

# ARGYLE AVENUE ARGYLE AVENUE

**PROJECT STATISTICS**  
**NATURAL ENVIRONMENT & HAZARD DEVELOPMENT PERMIT APPLICATION**

**LOCATION OF WORK - CIVIC ADDRESSES:**  
 1768 ARGYLE AVENUE, WEST VANCOUVER  
**LEGAL DESCRIPTION:**  
 LOT A BLOCK U DISTRICT LOT 775 PLAN 16965

**ZONING:**  
 CU5 (AMBLESIDE WATERFRONT COMMUNITY USE)

**PROJECT SUMMARY:**

THE EXISTING BUILDING NAVY JACK THOMAS HOUSE WAS ORIGINALLY BUILT IN 1872 BY JAMES BLAKE AND SOON ACQUIRED BY NAVVY JACK (JOHN THOMAS) A WELSH DESERTER FROM THE ROYAL NAVY. THIS HERITAGE BUILDING HAS STOOD ON THE FORESHORE FOR 152 YEARS. ITS HISTORY OF BEING THE LONGEST CONTINUOUSLY OCCUPIED HOUSE IN METRO VANCOUVER ADDS TO ITS HISTORICAL VALUE AND ROOTS OF EARLY DAY IMMIGRANTS TO CANADA'S WEST COAST.

THE DEVELOPMENT PROPOSAL IS TO RESTORE THE EXISTING HOUSE TO ITS ORIGINAL DESIGN WITH DOCUMENTATION PROVIDED BY THE HERITAGE CONSULTANT DONALD LUXTON AND ASSOCIATES INC. AND TO PROVIDE A MODEST CONTEMPORARY ADDITION TO THE WEST TO ACCOMMODATE FOR A BISTRO USE. THE PROPOSED DEVELOPMENT INCLUDES AN OUTDOOR PATIO TO THE SOUTH AND SEATING ON THE RESTORED PORCH OF THE NAVY JACK HOUSE WITH VIEWS TO THE FORESHORE, AND STANLEY PARK. AN ACCESSIBLE ACCESS PATHWAY FROM ARGYLE AVENUE AND RAMP PROVIDES PUBLIC ACCESS FROM THE NORTH'S WELL KNOWN AND USED SHARED PEDESTRIAN AND BIKE ROUTE. THE PUBLIC COMMUNITY AND NEIGHBOURHOOD BENEFITS TO RESTORE THE NAVY JACK AND ITS MODEST ADDITION IS A SIGNIFICANT CONTRIBUTION TO A NEW AMENITY AND GATHERING SPACE FOR WEST VANCOUVER.

**LIST OF CONSULTANTS**

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REVISIONS		
No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
6	ISSUED FOR COORD	2023 DEC 22
7	ISSUED FOR COORD	2024 JAN 12
8	ISSUED FOR COORD	2024 JAN 25
10	ISSUED FOR COORD	2024 MAR 12
11	DP SUBMISSION	2024 MAR 15
12	DP RESUBMISSION	2024 JUN 26
13	DP RESUBMISSION	2024 JUN 26
19	ISSUED FOR AHJ REVIEW	2024 JULY 26
20	DP RESUBMISSION#2	2024 SEPT 05

**PROJECT:**  
 LOT A BLOCK U DISTRICT LOT 775  
 PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
 WEST VANCOUVER

**DRAWING TITLE**

**SITE PLAN**

DRAWING LIST	
#	DRAWING NAME

DP100	SITE PLAN
DP101	ZONING, SITE CONTEXT, GARBAGE ACCESS & HYDRANT
DP102	PERSPECTIVE, MATERIALS, & COLOURS
DP103	EXISTING BUILDING CONDITIONS
DP110	RETENTION FLOOR PLANS
DP111	RETENTION ELEVATIONS
DP201	PROPOSED LEVEL 1 FLOOR PLAN (SEATING LAYOUT)
DP202	PROPOSED LEVEL 2 (ATTIC) MECHANICAL ROOM
DP203	ROOF PLAN
DP301	PROPOSED SOUTH ELEVATION
DP302	PROPOSED NORTH ELEVATION
DP303	PROPOSED EAST ELEVATION
DP304	PROPOSED WEST ELEVATION
DP401	PROPOSED BUILDING SECTIONS
DP402	PROPOSED BUILDING SECTIONS

Date	Project number
2024 SEPT 05	2329

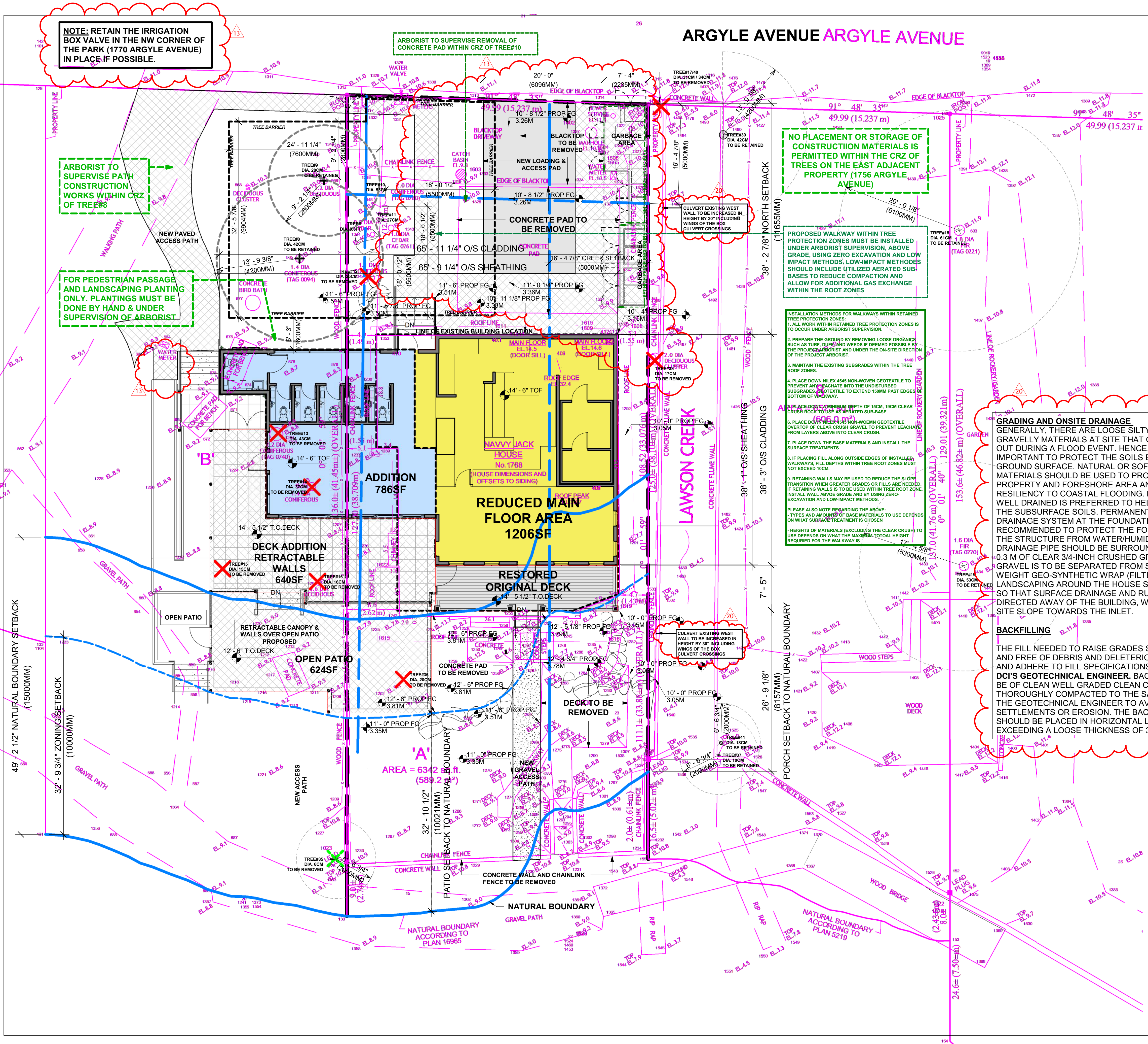
Scale	DP100
1/8" = 1'-0"	

Drawn by	HD

Approved by	CK



**NOTE: RETAIN THE IRRIGATION BOX VALVE IN THE NW CORNER OF THE PARK (1770 ARGYLE AVENUE) IN PLACE IF POSSIBLE.**

**ARBORIST TO SUPERVISE REMOVAL OF CONCRETE PAD WITHIN CRZ OF TREE#10**

**ARBORIST TO SUPERVISE PATH CONSTRUCTION WORKS WITHIN CRZ OF TREE#8**

**FOR PEDESTRIAN PASSAGE AND LANDSCAPING PLANTING ONLY. PLANTINGS MUST BE DONE BY HAND & UNDER SUPERVISION OF ARBORIST**

**NO PLACEMENT OR STORAGE OF CONSTRUCTION MATERIALS IS PERMITTED WITHIN THE CRZ OF TREES ON THE EAST ADJACENT PROPERTY (1756 ARGYLE AVENUE)**

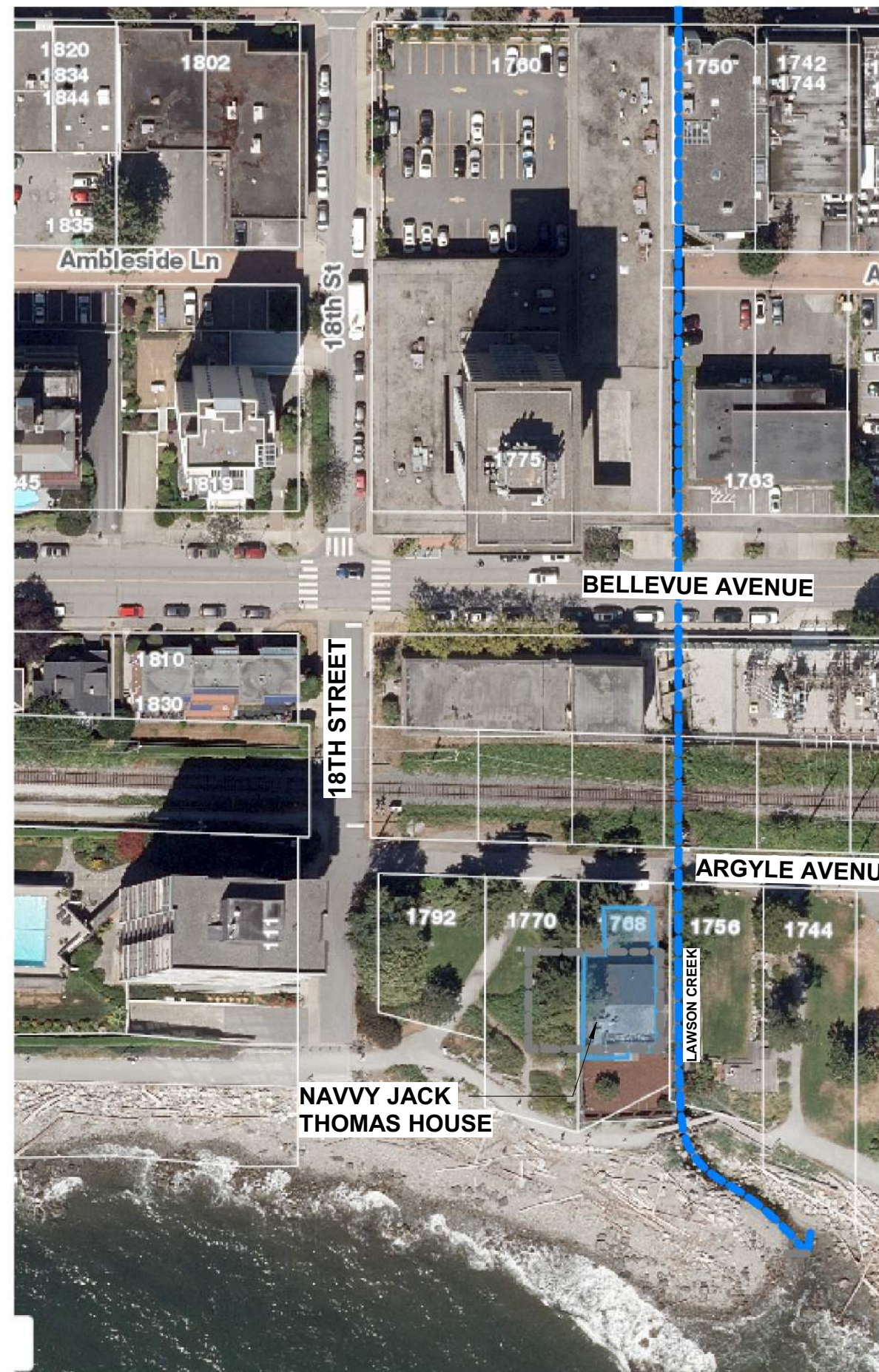
**PROPOSED WALKWAY WITHIN TREE PROTECTION ZONES MUST BE INSTALLED UNDER ARBORIST SUPERVISION, ABOVE GRADE, USING ZERO EXCAVATION AND LOW IMPACT METHODS. LOW-IMPACT METHODS SHOULD INCLUDE UTILIZED AERATED SUB-BASES TO REDUCE COMPACTION AND ALLOW FOR ADDITIONAL GAS EXCHANGE WITHIN THE ROOT ZONES**

**INSTALLATION METHODS FOR WALKWAYS WITHIN RETAINED TREE PROTECTION ZONES:**  
 1. ALL WORK WITHIN RETAINED TREE PROTECTION ZONES IS TO OCCUR UNDER ARBORIST SUPERVISION.  
 2. PREPARE THE GROUND BY REMOVING LOOSE ORGANICS SUCH AS TURF, DUMP AND WEEDS IF DEEMED POSSIBLE BY THE PROJECT ARBORIST AND UNDER THE ON-SITE DIRECTION OF THE PROJECT ARBORIST.  
 3. MAINTAIN THE EXISTING SUBGRADES WITHIN THE TREE PROTECTION ZONES.  
 4. PLACE DOWN NILEX 4545 NON-WOVEN GEOTEXTILE TO PREVENT ANY WEEDS INTO THE UNDISTURBED SUBGRADES. GEOTEXTILE TO EXTEND 150MM PAST EDGES OF WALKWAY.  
 5. PLACE DOWN 150MM DEPTH OF 15CM, 19CM CLEAR CRUSH ROCK TO BE 45% WASHED SUBBASE.  
 6. PLACE DOWN 150MM DEPTH OF 15CM, 19CM CLEAR CRUSH ROCK TO BE 45% WASHED SUBBASE. OVER TOP OF CLEAR CRUSH GRAVEL TO PREVENT LEACHATE FROM LAYERS ABOVE INTO CLEAR CRUSH.  
 7. PLACE DOWN THE BASE MATERIALS AND INSTALL THE SURFACE TREATMENTS.  
 8. IF PLACING FILL ALONG OUTSIDE EDGES OF INSTALLED WALKWAYS, FILL DEPTHS WITHIN TREE ROOT ZONES MUST NOT EXCEED 19CM.  
 9. RETAINING WALLS MAY BE USED TO REDUCE THE SLOPE TRANSITION WHEN GREATER GRADES OR FILLS ARE NEEDED. IF RETAINING WALLS IS TO BE USED WITHIN TREE ROOT ZONE, INSTALL WALL ABOVE GRADE AND BY USING ZERO-EXCAVATION AND LOW-IMPACT METHODS.  
 PLEASE ALSO NOTE REGARDING THE ABOVE:  
 \* TYPES AND AMOUNTS OF BASE MATERIALS TO USE DEPENDS ON WHAT SURFACE TREATMENT IS CHOSEN.  
 \* HEIGHTS OF MATERIALS EXCLUDING THE CLEAR CRUSH TO USE DEPENDS ON WHAT THE MAXIMUM TOTAL HEIGHT REQUIRED FOR THE WALKWAY IS.

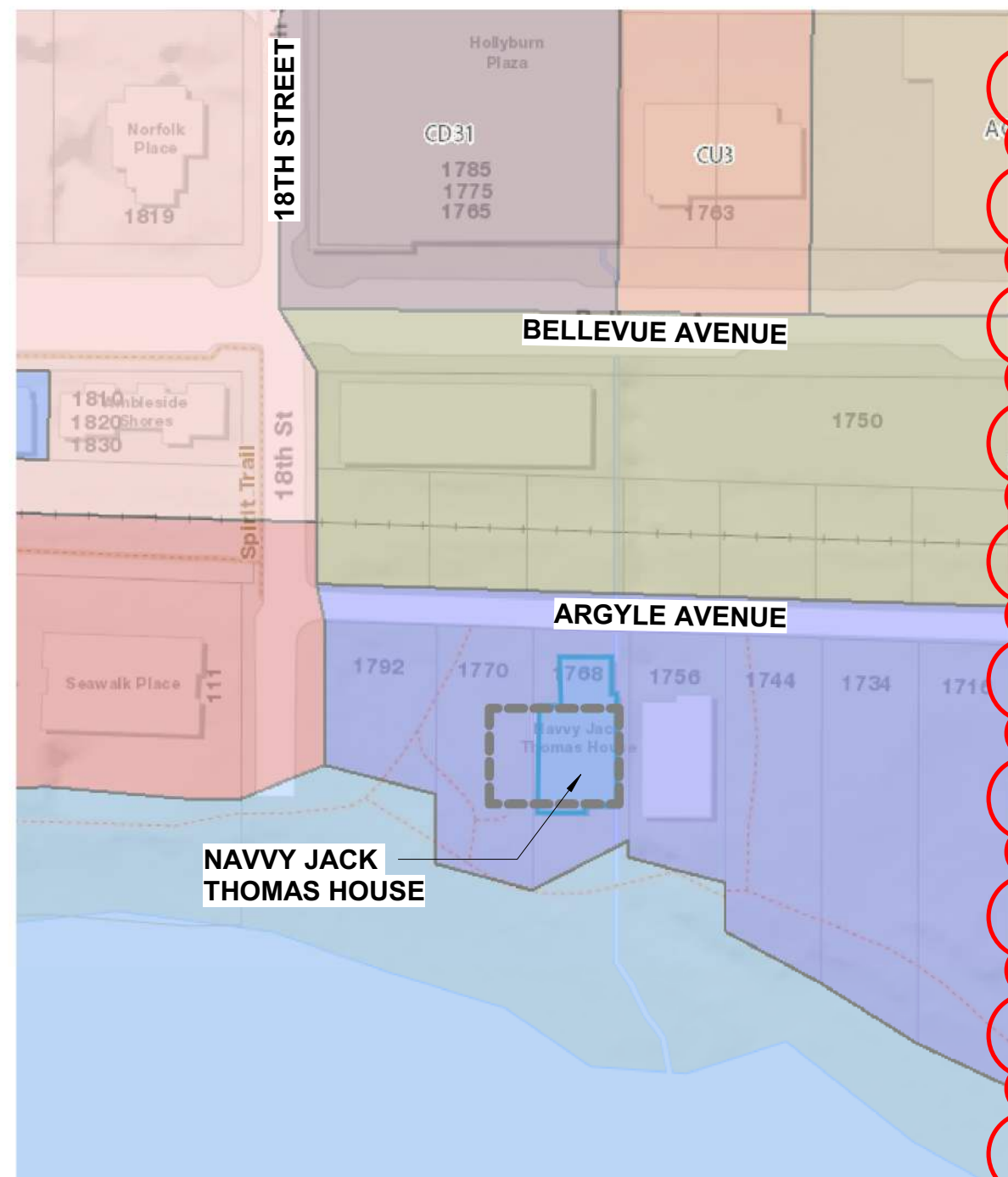
**GRADING AND ONSITE DRAINAGE**  
 GENERALLY, THERE ARE LOOSE SILTY, SANDY AND GRAVELLY MATERIALS AT SITE THAT CAN BE WASHED OUT DURING A FLOOD EVENT. HENCE, LANDSCAPING IS IMPORTANT TO PROTECT THE SOILS EXISTING AT GROUND SURFACE. NATURAL OR SOFT LANDSCAPING MATERIALS SHOULD BE USED TO PROTECT THE PROPERTY AND FORESHORE AREA AND CREATE RESILIENCY TO COASTAL FLOODING. KEEPING THE SITE WELL DRAINED IS PREFERRED TO HELP STABILIZE THE SUBSURFACE SOILS. PERMANENT PERIMETER DRAINAGE SYSTEM AT THE FOUNDATION LEVEL IS RECOMMENDED TO PROTECT THE FOUNDATIONS OF THE STRUCTURE FROM WATER/HUMIDITY. THE DRAINAGE PIPE SHOULD BE SURROUNDED BY AT LEAST 0.3 M OF CLEAR 3/4-INCH CRUSHED GRAVEL. THE GRAVEL IS TO BE SEPARATED FROM SOIL BY A LIGHT-WEIGHT GEO-SYNTHETIC WRAP (FILTER CLOTH). LANDSCAPING AROUND THE HOUSE SHOULD BE MADE SO THAT SURFACE DRAINAGE AND RUNOFF IS DIRECTED AWAY OF THE BUILDING, WITH A GENERAL SITE SLOPE TOWARDS THE INLET.

**BACKFILLING**  
 THE FILL NEEDED TO RAISE GRADES SHOULD BE CLEAN AND FREE OF DEBRIS AND DELETERIOUS SUBSTANCES AND ADHERE TO FILL SPECIFICATIONS OUTLINED BY DCI'S GEOTECHNICAL ENGINEER. BACKFILLING SHOULD BE OF CLEAN WELL GRADED CLEAN CRUSHED GRAVEL, THOROUGHLY COMPACTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER TO AVOID ANY FUTURE SETTLEMENTS OR EROSION. THE BACKFILL MATERIAL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING A LOOSE THICKNESS OF 300 MM.





**SITE CONTEXT - AERIAL**



**SITE CONTEXT - ZONING**

**LEGEND**

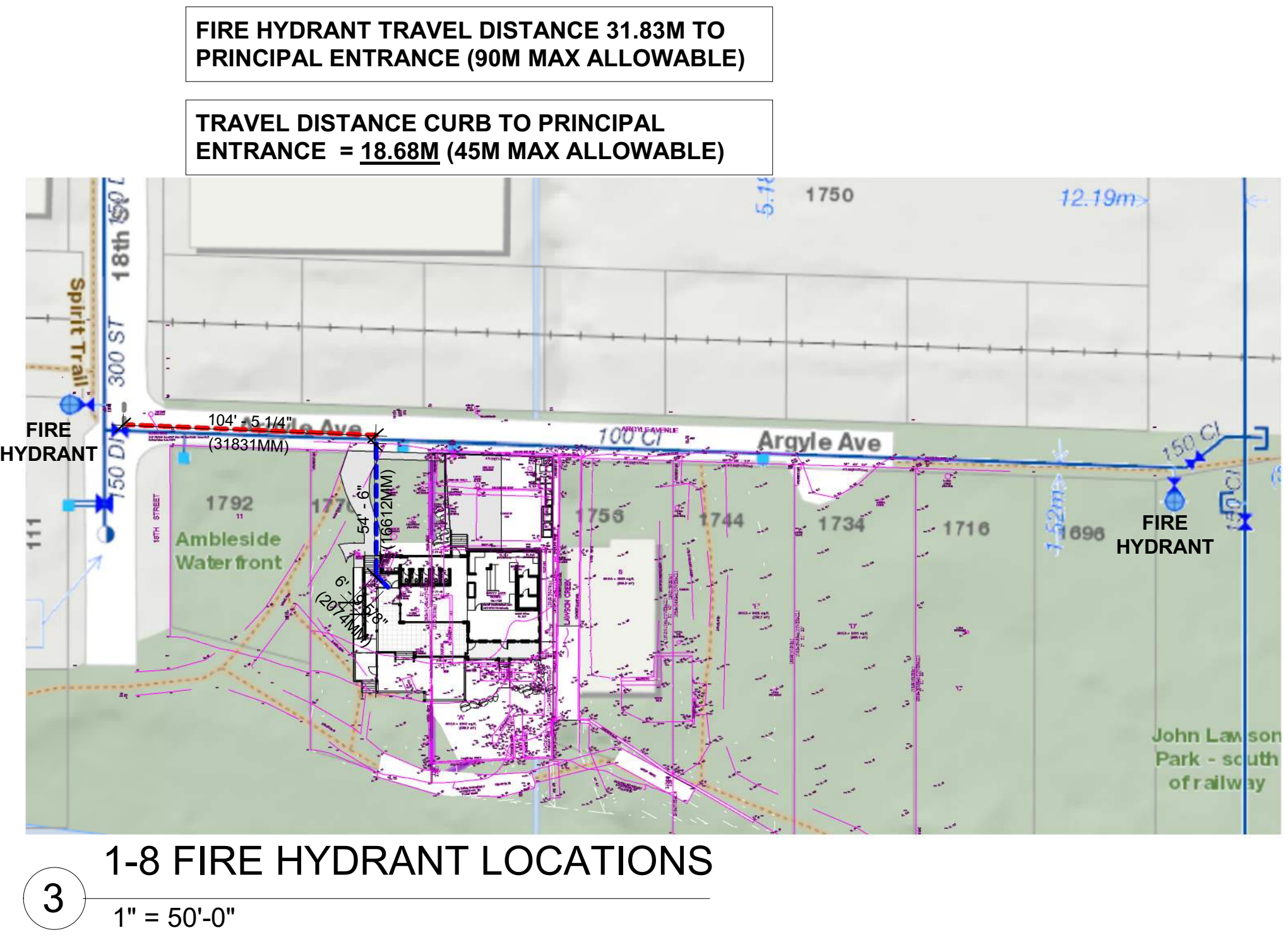
- AC1 - AMBLESIDE CENTRE ZONE
- CZ - COMMERCIAL ZONE
- CD31 - COMPREHENSIVE DEVELOPMENT ZONE
- CD75 - COMPREHENSIVE DEVELOPMENT ZONE
- CU3 - COMMUNITY/PUBLIC USE ZONE
- CU5 - AMBLESIDE WATERFRONT COMMUNITY USE
- M1 - MARINE ZONE
- RD1 - DUPLEX DWELLING ZONE
- RD3 - DUPLEX DWELLING ZONE
- RM1 - MULTIPLE DWELLING ZONE
- RM2 - MULTIPLE DWELLING ZONE

**PROJECT STATISTICS - ZONING: CU5 - AMBLESIDE WATERFRONT COMMUNITY USE ZONE 5**

- SITE AREA: N/A (2 DISTRICT LOTS)**
- MAX. GROSS FLOOR AREA ALLOWABLE: 280SM (3013.9SF)**  
(RESTAURANT/BISTRO USE)
 

	EXISTING	RETAINED	ADDITION
A) LEVEL 1 FLOOR AREA:	1731SF	1206SF	786SF
C) LEVEL 2 FLOOR AREA:	1041SF	0SF	N/A
C) TOTAL FLOOR AREA:	2772SF	1206SF	786SF
- SETBACKS**

	PROPOSED	ALLOWABLE
A) NORTH SETBACK =	32'- 2 7/8" (11655MM)	16.4FT (5000MM)
B) SOUTH SETBACK =	26'- 9 1/8" (8157MM)	32.8FT (10000MM)
- MAX. ALLOWABLE NUMBER OF STOREYS: 2 STOREYS**  
PROPOSED 2 STOREYS EXISTING WITH UPPER STOREY/ATTIC DECOMMISSIONED AND USE FOR MECHANICAL EQUIPMENT ONLY WITH ACCESS BY CEILING HATCH.
- PROPOSED VARIANCES:**
  - A) SOUTH SETBACK REDUCTION BY 1843MM (6.05FT) DUE TO RESTORATION OF THE ORIGINAL PORCH OF THE HERITAGE BUILDING.

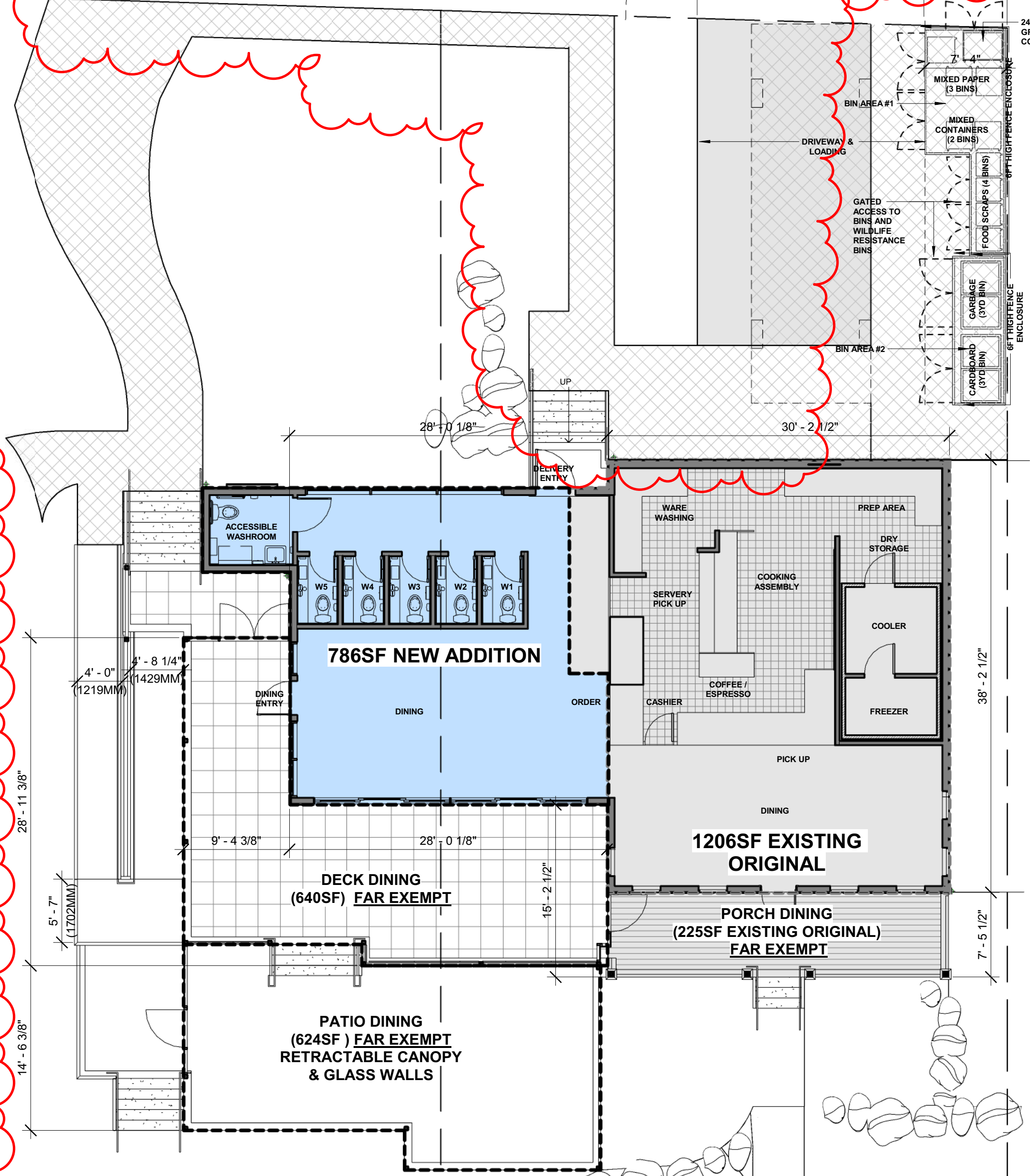


**COMMERCIAL WASTE AREA INFORMATION - COMMERCIAL SERVICES INCLUDE RESTAURANT ONLY**

SIZE	BIN AREA#1 - 148.5SF (13700MM)	BIN AREA#2 - 94.75SF (8750MM)		
LOCATION	GROUND LEVEL EXTERIOR			
ACCESS INFORMATION	OPEN 7AM - 7PM			
BUILDING USE	RESTAURANT			
BIN TYPE	# OF BINS	FOOTPRINT OF 1 BIN (SM)	COLLECTION SERVICE	WASTE SERVICES PROVIDED
360L	2	0.56	GFL ENVIR.	MIXED CONTAINER
360L	3	0.56	GFL ENVIR.	MIXED PAPER
240L	4	0.43	GFL ENVIR.	FOOD SCRAPS
3 YD	1	1.96	GFL ENVIR.	CARDBOARD
3 YD	1	1.96	GFL ENVIR.	GARBAGE
240L	1	0.83	REDUX	GREASE CONTAINER

**SPACE ALLOCATION FOR STORAGE FACILITY = # OF CONTAINERS X FOOTPRINT OF EA. CONTAINER X MANOEUVRE FACTOR**

BIN AREA#1	57.6SF (5300MM X 2 = 11520 (10750MM) WIDE DRIVEWAY SPACE ALLOWED FOR ADDITIONAL MANOEUVRE SPACE
BIN AREA#2	42.2SF (3900MM X 2 = 7840SF (7400MM) WIDE DRIVEWAY SPACE ALLOWED FOR ADDITIONAL MANOEUVRE SPACE



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**REVISIONS**

No.	Description	Date
1	ISSUED FOR DISCUSSION	2023 AUG 21
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05

**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**ZONING, SITE CONTEXT, GARBAGE ACCESS & HYDRANT**

Date	Project number
2024 SEPT 05	2329
Scale	As indicated
Drawn by	<b>DP101</b>
Approved by	HD CK





**WATERFRONT VIEW**

- STAINED CEDAR ROOFING SHINGLES  
BM ARBORCOAT EXTERIOR STAIN SEMI-TRANSPARENT K63820
- WOODEN DROP SIDING  
BENJAMIN MOORE PAINT VICTORIAN PERIDOT VC-17  
TBC BY HERITAGE CONSULTANT
- TRIM & WINDOW SASH  
SHERWIN WILLIAMS PAINT PENDRELL GREEN
- FASCIA  
SHERWIN WILLIAMS PAINT PENDRELL VERDIGRIS VC-22
- BALUSTERS & BRACKETS  
SHERWIN WILLIAMS PAINT PENDRELL VERDIGRIS VC-22
- PORCH COLUMNS  
SHERWIN WILLIAMS PAINT PENDRELL GREEN



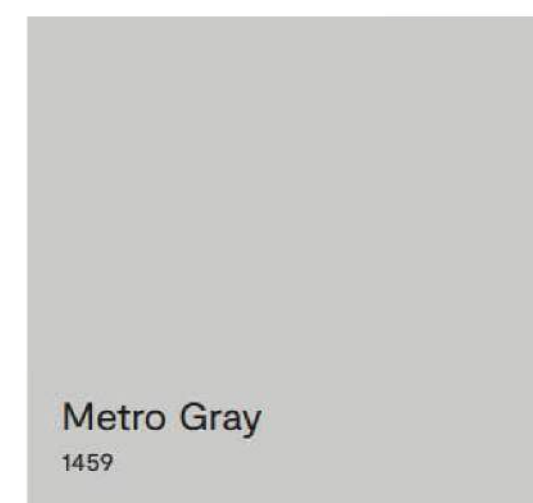
**WESTSIDE VIEW**



**ARGYLE AVENUE VIEW**

- FASCIA & METAL FLASHING  
BENJAMIN MOORE METRO GRAY 1459
- COMPOSITE PANEL CLADDING  
BENJAMIN MOORE METRO GRAY 1459
- CLEAR ANODIZED ALUMINUM STOREFRONT

**MATERIAL & COLOURS**



Metro Gray  
1459

**HARDIE PANEL CLADDING, FASCIA, FLASHING**  
BENJAMIN MOORE CHANTILLY LACE OC-75



HARDIE PANEL CLADDING



ANODIZED ALUMINUM STOREFRONT

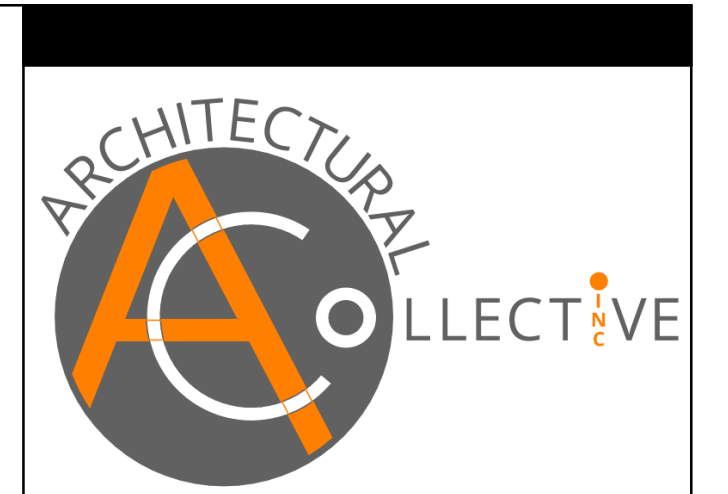


DROP SIDING

**TABLE 511.1 - HISTORICAL COLOUR SCHEME: NAVVY JACK HOUSE, 1768 ARGYLE AVENUE, WEST VANCOUVER BC**

	ELEMENT	COLOUR	CODE*	SAMPLE	FINISH
A	Horizontal Drop Wood Siding	Pendrell Verdigris	VC-22		Flat
B	Exterior drop wood horizontal sidings	VICTORIAN PERIDOT TBC BY HERITAGE CONSULTANT	VC-17		Flat
C	Window and Door surround casings, sills,	Pendrell Green	VC-18		High Gloss
D	Lathe-turned Posts on verandah	Pendrell Green	VC-18		High Gloss
E	Decorative Wood Brackets	Pendrell Verdigris	VC-22		Semi Gloss
F	Facias, Bargeboards	Pendrell Verdigris	VC-22		Semi Gloss
G	Wood ballustrades	Pendrell Verdigris	VC-22		Semi Gloss
H	Porch Flooring	Edwardian Porch Grey	VC-26		Flat
I	Exposed roof raftertails and tongue-and-groove soffits	Pendrell Verdigris	VC-22		Semi Gloss
J	Exterior wood window sashes	Pendrell Green	VC-18		High Gloss
K	Exterior wood door sashes	Pendrell Green	VC-18		High Gloss
L	Curved tin roof cladding with nailed down wood battens over	BM Arborcoat Exterior Stain Semi-Transparent	K63820		Stained
M	Cedar Shingle Roof	BM Arborcoat Exterior Stain Semi-Transparent	K63820		Stained

\*VC - Paint colours matched from Benjamin Moore's Historical Vancouver True Colours



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PLAN 16965

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WEST VANCOUVER

**DRAWING TITLE**

**PERSPECTIVE,  
MATERIALS, &  
COLOURS**

Date	Project number
2024 SEPT 05	2329
Scale	<b>DP102</b>
Drawn by	
Approved by	
	HD
	CK





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PLAN 16965

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WEST VANCOUVER

**DRAWING TITLE**

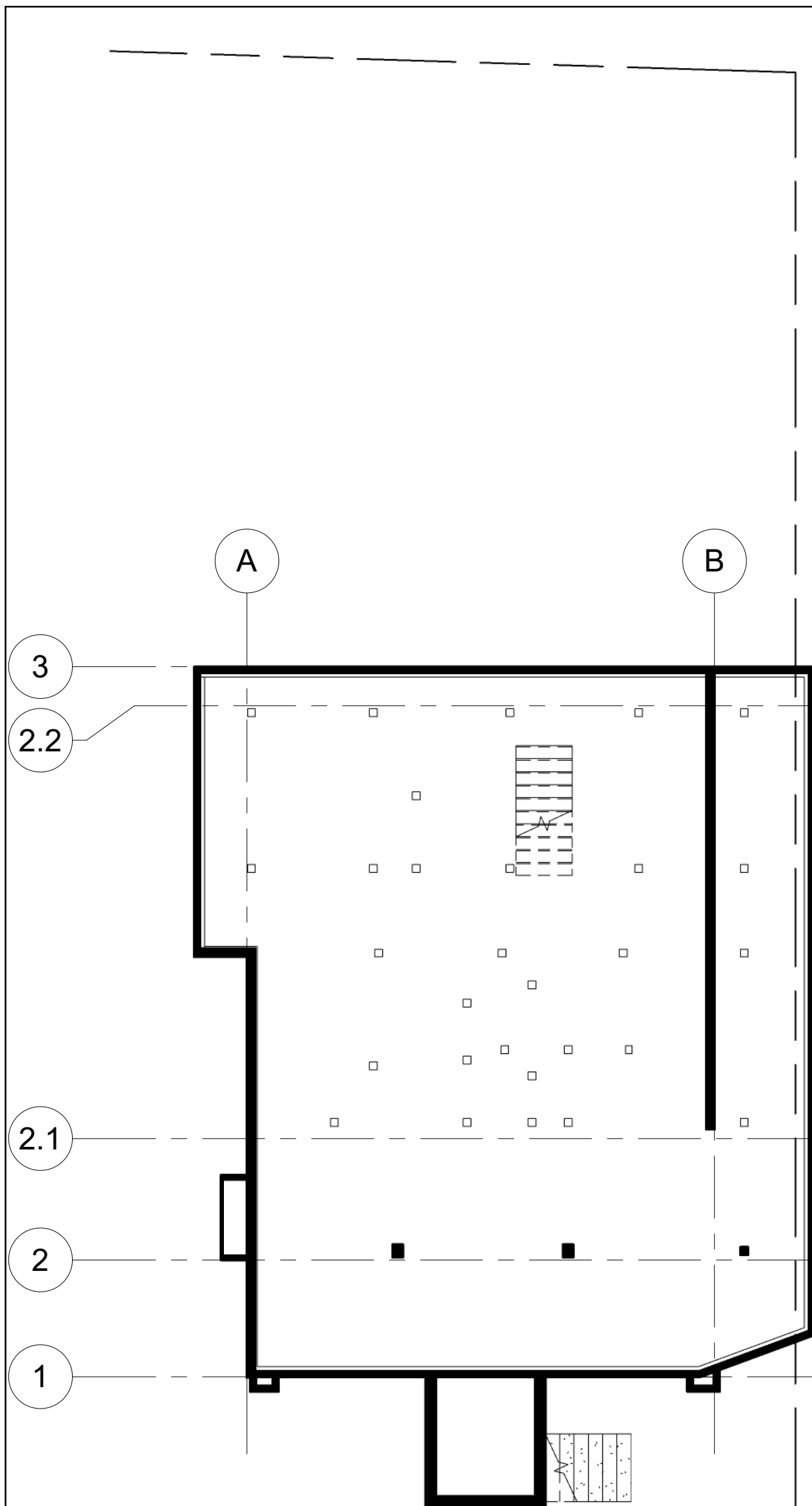
**EXISTING BUILDING CONDITIONS**

Date: 2024 SEPT 05 | Project number: 2329

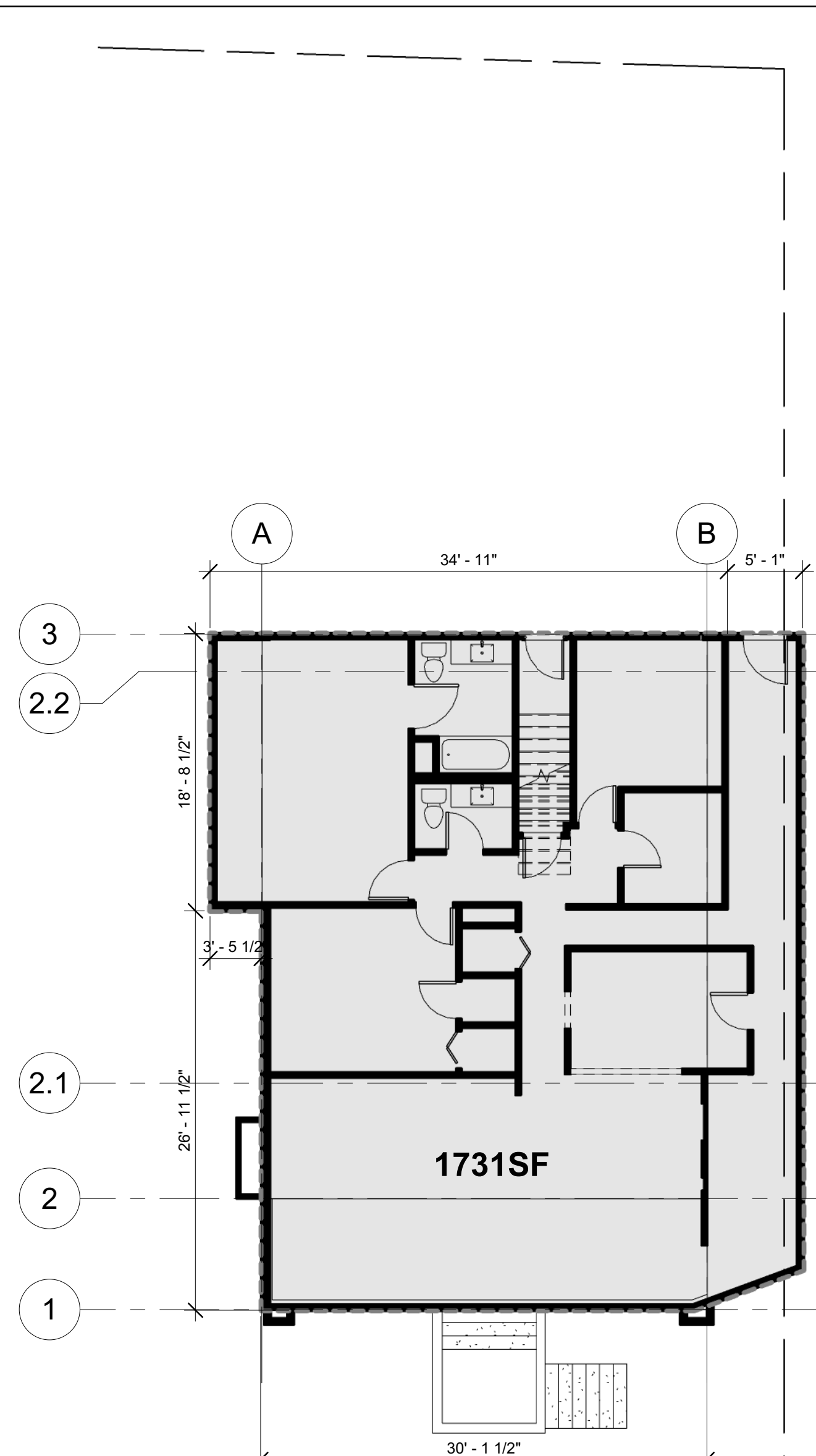
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Drawn by: HD | **DP103**

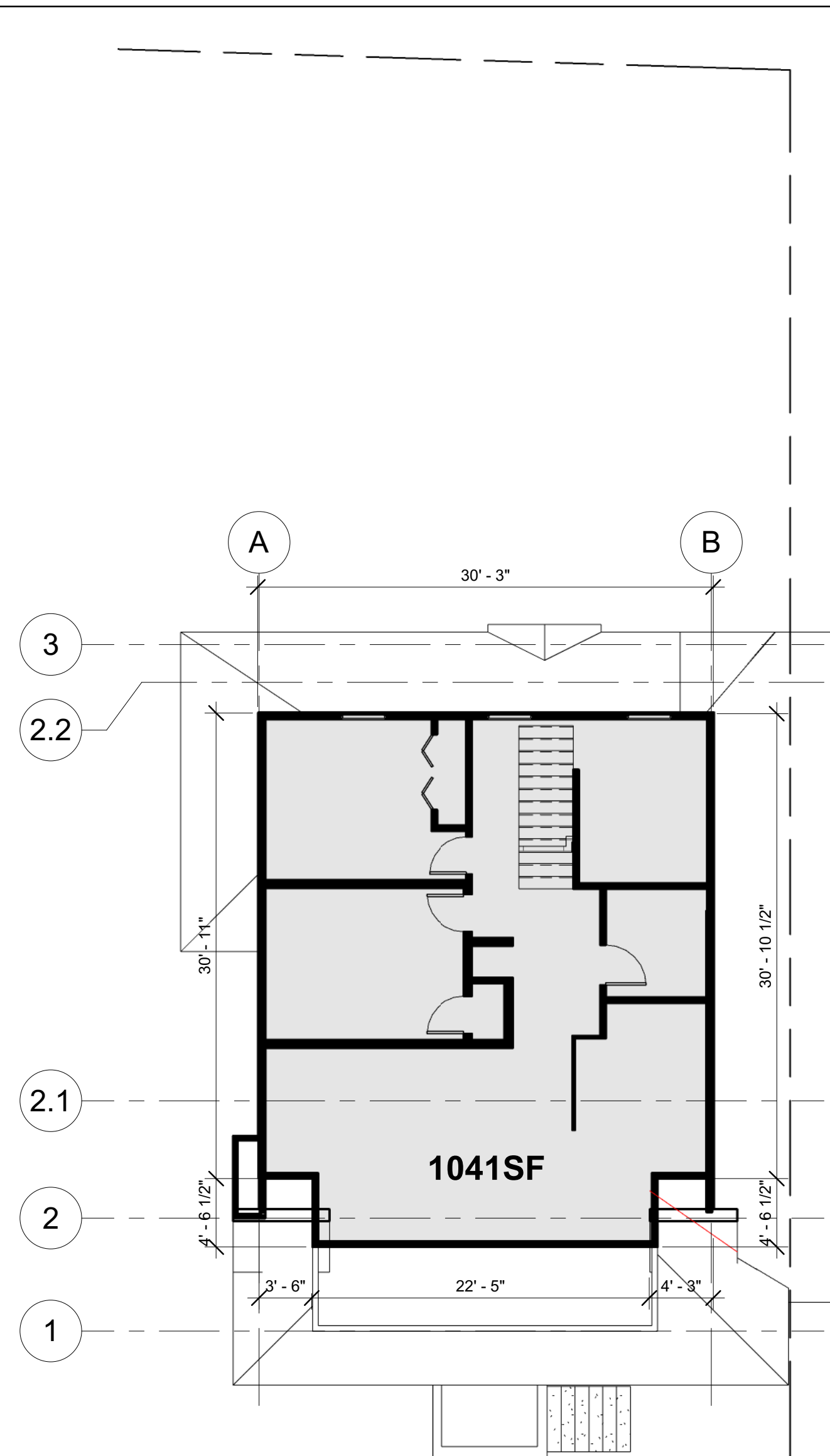
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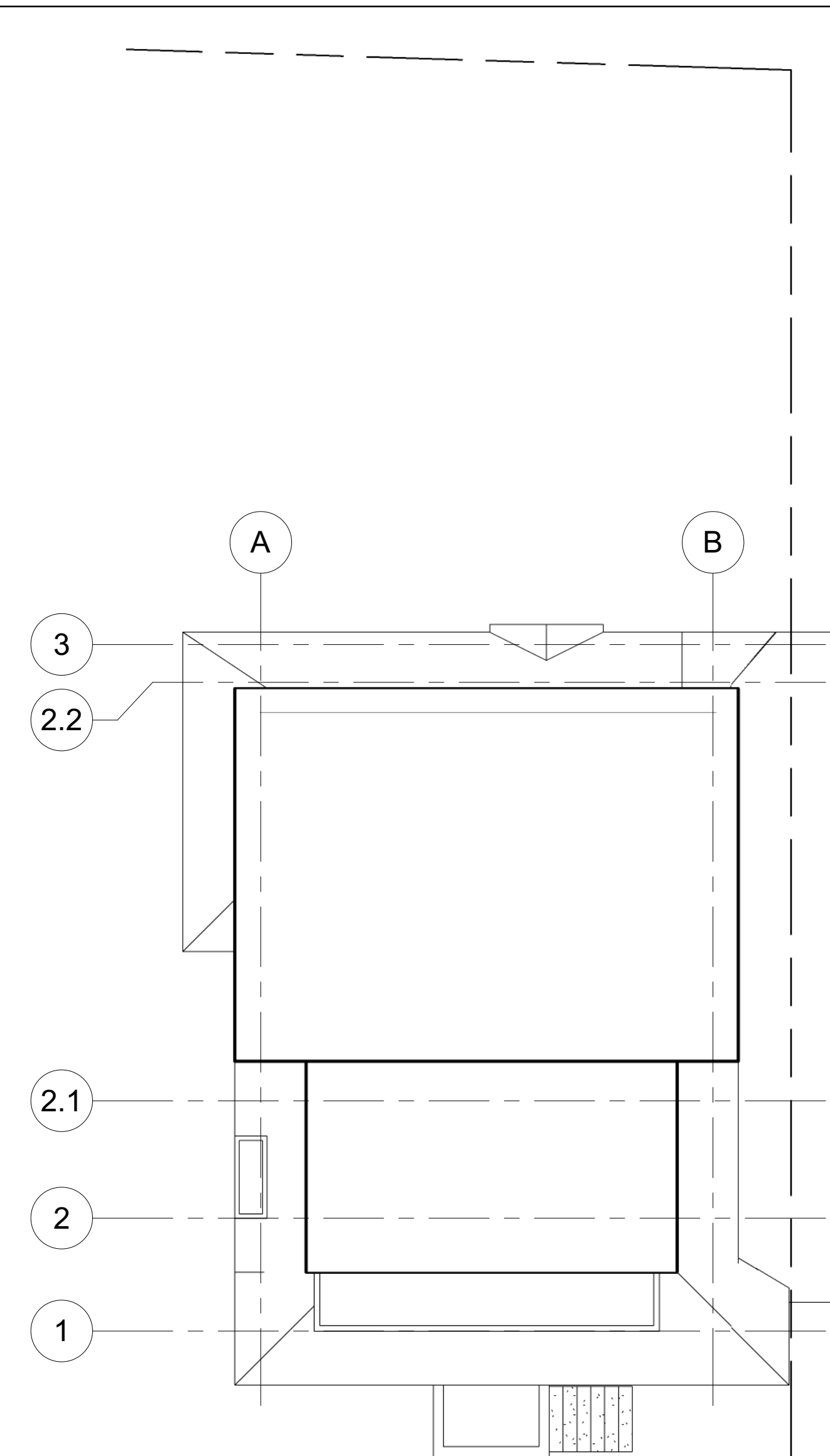
**1** 1-8 EXISTING CRAWL SPACE  
1/8" = 1'-0"



**2** 1-8 EXISTING LEVEL 1  
1/8" = 1'-0"

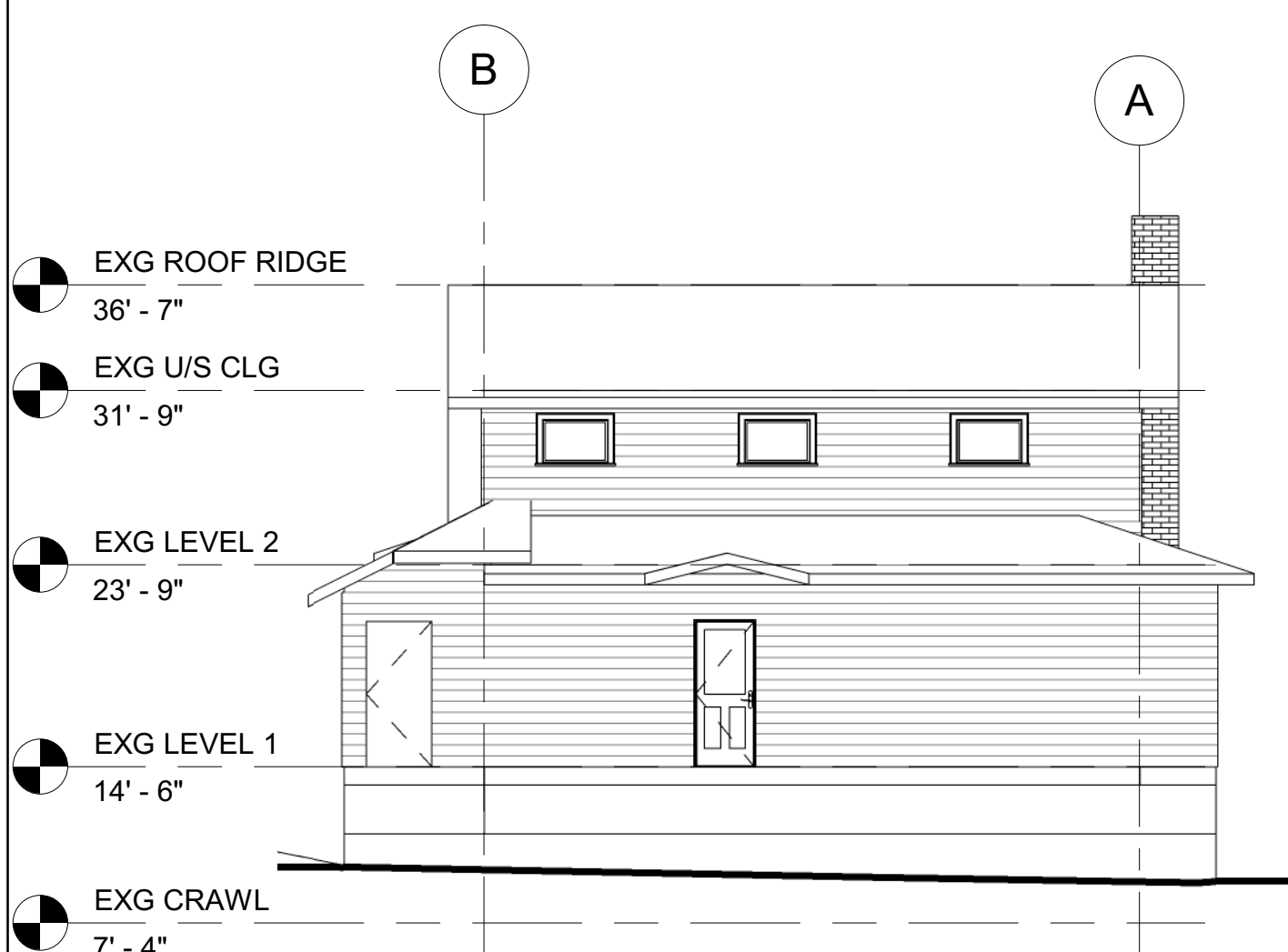


**3** 1-8 EXISTING LEVEL 2  
1/8" = 1'-0"

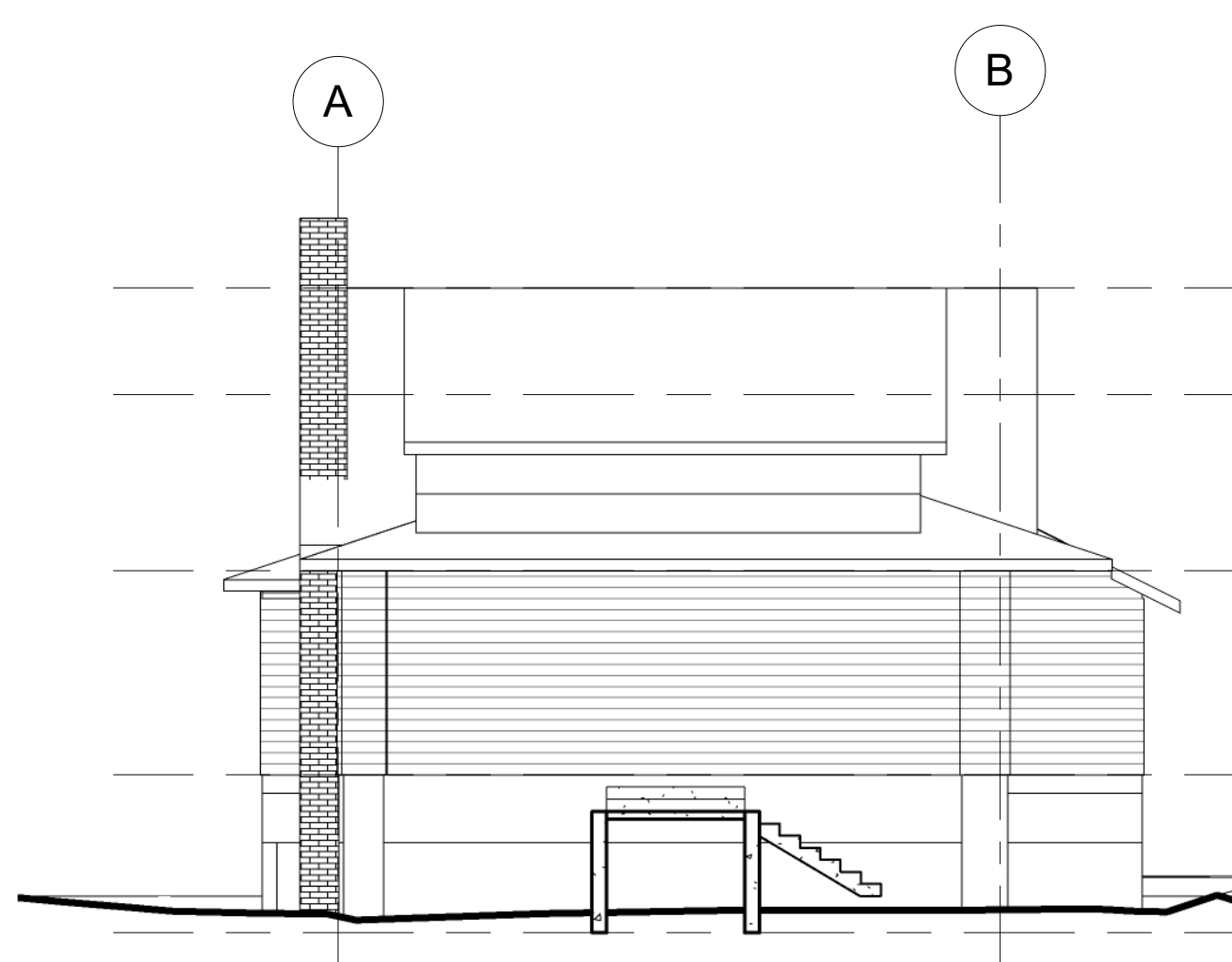


**4** 1-8 EXISTING ROOF  
1/8" = 1'-0"

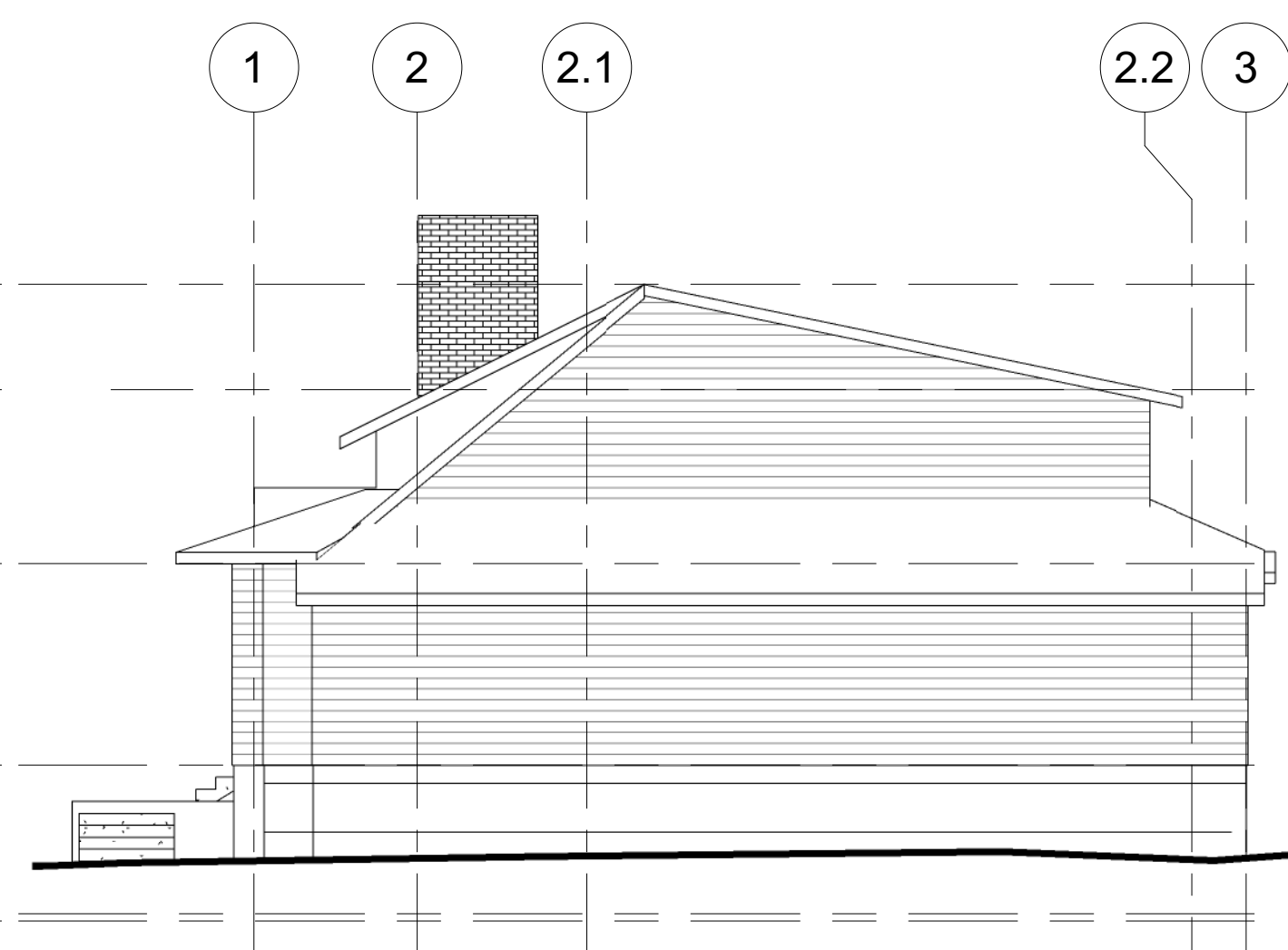
**TOTAL EXISTING FLOOR AREA = 2772SF**



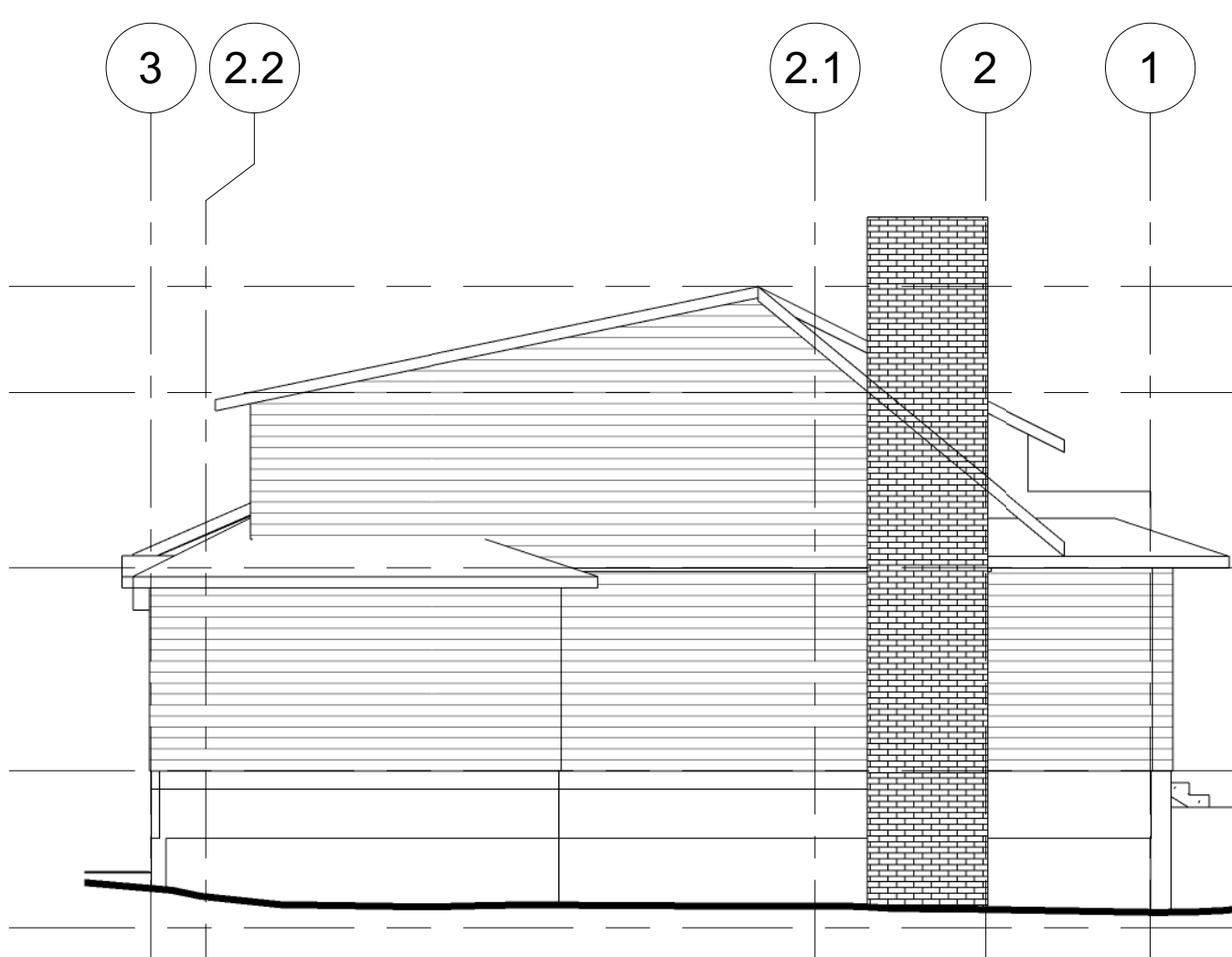
**6** 1-8 EXG NORTH ELEVATION  
1/8" = 1'-0"



**7** 1-8 EXG SOUTH ELEVATION  
1/8" = 1'-0"



**5** 1-8 EXG EAST ELEVATION  
1/8" = 1'-0"



**8** 1-8 EXG WEST ELEVATION  
1/8" = 1'-0"

2024-09-05 1:35:32 PM





677 EAST 27<sup>TH</sup> AVENUE  
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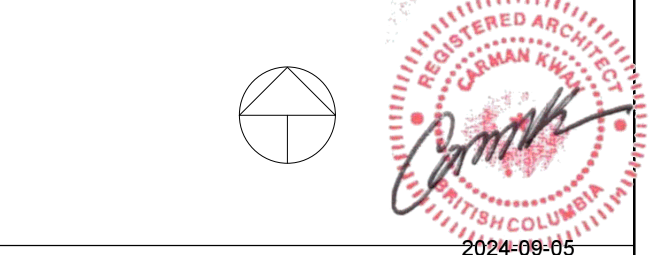
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No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
20	DP RESUBMISSION#2	2024 SEPT 05



PROJECT:  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

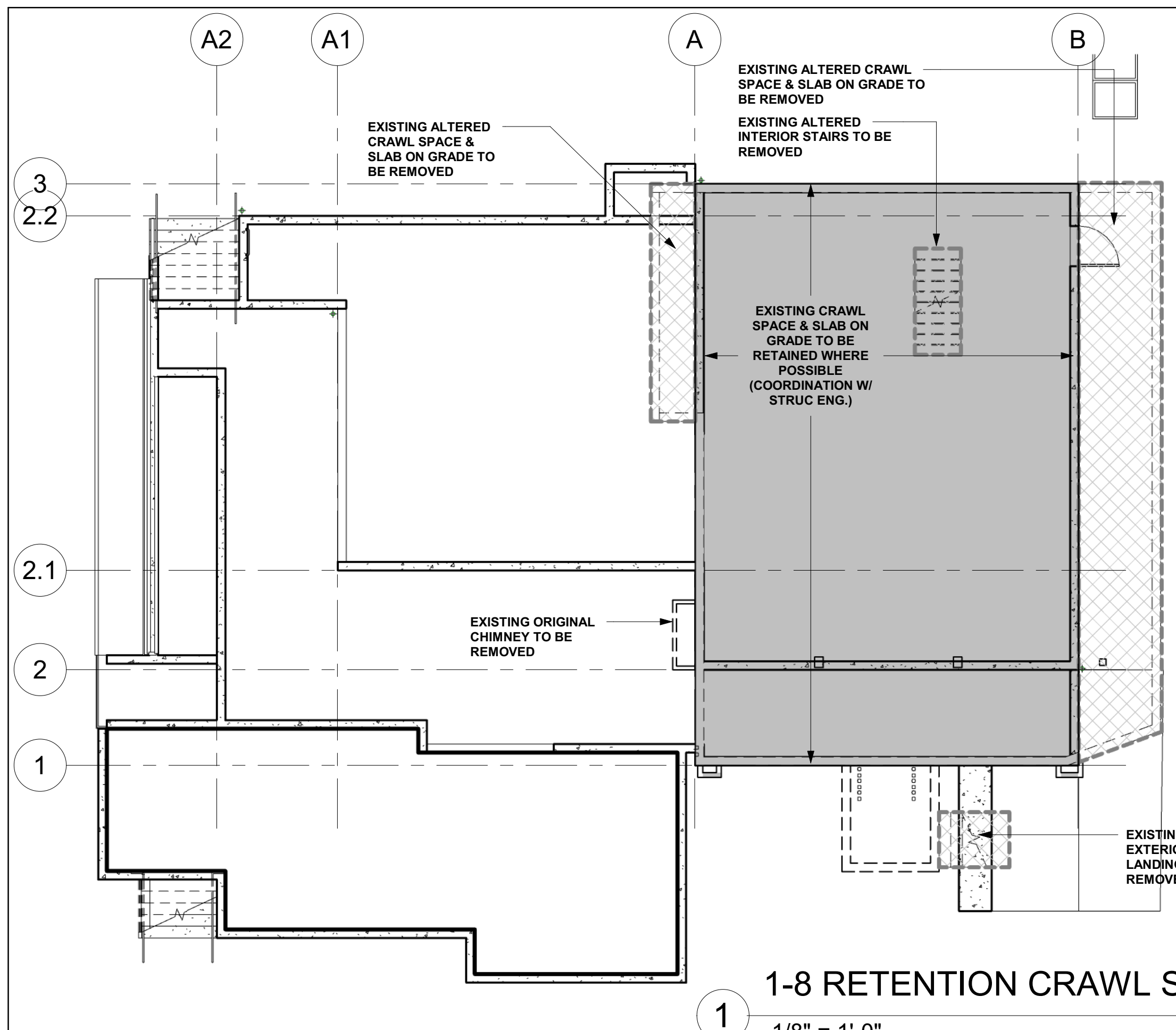
NAAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

DRAWING TITLE  
**RETENTION FLOOR PLANS**

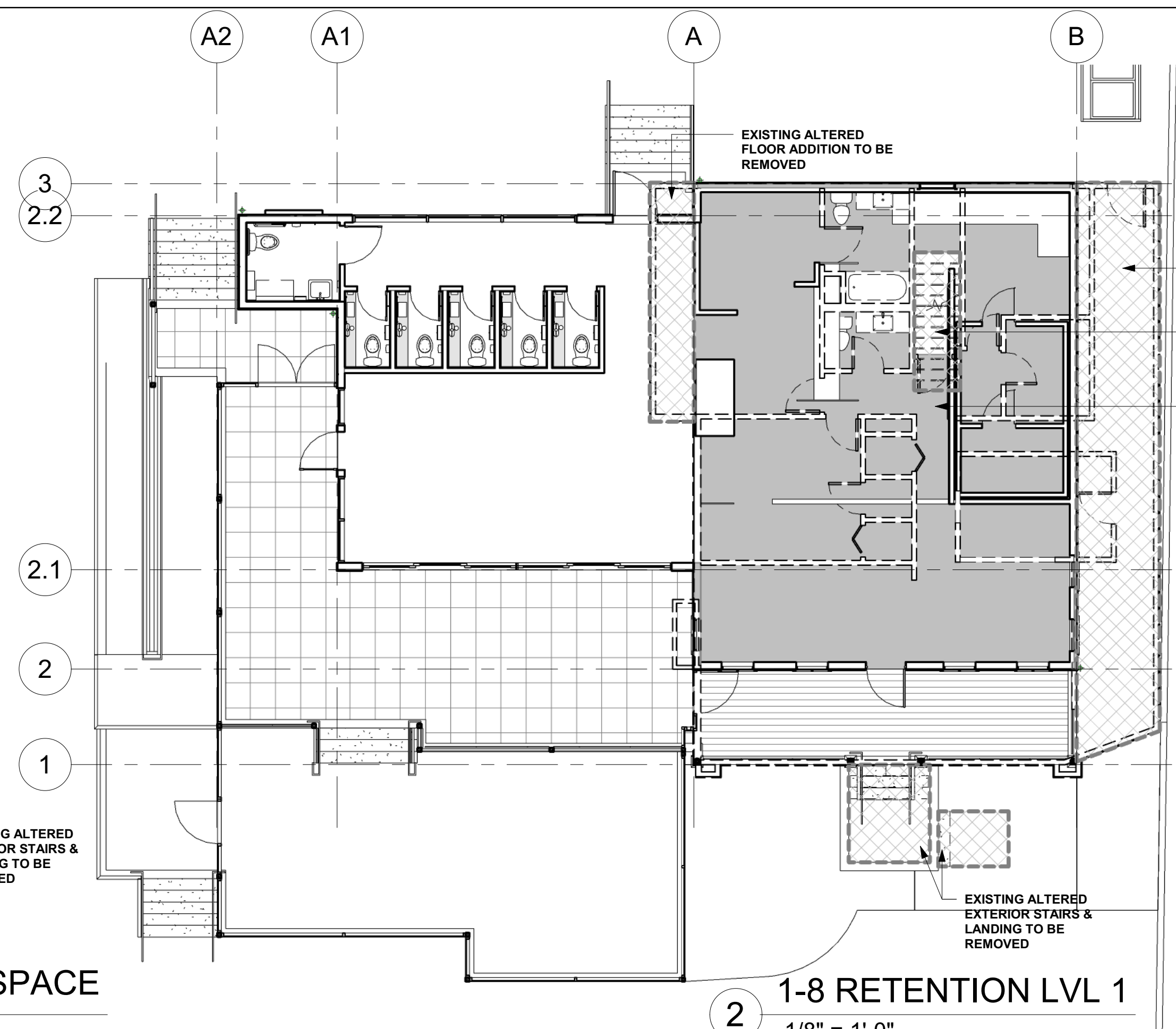
Date	2024 SEPT 05	Project number	2329
Scale	As indicated		
Drawn by	HD		
Approved by	CK		

DP110

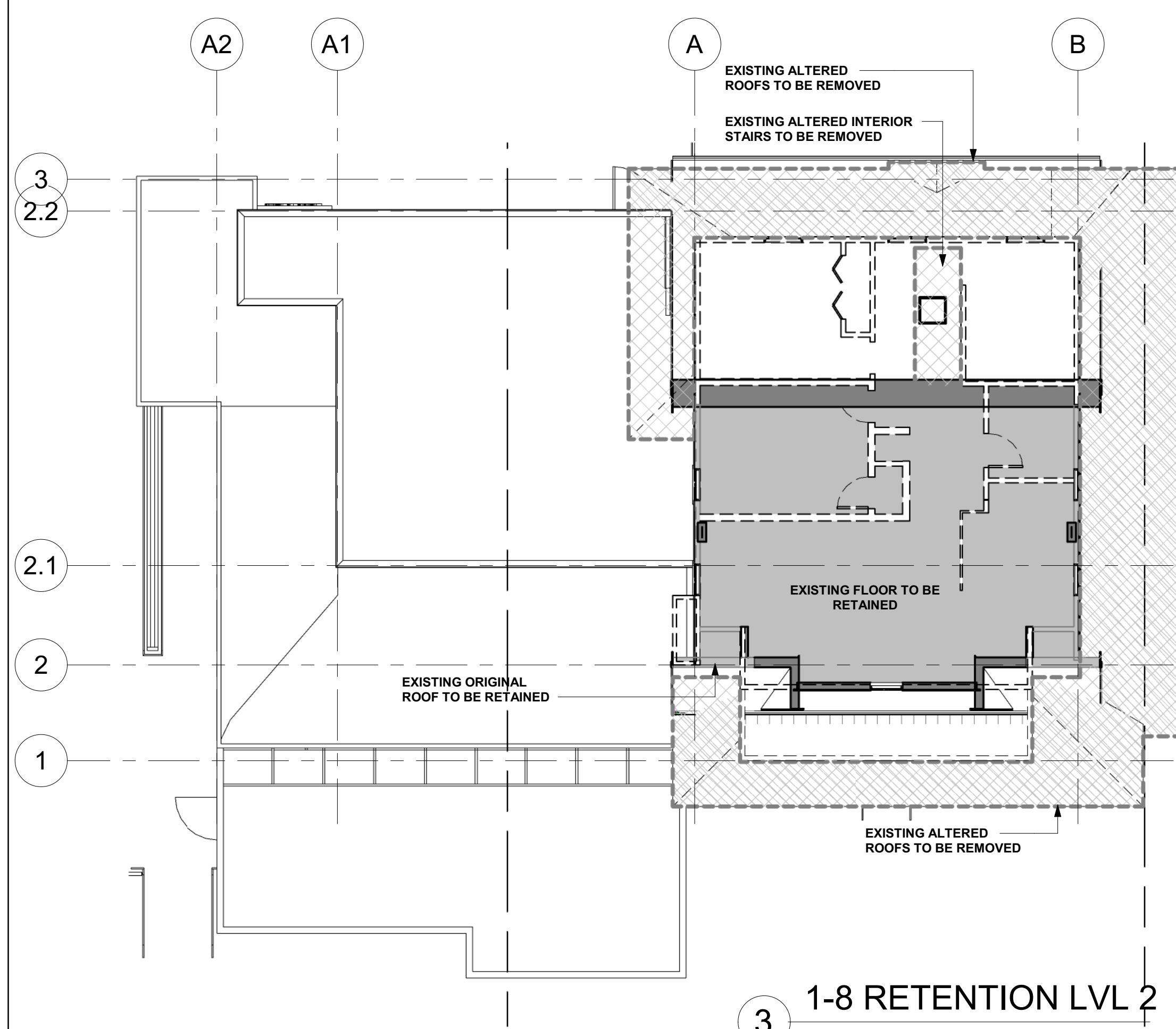
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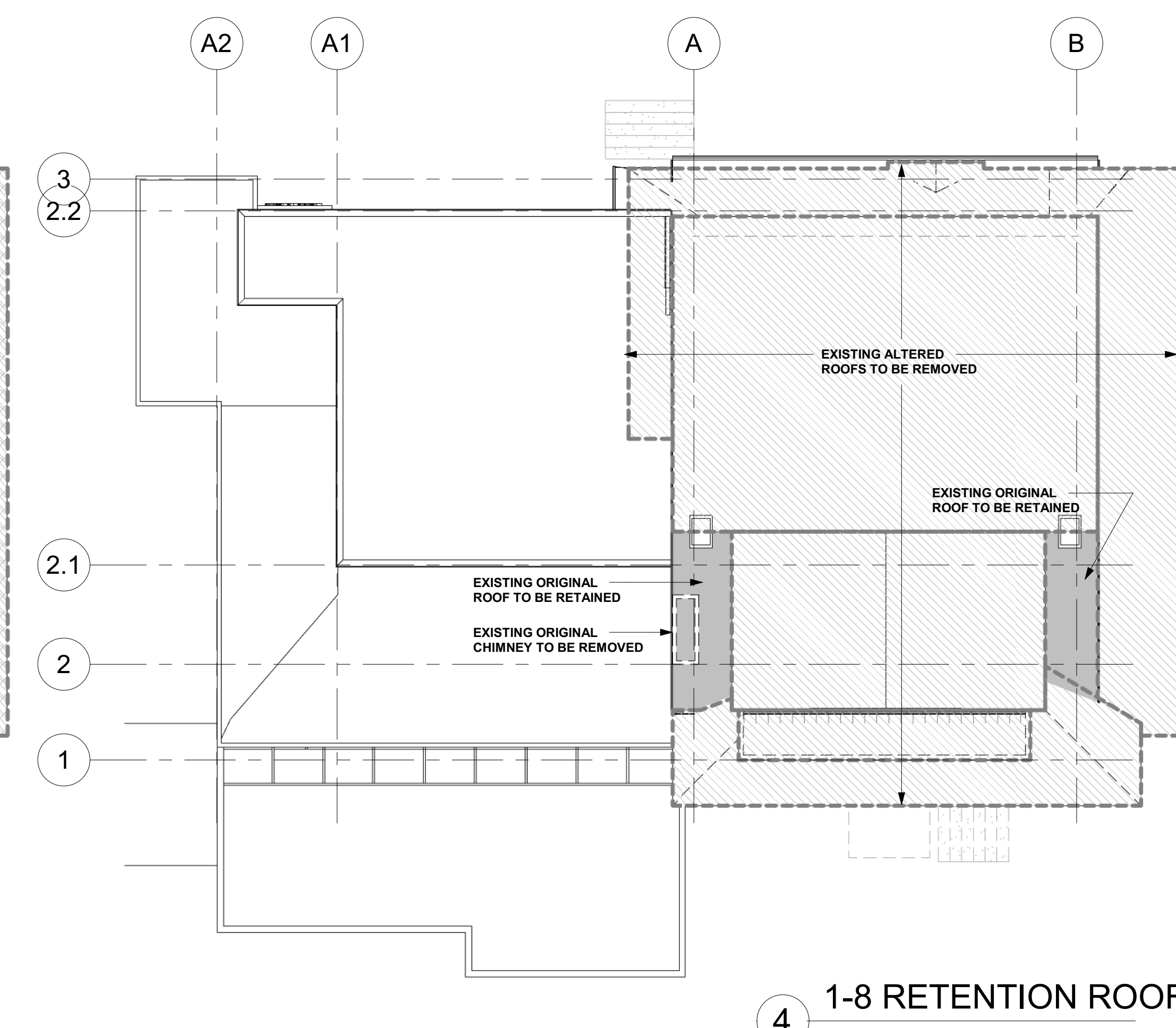
**1 1-8 RETENTION CRAWL SPACE**  
1/8" = 1'-0"



**2 1-8 RETENTION LVL 1**  
1/8" = 1'-0"



**3 1-8 RETENTION LVL 2**  
1/8" = 1'-0"



**4 1-8 RETENTION ROOF**  
1/8" = 1'-0"

RETENTION COLOUR & SYMBOL LEGEND

FLOOR / ROOF / WALL AREA TO BE RETAINED	[Solid Grey Box]
FLOOR / ROOF / WALL AREA TO BE REMOVED	[Dashed Line Box]
WALLS TO BE REMOVED (FLOOR PLAN)	[Dashed Line Box]
NEW WALLS	[Solid White Box]

- SEQUENCE OF CONSTRUCTION:**
- HAZARDOUS MATERIALS REMOVAL TO BE COMPLETED BY QUALIFIED TRADES AND TESTING TO BE COMPLETED AS REQUIRED.
  - EXISTING INTERIOR AND EXTERIOR FINISHES TO BE REMOVED.
  - TEMPORARY SHORING AND BRACING OF STRUCTURE TO BE COMPLETED BY QUALIFIED TRADES. STRUCTURAL ENGINEER TO REVIEW IF REQUIRED.
  - DEMOLITION OF EXISTING FOUNDATIONS AND BASEMENT WALLS TO BE REMOVED. EXCAVATION TO FOLLOW FOR NEW CONCRETE SLAB ELEVATION OF BASEMENT. FORMWORK OF NEW FOUNDATION WALLS TO BE FOLLOWED BY REINFORCING AS REQUIRED BY STRUCTURAL ENGINEER. POUR CONCRETE FOOTINGS AND FOUNDATION WALLS. REFRAMING OF BASEMENT EXTERIOR STUD WALLS TO TAKE PLACE PRIOR TO BUILDING TO BE LOWERED BACK TO MATCH EXISTING MAIN FLOOR ELEVATION ON NEW FOUNDATIONS AND BASEMENT WALLS.
  - REMOVE ALL INTERIOR WALLS AS NOTED FOR DEMOLITION. PROVIDE TEMPORARY SHORING IN INTERIOR AS REQUIRED FOR REFRAMING OF NEW PROPOSED INTERIOR FLOOR PLAN LAYOUTS. CUT OPENINGS IN EXTERIOR WALLS FOR NEW WINDOWS AND DOORS WITH REFERENCE TO NEW STRUCTURAL DESIGN. NEW FRAMING TO BE COMPLETED PER STRUCTURAL DESIGN DETAILS.
  - BUILDING ENVELOPE REPAIRS TO INCLUDE COMPLETE REMOVAL OF EXISTING CLADDING AND REPLACEMENT TO INCLUDE WEATHER BARRIER AND RAINSCREEN WITH NEW CLADDING AS REQUIRED TO MEET THE BUILDING CODE REQUIREMENTS.
  - ELECTRICAL AND MECHANICAL ROUGH INS TO BE PROVIDED PRIOR TO INSTALLATION OF INSULATION AND AIR/VAPOUR BARRIER AND THEN BOARDING, MUDDING, TAPING AND PAINTING OF INTERIOR WALLS.

- GENERAL NOTES FOR RETENTION:**
- ALL PARTS OF THE BLDG SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME.
  - "RETAINED WALL" MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING.
  - "RETAINED FLOOR" MEANS THE RETENTION OF THE EXISTING FLOOR AND FLOOR JOISTS AND SUBFLOOR.
  - "RETAINED ROOF" MEANS THE RETENTION OF THE EXISTING ROOF RAFTERS AND SHEATHING. REMOVAL OF SHEATHING AS REQUIRED IN LIVABLE ATTIC SPACES WHERE CROSS VENTING IS TO BE INSTALLED AS REQUIRED BY BUILDING CODE.
  - ANY EXISTING MATERIALS THAT ARE FOUND TO BE STRUCTURALLY COMPROMISED TO DUE TO AGE, WATER DAMAGE ETC. ARE TO BE REPLACED ACCORDINGLY AND REVIEWED BY THE STRUCTURAL ENGINEER.
  - ORIGINAL WINDOWS HAVE BEEN REPLACED WITH ALUMINUM WINDOWS. ALL EXISTING ALUMINUM WINDOWS TO BE REMOVED AND REPLACED WITH VINYL WINDOWS AND DOUBLE GLAZING TO MEET BUILDING CODE REQUIREMENTS FOR NEW BUILDINGS.
  - EXISTING STUCCO & WOOD PLANK CLADDING TO BE REMOVED AND NEW NON-COMBUSTIBLE PLANK CLADDING WITH RAINSCREEN TO REPLACE EXISTING CLADDING.

**GENERAL NOTE: ALL EXISTING DIMENSIONS TO BE CONFIRMED AND VERIFIED ON SITE. EXISTING DIMENSIONS OF RETAINED BLDG COMPONENTS TO SUPERCEDE DRAWING DIMENSIONS.**





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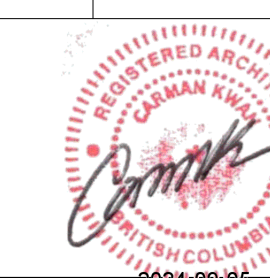
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**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

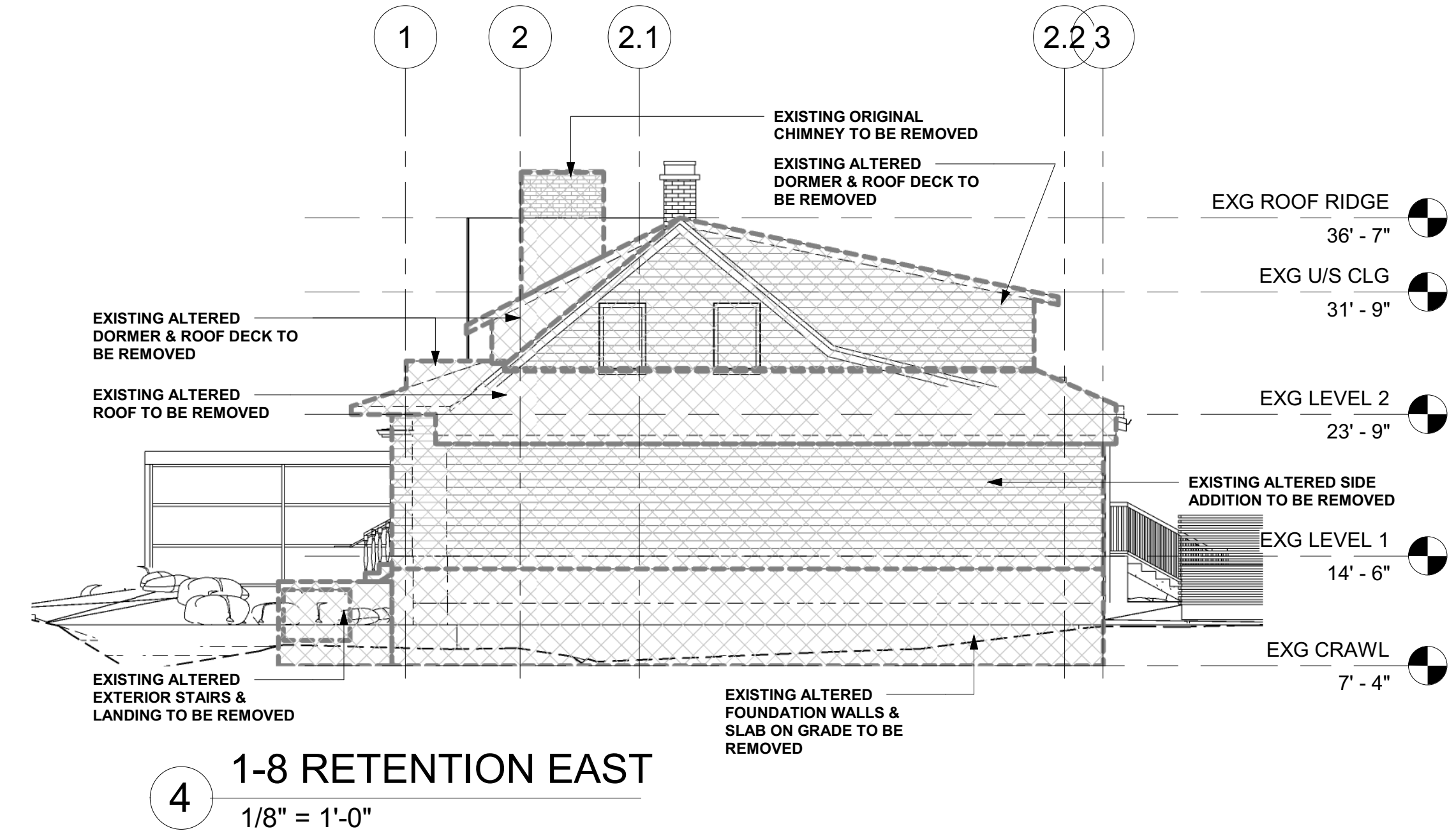
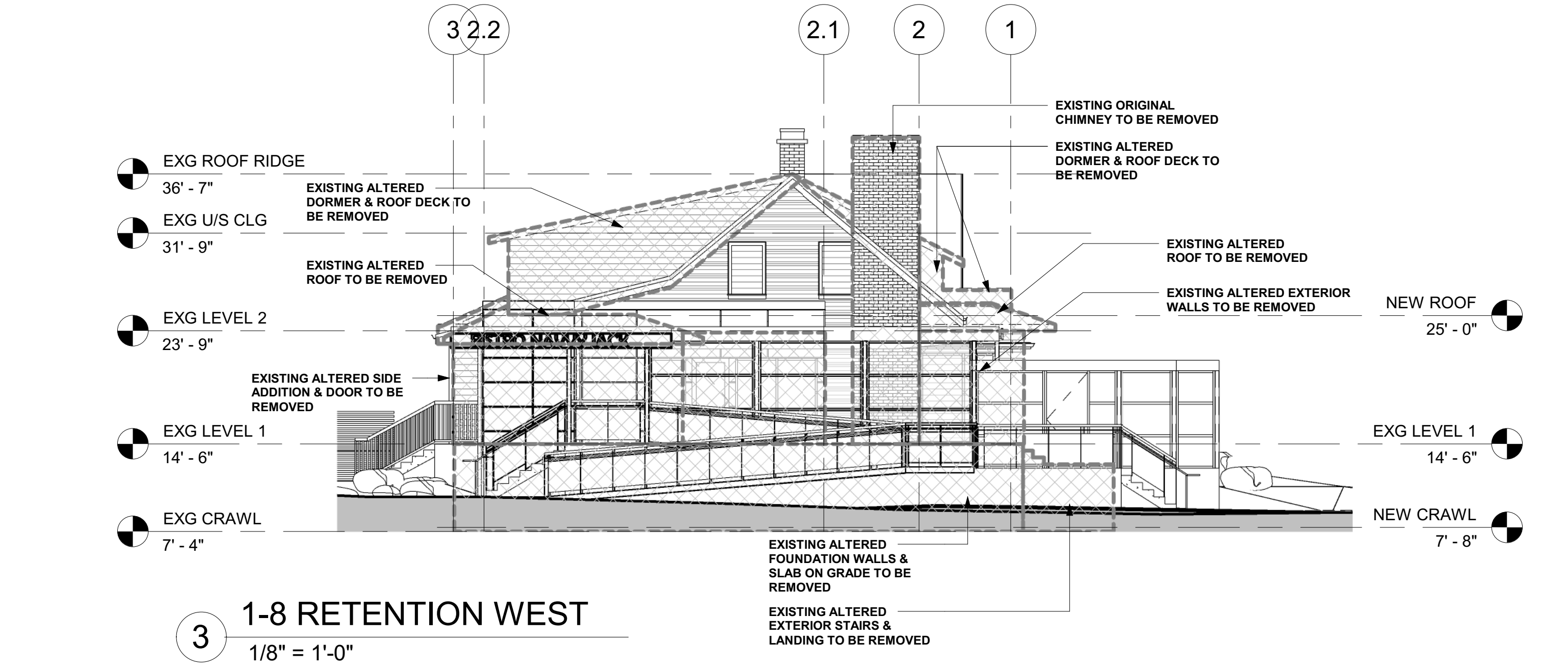
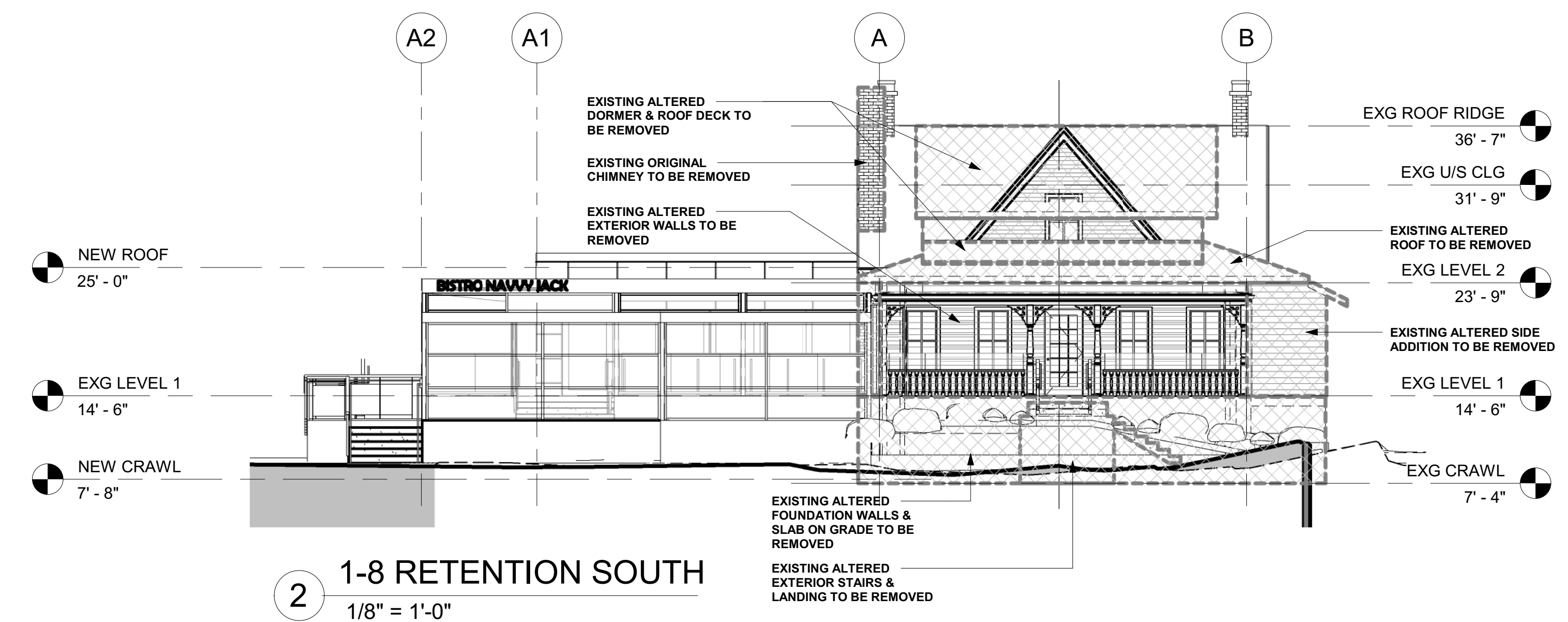
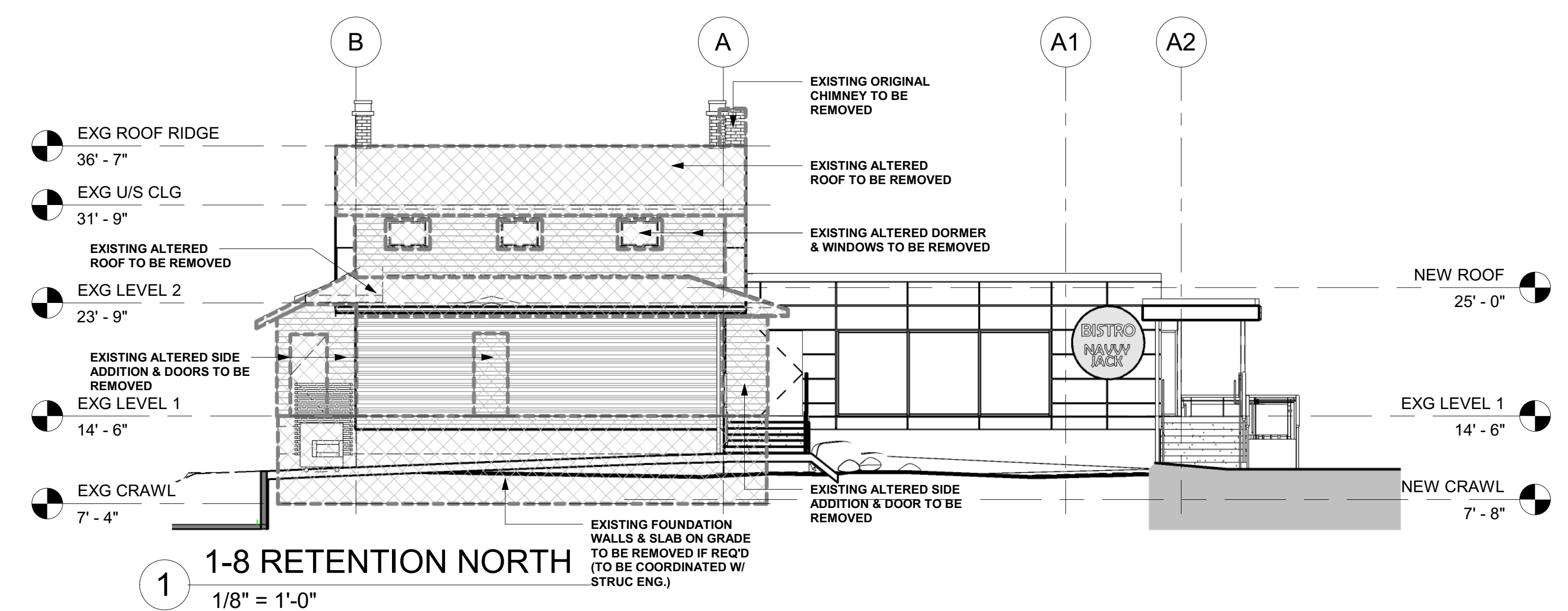
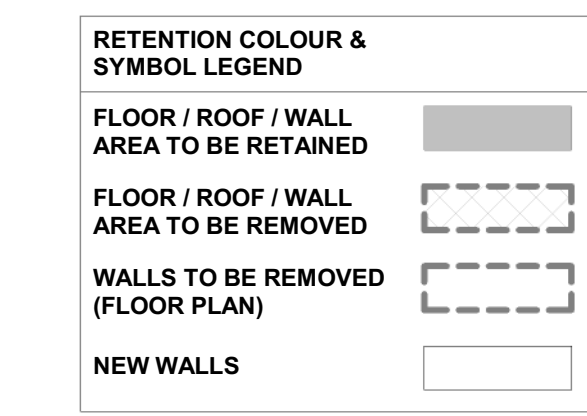
**RETENTION  
ELEVATIONS**

Date	Project number
2024 SEPT 05	2329
Scale	As indicated
Drawn by	
Approved by	DP111
	HD
	CK

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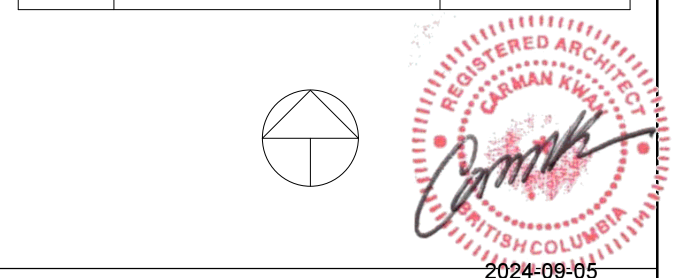
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REVISIONS		
No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
6	ISSUED FOR COORD	2023 DEC 22
8	ISSUED FOR COORD	2024 JAN 25
11	DP SUBMISSION	2024 MAR 15
12	ISSUED FOR PRICING	2024 JUNE 05
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

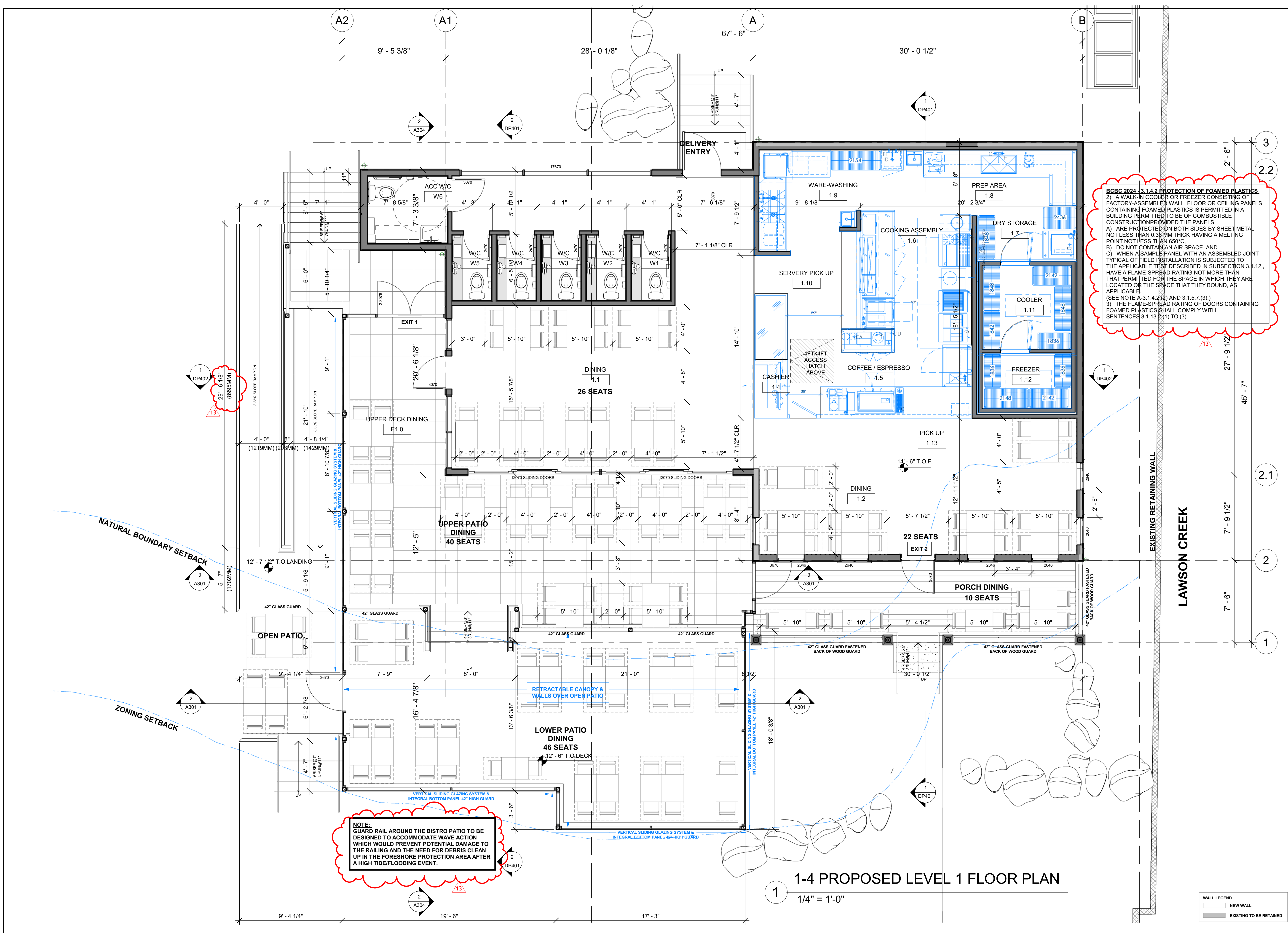
NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED  
LEVEL 1 FLOOR PLAN  
(SEATING  
LAYOUT)**

Date	2024 SEPT 05	Project number	2329
Scale	As indicated	Drawn by	HD
Drawn by	HD		
Approved by	CK	Drawn by	DP201
Approved by	CK		

2024-09-05 1:35:04 PM



**BCBC 2024 3.1.4.2 PROTECTION OF FOAMED PLASTICS**  
 2) A WALK-IN COOLER OR FREEZER CONSISTING OF FACTORY-ASSEMBLED WALL, FLOOR OR CEILING PANELS CONTAINING FOAMED PLASTICS IS PERMITTED IN A BUILDING PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION PROVIDED THE PANELS  
 A) ARE PROTECTED ON BOTH SIDES BY SHEET METAL NOT LESS THAN 0.38 MM THICK HAVING A MELTING POINT NOT LESS THAN 650°C.  
 B) DO NOT CONTAIN AN AIR SPACE, AND  
 C) WHEN ASSEMBLED WITH AN ASSEMBLED JOINT TYPICAL OF FIELD INSTALLATION IS SUBJECT TO THE APPLICABLE TEST DESCRIBED IN SUBSECTION 3.1.12.2. HAVE A FLAME-SPREAD RATING NOT MORE THAN THAT PERMITTED FOR THE SPACE IN WHICH THEY ARE LOCATED OR THE SPACE THAT THEY BOUND, AS APPLICABLE.  
 (SEE NOTE A-3.1.4.2(2) AND 3.1.5.7(3).)  
 3) THE FLAME-SPREAD RATING OF DOORS CONTAINING FOAMED PLASTICS SHALL COMPLY WITH SENTENCES 3.1.13.2.(1) TO (3).

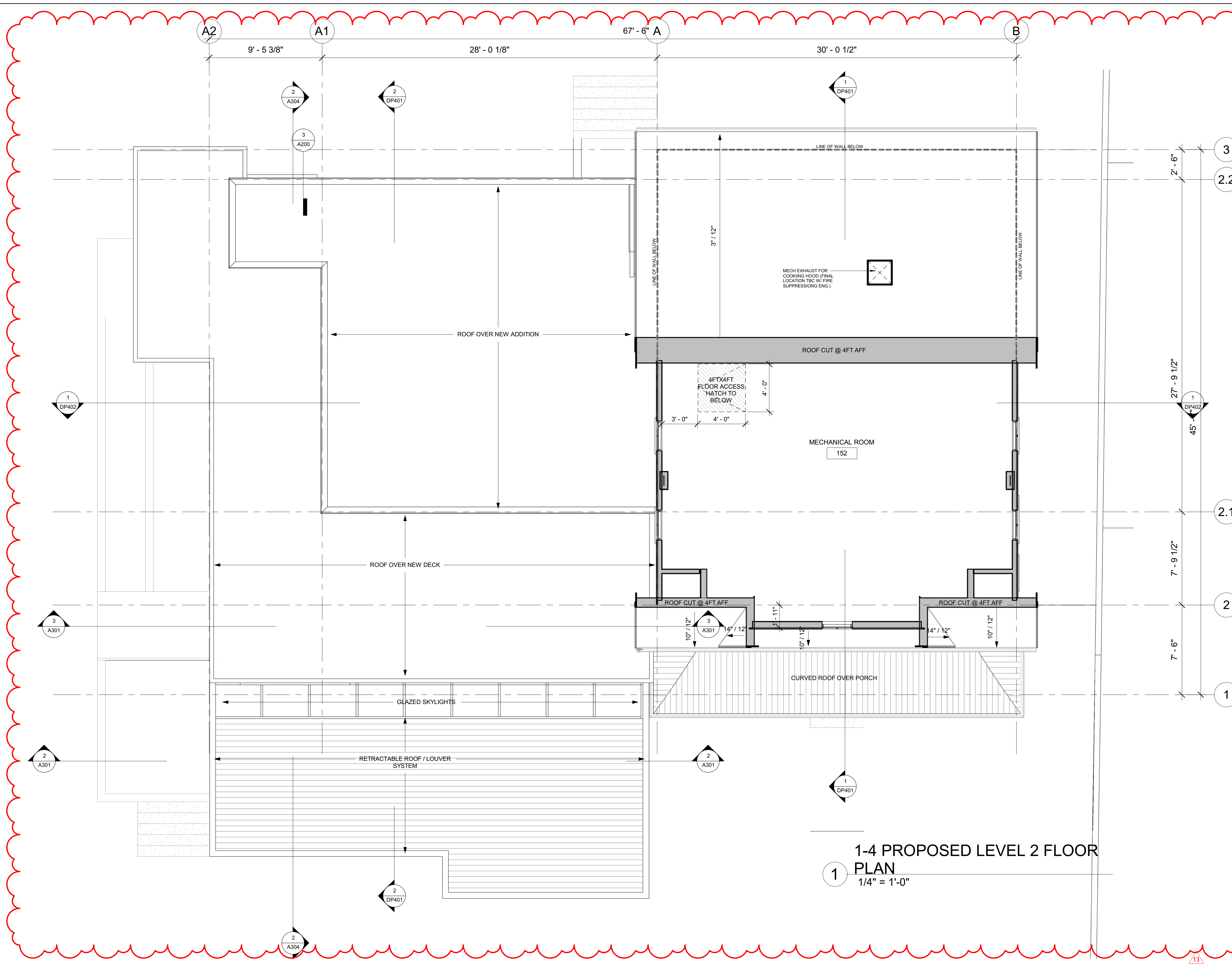
**NOTE:**  
GUARD RAIL AROUND THE BISTRO PATIO TO BE DESIGNED TO ACCOMMODATE WAVE ACTION WHICH WOULD PREVENT POTENTIAL DAMAGE TO THE RAILING AND THE NEED FOR DEBRIS CLEAN UP IN THE FORESHORE PROTECTION AREA AFTER A HIGH TIDE/FLOODING EVENT.

**1-4 PROPOSED LEVEL 1 FLOOR PLAN**  
1/4" = 1'-0"

**WALL LEGEND**

(Line style)	NEW WALL
(Line style)	EXISTING TO BE RETAINED





1-4 PROPOSED LEVEL 2 FLOOR PLAN  
 1/4" = 1'-0"



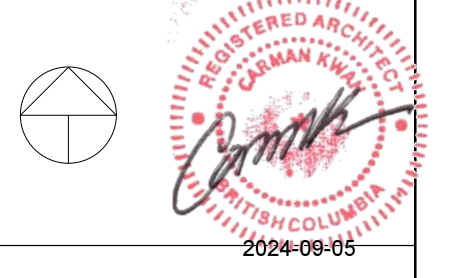
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**REVISIONS**

No.	Description	Date
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
 LOT A BLOCK U DISTRICT LOT 775  
 PLAN 16965  
  
 NAAVY JACK - 1768 ARGYLE AVENUE,  
 WEST VANCOUVER

**DRAWING TITLE**  
 PROPOSED  
 LEVEL 2 (ATTIC)  
 MECHANICAL  
 ROOM

Date	2024 SEPT 05	Project number	2329
Scale	1/4" = 1'-0"		
Drawn by	CK	DP202	
Approved by	CK		





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**REVISIONS**

No.	Description	Date
7	ISSUED FOR COORD	2024 JAN 12
8	ISSUED FOR COORD	2024 JAN 25
11	DP SUBMISSION	2024 MAR 15
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

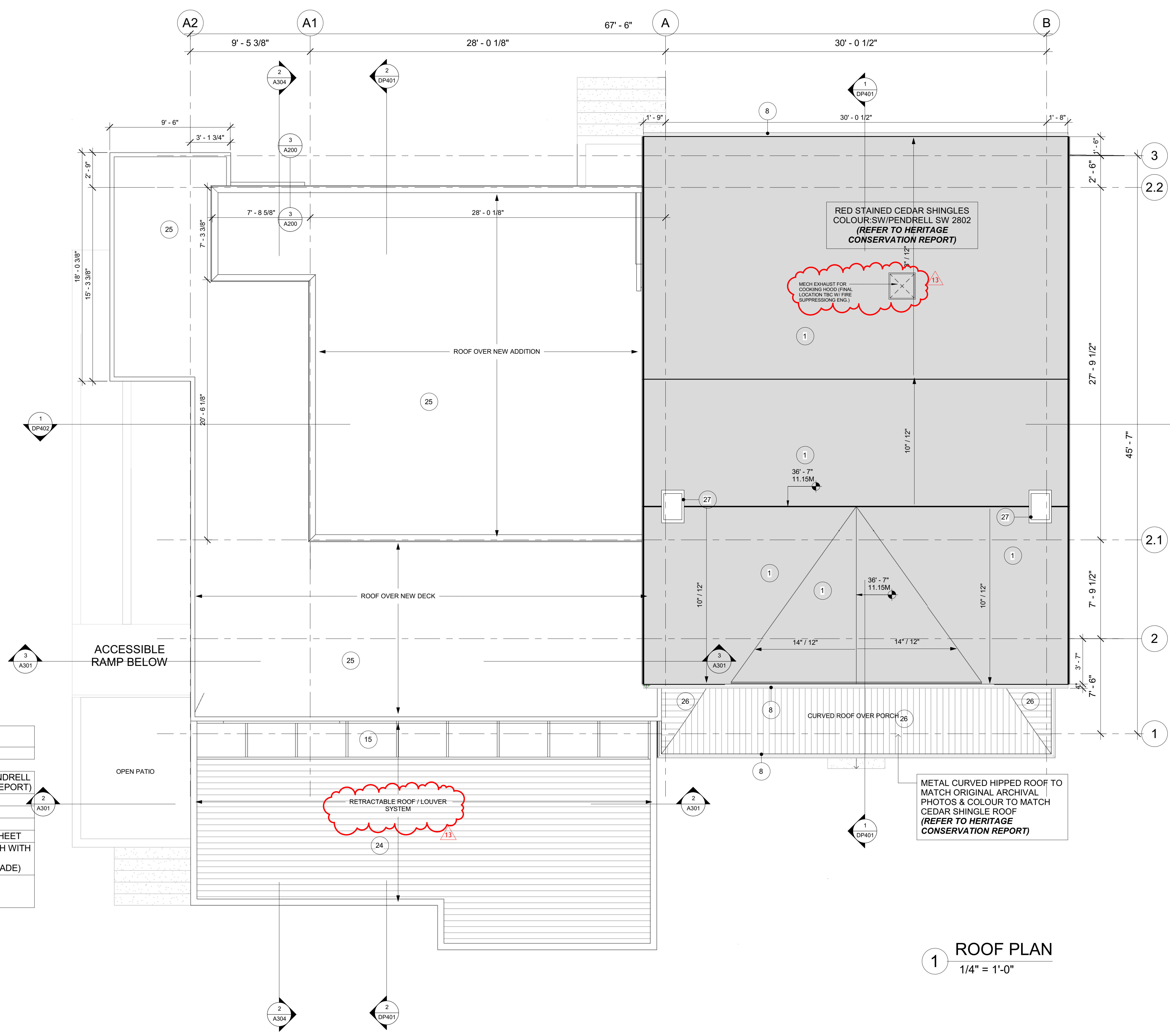
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WEST VANCOUVER

**DRAWING TITLE**  
**ROOF PLAN**

Date	2024 SEPT 05	Project number	2329
Scale	1/4" = 1'-0"	<b>DP203</b>	
Drawn by	CK		
Approved by	CK		

**MATERIAL NOTES**

#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
8	PREFINISHED ALUMINUM GUTTER
15	TEMPERED DOUBLE GLAZED SKYLIGHTS
24	RETRACTABLE ROOF / LOUVER SYSTEM
25	SBS TORCH ON ROOFING MEMBRANE C/W CAP SHEET
26	CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)
27	CIP CONCRETE CHIMNEY CAP (FINAL APPROVED DESIGN TO BE COORDINATED WITH HERITAGE CONSULTANT)



**1 ROOF PLAN**  
1/4" = 1'-0"





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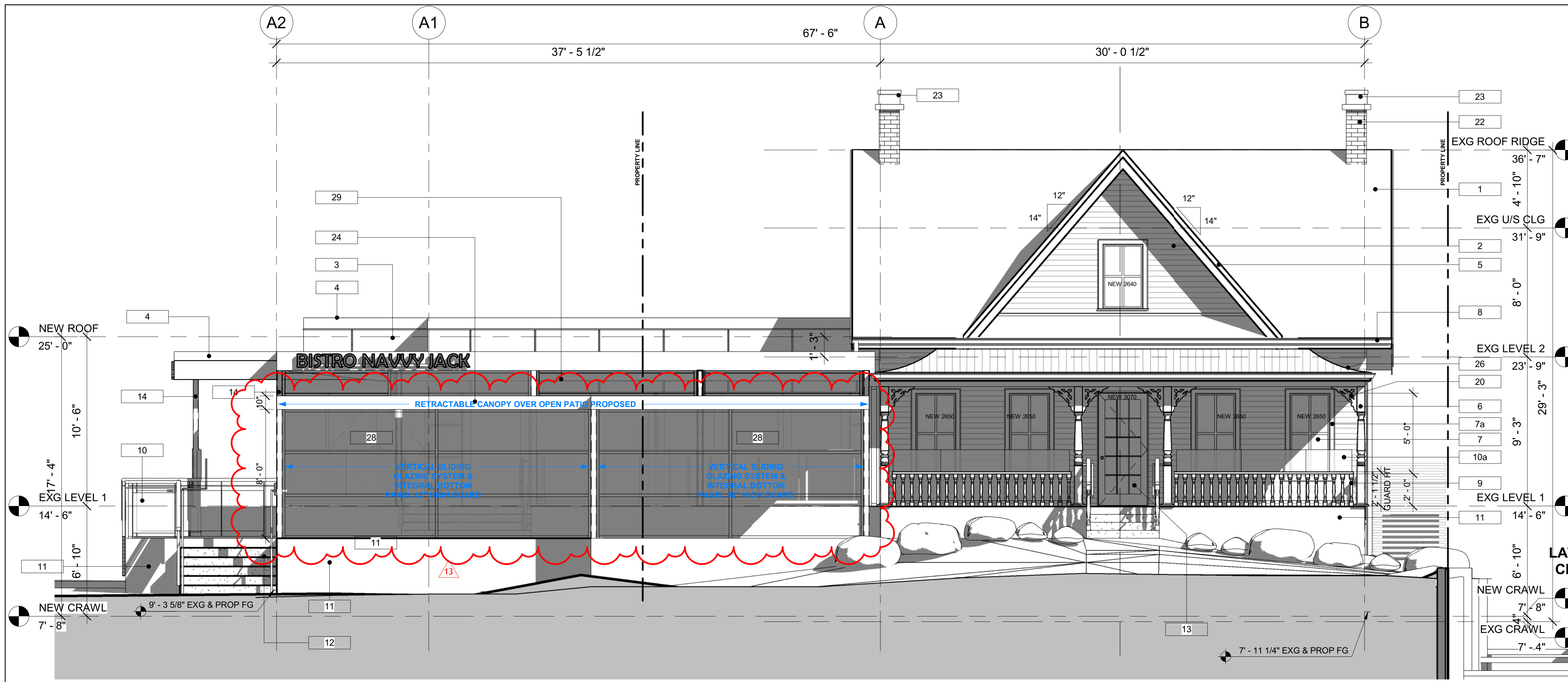
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PORCH CURVED INTERIOR SOFFIT AT SIDE ELEVATIONS



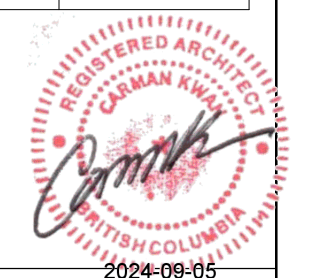
1-4 SOUTH ELEVATION  
1/4" = 1'-0"

**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15
12	ISSUED FOR PRICING	2024 JUNE 05
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05

MATERIAL NOTES	
#	DESCRIPTION

- 1 RED STAINED CEDAR SHINGLES COLOUR: SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
- 2 PAINTED WOODEN DROP SIDING
- 3 PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS
- 4 PREFINISHED METAL CAP FLASHING
- 5 1X4 ON 2X12 PTD WOOD FASCIA
- 6 PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN
- 7 NEW VINYL DOUBLE GLAZED WINDOWS WITH SUBSTANTIAL FRAME SIZE
- 7a PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
- 8 PREFINISHED ALUMINUM GUTTER
- 9 PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN
- 10 1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
- 10a 1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS
- 11 CAST-IN-PLACE CONCRETE FOUNDATION
- 12 CAST-IN-PLACE CONCRETE STAIRS
- 13 TEMPERED DOUBLE GLAZED ENTRY DOOR
- 14 EPOXY MARINE GRADE PAINTED STEEL COLUMN
- 20 PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS
- 22 BRICK VENEER CLADDEN CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
- 23 CONCRETE CHIMNEY CAP TO MATCH HERITAGE CONSERVATION REPORT RECOMMENDATIONS
- 24 RETRACTABLE ROOF / LOUVER SYSTEM
- 26 CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)
- 28 VERTICAL SLIDING GLAZING ALUM SYSTEM & INTEGRAL BOTTOM PANEL 42" HIGH GUARD
- 29 CLERESTORY ALUM STOREFRONT GLAZING SYSTEM



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED SOUTH ELEVATION**

Date	2024 SEPT 05	Project number	2329
Scale	1/4" = 1'-0"		
Drawn by	HD		
Approved by	CK		

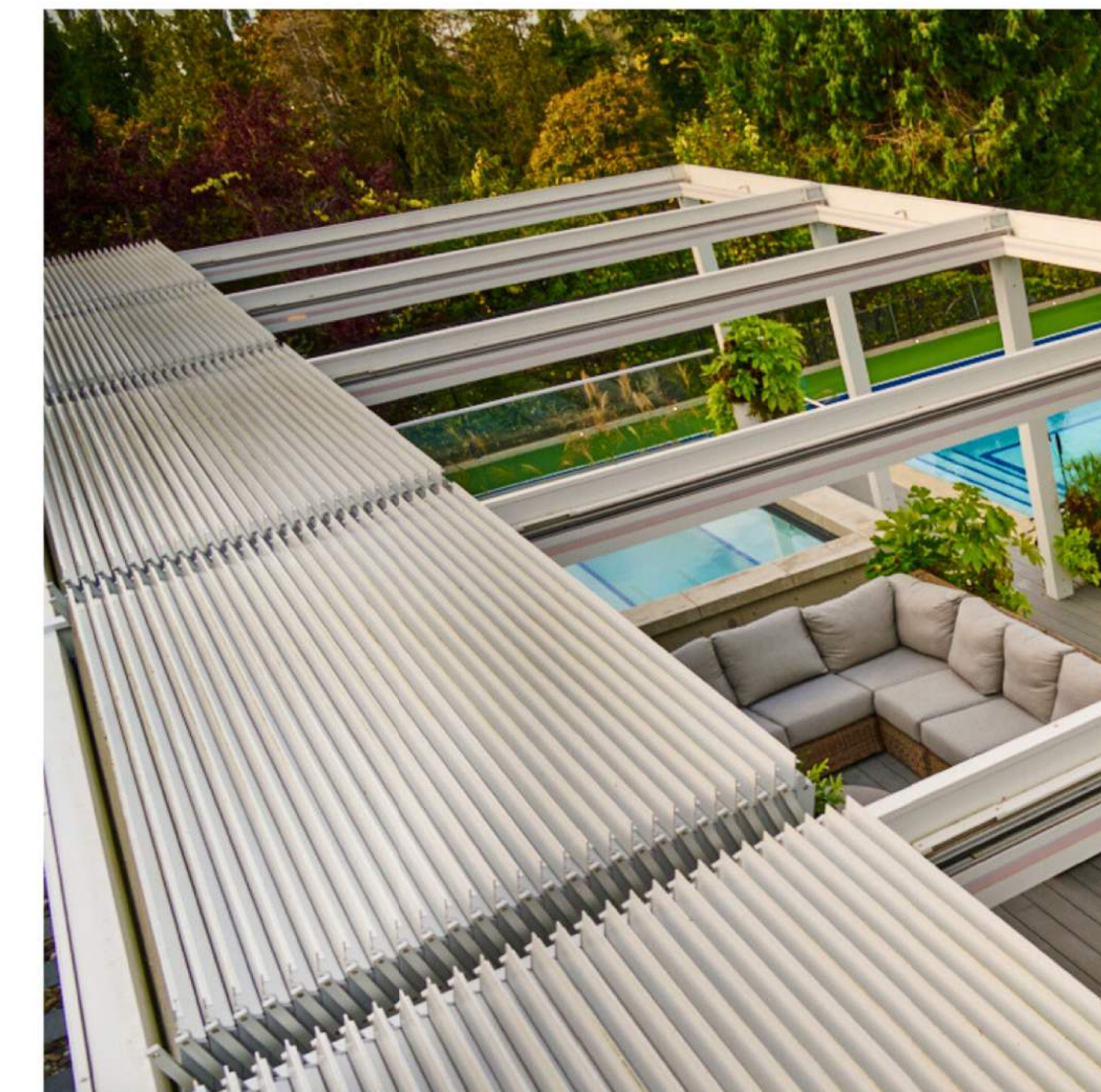
**DP301**



SLIDECLEAR - VERTASLIDE  
VERTICAL SLIDE WITH BOTTOM GUARD PANEL



SLIDECLEAR - VERTASLIDE  
VERTICAL SLIDE WITH BOTTOM GUARD PANEL



SLIDECLEAR - AIRIA LOUVERS (RETRACTABLE ROOF)





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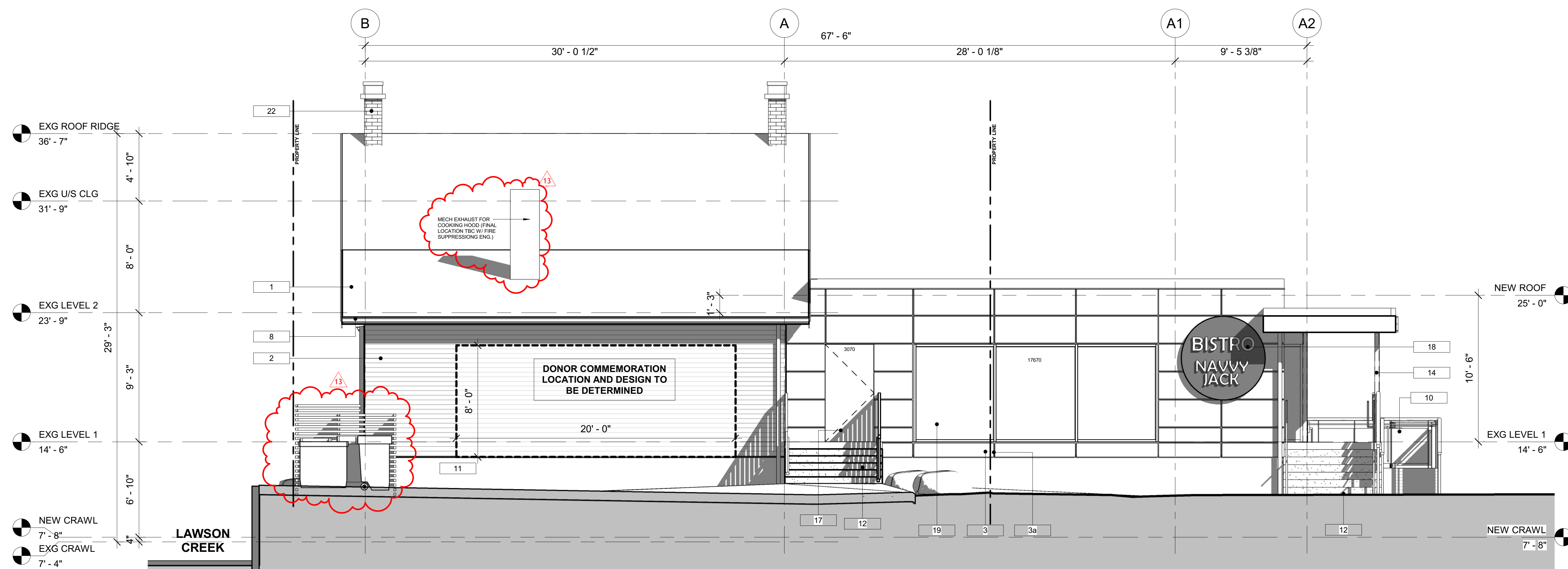
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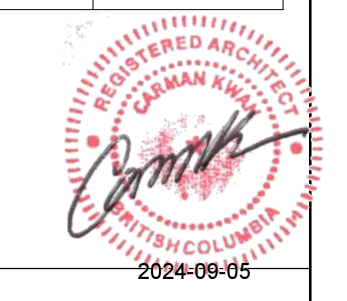
**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15
13	DP RESUBMISSION	2024 JUNE 26
19	ISSUED FOR AHJ REVIEW	2024 JULY 26
20	DP RESUBMISSION#2	2024 SEPT 05



1 1-4 NORTH ELEVATION  
1/4" = 1'-0"

MATERIAL NOTES	
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS
3a	
8	PREFINISHED ALUMINUM GUTTER
10	1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
14	EPOXY MARINE GRADE PAINTED STEEL COLUMN
17	EPOXY (MARINE GRADE) PAINTED METAL DOOR & FRAME (THERMALLY BROKEN & WEATHERSTRIPPED)
18	RESTAURANT SIGNAGE
19	ANODIZED ALUMINUM STOREFRONT SYSTEM
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED  
NORTH  
ELEVATION**

Date	2024 SEPT 05	Project number	2329
Scale	1/4" = 1'-0"	<h1>DP302</h1>	
Drawn by	HD		
Approved by	CK		

2024-09-05 1:35:35 PM





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**GENERAL CONTRACTOR RESPONSIBILITY TO LAYOUT WORK**

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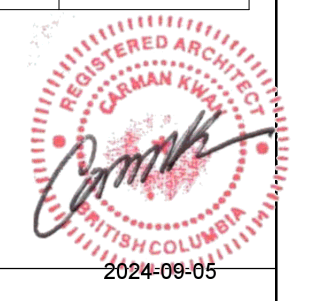
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**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15
12	ISSUED FOR PRICING	2024 JUNE 05
13	DP RESUBMISSION	2024 JUNE 26
19	ISSUED FOR AHJ REVIEW	2024 JULY 26
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED EAST  
ELEVATION**

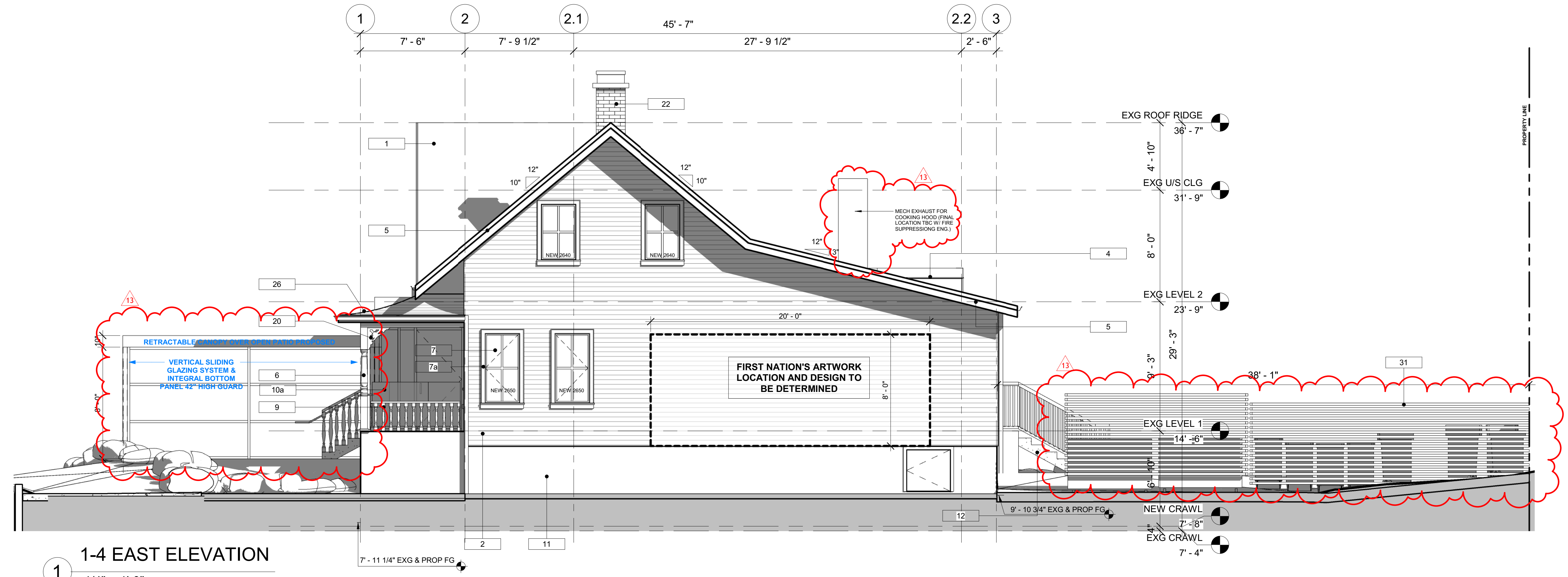
Date: 2024 SEPT 05  
Project number: 2329

Scale: 1/4" = 1'-0"

Drawn by: HD  
Approved by: CK

**DP303**

2024-09-05 1:35:42 PM



**1-4 EAST ELEVATION**  
1/4" = 1'-0"

MATERIAL NOTES	
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
6	PAINTED WOOD TRIMMED POSTS C/W DECOR TO MATCH ORIGINAL DESIGN
7	NEW VINYL DOUBLE GLAZED WINDOWS WITH SUBSTANTIAL FRAME SIZE
7a	PAINTED WINDOW TRIM TO MATCH ORIGINAL DESIGN
9	PAINTED WOOD GUARDRAIL TO MATCH ORIGINAL DESIGN
10a	1/2" TEMPERED GLAZED GUARD PANELS SIDE MOUNTED TO INTERIOR SIDE OF WOOD PICKETS
11	CAST-IN-PLACE CONCRETE FOUNDATION
12	CAST-IN-PLACE CONCRETE STAIRS
20	PAINTED WOOD BRACKETS TO MATCH ORIGINAL ARCHIVAL PHOTOS
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
26	CURVED STANDING SEAM METAL ROOF TO MATCH WITH ARCHIVAL PHOTOS & COLOUR TO MATCH CEDAR SHINGLE ROOF (PAINT FINISH EPOXY MARINE GRADE)
31	POWDERCOATED ALUM SECURITY/SCREEN 1X1 HORZ SECTIONS W/ 1" GAP C/W SECURED GATES & DOOR HARDWARE TO PREVENT WILDLIFE ACCESS (6FT HIGH)





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**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
8	ISSUED FOR COORD	2024 JAN 25
9	ISSUED FOR COORD	2024 FEB 02
11	DP SUBMISSION	2024 MAR 15
12	ISSUED FOR PRICING	2024 JUNE 05
13	DP RESUBMISSION	2024 JUNE 26
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

**PROPOSED WEST  
ELEVATION**

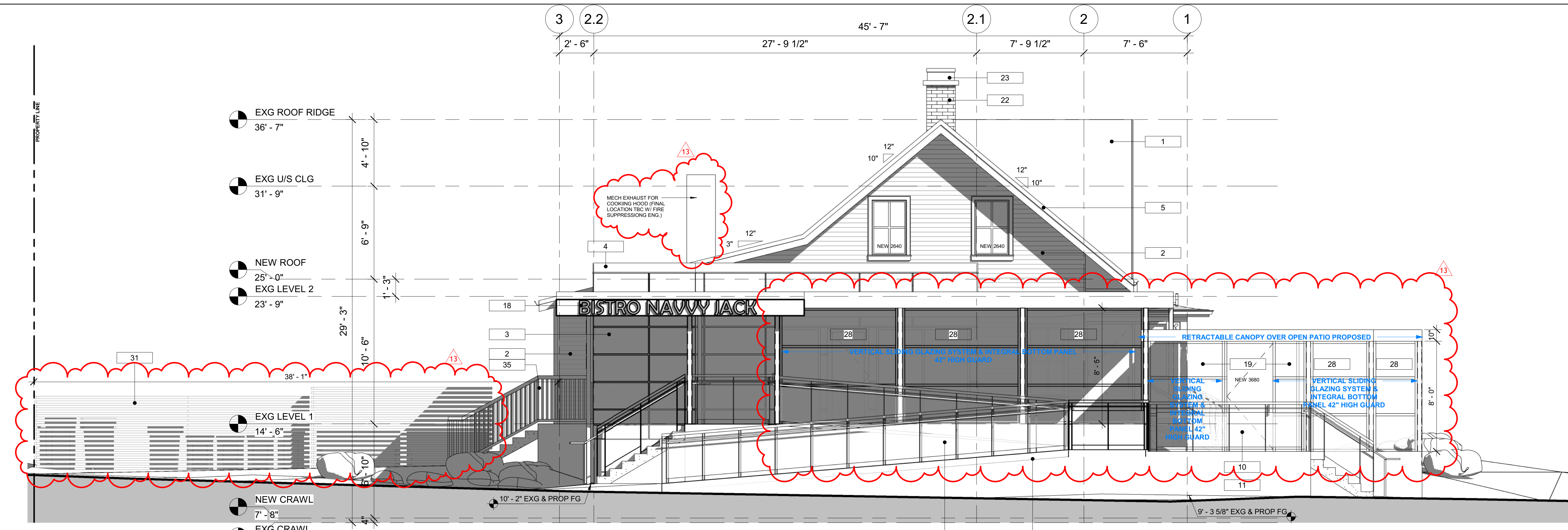
Date: 2024 SEPT 05  
Project number: 2329

Scale: 1/4" = 1'-0"

Drawn by: HD  
**DP304**

Approved by: CK

2024-09-05 1:35:50 PM



**1-4 WEST ELEVATION**  
1/4" = 1'-0"

MATERIAL NOTES	
#	DESCRIPTION
1	RED STAINED CEDAR SHINGLES COLOUR:SW/PENDRELL SW 2802(REFER TO HERITAGE CONSERVATION REPORT)
2	PAINTED WOODEN DROP SIDING
3	PAINTED COMPOSITE (NON-COMBUSTIBLE) HARDIE PANEL C/W 1" REVEALS
4	PREFINISHED METAL CAP FLASHING
5	1X4 ON 2X12 PTD WOOD FASCIA
10	1/2" TEMPERED GLAZED GUARD PANELS C/W SIDE MOUNTED POWDERCOATED ALUMINUM STANCHIONS
11	CAST-IN-PLACE CONCRETE FOUNDATION
18	RESTAURANT SIGNAGE
19	ANODIZED ALUMINUM STOREFRONT SYSTEM
22	BRICK VENEER CLADDED CHIMNEY TO MATCH ORIGINAL ARCHIVAL PHOTOS
23	CONCRETE CHIMNEY CAP TO MATCH HERITAGE CONSERVATION REPORT RECOMMENDATIONS
28	VERTICAL SLIDING GLAZING ALUM SYSTEM & INTEGRAL BOTTOM PANEL 42" HIGH GUARD
31	POWDERCOATED ALUM SECURITY/SCREEN 1X1 HORZ SECTIONS W/ 1" GAP C/W SECURED GATES & DOOR HARDWARE TO PREVENT WILDLIFE ACCESS (6FT HIGH)
32	CIP CONCRETE RAMP & LANDING
35	POWDERCOATED ALUM PICKET GUARD C/W VERT 1X1 PICKETS 4" O/C C/W 1.5" DIA. HANDRAIL @ 36" HIGH





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**REVISIONS**

No.	Description	Date
5	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
20	DP RESUBMISSION#2	2024 SEPT 05



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**

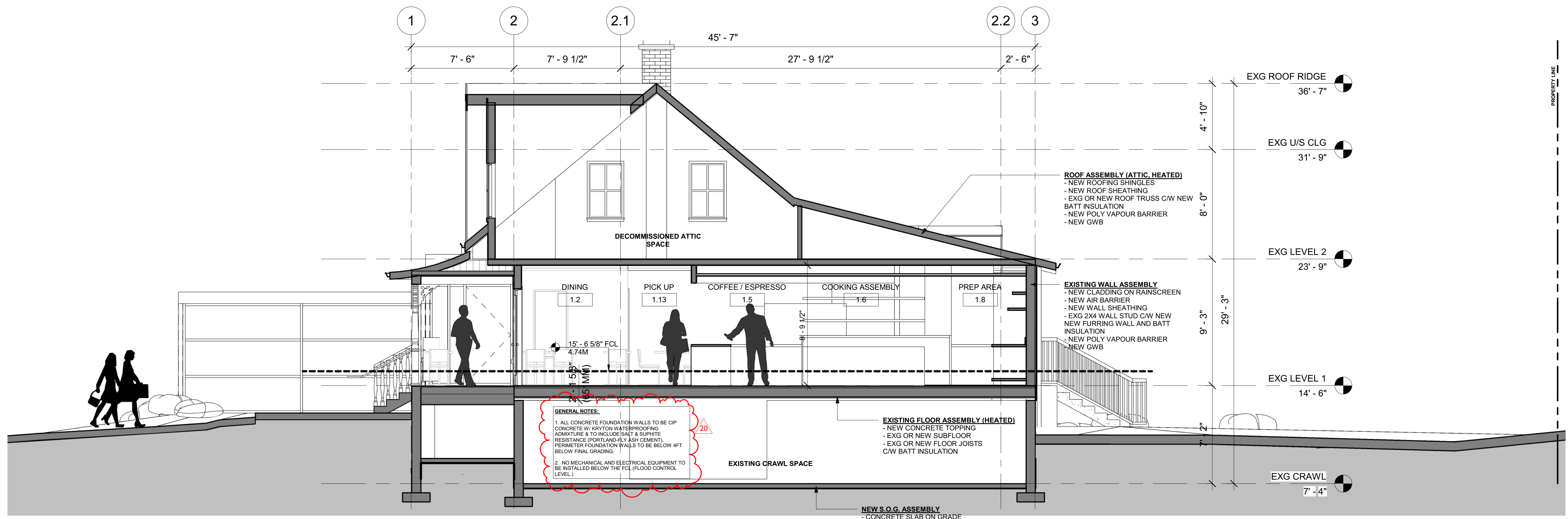
**PROPOSED  
BUILDING  
SECTIONS**

Date	2024 SEPT 05	Project number	2329
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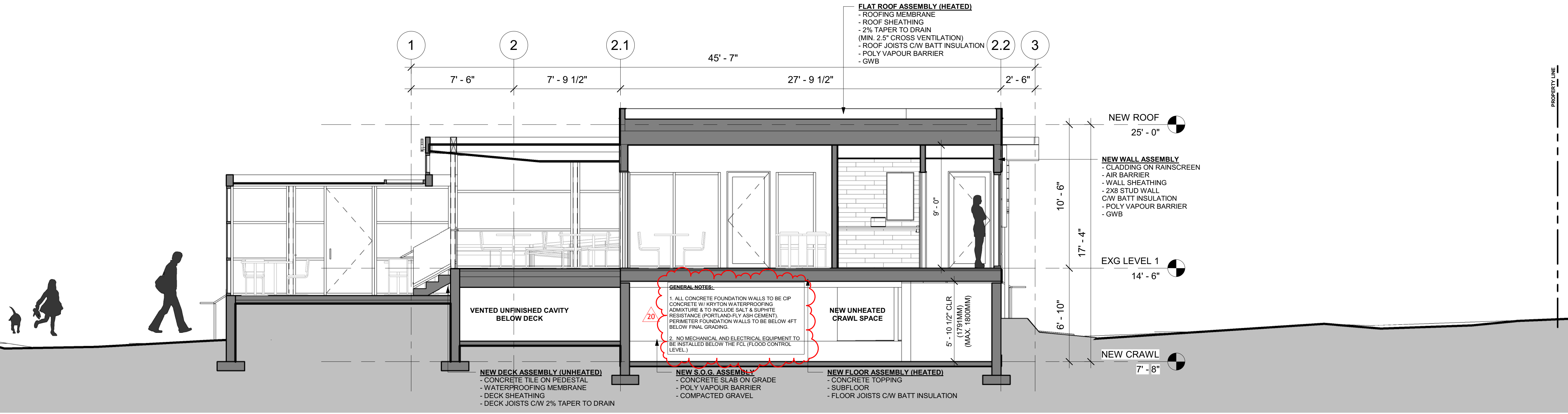
Scale  
1/4" = 1'-0"

Drawn by	HD	<b>DP401</b>
Approved by	CK	

2024-09-05 1:48:16 PM



**1** 1-4 NORTH-SOUTH SECTION THRU STAIRS  
1/4" = 1'-0"



**2** 1-4 N-S BLDG SECTION THRU ADDITION  
1/4" = 1'-0"





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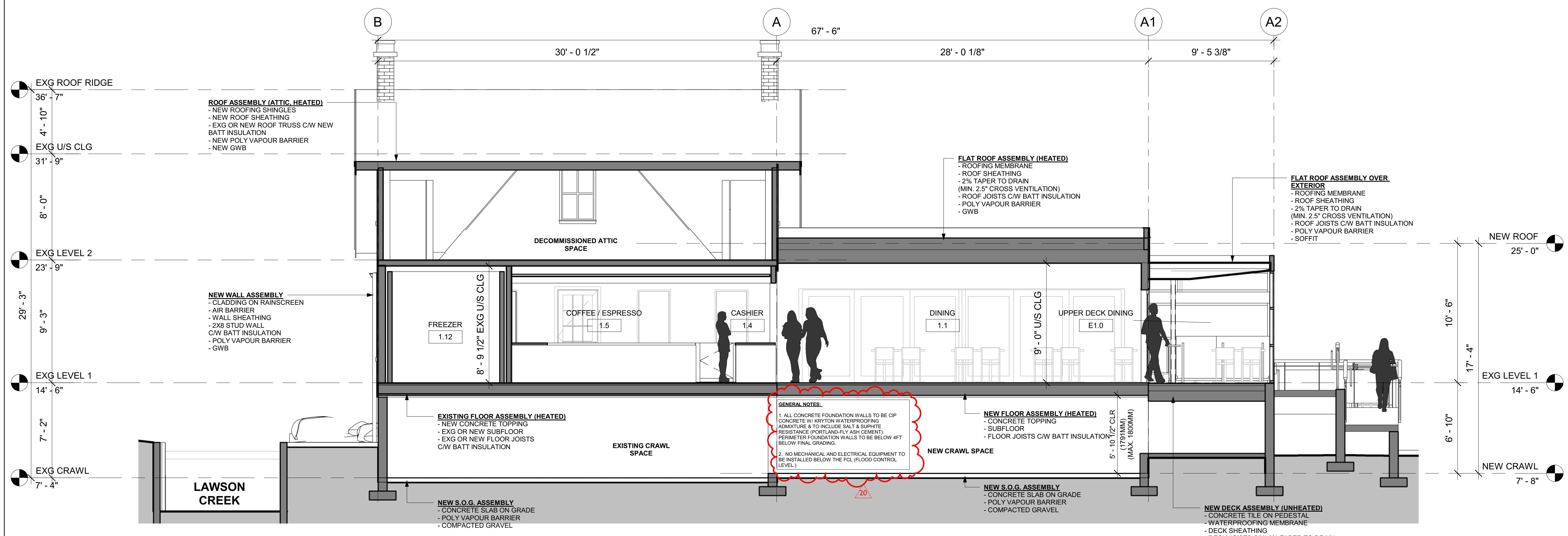
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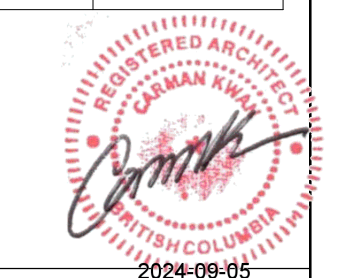
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**REVISIONS**

No.	Description	Date
05	ISSUED FOR INFO	2023 NOV 22
11	DP SUBMISSION	2024 MAR 15
20	DP RESUBMISSION#2	2024 SEPT 05



1-4 E-W BLDG SECTION  
1/4" = 1'-0"



**PROJECT:**  
LOT A BLOCK U DISTRICT LOT 775  
PLAN 16965

NAVY JACK - 1768 ARGYLE AVENUE,  
WEST VANCOUVER

**DRAWING TITLE**  
PROPOSED BUILDING SECTIONS

Date	2024 SEPT 05	Project number	2329
Scale	1/4" = 1'-0"	DP402	
Drawn by	HD		
Approved by	CK		

2024-09-05 1:49:24 PM