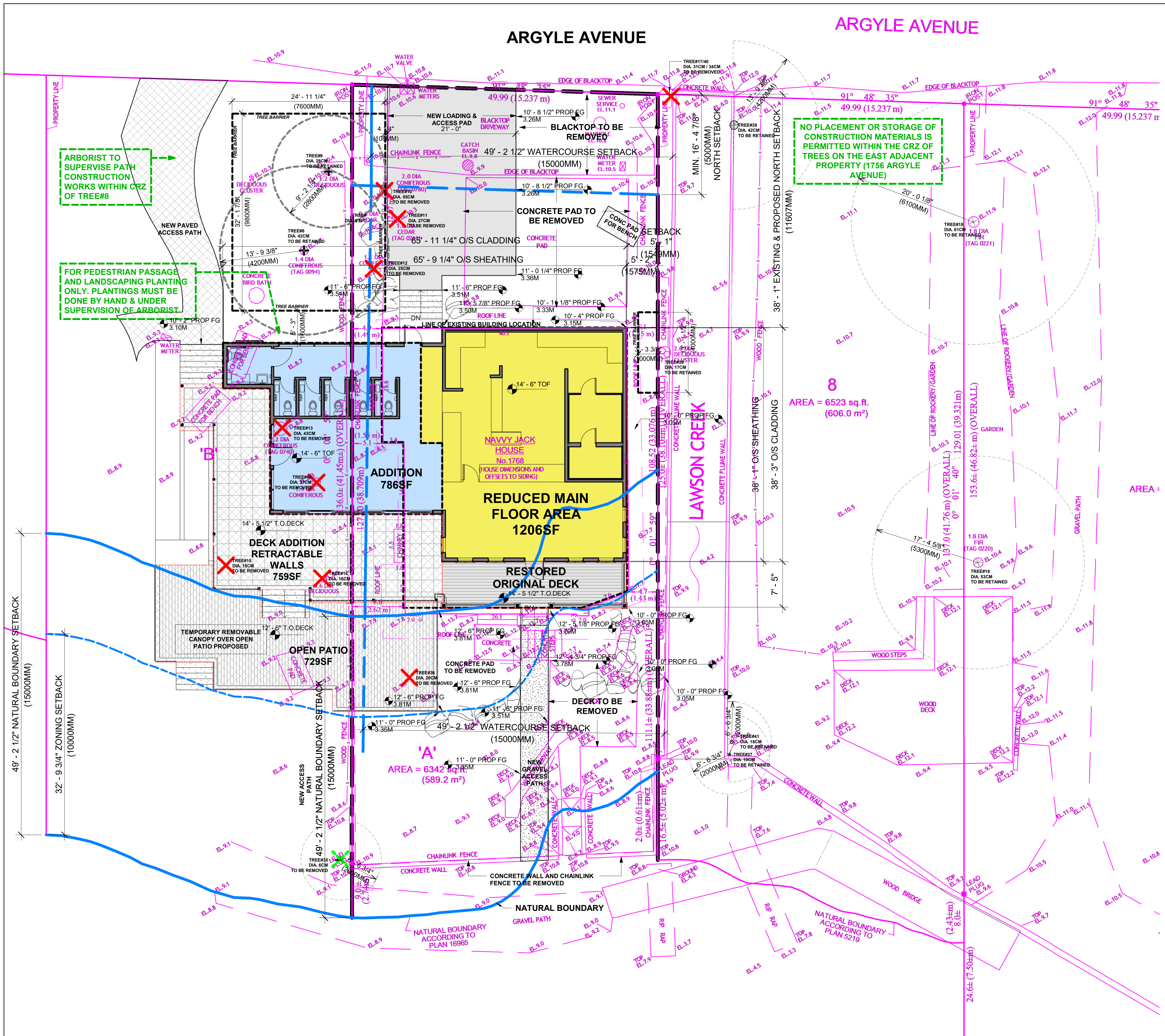


ARGYLE AVENUE

ARGYLE AVENUE



AREA = 6523 sq.ft. (606.0 m<sup>2</sup>)

AREA =

AREA = 6342 sq.ft. (589.2 m<sup>2</sup>)

AREA = 6523 sq.ft. (606.0 m<sup>2</sup>)

**PROJECT STATISTICS**  
NATURAL ENVIRONMENT & HAZARD DEVELOPMENT PERMIT APPLICATION

**LOCATION OF WORK - CIVIC ADDRESSES:**  
1768 ARGYLE AVENUE, WEST VANCOUVER  
**LEGAL DESCRIPTION:**  
LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

**ZONING:**  
CU5 (AMBLESIDE WATERFRONT COMMUNITY USE)

**PROJECT SUMMARY:**

THE EXISTING BUILDING NAVY JACK THOMAS HOUSE WAS ORIGINALLY BUILT IN 1872 BY JAMES BLAKE AND SOON ACQUIRED BY NAVVY JACK (JOHN THOMAS) A WELSH DESERTER FROM THE ROYAL NAVY. THIS HERITAGE BUILDING HAS STOOD ON THE FORESHORE FOR 152 YEARS. ITS HISTORY OF BEING THE LONGEST CONTINUOUSLY OCCUPIED HOUSE IN METRO VANCOUVER ADDS TO ITS HISTORICAL VALUE AND ROOTS OF EARLY DAY IMMIGRANTS TO CANADA'S WEST COAST.

THE DEVELOPMENT PROPOSAL IS TO RESTORE THE EXISTING HOUSE TO ITS ORIGINAL DESIGN WITH DOCUMENTATION PROVIDED BY THE HERITAGE CONSULTANT DONALD LUXTON AND ASSOCIATES INC. AND TO PROVIDE A MODEST CONTEMPORARY ADDITION TO THE WEST TO ACCOMMODATE FOR A BISTRO USE. THE PROPOSED DEVELOPMENT INCLUDES AN OUTDOOR PATIO TO THE SOUTH AND SEATING ON THE RESTORED PORCH OF THE NAVY JACK HOUSE WITH VIEWS TO THE FORESHORE, AND STANLEY PARK. AN ACCESSIBLE ACCESS PATHWAY FROM ARGYLE AVENUE AND RAMP PROVIDES PUBLIC ACCESS FROM THE NORTH'S WELL KNOWN AND USED SHARED PEDESTRIAN AND BIKE ROUTE. THE PUBLIC COMMUNITY AND NEIGHBOURHOOD BENEFITS TO RESTORE THE NAVY JACK AND ITS MODEST ADDITION IS A SIGNIFICANT CONTRIBUTION TO A NEW AMENITY AND GATHERING SPACE FOR WEST VANCOUVER.

**LIST OF CONSULTANTS**

**SURVEYOR**  
HOBBS, WINTER & MacDONALD, B.C.  
**LAND SURVEYORS**  
CONTACT: ADAM ARDUINI  
113-828 HARBOURSIDE DRIVE  
PHONE: 604.986.1371  
EMAIL: admin@hwmsurveys.com

**KITCHEN CONSULTANT**  
FOUNDRY KITCHEN  
CONTACT: LUKE EVANOW  
1020 EAST CORDOVA STREET  
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PHONE: 604.216.2566 Ext. 223  
CEL: 604.723.5785

**HERITAGE CONSULTANT**  
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#1030 - 470 GRANVILLE STREET  
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**ARBORIST**  
DIAMOND HEAD CONSULTING  
CONTACT: AUSTIN TAHILIANI  
3559 COMMERCIAL STREET,  
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**ENVIRONMENTAL CONSULTANT**  
ROE ENVIRONMENTAL  
UNIT 106-185 FORESTER STREET  
NORTH VANCOUVER, BC V7H 0A6  
CONTACT: JEREMY APPLETON  
PHONE: 778.872.2322  
EMAIL: jeremy@roe-env.ca

**DRAWING LIST**

#	DRAWING NAME
DP100	SITE PLAN
DP101	SITE COVERAGE + SITE CONTEXT
DP102	PERSPECTIVE, MATERIALS, & COLOURS
DP103	EXISTING BUILDING CONDITIONS
DP110	RETENTION FLOOR PLANS
DP111	RETENTION ELEVATIONS
DP200	PROPOSED LEVEL 1 FLOOR PLAN (SEATING LAYOUT)
DP201	ROOF PLAN
DP301	PROPOSED SOUTH ELEVATION
DP302	PROPOSED NORTH ELEVATION
DP303	PROPOSED EAST ELEVATION
DP304	PROPOSED WEST ELEVATION
DP401	PROPOSED BUILDING SECTIONS
DP402	PROPOSED BUILDING SECTIONS



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**GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK**

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

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**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
6	ISSUED FOR COORD	2023 DEC 22
7	ISSUED FOR COORD	2024 JAN 12
8	ISSUED FOR COORD	2024 JAN 25
10	ISSUED FOR COORD	2024 MAR 12
11	DP SUBMISSION	2024 MAR 15

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

SITE PLAN

Date	Project number
2024 MAR 15	2329

Scale  
1/8" = 1'-0"

Drawn by  
HD

Approved by  
CK

DP100











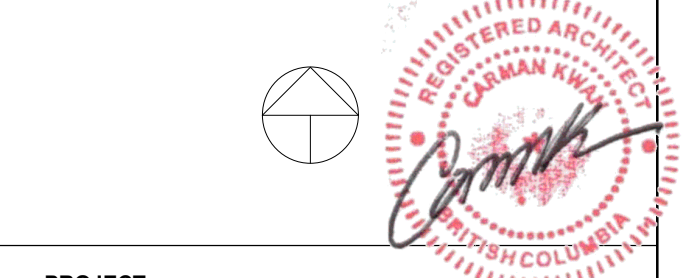


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REVISIONS		
No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
6	ISSUED FOR COORD	2023 DEC 22
8	ISSUED FOR COORD	2024 JAN 25
11	DP SUBMISSION	2024 MAR 15



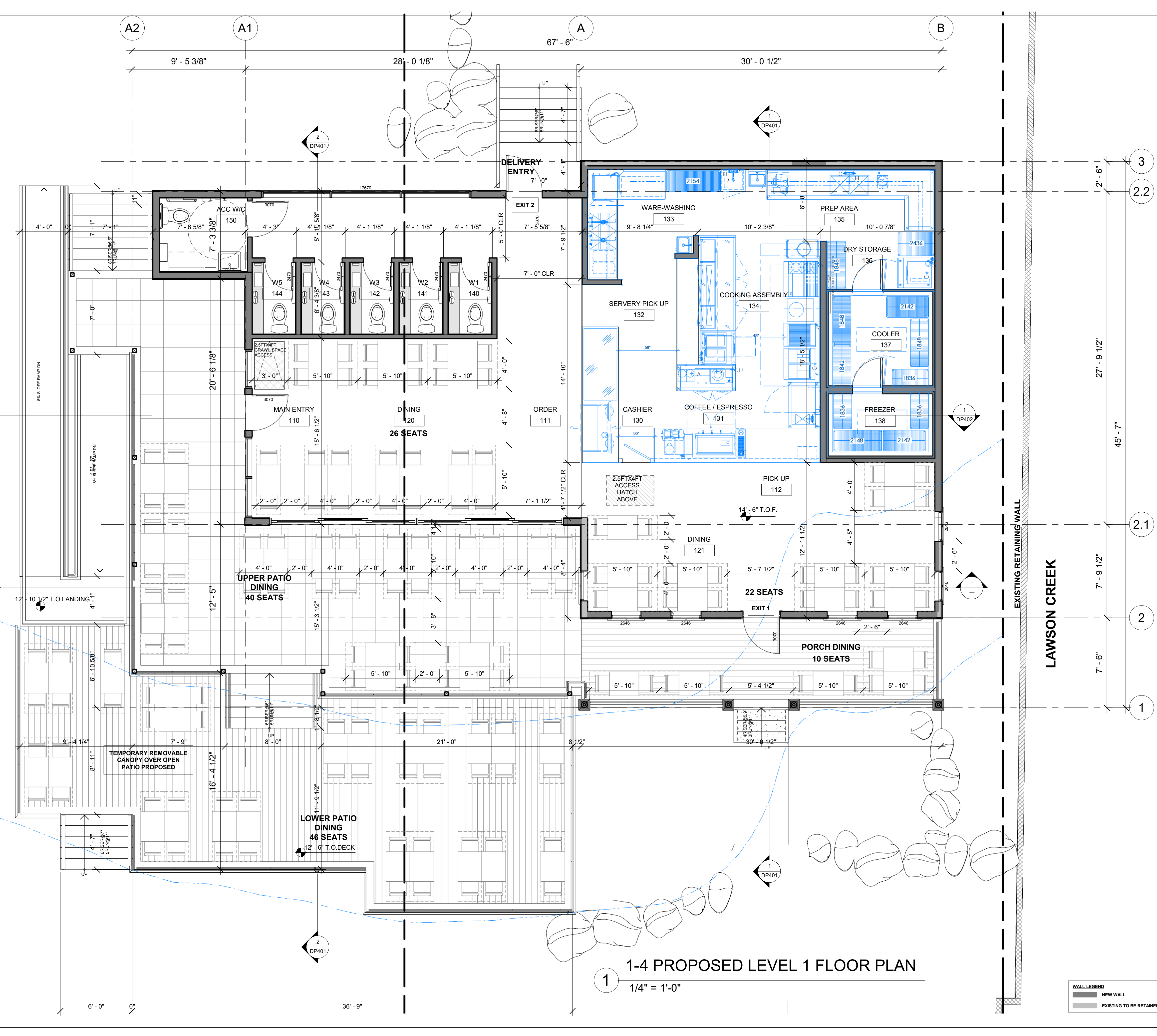
**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
**PROPOSED  
LEVEL 1 FLOOR  
PLAN (SEATING  
LAYOUT)**

Date	2024 MAR 15	Project number	2329
Scale	As indicated	<b>DP200</b>	Approved by CK
Drawn by	HD		

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**1-4 PROPOSED LEVEL 1 FLOOR PLAN**  
1/4" = 1'-0"

WALL LEGEND	
	NEW WALL
	EXISTING TO BE RETAINED



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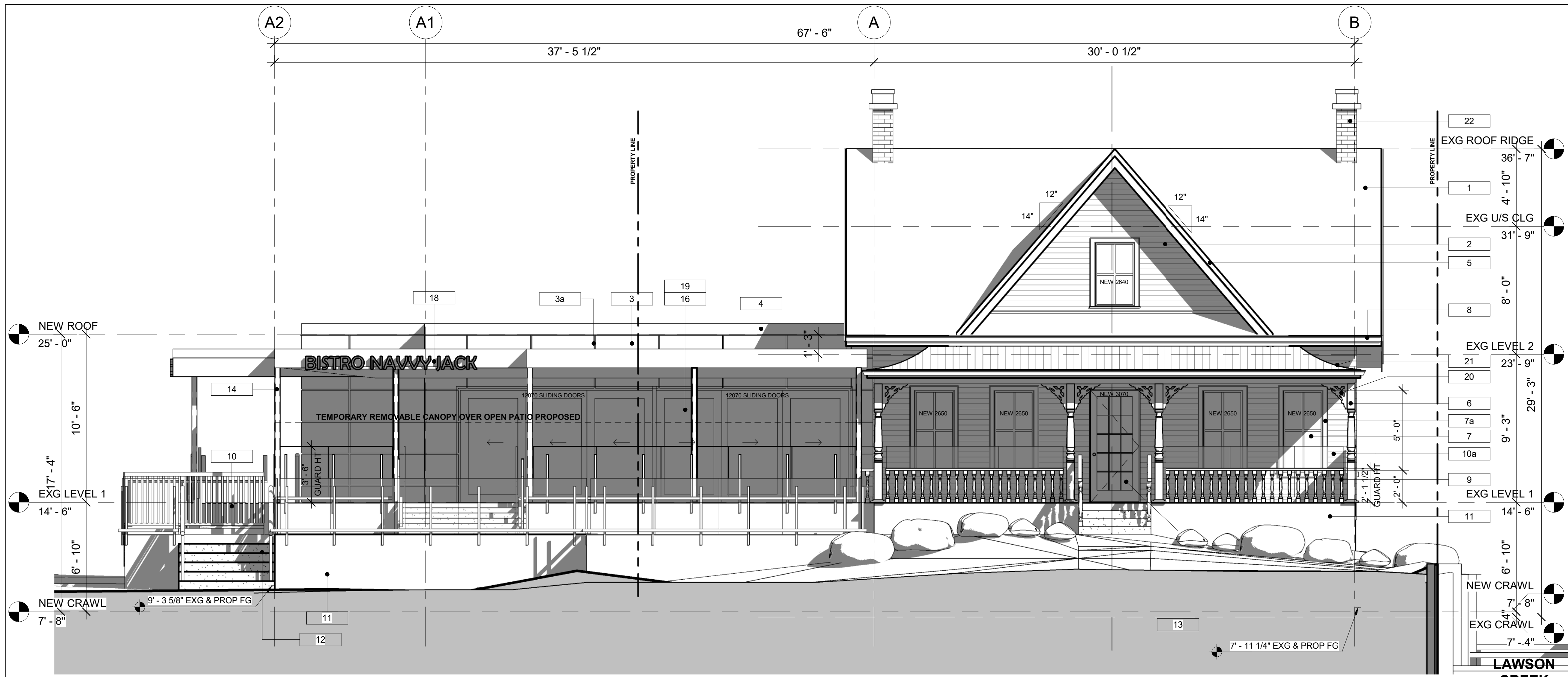
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PORCH CURVED INTERIOR SOFFIT AT SIDE ELEVATIONS



1-4 SOUTH ELEVATION  
1/4" = 1'-0"

REVISIONS		
No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15

MATERIAL NOTES	
#	DESCRIPTION

- 1 RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
- 2 PAINTED WOODEN DROP SIDING
- 3 PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL
- 3a 1" REVEAL
- 4 PREFINISHED METAL CAP FLASHING
- 5 1X4 ON 2X12 PTD WOOD FASCIA
- 6 PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN
- 7 NEW VINYL DOUBLE GLAZED WINDOWS WITH SUBSTANTIAL FRAME SIZE
- 7a PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
- 8 PREFINISHED ALUMINUM GUTTER
- 9 PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN
- 10 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
- 10a 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS
- 11 CAST-IN-PLACE CONCRETE FOUNDATION
- 12 CAST-IN-PLACE CONCRETE STAIRS
- 13 TEMPERED DOUBLE GLAZED ENTRY DOOR
- 14 PAINTED GALVANIZED STEEL COLUMN
- 16 3-PANEL EXTERIOR SLIDING DOORS
- 18 RESTAURANT SIGNAGE
- 19 ANODIZED ALUMINUM STOREFRONT SYSTEM
- 20 PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS
- 21 METAL CURVED HIPPED ROOF TO MATCH ORIGINAL ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF
- 22 BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS

PROJECT:  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

DRAWING TITLE  
**PROPOSED SOUTH ELEVATION**

Date	2024 MAR 15	Project number	2329
Scale	1/4" = 1'-0"	<div style="font-size: 2em; font-weight: bold;">DP301</div>	
Drawn by	HD		
Approved by	CK		

2024-03-15 10:17:11 AM









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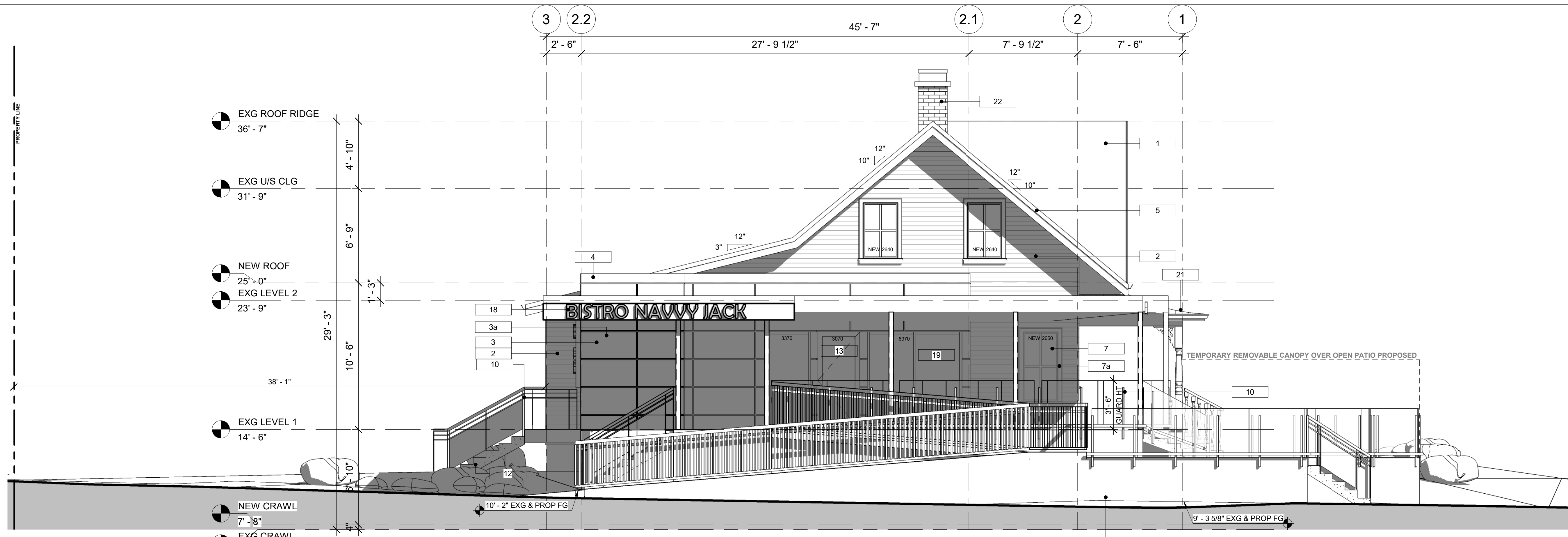
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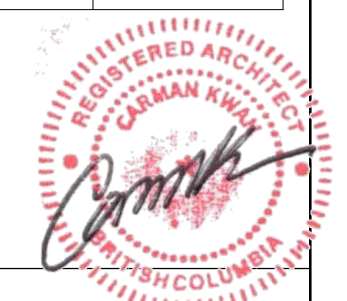
**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15



**1-4 WEST ELEVATION**  
1/4" = 1'-0"

MATERIAL NOTES	
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL
3a	1" REVEAL
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
7	NEW VINYL DOUBLE GLAZED WINDOWS WITH SUBSTANTIAL FRAME SIZE
7a	PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
10	1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
13	TEMPERED DOUBLE GLAZED ENTRY DOOR
18	RESTAURANT SIGNAGE
19	ANODIZED ALUMINUM STOREFRONT SYSTEM
21	METAL CURVED HIPPED ROOF TO MATCH ORIGINAL ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
**PROPOSED WEST ELEVATION**

Date	2024 MAR 15	Project number	2329
Scale	1/4" = 1'-0"	<p style="font-size: 2em; font-weight: bold;">DP304</p>	
Drawn by	HD		
Approved by	CK		

2024-03-15 10:17:25 AM



