



# ARGYLE AVENUE ARGYLE AVENUE

**NOTE: RETAIN THE IRRIGATION BOX VALVE IN THE NW CORNER OF THE PARK (1770 ARGYLE AVENUE) IN PLACE IF POSSIBLE.**

**ARBORIST TO SUPERVISE REMOVAL OF CONCRETE PAD WITHIN CRZ OF TREE#10**

**NO PLACEMENT OR STORAGE OF CONSTRUCTION MATERIALS IS PERMITTED WITHIN THE CRZ OF TREES ON THE EAST ADJACENT PROPERTY (1756 ARGYLE AVENUE)**

**ARBORIST TO SUPERVISE PATH CONSTRUCTION WORKS WITHIN CRZ OF TREE#8**

**FOR PEDESTRIAN PASSAGE AND LANDSCAPING PLANTING ONLY. PLANTINGS MUST BE DONE BY HAND & UNDER SUPERVISION OF ARBORIST**

**PROPOSED WALKWAY WITHIN TREE PROTECTION ZONES MUST BE INSTALLED UNDER ARBORIST SUPERVISION, ABOVE GRADE, USING ZERO EXCAVATION AND LOW IMPACT METHODS. LOW-IMPACT METHODS SHOULD INCLUDE UTILIZED AERATED SUBBASES TO REDUCE COMPACTION AND ALLOW FOR ADDITIONAL GAS EXCHANGE WITHIN THE ROOT ZONES**

**INSTALLATION METHODS FOR WALKWAYS WITHIN RETAINED TREE PROTECTION ZONES:**  
 1. ALL WORK WITHIN RETAINED TREE PROTECTION ZONES IS TO OCCUR UNDER ARBORIST SUPERVISION.  
 2. PREPARE THE GROUND BY REMOVING LOOSE ORGANICS SUCH AS TURF, DUFF, AND WEEDS IF DEEMED POSSIBLE BY THE PROJECT ARBORIST AND UNDER THE ON-SITE DIRECTION OF THE PROJECT ARBORIST.  
 3. MAINTAIN THE EXISTING SUBGRADES WITHIN THE TREE PROTECTION ZONES.  
 4. PLACE DOWN NLEX 4540 NON-WOVEN GEOTEXTILE TO PREVENT ANY GRADE INTO THE UNDISTURBED SUBGRADES. GEOTEXTILE TO EXTEND 150MM PAST EDGES OF BOTTOM OF WALKWAY.  
 5. PLACE DOWN MINIMUM DEPTH OF 15CM, 19CM CLEAR CRUSH ROCK TO USE AS AERATED SUBBASE.  
 6. PLACE DOWN NLEX 4540 NON-WOVEN GEOTEXTILE OVER TOP OF CLEAR CRUSH GRAVEL TO PREVENT LEACHATE FROM LAYERS ABOVE INTO CLEAR CRUSH.  
 7. PLACE DOWN THE BASE MATERIALS AND INSTALL THE SURFACE TREATMENTS.  
 8. IF PLACING FILL ALONG OUTSIDE EDGES OF INSTALLED WALKWAYS, FILL DEPTHS WITHIN TREE ROOT ZONES MUST NOT EXCEED 10CM.  
 9. RETAINING WALLS MAY BE USED TO REDUCE THE SLOPE TRANSITION WHEN GREATER GRADES OR FILLS ARE NEEDED. IF RETAINING WALLS ARE TO BE USED WITHIN TREE ROOT ZONES, INSTALL WALL ABOVE GRADE AND BY USING ZERO-EXCAVATION AND LOW-IMPACT METHODS.  
 PLEASE ALSO NOTE REGARDING THE ABOVE:  
 - TYPES AND AMOUNTS OF BASE MATERIALS TO USE DEPENDS ON WHAT SURFACE TREATMENT IS CHOSEN.  
 - HEIGHTS OF MATERIALS (EXCLUDING THE CLEAR CRUSH) TO USE DEPENDS ON WHAT THE MAXIMUM TOTAL HEIGHT REQUIRED FOR THE WALKWAY IS.

**GRADING AND ONSITE DRAINAGE**  
 GENERALLY, THERE ARE LOOSE SILTY, SANDY AND GRAVELLY MATERIALS AT SITE THAT CAN BE WASHED OUT DURING A FLOOD EVENT. HENCE, LANDSCAPING IS IMPORTANT TO PROTECT THE SOILS EXISTING AT GROUND SURFACE. NATURAL OR SOFT LANDSCAPING MATERIALS SHOULD BE USED TO PROTECT THE PROPERTY AND FORESHORE AREA AND CREATE RESILIENCY TO COASTAL FLOODING. KEEPING THE SITE WELL DRAINED IS PREFERRED TO HELP STABILIZE THE SUBSURFACE SOILS. PERMANENT PERIMETER DRAINAGE SYSTEM AT THE FOUNDATION LEVEL IS RECOMMENDED TO PROTECT THE FOUNDATIONS OF THE STRUCTURE FROM WATER/HUMIDITY. THE DRAINAGE PIPE SHOULD BE SURROUNDED BY AT LEAST 0.3 M OF CLEAR 3/4-INCH CRUSHED GRAVEL. THE GRAVEL IS TO BE SEPARATED FROM SOIL BY A LIGHT-WEIGHT GEO-SYNTHETIC WRAP (FILTER CLOTH). LANDSCAPING AROUND THE HOUSE SHOULD BE MADE SO THAT SURFACE DRAINAGE AND RUNOFF IS DIRECTED AWAY OF THE BUILDING, WITH A GENERAL SITE SLOPE TOWARDS THE INLET.

**BACKFILLING**  
 THE FILL NEEDED TO RAISE GRADES SHOULD BE CLEAN AND FREE OF DEBRIS AND DELETERIOUS SUBSTANCES AND ADHERE TO FILL SPECIFICATIONS OUTLINED BY DCI'S GEOTECHNICAL ENGINEER. BACKFILLING SHOULD BE OF CLEAN WELL GRADED CLEAN CRUSHED GRAVEL, THOROUGHLY COMPACTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER TO AVOID ANY FUTURE SETTLEMENTS OR EROSION. THE BACKFILL MATERIAL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING A LOOSE THICKNESS OF 300 MM.

## PROJECT STATISTICS

**NATURAL ENVIRONMENT & HAZARD DEVELOPMENT PERMIT APPLICATION**

**LOCATION OF WORK - CIVIC ADDRESSES:**  
 1768 ARGYLE AVENUE, WEST VANCOUVER  
**LEGAL DESCRIPTION:**  
 LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

**ZONING:**  
 CU5 (AMBLESIDE WATERFRONT COMMUNITY USE)

## PROJECT SUMMARY:

THE EXISTING BUILDING NAVY JACK THOMAS HOUSE WAS ORIGINALLY BUILT IN 1872 BY JAMES BLAKE AND SOON ACQUIRED BY NAVVY JACK (JOHN THOMAS) A WELSH DESERTER FROM THE ROYAL NAVY. THIS HERITAGE BUILDING HAS STOOD ON THE FORESHORE FOR 152 YEARS. ITS HISTORY OF BEING THE LONGEST CONTINUOUSLY OCCUPIED HOUSE IN METRO VANCOUVER ADDS TO ITS HISTORICAL VALUE AND ROOTS OF EARLY DAY IMMIGRANTS TO CANADA'S WEST COAST.

THE DEVELOPMENT PROPOSAL IS TO RESTORE THE EXISTING HOUSE TO ITS ORIGINAL DESIGN WITH DOCUMENTATION PROVIDED BY THE HERITAGE CONSULTANT DONALD LUXTON AND ASSOCIATES INC. AND TO PROVIDE A MODEST CONTEMPORARY ADDITION TO THE WEST TO ACCOMMODATE FOR A BISTRO USE. THE PROPOSED DEVELOPMENT INCLUDES AN OUTDOOR PATIO TO THE SOUTH AND SEATING ON THE RESTORED PORCH OF THE NAVY JACK HOUSE WITH VIEWS TO THE FORESHORE, AND STANLEY PARK. AN ACCESSIBLE ACCESS PATHWAY FROM ARGYLE AVENUE AND RAMP PROVIDES PUBLIC ACCESS FROM THE NORTH'S WELL KNOWN AND USED SHARED PEDESTRIAN AND BIKE ROUTE. THE PUBLIC COMMUNITY AND NEIGHBOURHOOD BENEFITS TO RESTORE THE NAVY JACK AND ITS MODEST ADDITION IS A SIGNIFICANT CONTRIBUTION TO A NEW AMENITY AND GATHERING SPACE FOR WEST VANCOUVER.

## LIST OF CONSULTANTS

**SURVEYOR**  
 HOBBS, WINTER & MacDONALD, B.C.  
**LAND SURVEYORS**  
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**KITCHEN CONSULTANT**  
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**ENVIRONMENTAL CONSULTANT**  
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 UNIT 106-185 FORRESTER STREET  
 NORTH VANCOUVER, BC V7H 0A6  
 CONTACT: JEREMY APPLETON  
 PHONE: 778.872.2322  
 EMAIL: jeremy@roe-env.ca

| DRAWING LIST |              |
|--------------|--------------|
| #            | DRAWING NAME |

|       |  |
|-------|--|
| DP100 | SITE PLAN                                      |
| DP101 | ZONING, SITE CONTEXT, GARBAGE ACCESS & HYDRANT |
| DP102 | PERSPECTIVE, MATERIALS, & COLOURS              |
| DP103 | EXISTING BUILDING CONDITIONS                   |
| DP110 | RETENTION FLOOR PLANS                          |
| DP111 | RETENTION ELEVATIONS                           |
| DP201 | PROPOSED LEVEL 1 FLOOR PLAN (SEATING LAYOUT)   |
| DP202 | PROPOSED LEVEL 2 (ATTIC) MECHANICAL ROOM       |
| DP203 | ROOF PLAN                                      |
| DP301 | PROPOSED SOUTH ELEVATION                       |
| DP302 | PROPOSED NORTH ELEVATION                       |
| DP303 | PROPOSED EAST ELEVATION                        |
| DP304 | PROPOSED WEST ELEVATION                        |
| DP401 | PROPOSED BUILDING SECTIONS                     |
| DP402 | PROPOSED BUILDING SECTIONS                     |



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| REVISIONS |                       |              |
|-----------|-----------------------|--------------|
| No.       | Description           | Date         |
| 5         | ISSUED FOR INFO       | 2023 NOV 22  |
| 6         | ISSUED FOR COORD      | 2023 DEC 22  |
| 7         | ISSUED FOR COORD      | 2024 JAN 12  |
| 8         | ISSUED FOR COORD      | 2024 JAN 25  |
| 9         | ISSUED FOR COORD      | 2024 MAR 12  |
| 10        | DP SUBMISSION         | 2024 MAR 15  |
| 11        | DP RESUBMISSION       | 2024 JUNE 26 |
| 13        | ISSUED FOR AHJ REVIEW | 2024 JULY 26 |
| 20        | DP RESUBMISSION#2     | 2024 SEPT 05 |
| 22        | DP RESUBMISSION#3     | 2024 OCT 02  |

**PROJECT:**  
 LOT A BLOCK U DISTRICT LOT 775  
 PLAN 16965

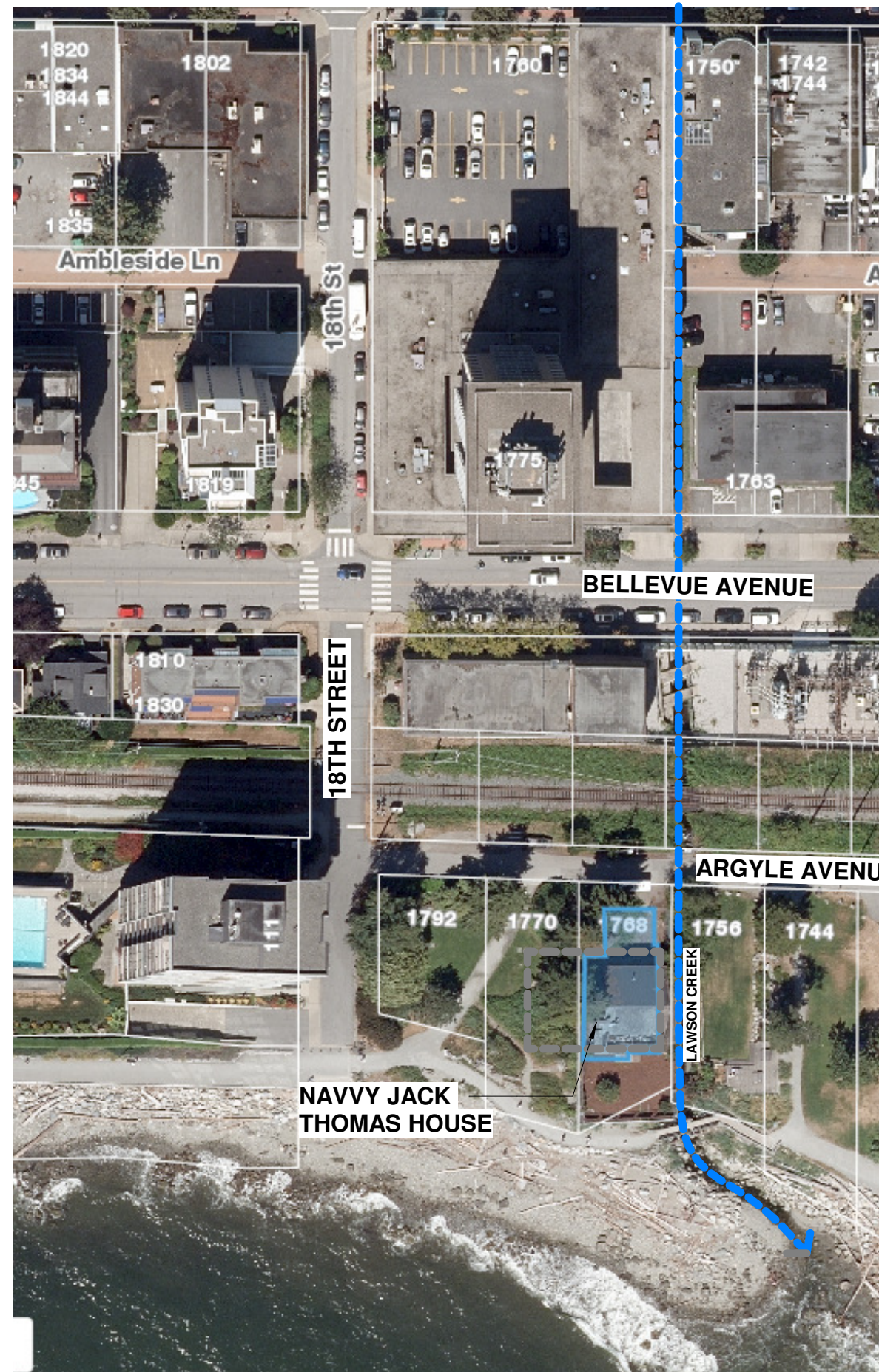
NAVY JACK - 1768 ARGYLE AVENUE,  
 WEST VANCOUVER

**DRAWING TITLE**

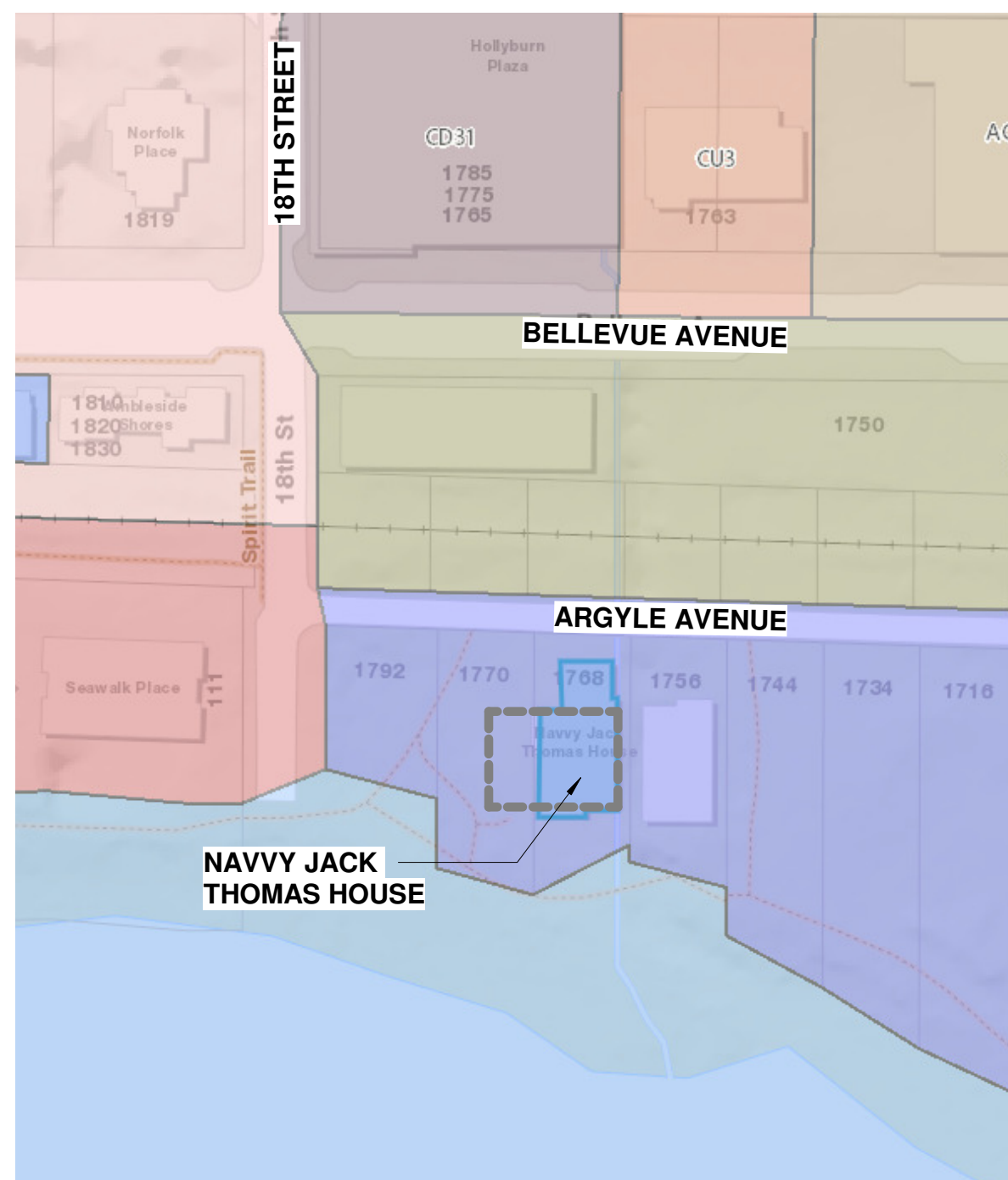
**SITE PLAN**

|             |              |                |      |
|-------------|--------------|----------------|------|
| Date        | 2024 NOV 22  | Project number | 2329 |
| Scale       | 1/8" = 1'-0" | Drawn by       | HD   |
| Approved by | CK           |                |      |

**DP100**



**SITE CONTEXT - AERIAL**



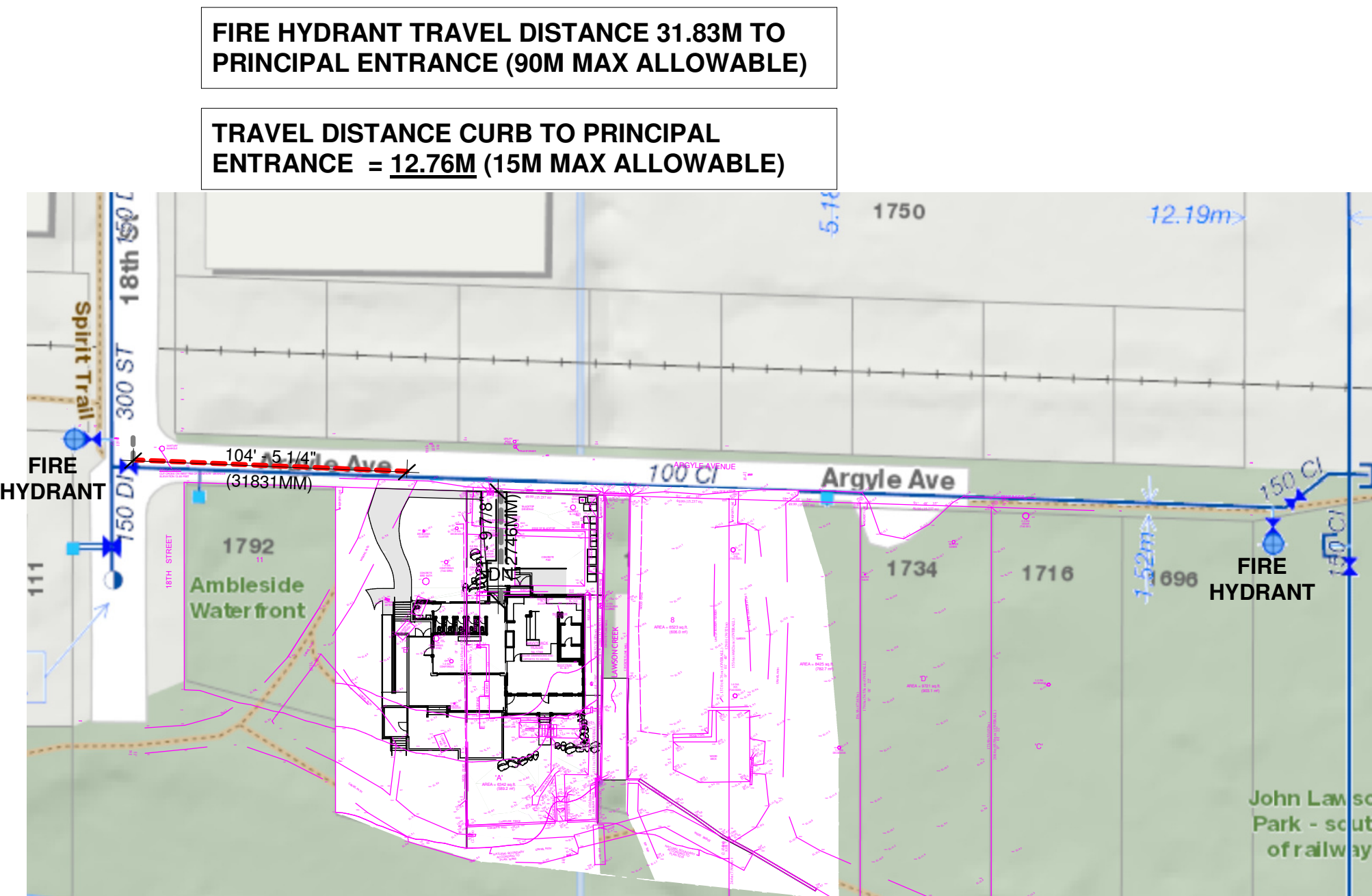
**SITE CONTEXT - ZONING**

**LEGEND**

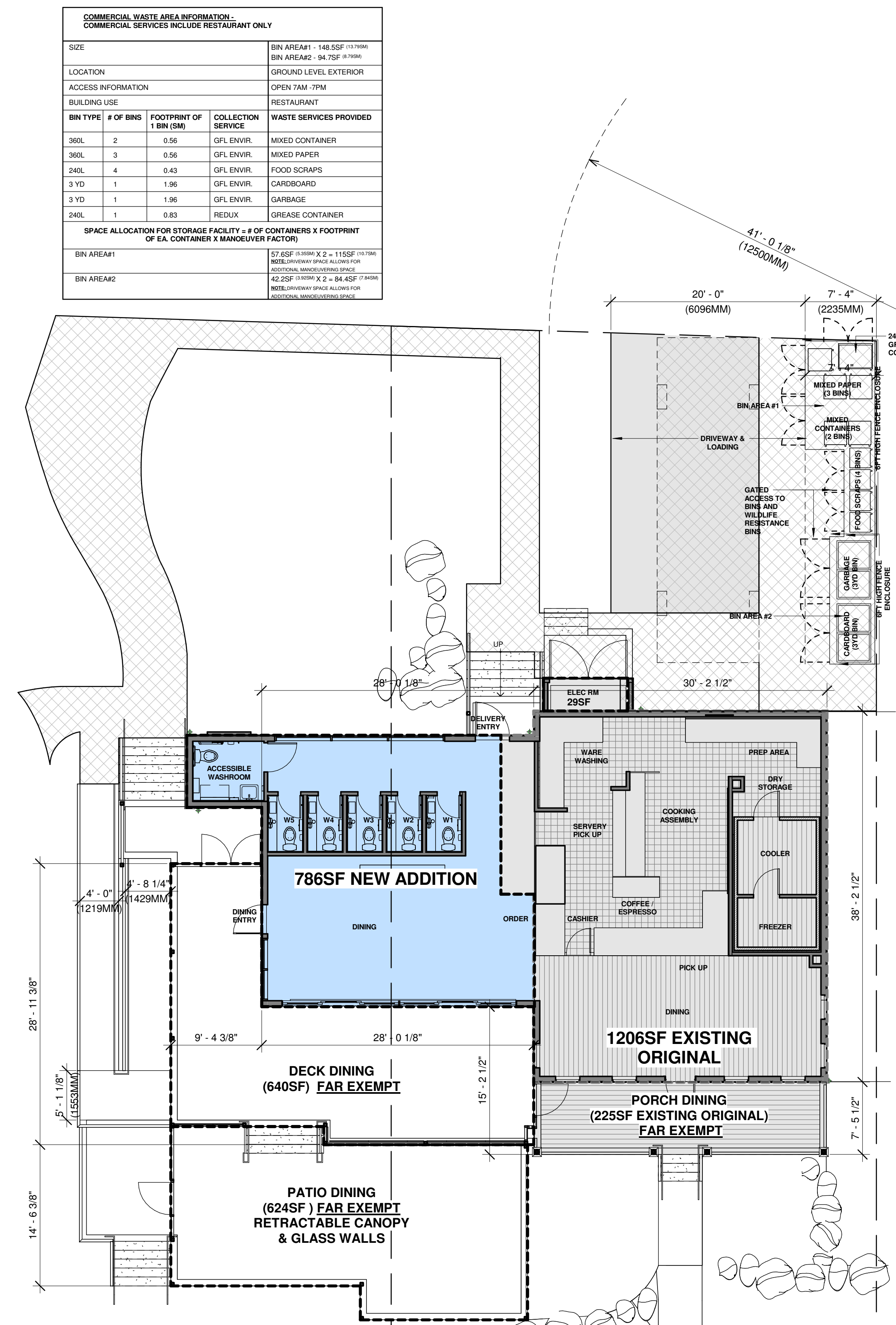
- AC1 - AMBLESIDE CENTRE ZONE
- C2 - COMMERCIAL ZONE
- CD31 - COMPREHENSIVE DEVELOPMENT ZONE
- CD75 - COMPREHENSIVE DEVELOPMENT ZONE
- CU3 - COMMUNITY/PUBLIC USE ZONE
- CU5 - AMBLESIDE WATERFRONT COMMUNITY USE
- M1 - MARINE ZONE
- RD1 - DUPLEX DWELLING ZONE
- RD3 - DUPLEX DWELLING ZONE
- RM1 - MULTIPLE DWELLING ZONE
- RM2 - MULTIPLE DWELLING ZONE

**PROJECT STATISTICS - ZONING: CU5 - AMBLESIDE WATERFRONT COMMUNITY USE ZONE 5**

|                  |  |                                      |                              |                   |
|------------------|--|--------------------------------------|------------------------------|-------------------|
| <b>AREAS</b>     | 1. <b>SITE AREA: N/A (2 DISTRICT LOTS)</b>   |                                      |                              |                   |
|                  | 2. <b>MAX. GROSS FLOOR AREA ALLOWABLE: 280SM (3013.9SF)</b><br>(RESTAURANT/BISTRO USE)   |                                      |                              |                   |
|                  | A) LEVEL 1 FLOOR AREA:   | EXISTING<br>1731SF                   | RETAINED<br>1206SF           | ADDITION<br>786SF |
|                  | C) LEVEL 2 FLOOR AREA:   | 1041SF                               | 0SF                          | N/A               |
|                  | C) TOTAL FLOOR AREA:   | 2772SF                               | 1206SF                       | 786SF             |
|                  | D) EXISTING PORCH AREA:  | 225SF                                |                              |                   |
|                  | E) NEW DECK AREA:  | 640SF                                |                              |                   |
|                  | F) PATIO:  | 624SF                                |                              | (FAR EXEMPT)      |
|                  | G) TOTAL PORCH/DECK/PATIO AREA:  | 865SF                                |                              |                   |
|                  | <b>TOTAL PROPOSED FLOOR AREA: 1206SF +786SF +865 = 2857SF (265SM)</b>  |                                      |                              |                   |
| <b>SETBACKS</b>  | 3. <b>SETBACKS</b>   |                                      |                              |                   |
|                  | A) NORTH SETBACK =   | PROPOSED<br>34' - 10 3/8" (10.627MM) | ALLOWABLE<br>16.4FT (5000MM) |                   |
|                  | B) SOUTH SETBACK =   | 26' - 9 1/8" (8157MM)                | 32.8FT (10000MM)             |                   |
| <b>HEIGHTS</b>   | 4. <b>MAX. ALLOWABLE NUMBER OF STOREYS: 2 STOREYS</b>  |                                      |                              |                   |
|                  | PROPOSED 2 STOREYS EXISTING WITH UPPER STOREY/ATTIC DECOMMISSIONED AND USE FOR MECHANICAL EQUIPMENT ONLY WITH ACCESS BY CEILING HATCH.   |                                      |                              |                   |
| <b>VARIANCES</b> | 5. <b>PROPOSED VARIANCES:</b>  |                                      |                              |                   |
|                  | A) SOUTH SETBACK REDUCTION BY 1843MM (6.05FT) DUE TO RESTORATION OF THE ORIGINAL PORCH OF THE HERITAGE BUILDING.<br>B) BUILDING TO BE STRADDLING WEST PROPERTY LINE THAT IS BETWEEN THE TWO SUBJECT PARCELS) |                                      |                              |                   |



**1-8 FIRE HYDRANT LOCATIONS**  
1" = 50'-0"



**1-8 PROPOSED FLOOR AREA & GARBAGE ACCESS**  
1/8" = 1'-0"

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**REVISIONS**

| No. | Description           | Date         |
|-----|-----------------------|--------------|
| 1   | ISSUED FOR DISCUSSION | 2023 AUG 21  |
| 5   | ISSUED FOR INFO       | 2023 NOV 22  |
| 11  | DP SUBMISSION         | 2024 MAR 15  |
| 13  | DP RESUBMISSION       | 2024 JUNE 26 |
| 20  | DP RESUBMISSION#2     | 2024 SEPT 05 |
| 22  | DP RESUBMISSION#3     | 2024 OCT 02  |

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**ZONING, SITE  
CONTEXT,  
GARBAGE  
ACCESS &  
HYDRANT**

|             |                |
|-------------|----------------|
| Date        | Project number |
| 2024 NOV 22 | 2329           |
| Scale       | As indicated   |
| Drawn by    | HD             |
| Approved by | CK             |

**DP101**











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| 8         | ISSUED FOR COORD   | 2024 JAN 25  |
| 11        | DP SUBMISSION      | 2024 MAR 15  |
| 12        | ISSUED FOR PRICING | 2024 JUNE 05 |
| 13        | DP RESUBMISSION    | 2024 JUNE 26 |
| 20        | DP RESUBMISSION#2  | 2024 SEPT 05 |
| 22        | DP RESUBMISSION#3  | 2024 OCT 02  |

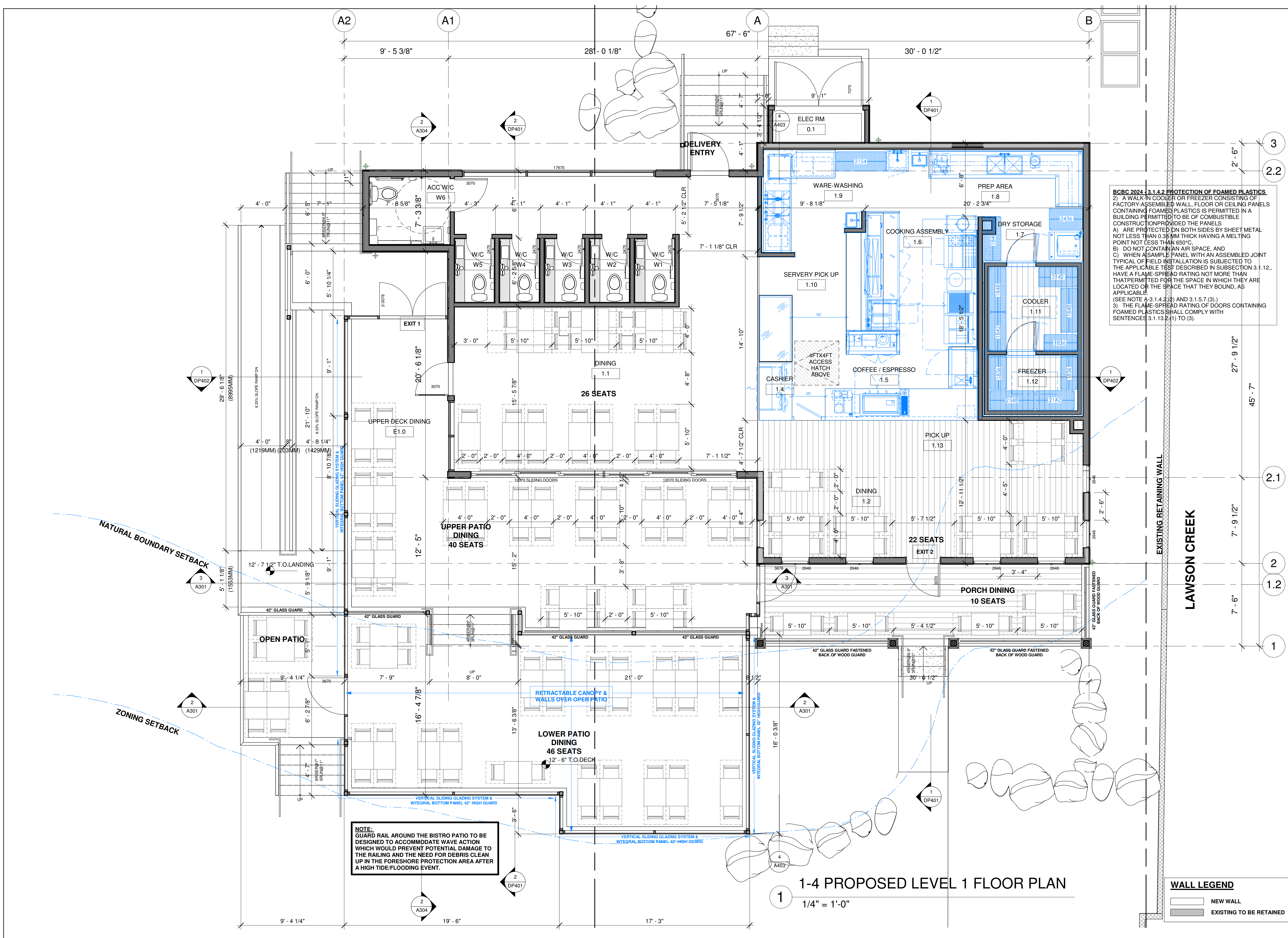
**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
**PROPOSED  
LEVEL 1 FLOOR  
PLAN (SEATING  
LAYOUT)**

|          |              |                |                   |
|----------|--------------|----------------|-------------------|
| Date     | 2024 NOV 22  | Project number | 2329              |
| Scale    | As indicated | <b>DP201</b>   | Approved by<br>CK |
| Drawn by | HD           |                |                   |

2024-11-26 1:05:36 PM



**BCBC 2024 3.1.4.2 PROTECTION OF FOAMED PLASTICS**  
2) A WALK-IN COOLER OR FREEZER CONSISTING OF FACTORY-ASSEMBLED WALL, FLOOR OR CEILING PANELS CONTAINING FOAMED PLASTICS IS PERMITTED IN A BUILDING PROVIDED THE PANELS  
CONSTRUCTED PROVIDED THE PANELS  
A) ARE PROTECTED ON BOTH SIDES BY SHEET METAL NOT LESS THAN 0.38 MM THICK HAVING A MELTING POINT NOT LESS THAN 650°C.  
B) DO NOT CONTAIN AN AIR SPACE, AND  
C) WHEN ASSEMBLED WITH AN ASSEMBLED JOINT TYPICAL OF FIELD INSTALLATION IS SUBJECT TO THE APPLICABLE TEST DESCRIBED IN SUBSECTION 3.1.12.2. HAVE A FLAME-SPREAD RATING NOT MORE THAN THAT PERMITTED FOR THE SPACE IN WHICH THEY ARE LOCATED OR THE SPACE THAT THEY BOUND, AS APPLICABLE.  
(SEE NOTE A-3.1.4.2(2) AND 3.1.5.7(3).)  
3) THE FLAME-SPREAD RATING OF DOORS CONTAINING FOAMED PLASTICS SHALL COMPLY WITH SENTENCES 3.1.13.2.(1) TO (3).

**NOTE:**  
GUARD RAIL AROUND THE BISTRO PATIO TO BE DESIGNED TO ACCOMMODATE WAVE ACTION WHICH WOULD PREVENT POTENTIAL DAMAGE TO THE RAILING AND THE NEED FOR DEBRIS CLEAN UP IN THE FORESHORE PROTECTION AREA AFTER A HIGH TIDE/FLOODING EVENT.

**1-4 PROPOSED LEVEL 1 FLOOR PLAN**  
1/4" = 1'-0"

**WALL LEGEND**

|              |                         |
|--------------|-------------------------|
| [Line style] | NEW WALL                |
| [Line style] | EXISTING TO BE RETAINED |







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**REVISIONS**

| No. | Description       | Date         |
|-----|-------------------|--------------|
| 7   | ISSUED FOR COORD  | 2024 JAN 12  |
| 8   | ISSUED FOR COORD  | 2024 JAN 25  |
| 11  | DP SUBMISSION     | 2024 MAR 15  |
| 13  | DP RESUBMISSION   | 2024 JUNE 26 |
| 20  | DP RESUBMISSION#2 | 2024 SEPT 05 |
| 22  | DP RESUBMISSION#3 | 2024 OCT 02  |
| 28  | DP RESUBMISSION#4 | 2024 NOV 22  |

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

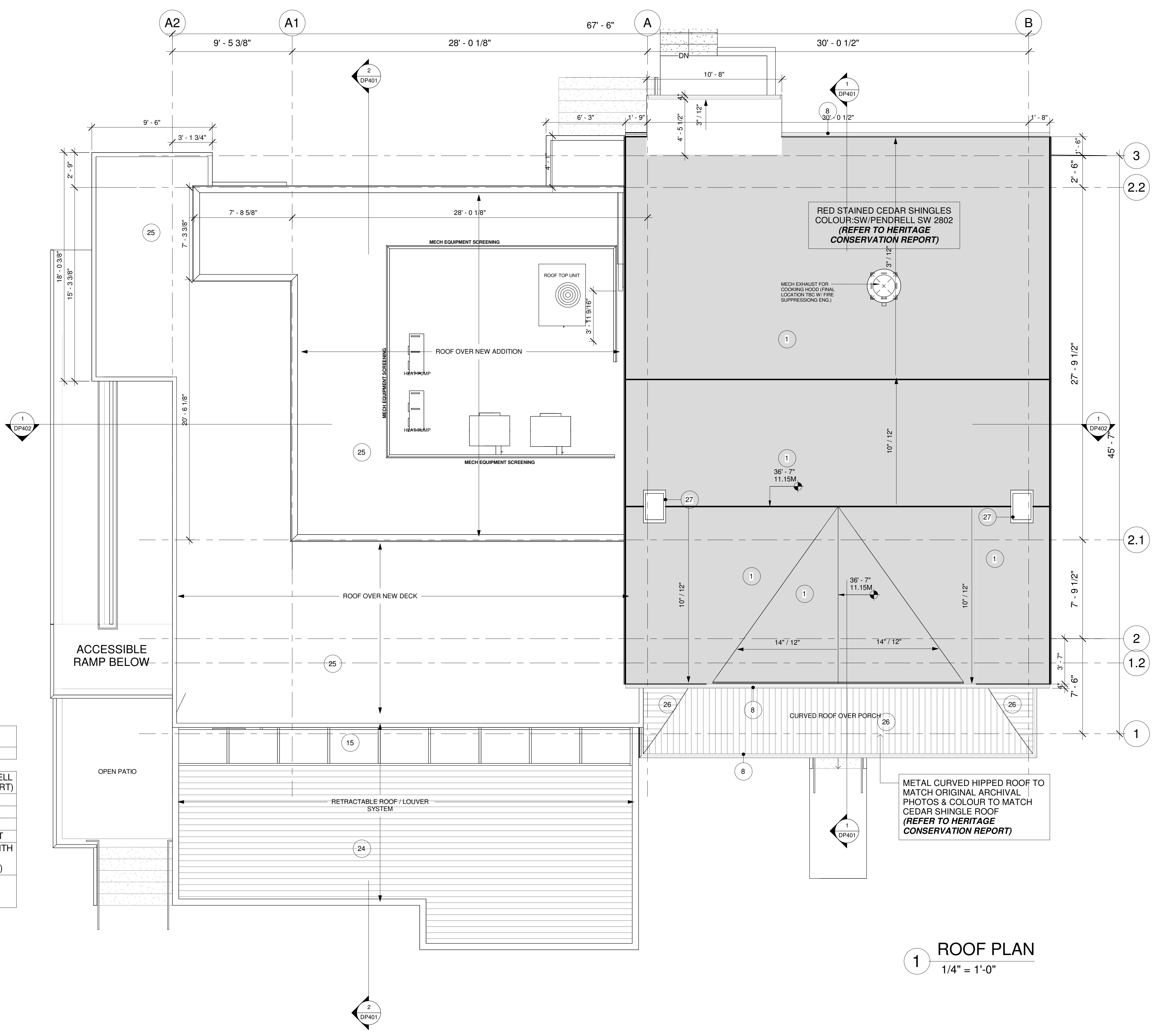
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WEST VANCOUVER

**DRAWING TITLE**  
**ROOF PLAN**

|             |              |                |      |
|-------------|--------------|----------------|------|
| Date        | 2024 NOV 22  | Project number | 2329 |
| Scale       | 1/4" = 1'-0" | <b>DP203</b>   |      |
| Drawn by    | CK           |                |      |
| Approved by | CK           |                |      |

**MATERIAL NOTES**

| #  | DESCRIPTION  |
|----|--|
| 1  | RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)   |
| 8  | PREFINISHED ALUMINUM GUTTER  |
| 15 | TEMPERED DOUBLE GLAZED SKYLIGHTS   |
| 24 | RETRACTABLE ROOF / LOUVER SYSTEM   |
| 25 | SBS TORCH ON ROOFING MEMBRANE C/W CAP SHEET  |
| 26 | CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE) |
| 27 | CIP CONCRETE CHIMNEY CAP (FINAL APPROVED DESIGN TO BE COORDINATED WITH HERITAGE CONSULTANT)  |



**1** **ROOF PLAN**  
1/4" = 1'-0"



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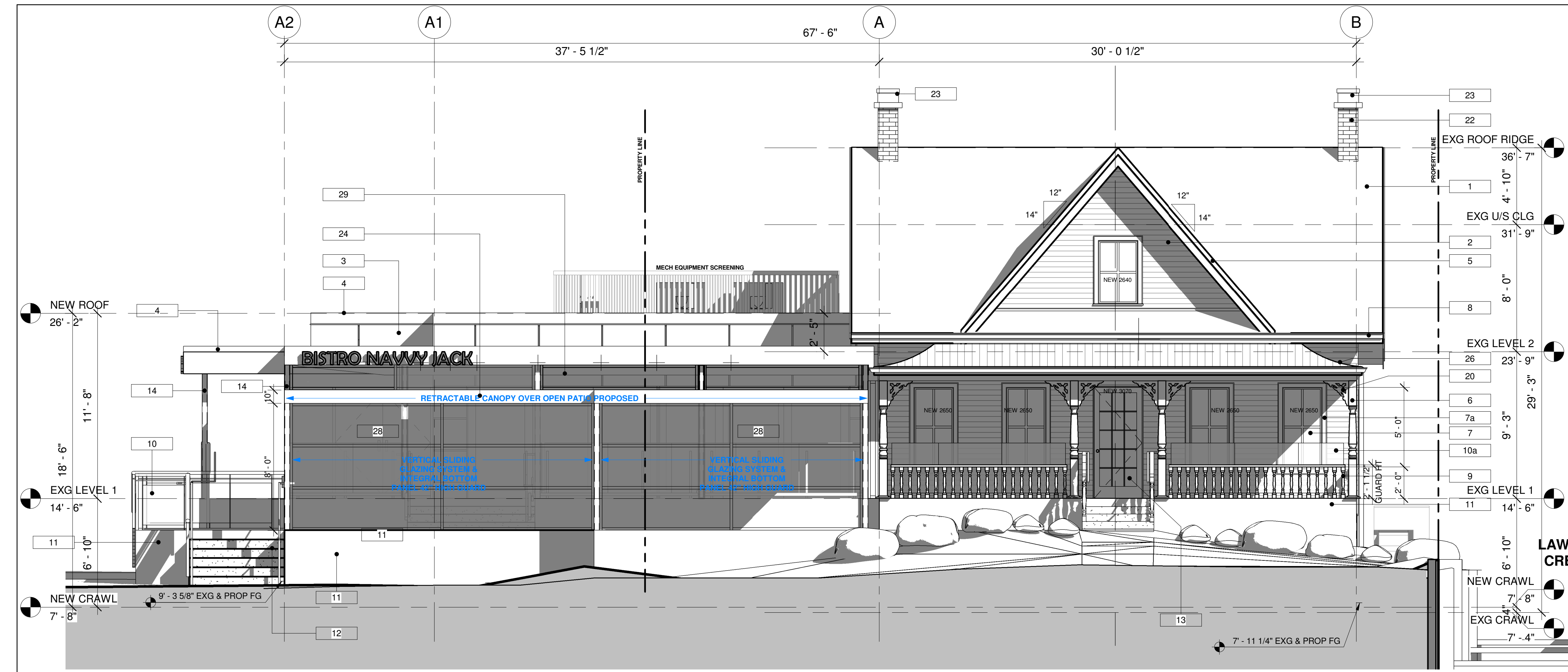
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PORCH CURVED INTERIOR SOFFIT AT SIDE ELEVATIONS



1-4 SOUTH ELEVATION  
1/4" = 1'-0"

**REVISIONS**

| No. | Description        | Date         |
|-----|--------------------|--------------|
| 5   | ISSUED FOR INFO    | 2023 NOV 22  |
| 8   | ISSUED FOR COORD   | 2024 JAN 25  |
| 9   | ISSUED FOR COORD   | 2024 FEB 02  |
| 11  | DP SUBMISSION      | 2024 MAR 15  |
| 12  | ISSUED FOR PRICING | 2024 JUNE 05 |
| 13  | DP RESUBMISSION    | 2024 JUNE 26 |
| 20  | DP RESUBMISSION#2  | 2024 SEPT 05 |

**MATERIAL NOTES**

| #   | DESCRIPTION   |
|-----|---|
| 1   | RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)  |
| 2   | PAINTED WOODEN DROP SIDING  |
| 3   | PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS   |
| 4   | PREFINISHED METAL CAP FLASHING  |
| 5   | 1X4 ON 2X12 PTD WOOD FASCIA   |
| 6   | PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN   |
| 7   | NEW WOOD WINDOWS DOUBLE GLAZED WITH SUBSTANTIAL FRAME SIZE TO MATCH HERITAGE BUILDING BASED ON HISTORICAL PHOTO DOCUMENTATION                                     |
| 7a  | PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN  |
| 8   | PREFINISHED ALUMINUM GUTTER   |
| 9   | PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN   |
| 10  | 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS   |
| 10a | 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS   |
| 11  | CAST-IN-PLACE CONCRETE FOUNDATION   |
| 12  | CAST-IN-PLACE CONCRETE STAIRS   |
| 13  | ENTRY WOOD DOOR ON NORTH SIDE TO BE REPLICA BASED ON HISTORICAL PHOTO DOCUMENTATION (NOTE MAIN ENTRY DOOR'S FIXED ORIGINAL DIVIDED LITE PATTERN TO BE REPLICATED) |
| 14  | EPOXY MARINE GRADE PAINTED STEEL COLUMN   |
| 20  | PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS   |
| 22  | BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS  |
| 23  | CONCRETE CHIMNEY CAP TO MATCH HERITAGE CONSERVATION REPORT RECOMMENDATIONS  |
| 24  | RETRACTABLE ROOF / LOUVER SYSTEM  |
| 26  | CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)                              |
| 28  | VERTICAL SLIDING GLAZING ALUM SYSTEM & INTEGRAL BOTTOM PANEL 42" HIGH GUARD   |
| 29  | CLERESTORY ALUM STOREFRONT GLAZING SYSTEM   |

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED SOUTH ELEVATION**

|             |              |                |      |
|-------------|--------------|----------------|------|
| Date        | 2024 NOV 22  | Project number | 2329 |
| Scale       | 1/4" = 1'-0" |                |      |
| Drawn by    | HD           |                |      |
| Approved by | CK           |                |      |

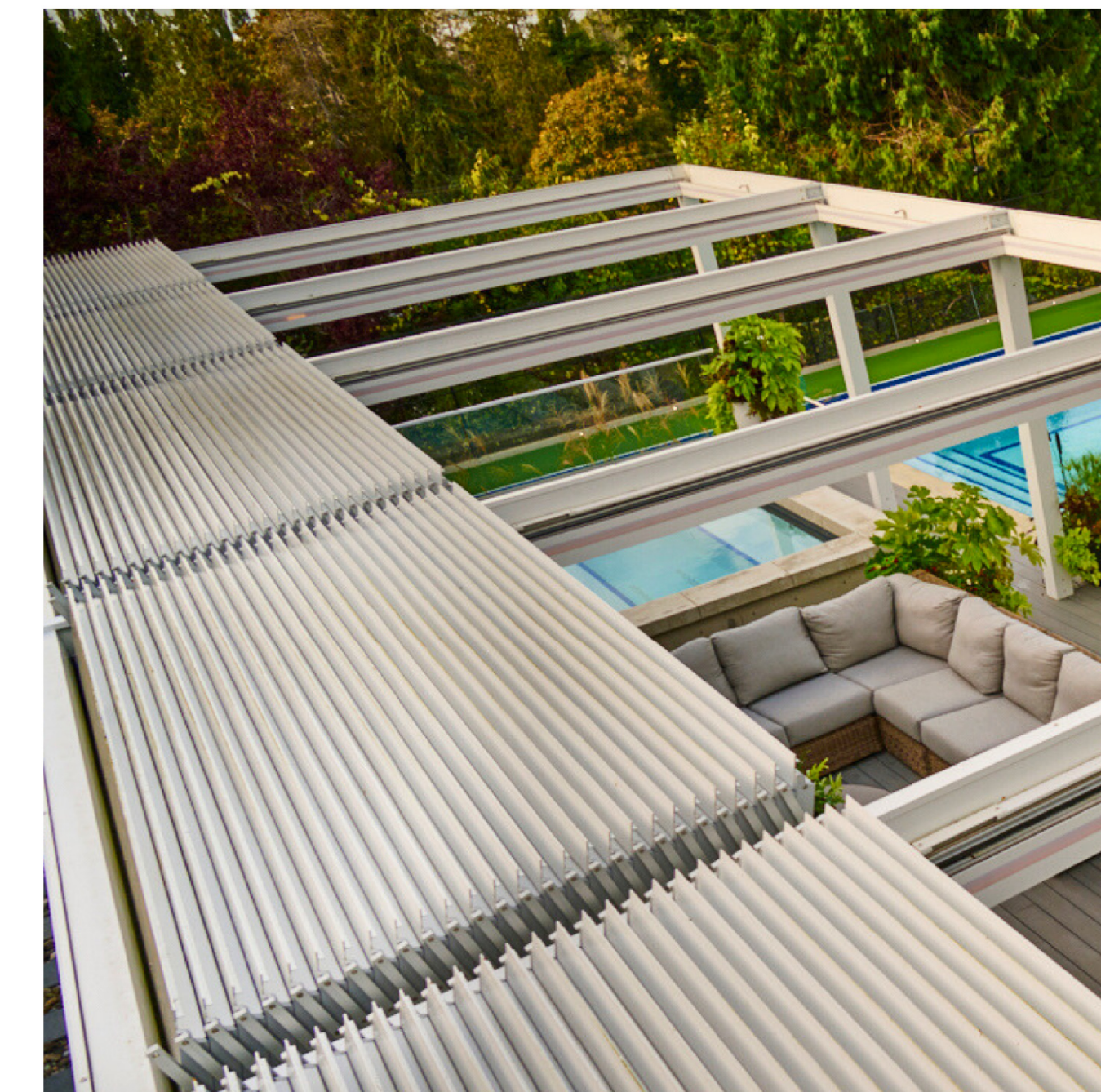
**DP301**



SLIDECLEAR - VERTASLIDE  
VERTICAL SLIDE WITH BOTTOM GUARD PANEL



SLIDECLEAR - VERTASLIDE  
VERTICAL SLIDE WITH BOTTOM GUARD PANEL



SLIDECLEAR - AIRIA LOUVERS (RETRACTABLE ROOF)



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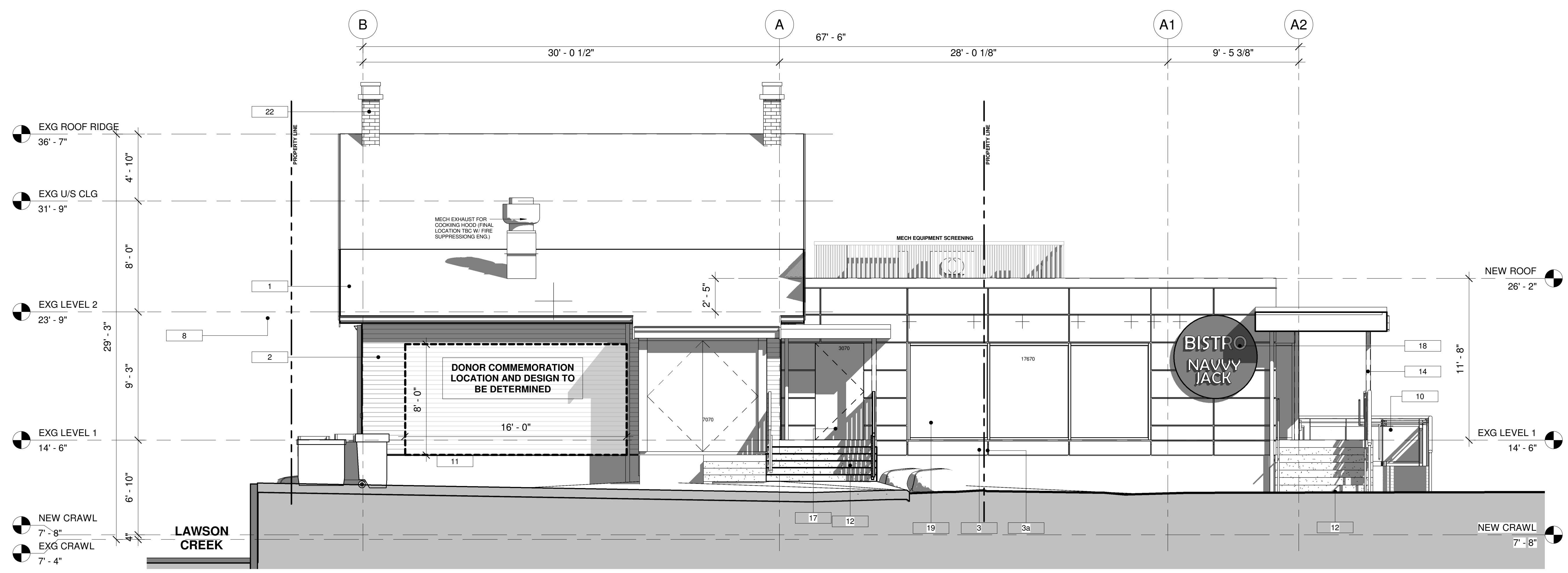
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**REVISIONS**

| No. | Description           | Date         |
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| 11  | DP SUBMISSION         | 2024 MAR 15  |
| 19  | ISSUED FOR AHJ REVIEW | 2024 JULY 26 |
| 20  | DP RESUBMISSION#2     | 2024 SEPT 05 |



**1** 1-4 NORTH ELEVATION  
1/4" = 1'-0"

| MATERIAL NOTES |  |
|----------------|--|
| #              | DESCRIPTION  |
| 1              | RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT) |
| 2              | PAINTED WOODEN DROP SIDING   |
| 3              | PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS                              |
| 3a             |  |
| 8              | PREFINISHED ALUMINUM GUTTER  |
| 10             | 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS          |
| 11             | CAST-IN-PLACE CONCRETE FOUNDATION  |
| 12             | CAST-IN-PLACE CONCRETE STAIRS  |
| 14             | EPOXY MARINE GRADE PAINTED STEEL COLUMN  |
| 17             | EPOXY (MARINE GRADE) PAINTED METAL DOOR & FRAME (THERMALLY BROKEN & WEATHERSTRIPPED)         |
| 18             | RESTAURANT SIGNAGE   |
| 19             | ANODIZED ALUMINUM STOREFRONT SYSTEM  |
| 22             | BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS                               |

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
**PROPOSED  
NORTH  
ELEVATION**

|             |              |                     |      |
|-------------|--------------|---------------------|------|
| Date        | 2024 NOV 22  | Project number      | 2329 |
| Scale       | 1/4" = 1'-0" | <p><b>DP302</b></p> |      |
| Drawn by    | HD           |                     |      |
| Approved by | CK           |                     |      |

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**REVISIONS**

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| 13  | DP RESUBMISSION       | 2024 JUNE 26 |
| 19  | ISSUED FOR AHJ REVIEW | 2024 JULY 26 |
| 20  | DP RESUBMISSION#2     | 2024 SEPT 05 |
| 22  | DP RESUBMISSION#3     | 2024 OCT 02  |

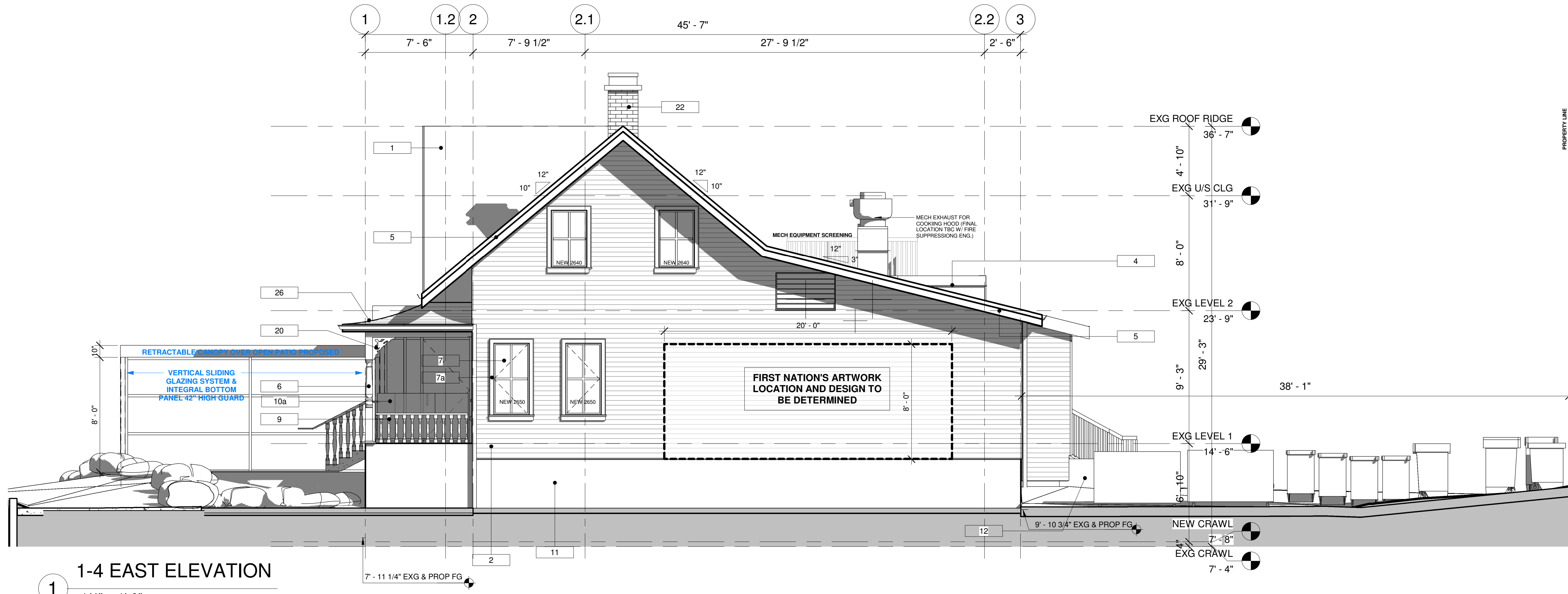
**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
**PROPOSED EAST  
ELEVATION**

|             |              |                     |      |
|-------------|--------------|---------------------|------|
| Date        | 2024 NOV 22  | Project number      | 2329 |
| Scale       | 1/4" = 1'-0" | <p><b>DP303</b></p> |      |
| Drawn by    | HD           |                     |      |
| Approved by | CK           |                     |      |

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**1-4 EAST ELEVATION**  
1/4" = 1'-0"

| MATERIAL NOTES |  |
|----------------|--|
| #              | DESCRIPTION  |
| 1              | RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)   |
| 2              | PAINTED WOODEN DROP SIDING   |
| 4              | PREFINISHED METAL CAP FLASHING   |
| 5              | 1X4 ON 2X12 PTD WOOD FASCIA  |
| 6              | PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN  |
| 7              | NEW WOOD WINDOWS DOUBLE GLAZED WITH SUBSTANTIAL FRAME SIZE TO MATCH HERITAGE BUILDING BASED ON HISTORICAL PHOTO DOCUMENTATION        |
| 7a             | PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN   |
| 9              | PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN  |
| 10a            | 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS  |
| 11             | CAST-IN-PLACE CONCRETE FOUNDATION  |
| 12             | CAST-IN-PLACE CONCRETE STAIRS  |
| 20             | PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS  |
| 22             | BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS   |
| 26             | CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE) |



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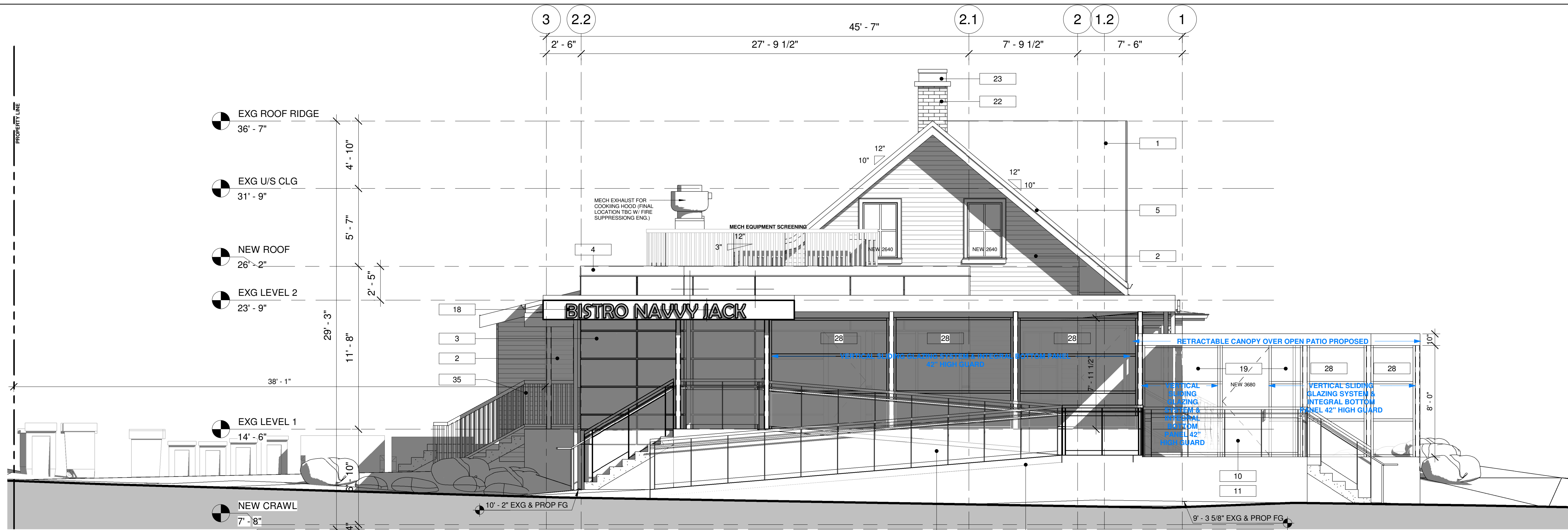
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| 13  | DP RESUBMISSION    | 2024 JUNE 26 |
| 20  | DP RESUBMISSION#2  | 2024 SEPT 05 |
| 22  | DP RESUBMISSION#3  | 2024 OCT 02  |



**1** 1-4 WEST ELEVATION  
1/4" = 1'-0"

| MATERIAL NOTES |  |
|----------------|--|
| #              | DESCRIPTION  |
| 1              | RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT) |
| 2              | PAINTED WOODEN DROP SIDING   |
| 3              | PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS                              |
| 4              | PREFINISHED METAL CAP FLASHING   |
| 5              | 1X4 ON 2X12 PTD WOOD FASCIA  |
| 10             | 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS          |
| 11             | CAST-IN-PLACE CONCRETE FOUNDATION  |
| 18             | RESTAURANT SIGNAGE   |
| 19             | ANODIZED ALUMINUM STOREFRONT SYSTEM  |
| 22             | BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS                               |
| 23             | CONCRETE CHIMNEY CAP TO MATCH HERITAGE CONSERVATION REPORT RECOMMENDATIONS                   |
| 28             | VERTICAL SLIDING GLAZING ALUM SYSTEM & INTEGRAL BOTTOM PANEL 42" HIGH GUARD                  |
| 32             | CIP CONCRETE RAMP & LANDING  |
| 35             | POWDERCOATED ALUM PICKET GUARD C/W VERT 1X1 PICKETS 4" O/C C/W 1.5" DIA. HANDRAIL @ 36" HIGH |

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
**PROPOSED WEST ELEVATION**

|             |              |   |      |
|-------------|--------------|---|------|
| Date        | 2024 NOV 22  | Project number  | 2329 |
| Scale       | 1/4" = 1'-0" | <p style="font-size: 2em; font-weight: bold;">DP304</p> |      |
| Drawn by    | HD           |   |      |
| Approved by | CK           |   |      |



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| 22  | DP RESUBMISSION#3 | 2024 OCT 02  |

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED  
BUILDING  
SECTIONS**

|      |             |                |      |
|------|-------------|----------------|------|
| Date | 2024 NOV 22 | Project number | 2329 |
|------|-------------|----------------|------|

Scale  
1/4" = 1'-0"

|             |    |              |
|-------------|----|--------------|
| Drawn by    | HD | <b>DP401</b> |
| Approved by | CK |              |

2024-11-26 1:07:02 PM

