



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE

CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. COPYRIGHT RESERVED.

Description

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

Date

REVISIONS

5	ISSUED FOR INFO	2023 NOV 22
6	ISSUED FOR COORD	2023 DEC 22
7	ISSUED FOR COORD	2024 JAN 12
8	ISSUED FOR COORD	2024 JAN 25
10	ISSUED FOR COORD	2024 MAR 12
11	DP SUBMISSION	2024 MAR 15



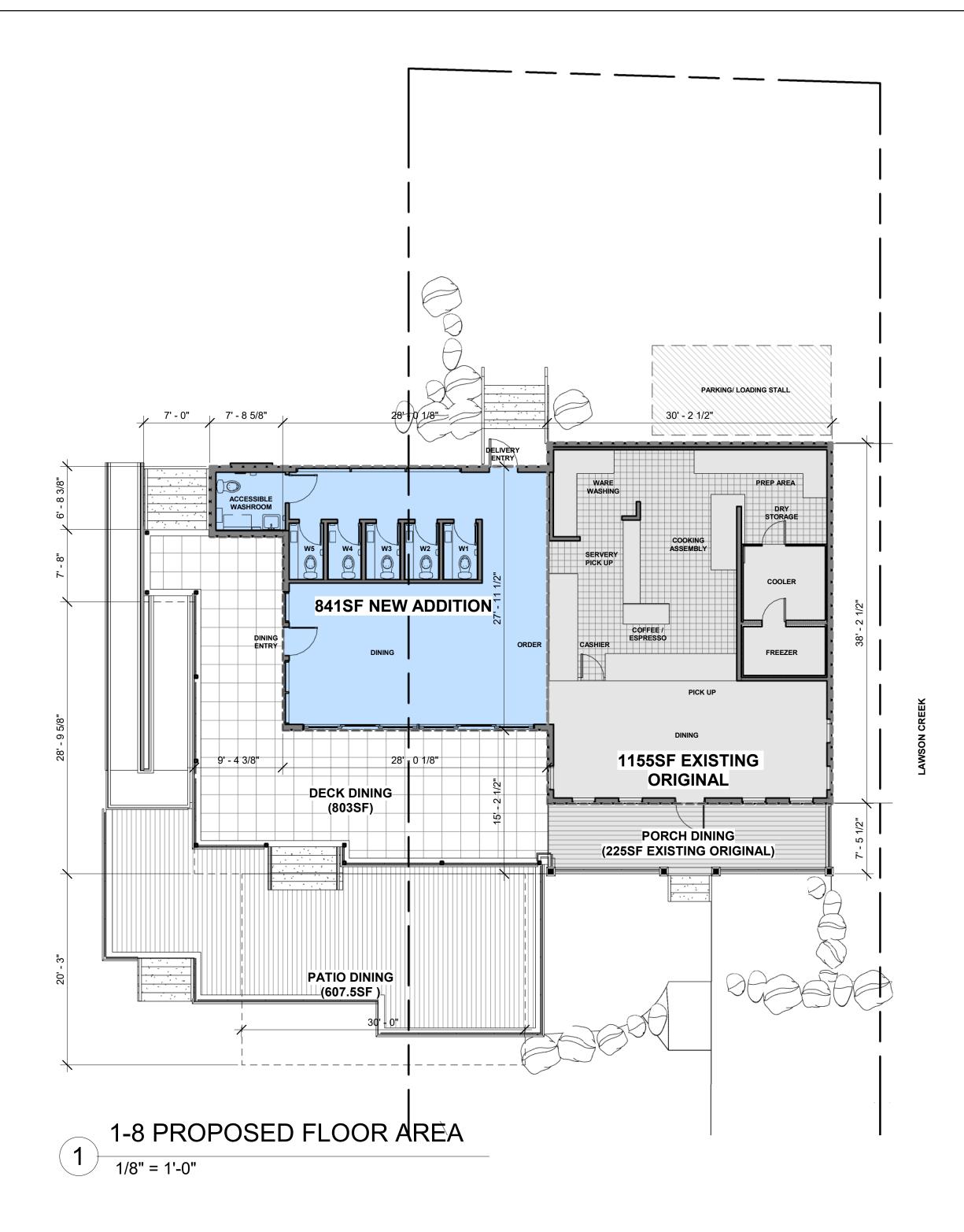
LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

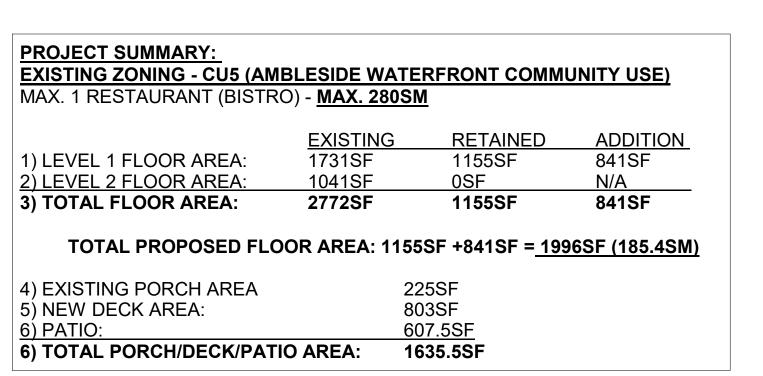
NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

DRAWING TITLE

SITE PLAN

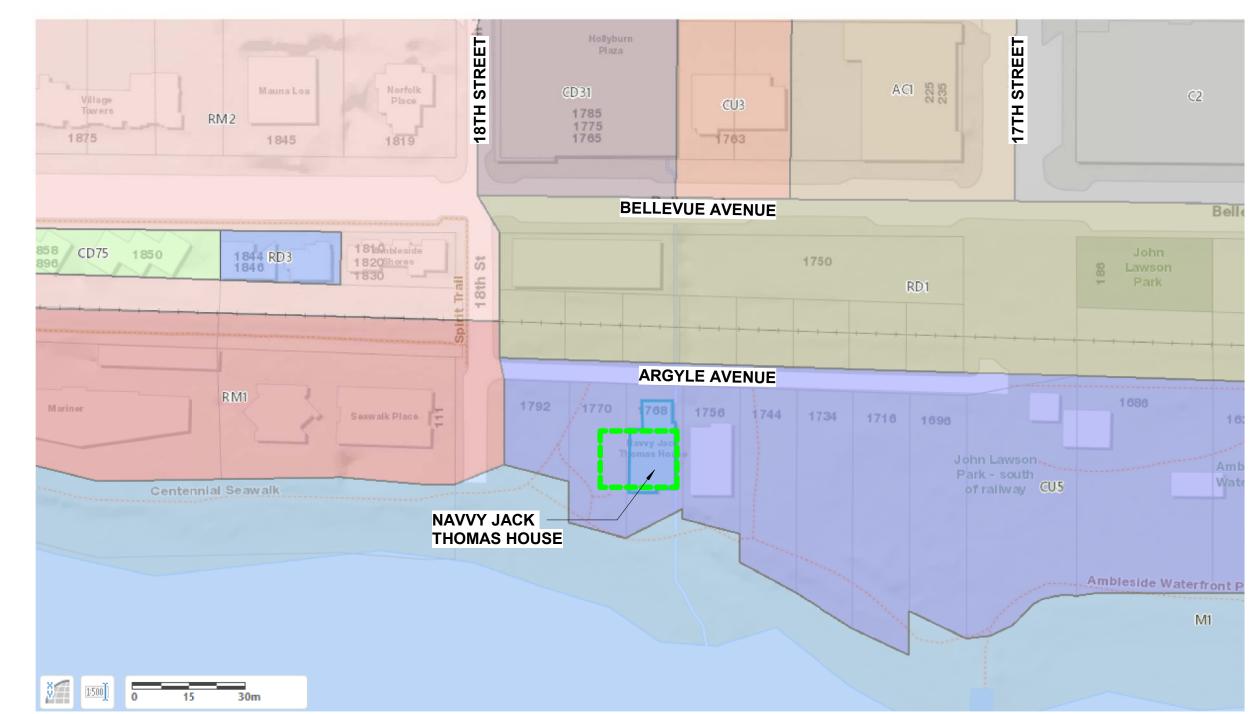
Date	Project number
2024 MAR 15	2329
Scale 1/8" = 1'-0"	
Drawn by HD	DP100
Approved by CK	







SITE CONTEXT - AERIAL



SITE CONTEXT - ZONING

LEGEND

AC1 - AMBLESIDE CENTRE ZONE

C2 - COMMERCIAL ZONE

CD31 - COMPREHENSIVE DEVELOPMENT ZONE

CD75 - COMPREHENSIVE DEVELOPMENT ZONE - COMMUNITY/PUBLIC USE ZONE - AMBLESIDE WATERFRONT COMMUNITY USE - MARINE ZONE - DUPLEX DWELLING ZONE - DUPLEX DWELLING ZONE - MULTIPLE DWELLING ZONE - MULTIPLE DWELLING ZONE



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679

E: INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE **ASSUMED** ON THE

WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

No.	Description		Date
1	ISSUED FOR DISCUSSION	2023	AUG 2
5	ISSUED FOR INFO	2023	NOV 2
11	DP SUBMISSION	2024	MAR 1



LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

DRAWING TITLE

SITE COVERAGE + SITE CONTEXT

Date	Project number
2024 MAR 15	2329
Scale 1/8" = 1'-0"	
Drawn by	DP101
Approved by CK	



WATERFRONT VIEW



WESTSIDE VIEW



ARGYLE AVENUE VIEW

- STAINED CEDAR ROOFING SHINGLES BM ARBOCOAT EXTERIOR STAIN SEMI-TRANSPARENT

K63820

WOODEN DROP SIDING SHERWIN WILLIAMS PAINT PENDRELL VERDIGRIS VC-22

TRIM & WINDOW SASH
SHERWIN WILLIAMS PAINT PENDRELL GREEN

SHERWIN WILLIAMS PAINT PENDRELL VERDIGRIS VC-22

BALUSTERS & BRACKETS
 SHERWIN WILLIAMS PAINT
 PENDRELL VERDIGRIS VC-22

PORCH COLUMNS
SHERWIN WILLIAMS PAINT PENDRELL GREEN

TABLE 511.1 - HISTORICAL COLOUR SCHEME: NAVVY JACK HOUSE, 1768 ARGYLE AVENUE, WEST VANCOUVER BC

	ELEMENT	COLOUR	CODE*	SAMPLE	FINISH
A	Horizontal Drop Wood Siding	Pendrell Verdigris	VC-22		Flat
В	Exterior drop wood horizontal sidings	Pendrell Verdigris	VC-22		Flat
C	Window and Door surround casings, sills,	Pendrell Green	VC-18		High Glos
D	Lathe-turned Posts on verandah	Pendrell Green	VC-18		High Glos
E	Decorative Wood Brackets	Pendrell Verdigris	VC-22		Semi Glos
F	Facias, Bargeboards	Pendrell Verdigris	VC-22		Semi Glos
G	Wood ballustrades	Pendrell Verdigris	VC-22		Semi Glos
Н	Porch Flooring	Edwardian Porch Grey	VC-26		Flat
ı	Exposed roof raftertails and tongue-and-groove soffits	Pendrell Verdigris	VC-22		Semi Glos
J	Exterior wood window sashes	Pendrell Green	VC-18		High Glos
K	Exterior wood door sashes	Pendrell Green	VC-18		High Glos
L	Curved tin roof cladding with nailed down wood battens over	BM Arborcoat Exterior Stain Semi-Transparent	K63820		Stained
M	Cedar Shingle Roof	BM Arborcoat Exterior Stain Semi-Transparent	K63820		Stained



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

REVISIONS			
No.	Description	Date	
5	ISSUED FOR INFO	2023 NOV 22	
11	DP SUBMISSION	2024 MAR 15	
		77	



PROJECT: 2024-U5-13

LOT A BLOCK U DISTRICT LOT 775

PLAN 16965

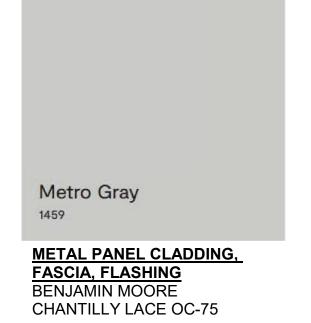
NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

DRAWING TITLE

PERSPECTIVE, MATERIALS, & COLOURS

Date		Project number
2024 N	IAR 15	2329
Scale		
Drown by		DP102
Drawn by	HD	
Approved by		
	CK	

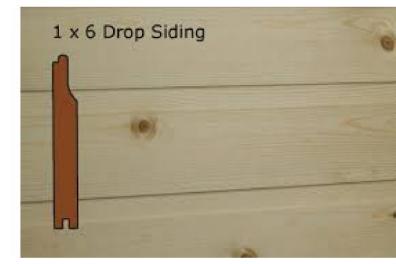
MATERIAL & COLOURS



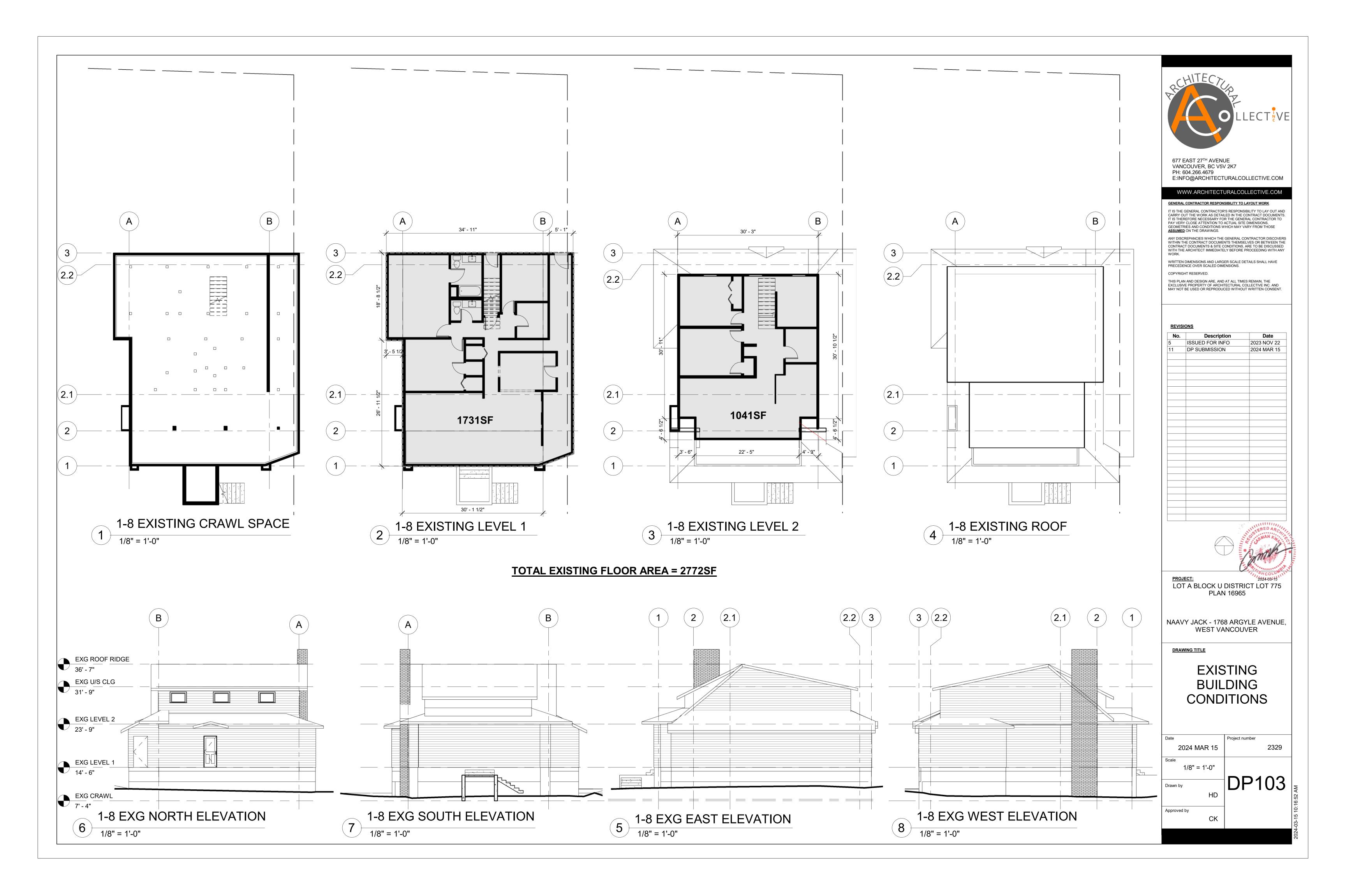


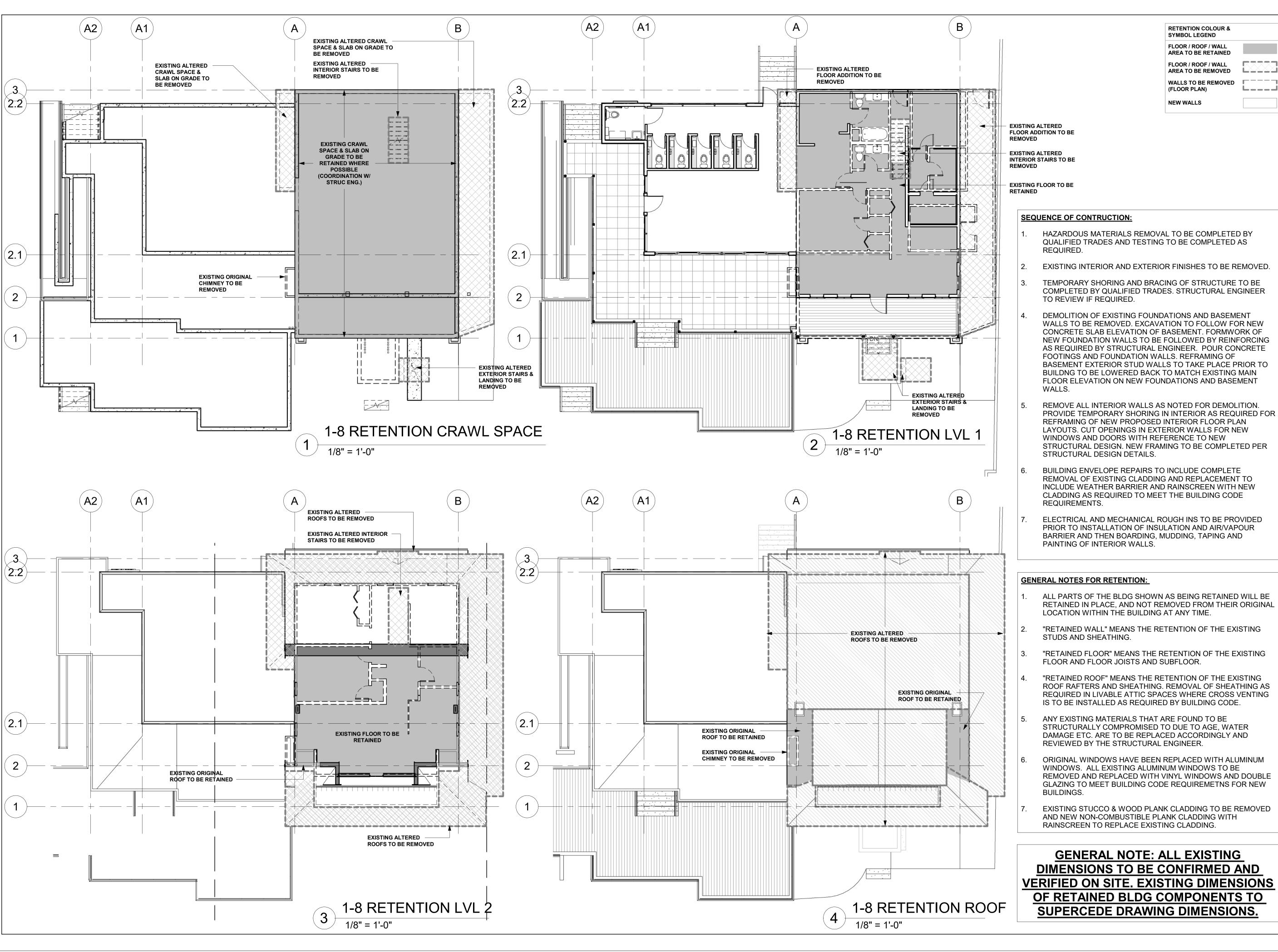


ANODIZED ALUMINUM STOREFRONT



DROP SIDING





RETENTION COLOUR & SYMBOL LEGEND FLOOR / ROOF / WALL AREA TO BE RETAINED

FLOOR / ROOF / WALL AREA TO BE REMOVED WALLS TO BE REMOVED (FLOOR PLAN)

677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE

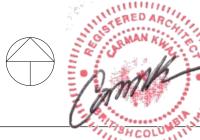
ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

<u>REVISIONS</u>

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15



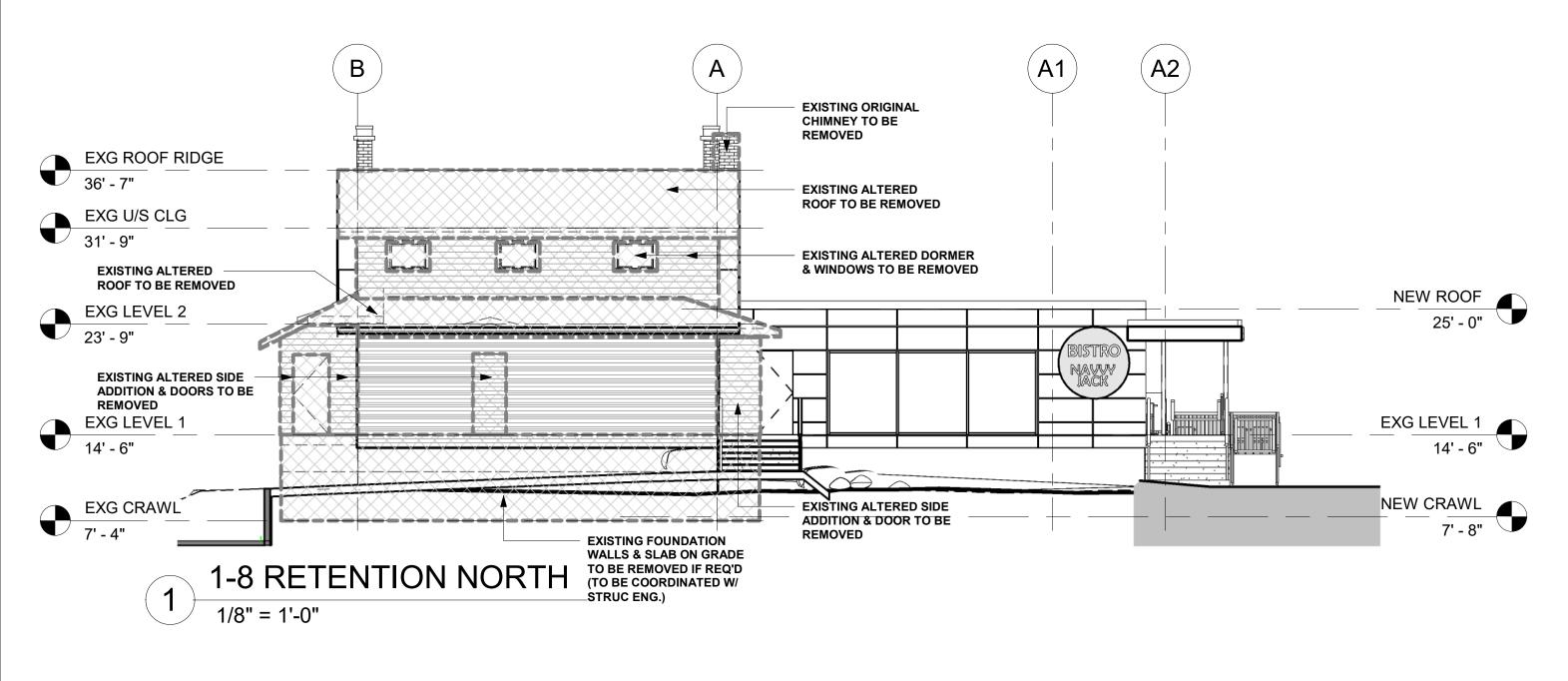
LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

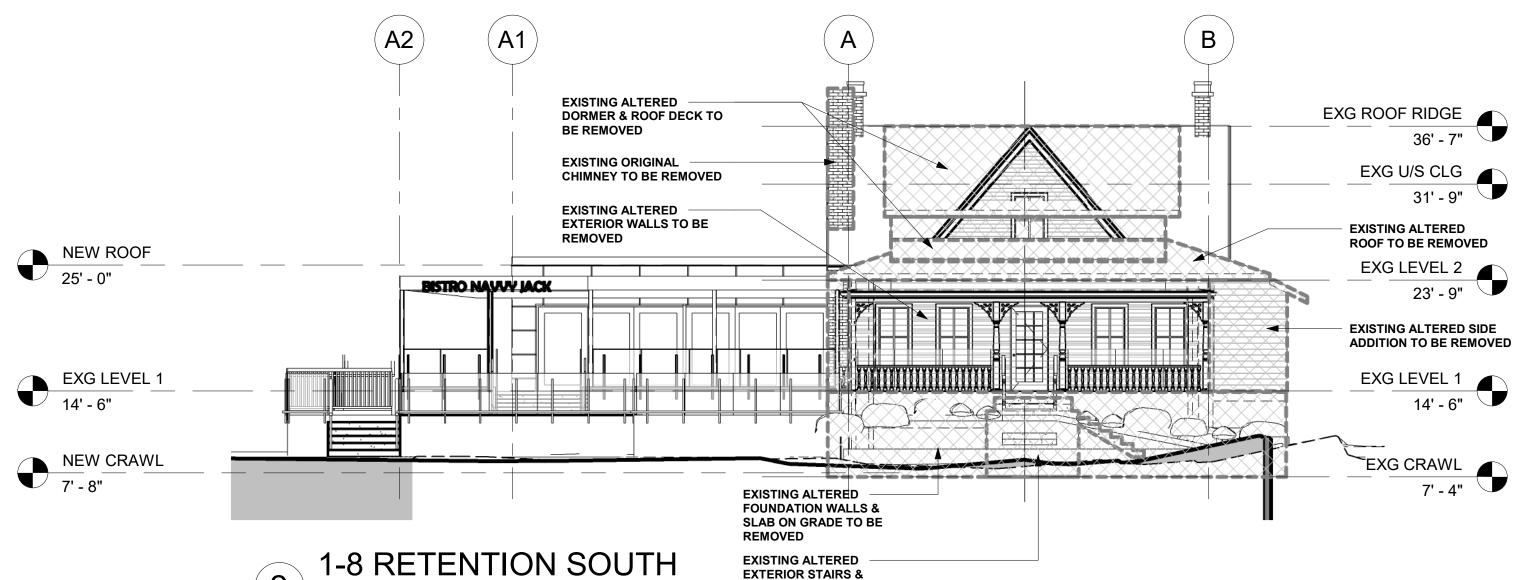
NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

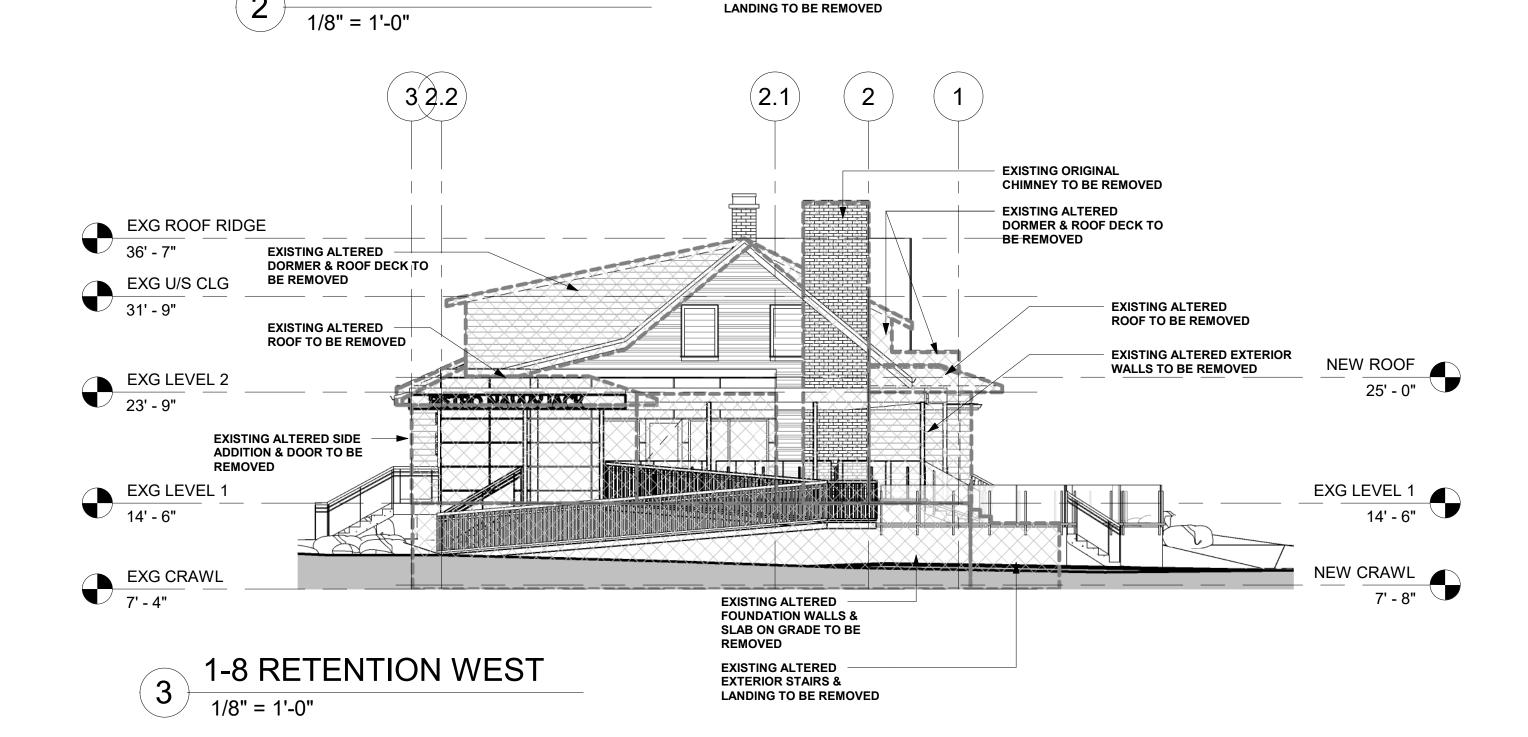
DRAWING TITLE

RETENTION FLOOR PLANS

Date		Project number
2024 MAF	R 15	2329
Scale		
As indicat	ted	
Drawn by		DP110
	HD	
Approved by		
	CK	







SEQUENCE OF CONTRUCTION:

- HAZARDOUS MATERIALS REMOVAL TO BE COMPLETED BY QUALIFIED TRADES AND TESTING TO BE COMPLETED AS REQUIRED.
- 2. EXISTING INTERIOR AND EXTERIOR FINISHES TO BE REMOVED.
- 3. TEMPORARY SHORING AND BRACING OF STRUCTURE TO BE COMPLETED BY QUALIFIED TRADES. STRUCTURAL ENGINEER TO REVIEW IF REQUIRED.
- DEMOLITION OF EXISTING FOUNDATIONS AND BASEMENT WALLS TO BE REMOVED. EXCAVATION TO FOLLOW FOR NEW CONCRETE SLAB ELEVATION OF BASEMENT. FORMWORK OF NEW FOUNDATION WALLS TO BE FOLLOWED BY REINFORCING AS REQUIRED BY STRUCTURAL ENGINEER. POUR CONCRETE FOOTINGS AND FOUNDATION WALLS. REFRAMING OF BASEMENT EXTERIOR STUD WALLS TO TAKE PLACE PRIOR TO BUILDING TO BE LOWERED BACK TO MATCH EXISTING MAIN FLOOR ELEVATION ON NEW FOUNDATIONS AND BASEMENT WALLS.
- 5. REMOVE ALL INTERIOR WALLS AS NOTED FOR DEMOLITION.
 PROVIDE TEMPORARY SHORING IN INTERIOR AS REQUIRED FOR REFRAMING OF NEW PROPOSED INTERIOR FLOOR PLAN LAYOUTS. CUT OPENINGS IN EXTERIOR WALLS FOR NEW WINDOWS AND DOORS WITH REFERENCE TO NEW STRUCTURAL DESIGN. NEW FRAMING TO BE COMPLETED PER STRUCTURAL DESIGN DETAILS.
- 6. BUILDING ENVELOPE REPAIRS TO INCLUDE COMPLETE REMOVAL OF EXISTING CLADDING AND REPLACEMENT TO INCLUDE WEATHER BARRIER AND RAINSCREEN WITH NEW CLADDING AS REQUIRED TO MEET THE BUILDING CODE REQUIREMENTS.
- 7. ELECTRICAL AND MECHANICAL ROUGH INS TO BE PROVIDED PRIOR TO INSTALLATION OF INSULATION AND AIR/VAPOUR BARRIER AND THEN BOARDING, MUDDING, TAPING AND PAINTING OF INTERIOR WALLS.

RETENTION COLOUR & SYMBOL LEGEND

FLOOR / ROOF / WALL

AREA TO BE RETAINED

FLOOR / ROOF / WALL

(FLOOR PLAN)

AREA TO BE REMOVED
WALLS TO BE REMOVED

GENERAL NOTES FOR RETENTION:

- ALL PARTS OF THE BLDG SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME.
- . "RETAINED WALL" MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING.
- "RETAINED FLOOR" MEANS THE RETENTION OF THE EXISTING FLOOR AND FLOOR JOISTS AND SUBFLOOR.
- . "RETAINED ROOF" MEANS THE RETENTION OF THE EXISTING ROOF RAFTERS AND SHEATHING. REMOVAL OF SHEATHING AS REQUIRED IN LIVABLE ATTIC SPACES WHERE CROSS VENTING IS TO BE INSTALLED AS REQUIRED BY BUILDING CODE.
- ANY EXISTING MATERIALS THAT ARE FOUND TO BE STRUCTURALLY COMPROMISED TO DUE TO AGE, WATER DAMAGE ETC. ARE TO BE REPLACED ACCORDINGLY AND REVIEWED BY THE STRUCTURAL ENGINEER.
- ORIGINAL WINDOWS HAVE BEEN REPLACED WITH ALUMINUM WINDOWS. ALL EXISTING ALUMINUM WINDOWS TO BE REMOVED AND REPLACED WITH VINYL WINDOWS AND DOUBLE GLAZING TO MEET BUILDING CODE REQUIREMETNS FOR NEW BUILDINGS.
- 7. EXISTING STUCCO & WOOD PLANK CLADDING TO BE REMOVED AND NEW NON-COMBUSTIBLE PLANK CLADDING WITH RAINSCREEN TO REPLACE EXISTING CLADDING.

GENERAL NOTE: ALL EXISTING
DIMENSIONS TO BE CONFIRMED AND
VERIFIED ON SITE. EXISTING DIMENSIONS
OF RETAINED BLDG COMPONENTS TO
SUPERCEDE DRAWING DIMENSIONS.



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWLINGS.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

COPYRIGHT RESERVED.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE

EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15

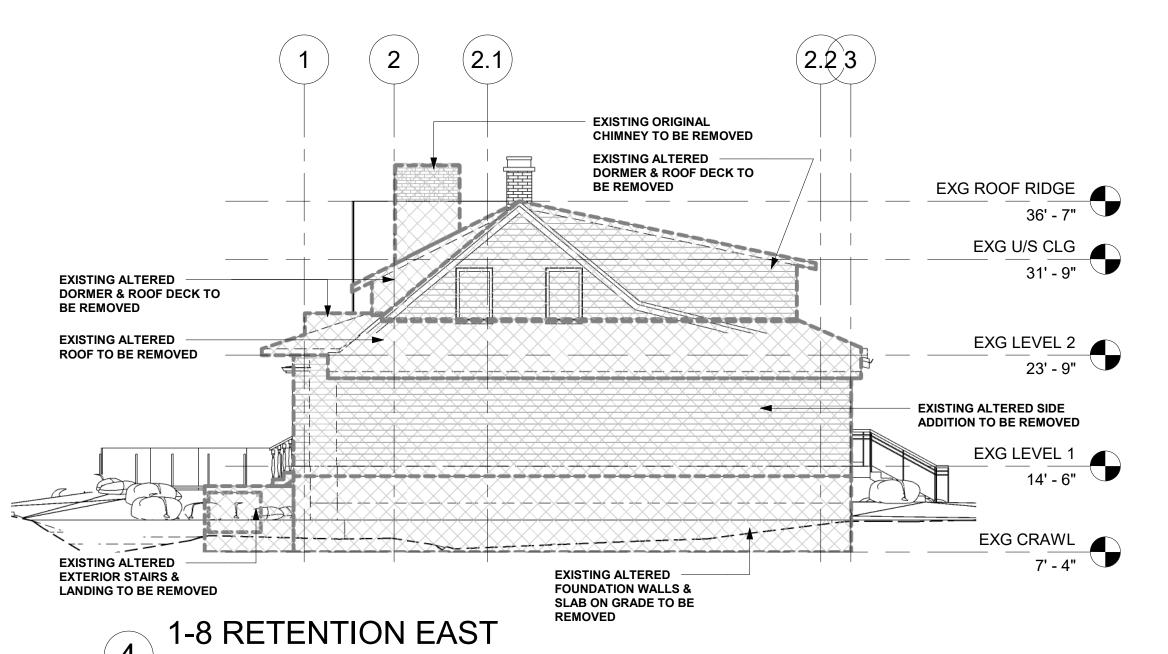
PROJECT: 2024-08115 LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

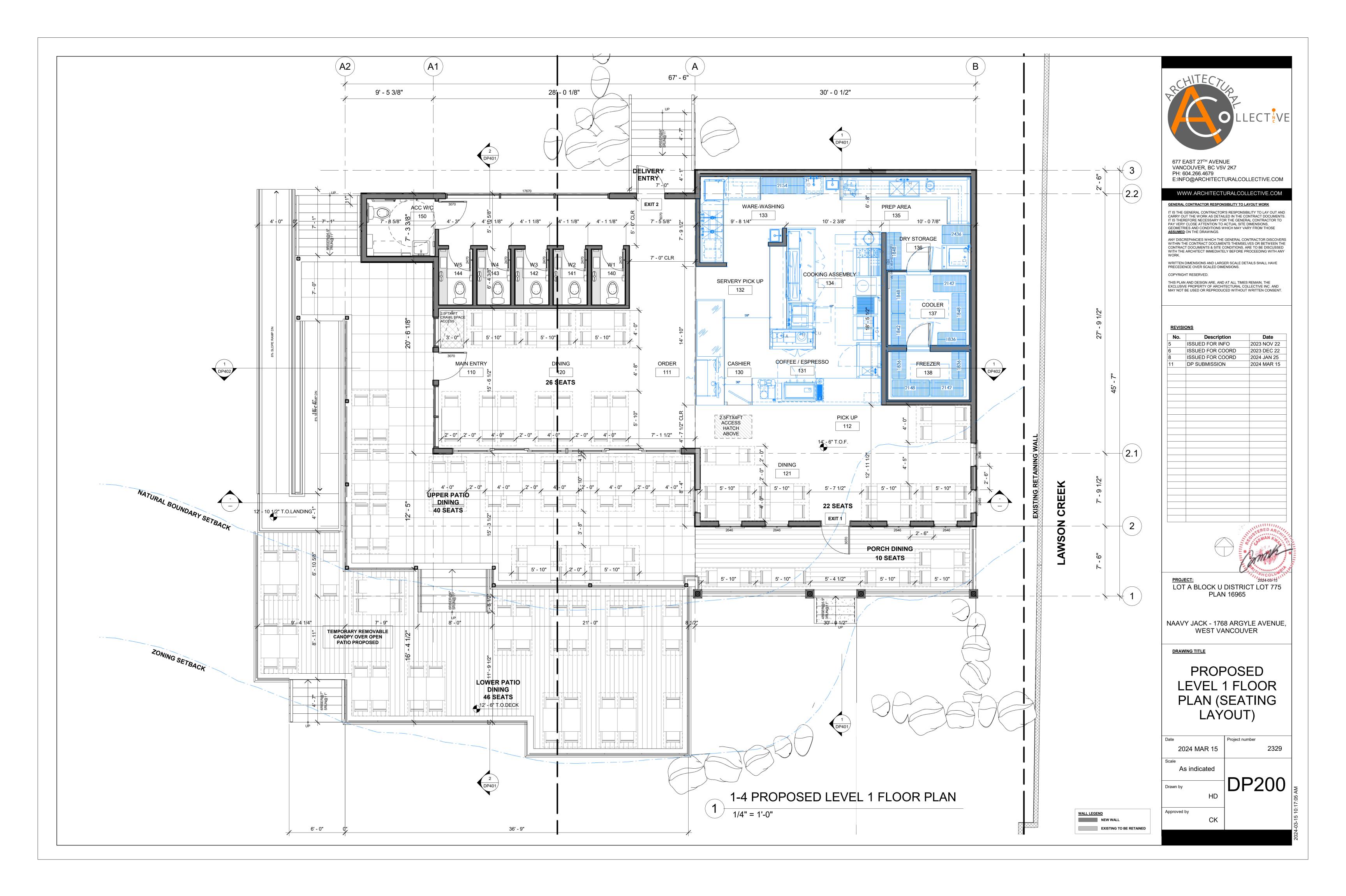
NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

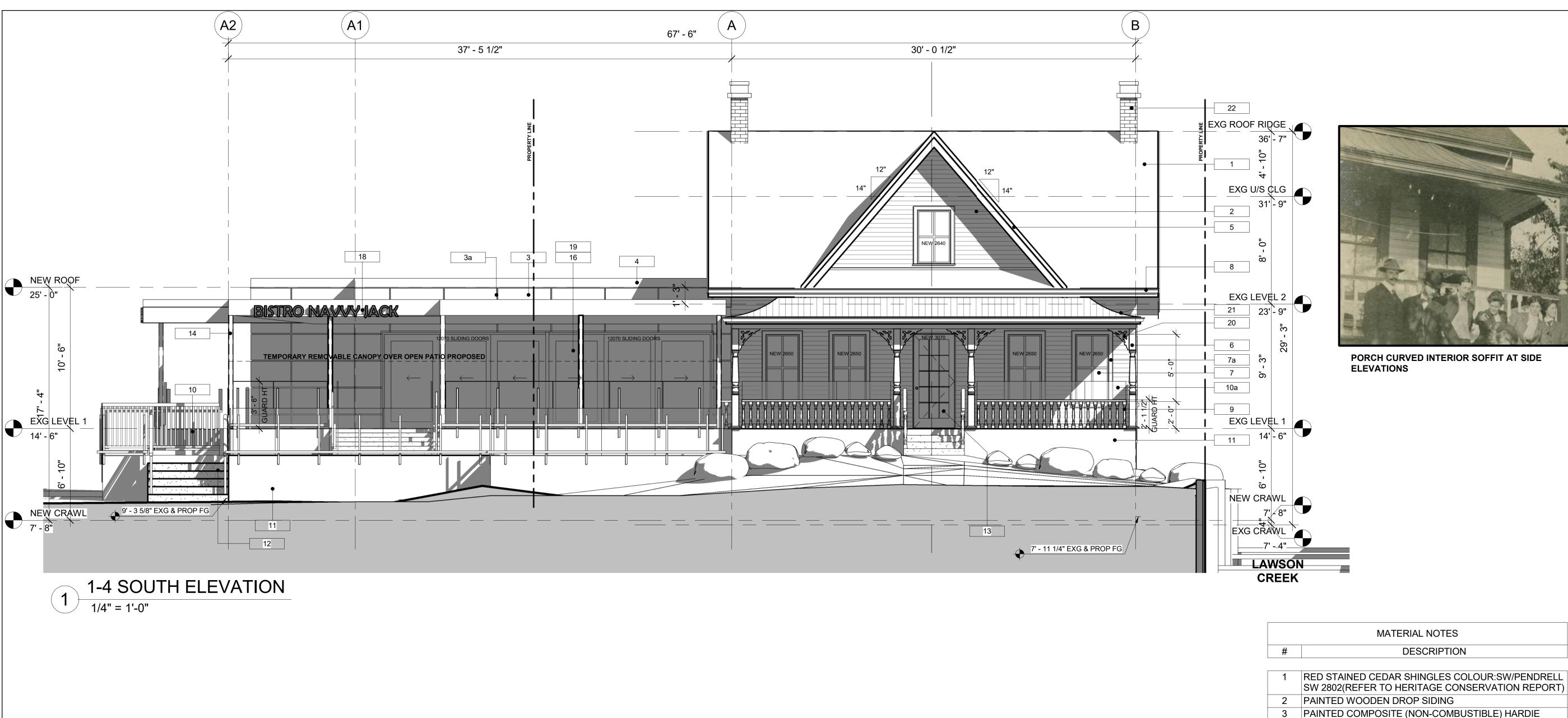
DRAWING TITLE

RETENTION ELEVATIONS

Date 2024 MAR 15	Project number 2329
Scale As indicated	
Drawn by	DP111
Approved by CK	









PANEL 3a | 1" REVEAL

DESIGN

4 PREFINISHED METAL CAP FLASHING

6 PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH

7a PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN

9 PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL

10 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE

TO INTERIOR SIDE OF WOOD PICKETS

13 TEMPERED DOUBLE GLAZED ENTRY DOOR

19 ANODIZED ALUMINUM STOREFRONT SYSTEM

20 PAINTED WOOD BRACKETS TO MATCH ORIGINAL

21 METAL CURVED HIPPED ROOF TO MATCH ORIGINAL ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR

22 BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL

14 PAINTED GALVANIZED STEEL COLUMN 16 3-PANEL EXTERIOR SLIDING DOORS

11 CAST-IN-PLACE CONCRETE FOUNDATION

12 CAST-IN-PLACE CONCRETE STAIRS

18 RESTAURANT SIGNAGE

ARCHIVAL PHOTOS

ARCHIVAL PHOTOS

SHINGLE ROOF

MOUNTED POWDERCOATED ALUMINUM STANCHIONS

10a | 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED |

7 NEW VINYL DOUBLE GLAZED WINDOWS WITH

5 1X4 ON 2X12 PTD WOOD FASCIA

SUBSTANTIAL FRAME SIZE

8 PREFINISHED ALUMINUM GUTTER

ORIGINAL DESIGN



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWNES.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 2
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 1



LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

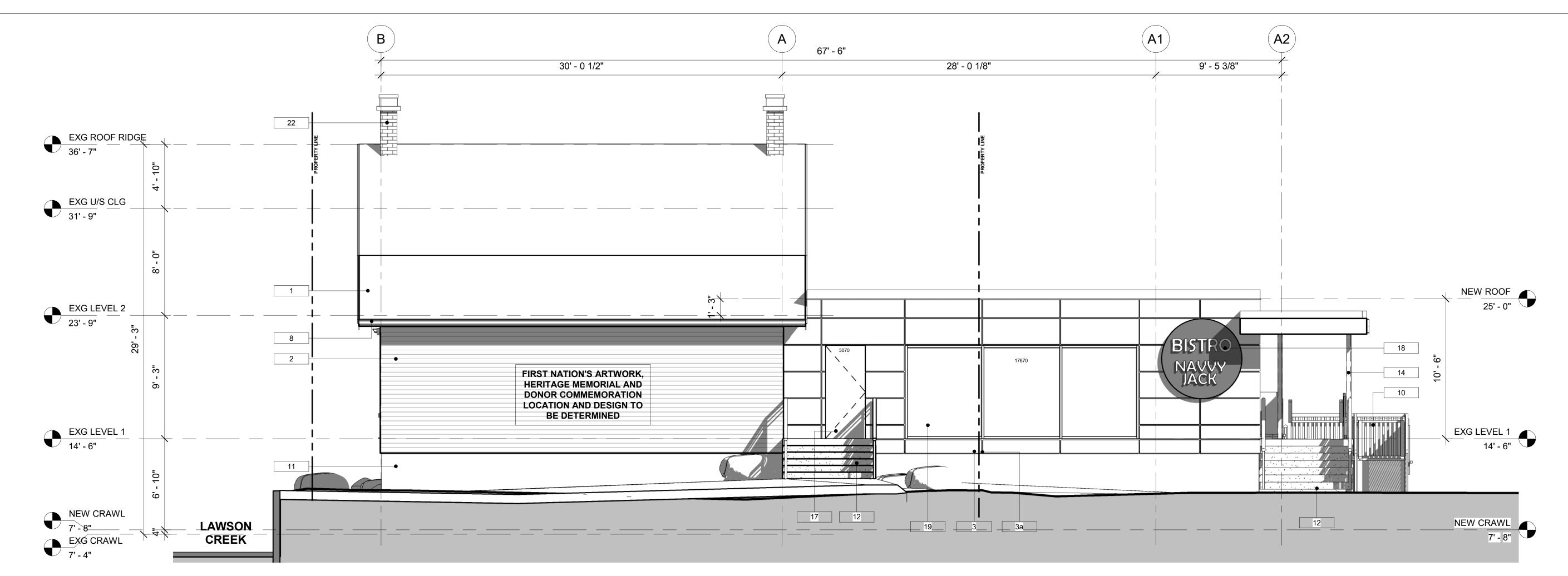
NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

DRAWING TITLE

PROPOSED SOUTH

and the second s
Project number
2329
DP301

ELEVATION



1-4 NORTH ELEVATION
1/4" = 1'-0"

	MATERIAL NOTES
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL
3a	1" REVEAL
8	PREFINISHED ALUMINUM GUTTER
10	1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
14	PAINTED GALVANIZED STEEL COLUMN
17	PAINTED SOLID WOOD OR METAL DOOR
18	RESTAURANT SIGNAGE
19	ANODIZED ALUMINUM STOREFRONT SYSTEM
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.

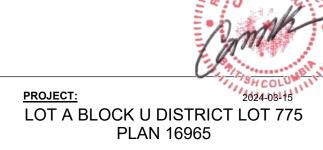
WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

COPYRIGHT RESERVED.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 1



NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

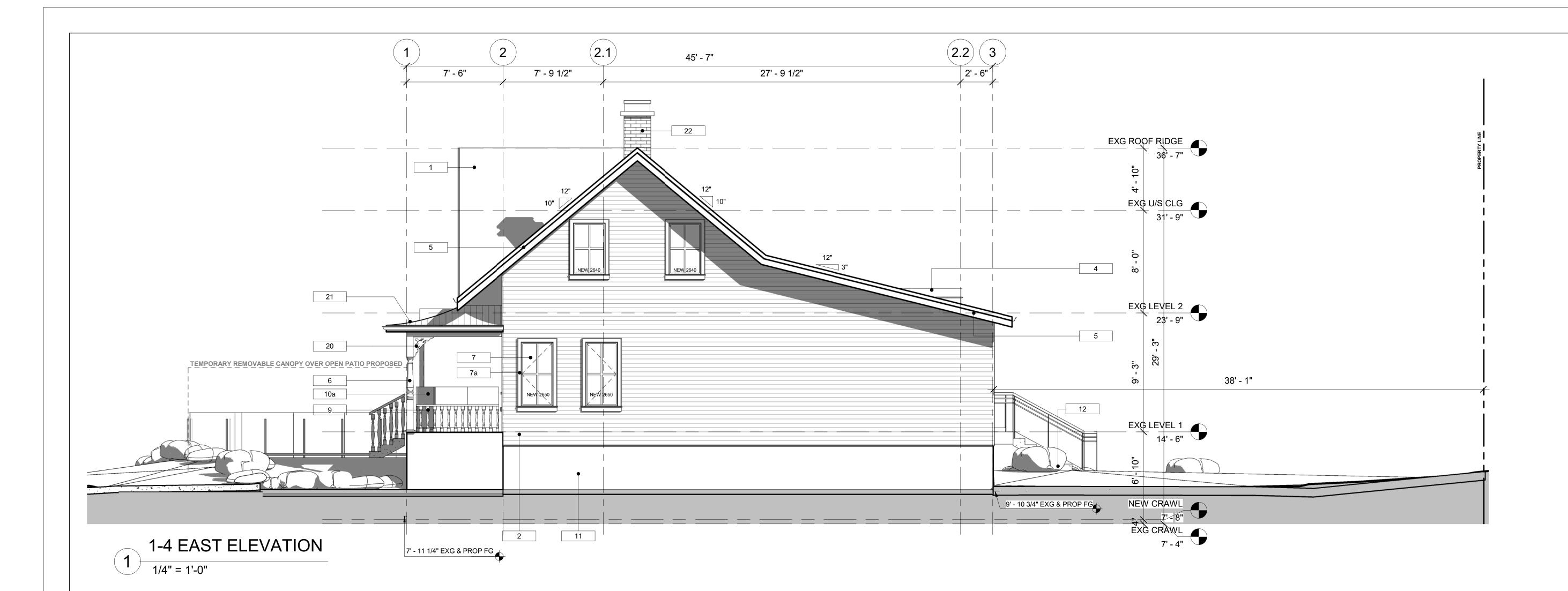
DDOD

DRAWING TITLE

PROPOSED NORTH ELEVATION

Date	Project number
2024 MAR 15	2329
Scale	
1/4" = 1'-0"	
	DP302
Drawn by	DESUZ
HD	
Approved by	
CK	

>



	MATERIAL NOTES
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
6	PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN
7	NEW VINYL DOUBLE GLAZED WINDOWS WITH SUBSTANTIAL FRAME SIZE
7a	PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
9	PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN
10a	1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
20	PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS
21	METAL CURVED HIPPED ROOF TO MATCH ORIGINAL ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

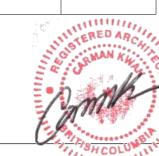
ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. COPYRIGHT RESERVED.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15



PROJECT: 2024-U5-15

LOT A BLOCK U DISTRICT LOT 775

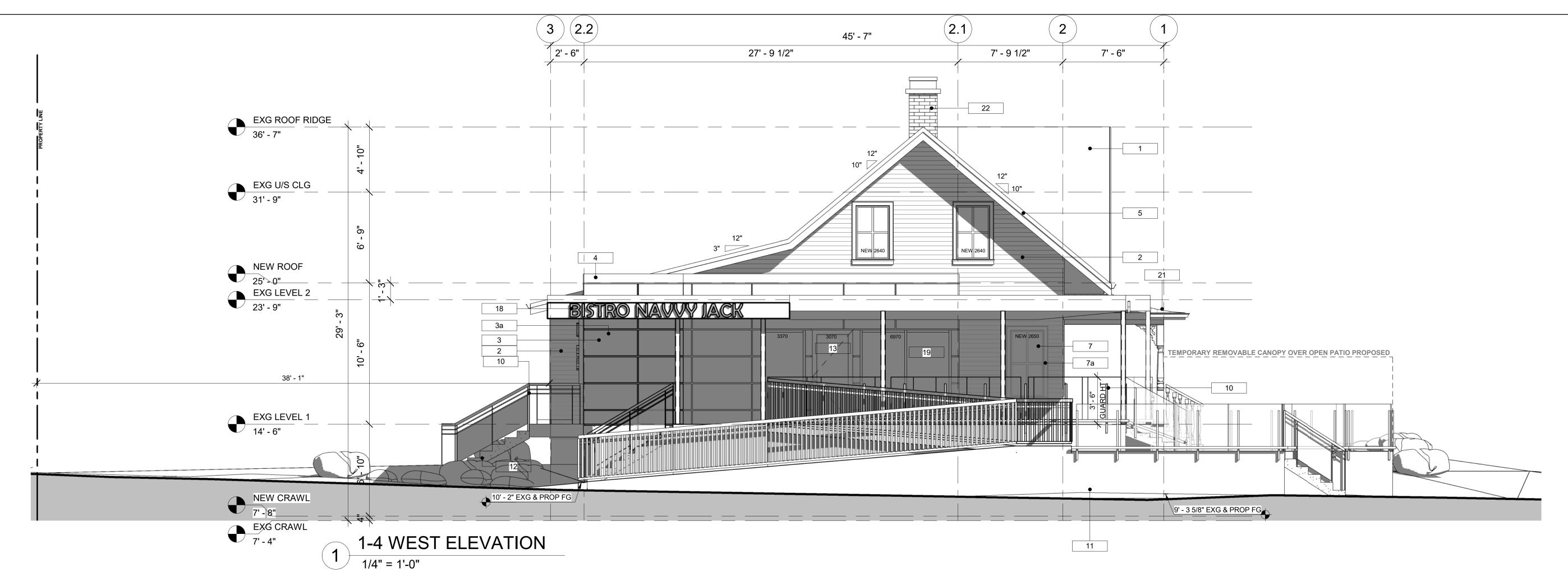
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

DRAWING TITLE

PROPOSED EAST **ELEVATION**

Date	Project number
2024 MAR 15	2329
Scale	
1/4" = 1'-0"	
	DD2D2
Drawn by	DP303
HD	
Approved by	
СК	



	MATERIAL NOTES	
#	DESCRIPTION	
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)	
2	PAINTED WOODEN DROP SIDING	
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL	
3a	1" REVEAL	
4	PREFINISHED METAL CAP FLASHING	
5	1X4 ON 2X12 PTD WOOD FASCIA	
7	NEW VINYL DOUBLE GLAZED WINDOWS WITH SUBSTANTIAL FRAME SIZE	
7a	PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN	
10	1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS	
11	CAST-IN-PLACE CONCRETE FOUNDATION	
12	CAST-IN-PLACE CONCRETE STAIRS	
13	TEMPERED DOUBLE GLAZED ENTRY DOOR	
18	RESTAURANT SIGNAGE	
19	ANODIZED ALUMINUM STOREFRONT SYSTEM	
21	METAL CURVED HIPPED ROOF TO MATCH ORIGINAL ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF	
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS	



677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK.

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. COPYRIGHT RESERVED.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15



PROJECT: 2024-US-13

LOT A BLOCK U DISTRICT LOT 775

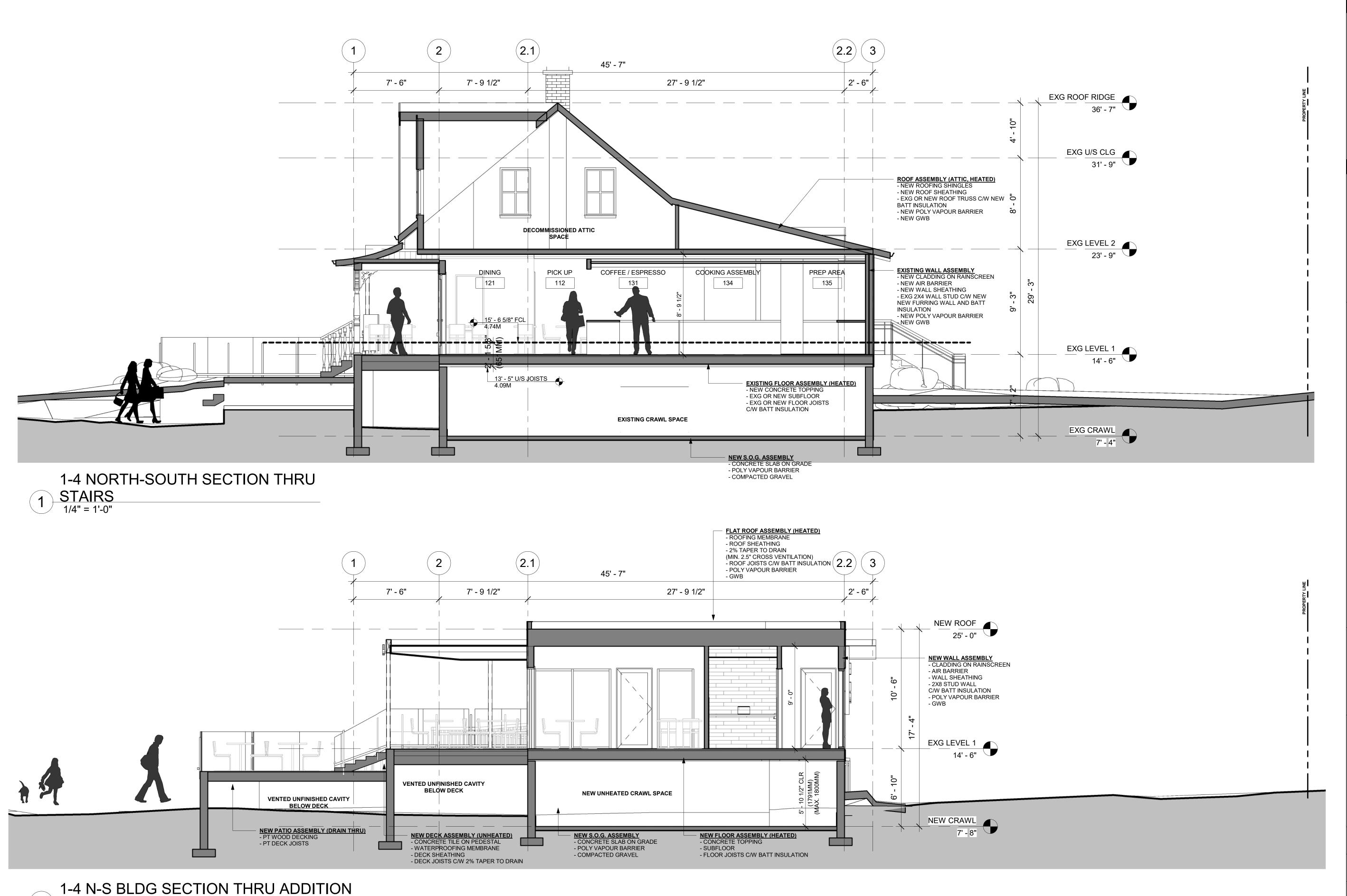
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

DRAWING TITLE

PROPOSED WEST **ELEVATION**

Date	Project number
2024 MAR 15	2329
1/4" = 1'-0"	DD204
Drawn by HD	DP304
Approved by CK	



1/4" = 1'-0"

O LLECT VE

677 EAST 27TH AVENUE VANCOUVER, BC V5V 2K7 PH: 604.266.4679 E:INFO@ARCHITECTURALCOLLECTIVE.COM

WWW.ARCHITECTURALCOLLECTIVE.COM

GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

ANY DISCREPANCIES WHICH THE GENERAL CONTRACTOR DISCOVERS WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN THE CONTRACT DOCUMENTS & SITE CONDITIONS, ARE TO BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK

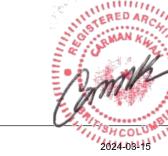
WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

COPYRIGHT RESERVED.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF ARCHITECTURAL COLLECTIVE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

REVISIONS

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 2
11	DP SUBMISSION	2024 MAR 1



LOT A BLOCK U DISTRICT LOT 775
PLAN 16965

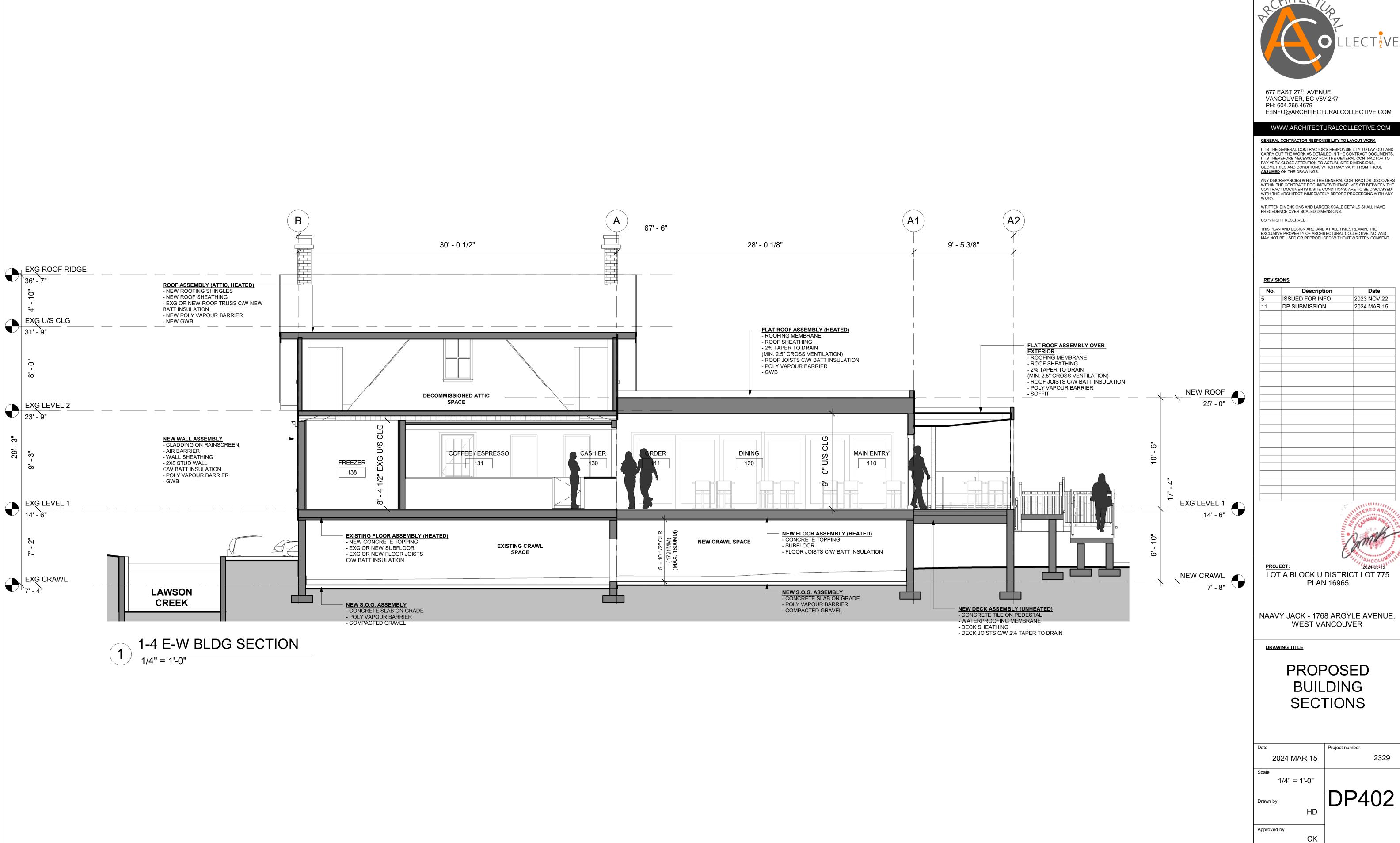
NAAVY JACK - 1768 ARGYLE AVENUE,

WEST VANCOUVER

DRAWING TITLE

PROPOSED BUILDING SECTIONS

Date		Project number
2024 M	AR 15	2329
Scale		
1/4" =	1'-0"	
		DP401
Drawn by		DP401
	HD	
Approved by		
	CK	





E:INFO@ARCHITECTURALCOLLECTIVE.COM

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LAY OUT AND CARRY OUT THE WORK AS DETAILED IN THE CONTRACT DOCUMENTS. IT IS THEREFORE NECESSARY FOR THE GENERAL CONTRACTOR TO PAY VERY CLOSE ATTENTION TO ACTUAL SITE DIMENSIONS, GEOMETRIES AND CONDITIONS WHICH MAY VARY FROM THOSE ASSUMED ON THE DRAWINGS.

WRITTEN DIMENSIONS AND LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

Description	Date
ISSUED FOR INFO	2023 NOV 22
DP SUBMISSION	2024 MAR 15
	ISSUED FOR INFO



LOT A BLOCK U DISTRICT LOT 775

NAAVY JACK - 1768 ARGYLE AVENUE, WEST VANCOUVER

> PROPOSED BUILDING SECTIONS

Date 2024 MAR 15	Project number 2329	
Scale 1/4" = 1'-0"	DD400	
Drawn by HD	DP402	17:31 AM
Approved by CK		2024-03-15 10:17:31 AM
		2024