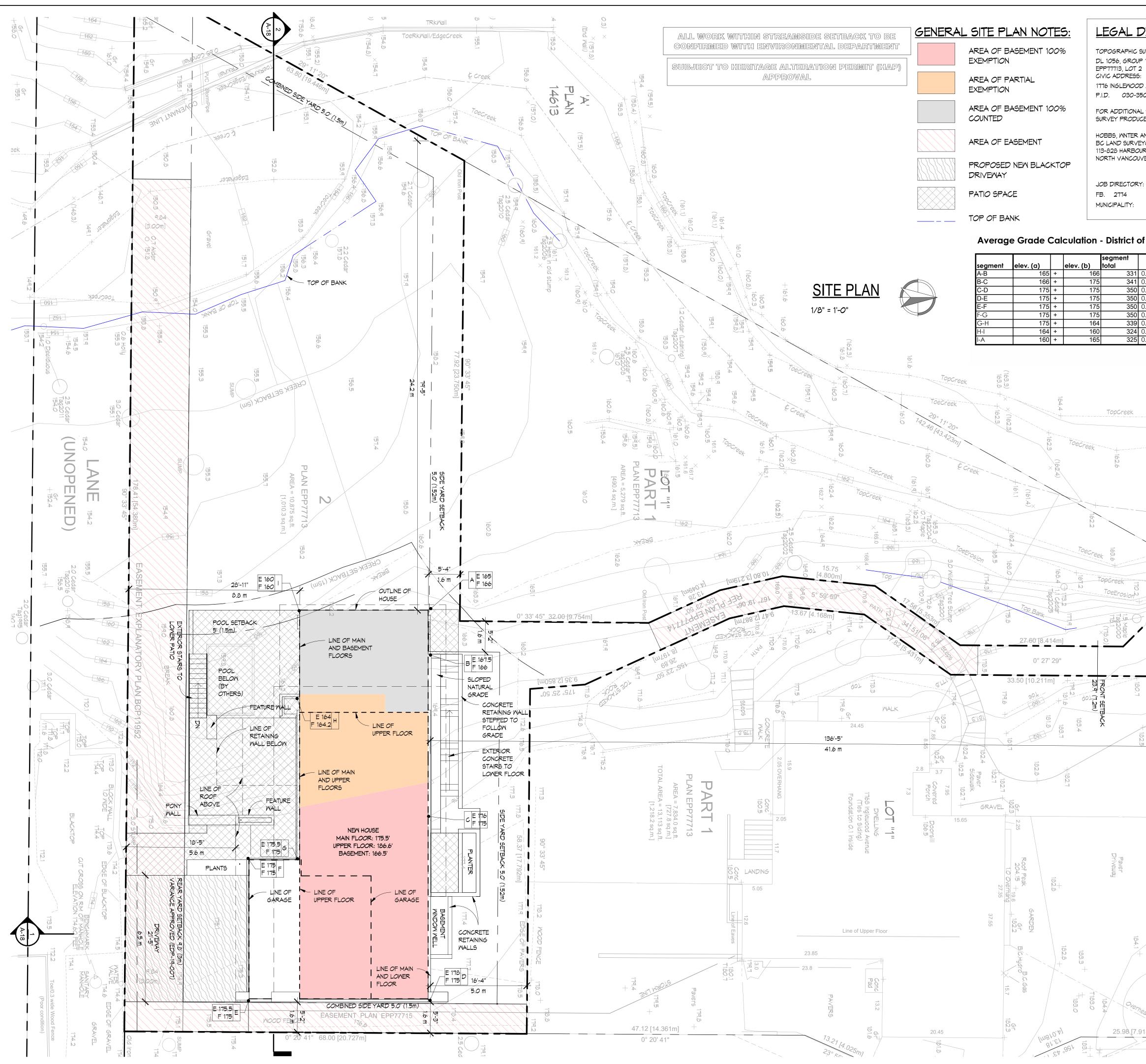


VILLAVICENCIO CUSTOM RESIDENCE

1776 Inglewood Avenue West Vancouver, BC 07.09.2024



synthesis design inc. 258 east 1st street north vancouver, bc, canada V7L 1B3 tel. (604) 980-2087 www.synthesisdesign.c



					SHAPING AND SITING A LOT ADDRESS: 1776 Inglewood Ave			ONING		REVISIONS IFC Changes 07.11.2024	# 4	BY AL
DE	SCRIPTI	<u>ON</u>			Minimum Lot Area	ALLOWED 5,252.8 sqft	EXISTING 10,874 sqft	PROPOSED	CONFORMS	HRA Comments, Spatial, Conext,	6	DK
	/EY PLAN OF:				Lot Area for Calculation*	(488m ²)	(1,010.3m ²) 9,448.6 sqft	-		Areas 08.07.2024	-	
2	NEW WESTMINSTE	ER DISTRIC	T, PLAN		Minimum Lot Width	43.6'	(877.8m2) -	-	Y			
5: 217 A/	/ENUE, WEST VAN	NCOUVER			Minimum Lot Depth	(13.3m) -	-	-	Y			
350-2	•				4.5 X Site Width Minimum Flanking Lot Width	66' (20.1m)	-	-	N/A			
	TING INFORMATIO	ON REFER .	ТО		SITE COVERAGE Lot Area Dictates Site Coverage	(20.111)]		
UCED	BY:				Lot Area \ge 9,526 sqft (885m ²) (Lot Area \ge 0.30)	2,834.6 sqft (263.3m ²)	-	-	Y			
R AND /EY <i>O</i> F	MACDONALD, RS				STEPCODE 5 Additional 8% of allowable Site Cov	3,061.3 sqft (284.4m ²)		2,400 sqft (223m²)	Y	Copyright rese contents of th		
	DE DRIVE, , BC, V7P 3R9				Lot Area between: 7,147.2 sqft (664m²) & 9,526 sqft (885m²)	-	-	-	N/A	are the exclus of Synthesis D	ive pr	ropert
					Lot Area ≤ 7,147.2 sqft (664m²) (Lot Area x 0.40)	-	-	-	N/A	and shall not reproduced wit	be us	sed or
۲۲:					PRINCIPAL BUILDING SETBACK Front Yard	24.9'		-	-	consent of the		
	P. P.99-105 DWV	JOB	M3475-25		STEPCODE 5 Front Yard Reduction of 1'-0" (0.3m)	(7.6m) 23.9' (7.2m)		136.4' (41.6m)	Y	All dimensions verified on site		
					Yard to "LOT 1" Considered Side Yard	5.0' (1.52m)		5.3' (1.6m)	Y	commencemen	t of v	work.
					Rear Yard	29.9' (9.1m)		-	-	II	_	
of V	Vest Vanco	ouver			STEPCODE 5 Rear Yard Reduction of 1'-0" (0.3m)	28.9 ['] (8.8m)		18.4' (5.6m)	Y	CV		L
	-	gment	t a t a l	1	East Side Yard to **	5.0'	Variance appr	oved (EDP-19-	007) 9.8'(3m) -	SY		
0.5	165.5	7.9			STEPCODE 5	(1.52m) 4.0'		5.2'	Y	TH		L
0.5 0.5		27.4 31.9		i ['	East side Reduction of 1'-0" (0.3m) West Side Yard**	(1.2m)		(1.6m) -	-			
0.5 0.5	175 175	30.9 24.1	5407.5 4217.5		STEPCODE 5 West side Reduction of 1'-0" (0.3m)	(1.52m) 4.0' (1.2m)		79.4' (24.2m)	Y	S	S	L
0.5	175	8.5 27.1	1487.5 4593.45	1	Combined Side Yard**	9.8' (3.0m)		(24.2m) 84.6' (25.8m)	Y			
0.5	162	15.2	2462.4		HEIGHT OF BUILDING Principal Building	25'		-	Y			
	162.5 total	22.5 195.5	3656.25 33386.25		STEPCODE 5	(7.62m) 26'		26'	Y	synthesis de 258 east 1s	st stree	et
	average grade	e =	170.77		Additional 1'-0" (0.3m)	(7.92m)		(7.92m)		north vancou canada V7 tel. (604) 98	uver, bo 7L 1B3	юс,
					Highest Building Face Envelope	22' (6.72m)		-	Y	www.synthesis	sdesigr	n.ca
					STEPCODE 5 Additional 1'-0" (0.3m)	23' (7.0m)		-	Y			
						Highest		e: Variance pe RS 17-005, 30.5				
	$\overrightarrow{1} \times \overrightarrow{1} $				ACCESSORY BUILDING SETBACK Rear Yard				N/A			
	164.5) × (163.2)				From Principal Dwelling*** Left Side Yard***	4' (1.2m)			N/A N/A			
	163		Closec Culvert 163.9		Right Side Yard*** Combined Side Yard***				N/A N/A			
	$\langle \overline{\omega} \rangle \phi$				ACCESSORY BUILDING HEIGHT Accessory Building	12' (3.7m)			N/A			
		Pipe Invert			OFF STREET PARKING Minimum car parking space	1		2	Y	Ш		
		vert			FLOOR AREA RATIO Lot Area ≥ 7,333 sqft. (681.3m ²) Lot Area x 0.30 (Max: 3,153.8 sqft)	2,834.6 sqft (263.3m ²)	-	2,760.1sqft (256.4 m²)	Y	TOM RESIDENCE		
	Ū		(170 171 170	9	HRA Approved area 2,583sqft(239.9m²)	(203.3m ²) 2,583sqft (239.9m ²)	-	(256.4 m²) -				
			2) 162.9		Proposed Area Prior to Step Code 5 exemption	-	-	2,553.4sqft (237.2m²)	Y		ט	
	/162.q	2		60	STEP CODE 5	3,061.3 sqft		2,760.1sqft	Y		5	
		4. 	1600 170	\geq	Allowable FAR exemption of 8% 206.7sqft (19.2m ²) Lot Area ≤ 4,400 sqft. (408.8m ²)	(284.4m ²)	_	(256.4 m ²)	N/A	M RESI	5	
	68	20.77	E.O.L.		Lot Area x 0.50 max	-	-	-	N/A		<u>ן</u>	'er, BC
1	.81 50 10 .81 50	12,2,47	3.0 m		Basement Main Floor			= 514.2 sqft 7.9 sqft				
, F	GV GET	TB:0			Upper Floor Overhang Overage		1,05 0	4.2 sqft sqft				West Vancouv
FI	1.5 1729 1729				Attic Crawlspace			N/A N/A			ת קרו ג	/est \
	Cedar 1997	1.5 Ceda Tag1998 180.5	19.2		Garage Max exempt: 441 sqft (41m²) Accessory Building	Co		s q.ft (Total 443.8 	Bsqft)			\$
		000	5. 90° 27' 2 .21 [5.85	ן ק- ק- גיין גיין	* 120.23 (2) For all sites created after and	November 04,			f subdivision,	ENC		
			.9 m 27' 29" [5.856m		for floor area ratio and site cover horizontal area within a creek pro	age calculation otection area.	s, shall exclud	e 50% of the tot	al	VILLAVICENCIO CUS		
	320-				TOTAL AREA EXCLUSION: 2,850.75 ** (1) Dwellings of 1 storey, with or wit	sqft (Creek pro thout basement	t; or 2 storeys,	with or without b				
9 2 4	9.54 [2.90 2"				which the upper storey width is le (a) minimum side yard:	ess than 2/3 the	e minimum ma	in storey width:		T		
	oogmj	0° 27' 29	9"	\mathbf{k}	 (i) 1.52 metres (b) minimum combined side ya (i) 20% of site width but no lo 		a ar mara tha	n 12 1 matros		\parallel		
	182.6	[2.078m			 (i) 20% of site width, but no le (2) All other dwellings (i.e. dwellings storey width is greater than 2/3 the 	of 2 storeys, w	ith or without l	basement, in wh	ich the upper			
182.5	6		0	-	(a) minimum side yard: (i) 10% of site width, but no le		-	-				
U		10-10-10-10-10-10-10-10-10-10-10-10-10-1			(b) minimum combined side ya(i) 25% of site width, but no le	rd: ss than 3 metre	es or more tha					
		is	0 0. 0 10	N N	 *** (4) No part of an accessory buildin (a) 4.5 metres from a principa with a floor area of no more 	building, with	the exception t					
) Cedar (with a floor area of no more site may abut a principal buildir		e metres that i	s otherwise perr	nillea on the			
		<i>6</i> .60	\bigcirc	$\sum_{i=1}^{n}$	(b) 3.0 metres from a building (c) 1.2 metres from another ac	containing a de		dary suite; and (Bylaw #5192)			
				ğ		•	_					
			184.0		/ariances approved through HRA Notes and the set of the							
				2	a) Lot 2 (Burke House)	. ,						
			NaterValve	a	. Section 205.04 (Site Width) from 1					Drawing Title		
	103.9		Valve	5	. Section 205.08 (Rear Yard) from 9	.1m to 3.0m.					N	
	183.6		+	_	asement Exemption Calculation							
	3.6		184.2 WaterBox		Partially exempt:							
			Ň		AVG. GRADE EL.) – (BASEMENT FL		00/					
	- All	[17.	90° 2	-	MAIN FLOOR EL.) – (BASEMENT FL 170.77') – (166.5') /	oor el.) x 10	U 70					
		[17.094m]	27' 29"		175.5') – (166.5') x 100%= 47.4%							
T		2			PERCENTAGE INCLUDED = 100% - 4	17.4% = 52.6%				Date 07.09.	2024	
_				- 3 1.0	49.91SF x 52.6% = 184.1SF					Scale 1/8"	= 1'-	-0"
				1	ARTIAL EXEMPT AREA = 184.1 SF					Drawn PGS /	′ AL /	/ DK
				- ' '	REA INCLUDED = 330.1 SF					Job No. 24005		
The-		1	1									
thead ,	Power Lin	1.7 Ceda	100	$\overline{\overline{\omega}}$,	REA EXEMPT (LESS THAN 1.5' (0.4	5m)= 750.7 SF				Shoot A	1	
.918r	0. 20' 41"	- Cedar	185.1	⊤ т	REA EXEMPT (LESS THAN 1.5' (0.4 T OTAL COUNTABLE BASEMENT: 84.1 + 330.1= 514.2 SF	5m)= 750.7 SF				Sheet A-1	1	

OUTLINE SPECIFICATIONS

Div. 0 Tender Conditions & Contract Documents

<u>Contract Documents</u>

The Contract Documents refer to:

-The Contract between the Owner and General Contractor. -Construction Documents (all drawings, specifications and surveys).

-Site Visit and Construction Administration (CA) Forms.

-Consultant's Drawings and Reports. -SYNTHESIS DESIGN, INC. will not be responsible for any costs incurred to Owner or Contractor through errors or omissions in the Contract Documents after building permit is issued. -SYNTHESIS DESIGN, INC. will not be responsible for any alterations or changes during the construction process that are not documented in the Contract Documents.

Div. 1 General Requirements

<u>Summary of Work</u>

-The General Contractor, herein referred to as the Contractor, shall provide all labour, products, plants, equipment and materials required to complete the project as described in the Contract Documents. -The Contractor' is to be responsible for all taxes, licenses, bonds, insurance for fire and liability, WCB coverage and all municipal and engineering inspections. -The building permit shall be posted in a prominent location and the municipally approved drawings protected from the elements and

- -The Owner retains the right of access and occupancy during construction and / or prior to final completion but will maintain the
- Contractor's ability to execute the prescribed work. -Care must be taken to ensure safety of the public and adjoining properties at all times.

Coordination and Supervision

- -HOBBS WINTER MACDONALD (604-986-1371) will be retained as the Surveyors, unless otherwise noted. -TASH ENGINEERING, LTD. (604-986-2256) will be retained as the Structural Engineers, unless otherwise noted.
- -BINDERHOLZ (706–912–4812) will be thé Mass timber manufacturer provider & structural engineer consultant, unless otherwise
- -PUAR ENGINEERING (604-913-7827) will be retained as the Geotechnical & Civil Engineers, unless otherwise noted. -CAPITAL HOME ENERGY (604-562-0387) will be the Energy Advisor, unless otherwise noted.
- -PAUL TINARI (604-760-5088) will be the envelope engineer, unless otherwise noted.
- -DIAMOND HEAD CONSULTING (604-733-4886) will be the Wildfire and Arborist consultants, unless otherwise noted.
- ROE ENVIRONMENTAL INC (604-987-5588) will be the Environmentalist Consultant, unless otherwise noted. -DONALD LUXTON & ASSOCIATES (604-688-1216) will be the Heritage Consultant, unless otherwise noted.
- FIRE BUSTERS (604-599-4499) Will be the Fire Sprinkler design and installer, unless otherwise noted. -All construction, materials and workmanship shall conform to current WCB & BCBC Standards.
- -The Contractor shall take adequate and reasonable precautions to protect the public from hazards and dangers arising from all

operations -The Contractor will ensure that all trades observe all local construction and noise regulations; ensure also that all preceding or adjacent work enables continuation or subsequent trade work can be undertaken properly. The Contractor shall distribute all Consultants' reports, drawings, schedules, etc. upon receipt.

-The Contractor shall ensure fulfillment of all requirements within the Consultants' reports, drawings, schedules, etc., and arrange appropriate municipal inspections.

Field Engineering

-The Contractor will verify all grades and property lines as established by the Owner and report any errors or inconsistencies to SYNTHESIS DESIGN, INC. before commencing work. -The Contractor is to check and verify all dimensions and conditions on the drawings and job site prior to construction and report any discrepancies to SYNTHESIS DESIGN, INC. – written dimensions have precedence over scaled dimensions.

Quality Control

-The Contractor shall arrange all inspections, municipal and provincial, obtain form work and foundation surveys, and advise the Engineers of construction progress, specifically enabling them to view form work 24 hours before pouring concrete. -The Contractor shall coordinate all storm, sanitary and water main work with the Municipal Works Department, as required by the Municipal Engineering Department. -The Contractor is required to be licensed by the Homeowner Protection Office and arrange for third-party home warranty insurance on proposed new homes. Coverage includes 2 years on labour and materials (some limits apply), 5 years on the building envelope and 10 years on the structure of the home.

-All matérials, species, grades, colours, and finishes are to be approved by SYNTHESIS DESIGN, INC. and / or Owner, with samples to be provided on request, prior to ordering. <u>Construction Facilities & Temporary Controls</u>

-The Contractor shall provide municipal water and sewer connections as required by the Municipality, as well as temporary water, power, light, heat, telephone, sanitary facilities and first aid as may be required during construction.

Material and Equipment

-The Contractor shall protect all materials, executed work and the site from damage by the elements, the public or any other source and shall repair or replace an item or work so damaged.

<u>Contract Close-Out Procedures</u>

he Contractor shall maintain a continuously clean work site and provide a final professional clean up of glass, painted surfaces, floors and fixtures. All stains are to be removed and scratched or broken glass replaced. -All ducts, furnaces and air exchange systems to be professionally cleaned.

-Deficiencies and defects are to be corrected within 30 days of Substantial Performance. Those items incomplete will be undertaken by the Owner with costs deducted from the final payment. -All bid and construction sets of contract documents are to be returned to SYNTHESIS DESIGN, INC. at completion of work.

Div. 2 Sitework

Subsurface Investigation

-Standard penetration tests such as drilling and subsurface investigations are the responsibility of the Contractor and are to be carried out by trades experienced in such work.

Demolition

-The Contractor shall remove and dispose of all materials pertaining to the work. he Contractor shall remove and store on site any items as indicated by the Owner.

-The Contractor shall ensure that the alteration or removal of existing structures and services will not alter or endanger those to remain which may require shoring, underpinning and / or bracing. -The job site must be clean and any debris left on site must be placed in locations (as approved by the Owner) to maintain safe conditions for the Owners, Contractor, and Sub Trades.

<u>Site Preparation</u>

-Site preparation, tree cutting, excavation, blasting, rock removal, trenching for services, backfill and rough grading are the responsibility Millwork - As per Interior Design Specifications of the Contractor and are to be carried out by trades experienced in such work and performed in a manner that avoids unnecessary loss, damage, or disturbance to the site proper. -No work permitted within the 15m creek setback. Prior to any work, get approval from SYNTHESIS DESIGN INC, the Environmental consultant and the DWV. -If encroaching the 15m setback, contact the Environmental consultant.

-Materials shall be handled and stored according to local regulations.

Dewatering (if applicable)

-The Contractor will provide trenches, piping and holding ponds necessary to control site drainage during construction. -The Contractor shall provide concrete sump(s) as required by the Municipal Engineering Department and / or Geotechnical Engineer to deal with existing and added perimeter drainage and rain water run off.

<u>Earthwork</u>

-Contractor to follow municipal regulations for dealing with sediment and erosion (refer to sediment and erosion plan where applicable

-'Excavatión for footings is to be at least 18" below grade to solid bearing and remain so until the concrete is in place. -Unexpected soil conditions are to be reported to the Engineer before start of form work. -Excavate to required levels for footings and finish grades as required, making allowance for perimeter drains, required form work, wall coatings and thickness of base and surfacing material specified.

-Footing base shall be firm, clean and free of mud and water; rock bases to be washed and dirt free with grouted pins as per Engineer and / or BCB -Excavate to required dimension and pitch of any trenches and pits for all mechanical, plumbing, sewage, electrical, communication and gas services. -No backfilling shall be done until all form work has been removed, walls coated, and drain lines viewed by the Engineer, and

approved by the Municipal Inspector. -Backfill against cast-in-place concrete only after 14 days with joists in place and coatings dry.

-Backfill material shall be frost free and contain no discarded building or organic material which might deteriorate. -Provide and place any additional subsoil, fill or gravel required to bring existing grades to finish grades indicated: such material shall be of acceptable low moisture content, applied in 1 (300 mm) layers, and consolidated.

-Provide continuous positive slope around the entire building.

Paving and Surfacing

-Sub grade under paved areas is to be well drained and compacted to 95% standard proctor density.

-Sand base courses to be clean and free of deleterious material, and compacted. -Broom finish surfaces are to be poured as 100 mm (4") reinforced slab or 50 mm (2") topping. Use 10 mm (3/8") maximum Insulation round washed aggregate and distribute evenly. Retardant and / or water wash, as required.

<u>Landscaping</u>

-Finished landscaping — including screened top soil, sod, and plants — are not included in contract. -All finished landscape work to be coordinated by the Owner following the completion of the job and final grading. Existing plants and topsoil are to be stripped from the construction area, stored in an Owner approved protected area. -All trees and shrubs outside the essential excavation shall be preserved and protected against damage.

Div. 3 Concrete

Form work

-Form work shall be constructed to dimension and profiles shown, properl pour to prevent leakage of concrete. -Provide'Insulated Concrete Forms (ICF) as per manufacturer specificatior -Allow through wall blocking for electric wiring, drainage, piping, vents, grilles -Forms shall be moistened just prior to concrete pour. -Maximum deflection permitted: 12 mm (1/2") for foundation 6 mm (1/ -COMSLAB, Metal composite concrete slab system, as per manufacturer o COMSLAB floor components.

Concrete Reinforcement

-Reinforcing steel shall comply with CSA specifications for intermediate grac -All reinforcing steel shall be firmly positioned and secured against displacer

<u>Cast-in-place</u> Concrete

-Standard concrete shall be machine mixed from clean and properly graded have a strength at 28 days of 21 MPa (3000 psi) min. for reinforced cond -Concrete shall be deposited, vibrated and compacted so as to prevent ho Plain and reinforced cast in place concrete for foundations and building

op of sills to be true and level surface; grouting as required. Garage concrete slab at entry to be thickened to 18" below arade. Pad footings are required as per Structural Engineer. -Provide concrete spread footings under all load bearing walls, as per the -Coordinate work of other trades in placing of sleeves and services in slab -Notice shall be given prior to the pouring of slabs to allow trades to posi--Lay concrete slabs, reinforced as shown, with necessary expansion and co Thoroughly float before final set, steel trowel to a hard, smooth finish

Concrete Accessories (as per Structural Engineer)

-Embed 1/2" anchor bolts for sills at 1.2M, 4'-0" O.C., unless noted, min -Anchor posts to footings to resist uplift, as per the Structural Engineer. -Other concrete reinforcing, dowels, shoe's and connections for columns etc <u>Concrete</u> Curing

-Ensure that weather conditions will not alter concrete mixture or curing.

-All concrete shall be left in forms for three days and kept moist for seve Polished Concrete

-Concrete mix must allow for polishing, polish as per manufacturer's speci

Div.4 Masonry

Div. 5 Metals

<u>Structural</u> Steel

-All nails, spikes, screws, bolts, plates, fasteners, and brackets to be in acc All hangers and saddles to be sized to suit the intended load. -Shop drawings are to be submitted for all metal work and other specified Structural hardware to be shop primed or hot dipped if in contact with -All paint metal work to be coated with rust proof paint or powder coating -See Structural Drawings for steel beam sizes and details, if necessary.

Fabricated Metal & Aluminium Rails

-Supply and install 42" high semi-frame tempered glass railings as per m -Exterior guard rails to be minimum 42" -. Refer to BCBC 9.8.8.3. -Guards protecting a level located more than 4.2 m above the adjacent opening located between 140 mm and 900 mm above the level protected rovide railings / guards for exterior decks, as per structural. -Guard rails to be minimum 42" exterior (where the walking surface served ground level) & 36" interior.

-Guard rails to be minimum 36" exterior (where the walking surface served ground level). Refer to BCBC 9.8.8.3. -Face mounted metal and glass guard rail, manufacturer to provide engine

Div. 6 Woods & Plastics

<u>Rough Carpentry</u>

The Contractor shall provide lumber, plywood, fasteners etc. for framing Techniques, fastening, blocking, fire stops, bracing and sheathing to BCB -All lumber to be SPF and all sheathing shall be plywood – grades shall Supporting wood posts to be 6x6 minimum as per Structural Engineer. Exposed wood columns shall have concealed knife blade style post base Exposed wood beams shall be connected to columns with internal connec visted, misaligned or structurally inadequate framing members to be rep -Provide blocking, backing and bracing for doors, stairs, railings, cabinets,

-Provide 1" plywood treads on all interior stair cases — stairs, guards and -Primary stair minimum width to be 34", the sum of two stair rises and -Stair handrails to be located between 34" & 38" above the nosing of ea

-Stairs 43" in width or greater require two handrails as per BCBC #9.8.7

<u>Glue-Laminated Structural Units (GLULAM)</u>

-Provided as per manufacturer BINDERHOLZ Structural Design. -Manufacturer to note placement of skylights, floor drains, bulkheads, coffe -Layout to be confirmed by SYNTHESIS DESIGN, INC. and Owner prior to c

Manufactured Cross-Laminated Timber (CLT)

-Provide as per manufacturer BINDERHOLZ Structural Design. -Manufacturer to note placement of skylights, floor drains, bulkheads, coffe-Layout to be confirmed by SYNTHESIS DESIGN, INC. and Owner prior to

<u>Finish Carpentry – As per Owner</u>

-Provide Micro CLT as per Owner, Confirm location by SYNTHESIS DESIGN,

Provide kitchen cabinets, built in units, washroom vanities as indicated on -All cabinets to be approved by SYNTHESIS DESIGN, INC. and / or Owner -Do not deliver, store, or install finish cabinets or trim until building is fully -Coordinate work of kitchen, bathroom and storage cabinets / organizers

Counter Tops – As per Interior Design Specifications —All counter tops and backsplashes to be approved by Owner and installec

<u>Wood Treatment</u>

—Any lumber likely to come into contact with water shall be pressure treate -Protect exposed beams and structural elements from water damage; clea -Provide treated studs - c/w 0.5" air space - when furring out concrete -Provide treated sleepers when adding sub floor systems in Basements and

Div. 7 Thermal & Moisture Protection

Waterproofing

Minimum slope of decks over living spaces is to be 1/4":12". -Ensure that decks (not over living space), concrete patios, walkways and Ceramic / slate tilè or equivalent requiréd to bathroom floors. As per in -Allow for parapet walls surrounding the decks/balconies to drain out throu Damp Proofing

-Apply water, based primer and peel and stick waterproof membrane under manufacturer's specifications) to perimeter foundation to line established on holes are plugged, patched and cured prior to application of coatings; coat remove excess and smears. -Provide rolled foam sill gaskets between wood sill plates and concrete sills. -Provide 4" diameter PVC drain tile around perimeter of concrete strip foo perimeter drain tile system.

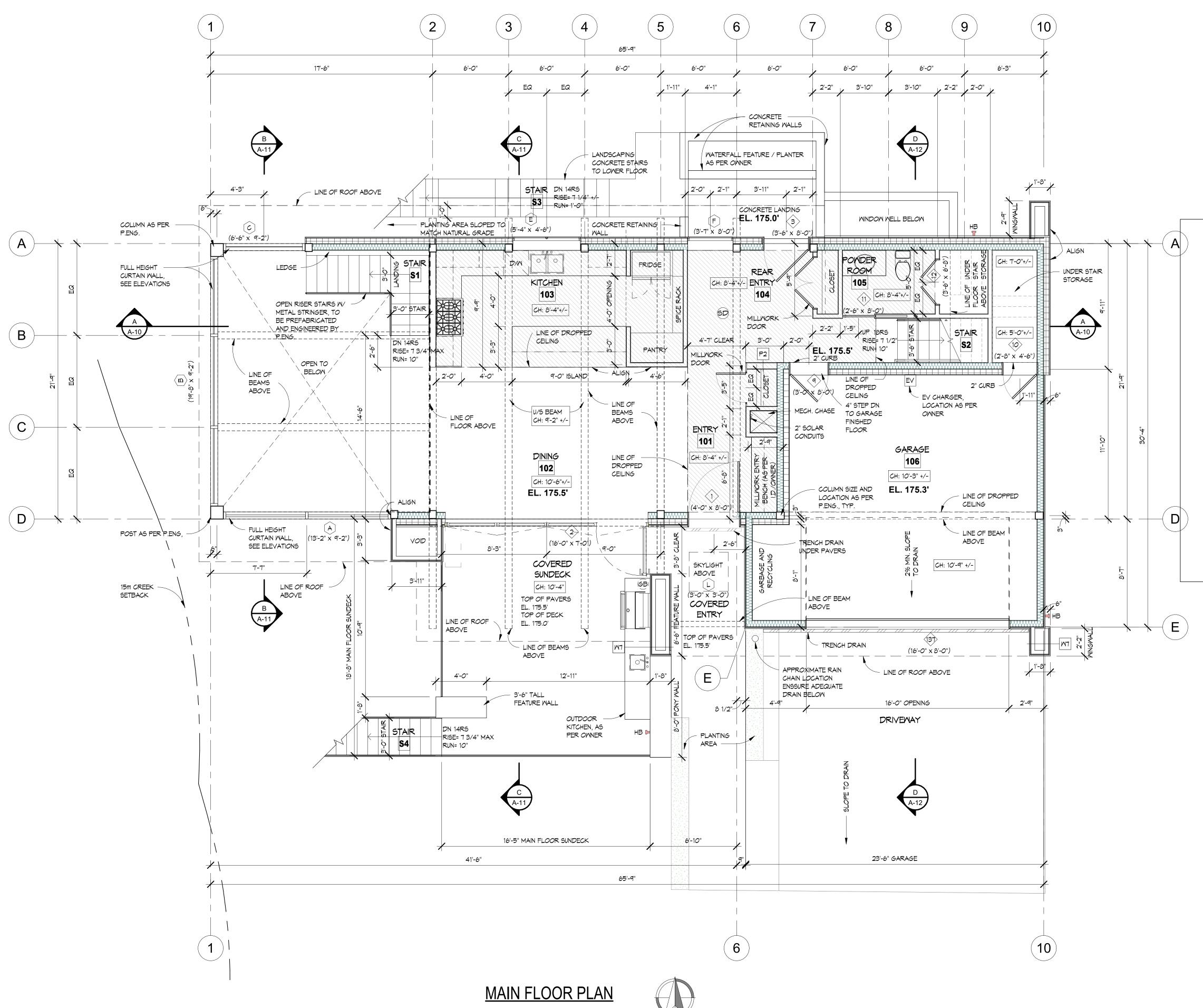
-Thermal insulation located and sized as per drawings; use mineral wool b polystyrene rated at 5R/inch for foundation, slab and roof deck applications Provide 5" of rigid XPS insulation on exterior wall assembly as per Energy -Provide 5" of riaid XPS insulation on roof assemblies. As per Enerav Adv -Provide continuous fully caulked 6 mil U.V. poly vapour barrier around ent per BCBC #9.25.4 -Interior heated concrete slabs on grade to receive 2.5" rigid Styrofoam S horizontal from bottom edge of slab.

-Provide minimum 2.5" cléarance between roof sheathing and insulation BCBC #9.19.1.3. -Ensure no air gap between the CLT and the Rigid XPS insulation. Spray applied polyurethane insulation shall be installed in accordance with CAN/ULC-S705.2, "Thermal Insulation - Spray-Applied Rigid Polyuréthane Foam, Medium Density, Installers Responsibilities – Specification as per BCBC # 9.25.2.5. See drawings for locations.

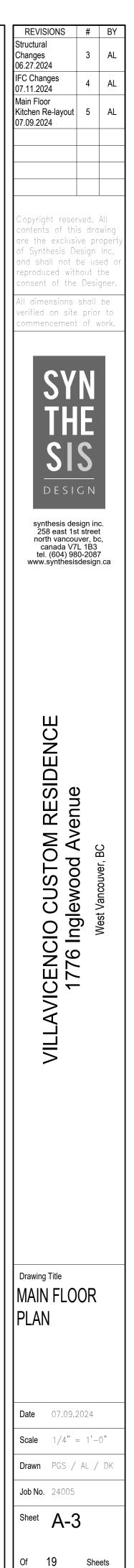
			REVISIONS	# BY
	<u>1. Vaulted Ceiling:</u>	Div. 10 Specialties	IFC Changes 07.11.2024	4 AL
operly braced to maintain position and shape during and after	-N/A	Fireplaces and Stoves – As Per Interior Design Specifications		
ation. Contact Joey Fearn at Vancouver ICF (604)229-9829 grilles and beam pockets.	2. Attic Space: -N/A	—Supply and install gas fireplace c/w thermostat and trim — See drawings for specifications. —Manufactured gas fireplace and flue to conform to #9.22.8 of NBC and to be installed in accordance with manufacturer's installation		
(1/4") for columns, or as per Engineer. er and P.ENG specifications. Suitably qualifies personal shall install	<u>3. Crawlspace:</u> —N/A	instructions and CAN / ULC S 610 standard for factory—built fireplaces. —Mantel height and width to conform with fire place unit's installation instructions.		
er and P.ENG specifications. Suitably qualifies personal shall install	4. New Exterior Walls:	-Maintain minimum 2" clearance between metal flue and combustible framing. -Provide 1/2" fibre cement board as protection under non-combustible hearth finish. -Exhaust location to be straight out the back of the fireplace, To be confirmed on site by contractor and owner.		
	-All exterior 2x6 wood framed walls are to receive R-24 insulation and 3" of rigid XPS insulation on the exterior. (XPS Thickness and assembly as per Energy Advisor)	Postal Specialties		
grade (40) bars. All bars shall be deformed according to ASTM	5. Suspended Floors:	-Contractor to install Owner supplied mail box beside front door, or by Inglewood Street. Install Owner supplied address numbers to be		
placement, by chairs, spacers and hangers.	-Suspended floors As per structural Engineer are to receive rigid insulation As per Energy Advisor recommendations.	mounted on wall between the garage door and main entrance. <u>Storage Shelving – As Per Interior Design Specifications</u>	Copyright res	served. All
graded aggregates, clean water and Portland Cement, and shall	<u>6. Renovation of Existing Walls:</u> —N/A	-All shelving as per closet organizer supplier and owner.	contents of t are the exclu	this drawing
f concrete, or as per Engineer. nt honevcombing or searegation.	7. Acoustic Insulation:	<u>Wardrobe and Closet Specialties – As Per Interior Design Specifications</u>	of Synthesis and shall not	Design Inc.
ng structure shall conform to CAN3-A23.1 & A23.3.	—Supply and install acoustic batt insulation (Rockwool®/ or equivalent) as per manufacturer's specifications, locations as indicated on drawings, 3 1/2" for 2x4 walls, 5 1/2" for 2x6 walls and ceilings.	-All shelving as per closet organizer supplier and owner.	reproduced w consent of t	without the
the Structural Engineer.	-Supply and install acoustic floorboard insulation as underlay of finish floor over internal floor CLT. 45mm FERMACELL 2E35 , install as per manufacturer.	s <u>Div. 11 Equipment</u>	All dimension	is shall be
slabs or foundations. position their work.	Membrane Roofing	<u>Appliances – As Per Owner</u>	verified on si commenceme	
nd control joints, screed to level surface. n . (Do not dust with cement before troweling).	-All membrane roofing to be installed over approved roofing underlay, in a professional manner, by an established, licensed, bonded, and insured (including WCB) roofing contractor.	-Allow for Owner supplied kitchen appliances.		
	-Contractor to ensure that roofing contractor will provide Owner with copies of all warranties, including: 1) Manufacturer's Material; 2) Roofing Contractor's Labour, and; 3) Third Party Association Guarantee.	-Provide required ducting for range hood vents and dryers where necessary.		
, minimum two bolts per straight plate length. er.	—Flat roofs to have a minimum positive slope of 1: 50 or to manufacturer's specifications. —Flat roofs to be 20 year, black, TORCH-ON installed with positive slope and to manufacturer's specifications.	Div. 12 Furnishings		ŹŊ
s etc. shall be supplied and installed as detailed.	Soffits	Book Shelves – Refer to Interior Design specifications	Т	
ng.	-Use the underside of the CLT panels as soffit, protected and treated.	-All book shelves to be approved by SYNTHESIS DESIGN, INC and Owner and installed in a professional manner.		1E
seven days.	Cladding and Siding	Div. 14 Plumbing	C	2
anacificationa	—Provide High pressure laminate panels (KRONOSPAN®/ or equivalent) c/w 1/2" reveal as per manufacturer's specifications. See drawings for locations. —Provide natural look composite vertical lap siding (NEWTECHWOOD®/ or equivalent) as per manufacturer's specifications. See	Water Supply & Drainage Waste	J	IJ
specifications.	drawings for locations. —Caulk unprotected seams and openings with appropriate coloured latex or silicone.	-Supply and install PEX tubing for water supply as required. -Supply and install copper water supply piping between Utility Room and roof for connection to future rooftop solar collector. Routes	DES	IGN
	-Provide 8" clearance between grade and siding.	and location to be determined by mechanical contractor and to be approved by Owner. —Supply and install copper water supply piping to Owner supplied Refrigerator in Kitchen. —Supply and install plastic drainage waste and vent piping as required.	aynthasia	design inc
	Rain Screen -Provide approved rain screen assembly for all new cladding applications (see drawings for details). Confirm assemblies with municipal	-Install plumbing drops and venting within the walls, ceilings, and designated bulkheads if applicable. If additional bulkheads or dropped	north vanc	1st street couver, bc,
a appartence with DCDC	regulations. Use KRONOSPAN®&NEWTECHWOOD® rain screen clips as per manufacturer.	installation. -Supply and install hose bibs, as per drawings.	canada tel. (604) www.synthe	V7L 1B3 980-2087 sisdesign.ca
n accordance with BCBC. ecified work upon request of SYNTHESIS DESIGN, INC.	Exterior Trim	<u> Plumbing Fixtures – As Per Interior Design Specifications</u>		-
vith water. Dating.	—Wrap fascia and gutter with Anodized Aluminum heavy gauge, to be painted to match dark KRONOSPAN COLOR, as per Owner <u>Flashing and Sheet Metal</u>	-Supply and install fixtures (to be confirmed with Owner). See drawings for locations.		
/.	-Provide continuous flashing: at all edges for wind and watertight installation; over all exterior windows and doors and at all horizontal	Toilet and Bath Accessories – As Per Interior Design Specifications		
er manufacturer specifications. (see drawings for locations).	intersections of differing cladding materials. —All roof flashings, caps and fittings to match colour of roofing as close as possible.	-Install Owner supplied bathroom accessories including toilet paper holders, soap dish and grab bars, towel rails (minimum 1 per room).		
ent level shall be designed so that no member, attachment or	Roof Specialties and Accessories	Pump_Systems		
ected by the guard facilitates climbing. (See Note A-9.8.8.6.(1).)	-All new gutters are to match Aluminum fascias c/w screened rain water leaders, unless noted. Locations to be confirmed by Owner. -Skylights and flashing kits to be VELUX (or equivalent), double glazed, unless noted.	—Supply and install under slab sewage pump system, as specified by Engineer. —Supply and install exterior sump and sump pump system, as specified by Engineer.		
served by the guard is more than 6 feet above the finished served by the guard is not more than 6 feet above the finished	-All skylights to be tempered glass as per municipal requirements and conform to BCBC #9.7.7.2. (1) & (2). -All new skylights to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1).	Hot Water Heaters		
ingineer's Schedule B.	per BCBC #9.7.4.3. (1). —Ensure that tempered glass displays manufacturer's authentication markings.	-Supply and install 50 gal. high efficiency water heater - secure to prevent overturning -Consult with MECHANICAL CONSULTANT for possible on demand location	NCE	
	<u>Div. 8 Doors, Windows, Glazing & Mirrors</u>	Natural Gas Service		
	Doors	-Locate meter in a location as approved by Owner. -Provide natural gas hook up for outdoor BBQ. See drawings for locations.	SIDE	
ing and coordination of work of other trades.	-Before the door order is placed, the Contractor is to measure on site to confirm whether or not any proposed openings require a custom sized door.	Fire Sprinkler System		Pe
CBC Residential Standards. hall conform to BCBC and local codes.	-Ensure that every door has 2.5" minimum of framing material around the entire door jamb as per EZ CONCEPT manufacturer specifications.	-Supply and install fire sprinkler system as required by the District of West Vancouver as per Fire Buster's specifications. Fire sprinkler system shall conform to current BCBC standards.		Shl
er. ase connectors as per Structural Engineer. onnectors provided by BINDERHOLZ, as per Structural Engineer.	will resist spreading by force. In the case where its mounted against glulam post then refer as per manufacturer specifications. —All exterior wood doors to be paint grade solid core c/w weather stripping.	system shall conform to current BCBC standards.		A A
replaced prior to finish as per Engineer. ets, pedestal sinks, wall fittings and attachments.	—All overhead garage doors to be insulated metal c/w tempered frosted glass panels and remote 1/2 hp LIFTMASTER opener — Owner to approve, Style as per Owner.	<u>Div. 15 Mechanical (as per Mechanical Contractor)</u>		
and handrails to comply with BCBC #3.3.1.15 & 9.8 and one run shall not be less than 22" and not more than	 All interior doors to be paint grade, solid core (EZ CONCEPT, or similar) Sliding, pocket and Pivot doors, refer to plans and schedule Style as per owner. Contractor to install Owner supplied hardware (including astragals and hinges) for all exterior and interior doors, including: dead bolts 		V	
of each tread. 9.8.7.1.	with a cylinder not having less than 5 pins and a bolt throw not less than 25 mm operable from the interior without the use of keys; strike plates fastened to wood frames with wood screws providing a minimum 25 mm penetration into wood studs on all	—Forced air system. —Supply and install one multi zone high efficiency, two stage, forced air furnace. —Supply and install high efficiency air conditioning system, condensor location to be determined on site by Owner.		
	exterior swinging doors, and locking passage sets on interior bathroom doors. —Operable glass wall systems to be wood finish supplied by NanaWall Systems, (604) 897—8444. Contact Stewart at	-Verify the adequacy of the heating system to accommodate the proposed residence. -The Contractor shall ensure that all heating systems are functioning, adjusted, and balanced with the operation, maintenance, and		lest est
	<u>stewartm@nanawall.com</u> Or similar as per owner. —Door viewer required on solid front doors with a viewing angle not less than 160 degrees. —Non—removable pin (N.R.P.) hinges required for out swing doors as per BCBC #9.7.5.2.	warranty documents provided to the Owner. A list of trades, suppliers and material order numbers will be included wherever possible (if applicable)		≥ <u>ב</u> פ
coffers and peaks prior to manufacturing. to ordering.	—Glazing in all added doors to be tempered and double glazed (exterior doors only), as per municipal codes, in all sliding, glass paneled and French style doors — ensure that tempered glass displays manufacturer's authentications.	-'Supply and install grilles, registers and diffusers, as per Interior Design Specifications. —Install HVAC ducting and venting within the designated bulkheads if applicable. If additional bulkheads or dropped ceilings are required for the ducting / venting that are not shown on the drawings, please report to SYNTHESIS DESIGN, INC. prior to installation.		
	-Any door connecting the Garage with living spaces is to be solid core (45min. fire rating) and insulated c/w weather stripping and self closer as per BCBC #9.10.13.15.	Air to Air Heat Exchanger		
coffers and peaks prior to manufacturing.	-Furnace/Utility room door's to be 2'-8" minimum as per BCBC #9.5.5.1All new exterior doors to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pc as per, BCBC #9.7.4.3. (1).	^a -Provide air to air heat exchanger c/w grilles, registers and diffusers as required.		
to ordering.	-See Door Schedule on drawings.	—Ensure that air to air heat exchanger is located so as to minimize noise in living spaces (i.e.: in Garage). —Provide bathroom exhaust fans, c/w ducting as required, to be vented to air—to—air heat exchanger. Dryers, hood vents, gas fire places, boiler, etc. to be vented through air—to—air heat exchanger.		
SIGN, INC. and Owner prior to ordering.	Windows	-Install air to air heat exchanger ducting and venting within the designated bulkheads if applicable. If additional bulkheads or dropped ceilings are required for the ducting / venting that are not shown on the drawings, please report to SYNTHESIS DESIGN, INC, prior to		
	 Contractor is not to order windows until all rough openings are approved by SYNTHESIS DESIGN, INC. and Owner. Final style, colour and material of windows are to be approved by SYNTHESIS DESIGN, INC. and Owner. All wood windows shall be stain grade, to match glulam and CLT finish, double glazed with double thermal break or as per municipal approved by synthesis. 	installation.		
t on drawings. wner and installed in a professional manner.	-Glazing to be float in windows, with oversized windows to conform to BCBC #9.7.3.2 provide manufacturer's specifications.	- <u>Air Distribution</u> -Provide continuous or intermittent exhaust fans in all bathrooms and Kitchens as per #9.32.3.3 c/w ducting as required, to be		
fully enclosed, heated, and lockable. zers with related trade.	-Glass side lights, windows within 3'-0" of an exterior door lock and windows less than 8" from the floor shall be tempered. -The bottom of an operable window in a bedroom is not to exceed 4'-11" above the floor, and have a minimum opening dimensior 15" with an area of 3.75 of (augular to angure that windows meet RCRC agrees requirements)	vented directly outside — all washrooms are to be fitted with "silent" NU—TONE 'QT130' fans (or equivalent) sized to suit. 7 —Allow for Owner supplied hood vent / OTR micro in kitchen c/w ducting as required, to be vented directly outside.		
	15" with an area of 3.75 s.f. (supplier to ensure that windows meet BCBC egress requirements). —Window wells are to be 30" minimum width when required as bedroom egress as per BCBC# 9.9.5.5. —Windows in walls enclosing shower and tub must be tempered and waterproofed if located at or below the waterproof wall finish	–Ensure HVAC system, gas fire places, washroom exhaust fans, kitchen hood vents, étc. are all balanced and sized to enable the proper exhausting of carbon monoxide and other toxic gases.		
talled in a professional manner.	-Windows in walls enclosing shower and tub must be tempered and waterproofed if located at "or below the waterproof wall finish height (16" min above bathtubs not equipped with showers, 47" above bathtubs equipped with showers, 71" above the floor in shower stalls), as per BCBC 9.29.2.1.	<u>Div. 16 Electrical</u>		
to the state of the second	—All new windows to achieve and / or exceed performance grade 30 and Water Penetration Resistance Test Pressure of 290 Pa as per BCBC #9.7.4.3. (1). —See Window Schedule on drawings.	Basic Electrical Materials & Methods – As Per Interior Design Specifications		
treated with approved preservative and bear on rolled foam clean or replace as per BINDERHOLZ recommendation.	<u>Glazing & Mirrors – Refer to Interior Design specifications</u>	-Refer to electrical drawings / reflected ceiling plans, as per Interior Designer.		
crete walls in Basement. If applicable. s and crawlspaces. If applicable.	-All mirrors to be approved by Owner and to be installed by a qualified glazier.	—All receptacles, switches, and plates as per Interior Designer. —Ground fault interrupter circuits required for kitchens, bathrooms, laundry rooms, and all outdoor outlets. —Provide PVC conduit under concrete walkways, stairs, patios and driveways, as required to supply all proposed or future outdoor		
	-Glass doors and partitions around showers are to be tempered glass.	lighting, as per Owner.		
	<u>Div. 9 Finishes (As per Interior Design Specifications)</u>	Service & Distribution	Drawing Title	
and driveways have positive slopes of 1/8":12".	<u>Gypsum Board</u>	-Verify the adequacy of the power supply to accommodate the entire house. Lighting	SPECIFI	CATIONS
r interior design specifications. through a scupper and as per roofer recommendation.	-GWB to walls to be 1/2" (screwed to walls) and installed in a professional manner with a minimum of 3 coats of mud. -All ceilings to be the exposed underside of the CLT floor system. Except drop ceiling and underside of COMSLAB as per indicated in drawings in which case ceiling must be GWB smooth painted finish.	-Confirm lighting layout on site with Owner prior to installation.		
	drawings in which case ceiling must be GWB smooth painted finish. —5/8" or C.D. 1/2" drywall required to COMSLAB ceiling, as per manufacturer installation guidelines.	-Separate Breakers required for outdoor lighting.		
under dimpled membrane (Delta MS or equivalent, as per 1 on site; not to exceed height of final ground level; ensure all	<u>Tile – As Per Interior Design Specifications</u>	<u>Communications</u> —For home automation contact Mike Freedman, (604) 725—3464 or mike@aitechdesign.com		
coat top of footings and apply to manufacturer's specifications;	-All ceramic/slate tiles to be approved by Owner and installed in a professional manner. -Ceramic/slate tile flooring to be set on minimum 1.25" (3/4"+1/2") t&g plywood subfloor c/w thin set base, unless noted.	 For nome automation contact Mike Freedman, (604) 725-3464 or Mike@altechaesign.com Provide door chimes, to be approved by Owner. Provide hard wired audio speaker wiring, cable T.V. outlets, telephone jacks, and rough-in for ADT security system (or equivalent), as 		
e sills. footings (c/w 6" drain rock above) to tie into existing	-Ceramic tile tub and shower surrounds to be mounted on 1/2" Deńs Shield Tile Backer, or equivalent. Wood Flooring – As Per Interior Design Specifications	per Owner. -Smoke detectors are to be hard wired, interconnected, upper ceiling mounted type as per BCBC. 9.10.18.2. & 9.10.18.4. and shall		
	-Supply and install hardwood or engineered hardwood flooring. See drawings for locations. Finish as per owner.	be located: on all floor levels differing by 36"; on every floor within 5 meters of a bedroom door, and; 15 meters of each other — see electrical drawing(s) for locations.	Date 07.05	9.2024
ool batts for, walls and floors as per local municipal codes; rigid	Painting – As Per Interior Design Specifications —All interior paint to be BENJAMIN MOORE (or equal) — colours as per Owner and applied in a professional manner.	—Smoke detectors to be installed as per BCBC #9.10.19.3. —C.O. detectors required as per #9.32.4.2. —Separate breakers required for smoke, heat and carbon monoxide detectors.	Scale	
ations (ensure foamed plastic insulation receives protection).	-All interior walls to have one primer coat and two´finish coats of egg shell latex - provide water-based enamel in Kitchens, Bathrooms and Laundry Rooms. -All pre-primed interior doors to have two finish coats of semi gloss latex. As per owner, If applicable.		Drawn PGS	/ AL / DK
Advísor recommendations. I entire building envelope, including below all concrete slabs as	-All pre-primed interior doors to have two linish coats of semi gloss latex. As per owner, it applicable. Wall Coverings - As Per Interior Design Specifications		Job No . 2400	
m SM insulation around edge of slab – 20" vertical or	-All wall coverings to be approved by SYNTHESIS DESIGN, INC. and Owner and installed in a professional manner.			
n BCBC #9.19.1.3.	-Micro CLT finish to be used instead of GWB. Manufacturer, Finish material and Stain as per Owner		Sheet A-	ン

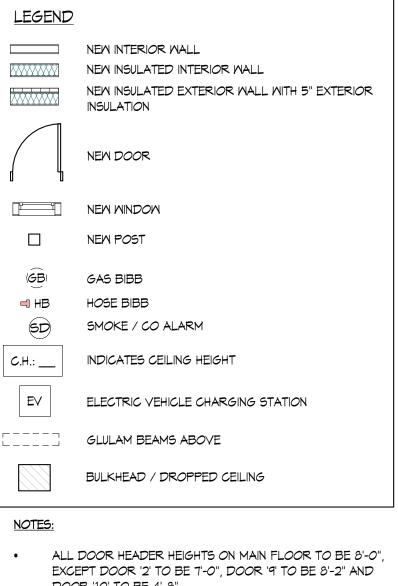
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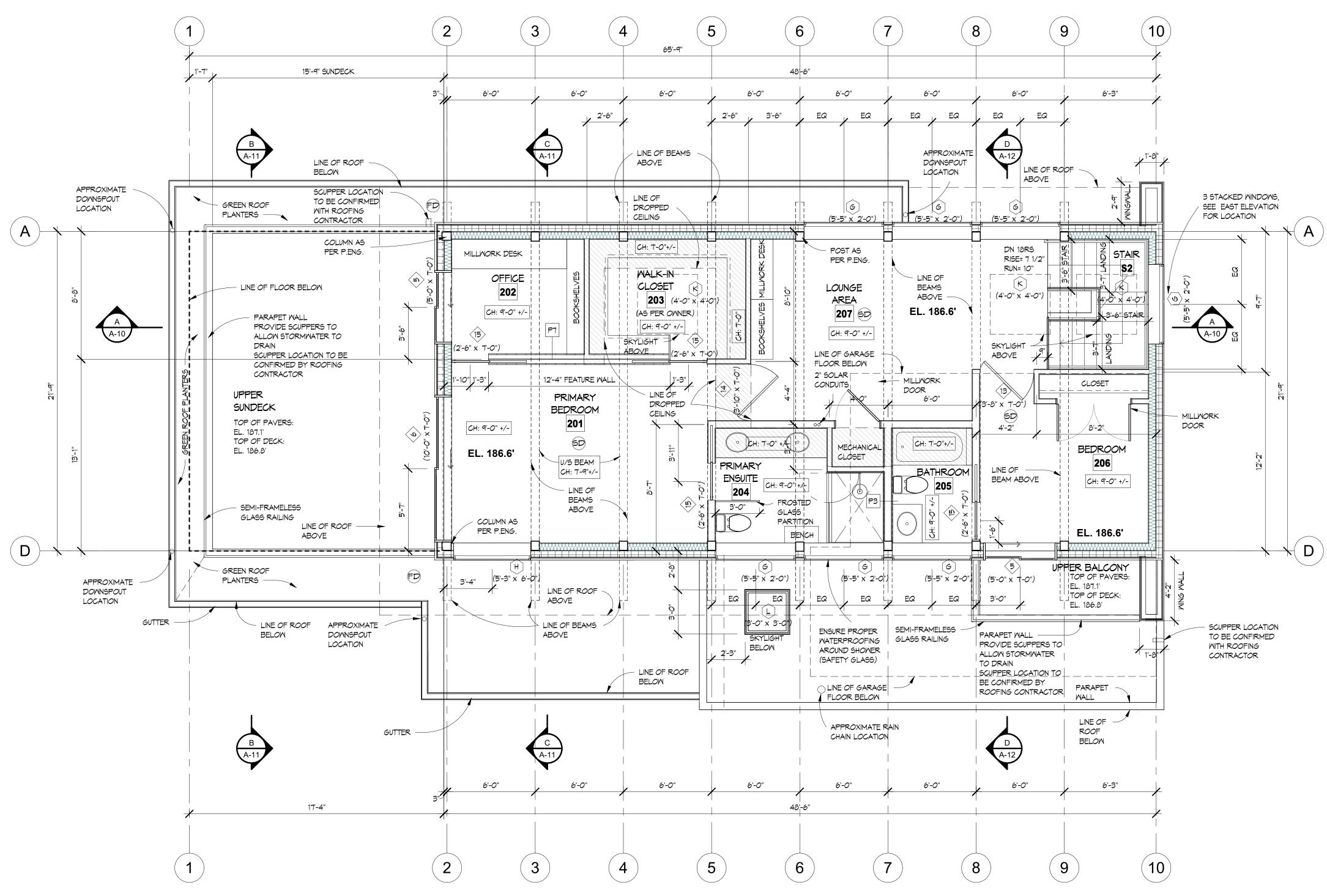


1/4" = 1'-0"





- DOOR '10' TO BE 4'-8"
- ALL WINDOW HEADER HEIGHTS ON MAIN FLOOR TO BE 8'-0", EXCEPT WINDOWS 'A', 'B', AND 'C' TO BE 9'-2"
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION



<u>UPPER FLOOR PLAN</u>



1/4" = 1'-*0*"



LEGEND

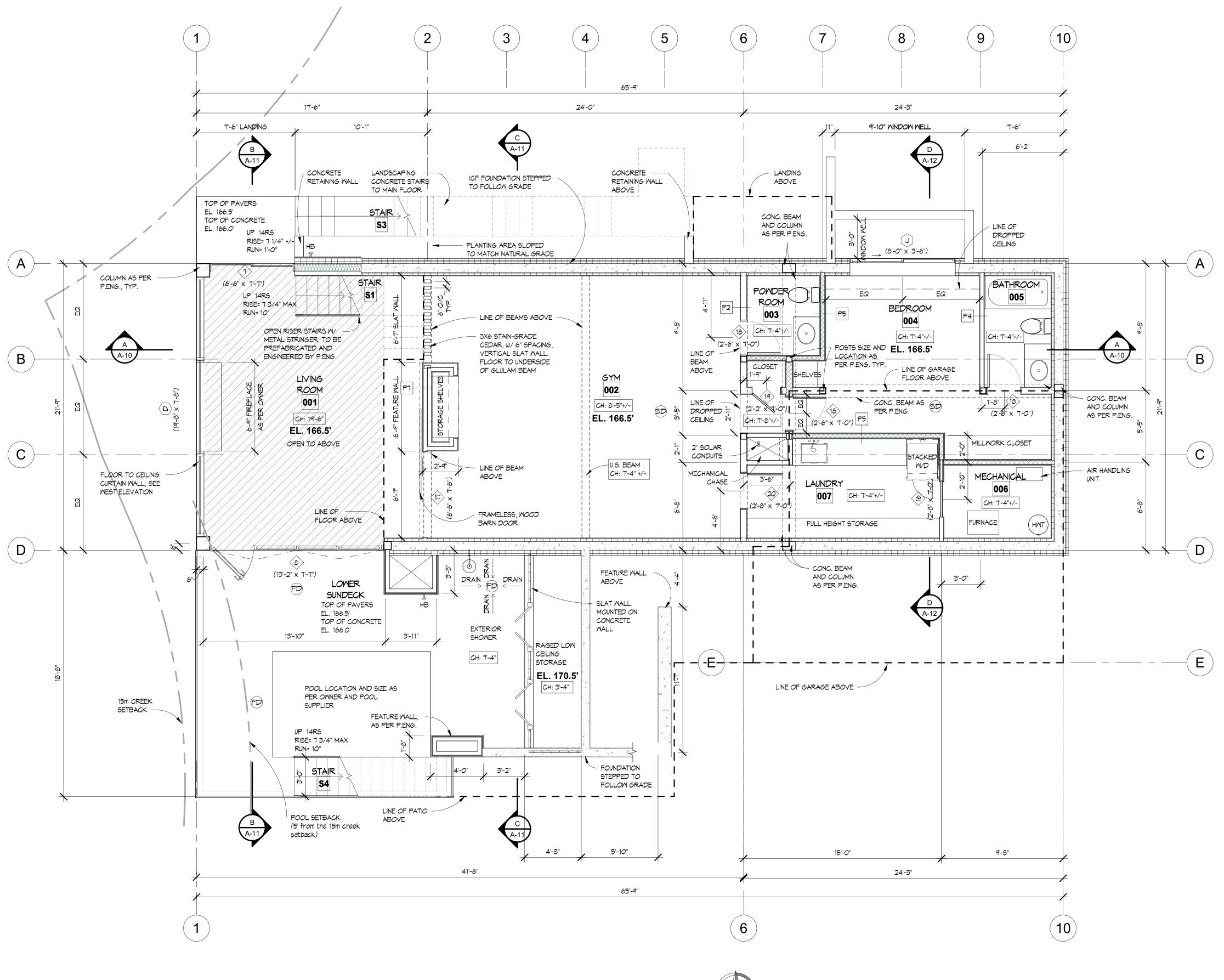
NEW INTERIOR WALL NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION NEW DOOR NEW POST INDICATES CEILING HEIGHT С.Н.: ___ SD SMOKE / CO ALARM FLOOR DRAINS AS PER ROOFING CONTRACTOR FD -----GLULAM BEAMS ABOVE

BULKHEAD / DROPPED CEILING

NOTES:

 $\overline{}$

- ALL INTERIOR DOOR HEADER HEIGHTS ON UPPER FLOOR TO BE 7'-0"
- ALL EXTERIOR DOOR HEADER HEIGHTS ON UPPER FLOOR TO BE 7'-6"
- ALL WINDOW HEADER HEIGHTS ON UPPER FLOOR TO BE 7'-6", EXCEPT 2 LOWER WINDOWS 'G' ON GRID 10 TO BE
- 3'-0" AND 5'-0", RESPECTIVELY. IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN
- ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION



BASEMENT PLAN 1/4" = 1'-0"

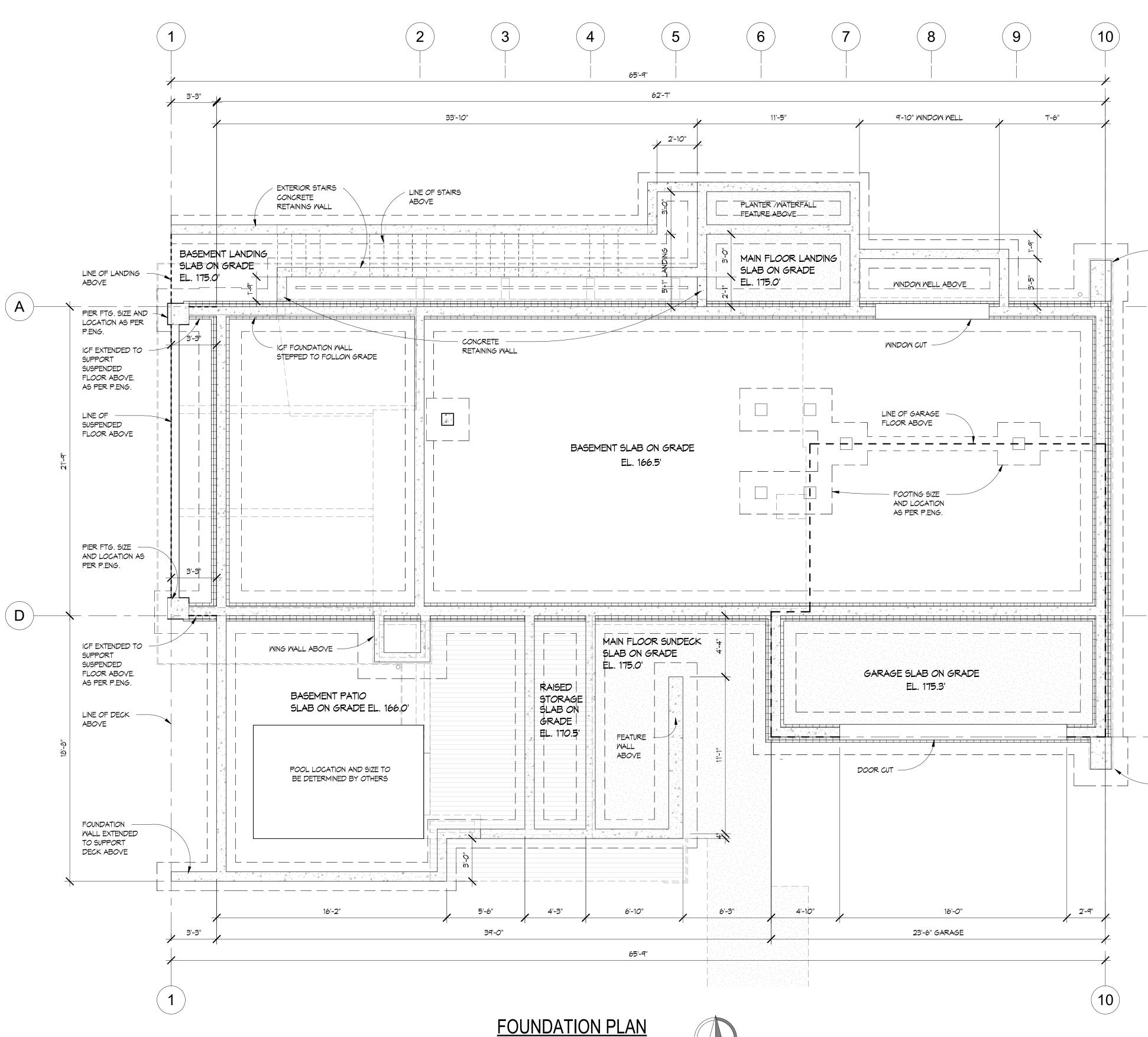
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	Basement Floor Re-layout	1	PGS
	06.18.2024 Structural		
	Changes 06.27.2024	3	AL
	IFC Changes 07.11.2024	4	AL
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	Synthesis de 258 east 1s north vancou canada V7 tel. (604) 98 www.synthesis	sign ind t stree iver, bo L 1B3 0-2087	t c, 7
	VILLAVICENCIO CUSTOM RESIDENCE		
	Drawing Title BASEMEN PLAN Date 07.09.7 Scale 1/4" =	2024 = 1'-	
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LEGEND

	NEW INTERIOR WALL
	NEW ACOUSTIC INSULATION IN INTERIOR WALL
	NEW INSULATED EXTERIOR WALL WITH 5" EXTERIOR INSULATION
, , , , , , , , , , , , , , , , , , ,	NEW ICF FOUNDATION WALL
	NEW DOOR
	NEW WINDOW
	NEW POST
C.H.:	INDICATES CEILING HEIGHT
	CEILING HEIGHT OVER 14'-4"
SD	SMOKE/CO ALARM
	GLULAM BEAMS ABOVE

NOTES:

- ALL DOOR HEIGHTS ON LOWER FLOOR TO BE 1'-0",
- EXCEPT DOORS '7' & '8' TO BE 7'-7" WINDOW 'J' TO HAVE HEADER HEIGHT OF 7'-0" AND WINDOW • 'D' TO HAVE HEADER HEIGHT OF 7'-8" +/-
- IF ADDITIONAL BULKHEADS OR DROPPED CEILINGS ARE REQUIRED FOR DUCTING / VENTING WHICH ARE NOT SHOWN ON THE DRAWINGS, PLEASE REPORT TO SYNTHESIS DESIGN PRIOR TO INSTALLATION

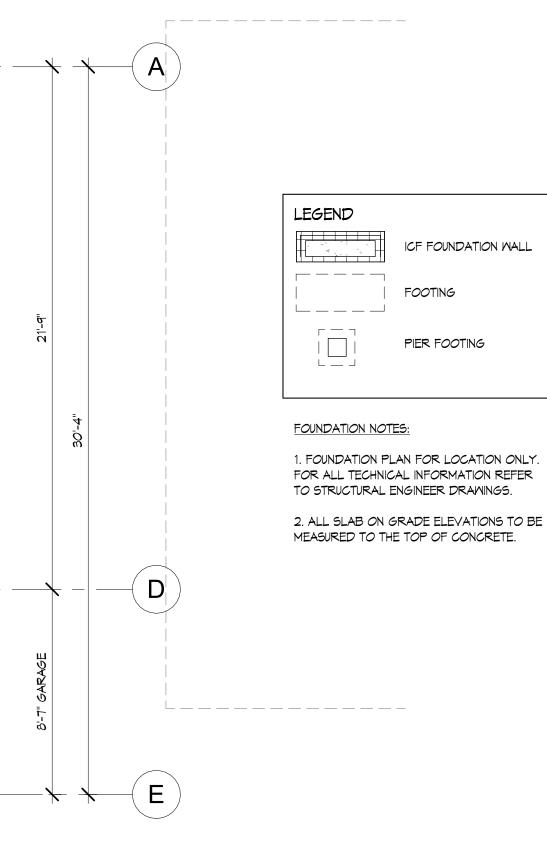


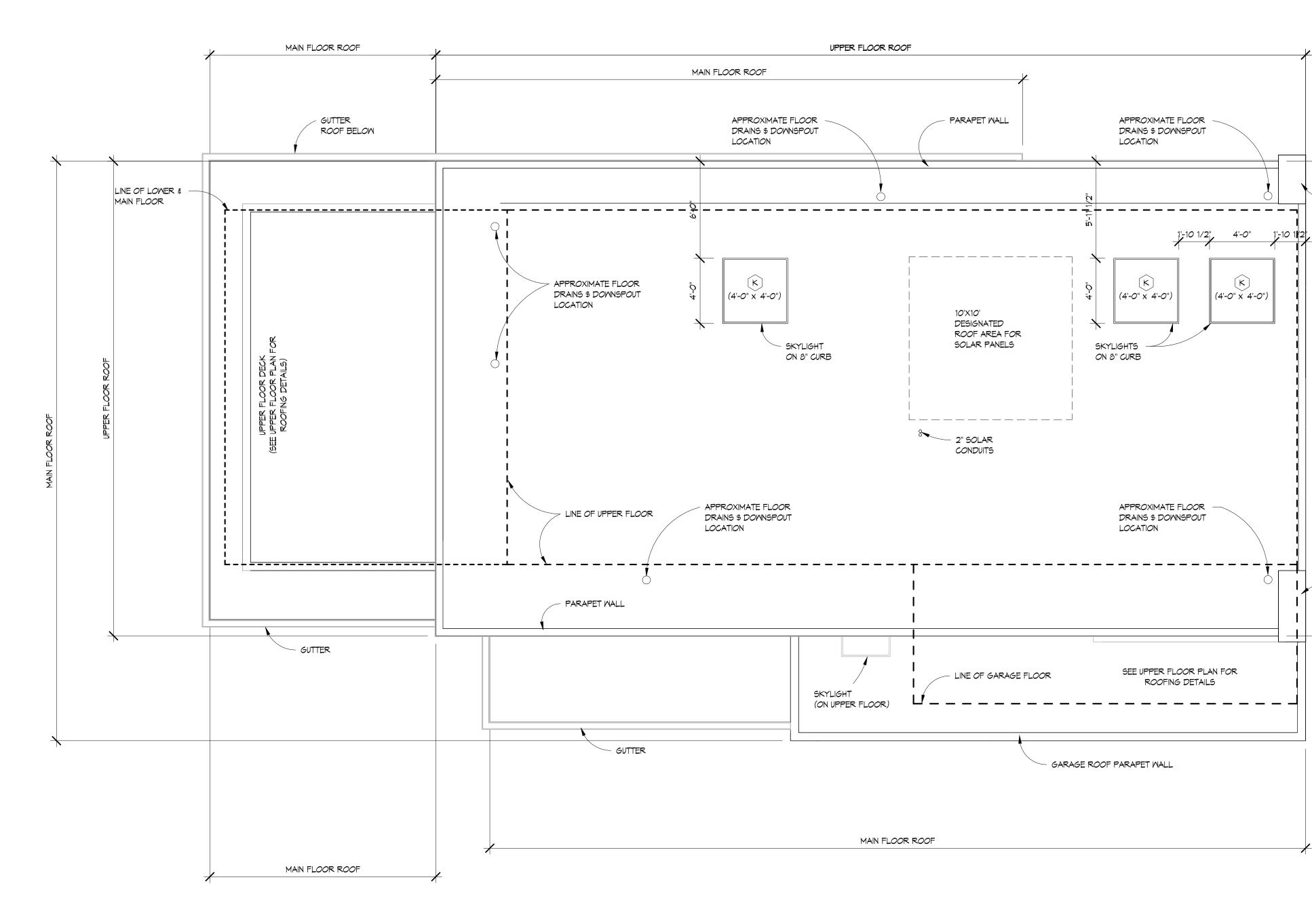
1/4" = 1'-0"



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	SystemSystemDesignDesignSynthesis design inc.28 east 1st streetnorth vancouver, bc,canada V7L 1B3tei. (604) 980-2087tww.synthesisdesign.ca
	VILLAVICENCIO CUSTOM RESIDENCE 1776 Inglewood Avenue Mest Vancouver, BC
	Drawing Title FOUNDATION PLAN
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WING WALL ABOVE









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MING MALL	Synthesis design inc. 258 east 1st street orth vancouver, bc, canada V7L 1B3 tel. (604) 980-2087 www.synthesisdesign.ca
- MING WALL	VILLAVICENCIO CUSTOM RESIDENCE 1776 Inglewood Avenue Mest Vancouver, BC
SLOPE TO DRAIN TO BE MIN. 2%. LOCATION AND SIZE OF DRAINS ARE FOR DESIGN INTENT PURPOSES ONLY. TO BE CONFIRMED WITH ROOFING CONTRACTOR	Drawing Title ROOF PLAN Date 07.09.2024 Scale 1/4" = 1'-0" Drawn PGS / AL / DK Job No. 24005
	Sheet A-7 2024-09-13 Of 19 Sheets



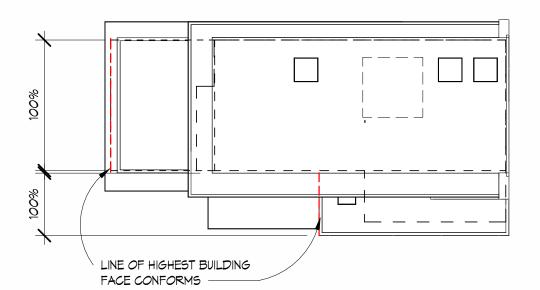
EAST ELEVATION

1/4" = 1'-0"

PART 3 - SOUTH SPATIAL SEPARATION AREA OF FACE 1417.8 sq.ft. (131.7 m2) LIMITING DISTANCE 21 ft. (6.4 m) ALLOWABLE OPENINGS 52% x 1417.8 = 737.3 sq.ft. AREA OF OPENING 574.4 sq.ft.

<u>CONFORMS</u>

YES NOTE: BUILDING IS SPRINKLERED



ROOF PLAN - HIGHEST BUILDING FACE

	MATERIAL LEGEND
1	BUILT-UP FASCIA WRAPPED IN ANODIZED ALUMINUM
2	TORCH-DOWN MEMBRANE ROOF
3	6" METAL BOX GUTTER (COLOUR TO MATCH FASCIA)
4	NEWTECHWOOD VERTICAL SHIPLAP SIDING, SILVER GREY
5	HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) COIOUY: 6299 ACRYLIC MATT COBALT GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
6	HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) COIOUR: 0112 ACRYLIC MATT STONE GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
٦	1" ANODIZED ALUMINUM TRIM AROUND ALL OPENINGS INCLUDING HEAD AND SILL FLASHING, COLOUR AND FINISH TO MATCH FASCIA
8	ALUMINUM SKYLIGHTS (SEE SCHEDULE FOR DETAILS)
٩	EXPOSED PAPER BACK ARCHITECTURAL CONCRETE WALL, CONE TIES TO BE REMOVED
10	CONCRETE CIP LANDSCAPE STAIRS
11	P.T. TIMBER EXTERIOR STAIR STRINGERS WITH PORCELAIN PAVER TREADS AND RISERS TO MATCH PATIO
12	ANODIZED ALUMINUM CAP OVER PARAPET WALLS, TO MATCH GUTTERS
13	GLULAM BEAM AND CONNECTORS AS PER "BINDERHOLZ"
14	GLULAM COLUMN AND CONNECTORS AS PER "BINDERHOLZ"
15	SEMI-FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPERED GLASS PANELS, AS PER MANUFACTURER SPECIFICATIONS
16	PORCELAIN PAVERS ON PEDESTALS (ENMON NORTH AMERICA-PROJECT-PP6060B SILVER)
17	1 X 4 HORIZONTAL CEDAR SLAT WALL
18	POWDER COATED ROUND METAL DOWNSPOUTS, COLOUR TO MATCH GUTTER

REVISIONS Structural Changes 06.27.2024 IFC Changes 07.11.2024 HRA Comments,	# 3 4	BY AL AL
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	VILLAVICENCIO CUSTOM RESIDENCE 1776 Inglewood Avenue Mest Vancouver, BC
	Drawing Title NORTH AND WEST ELEVATIONS
2024-09-13 11:51:46 AM	Date 07.09.2024 Scale 1/4" = 1'-0" Drawn PGS / AL / DK Job No. 24005 Sheet A-9 Of 19 Sheets

PART 3 - NORTH SPATIAL SEPARATION AREA OF FACE

1371.9 sq.ft. (127.5 m2)

LIMITING DISTANCE 16.4 ft. (5 m)

ALLOWABLE OPENINGS 45% × 1371.9 = 617.4 sq.ft.

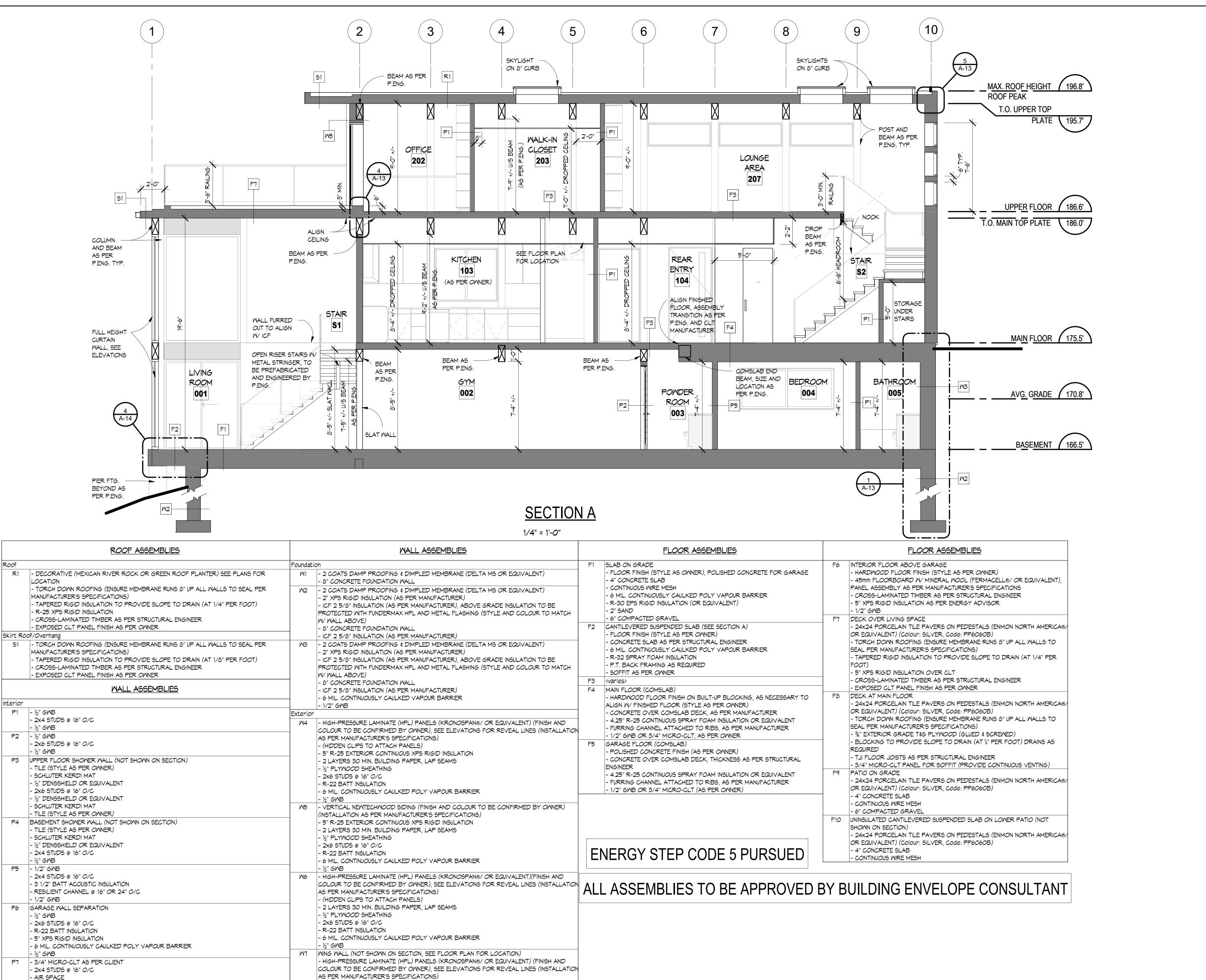
AREA OF OPENING 193.3 sq.ft.

<u>CONFORMS</u>

YES

NOTE: BUILDING IS SPRINKLERED

	MATERIAL LEGEND
1	BUILT-UP FASCIA WRAPPED IN ANODIZED ALUMINUM
2	TORCH-DOWN MEMBRANE ROOF
З	6" METAL BOX GUTTER (COLOUR TO MATCH FASCIA)
4	NEWTECHWOOD VERTICAL SHIPLAP SIDING, SILVER GREY
5	HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) COLOUR: 6299 ACRYLIC MATT COBALT GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
6	HIGH-PRESSURE LAMINATE (HPL) PANELS (KRONOSPAN®/ OR EQUIVALENT) COLOUR: 0112 ACRYLIC MATT STONE GREY, REVEALS AS PER MANUFACTURER'S SPECIFICATIONS (SEE ELEVATIONS FOR LOCATION)
7	1" ANODIZED ALUMINUM TRIM AROUND ALL OPENINGS INCLUDING HEAD AND SILL FLASHING, COLOUR AND FINISH TO MATCH FASCIA
8	ALUMINUM SKYLIGHTS (SEE SCHEDULE FOR DETAILS)
٩	EXPOSED PAPER BACK ARCHITECTURAL CONCRETE WALL, CONE TIES TO BE REMOVED
10	CONCRETE CIP LANDSCAPE STAIRS
11	P.T. TIMBER EXTERIOR STAIR STRINGERS WITH PORCELAIN PAVER TREADS AND RISERS TO MATCH PATIO
12	ANODIZED ALUMINUM CAP OVER PARAPET WALLS, TO MATCH GUTTERS
13	GLULAM BEAM AND CONNECTORS AS PER "BINDERHOLZ"
14	GLULAM COLUMN AND CONNECTORS AS PER "BINDERHOLZ"
15	SEMI-FRAMELESS GLASS RAILING C/W ALUMINUM POSTS AND TEMPERED GLASS PANELS, AS PER MANUFACTURER SPECIFICATIONS
16	PORCELAIN PAVERS ON PEDESTALS (ENMON NORTH AMERICA-PROJECT-PP6060B SILVER)
17	1 X 4 HORIZONTAL CEDAR SLAT WALL
18	POWDER COATED ROUND METAL DOWNSPOUTS, COLOUR TO MATCH GUTTER



nterior		
P 1	- ½" GWB	Exter
	- 2x4 STUDS @ 16" 0/C	M
P2	- ½" GNB	
	- 2x6 STUDS @ 16" 0/C - ½" GWB	
P3	UPPER FLOOR SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER)	
	- TILE (STALE AS PER OMNER) - SCHLUTER KERDI MAT	
	- ½" DENSSHIELD OR EQUIVALENT	
	-2x6 STUDS @ 16" O/C	
	- ½" DENSSHIELD OR EQUIVALENT	
	- SCHLUTER KERDI MAT	M
	- TILE (STYLE AS PER OWNER)	
P4	BASEMENT SHOWER WALL (NOT SHOWN ON SECTION)	
	- TILE (STYLE AS PER OWNER)	
	- SCHLUTER KERDI MAT	
	- ½" DENSSHIELD OR EQUIVALENT	
	- 2x4 STUDS @ 16" 0/C	
	- ½" GWB	
P5	- 1/2" GWB	
	- 2x4 STUDS @ 16" 0/C	N
	- 3 1/2" BATT ACOUSTIC INSULATION	
	- RESILIENT CHANNEL @ 16" OR 24" O/C	
	- 1/2" GWB	
P6	GARAGE WALL SEPARATION	
	- ½" GWB	
	- 2x6 STUDS @ 16" O/C	
	- R-22 BATT INSULATION	
	- 5" XPS RIGID INSULATION	
	- 6 MIL. CONTINUOUSLY CAULKED POLY VAPOUR BARRIER - ½" GWB	M.
P7	- 3/4" MICRO-CLT AS PER CLIENT	
ΓI	- 3/4 MICRO-CLT AS FER CLIENT - 2x4 STUDS @ 16" 0/C	
	- 2x4 51005 @ 18 070	
	- 2X4 STUDS @ 16" 0/C	

- 3/4" MICRO-CLT AS PER CLIENT

IRoof

- (HIDDEN CLIPS TO ATTACH PANELS)

- 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - ½" PT PLYWOOD SHEATHING

- 2x4 STUDS

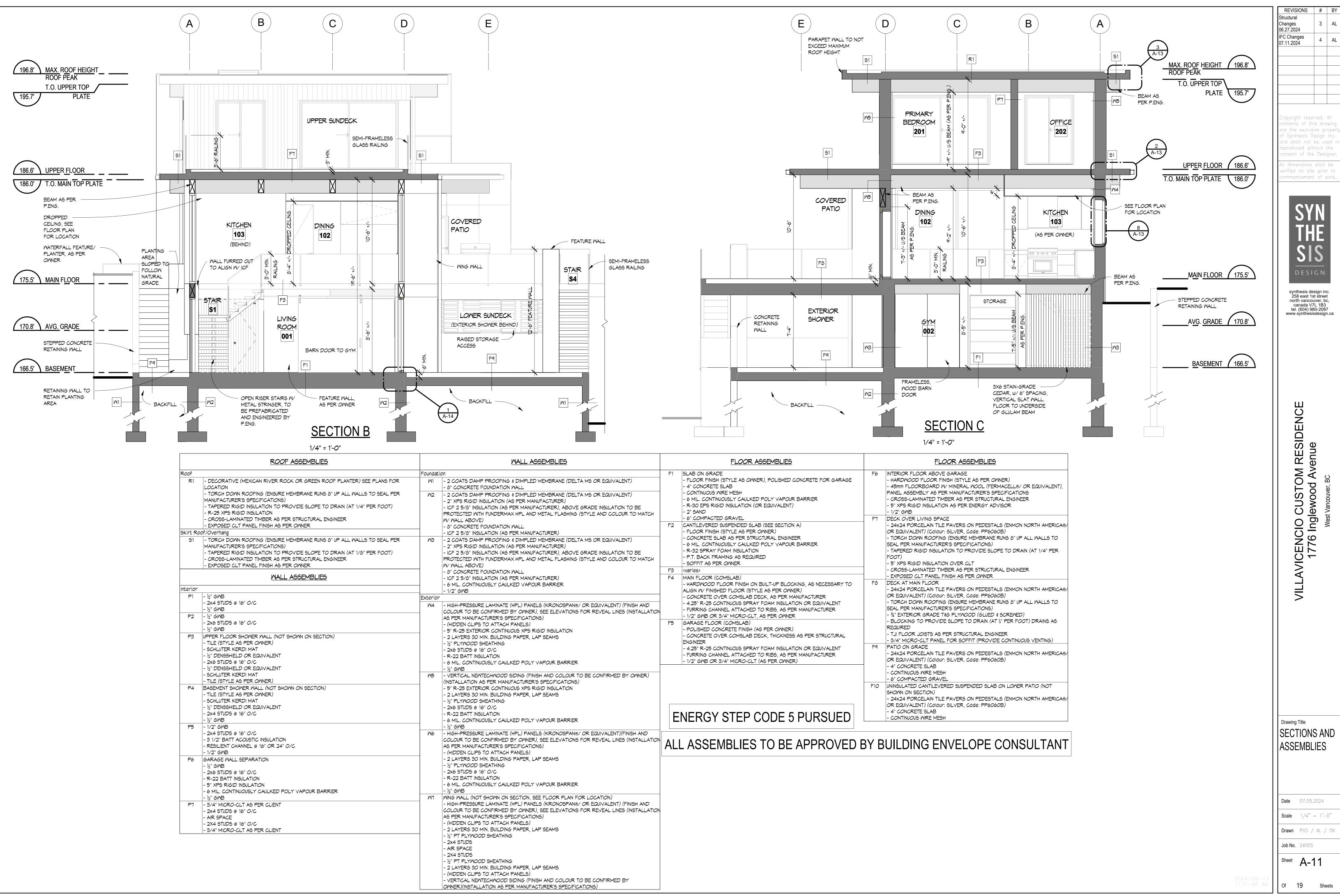
- AIR SPACE - 2X4 STUDS

- ½" PT PLYWOOD SHEATHING

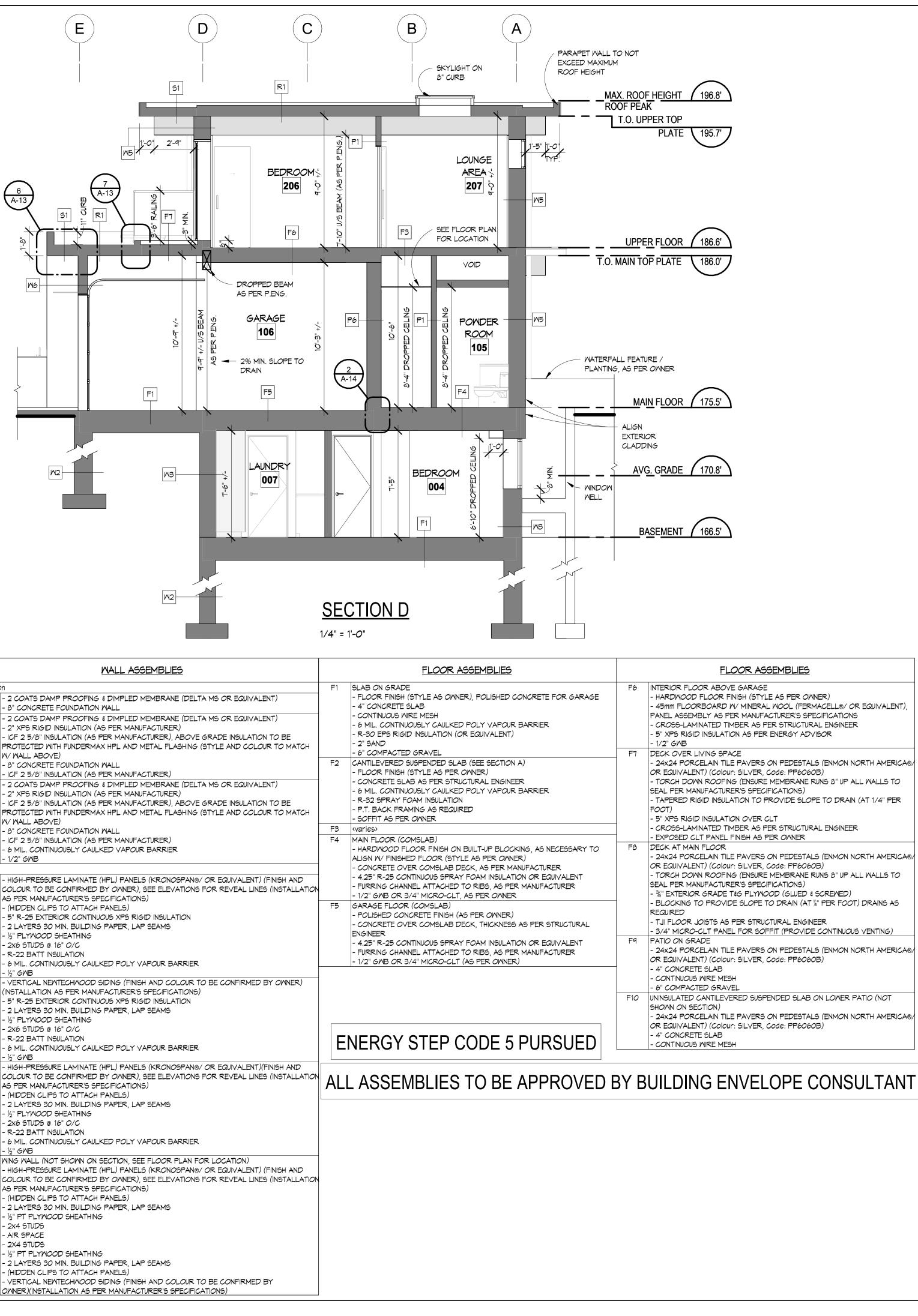
- 2 LAYERS 30 MIN. BUILDING PAPER, LAP SEAMS - (HIDDEN CLIPS TO ATTACH PANELS)

VERTICAL NEWTECHWOOD SIDING (FINISH AND COLOUR TO BE CONFIRMED BY OWNER)(INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS)

REVISIONS	#	BY
Structural Changes 06.27.2024	3	AL
IFC Changes 07.11.2024	4	AL
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VILLAVICENCIO CUSTOM RESIDENCE		West valicouver, bu
Drawing Title SECTIONS ASSEMBL		ND
Date 07.09.2 Scale 1/4" Drawn PGS / Job No. 24005	= 1'-	



	ROOF ASSEMBLIES		
Roof		Foundat	io
R 1	- DECORATIVE (MEXICAN RIVER ROCK OR GREEN ROOF PLANTER) SEE PLANS FOR LOCATION	W 1	
	 TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/4" PER FOOT) R-25 XPS RIGID INSULATION CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER EXPOSED CLT PANEL FINISH AS PER OWNER 	W2	
irt Ro	pof/Overhang		
51	- TORCH DOWN ROOFING (ENSURE MEMBRANE RUNS 8" UP ALL WALLS TO SEAL PER MANUFACTURER'S SPECIFICATIONS) - TAPERED RIGID INSULATION TO PROVIDE SLOPE TO DRAIN (AT 1/8" PER FOOT) - CROSS-LAMINATED TIMBER AS PER STRUCTURAL ENGINEER - EXPOSED CLT PANEL FINISH AS PER OWNER WALL ASSEMBLIES	W3	
	MALL ASSEMBLIES		
iterior			
P 1	- ½" GWB	Exterior	r
	- 2x4 STUDS @ 16" 0/C - ½" GMB	M4	-
P2	- ½" GNB - 2x6 STUDS @ 16" O/C - ½" GNB		
P3	UPPER FLOOR SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - ½" DENSSHIELD OR EQUIVALENT - 2x6 STUDS @ 16" O/C - ½" DENSSHIELD OR EQUIVALENT		
	- SCHLUTER KERDI MAT - TILE (STYLE AS PER OWNER)	M5	
P4	BASEMENT SHOWER WALL (NOT SHOWN ON SECTION) - TILE (STYLE AS PER OWNER) - SCHLUTER KERDI MAT - ½" DENSSHIELD OR EQUIVALENT - 2X4 STUDS @ 16" O/C - ½" GMB		
P5	- 1/2" GWB		
	- 2x4 STUDS @ 16" O/C - 3 1/2" BATT ACOUSTIC INSULATION - RESILIENT CHANNEL @ 16" OR 24" O/C - 1/2" GWB	M6	
P6	GARAGE WALL SEPARATION - ½" GWB - 2x6 STUDS @ 16" O/C - R-22 BATT INSULATION - 5" XPS RIGID INSULATION - 6 MIL. CONTINUOUSLY CAULKED POLY VAPOUR BARRIER		
	- ½" GWB	M7	
P7	- 3/4" MICRO-CLT AS PER CLIENT - 2X4 STUDS @ 16" O/C - AIR SPACE - 2X4 STUDS @ 16" O/C - 3/4" MICRO-CLT AS PER CLIENT		



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Drawing Title SECTION AND ASSEMBLIES

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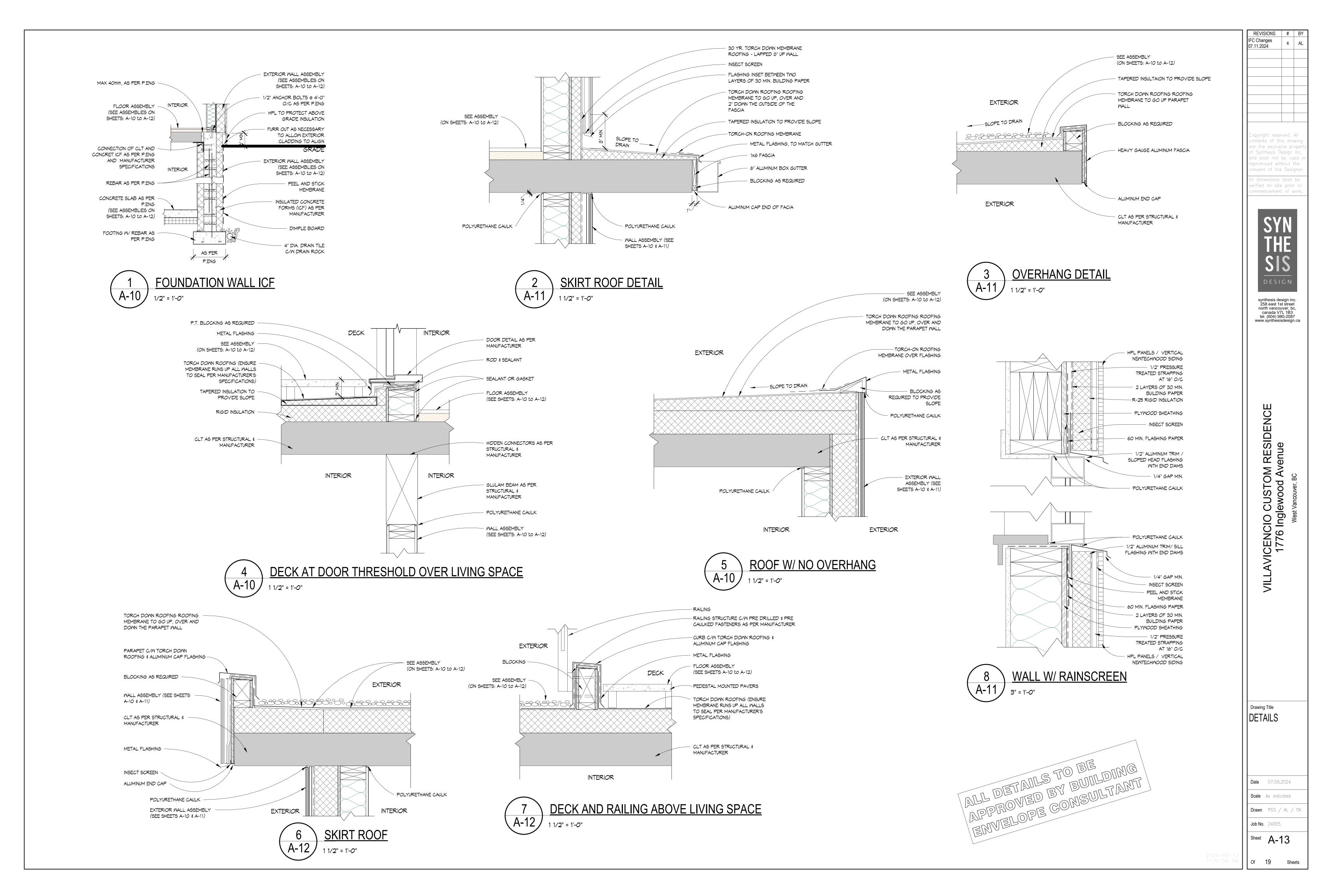
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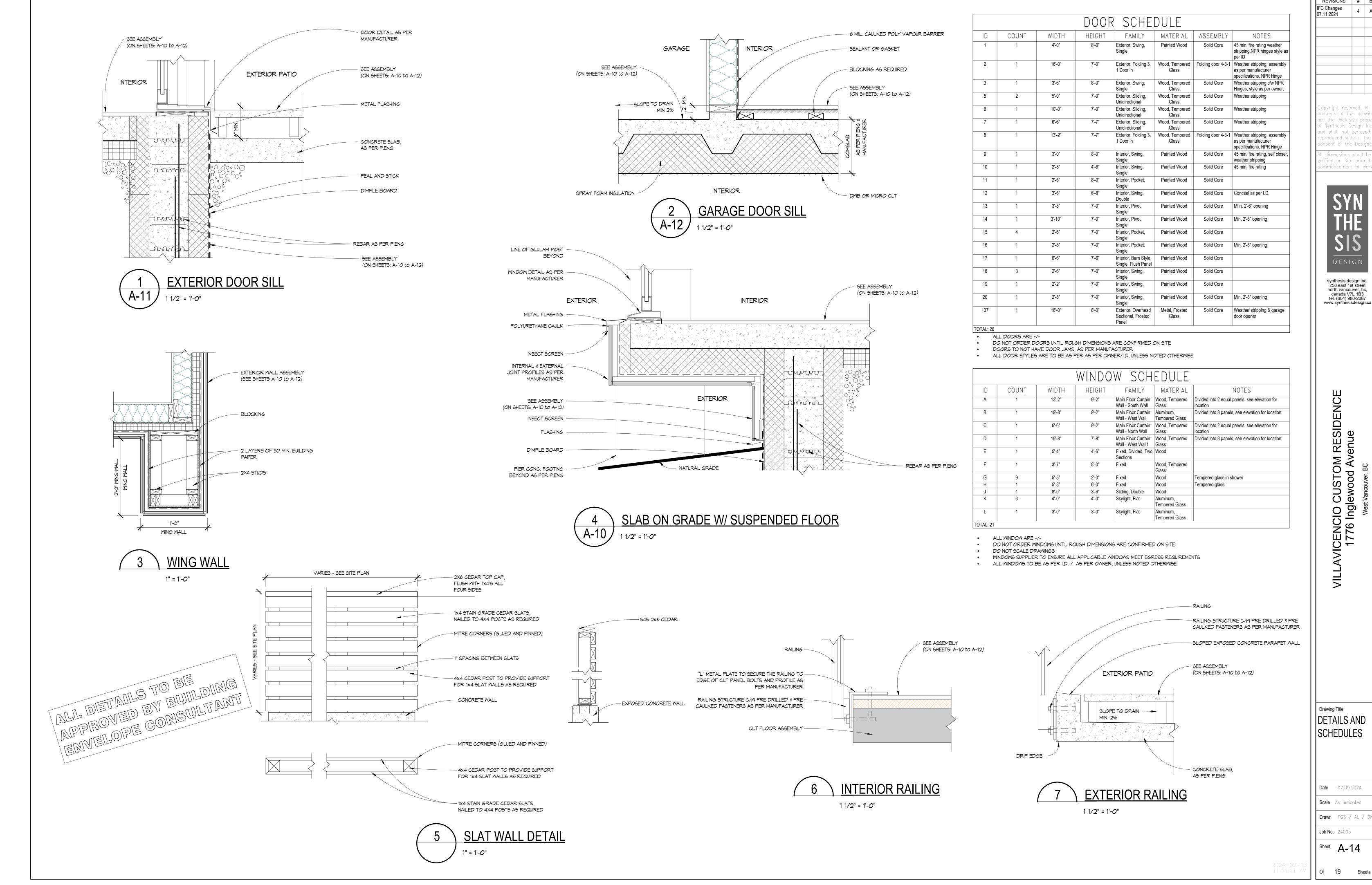
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REVISIONS Structural

Changes 06.27.2024 IFC Changes

07.11.2024

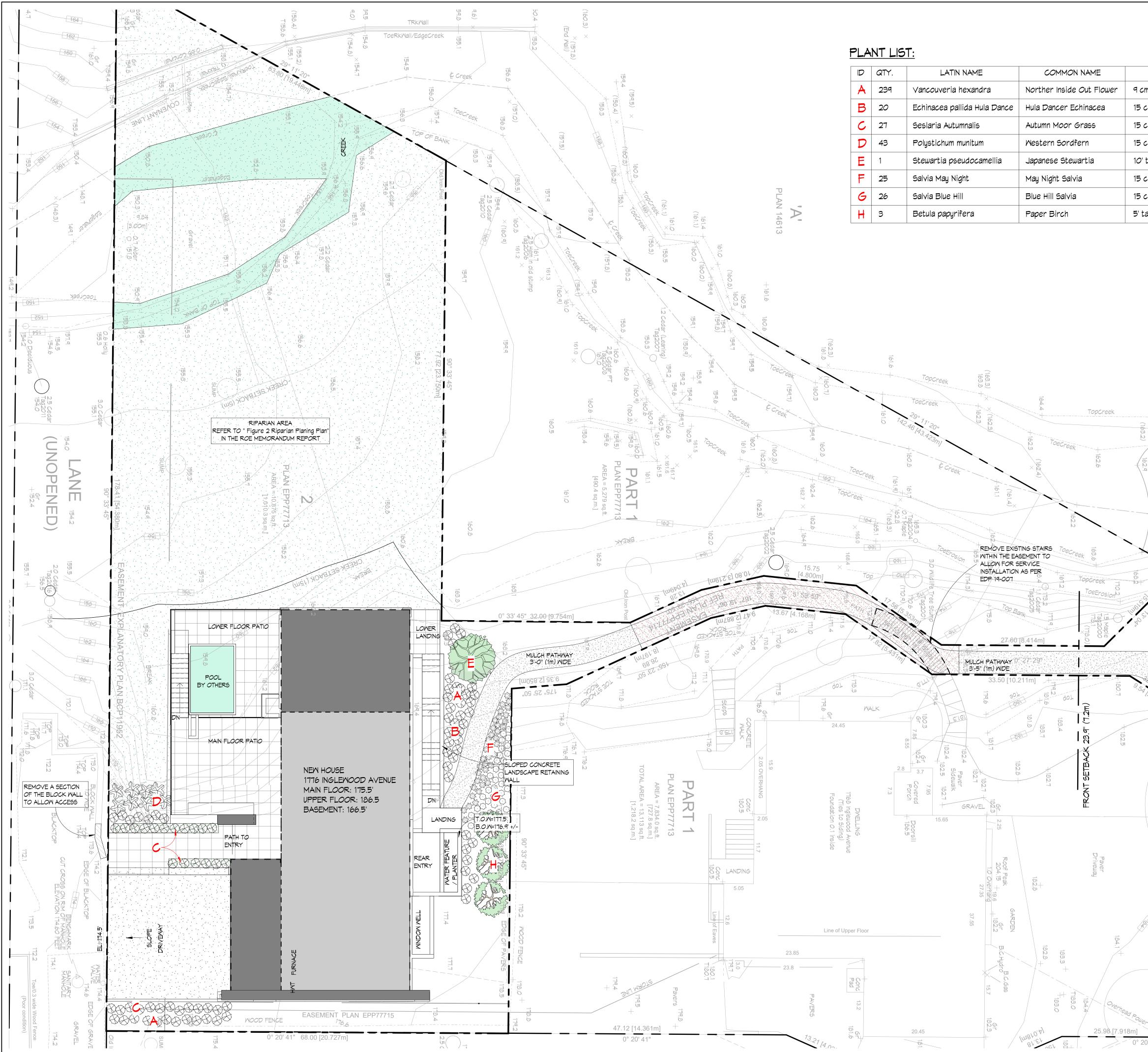




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ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	ASSEMBLY	NOTES
1	1	4'-0"	8'-0"	Exterior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating weather stripping,NPR hinges style as per ID
2	1	16'-0"	7'-0"	Exterior, Folding 3, 1 Door in	Wood, Tempered Glass	Folding door 4-3-1	Weather stripping, assembly as per manufacturer specifications, NPR Hinge
3	1	3'-6"	8'-0"	Exterior, Swing, Single	Wood, Tempered Glass	Solid Core	Weather stripping c/w NPR Hinges, style as per owner.
5	2	5'-0"	7'-0"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
6	1	10'-0"	7'-0"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
7	1	6'-6"	7'-7"	Exterior, Sliding, Unidirectional	Wood, Tempered Glass	Solid Core	Weather stripping
8	1	13'-2"	7'-7"	Exterior, Folding 3, 1 Door in	Wood, Tempered Glass	Folding door 4-3-1	Weather stripping, assembly as per manufacturer specifications, NPR Hinge
9	1	3'-0"	8'-0"	Interior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating, self closer weather stripping
10	1	2'-8"	4'-6"	Interior, Swing, Single	Painted Wood	Solid Core	45 min. fire rating
11	1	2'-6"	8'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	
12	1	3'-6"	6'-8"	Interior, Swing, Double	Painted Wood	Solid Core	Conceal as per I.D.
13	1	3'-8"	7'-0"	Interior, Pivot, Single	Painted Wood	Solid Core	Mlin. 2'-6" opening
14	1	3'-10"	7'-0"	Interior, Pivot, Single	Painted Wood	Solid Core	Min. 2'-8" opening
15	4	2'-6"	7'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	
16	1	2'-8"	7'-0"	Interior, Pocket, Single	Painted Wood	Solid Core	Min. 2'-8" opening
17	1	6'-6"	7'-6"	Interior, Barn Style, Single, Flush Panel	Painted Wood	Solid Core	
18	3	2'-6"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	
19	1	2'-2"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	
20	1	2'-8"	7'-0"	Interior, Swing, Single	Painted Wood	Solid Core	Min. 2'-8" opening
137	1	16'-0"	8'-0"	Exterior, Overhead Sectional, Frosted Panel	Metal, Frosted Glass	Solid Core	Weather stripping & garage door opener

			WINDO	W SCH	EDULE	
ID	COUNT	WIDTH	HEIGHT	FAMILY	MATERIAL	NOTES
А	1	13'-2"	9'-2"	Main Floor Curtain Wall - South Wall	Wood, Tempered Glass	Divided into 2 equal panels, see elevation for location
В	1	19'-8"	9'-2"	Main Floor Curtain Wall - West Wall	Aluminum, Tempered Glass	Divided into 3 panels, see elevation for location
С	1	6'-6"	9'-2"	Main Floor Curtain Wall - North Wall	Wood, Tempered Glass	Divided into 2 equal panels, see elevation for location
D	1	19'-8"	7'-8"	Main Floor Curtain Wall - West Wall1	Wood, Tempered Glass	Divided into 3 panels, see elevation for location
E	1	5'-4"	4'-6"	Fixed, Divided, Two Sections	Wood	
F	1	3'-7"	8'-0"	Fixed	Wood, Tempered Glass	
G	9	5'-5"	2'-0"	Fixed	Wood	Tempered glass in shower
Н	1	5'-3"	6'-0"	Fixed	Wood	Tempered glass
J	1	8'-0"	3'-6"	Sliding, Double	Wood	
K	3	4'-0"	4'-0"	Skylight, Flat	Aluminum, Tempered Glass	
L	1	3'-0"	3'-0"	Skylight, Flat	Aluminum, Tempered Glass	
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10' tall (multi stem specimen) 15 cm	reproc	hall not be duced withou nt of the D	ut th	ne
15 cm	All dir verifie	nensions sh d on site p	all b prior	be to
5' tall	comm	encement c	ot wo	ork.
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Closed West Sewer Invert Culvert 111 (15.3 to Top) (1630) Culvert 111 (11.2) Culvert 163.9 (164.5) 163.9 Elacktop 162.9 163.9 162.9		VILLAVICENCIO CUSTOM RESIDENCE 1776 Inglewood Avenue	West Vancouver, BC	
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SOUTH-WEST CORNER RENDER



SOUTH-EAST CORNER RENDER



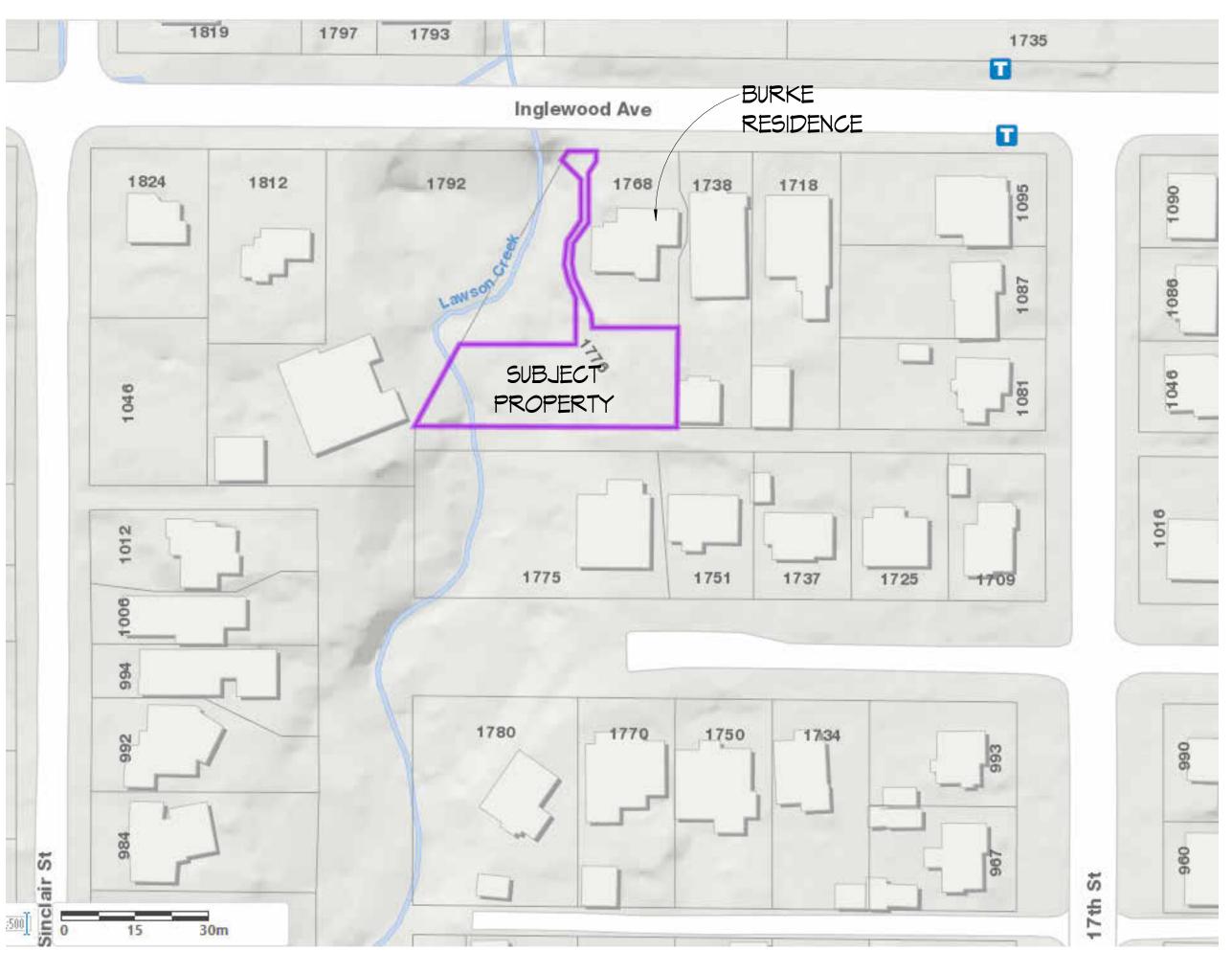
NORTH-WEST CORNER RENDER



NORTH-EAST CORNER RENDER

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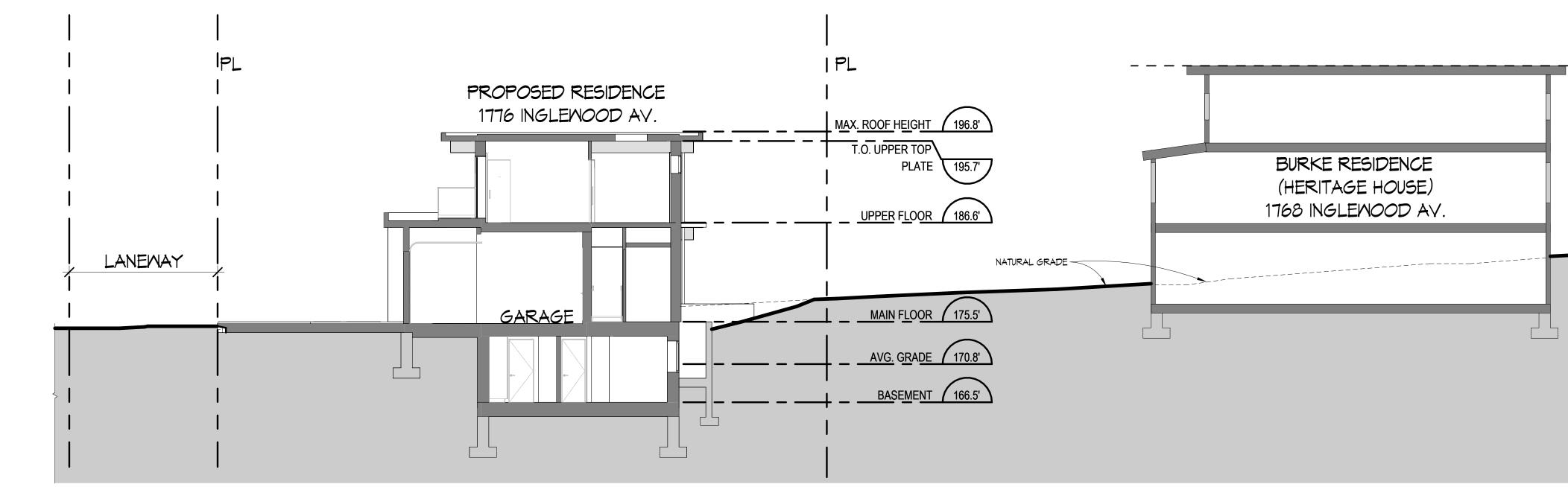
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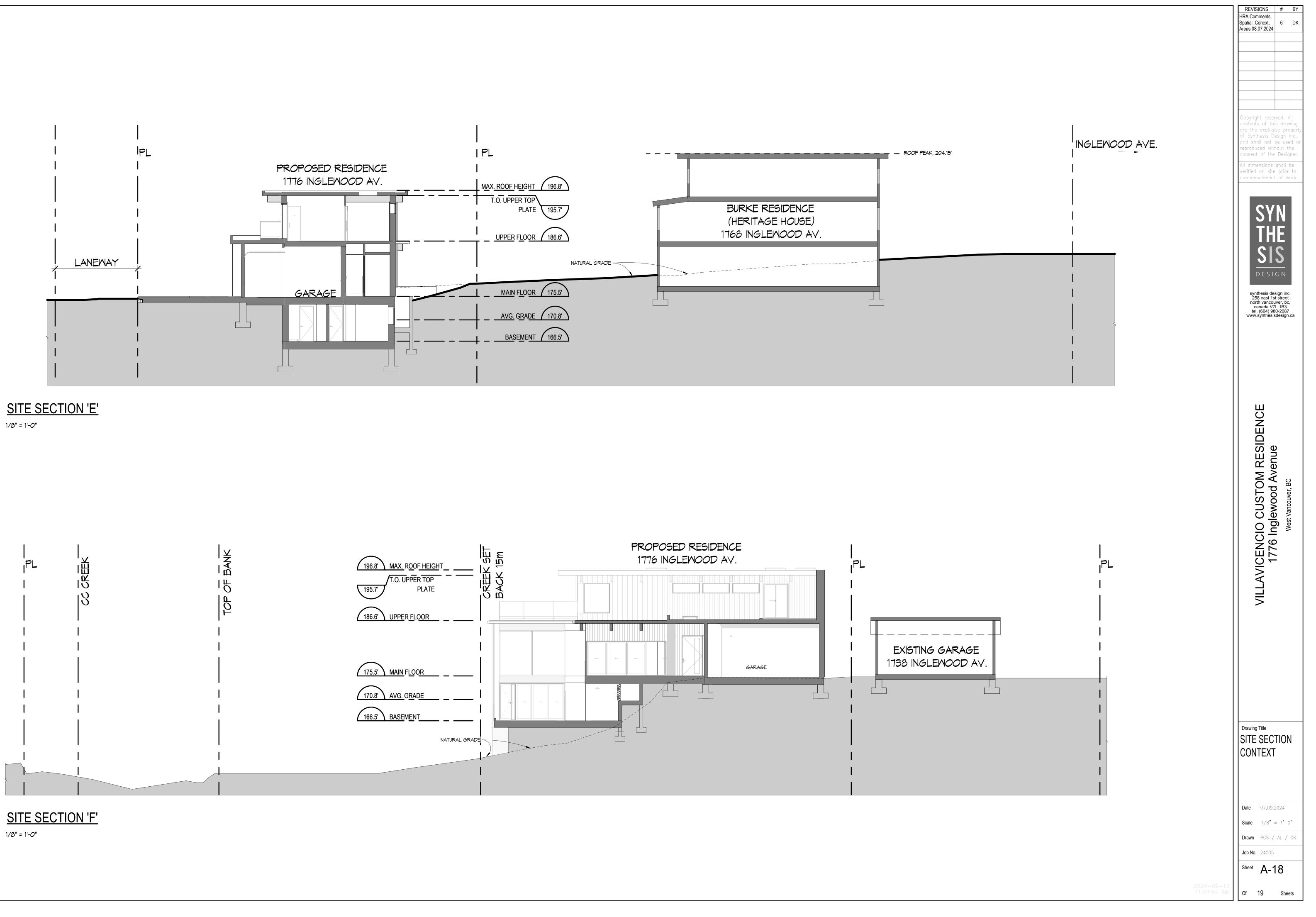
NEIGHBOURHOOD CONTEXT PLAN

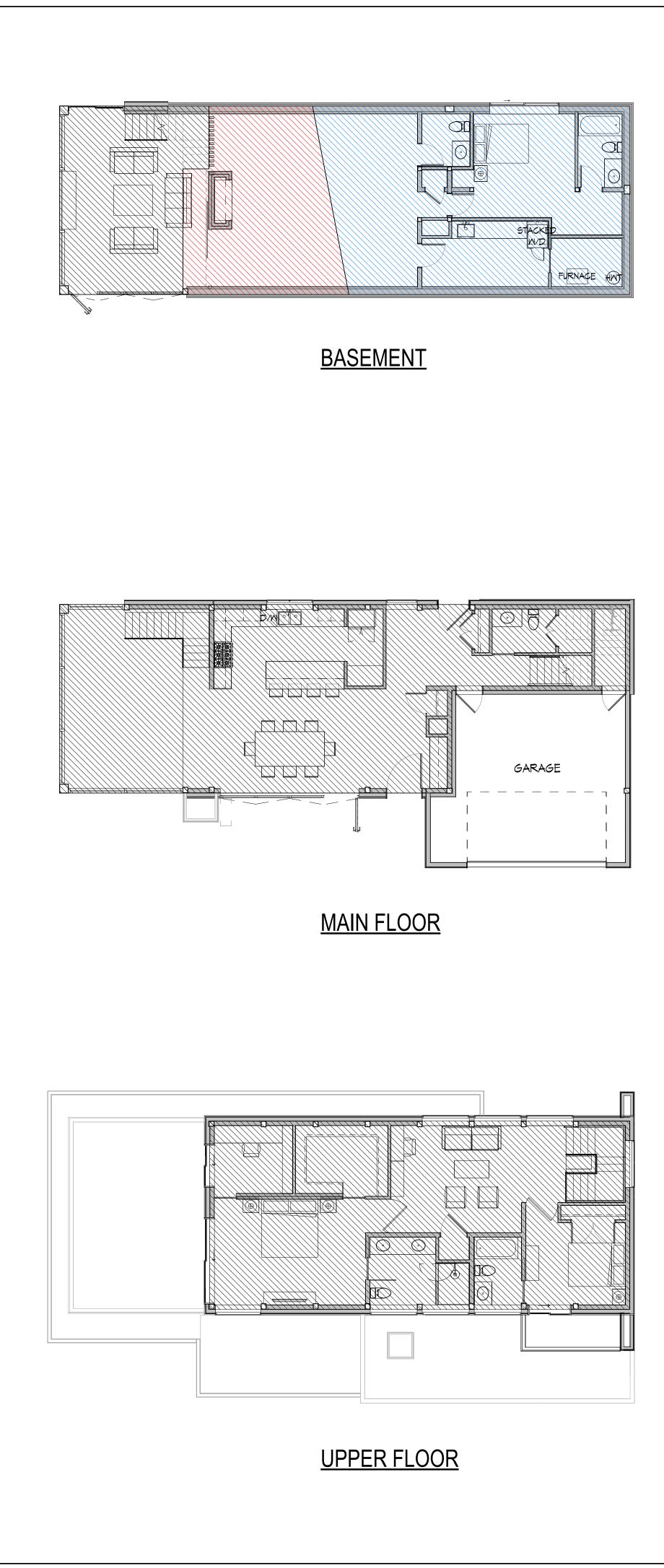


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BASEMENT

TOTAL BASEMENT AREA - 1,430.7 SF PARTIALLY EXEMPT BASEMENT AREA: (AVG. GRADE EL.) - (BASEMENT FLOOR EL.) / (MAIN FLOOR EL.) - (BASEMENT FLOOR EL.) × 100% (170.77') – (166.5') / (175.5') – (166.5') × 100%= 47.4% PERCENTAGE INCLUDED = 100% - 47.4% = 52.6% 349.915F x 52.6% = 184.1 sq.ft (17.1 sq.m) PARTIAL EXEMPT AREA = 184.1 sq.ft (17.1 sq.m) AREA TOTALLY INCLUDED = 330.1 sq.ft (30.67 sq.m) AREA TOTALLY EXEMPT (LESS THAN 1.5' (0.45m) = 750.7 sq.ft (69.74 sq.m) TOTAL COUNTABLE BASEMENT AREA: 184.1 + 330.1 = <u>514.2 sq.ft (47.77 sq.m)</u>

<u>LEGEND</u>

AREA OF BASEI EXEMPTION AREA OF BASEMENT PARTIAL EXEMPTION

MAIN FLOOR

MAIN FLOOR TOTAL INCLUDED AREA = 1187.93 sq.ft (110.36 sq.m)

GARAGE AREA CALCULATIONS

TOTAL GARAGE AREA - MAX. EXEMPT GARAGE AREA = TOTAL INCLUDED GARAGE AREA

443.82 sq.ft - 440 sq.ft = 3.8 sq.ft (0.35 sq.m)

GARAGE AREA EXEMPT = 441 sq.ft (41 sq.m)

TOTAL COUNTABLE MAIN FLOOR AREA - 1187.93 sq.ft + 3.8 sq.ft = <u>1191.75 sq.ft (110.71 sq.m)</u>

TOTAL COUNTABLE FLOOR AREA:

TOTAL COUNTABLE BASEMENT AREA + COUNTABLE MAIN FLOOR AREA + TOTAL COUNTABLE UPPER FLOOR AREA 514.2 sq.ft (47.77 sq.m) + 1191.75 sq.ft (110.71 sq.m) + 1054.20 sq.ft (97.93 sq.m) COUNTABLE FLOOR AREA = <u>2760.1 sq.ft (256.4 sq.m)</u>

HRA & STEP CODE 5 COMPLIANCE CHECK:

COUNTABLE MAIN FLOOR AREA - STEP CODE 5 ALLOWABLE 8% EXEMPTION 2760.15 sq.ft (256.4 sq.m) - 206.7 sq.ft (19.2sq.m) FLOOR AREA = <u>2553.4 sq.ft (237.2 sq.m)</u>

HRA APPROVAL: 2583 sq.ft (239.9 sq.m)

UPPER FLOOR

TOTAL COUNTABLE UPPER FLOOR AREA = <u>1054.20 sq.ft (97.93 sq.m)</u>

EMENT	100%

AREA 100% COUNTED

TOTAL COUNTABLE AREA COMPLIES WITH APPROVED HRA AND STEP 5 ALLOWANCE

REVISIONS IFC Changes 07.11.2024	# 4	BY AL
HRA Comments, Spatial, Conext, Areas 08.07.2024	6	DK
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