
S1	- TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/8" PER FOOT) - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER
WALL ASSEMBLIES	
P1	- 1/2" G/MB - 2x4 STUDS @ 16" O/C
P2	- 1/2" G/MB - 2x6 STUDS @ 16" O/C - 1/2" G/MB
P3	UPPER FLOOR SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - 1/2" DENSIFIELD OR EQUIVALENT - 2x6 STUDS @ 16" O/C - 1/2" DENSIFIELD OR EQUIVALENT - SCHLUTER KERDI MAT - TILE (STYLE AS PER OWNER)
P4	BASEMENT SHOWER WALL (NOT SHOWN ON SECTION) - SCHLUTER KERDI MAT - 1/2" DENSIFIELD OR EQUIVALENT - 2x4 STUDS @ 16" O/C - 1/2" G/MB
P5	- 1/2" G/MB - 2x4 STUDS @ 16" O/C - 3 1/2" BATT ACOUSTIC INSULATION - RESILIENT CHANNEL @ 16" OR 24" O/C - 1/2" G/MB
P6	GARAGE WALL SEPARATION - 1/2" G/MB - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 5" XPS RIGID INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB
P7	- 3/4" MICRO-CLT AS PER CLIENT - 2x4 STUDS @ 16" O/C - AIR SPACE - 2x4 STUDS @ 16" O/C - 3/4" MICRO-CLT AS PER CLIENT

WALL ASSEMBLIES	
W1	- 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 8" CONCRETE FOUNDATION WALL
W2	- 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - 1/2" 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH W/ WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - 1/2" 2 5/8" INSULATION (AS PER MANUFACTURER)
W3	- 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA MS OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - 1/2" 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH W/ WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - 1/2" 2 5/8" INSULATION (AS PER MANUFACTURER) - 6 MIL CONTINUOUSLY CAULKED VAPOUR BARRIER - 1/2" G/MB
W4	- HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB
W5	- VERTICAL NENTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB
W6	- HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB
W7	WING WALL (NOT SHOWN ON SECTION, SEE FLOOR PLAN FOR LOCATION) - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x4 STUDS - AIR SPACE - 2x4 STUDS - 1/2" PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS) - VERTICAL NENTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS)

FLOOR ASSEMBLIES	
F1	SLAB ON GRADE - FLOOR FINISH (STYLE AS OWNER), POLISHED CONCRETE FOR GARAGE - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 EPS RIGID INSULATION (OR EQUIVALENT) - 2" SAND - 6" COMPACTED GRAVEL
F2	CANTILEVERED SUSPENDED SLAB (SEE SECTION A) - FLOOR FINISH (STYLE AS PER OWNER) - CONCRETE SLAB AS PER STRUCTURAL ENGINEER - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 SPRAY FOAM INSULATION - P.T. BACK FRAMING AS REQUIRED - SOFFIT AS PER OWNER
F3	(varies)
F4	MAIN FLOOR (CONSLAB) - HARDWOOD FLOOR FINISH ON BUILT-UP BLOCKING, AS NECESSARY TO ALIGN W/ FINISHED FLOOR (STYLE AS PER OWNER) - CONCRETE OVER CONSLAB DECK, AS PER MANUFACTURER - 4-25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT - FURRING CHANNEL ATTACHED TO RISERS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT, AS PER OWNER
F5	GARAGE FLOOR (CONSLAB) - POLISHED CONCRETE FINISH (AS PER OWNER) - CONCRETE OVER CONSLAB DECK, THICKNESS AS PER STRUCTURAL ENGINEER - 4-25" R-25 CONTINUOUS SPRAY FOAM INSULATION OR EQUIVALENT - FURRING CHANNEL ATTACHED TO RISERS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT (AS PER OWNER)

FLOOR ASSEMBLIES	
F6	INTERIOR FLOOR ABOVE GARAGE - HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) - 45mm FLOORBOARD W/ MINERAL WOOL (FERMACELLS®/ OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - 5" XPS RIGID INSULATION AS PER ENERGY ADVISOR - 1/2" G/MB
F7	DECK OVER LIVING SPACE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (COLOUR: SILVER, Code: PP6060B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - 5" XPS RIGID INSULATION OVER CLT - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER
F8	DECK AT MAIN FLOOR - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (COLOUR: SILVER, Code: PP6060B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - 1/2" EXTERIOR GRADE T&G PLYWOOD (GLUED & SCREWED) - BLOCKING TO PROVIDE SLOPE TO DRAIN (AT 1" PER FOOT) DRAINS AS REQUIRED - TJI FLOOR JOISTS AS PER STRUCTURAL ENGINEER - 3/4" MICRO-CLT PANEL FOR SOFFIT (PROVIDE CONTINUOUS VENTING)
F9	PATIO ON GRADE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (COLOUR: SILVER, Code: PP6060B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6" COMPACTED GRAVEL
F10	UNINSULATED CANTILEVERED SUSPENDED SLAB ON LOWER PATIO (NOT SHOWN ON SECTION) - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICA®/ OR EQUIVALENT) (COLOUR: SILVER, Code: PP6060B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH

**ENERGY STEP CODE 5 PURSUED**  
ALL ASSEMBLIES TO BE APPROVED BY BUILDING ENVELOPE CONSULTANT

REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		

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synthesis design inc.  
258 east 1st street  
north vancouver, bc,  
canada v7l 1b3  
tel. (604) 980-2087  
www.synthesisthesign.com

**VILLAVICENCIO CUSTOM RESIDENCE**  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title	SECTIONS AND ASSEMBLIES
Date	07.09.2024
Scale	1/4" = 1'-0"
Drawn	PCS / AL / DK
Job No.	24005
Sheet	A-11
Of	19 Sheets

2024 - 09 - 13  
11:51:48 AM

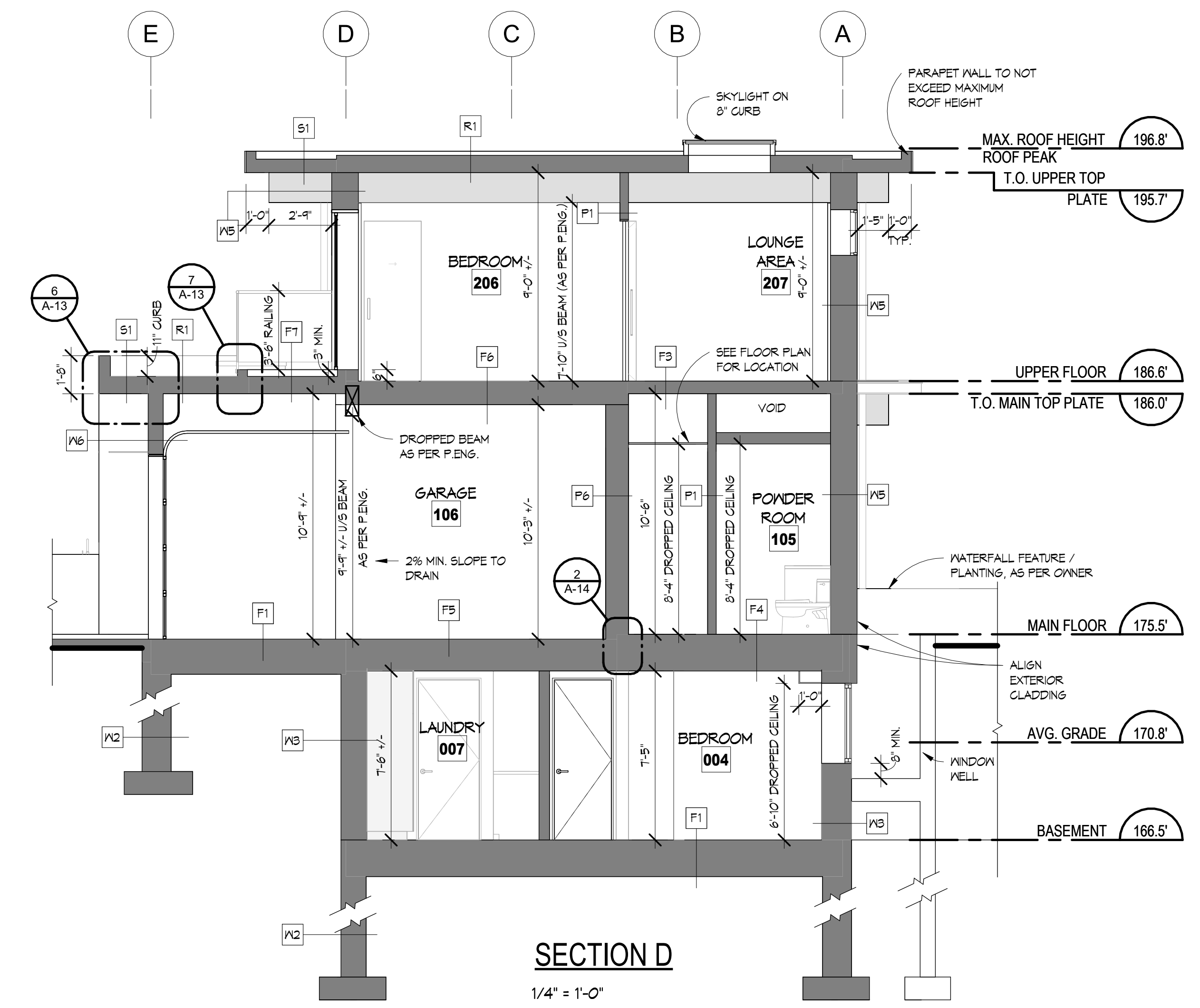
REVISIONS	#	BY
Structural Changes	3	AL
06.27.2024		
IFC Changes	4	AL
07.11.2024		

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**SYN THE SIS DESIGN**

synthesis design inc.  
258 east 1st street  
north vanancouver, bc,  
canada v7l 1b3  
tel. (604) 980-2087  
www.synthesisthesign.com



**SECTION D**  
1/4" = 1'-0"

ROOF ASSEMBLIES	WALL ASSEMBLIES	FLOOR ASSEMBLIES	FLOOR ASSEMBLIES
<b>Roof</b> R1 - DECORATIVE (MEXICAN RIVER ROCK OR GREEN ROOF PLANTER) SEE PLANS FOR LOCATION - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - R-25 XPS RIGID INSULATION - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER <b>Skirt Roof/Overhang</b> S1 - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/8" PER FOOT) - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER	<b>Foundation</b> W1 - 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA M5 OR EQUIVALENT) - 8" CONCRETE FOUNDATION WALL W2 - 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA M5 OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH W/ WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - ICF 2 5/8" INSULATION (AS PER MANUFACTURER) W3 - 2 COATS DAMP PROOFING & DIMPLED MEMBRANE (DELTA M5 OR EQUIVALENT) - 2" XPS RIGID INSULATION (AS PER MANUFACTURER) - ICF 2 5/8" INSULATION (AS PER MANUFACTURER), ABOVE GRADE INSULATION TO BE PROTECTED WITH FINDERMAX HPL AND METAL FLASHING (STYLE AND COLOUR TO MATCH W/ WALL ABOVE) - 8" CONCRETE FOUNDATION WALL - ICF 2 5/8" INSULATION (AS PER MANUFACTURER) - 6 MIL CONTINUOUSLY CAULKED VAPOUR BARRIER - 1/2" G/MB <b>Exterior</b> W4 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB W5 - VERTICAL NENTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - 5" R-25 EXTERIOR CONTINUOUS XPS RIGID INSULATION - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB W6 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x4 STUDS - AIR SPACE - 1/2" FT PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS) - VERTICAL NENTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS)	<b>F1</b> SLAB ON GRADE - FLOOR FINISH (STYLE AS OWNER), POLISHED CONCRETE FOR GARAGE - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 EPS RIGID INSULATION (OR EQUIVALENT) - 2" SAND - 6" COMPACTED GRAVEL <b>F2</b> CANTILEVERED SUSPENDED SLAB (SEE SECTION A) - FLOOR FINISH (STYLE AS PER OWNER) - CONCRETE SLAB AS PER STRUCTURAL ENGINEER - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - R-30 SPRAY FOAM INSULATION - P.T. BACK FRAMING AS REQUIRED - SOFFIT AS PER OWNER <b>F3</b> (varies) <b>F4</b> MAIN FLOOR (COMSLAB) - HARDWOOD FLOOR FINISH ON BUILT-UP BLOCKING, AS NECESSARY TO ALIGN W/ FINISHED FLOOR (STYLE AS PER OWNER) - CONCRETE OVER COMSLAB DECK, AS PER MANUFACTURER - 4-25" R-25 CONTINUOUS SPRAY FOAM INSULATION (OR EQUIVALENT) - FURRING CHANNEL ATTACHED TO RISBS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT, AS PER OWNER <b>F5</b> GARAGE FLOOR (COMSLAB) - POLISHED CONCRETE FINISH (AS PER OWNER) - CONCRETE OVER COMSLAB DECK, THICKNESS AS PER STRUCTURAL ENGINEER - 4-25" R-25 CONTINUOUS SPRAY FOAM INSULATION (OR EQUIVALENT) - FURRING CHANNEL ATTACHED TO RISBS, AS PER MANUFACTURER - 1/2" G/MB OR 3/4" MICRO-CLT (AS PER OWNER)	<b>F6</b> INTERIOR FLOOR ABOVE GARAGE - HARDWOOD FLOOR FINISH (STYLE AS PER OWNER) - 45mm FLOORBOARD IV MINERAL WOOL (FERMACELLS®/ OR EQUIVALENT), PANEL ASSEMBLY AS PER MANUFACTURER'S SPECIFICATIONS - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - 5" XPS RIGID INSULATION AS PER ENERGY ADVISOR - 1/2" G/MB <b>F7</b> DECK OVER LIVING SPACE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICAS®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) - 5" XPS RIGID INSULATION OVER CLT - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER <b>F8</b> DECK AT MAIN FLOOR - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICAS®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - 3/4" EXTERIOR GRADE T&G PLYWOOD (GLUED & SCREWED) - BLOCKING TO PROVIDE SLOPE TO DRAIN (AT 1" PER FOOT) DRAINS AS REQUIRED - T.J. FLOOR JOISTS AS PER STRUCTURAL ENGINEER - 3/4" MICRO-CLT PANEL FOR SOFFIT (PROVIDE CONTINUOUS VENTING) <b>F9</b> PATIO ON GRADE - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICAS®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH - 6" COMPACTED GRAVEL <b>F10</b> UNSULATED CANTILEVERED SUSPENDED SLAB ON LOWER PATIO (NOT SHOWN ON SECTION) - 24x24 PORCELAIN TILE PAVERS ON PEDESTALS (ENMON NORTH AMERICAS®/ OR EQUIVALENT) (Colour: SILVER, Code: PP6060B) - 4" CONCRETE SLAB - CONTINUOUS WIRE MESH
<b>Interior</b> F1 - 1/2" G/MB - 2x4 STUDS @ 16" O/C - 1/2" G/MB F2 - 1/2" G/MB - 2x6 STUDS @ 16" O/C - 1/2" G/MB F3 - UPPER FLOOR SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - 1/2" DENS-SHIELD OR EQUIVALENT - 2x6 STUDS @ 16" O/C - 1/2" DENS-SHIELD OR EQUIVALENT - SCHLUTER KERDI MAT - TILE (STYLE AS PER OWNER) F4 - BASEMENT SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - 1/2" DENS-SHIELD OR EQUIVALENT - 2x4 STUDS @ 16" O/C - 1/2" G/MB F5 - 1/2" G/MB - 2x4 STUDS @ 16" O/C - 3 1/2" BATT ACOUSTIC INSULATION - RESILIENT CHANNEL @ 16" OR 24" O/C - 1/2" G/MB F6 - GARAGE WALL SEPARATION - 1/2" G/MB - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 5" XPS RIGID INSULATION - 6 MIL CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - 1/2" G/MB F7 - 3/4" MICRO-CLT AS PER CLIENT - 2x4 STUDS @ 16" O/C - AIR SPACE - 2x4 STUDS @ 16" O/C - 3/4" MICRO-CLT AS PER CLIENT	<b>Interior</b> W4 - HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) (FINISH AND COLOUR TO BE CONFIRMED BY OWNER), SEE ELEVATIONS FOR REVEAL LINES (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS) - (HIDDEN CLIPS TO ATTACH PANELS) - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - 1/2" PLYWOOD SHEATHING - 2x4 STUDS - AIR SPACE - 1/2" FT PLYWOOD SHEATHING - 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS) - VERTICAL NENTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER) (INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS)	<b>ENERGY STEP CODE 5 PURSUED</b> <b>ALL ASSEMBLIES TO BE APPROVED BY BUILDING ENVELOPE CONSULTANT</b>	

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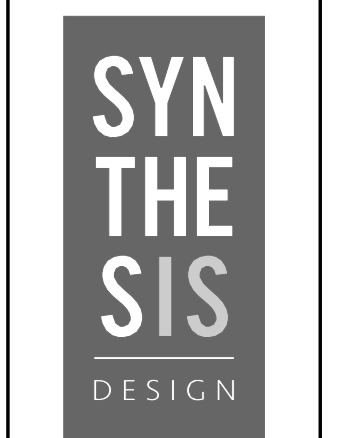
Drawing Title  
**SECTION AND ASSEMBLIES**

Date 07.09.2024  
Scale 1/4" = 1'-0"  
Drawn PCS / AL / DK  
Job No. 24005  
Sheet **A-12**  
Of 19 Sheets

REVISIONS	#	BY
IFC Changes	4	AL
07.11.2024		

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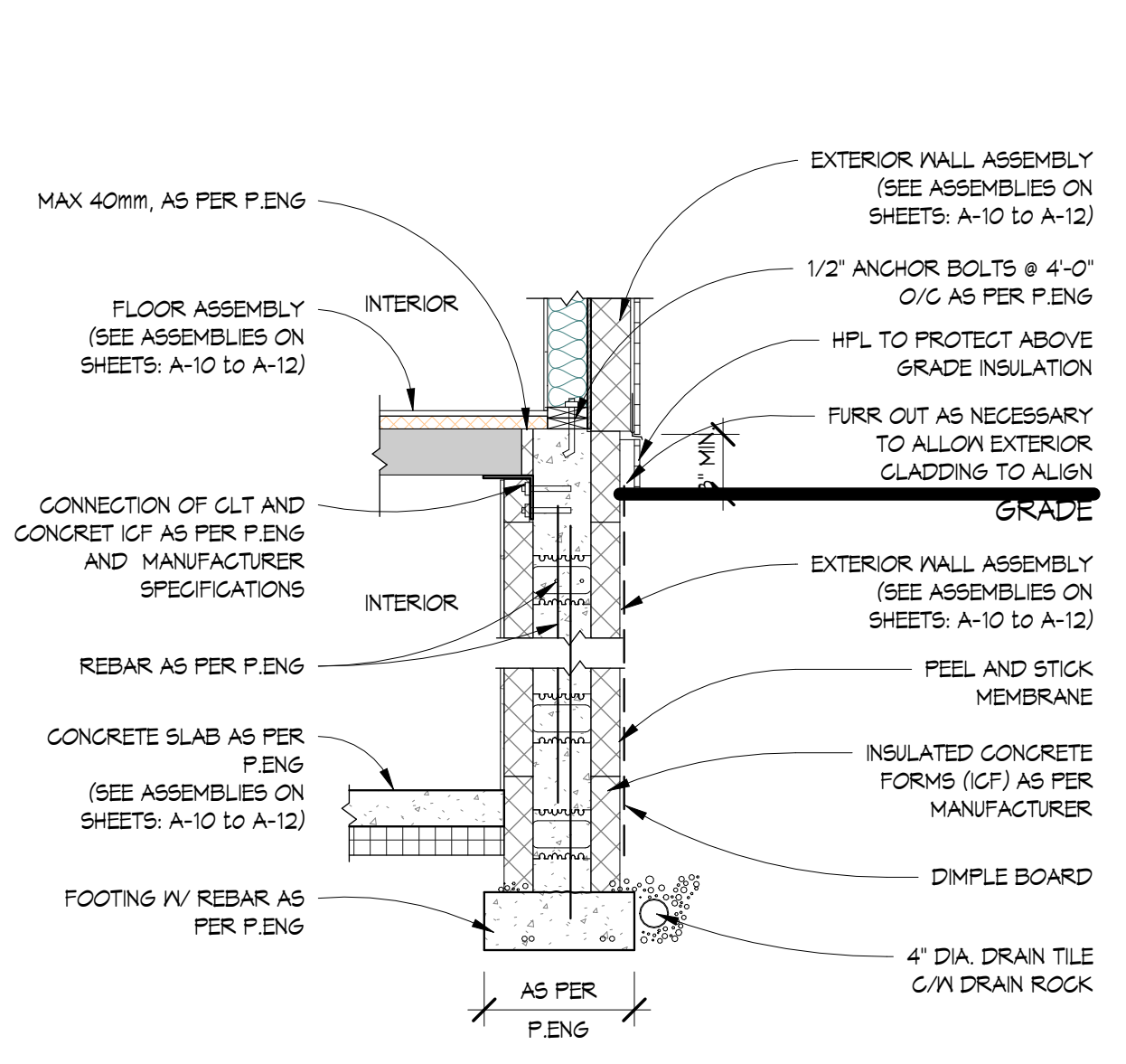


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north vancouver, bc,  
canada v7l 1b3  
tel. (604) 980-2087  
www.synthesisthesign.com

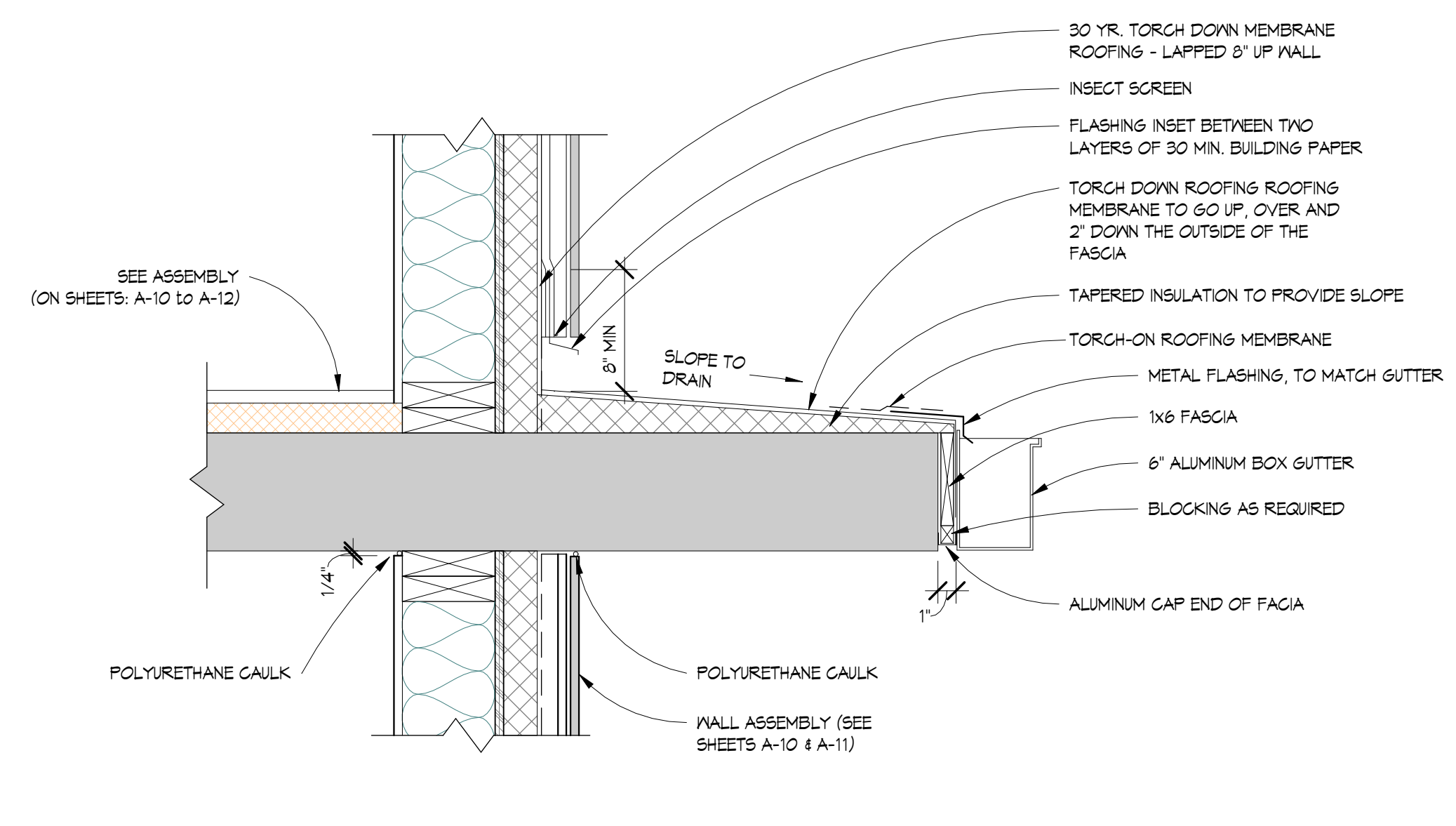
VILLAVINCICIO CUSTOM RESIDENCE  
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Drawing Title  
DETAILS

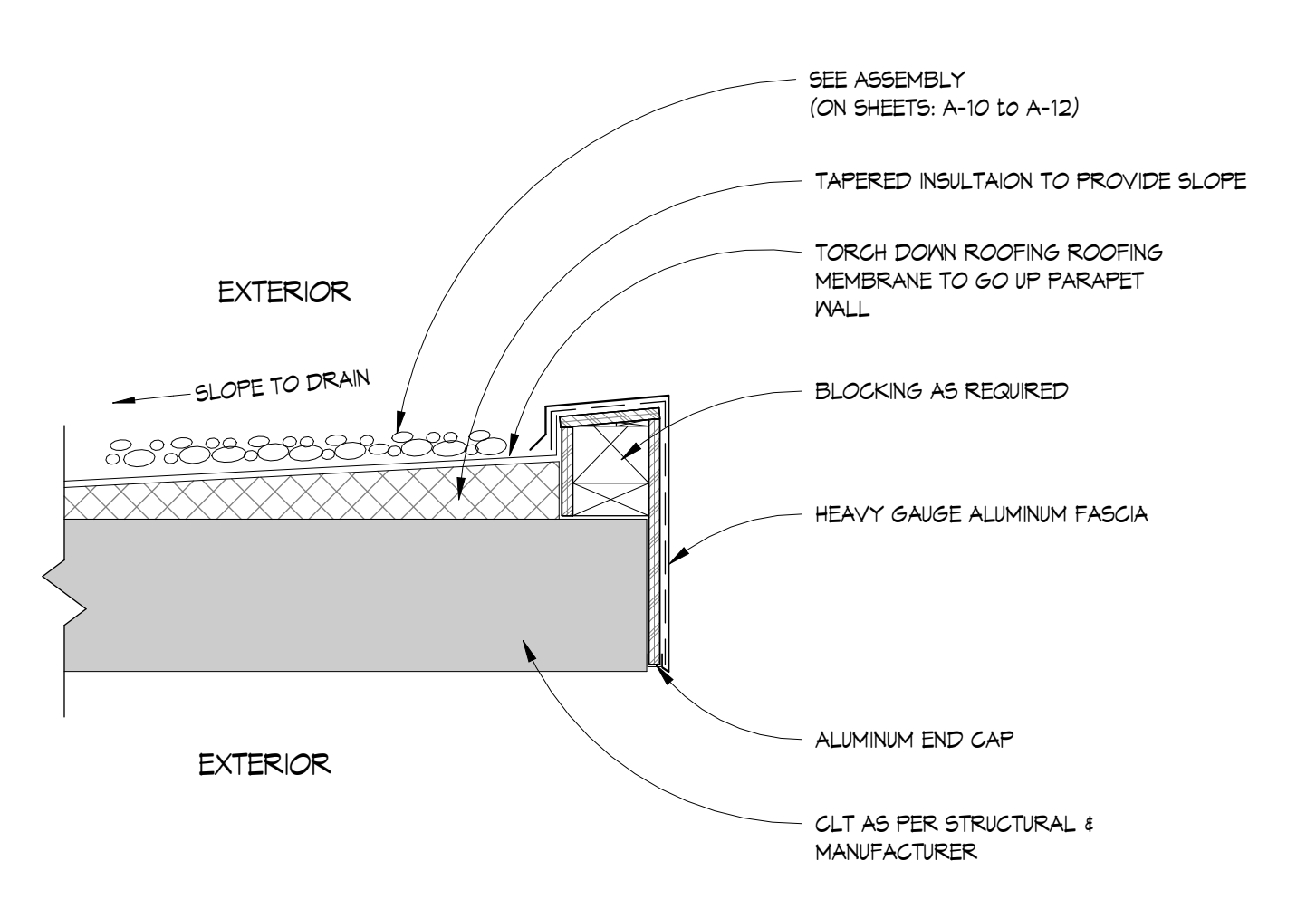
Date	07.09.2024
Scale	As indicated
Drawn	PCS / AL / DK
Job No.	24005
Sheet	A-13
Of	19 Sheets



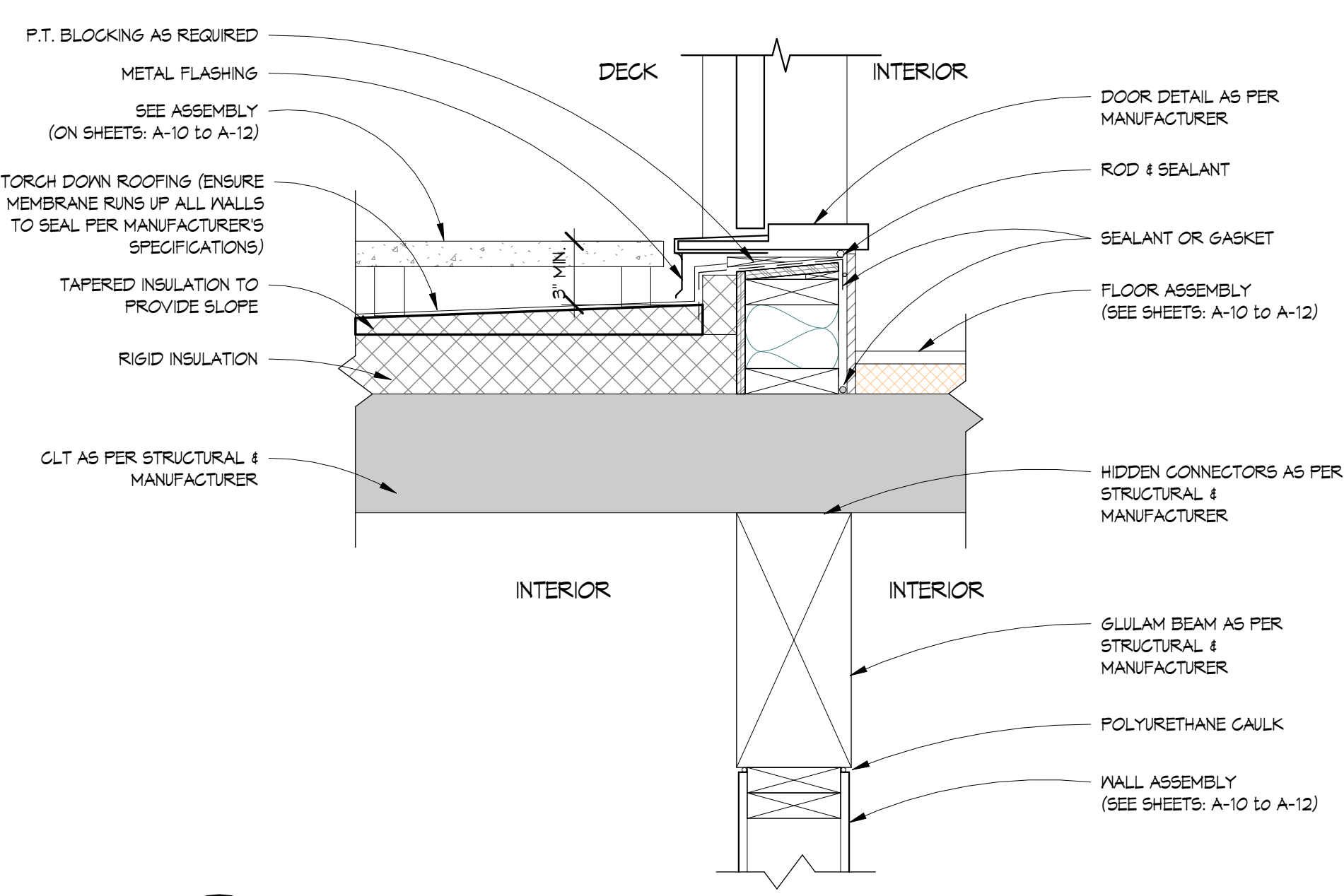
**1 FOUNDATION WALL ICF**  
A-10 1/2" = 1'-0"



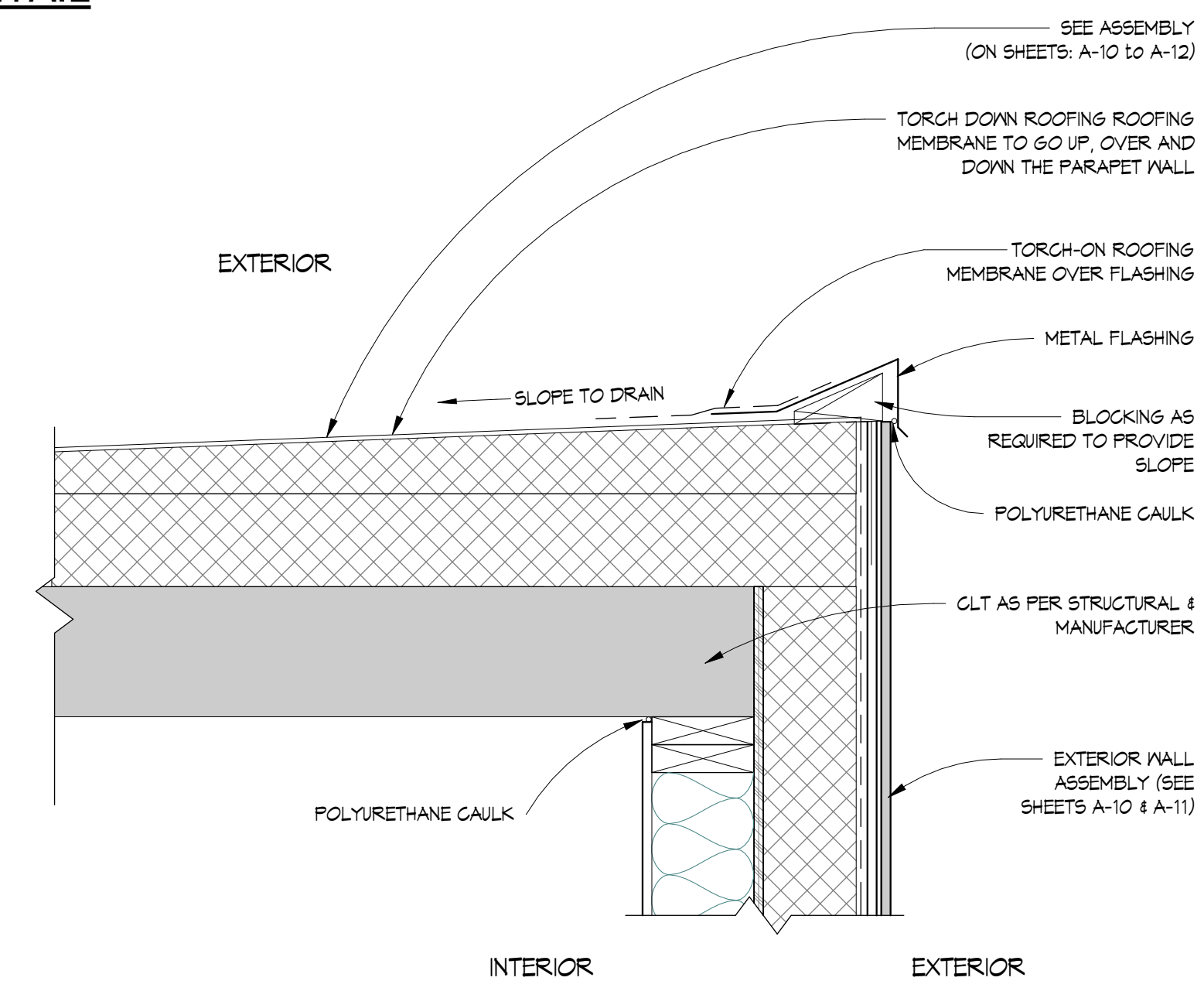
**2 SKIRT ROOF DETAIL**  
A-11 1 1/2" = 1'-0"



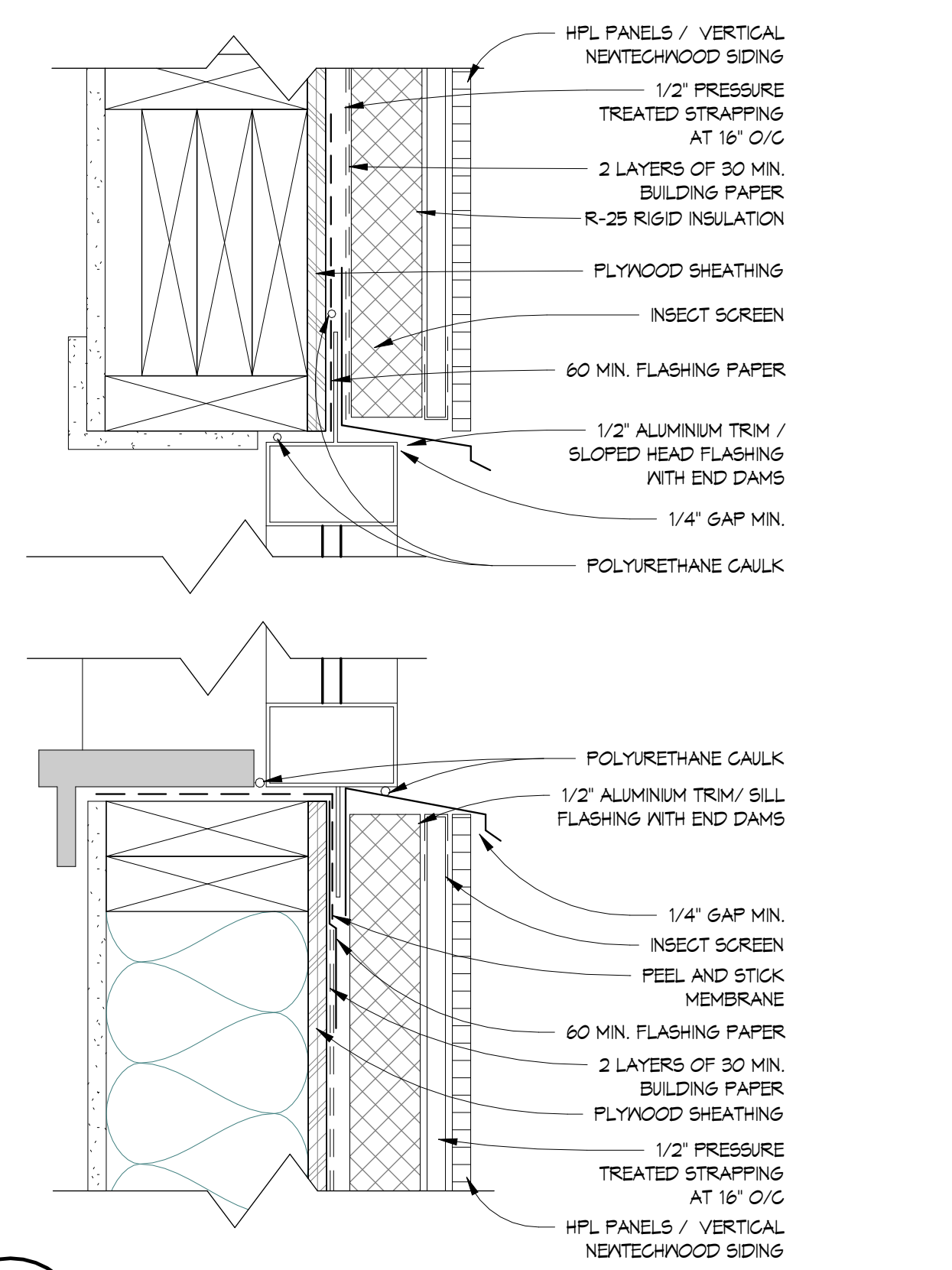
**3 OVERHANG DETAIL**  
A-11 1 1/2" = 1'-0"



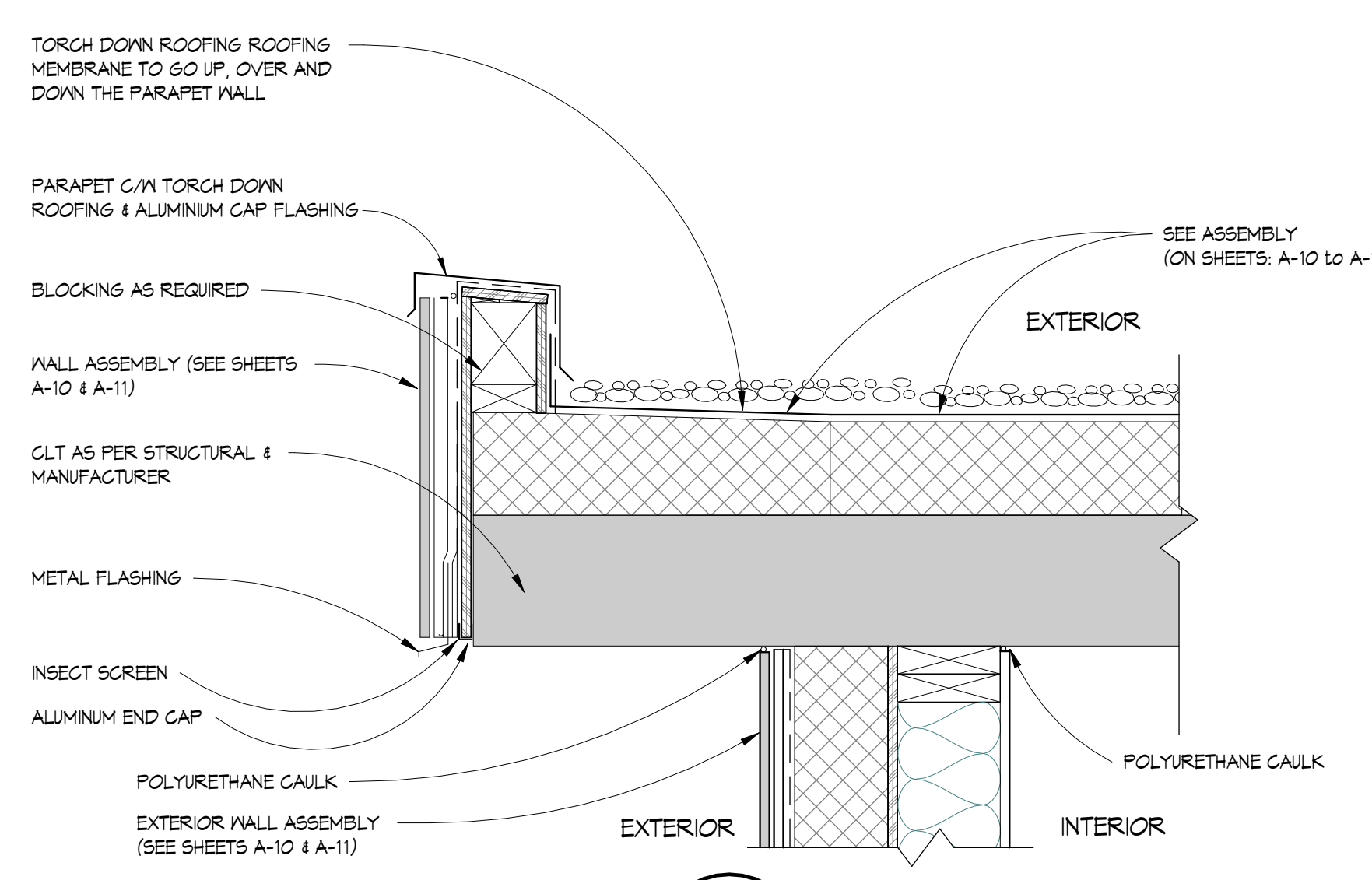
**4 DECK AT DOOR THRESHOLD OVER LIVING SPACE**  
A-10 1 1/2" = 1'-0"



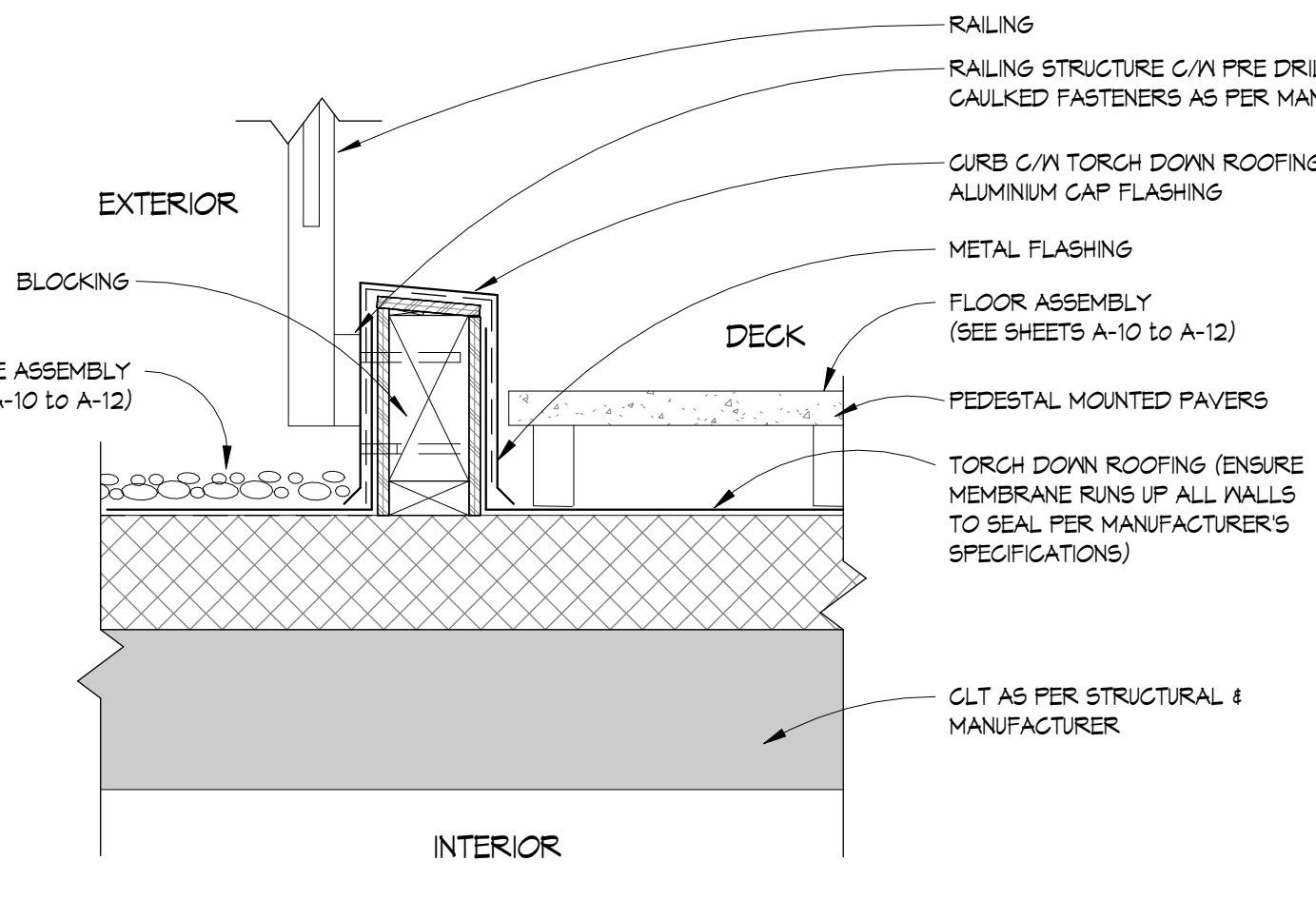
**5 ROOF W/ NO OVERHANG**  
A-10 1 1/2" = 1'-0"



**8 WALL W/ RAINSCREEN**  
A-11 3" = 1'-0"



**6 SKIRT ROOF**  
A-12 1 1/2" = 1'-0"



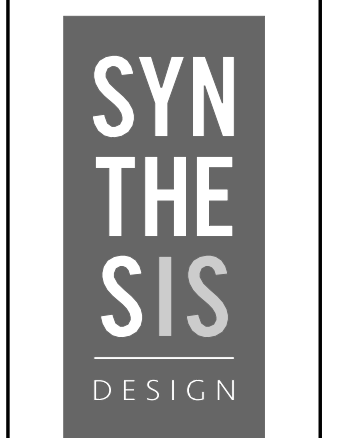
**7 DECK AND RAILING ABOVE LIVING SPACE**  
A-12 1 1/2" = 1'-0"

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REVISIONS	#	BY
IFC Changes 07.11.2024	4	AL

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north vancouver, bc,  
canada v7l 1b3  
tel. (604) 980-2087  
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VILLAVENCIO CUSTOM RESIDENCE  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**DETAILS AND SCHEDULES**

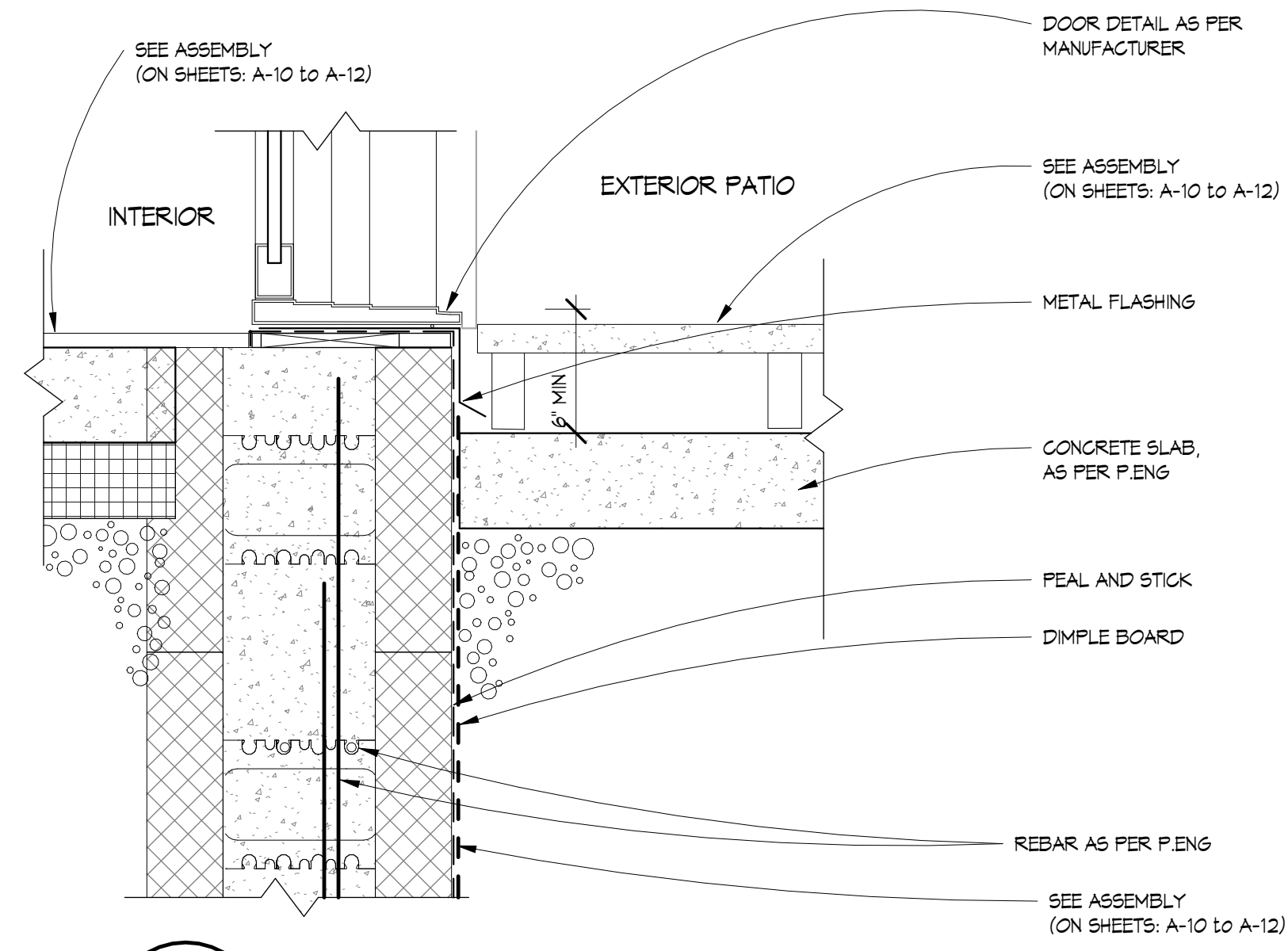
Date 07.09.2024  
Scale As indicated  
Drawn PCS / AL / DK  
Job No. 24005  
Sheet **A-14**  
Of 19 Sheets

DOOR SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	ASSEMBLY	NOTES
1	1	4'-0"	8'-0"	Exterior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating weather stripping NPR hinges style as per ID
2	1	16'-0"	7'-0"	Exterior, Folding 3, 1 Door in	Wood, Tempered Glass	Folding door 4-3-1	Weather stripping, assembly as per manufacturer specifications, NPR Hinge
3	1	3'-6"	8'-0"	Exterior, Swing, Single	Wood, Tempered Glass	Solid Core	Weather stripping c/w NPR Hinges, style as per owner.
5	2	5'-0"	7'-0"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
6	1	10'-0"	7'-0"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
7	1	6'-6"	7'-7"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
8	1	13'-2"	7'-7"	Exterior, Folding 3, 1 Door in	Wood, Tempered Glass	Folding door 4-3-1	Weather stripping, assembly as per manufacturer specifications, NPR Hinge
9	1	3'-0"	8'-0"	Interior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating, self closer, weather stripping
10	1	2'-8"	4'-6"	Interior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating
11	1	2'-6"	8'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	
12	1	3'-6"	6'-8"	Interior, Swing, Double	Painted Wood	Solid Core	Conceal as per I.D.
13	1	3'-8"	7'-0"	Interior, Pivot, Single	Painted Wood	Solid Core	Min. 2'-6" opening
14	1	3'-10"	7'-0"	Interior, Pivot, Single	Painted Wood	Solid Core	Min. 2'-8" opening
15	4	2'-6"	7'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	
16	1	2'-8"	7'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	Min. 2'-8" opening
17	1	6'-6"	7'-6"	Interior, Barn Style, Single, Flush Panel	Painted Wood	Solid Core	
18	3	2'-6"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	
19	1	2'-2"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	
20	1	2'-8"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	Min. 2'-8" opening
137	1	16'-0"	8'-0"	Exterior, Overhead Sectional, Frosted Panel	Metal, Frosted Glass	Solid Core	Weather stripping & garage door opener
TOTAL: 26							

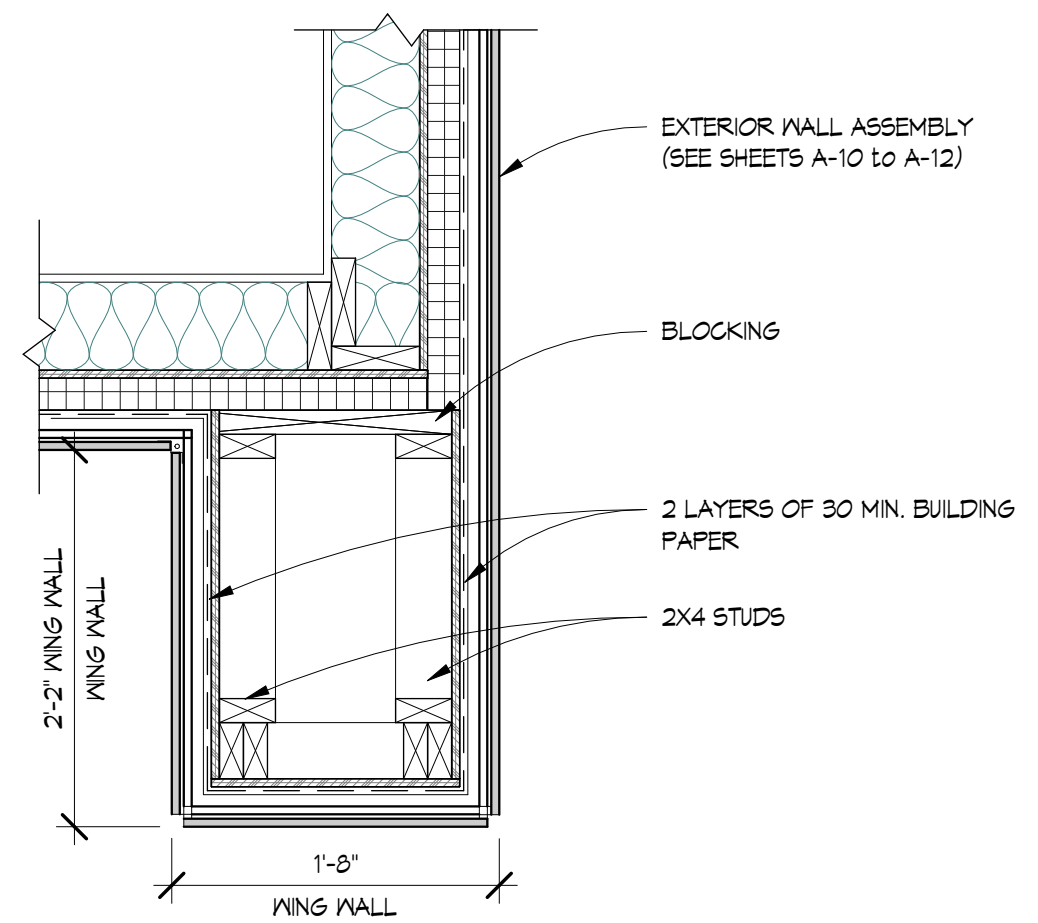
- ALL DOORS ARE +/-
- DO NOT ORDER DOORS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE
- DOORS TO NOT HAVE DOOR JAMS, AS PER MANUFACTURER
- ALL DOOR STYLES ARE TO BE AS PER AS PER OWNER/I.D., UNLESS NOTED OTHERWISE

WINDOW SCHEDULE							
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	NOTES	
A	1	13'-2"	9'-2"	Main Floor Curtain Wall - South Wall	Wood, Tempered Glass	Divided into 2 equal panels, see elevation for location	
B	1	19'-8"	9'-2"	Main Floor Curtain Wall - West Wall	Aluminum, Tempered Glass	Divided into 3 panels, see elevation for location	
C	1	6'-6"	9'-2"	Main Floor Curtain Wall - North Wall	Wood, Tempered Glass	Divided into 2 equal panels, see elevation for location	
D	1	19'-8"	7'-8"	Main Floor Curtain Wall - West Wall	Wood, Tempered Glass	Divided into 3 panels, see elevation for location	
E	1	5'-4"	4'-6"	Fixed, Divided, Two Sections	Wood		
F	1	3'-7"	8'-0"	Fixed	Wood, Tempered Glass		
G	9	5'-5"	2'-0"	Fixed	Wood	Tempered glass in shower	
H	1	5'-3"	6'-0"	Fixed	Wood	Tempered glass	
J	1	8'-0"	3'-6"	Sliding, Double	Wood		
K	3	4'-0"	4'-0"	Skylight, Flat	Aluminum, Tempered Glass		
L	1	3'-0"	3'-0"	Skylight, Flat	Aluminum, Tempered Glass		
TOTAL: 21							

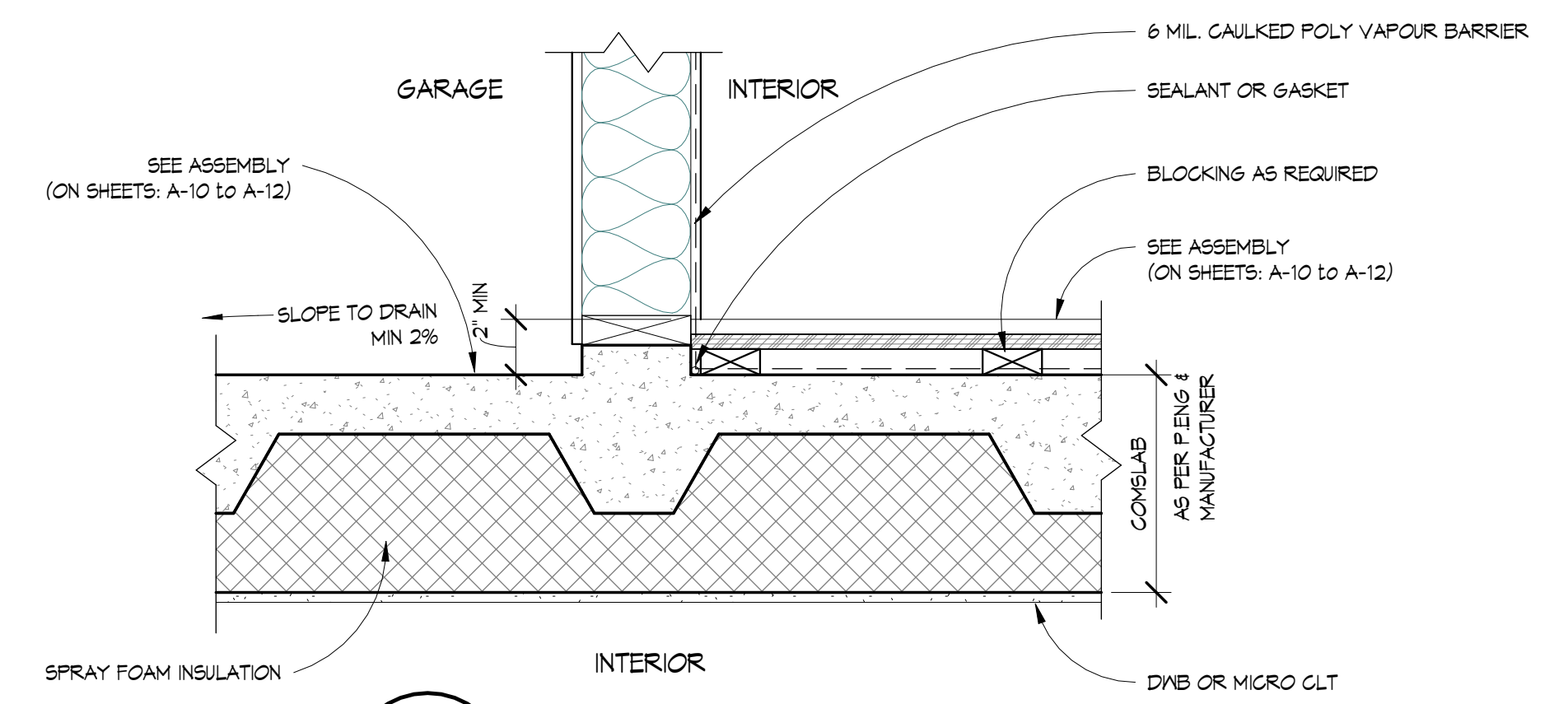
- ALL WINDOWS ARE +/-
- DO NOT ORDER WINDOWS UNTIL ROUGH DIMENSIONS ARE CONFIRMED ON SITE
- DO NOT SCALE DRAWINGS
- WINDOWS SUPPLIER TO ENSURE ALL APPLICABLE WINDOWS MEET EGRESS REQUIREMENTS
- ALL WINDOWS TO BE AS PER I.D. / AS PER OWNER, UNLESS NOTED OTHERWISE



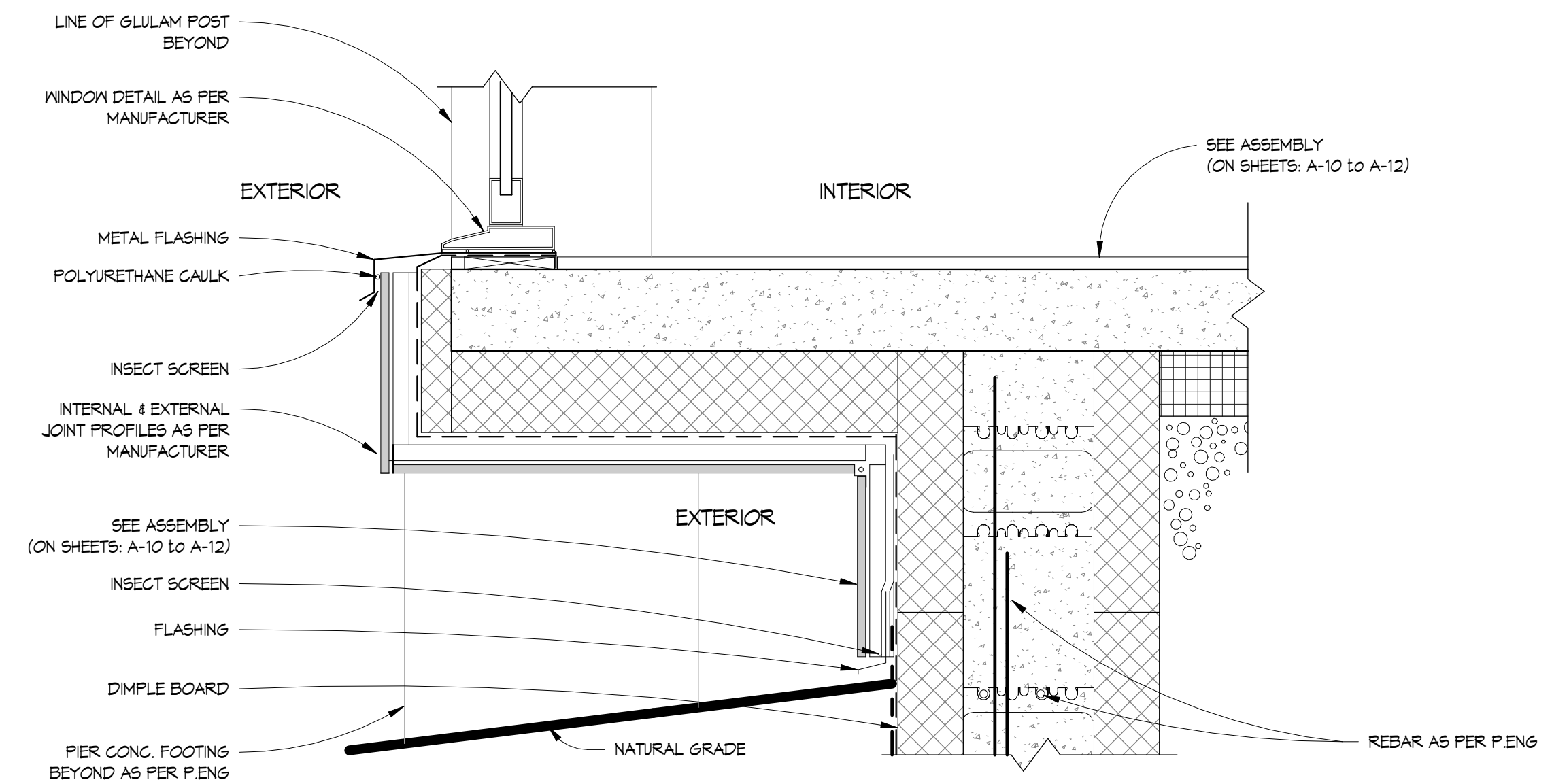
**1 EXTERIOR DOOR SILL**  
1 1/2" = 1'-0"



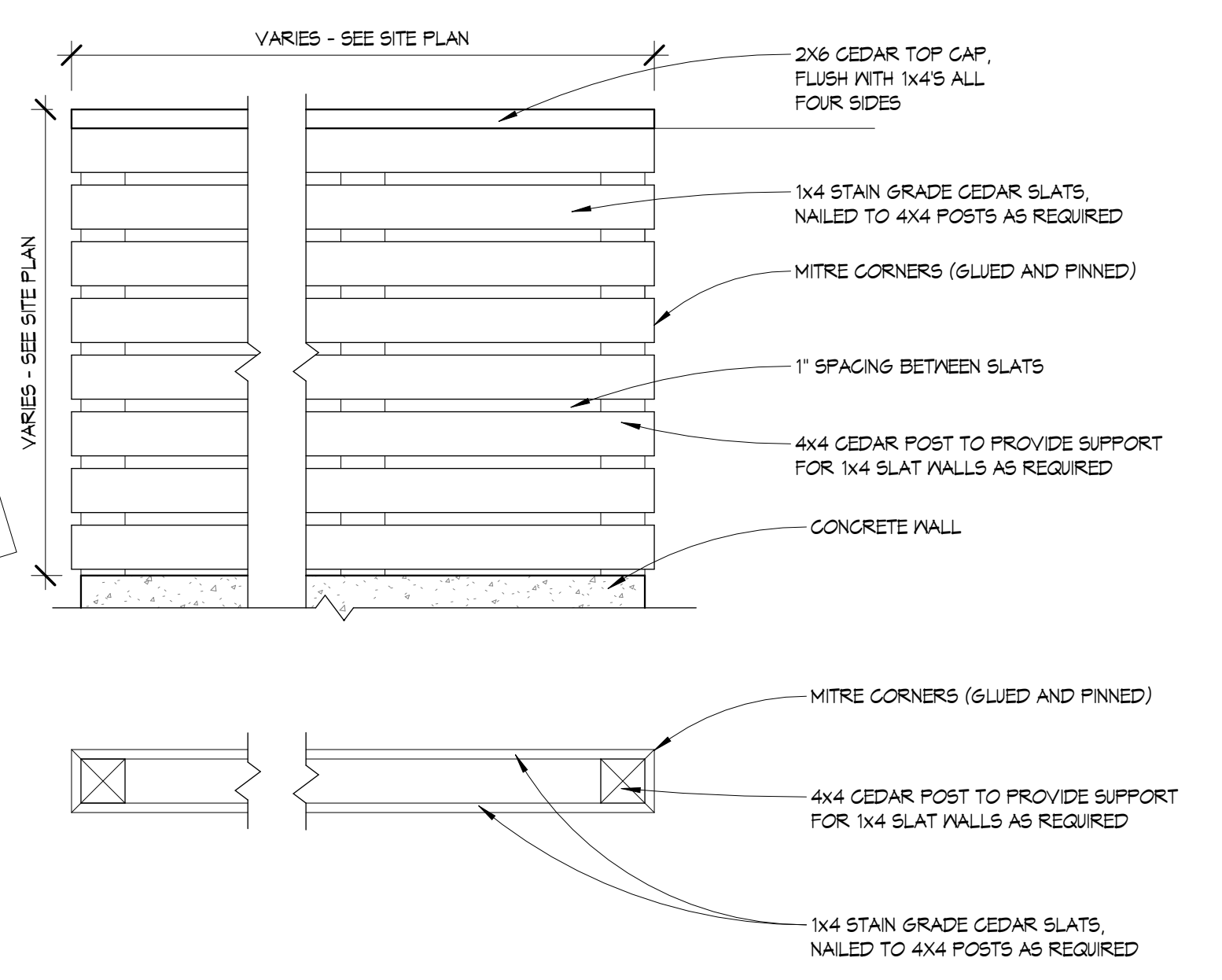
**3 WING WALL**  
1" = 1'-0"



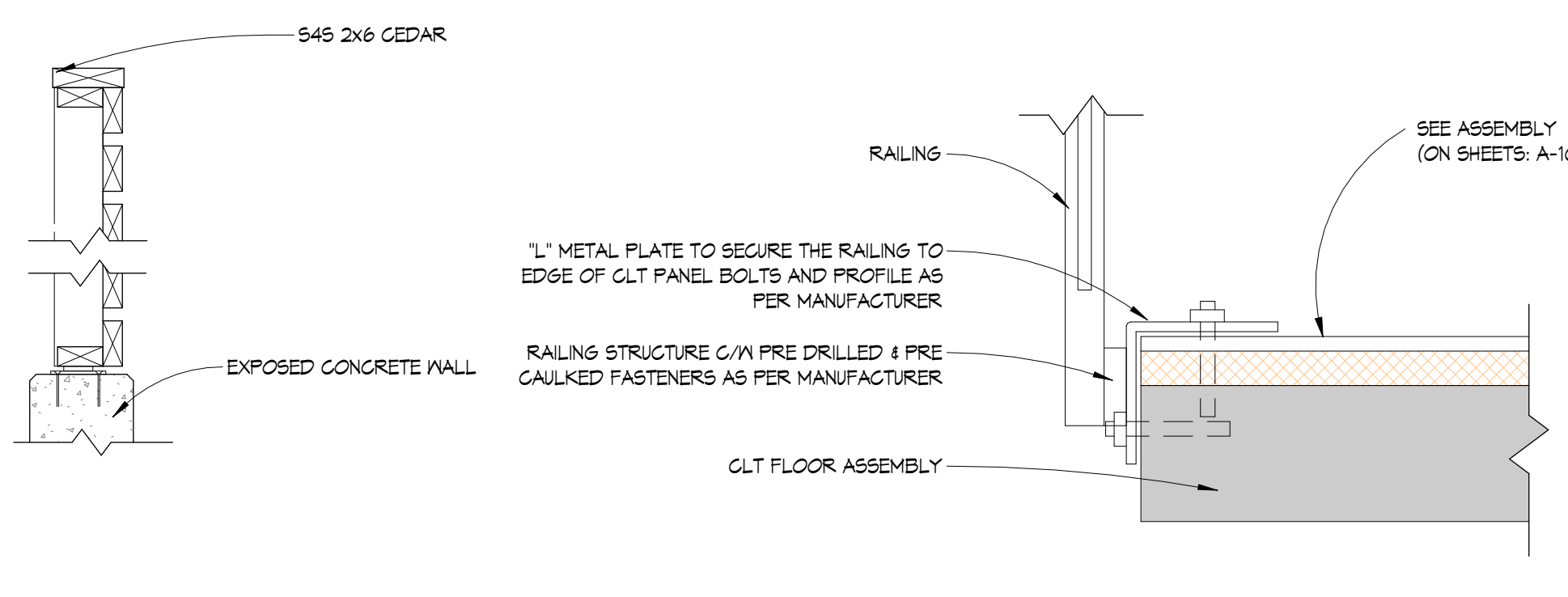
**2 GARAGE DOOR SILL**  
1 1/2" = 1'-0"



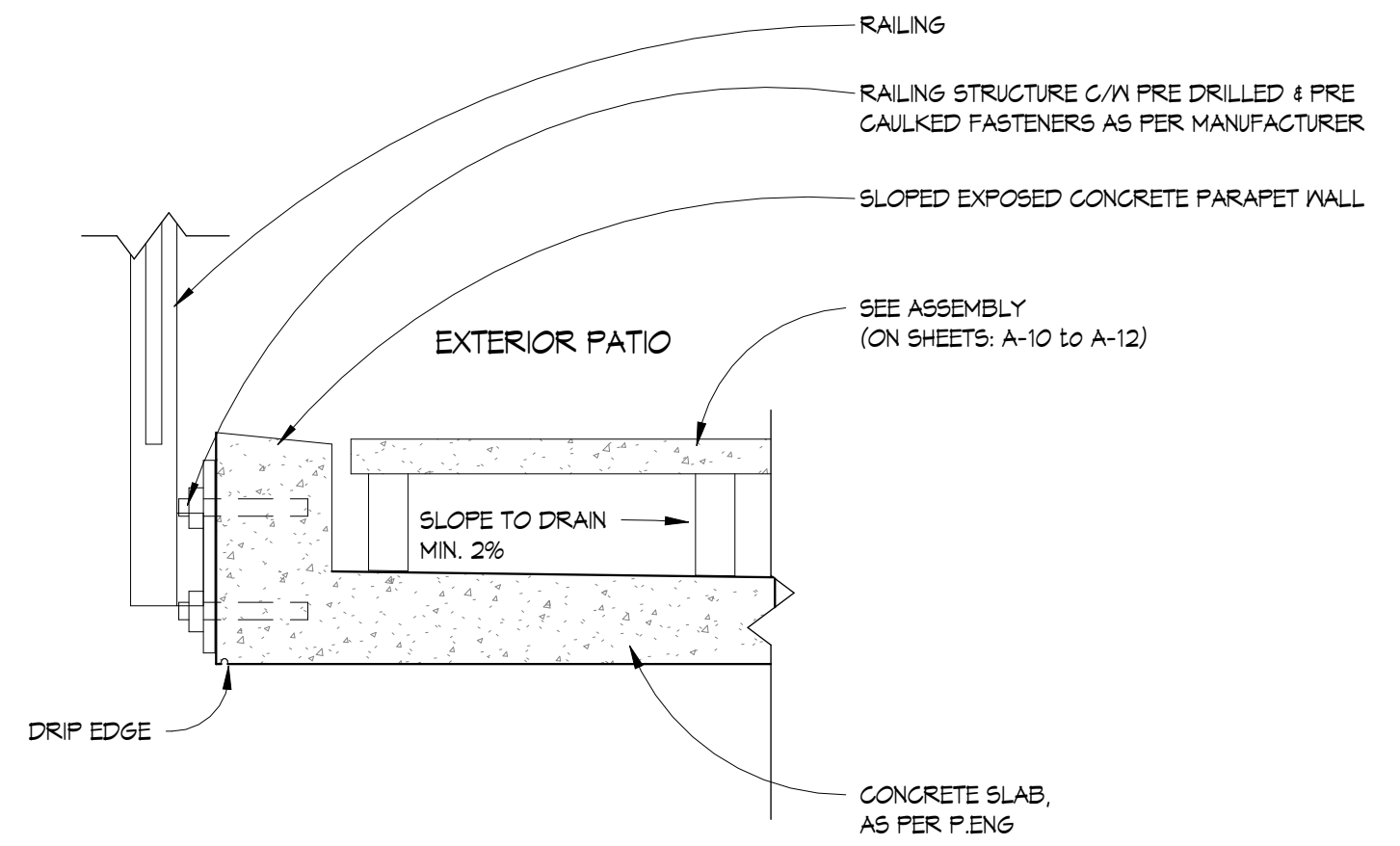
**4 SLAB ON GRADE W/ SUSPENDED FLOOR**  
1 1/2" = 1'-0"



**5 SLAT WALL DETAIL**  
1" = 1'-0"



**6 INTERIOR RAILING**  
1 1/2" = 1'-0"



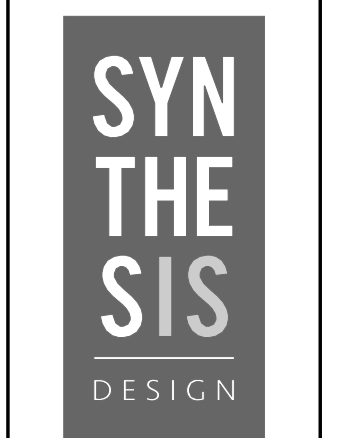
**7 EXTERIOR RAILING**  
1 1/2" = 1'-0"

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REVISIONS	#	BY
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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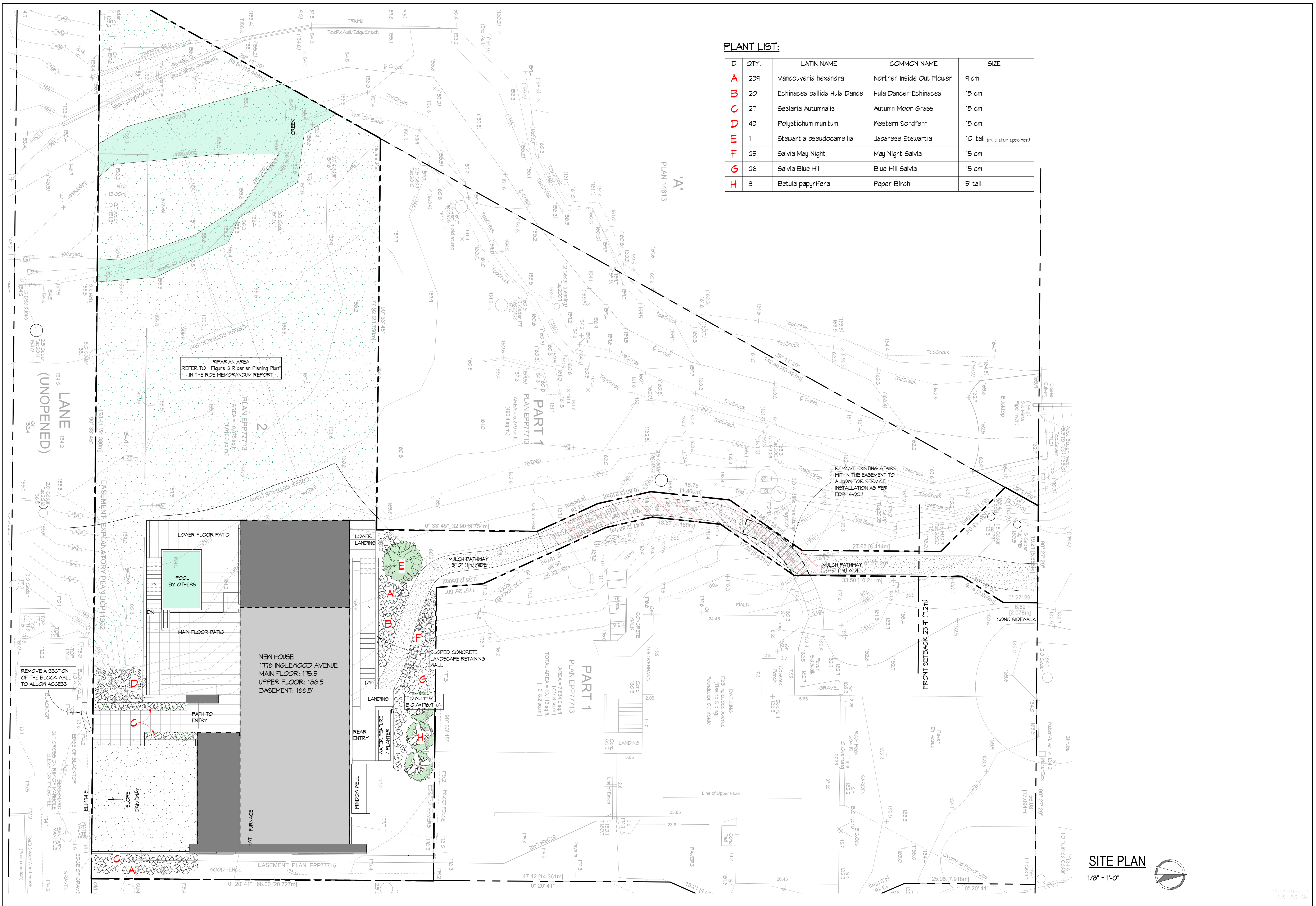
VILLAVINCICIO CUSTOM RESIDENCE  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**LANDSCAPE PLAN**

Date 07.03.2024  
Scale 1/8" = 1'-0"  
Drawn PCS / AL / DK  
Job No. 24005  
Sheet **A-15**  
Of 19 Sheets

**PLANT LIST:**

ID	QTY.	LATIN NAME	COMMON NAME	SIZE
A	239	Vancouveria hexandra	Norther Inside Out Flower	9 cm
B	20	Echinacea pallida	Hula Dancer Echinacea	15 cm
C	27	Sesleria Autumnalis	Autumn Moor Grass	15 cm
D	43	Polystichum munitum	Western Swordfern	15 cm
E	1	Stewartia pseudocamellia	Japanese Stewartia	10' tall (multi stem specimen)
F	25	Salvia May Night	May Night Salvia	15 cm
G	26	Salvia Blue Hill	Blue Hill Salvia	15 cm
H	3	Betula papyrifera	Paper Birch	5' tall



**SITE PLAN**  
1/8" = 1'-0"

2024-09-13  
11:51:53 AM





SOUTH-WEST CORNER RENDER



NORTH-WEST CORNER RENDER



SOUTH-EAST CORNER RENDER



NORTH-EAST CORNER RENDER

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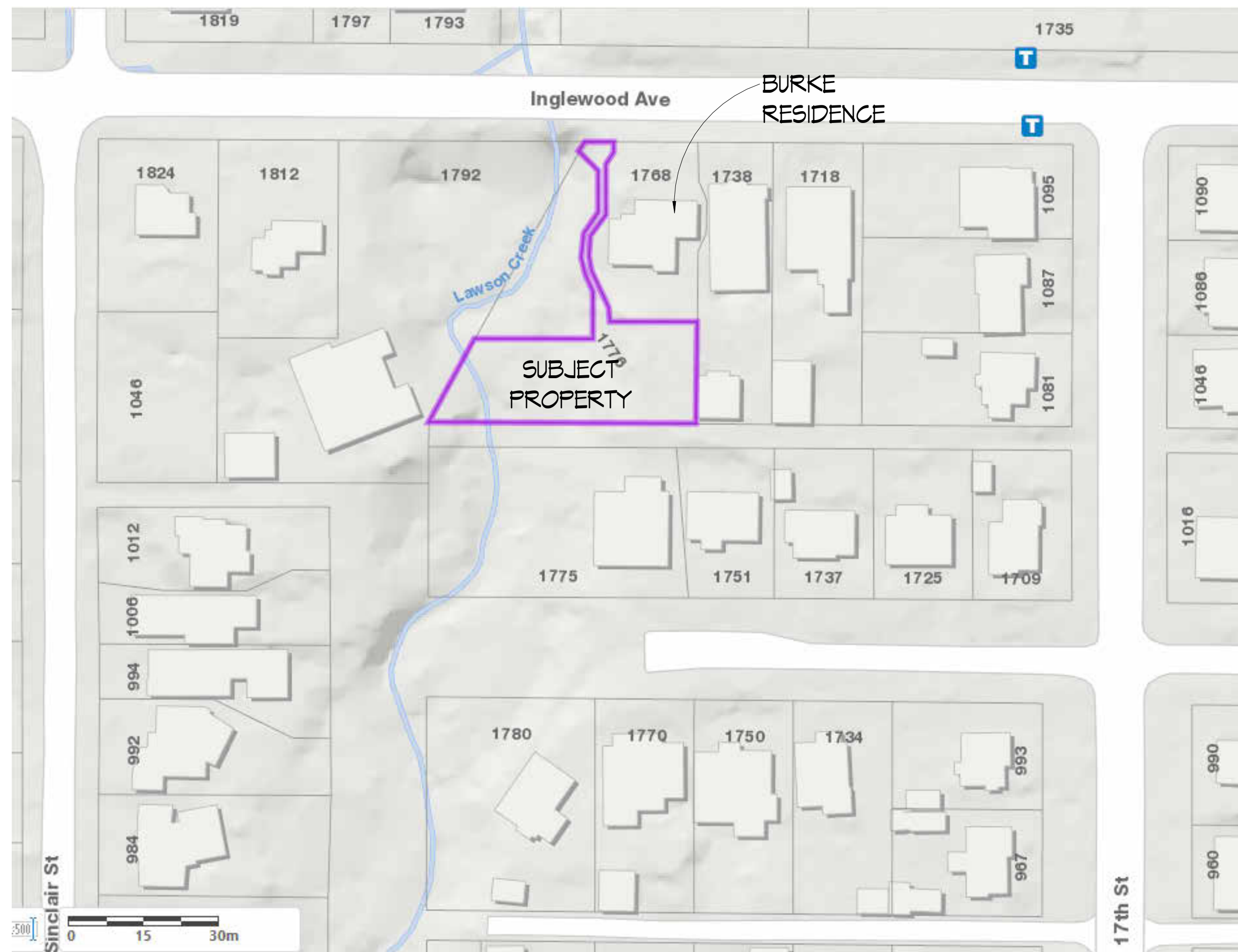


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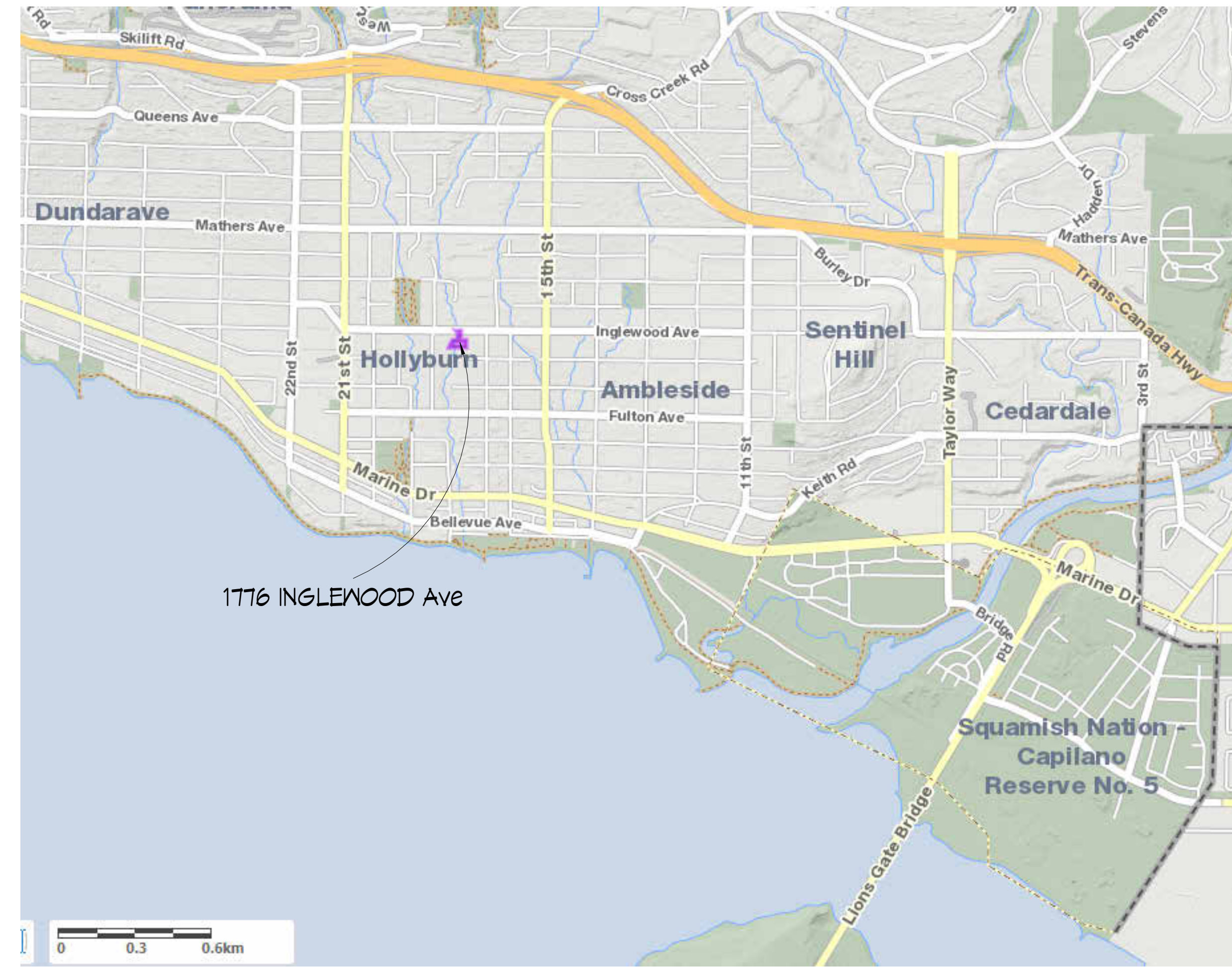
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West Vancouver, BC

Drawing Title  
3D RENDERING

Date 07.09.2024  
Scale NOT TO SCALE  
Drawn PCS / AL / DK  
Job No. 24005  
Sheet A-16



NEIGHBOURHOOD CONTEXT PLAN

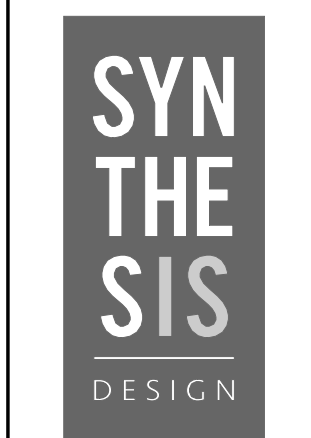


WEST VANCOUVER CONTEXT PLAN

REVISIONS	#	BY
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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All dimensions shall be verified on site prior to commencement of work.



synthesis design inc.  
 258 east 1st street  
 north vancouver, bc,  
 canada V7L 1B3  
 tel. (604) 980-2087  
 www.synthesishdesign.ca

VILLAVINCICIO CUSTOM RESIDENCE  
 1776 Inglewood Avenue  
 West Vancouver, BC

Drawing Title  
**SITE CONTEXT**

Date 07.09.2024  
 Scale NOT TO SCALE  
 Drawn PGS / AL / DK  
 Job No. 24005  
 Sheet **A-17**

REVISIONS	#	BY
HRA Comments, Spatial Context, Areas 08.07.2024	6	DK

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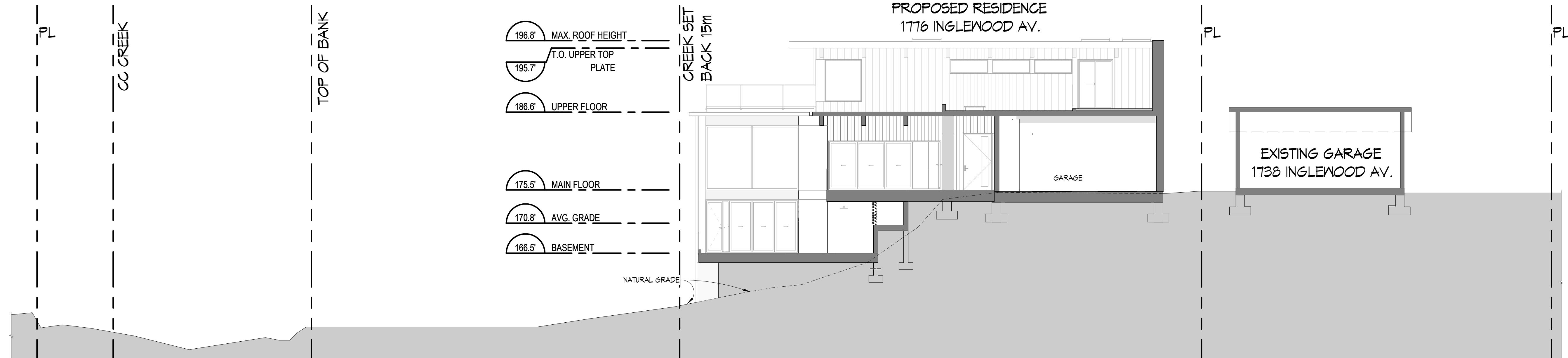
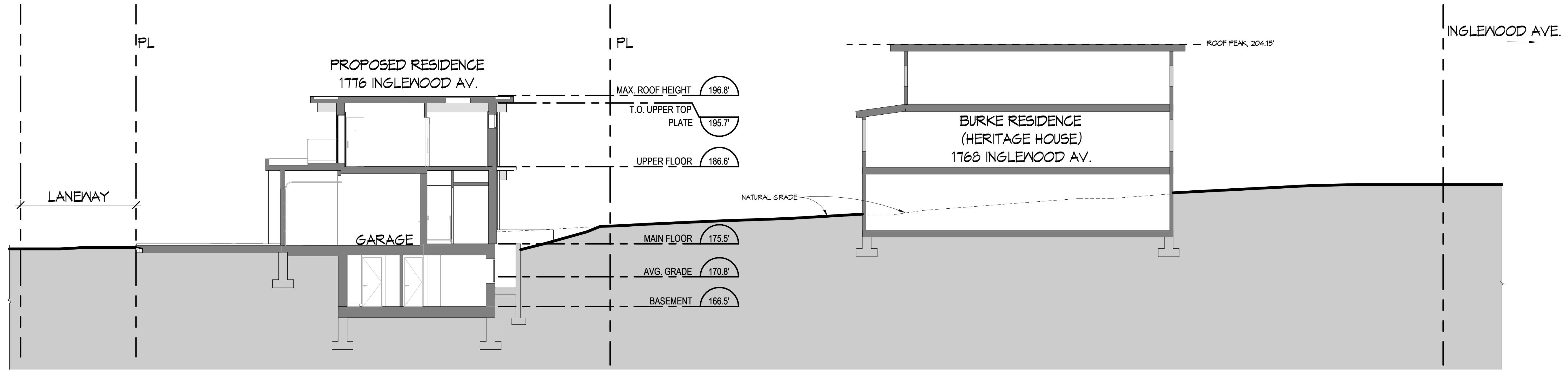


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258 east 1st street  
north vancouver, bc,  
canada v7L 1B3  
tel. (604) 980-2087  
www.synthesdesign.ca

VILLAVINCICIO CUSTOM RESIDENCE  
 1776 Inglewood Avenue  
 West Vancouver, BC

Drawing Title  
**SITE SECTION  
CONTEXT**

Date 07.09.2024  
Scale 1/8" = 1'-0"  
Drawn PCS / AL / DK  
Job No. 24005  
Sheet **A-18**



REVISIONS	#	BY
IFC Changes 07.11.2024	4	AL
HRA Comments, Spatial, Context, Areas 08.07.2024	6	DK

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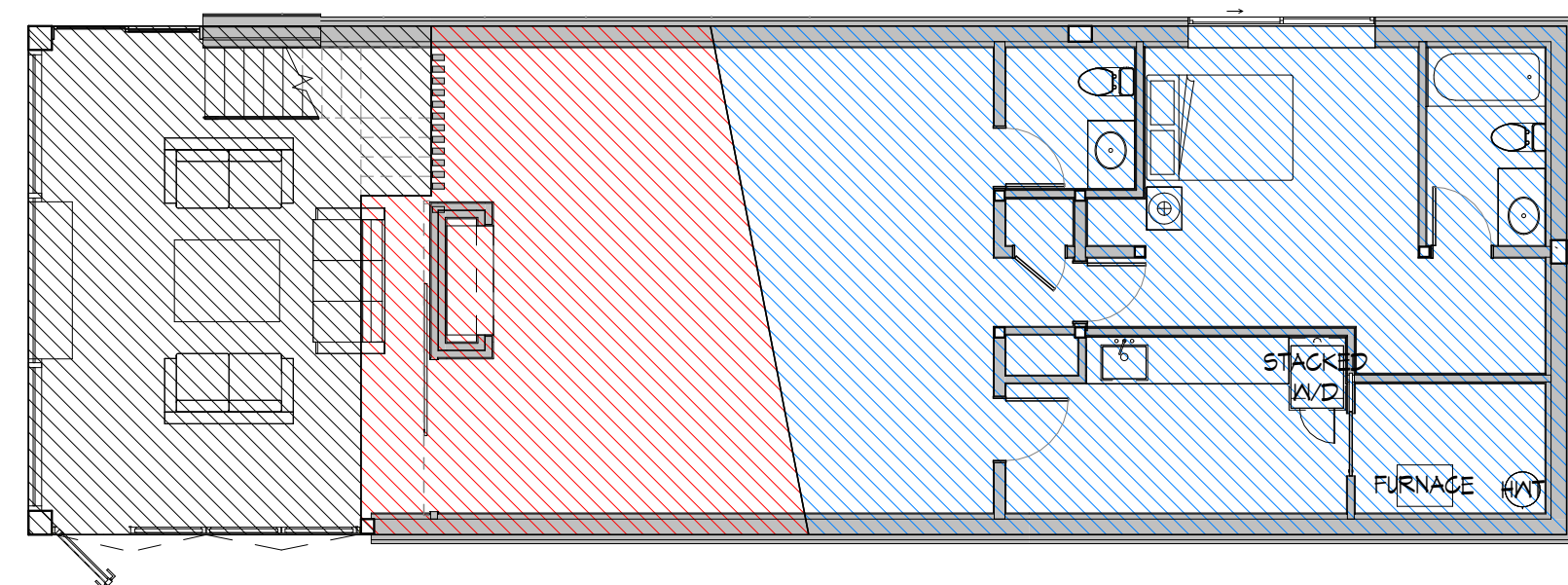


synthesis design inc.  
258 east 1st street  
north vancouver, bc,  
canada v7l 1b3  
tel. (604) 980-2087  
www.synthesisthesign.ca

VILLAVINCICIO CUSTOM RESIDENCE  
1776 Inglewood Avenue  
West Vancouver, BC

Drawing Title  
**CODE COMPLIANCE PLANS**

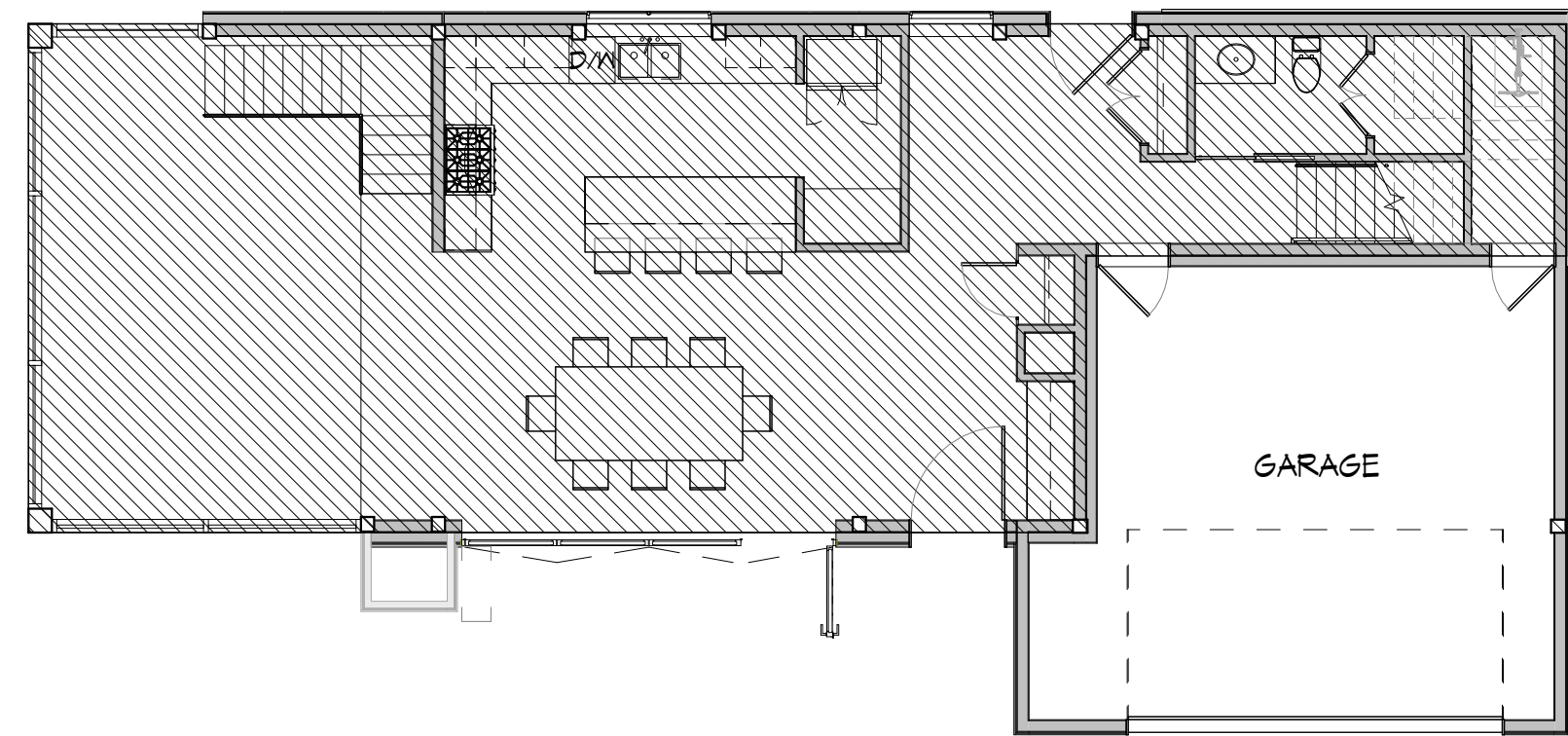
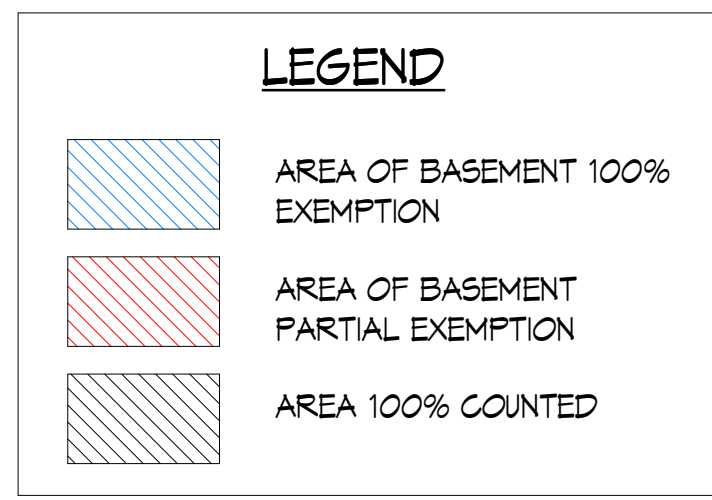
Date 07.09.2024  
Scale 1/8" = 1'-0"  
Drawn PGS / AL / DK  
Job No. 24005  
Sheet **A-19**  
Or 19 Sheets



**BASEMENT**

**BASEMENT**

TOTAL BASEMENT AREA - 1,430.7 SF  
PARTIALLY EXEMPT BASEMENT AREA:  
(AVG. GRADE EL.) - (BASEMENT FLOOR EL.) / (MAIN FLOOR EL.) - (BASEMENT FLOOR EL.) x 100%  
(110.77) - (166.5) / (175.5) - (166.5) x 100% = 47.4%  
PERCENTAGE INCLUDED = 100% - 47.4% = 52.6%  
349.91SF x 52.6% = 184.1 sq.ft (17.1 sq.m)  
PARTIAL EXEMPT AREA = 184.1 sq.ft (17.1 sq.m)  
AREA TOTALLY INCLUDED = 330.1 sq.ft (30.67 sq.m)  
AREA TOTALLY EXEMPT (LESS THAN 1.5 (0.45m) = 750.7 sq.ft (69.74 sq.m)  
TOTAL COUNTABLE BASEMENT AREA: 184.1 + 330.1 = 514.2 sq.ft (47.77 sq.m)



**MAIN FLOOR**

**MAIN FLOOR**

MAIN FLOOR TOTAL INCLUDED AREA = 1187.93 sq.ft (110.36 sq.m)  
GARAGE AREA CALCULATIONS  
TOTAL GARAGE AREA - MAX. EXEMPT GARAGE AREA = TOTAL INCLUDED GARAGE AREA  
443.82 sq.ft - 440 sq.ft = 3.8 sq.ft (0.35 sq.m)  
GARAGE AREA EXEMPT = 441 sq.ft (41 sq.m)  
TOTAL COUNTABLE MAIN FLOOR AREA - 1187.93 sq.ft + 3.8 sq.ft = 1191.75 sq.ft (110.71 sq.m)

**TOTAL COUNTABLE FLOOR AREA:**

TOTAL COUNTABLE BASEMENT AREA + COUNTABLE MAIN FLOOR AREA + TOTAL COUNTABLE UPPER FLOOR AREA  
514.2 sq.ft (47.77 sq.m) + 1191.75 sq.ft (110.71 sq.m) + 1054.20 sq.ft (97.93 sq.m)  
COUNTABLE FLOOR AREA = 2760.1 sq.ft (256.4 sq.m)

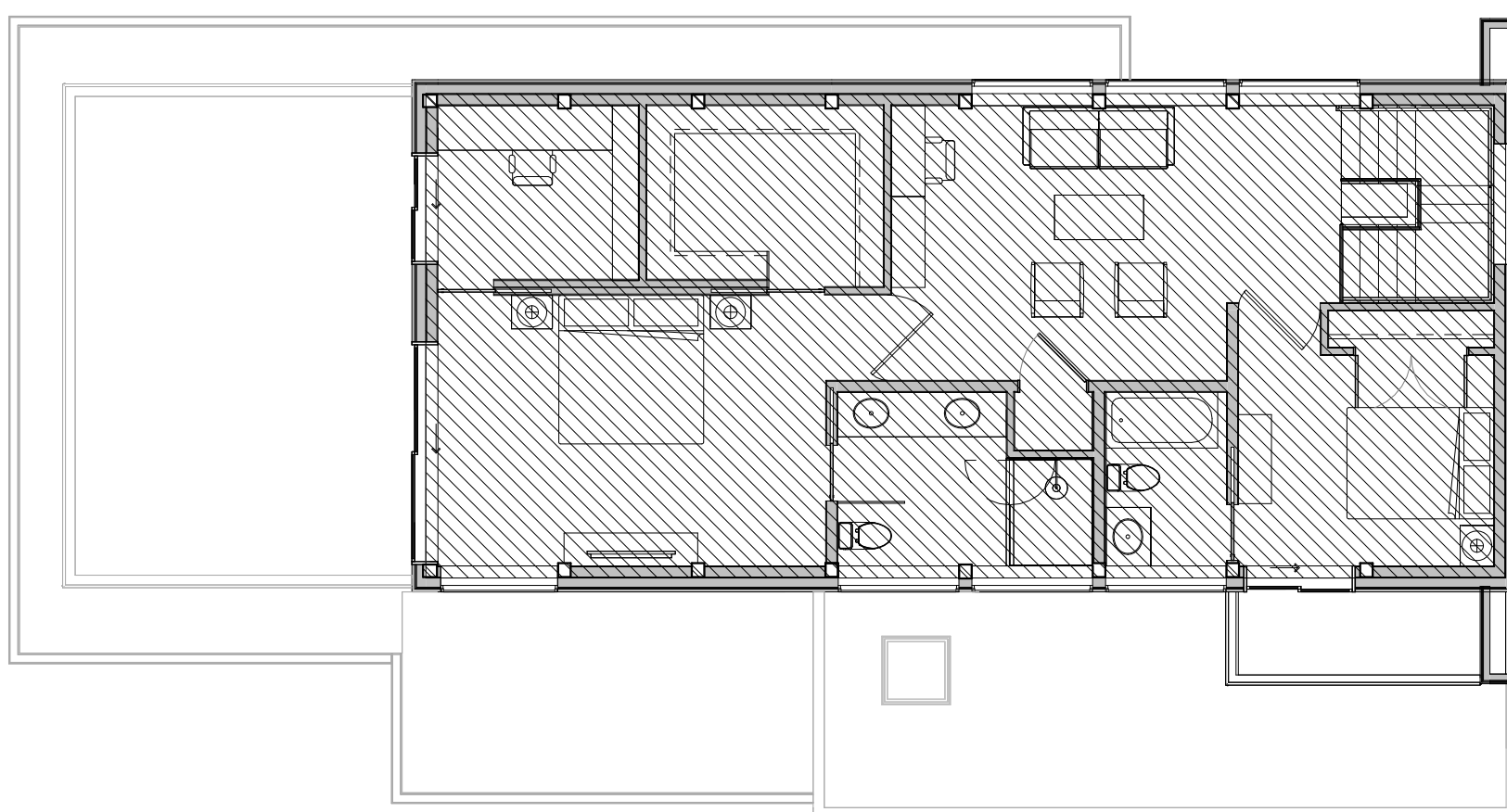
**HRA & STEP CODE 5 COMPLIANCE CHECK:**

COUNTABLE MAIN FLOOR AREA - STEP CODE 5 ALLOWABLE 0% EXEMPTION  
2760.15 sq.ft (256.4 sq.m) - 206.7 sq.ft (19.2sq.m)  
FLOOR AREA = 2553.4 sq.ft (237.2 sq.m)

**HRA APPROVAL:**

2583 sq.ft (239.9 sq.m)

TOTAL COUNTABLE AREA COMPLIES WITH APPROVED HRA AND STEP 5 ALLOWANCE



**UPPER FLOOR**

**UPPER FLOOR**

TOTAL COUNTABLE UPPER FLOOR AREA = 1054.20 sq.ft (97.93 sq.m)