



**BINNING**

**HOUSE**

**HRA**

**A HERITAGE REVITALIZATION AGREEMENT PROPOSAL FOR:**

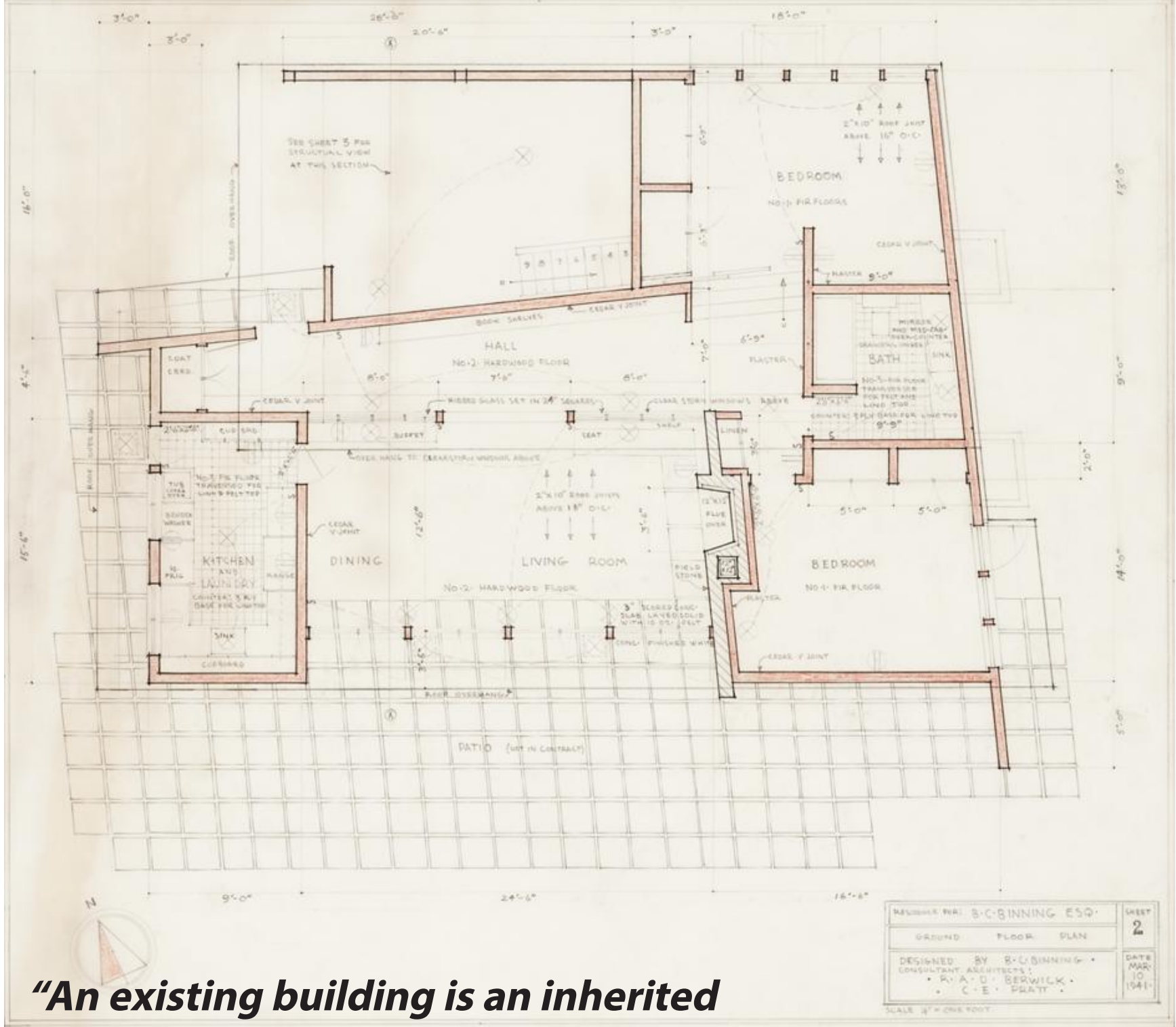


# MATHER'S CRESCENT WEST VANCOUVER

Submitted to the District of West Vancouver by JonChoo Design Inc.

Design Review Presentation  
November 26, 2017

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**“An existing building is an inherited investment in energy and materials.”**

Gair Williamson, Architect AIBC, AAA, RAIC



Lucy on a Chair  
Bert Binning

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# Statement of Intent

## Binning House HRA

JonChoo Design Inc. is pleased to make this application for a **Heritage Revitalization Agreement** for the Binning Residence. **This application proposes the conservation + revitalization of one of Canada's most significant heritage houses as well as the sub-division of the existing property to accommodate a new residence.**

Sustainable development (*conservation of natural resources and energy*) is of utmost importance. Thus, the densification of a neighborhood, rather than its expansion, should be the preference of any governing municipality. As such, it is hoped that the Municipality of West Vancouver will take this into consideration and accept the current proposal of a sub-division.

## Proposed Use of The Binning House

### **Short Term:**

In the short term the house will be used as a private residence, but at the same time be preserved as a 'time capsule' through the restoration of architectural details, placement of original furniture, exhibition of select personal items owned by the Binnings and storage of all Binning related contents. The Binning House would be periodically available for public viewing.

### **Long Term:**

In the long-term it is hoped the house could serve as a private museum to display the owner's contemporary art collection, any works by B.C. Binning that can be reclaimed and any other items of historical significance to West Vancouver. The house could be available for regular viewings by the public and also available for private event bookings.



*Imperial Bank of Canada Mural, Bert Binning  
44 feet in length and made up of 200,000 pieces of glass  
commissioned to celebrate B.C.'s booming resource-based economy (1958)*

# Binning House History



*Binning House Plaque - Historic Sites and Monuments Board of Canada*



*Bertrand Binning*

**The Binning Residence's history has been well documented and needs no introduction. What is perhaps more relevant is the recent history of the property and its current situation:**

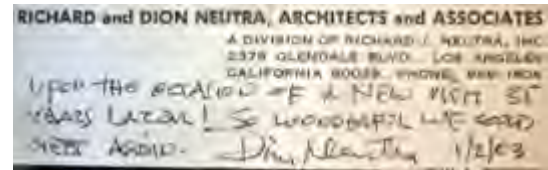
## Recent History

After the passing of Jessie Binning (*Bert Binning's wife*) in 2007, the Binning House was gifted to The Land Conservancy (TLC) in accordance with her wish to see the house preserved. Due to financial hardship in 2011, TLC attempted to sell the Binning House. The sale was challenged by The University of British Columbia, also a beneficiary under Jessie Binning's will. In 2014, TLC lost their case in the B.C. Court of Appeals and the Binning House was transferred back to Jessie Binning's estate. The Estate offered the house for sale in 2015 when the current owner, Jesse Saniuk, beat out several bidders to acquire the property with the proceeds of the sale going to UBC. Now in private hands, the Binning House will be protected and restored to its 'former glory' - the original wish of Jessie Binning.

# Introduction

## To Begin,

I'd like to express how honored and humbled I am to be a part of this project. The Binning House has been an inspiration to many noteworthy architects both local and international (Arthur Erickson, Peter Cardew, and **Richard Neutra** to name a few) and has influenced much of my own work in the past.



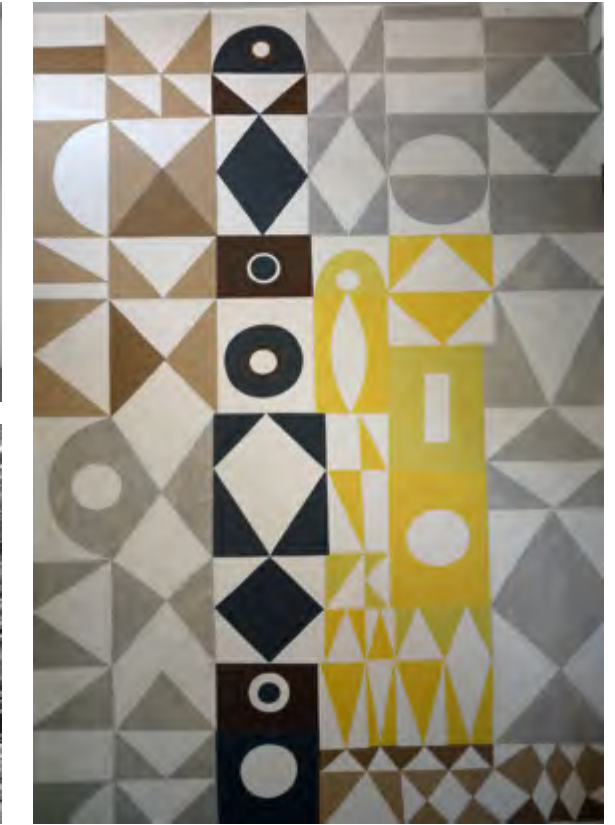
Discovered in the Binning House basement

The Binning House has been, "... hailed as a pioneer of Modernism in domestic Canadian Architecture. ... drawing influence from competing strains of Modernism and aesthetic values prevalent in London during the year (1938-39) in which Binning resided there to study fine art."<sup>1</sup>

Being a 'pioneer' is an inherent trait of contemporary architecture of which the Binning House has been widely championed. Contemporary architecture refers to present-day building styles which makes it quite difficult to define. Ultimately, it is the architectural designer's own personal style which formulates the definition of what is contemporary.

To me, **contemporary 'domestic' architecture is the use of modern-day design + building techniques to create a living space visually void of cumbersome detail while facilitating a 'cozy' and familiar spatial experience.**

My vision for the Binning House is to become a 'hub' of contemporary architecture. This project proposes the design of a **new street level garage + caretaker suite**, the **restoration of the existing house**, and a **new residence** on a sub-divided lot. It is with these buildings that future generations will have the opportunity to conserve + restore a timeless house while utilizing new design and building techniques to showcase what is contemporary in *their* time.



Binning House Photos 2014

Interior Hallway Mural

## The Proposal

Restoring the Binning House to its 'former glory' and preserving it for generations to come, is one of the main goals of this project. However, housing demands coupled with Greater Vancouver's scarcity of land and its recent push towards sustainable development, drives the need for densification when + where possible.

**This project strives to create a harmonious balance between two properties by carefully considering view lines, privacy, and the conservation of not just the historical site, but its ideologies as well.**

<sup>1</sup> *Reconsidering the Binning House*  
Adele Margot Weder, January 2005

# Current Proposal

## Concept Sketch:

### Site Section

*Proposed Garage 'Above'*



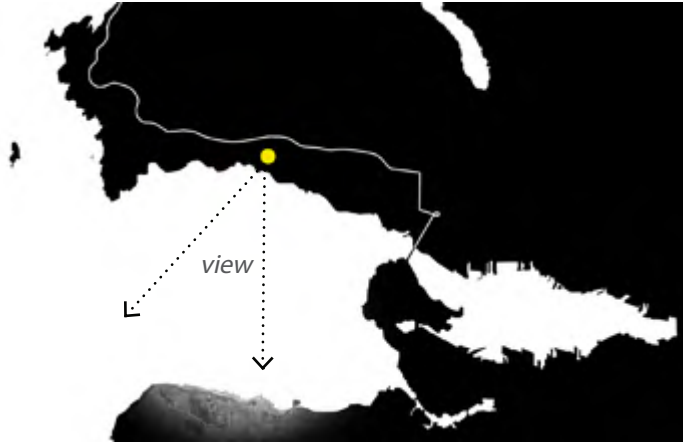
*Existing Binning House*



*Proposed Infill Residence 'Below'*

**This project strives to create a harmonious balance between two properties by carefully considering view lines, privacy, and the conservation of not just the historical site, but its ideologies as well.**

# Site Context



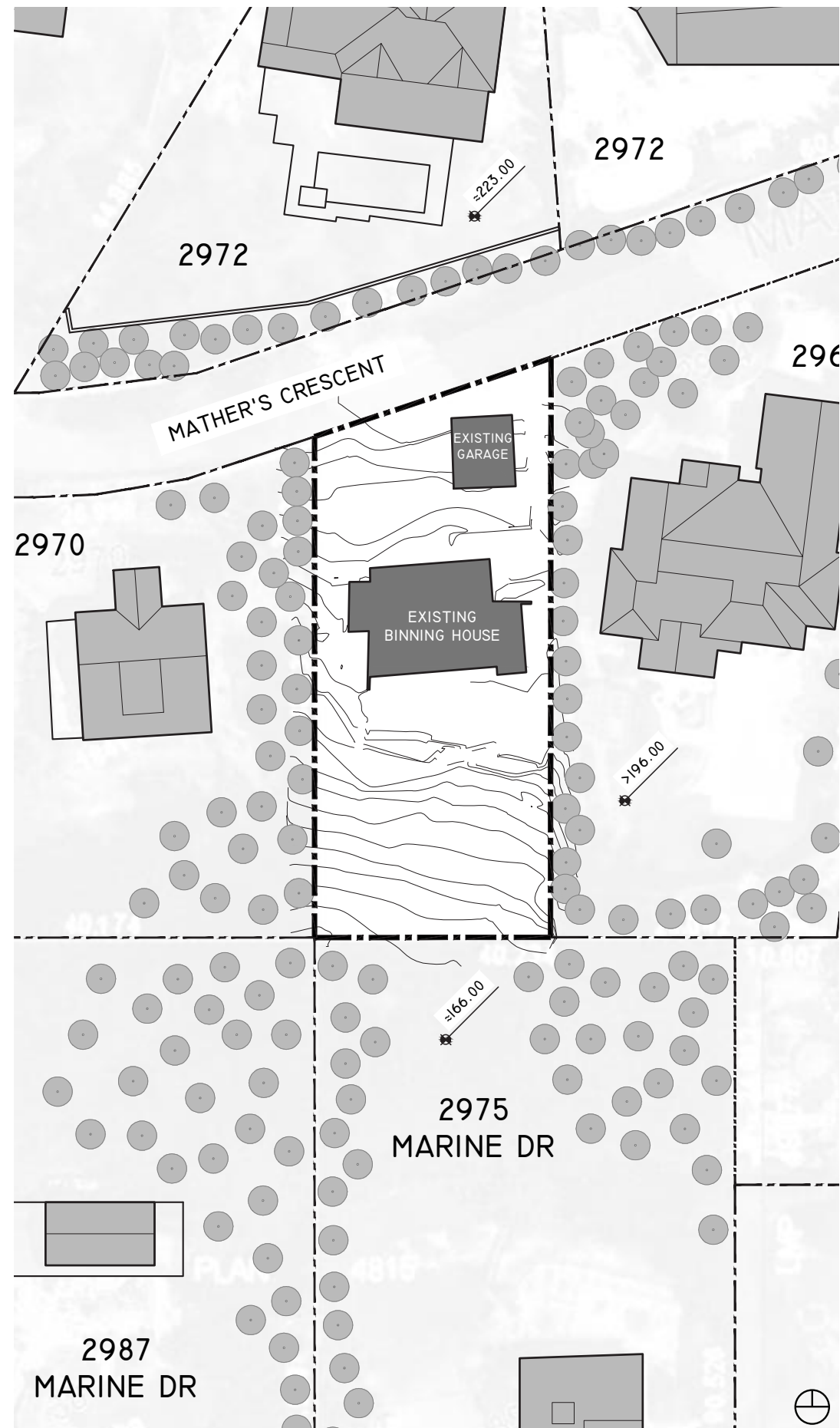
Binning House Location:  
2968 Mather's Crescent, West Vancouver



View from Binning House rear yard garden

## The Site - Existing

Situated in Altamont, one of West Vancouver's most sought after neighborhoods, the Binning House is nestled on a hill which affords it a rare view (for that area) of the ocean and the UBC peninsula beyond. The view has been enhanced with the clearing of the neighbors' backyard trees to the south of the Binning property. The site's orientation is north-south which allows for ample sun exposure while the undulating terrain and side yard tree coverage shelter the site from prevailing winds and the afternoon sun. The total area of the existing site is 12,837 sqft.



Existing Site

## Additions

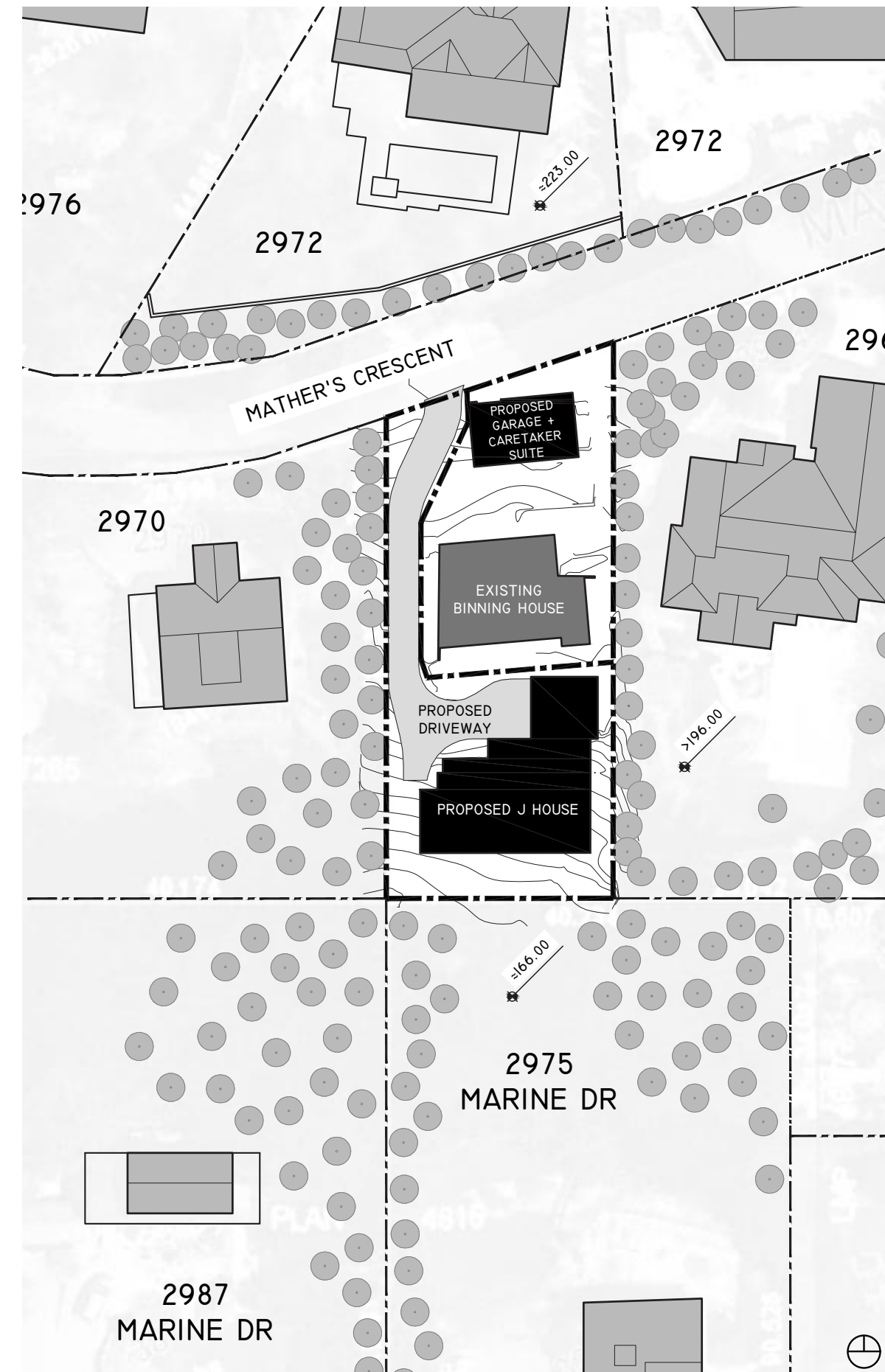
There have been two main additions to the Binning House. First, in 1966, a 2-car garage + shed was constructed at street level and secondly, in 1989, a bathroom was added to the west elevation of the house itself.

## The Site - Proposed

A new 3-car garage + caretaker suite will replace the existing garage + shed. The sub-division will preserve important elements of the Binning landscape while allowing enough space for the construction of a new infill residence further downslope of the existing house. The 1989 bathroom addition will be removed to allow vehicle access to the new property.

## Neighbor Consideration

The northern property sits approximately 3'-0" above the proposed 3-car garage roof peak, thus their view lines will not be impeded. Due to the natural topography of the terrain, the **east** neighbor's views will not be impeded. The abandoned house to the **west** will remain hidden due to its location as well as the amount of tree coverage on its property. Its views, considering it currently has none, will remain the same. The house to the **south** is approximately 150 feet away from the proposed infill residence and will therefore not be disturbed in any way.



Proposed Site

# Neighbor Consideration

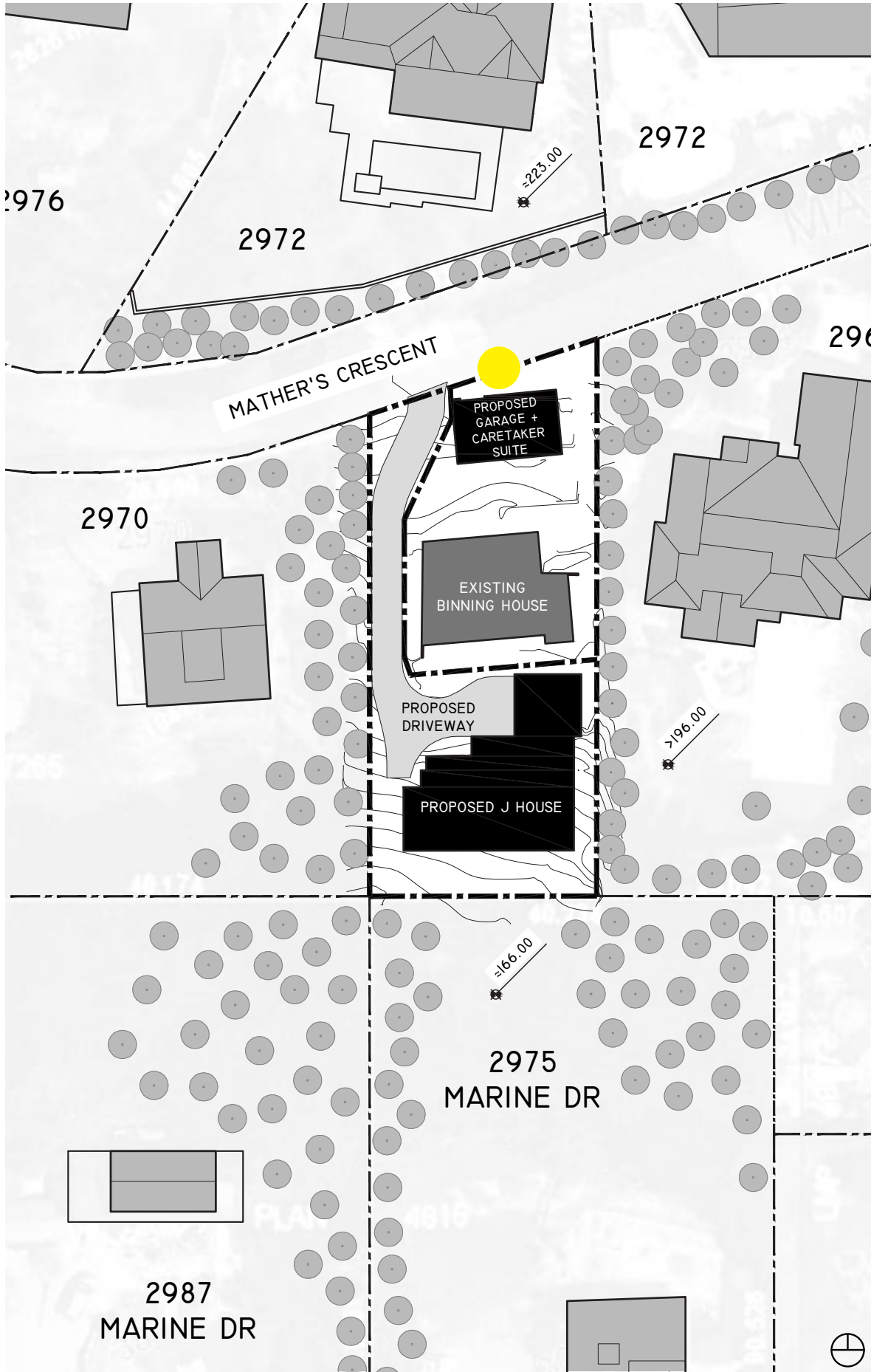
## Northern Neighbor



2972 Mather's Avenue

### The

northern property sits approximately 3'-0" above the proposed 3-car garage roof peak, thus their view lines will not be impeded.



Proposed Site

# Neighbor Consideration

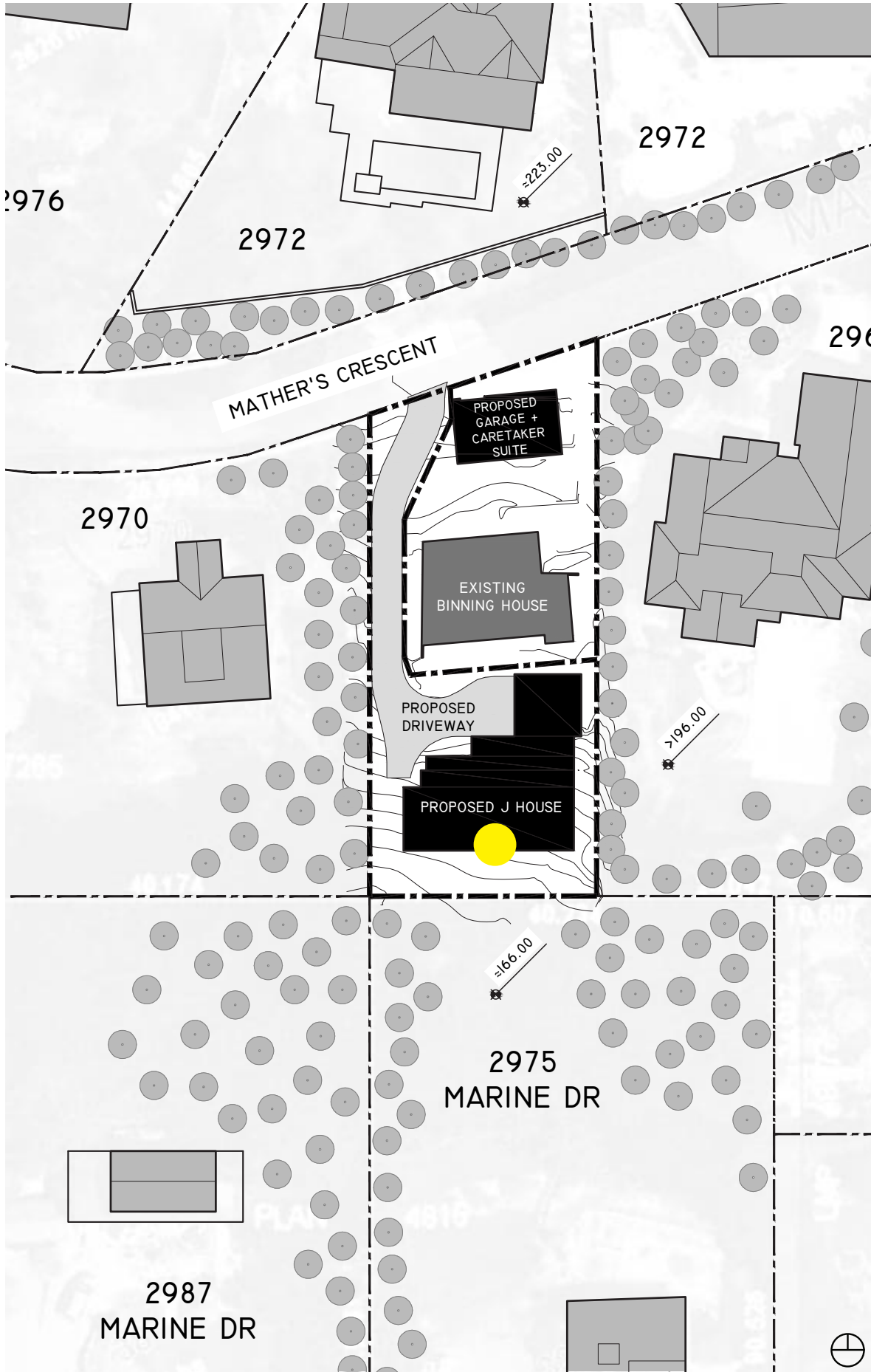
## Southern Neighbor



2975 Marine Drive

**The**

house to the south is approximately 150 feet away from the proposed infill residence and will therefore not be disturbed in any way.



Proposed Site

# Neighbor Consideration

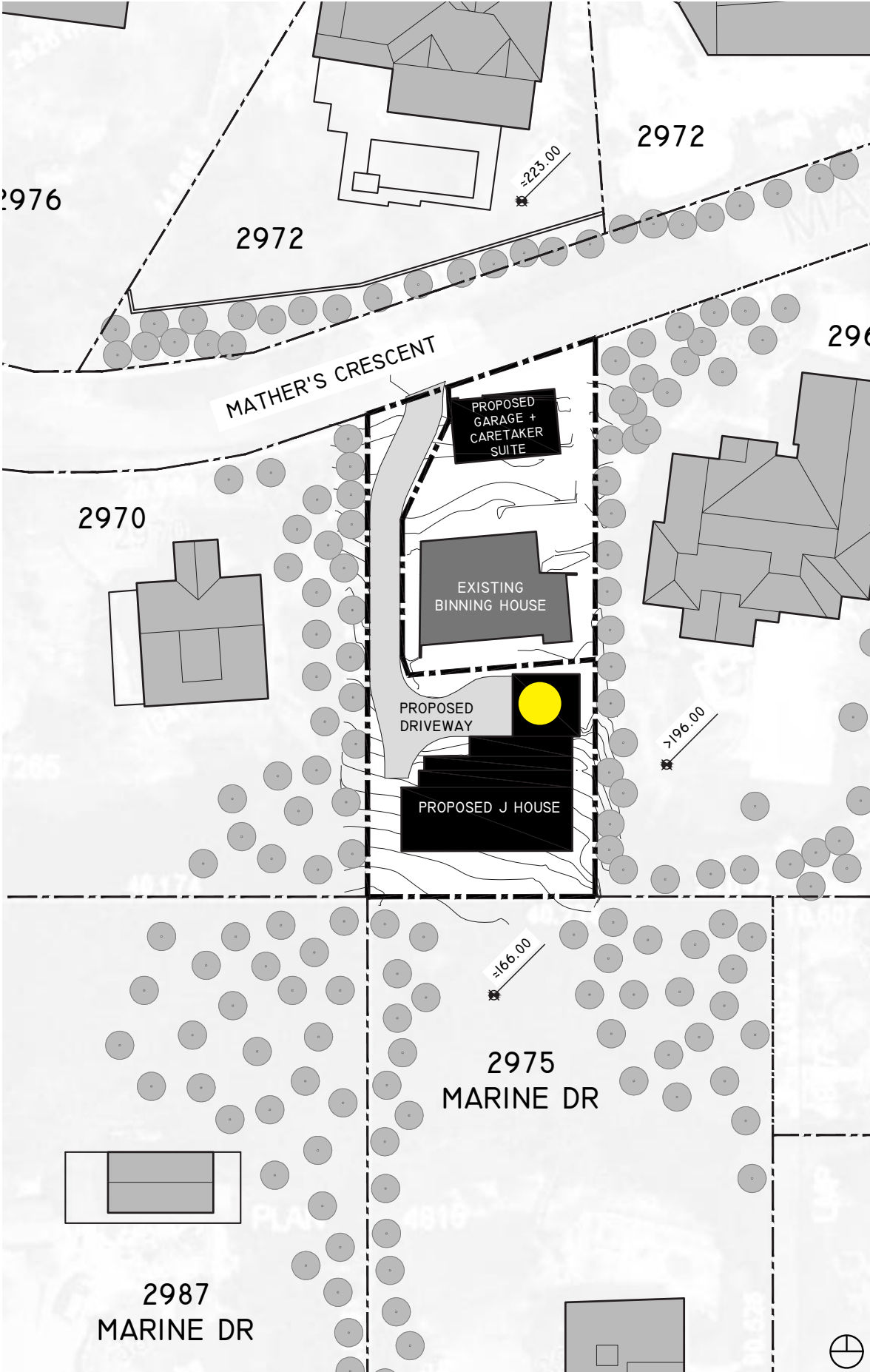
## Eastern Neighbor



2964 Mather's Crescent

### Due

to the natural topography of the terrain and the amount of foliage on the neighbors property, the **east** neighbor's views will not be affected.



Proposed Site

# Neighbor Consideration

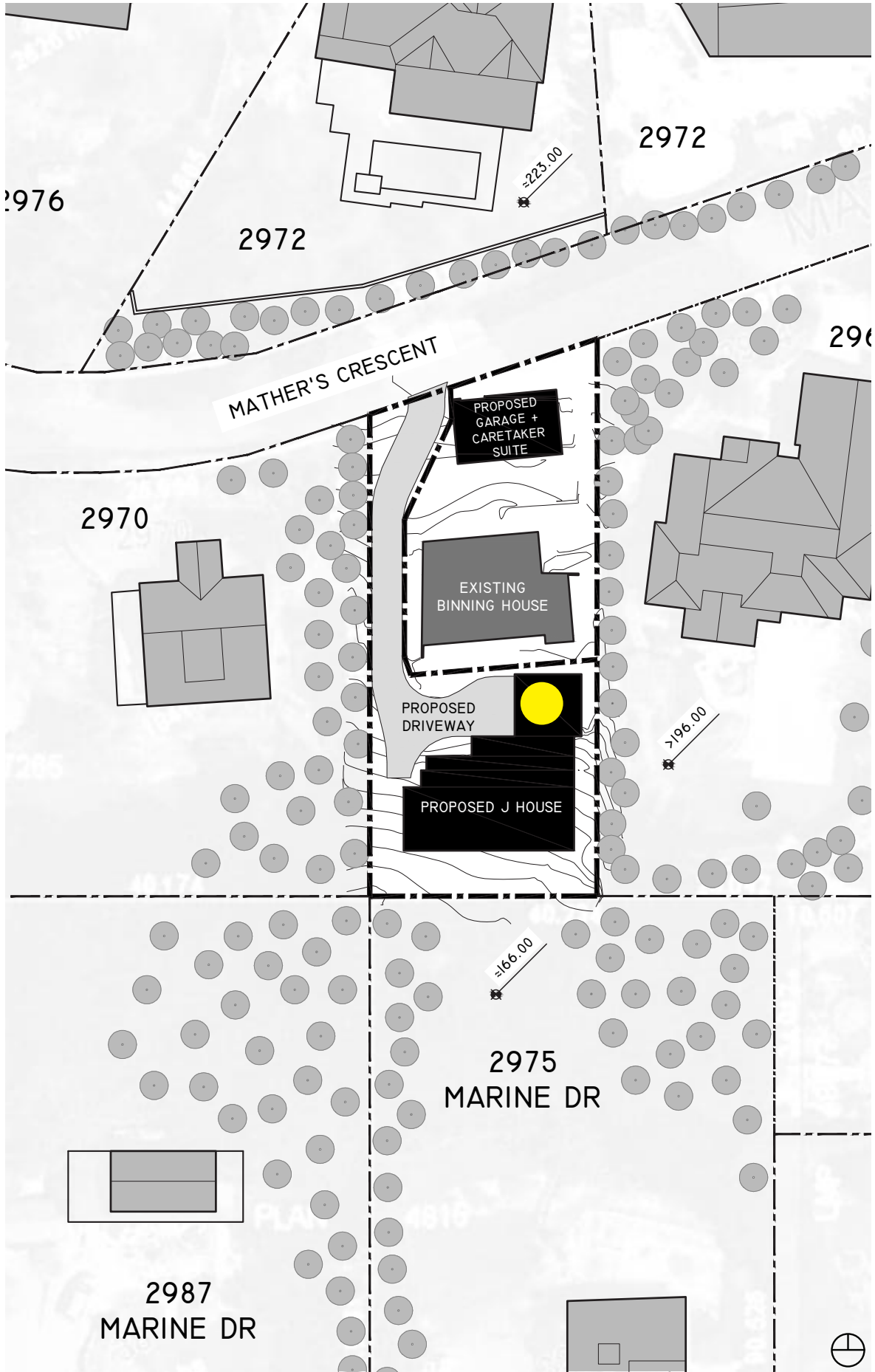
## Western Neighbor



2970 Mather's Crescent

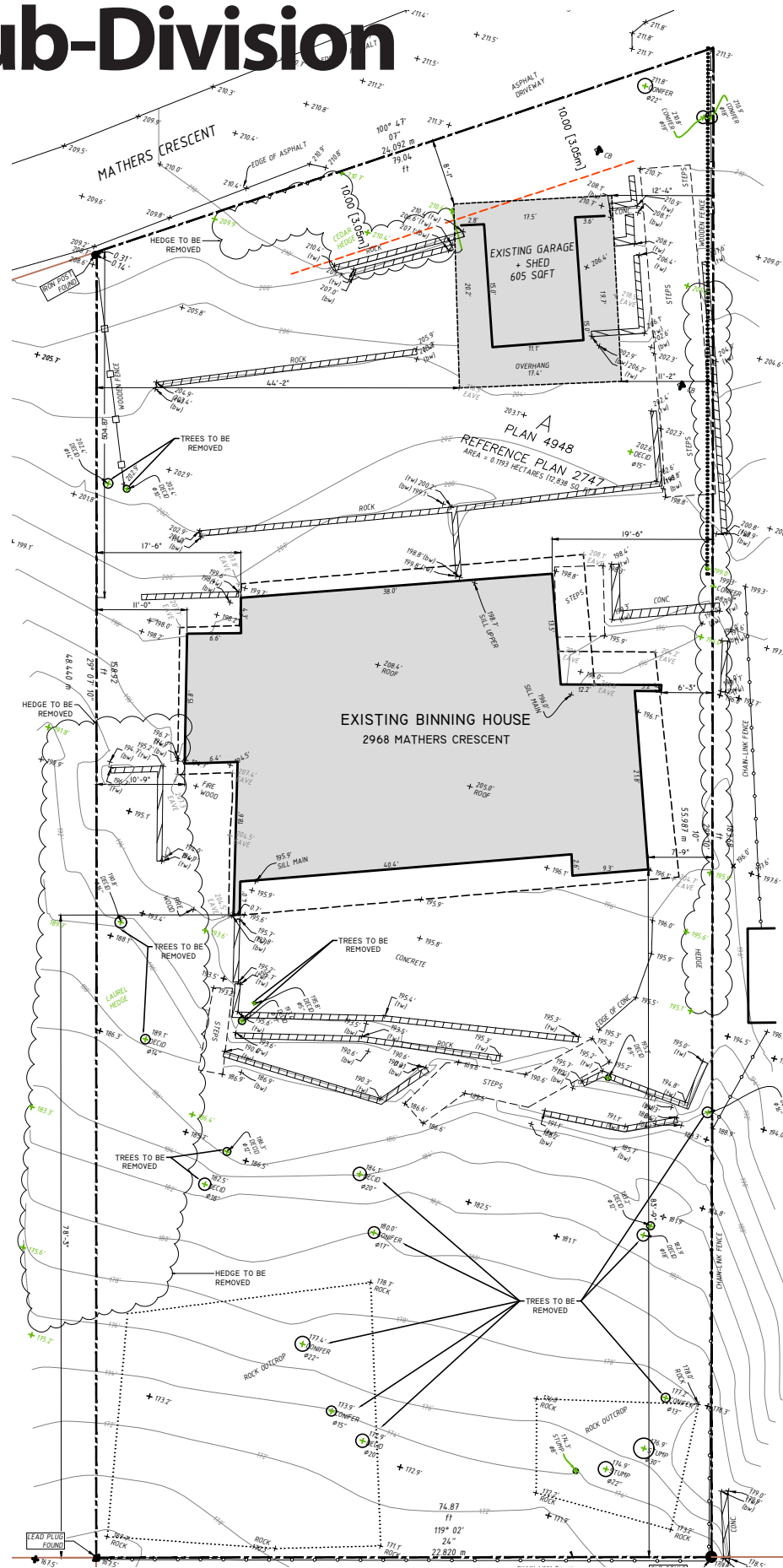
**The**

abandoned house to the **west** will remain hidden due to its location as well as the amount of tree coverage on its property. Its views, considering it currently has none, will remain the same.



Proposed Site

# Sub-Division



Existing Site Plan

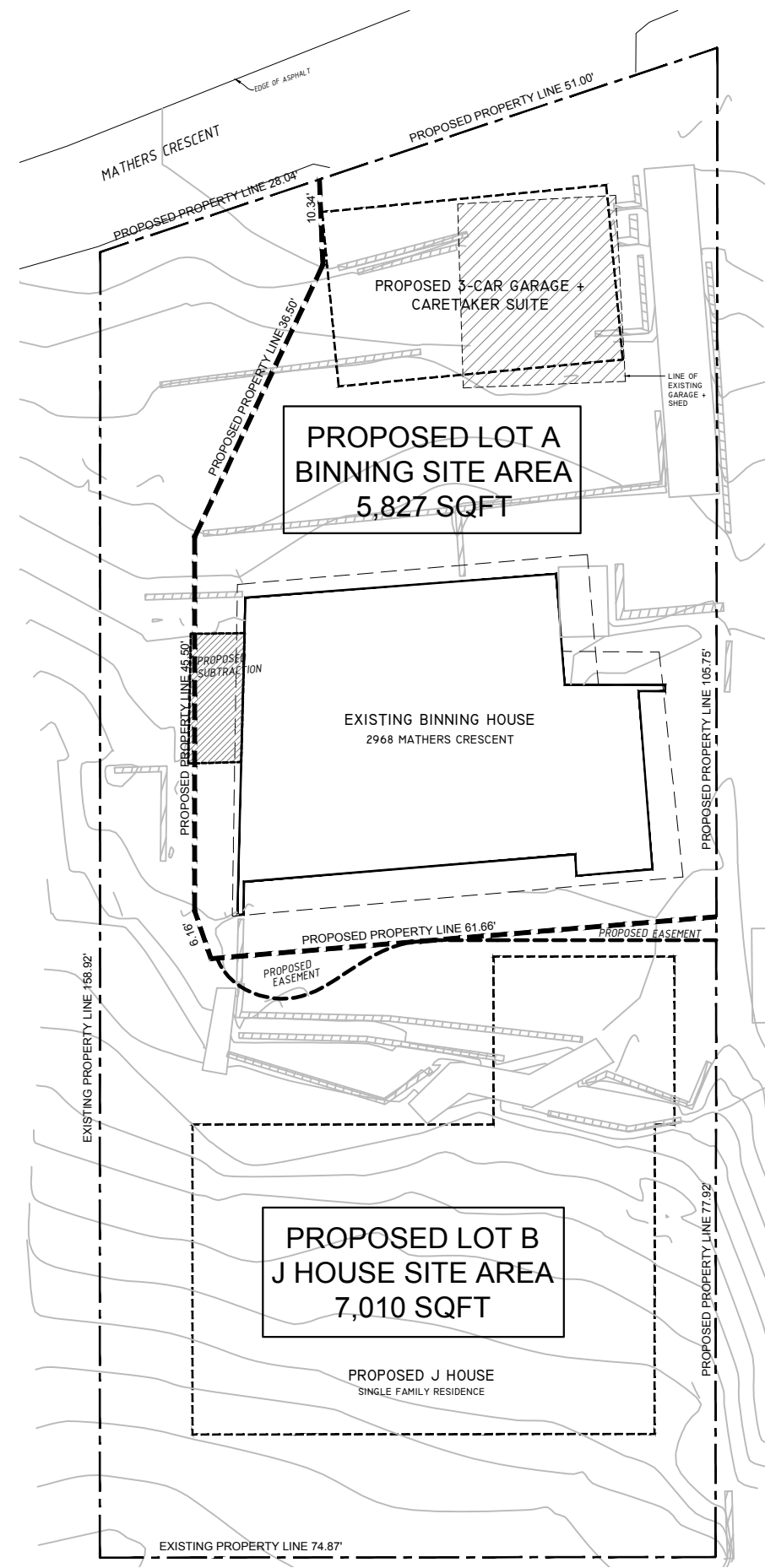
## The

existing 12,837 sqft Binning property will be **sub-divided into two lots:**

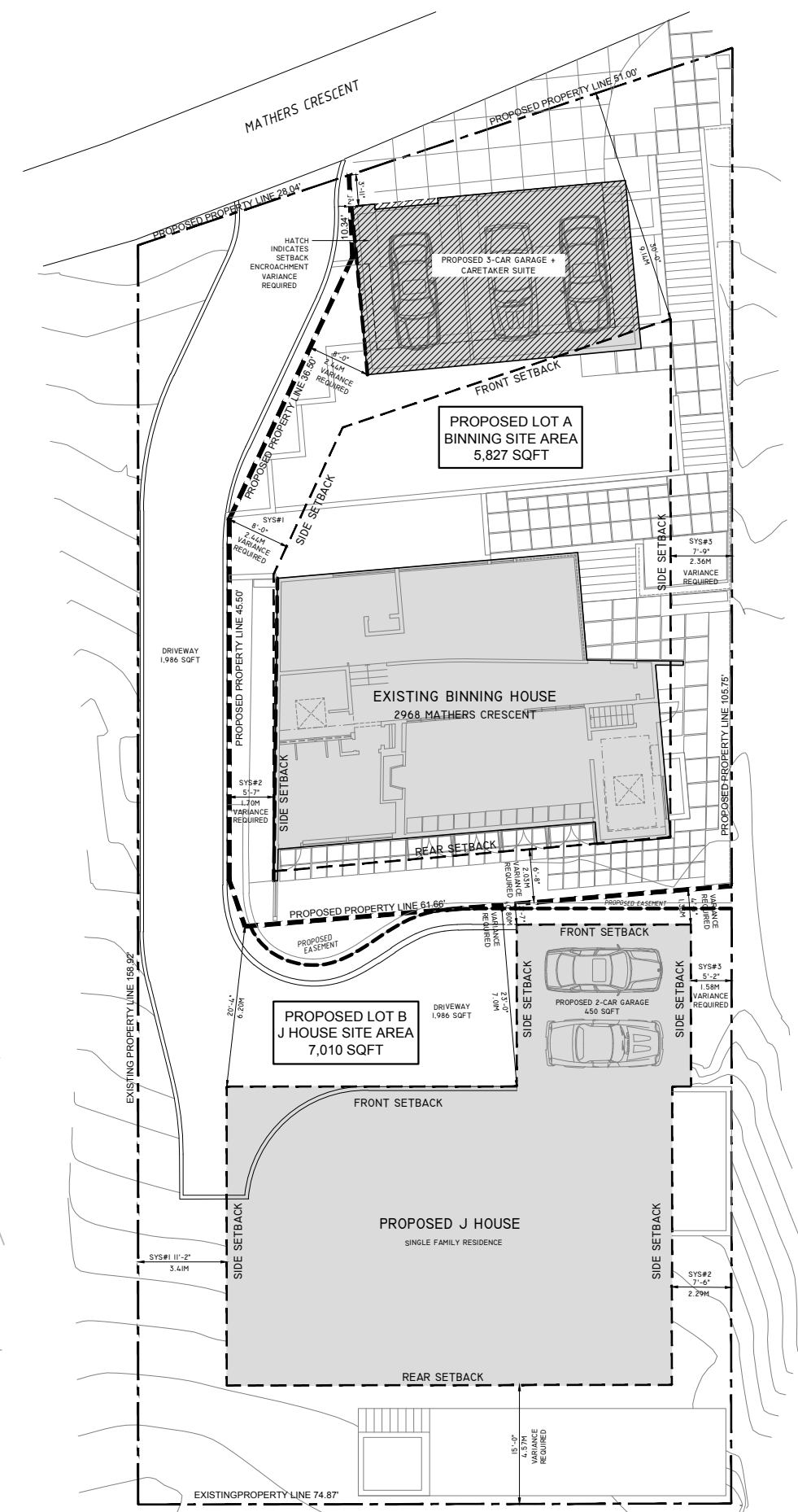
- Lot A** (Binning) 5,827 sqft
- Lot B** (Infill j\_House) 7,010 sqft

**The Binning property** will retain its most important landscape features such as the eastern entry sequence and private garden situated between the existing house and the proposed 3-car garage + caretaker suite. The 1989 bathroom addition will be removed to make way for planting alongside driveway access to the new residence. A southern easement for Lot A has been proposed to facilitate the continued use of the Binning rear yard garden.

**Lot B** has been appropriately sized in order to meet the desired programmatic criteria for a new residence. The program was set to meet the needs of a small family and/or those looking to downgrade while still being able to enjoy all of the amenities one would expect in a custom home found throughout the Altamont neighborhood.

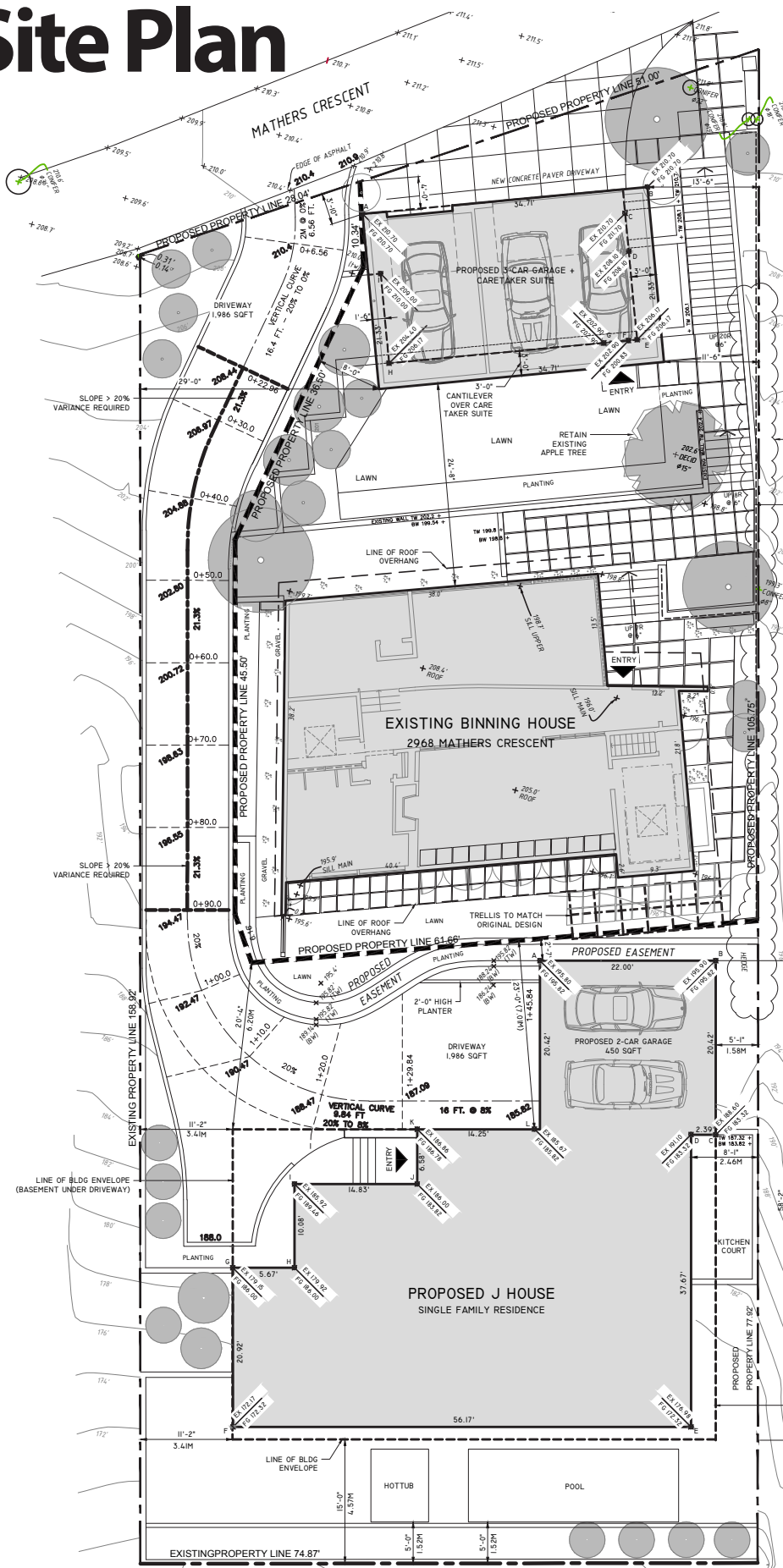


Proposed Sub-Division



Proposed Set Backs

# Site Plan



Proposed Site Plan

## GARAGE + SUITE AREA

620 SQFT  
57.6 M<sup>2</sup>

EXEMPTIONS:  
440 SQFT FOR GARAGE  
240 SQFT FOR BLDG >15'  
FROM PRINCIPLE BLDG

## GARAGE ELEVATIONS

ROOF PEAK ELEV. 220.79  
MAIN FLOOR ELEV. 210.70  
BASEMENT SLAB ELEV. 201.16

AVERAGE GRADE: 207.70

## BINNING HOUSE AREA

1552 SQFT  
144.2 M<sup>2</sup>

## BINNING HOUSE ELEVATIONS

ROOF PEAK ELEV. 208.69  
UPPER FLOOR ELEV. 198.70  
MAIN FLOOR ELEV. 196.00  
BASEMENT SLAB ELEV. 188.42

## SITE COVERAGE STATEMENT

SITE AREA: 5,827 SQFT

PERMITTED: 2,331 SQFT 40%  
PROPOSED: 2,290 SQFT 39%

## J HOUSE AREA

2497 SQFT  
232 M<sup>2</sup>

EXEMPTIONS:  
440 SF GARAGE  
995.1 SF BASEMENT  
778.7 SF BASEMENT:  
CEILING < 2'-0" ABOVE NATURAL GRADE  
216.4 SF BASEMENT  
(174.10-172.74) / 11.083 x 100 = 12.3%  
1759 SF x 0.123 = 216.4 SF

## J HOUSE ELEVATIONS

ROOF PEAK ELEV. 195.82  
GARAGE FLOOR ELEV. 185.82  
MAIN FLOOR ELEV. 183.82  
BASEMENT SLAB ELEV. 172.74

AVERAGE GRADE: 174.10

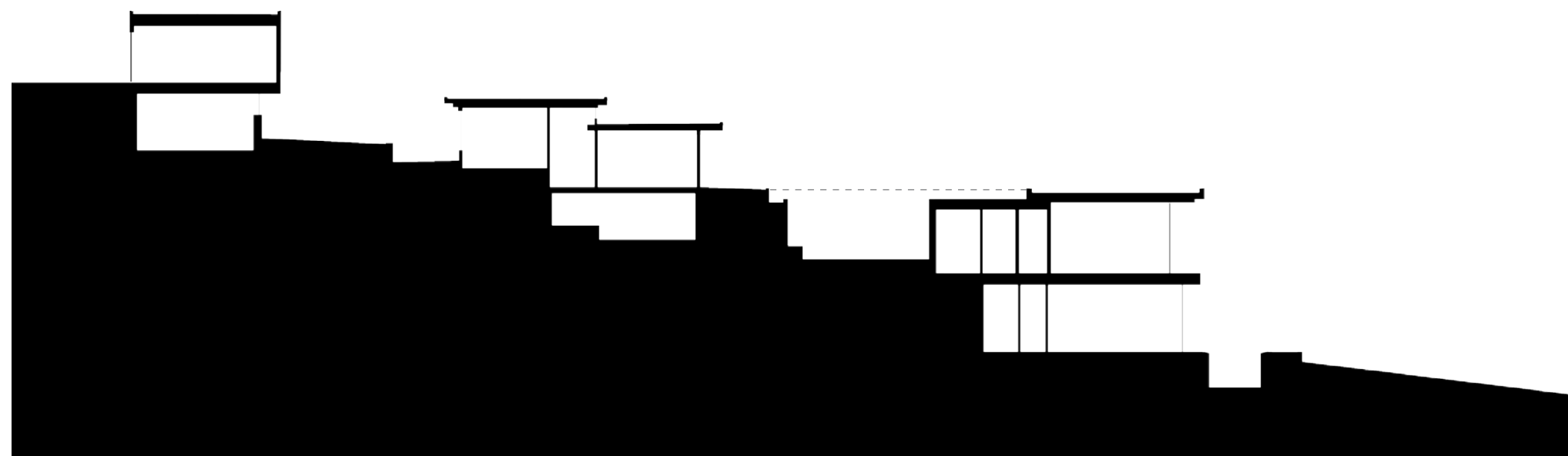
## SITE COVERAGE STATEMENT

SITE AREA: 7,010 SQFT

PERMITTED: 2,804 SQFT 40%  
PROPOSED: 2,709 SQFT 39%



Overhead Site View



Site Section Diagram

## Site Features

The sites' natural topography allows for complete privacy between the proposed caretaker suite, Binning House and the proposed infill residence. The driveway has been graded (*a minor variance will be required*) to accommodate one of the most important design criteria of the subdivision - unobstructed view lines from the Binning House to the ocean and UBC peninsula. Thus, the new residence will incorporate a **green roof** that sits flush with the Binning rear yard garden.

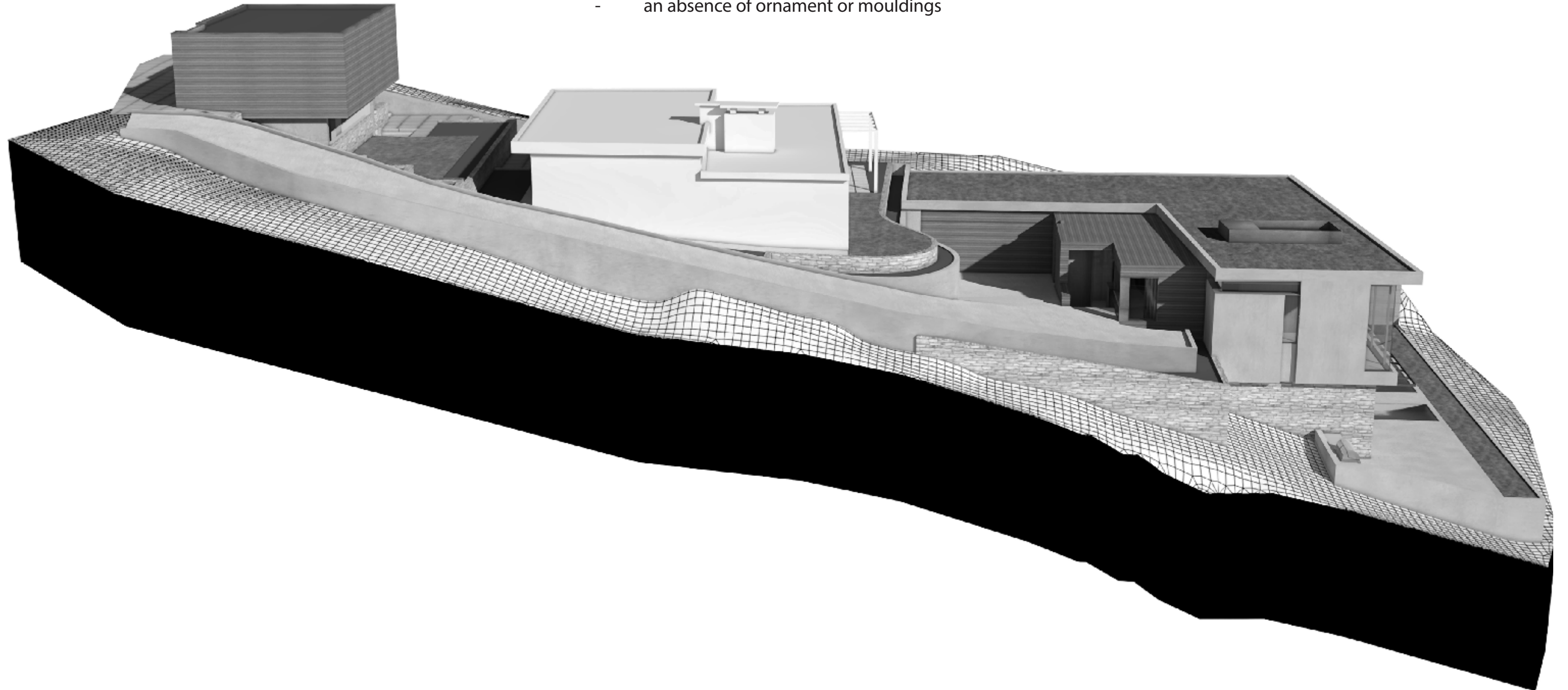
The design of the green roof allows for unobstructed existing view lines and creates a visual extension of the landscape. This roof will be void of all mechanical protrusions, save for those concealed by the proposed 'art box'.



# West Perspective

## Modernism Characterized By:

- asymmetrical compositions
- use of general cubic shapes
- flat roofs
- use of reinforced concrete
- metal and glass frameworks often resulting in large windows in horizontal bands
- an absence of ornament or mouldings



# Streetscape



*Existing Streetscape*



*Existing Streetscape*



*Graphical Representation: Proposed Streetscape*



*Graphical Representation: Proposed Streetscape*

# Site Overview

## Existing Site



# Site Overview

## Proposed Site



\*Please note this an approximate graphical representation

# Critical View

## *Design + Development Goals:*

1. Retain Privacy;
2. Retain View Lines;
3. Conservation + Restoration;

## *of the Binning House*



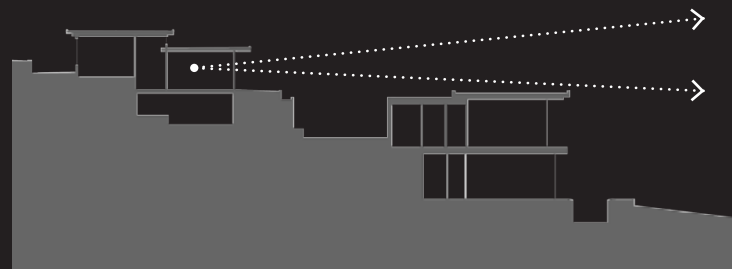
*View from Binning House*

# Critical View

## *Design + Development Goals:*

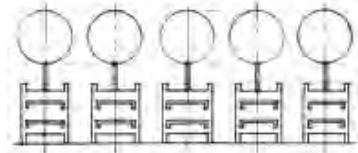
1. Retain Privacy;
2. Retain View Lines;
3. Conservation + Restoration;

## *of the Binning House*



*Interior Perspective: View from Binning House living space*

# Landscape Concept



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Historic image of Binning residence showing cottage style planting (Photos, photos, aubretia etc.) young apple tree



Historic image of Binning residence garden with cottage style planting of Jessie Binning & daughter's (cottage style, stone wall)



Image of Binning garden in it's current state (2017) (wood trellis to be replaced & stone wall to be retained / repaired as required)



Image of Binning garden in it's current state (2017) (View from of north garden, overrun with invasive plants)

11 May 2017

Attention: District of West Vancouver

## RE: Statement of Intent – Binning Residence Garden Restoration

There is very little written about the Binning garden, which is a shame, since the architecture is weighted by the structure of the garden. During the last decade, the garden was let to run wild and care was not taken to prune and keep the invasive plants, such as English ivy and blackberries at bay.

Our new garden plan that coincides with the proposed redevelopment of the garage / caretaker's unit at the north end of the property and subdivision with new residence on the south end of the property, is meant to bring the garden back to it's former self.

Through photographic evidence of the garden in its early state, we have worked to identify the plant species and post-war style of planting that Jessie & B.C. Binning had created for their wonderful West Coast Modern home. Working with a local nursery, as well as researching plant catalogues from the 1940's, we have come up with a scheme which we feel reflects the vibrancy and character of the original home, a place where the garden was cared for and lived in. The interior-exterior connections of the residence play a strong role in the lifestyle of the house, and the owner's spent much time taking in the views across to the UBC Endowment Lands. The Binning residence maintains it's existing siting, settled into the slope of the site.

### The Hard Construction

- Stone terraced walls to be retained & rebuilt as required.
- Concrete paving layout based on early photographs reflecting original angles with 1" gap (See images in attached reference photo document).
- Remove all existing exposed aggregate (not original, a later addition). All paving is to be broom finished.

### The Hard Construction (continued)

- Front entry stairs are to be removed and replaced with broom finished concrete.
  - The existing stairway is partially located on the neighbouring property to the East.
  - Slightly reduced in width to be within the existing property line.
  - Same step layout.
- Wooden lattice
  - All to be replaced with cedar wood unfinished with white painted posts. Same dimensions & detailing as existing lattices (Refer to Detail Plan L4.0) (See images in attached reference photo document).
  - Front entry has additional lattice structure to partially screen Mathers Crescent and create a sense of entry.
- Fencing
  - Simple vertical cedar siding will provide additional privacy between the Binning Residence and the neighbouring lot to the east. Fence will also be installed along east side of new driveway (Refer to Detail Plan L4.0).
- Handrail
  - Simple metal railing on one side of entry stairs (Refer to Detail Plan 4.1).
  - On the lower set of stairs to the front entrance of the Binning Residence, we have suggested moving the handrail (which was a later addition) to the East side of the steps away from the exterior Binning mural, which defines the principal entrance.
- Historic Sign Marker
  - Metal sign to be retained & reinstalled on new post (Refer to Detail L4.0).

### The Soft Landscape

- Open water views from living room & master bedroom.
- Original apple tree to be retained and shaped as feature entry element.
- Existing Japanese Maple tree in south garden (which is proposed to be removed to allow for subdivision of lot) to be transplanted into a new location on the sub divided lot (Saniuk residence). Ability to transplant the tree will have to be reviewed with arborist, as it is located within a tightly spaced concrete wall / planter. If the tree is not viable for transplant, we suggest planting with a new Japanese Maple in the proposed location on Lot 2.

### The Soft Landscape (continued)

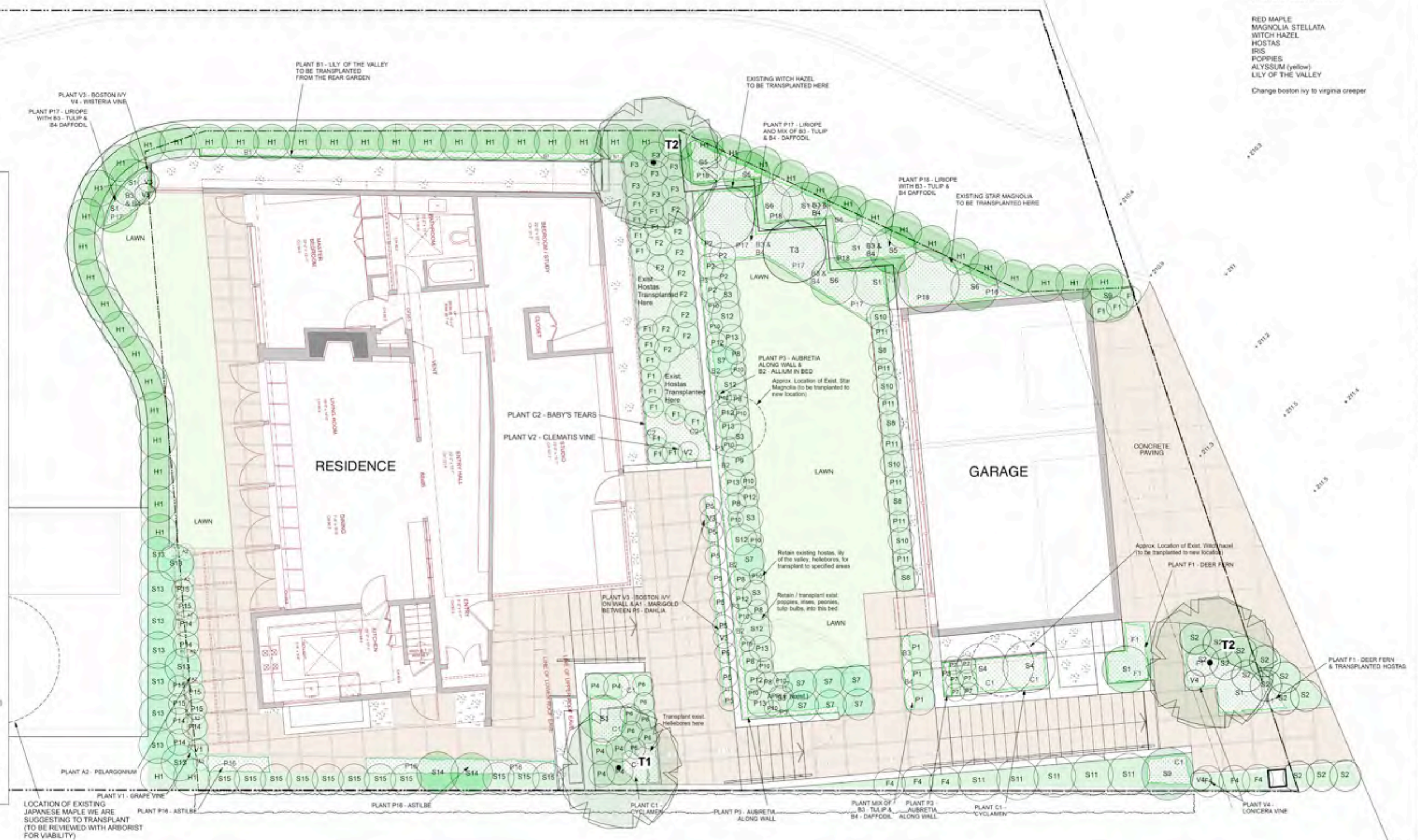
- Existing magnolia stellata & witch hazel to be transplanted into new bed between Binning Residence & caretaker's residence on west side of garden.
- Planting to reflect cottage style of Jessie Binning with mixed perennials.
- New trees to be added to the site: Pacific Dogwood and 2 qty. Japanese Maple trees, reflect a native character.
- Existing perennials (hostas, poppies, lily of the valley, peonies, irises) to be retained where possible and transplanted into new garden beds.
- Clippings of original grape vine to be taken and used for a new planting of the grape vine.
- Existing hedging
  - East property line: retain existing English laurel hedge (shared ownership). Hedge to be pruned.
    - New wood fence along property line will provide privacy between the lots.
    - Additional hedging may be required to fill in some sparse areas at the SE corner of the Binning residence. Review species of laurel to be planted with the District, since English laurel is on the invasive species list, we would propose new hedging from SE corner of the residence onwards to be Portuguese Laurel.
  - Hedge on the west side of the Binning residence
    - Existing hedge on west property line to be removed for driveway access to proposed subdivision lot 2 (Saniuk Residence).
    - We are proposing to plant a new Portuguese laurel hedge on the west side of the Binning Residence lot at the top of the retaining wall above the new driveway to lot 2 (Saniuk residence). Replaces the existing English Laurel hedge (invasive species).
    - This new Portuguese laurel hedge will provide privacy between the Binning Residence and the neighbouring lot to the East. It will also grow up to screen the Binning residence flat roof from views along Mathers Crescent (as noted in conservation plan).
    - Transplanted lily of the valley (from the rear garden) will be planted at the base of the hedge along the gravel access path.
    - Existing hedge at the west property line is shared ownership. A new fence should be proposed along the west side of the driveway to provide adequate screening to the neighbouring property.
- A small lawn area to be retained on the south side of the residence to reference the original layout of the property, with views to UBC.
- Existing rhododendrons appear sparse and would not be suitable for transplant once the surrounding plant material is cleared, as they will be left one sided. We have recommended transplanting species rhododendrons that were saved from a nearby West Vancouver site that will provide mature plant material in the garden and reference the original planting scheme.

### The Soft Landscape (continued)

- The planting scheme references the original planting of Jessie Binning as shown in attached historic photographs (Refer to attached image document. Please note photos are not to be reproduced or published in any way without the consent of the owner, they are for reference only.).
  - Planting palette from the original scheme include a mixture of oriental poppies, roses, bearded irises, foxgloves, lavender, sage, hellebores, phlox, tulips, hydrangeas, azaleas, peonies, ferns, camellia, rhododendrons, geraniums, artemisia, and a wisteria vine on the trellis outside the living room.
  - Historic planting along the terraced walls in the rear garden include dahlia's & marigolds in the beds at the base, with Boston ivy along the wall and aubretia spilling down from the top.
  - We referenced plant catalogues for other plantings that would have been available at the time of construction, which included daphne, clematis vine, lonicera vine, astilbe, cyclamen, anemone, lupins, daffodils, and alliums.
  - A native planting palette has been used for additional plants in the garden to keep the historic West Vancouver planting palette in the theme of the garden restoration (taxus brevifolia, mahonia, a variety of ferns, pacific dogwood, etc.).
- Removal of the invasive English ivy, blackberries, and St. John's Wort, which have run rampant in the garden, will be essential to bring the original, colourful garden back to life.

# Planting Plan

Code	Qty	Botanical Name	Common Name	Details
<b>TREES</b>				
T1	1	Cornus nutallii	Pacific Dogwood	12" tall / B&B
T2	2	Acer palmatum (Green Leaf)	Japanese Maple (Green Leaf)	18" - 25" tall / B&B
T3	1	Magnolia stellata 'Royal Star'	Royal Star Magnolia	7'0" o.c. / 6' - 8' + TALL
* 1 qty. Existing Star Magnolia and 1 qty. Existing Witch Hazel to be transplanted to new location on site.				
<b>HEDGES</b>				
H1	50	Prunus laurifolia	Portuguese Laurel	3'0" o.c. / 5' HIGH
<b>SHRUBS</b>				
S1	8	Rhododendron (species to be determined)	Species Rhodo	4'6" o.c. / 4' - 7' HIGH
S2	14	Taxus baccata 'Repandens'	Spreading Yew	2'6" o.c. / 15" HIGH
S3	5	Rosa 'Munstead Wood' (David Austin)	Shrub Rose	2'0" o.c. / 18" HIGH
S4	2	Camellia sasanqua 'Sho-no-Sakae'	Sho-no-Sakae Camellia	5'0" o.c. / 30" HIGH
S5	5	Arbutus unedo 'Compacta'	Compact Strawberry Shrub	4'6" o.c. / 36" HIGH
S6	4	Ceanothus thyrsiflorus Victoria	California Lilac	4'6" o.c. / 36" HIGH
S7	10	Daphne odora 'Marginala'	Winter Daphne	3'0" o.c. / 18" HIGH
S8	4	Rosa 'Bill Red'	Shrub Rose	2'0" o.c. / 18" HIGH
S9	2	Taxus brevifolia	Pacific Yew	5'0" o.c. / 4' - 6' + TALL
S10	4	Rosa 'Blasodora' (David Austin)	Shrub Rose	2'0" o.c. / 18" HIGH
S11	5	Hydrangea 'Bloomstruck'	Bloomstruck Hydrangea (purple)	4'0" o.c. / 36" HIGH
S12	4	Cistus purpureus	Purple Rock Rose	3'0" o.c. / 18" HIGH
S13	11	Azalea 'Girard's Pleasant White'	Evergreen Azalea	3'6" o.c. / 24" HIGH
S14	2	Mahonia 'Charly'	Charly Oregon Grape	3'6" o.c. / 36" HIGH
S15	12	Rhododendron yakushimanum 'Crest'	Crest Yak Rhodo	2'6" o.c. / 18" HIGH
<b>FERNS</b>				
F1	55	Blechnum spicant	Deer Fern	1'6" o.c. / #1 POT
F2	20	Adiantum venustum	Maidenhair Fern	2'0" o.c. / #1 POT
F3	10	Matteuccia struthiopteris	Ostrich Fern	2'0" o.c. / #1 POT
F4	10	Polystichum munium	Western Sword Fern	2'6" o.c. / #1 POT
<b>PERENNIALS</b>				
P1	3	Paeonia 'Berry Garcia'	Peony	2'6" o.c. / #1 POT
P2	5	Anemone 'September Charm'	Japanese Anemone	2'0" o.c. / #1 POT
P3	60	Aubretia 'Purple Cascade'	Aubretia	1'6" o.c. / #1 POT
P4	6	Phlox paniculata 'David'	David Phlox (white flower)	2'6" o.c. / #1 POT
P5	10	Dahlia (mix)	Dahlia	1'6" o.c. / #1 POT
P6	12	Hebebonia 'Cotton Candy'	Lenten Rose	1'6" o.c. / #1 POT
P7	10	Iris germanica 'Clarence'	Bearded Iris	1'6" o.c. / #1 POT
P8	12	Papaver orientalis 'Princess Victoria Louise'	Oriental Poppy	1'6" o.c. / #1 POT
P9	1	Cynara scolymus	Artichoke	2'6" o.c. / #1 POT
P10	25	Digitalis purpurea 'Sutton's Apricot'	Fonglove	1'0" o.c. / 4" POT
P11	10	Lavender angustifolia 'Violet Intigue'	English Lavender	1'6" o.c. / #1 POT
P12	10	Lupinus 'Noble Maiden'	Lupin (white flower)	1'6" o.c. / #1 POT
P13	5	Perovskia atriplicifolia	Russian Sage	2'0" o.c. / #1 POT
P14	10	Geranium 'Rozanne'	Rozanne Geranium	2'0" o.c. / #1 POT
P15	10	Artemisia 'Pewee Castle'	Wormwood	1'6" o.c. / #1 POT
P16	20	Astilbe 'Delft Lace'	False Spirea	1'6" o.c. / #1 POT
P17	55	Lilium muscari 'Morse's White'	Lily Turt	1'3" o.c. / #1 POT
P18	55	Lilium muscari 'Morse's White'	Lily Turt	1'3" o.c. / #1 POT
<b>GROUNDCOVERS</b>				
G1	35	Cyclamen hederifolium	h/leaf Cyclamen	1'6" o.c. / #1 POT
G2	30	Soleirolia soleirolia	Baby's Tears	9" o.c. / 4" POT
<b>VINES</b>				
V1	1	Vitis (clippings to be taken from site & planted)	Grape Vine	Transplanted
V2	1	Clematis montana 'Elizabeth'	Clematis	4'0" o.c. / #1 POT
V3	3	Parthenocissus tricuspidata	Boston Ivy	4'0" o.c. / #1 POT
V4	2	Lonicera 'Gold Flame'	Honeysuckle Vine	4'0" o.c. / #1 POT
V5	1	Wisteria	Wisteria	4'0" o.c. / #1 POT
<b>BULBS</b>				
B1	60	Convallaria majalis	Lily of the Valley	Transplanted
B2	60	Allium 'Tall Allium Mix'	Ornamental Onion	1'0" o.c. / by the bag (20)
B3	150	Tulip 'Joyful Hearts Mix'	Tulip	9" o.c. / by the bag (12)
B4	150	Narcissi 'Spring Mix'	Daffodil	9" o.c. / by the bag (20)
<b>ANNUALS</b>				
A1	10	Calendula officinalis (yellow flower)	Marigold (yellow flower)	1'0" o.c. / #1 POT
A2	10	Petalargium (pink / salmon colour)	Geranium (pink / salmon colour)	1'6" o.c. / #1 POT
<b>NOTES</b>				
1. CONTRACTORS TO VERIFY ALL DIMENSIONS AND GRADES ON SITE.				
2. TREES & PLANTS LISTED WITH A SPECIFIC SOURCE NOT TO BE SOURCED ELSEWHERE UNLESS OTHERWISE APPROVED BY RON RULE CONSULTANTS.				
3. ANY AND ALL PLANT MATERIAL SUBSTITUTIONS TO BE APPROVED BY RON RULE CONSULTANTS.				



**EXISTING PLANT MATERIAL**

RED MAPLE  
MAGNOLIA STELLATA  
WITCH HAZEL  
HOSTAS  
IRIS  
POPPIES  
ALYSSUM (yellow)  
LILY OF THE VALLEY

Change boston ivy to virginia creeper

**RON RULE CONSULTANTS LTD.**  
2221 Gordon Ave. West Vancouver, B.C. Canada, V7V 1R2  
Tel: 604-925-1695 Fax: 604-925-1523

**PROJECT:**

**2968 MATHERS CR. WEST VANCOUVER**

**GENERAL LANDSCAPE NOTES**

1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT.
2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT.
3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET BC/SARONITA STANDARDS.
4. ALL DRAINAGE TO BE AWAY FROM BUILDING. APPROX. 2% SLOPE.
5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE. APPROX. 2%.
6. ALL WALLS TO BE 4" IN THICKNESS UNLESS OTHERWISE SPECIFIED.
7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL.
8. ALL DIMENSIONS AND ELEVATIONS SHOWN ARE IN FEET/INCHES.
9. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 63 OF CONCRETE THICKNESS.
10. PERIMETER OF ALL BUILDINGS TO BE BORDERED WITH A MINIMUM 12" WIDTH OF GRASS/COVER APPROPRIATE FOUNDATION DRAINAGE.

**PLANTING PLAN**

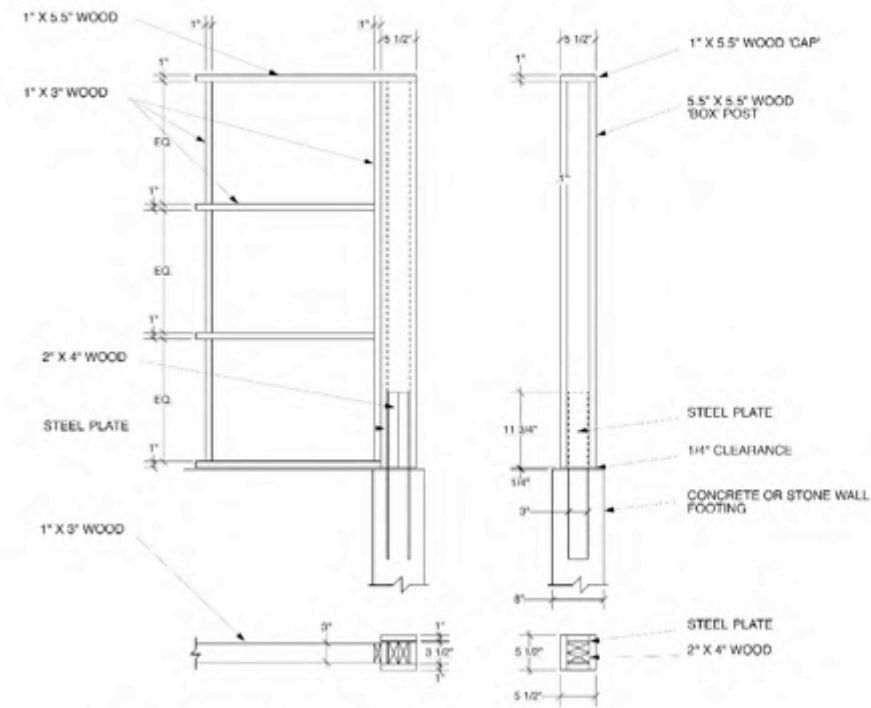
Sheet:

**PLANTING PLAN**

Date: 19 Sep. 2017 Rev: \_\_\_\_\_  
Job No: 2017-01 Supersedes all previous versions.  
Drawn: DBT / ST **L2.0**  
Scale: 1/4"=1'-0"

# Landscape Details

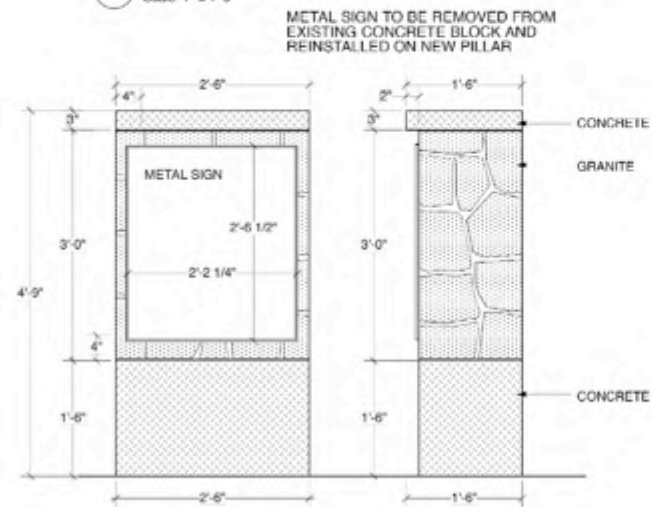
1 LATTICE SCREEN PANEL AND POST - TYPICAL  
Scale: 1" = 1'-0"



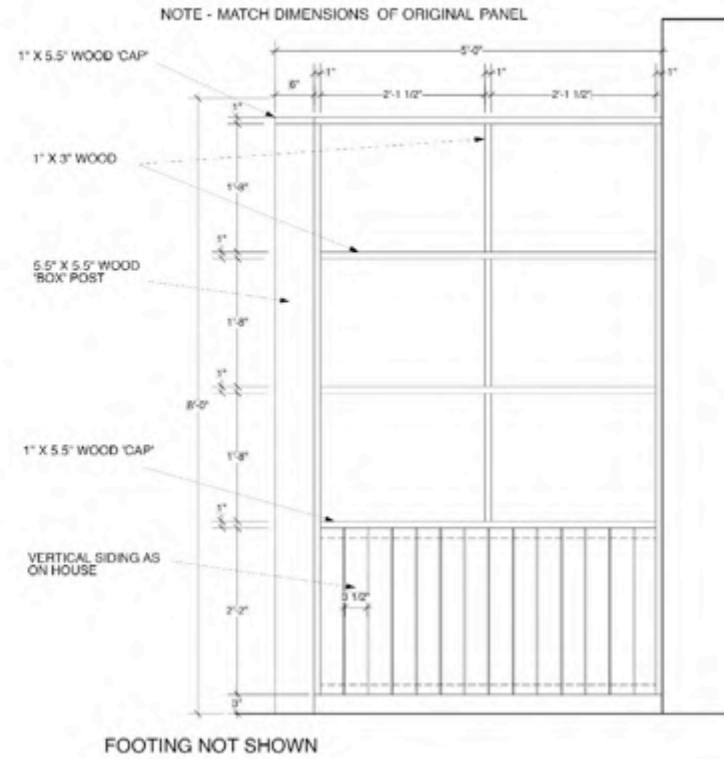
CONSTRUCTION NOTES:

- 1 - EXISTING WOOD LATTICE SCREEN ELEMENTS TO BE MATCHED IN NEW REPLACEMENT CONSTRUCTION
- 2 - ALL WOOD LATTICE SCREEN DIMENSIONS AND MATERIALS TO FOLLOW ORIGINAL ELEMENT AS FOUND ON SITE
- 2 - POSTS TO BE PAINTED WHITE AS ORIGINAL, LATTICE RAIL FINISH TO BE DETERMINED

5 HISTORIC SIGN MARKER  
Scale: 1" = 1'-0"

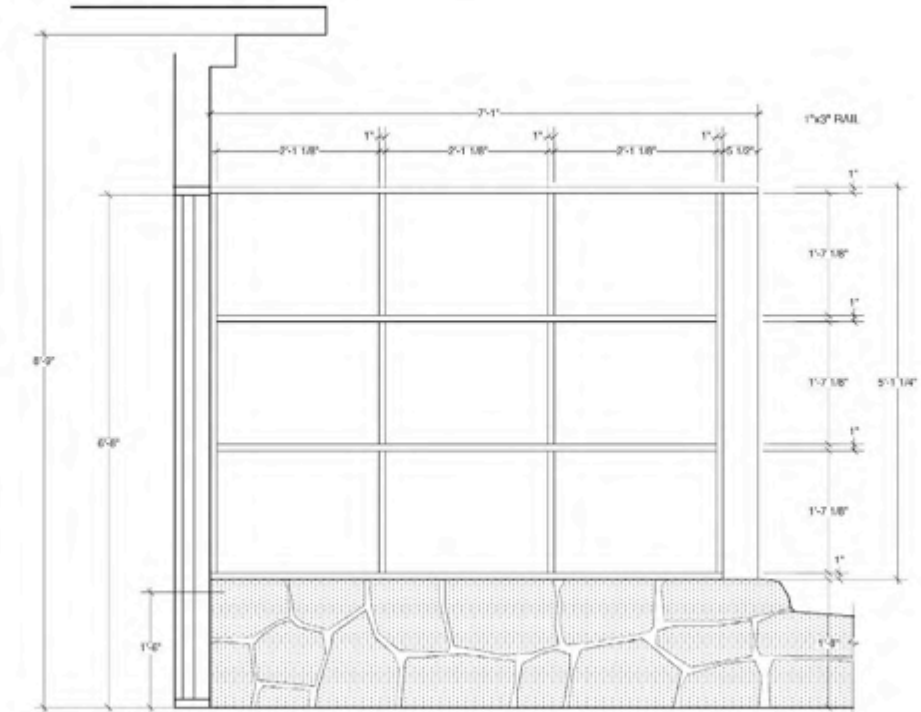


2 LATTICE PANEL - SOUTH WEST CORNER OF HOUSE  
Scale: 1" = 1'-0"

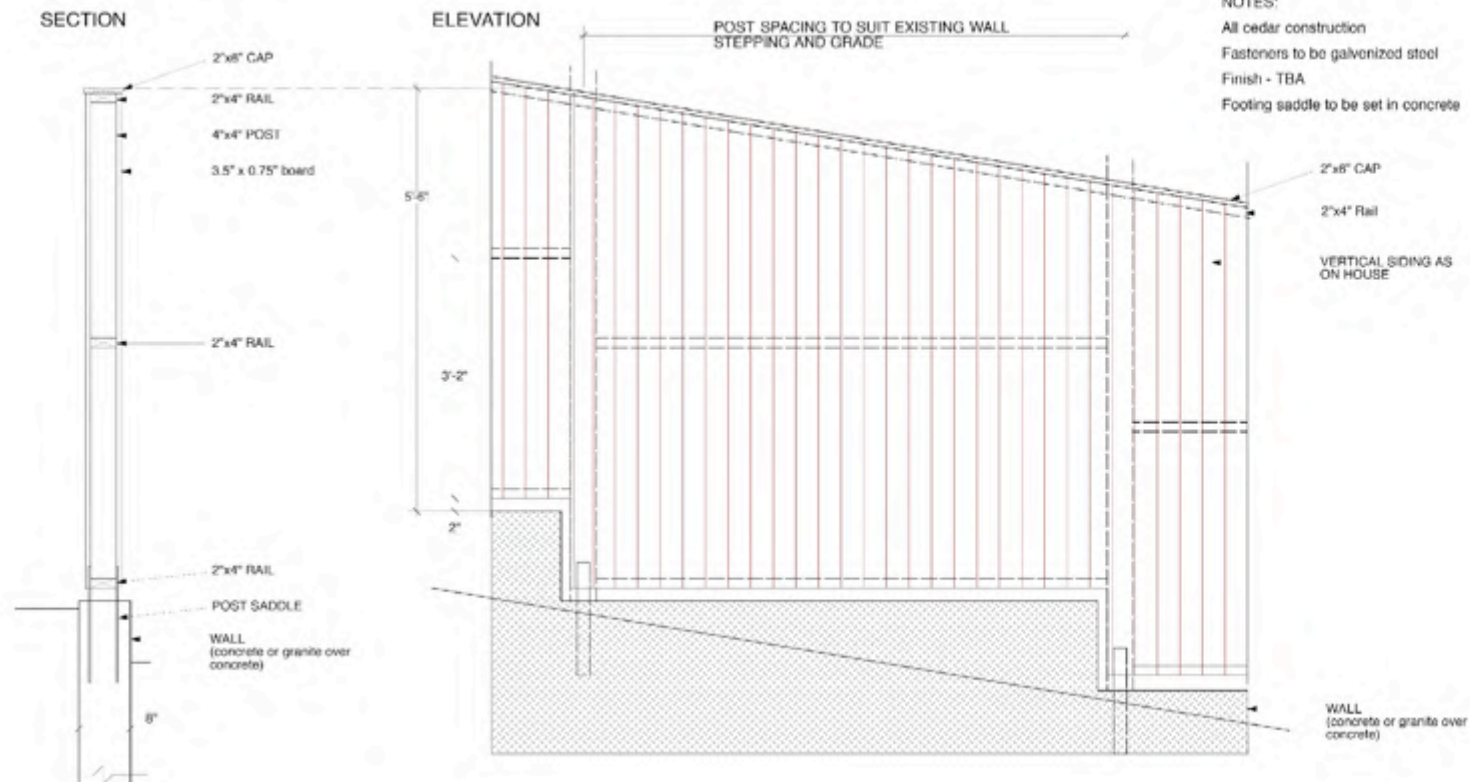


FOOTING NOT SHOWN

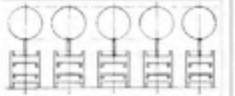
3 LATTICE PANEL - NORTH SIDE OF HOUSE  
Scale: 1" = 1'-0"



4 FENCE AT PROPERTY LINE  
Scale: 1" = 1'-0"



- NOTES:
- All cedar construction
  - Fasteners to be galvanized steel
  - Finish - TBA
  - Footing saddle to be set in concrete



**RON RULE CONSULTANTS LTD.**  
2221 Gordon Ave. West Vancouver, B.C. Canada, V7V 1W2  
Tel: 604-699-1696 Fax: 604-699-1699

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Project:  
**2968 MATHERS CR. WEST VANCOUVER**

GENERAL LANDSCAPING NOTES

1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT.
2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET B.C. LANDSCAPE STANDARDS.
4. ALL DRAINAGE TO BE AWAY FROM BUILDING, APPROX 2% SLOPE
5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE, APPROX 2%.
6. ALL WALLS TO BE 6\"/>

Title:  
**LANDSCAPE PLAN**

Sheet:  
**DETAILS - FENCING**

Date: 11 May 2017 Rev:  
Job No: 2017-01  
Drawn: DBT  
Scale: 1"=1'-0"

**L4.0**

# Conservation Plan

## The

heritage conservation of the Binning House will be carried out in accordance with the recommendations of the **Heritage Conservation Plan prepared by Donald Luxton & Associates Inc.**

Particular attention will be given to restoring the exterior to its original 'glory' when it was first constructed. However, better building practices than originally utilized will be implemented to ensure the Binning House's future durability. A new roof system and the reinforcing of the foundation where necessary, are all part of the proposed conservation plan.

Many elements of the interior, such as the original hardwood floors, stone walls, and hallway mural, will be conserved and restored.



## BINNING HOUSE

2968 MATHERS CRESCENT, WEST VANCOUVER

## CONSERVATION PLAN

APRIL 2017

# Binning House Revitalization

## FLOOR FINISH SCHEDULE

- F1 HARD WOOD FLOORING  
TO BE RESTORED TO ORIGINAL FINISH
- F2 FIR FLOORING  
TO BE RESTORED TO ORIGINAL FINISH
- F3 LINOLEUM FLOORING  
TO BE REMOVED AND REPLACED WITH:  
TILE IN BATHROOM - 'BINNING' STYLE  
RESTORE HARDWOOD IN KITCHEN
- F4 EXPOSED CONCRETE  
TO BE CLEANED AND PATCHED WHERE  
INECESSARY
- F5 ORIGINAL ARCHITECTURAL  
CONCRETE TILE PAVERS  
TO REPLACE EXISTING EXPOSED AGGREGATE  
CONCRETE PAVERS

## WALL FINISH SCHEDULE

- 1 PLASTER  
TO BE RE-PAINTED + RE-PLASTERED WHERE  
NECESSARY TO MATCH ORIGINAL FINISH  
COLOR TBD
- 2 V-JOINT CEDAR PANELING (3 1/4"  
O.C.)  
PAINT TO BE REMOVED AND PANELS TO BE  
RE-VARNISHED TO MATCH ORIGINAL FINISH  
OR: IF NECESSARY REPLACE WITH NEW CEDAR  
PANELING TO MATCH ORIGINAL FINISH
- 3 GYPSUM BOARD  
TO BE RE-PAINTED - COLOR TBD
- 4 'ROCK FACE' STONE WALL  
TO BE CLEANED AND GROUT TO BE RE-SEALED
- 5 WALLPAPER  
TO BE REMOVED AND RE-PAINTED AND  
RE-PLASTERED WHERE NECESSARY - COLOR  
TBD
- 6 CEDAR BOARD INTERIOR FASCIA  
TO BE RE-VARNISHED TO MATCH ORIGINAL  
FINISH
- 7 SHOWER TILE  
TO BE CLEANED AND GROUT RE-SEALED OR  
TILE TO BE REPLACED
- 8 INTERIOR MURAL  
TO BE CLEANED AND TOUCHED UP WHERE  
NECESSARY TO MATCH ORIGINAL DESIGN
- 9 EXPOSED CONCRETE  
TO BE CLEANED AND PATCHED WHERE  
NECESSARY

## Interior Restoration



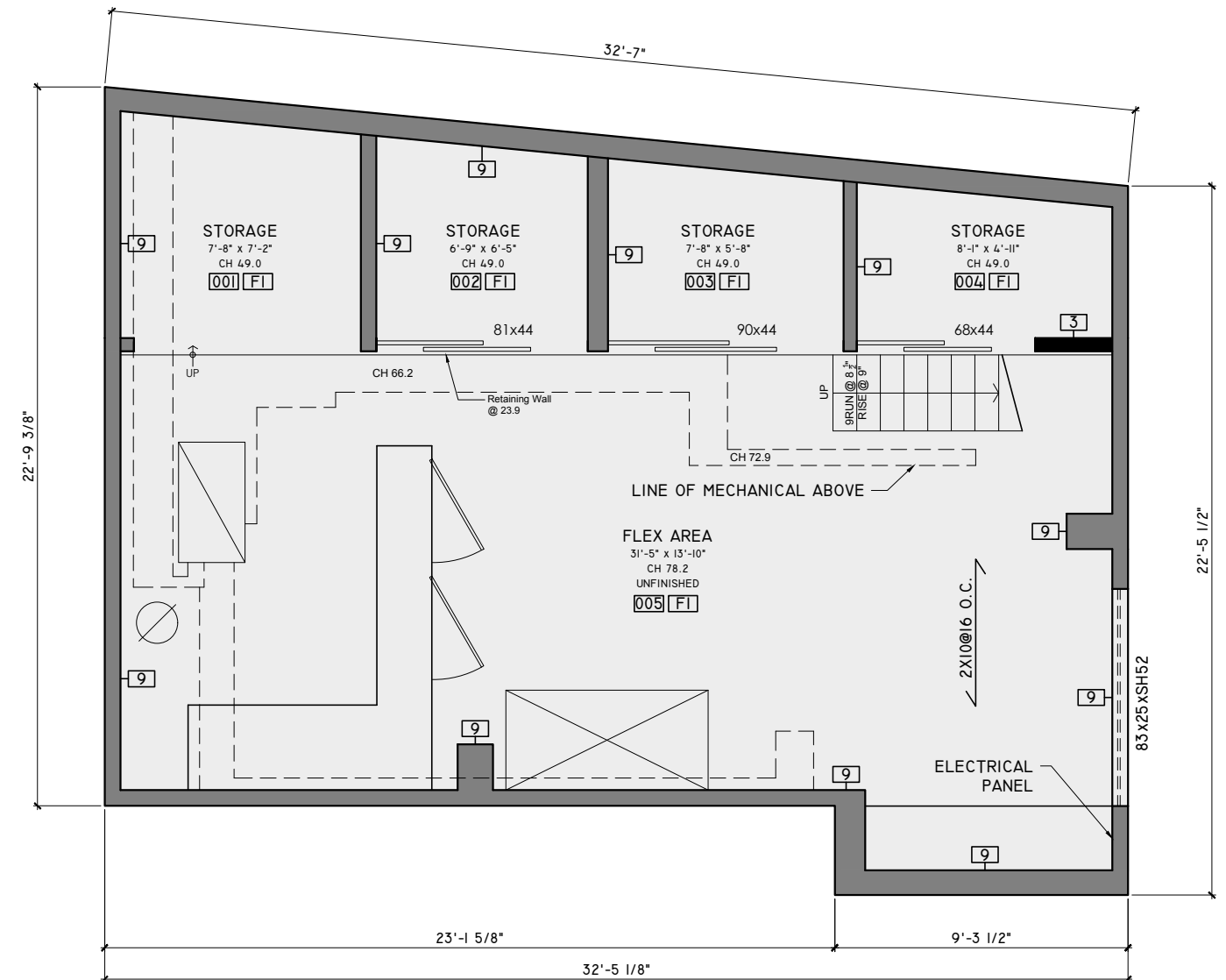
Binning Interior Mural



Binning Interior Hall

The majority of the interior will either be restored or replaced in accordance to the recommendations of the Conservation Plan<sup>1</sup>. For example, the linoleum on the kitchen floor will be removed to expose the hardwood restored to its original finish. The inside/outside existing concrete paver's will need to be replaced with those that match the original design. The interior hallway mural will be attended to by a specialist. **Please refer to the Finish Schedule + Main Floor Plan for further details.**

1 *Binning House Conservation Plan*  
Donald Luxton and Associates Inc.  
April, 2017



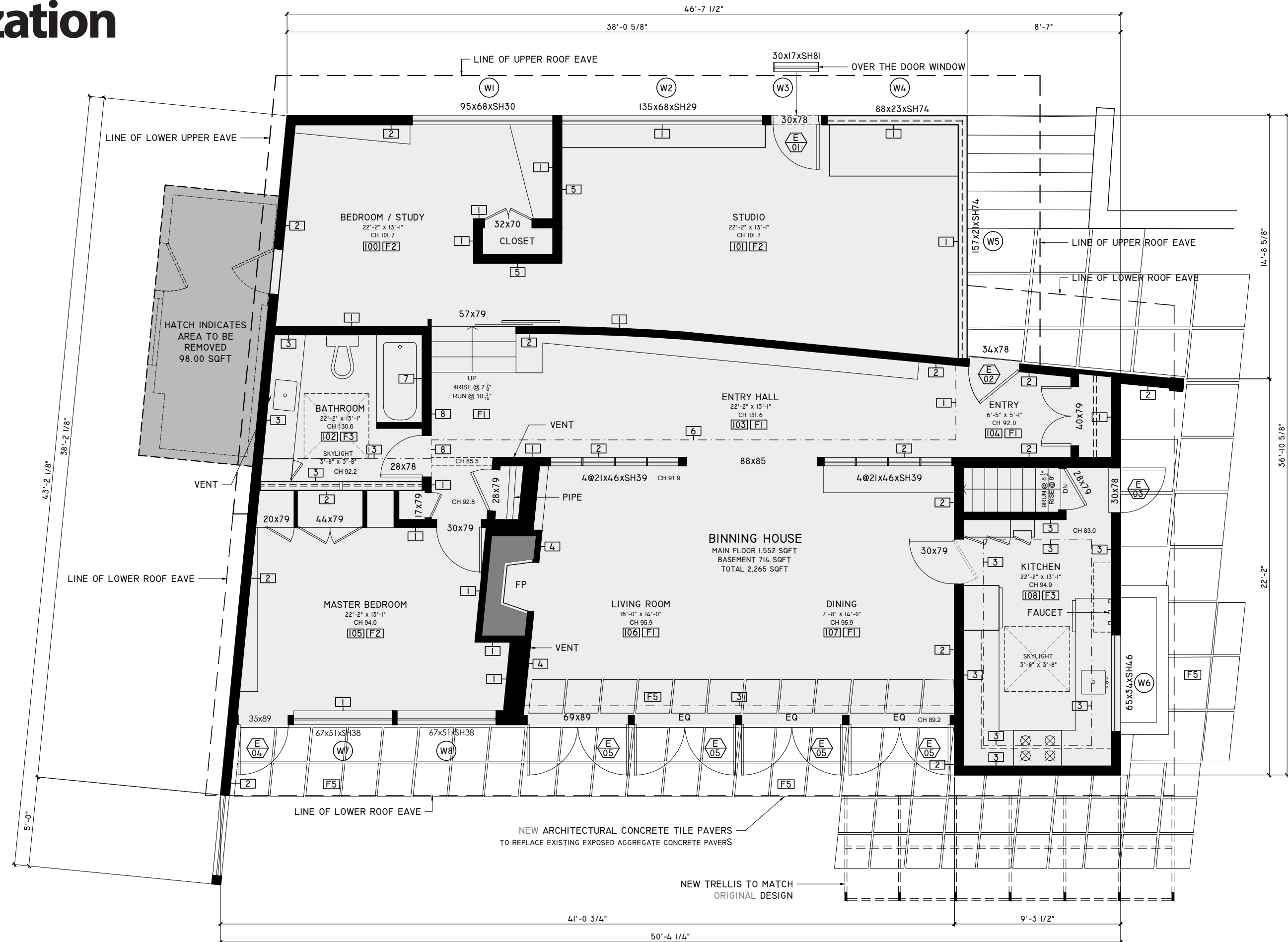
# Binning House Revitalization

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TO BE REMOVED AND REPLACED WITH:  
TILE IN BATHROOM - 'BINNING' STYLE  
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TO BE CLEANED AND PATCHED WHERE  
INECESSARY
- F5 ORIGINAL ARCHITECTURAL  
CONCRETE TILE PAVERS  
TO REPLACE EXISTING EXPOSED AGGREGATE  
CONCRETE PAVERS

## WALL FINISH SCHEDULE

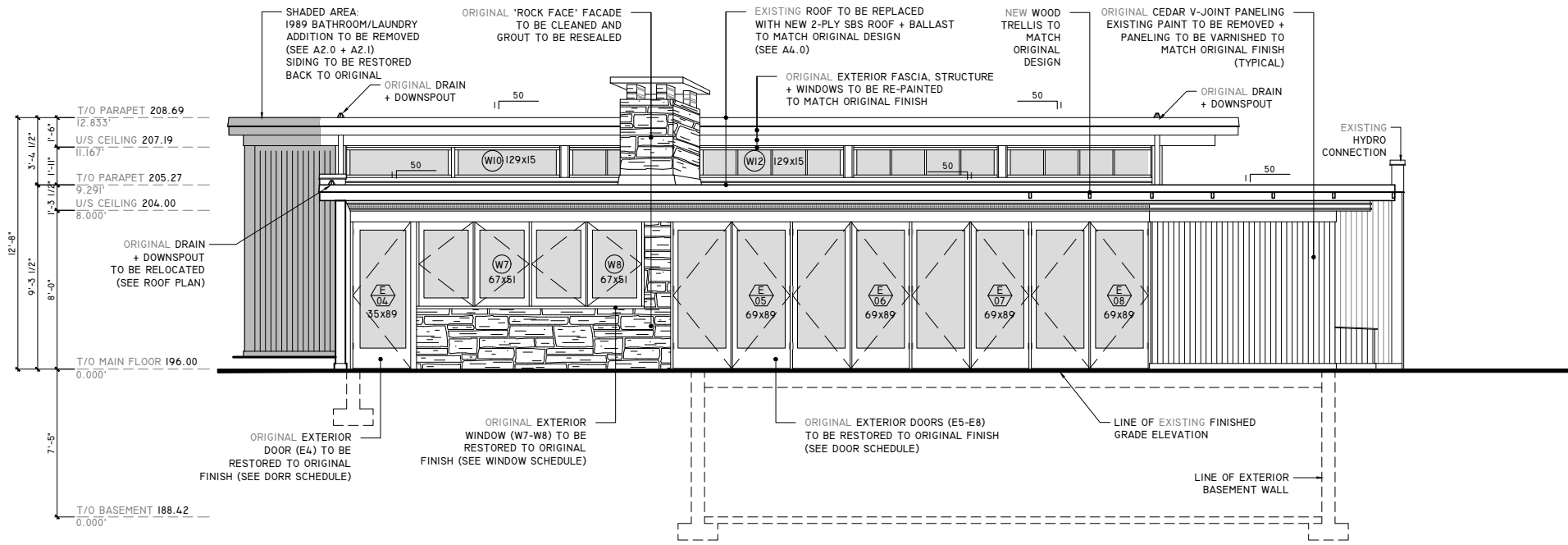
- 1 PLASTER  
TO BE RE-PAINTED + RE-PLASTERED WHERE  
NECESSARY TO MATCH ORIGINAL FINISH  
COLOR TBD
- 2 V-JOINT CEDAR PANELING (3 1/4"  
O.C.)  
PAINT TO BE REMOVED AND PANELS TO BE  
RE-VARNISHED TO MATCH ORIGINAL FINISH  
OR: IF NECESSARY REPLACE WITH NEW CEDAR  
PANELING TO MATCH ORIGINAL FINISH
- 3 GYPSUM BOARD  
TO BE RE-PAINTED - COLOR TBD
- 4 'ROCK FACE' STONE WALL  
TO BE CLEANED AND GROUT TO BE RE-SEALED
- 5 WALLPAPER  
TO BE REMOVED AND RE-PAINTED AND  
RE-PLASTERED WHERE NECESSARY - COLOR  
TBD
- 6 CEDAR BOARD INTERIOR FASCIA  
TO BE RE-VARNISHED TO MATCH ORIGINAL  
FINISH
- 7 SHOWER TILE  
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TILE TO BE REPLACED
- 8 INTERIOR MURAL  
TO BE CLEANED AND TOUCHED UP WHERE  
NECESSARY TO MATCH ORIGINAL DESIGN
- 9 EXPOSED CONCRETE  
TO BE CLEANED AND PATCHED WHERE  
NECESSARY



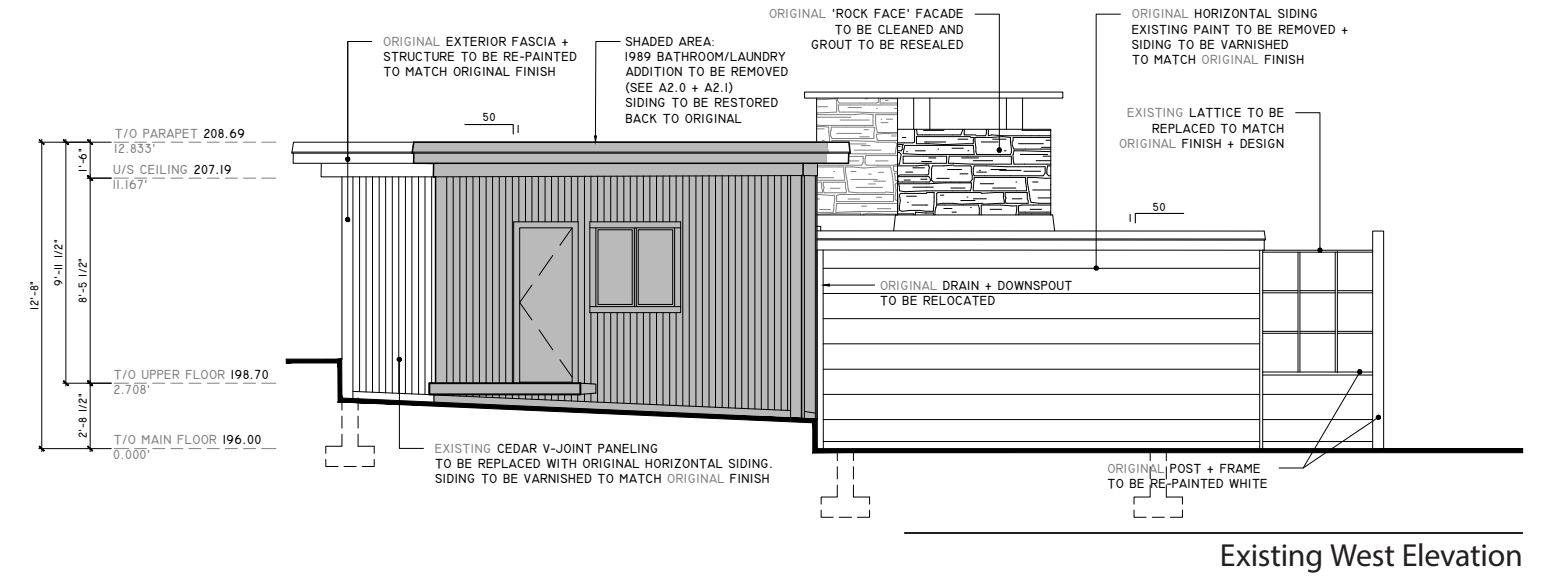




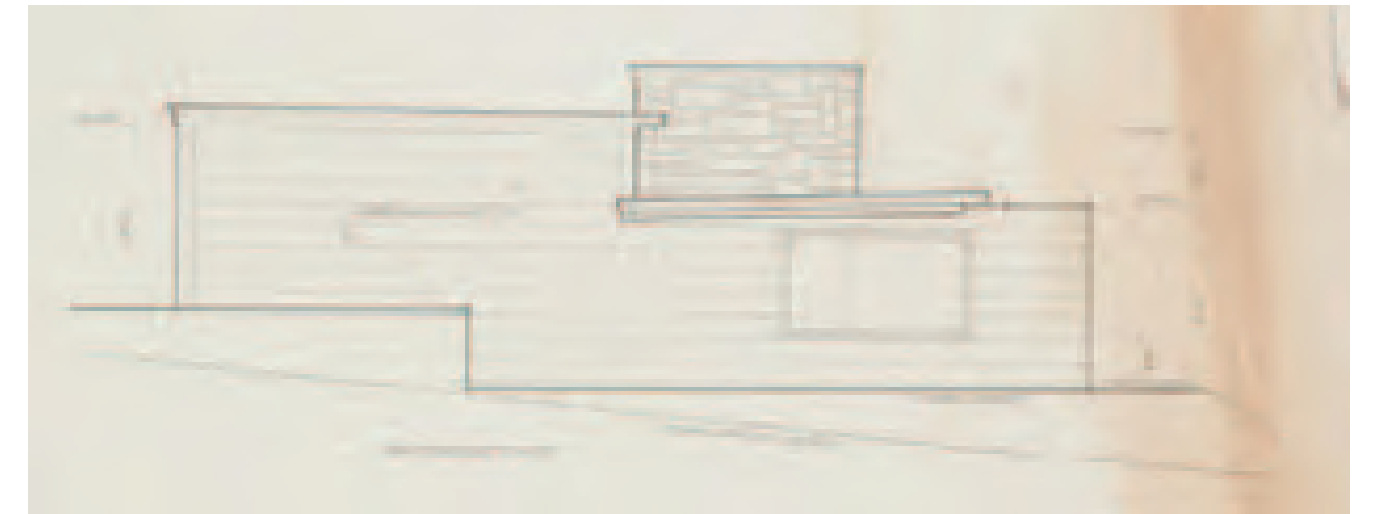
# Binning House Revitalization



South Elevation



Existing West Elevation



Original West Elevation



Original Garden Trellis

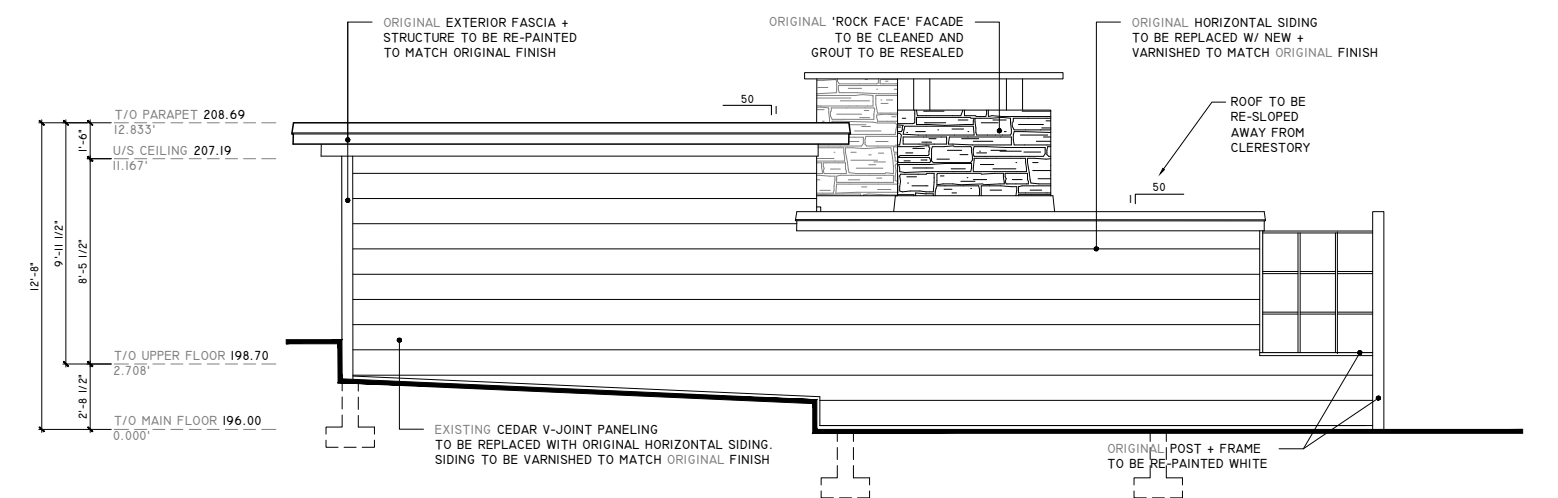
## Garden Trellis

"The original large wood trellis appended to the east portion of the south facade is shown in several archival photos from the 1940s. It was later replaced by a shallow trellis, which extends the full length of the south facade; this second trellis is extant."<sup>1</sup>

A new trellis on a 3'-0" grid will be installed to match the original design extending the living room space to the outside.

## West Elevation

The 1989 bathroom will be removed and all siding replaced to match the original design intent. This elevation differs from the rest of the house in that the siding is horizontal and much wider.



Proposed West Elevation

<sup>1</sup> Binning House Existing Conservation Plan  
Donald Luxton and Associates Inc.  
April, 2017

# Proposed Garage + Caretaker Suite



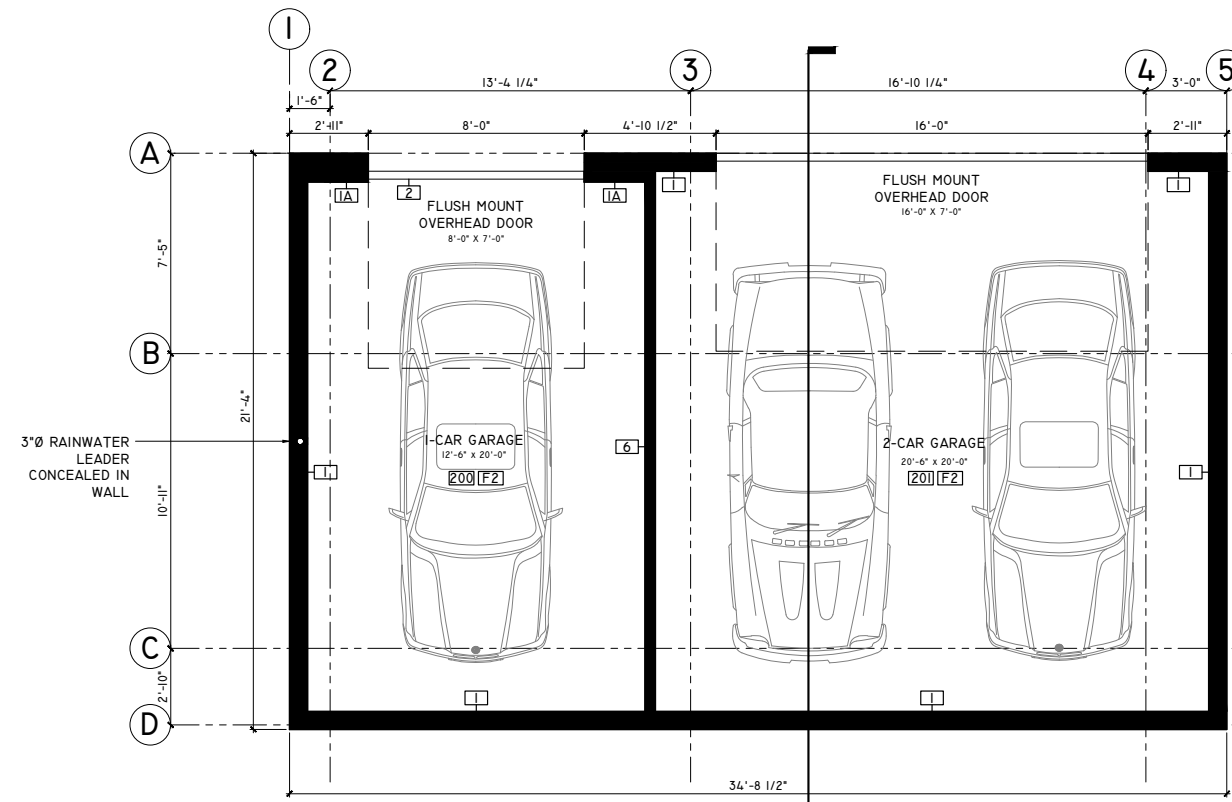
Existing Garage



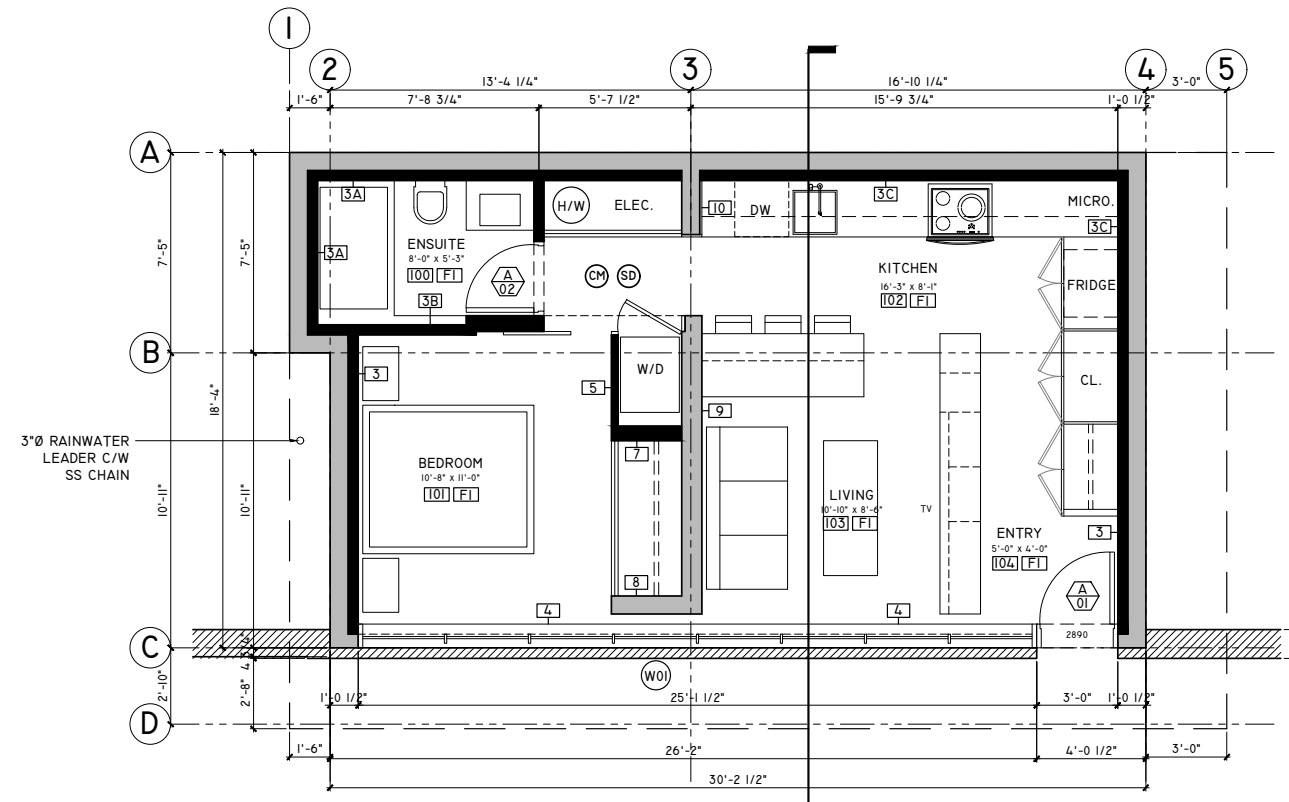
Existing Garage



Precedent:  
Poll Residence (1959)  
925 Highland Drive, West Vancouver



- CONCRETE  
 EXTERIOR: ARCHITECTURAL (EXPOSED)  
 INTERIOR: STRUCTURAL
- STONE WALL  
 EXTERIOR: 'ROCK FACE' - RAIN SCREEN  
 INTERIOR: 'ROCK FACE'
- WOOD FRAME  
 EXTERIOR: 3.5" CEDAR SIDING - RAINSCREEN  
 INTERIOR: WHITE PAINTED GYP. BD.



## Design Rational + Intent

The existing 1966 2-car garage has one main deficiency - with an interior width of 18'-0" it is quite difficult to fit 2 standard sized cars. A new 3-car garage is being proposed with 2 parking spots dedicated to the Binning House and one spot for the caretaker suite below. This additional parking spot is also intended to be used by people wishing to view the Binning House.

The form of the new garage reflects that of the existing. However, architectural characteristics such as the post + beam structural system and the roof overhangs, have been stripped away to showcase a more contemporary architecture of our time. Precedents of local Modernism, such as the Poll Residence (left), were studied to help formalize the aesthetic of the new garage.



View of Existing Garage from Garden

# Proposed Garage + Caretaker Suite



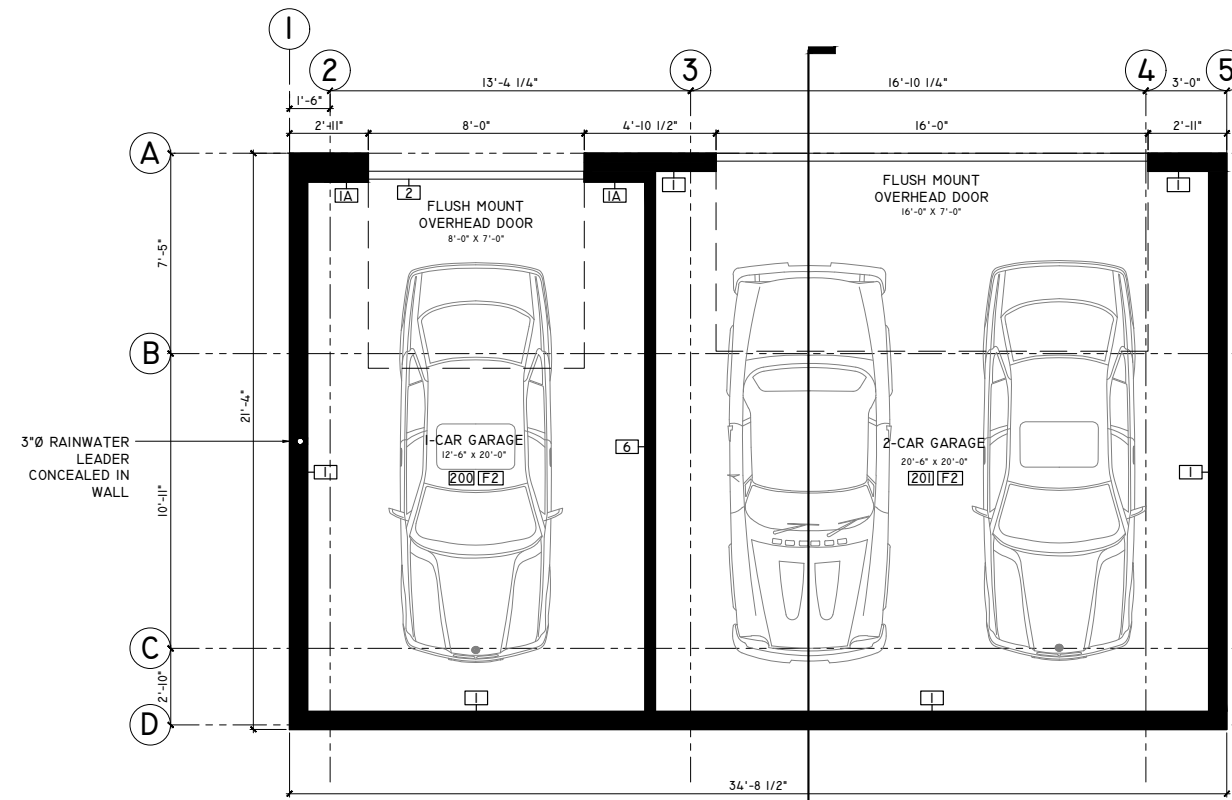
Proposed Garage



Existing Garage

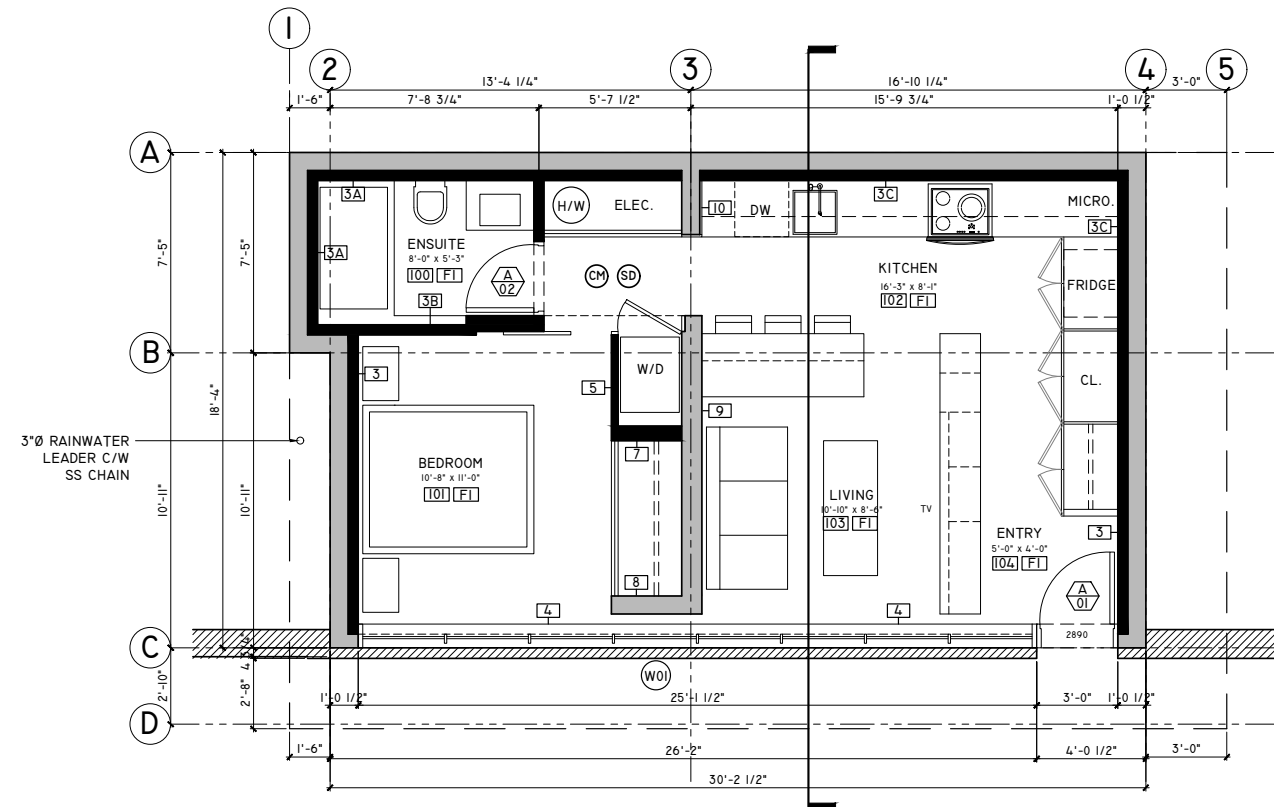


Precedent:  
Poll Residence (1959)  
925 Highland Drive, West Vancouver



- CONCRETE  
 EXTERIOR: ARCHITECTURAL (EXPOSED)  
 INTERIOR: STRUCTURAL
- STONE WALL  
 EXTERIOR: 'ROCK FACE' - RAIN SCREEN  
 INTERIOR: 'ROCK FACE'
- WOOD FRAME  
 EXTERIOR: 3.5" CEDAR SIDING - RAINSCREEN  
 INTERIOR: WHITE PAINTED GYP. BD.

Garage Floor Plan



Caretaker Suite Floor Plan

## Design Rational + Intent

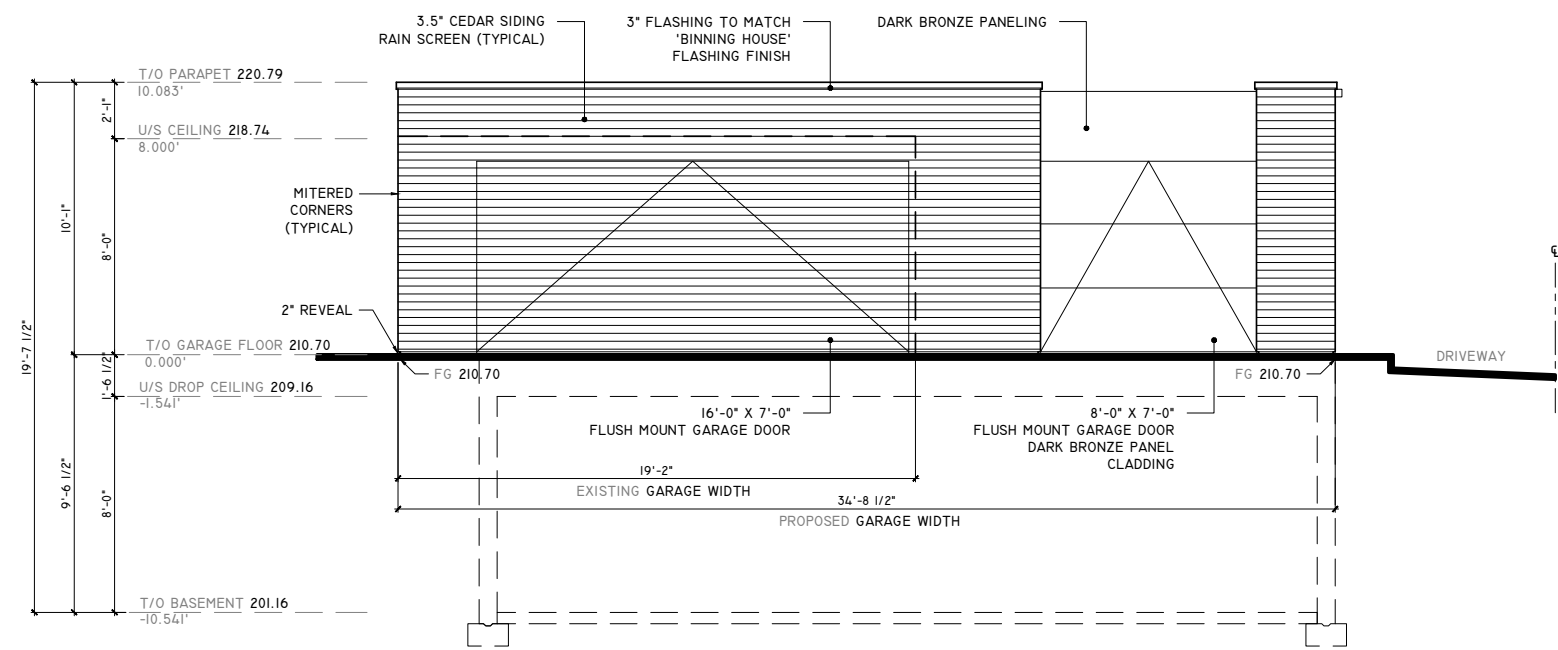
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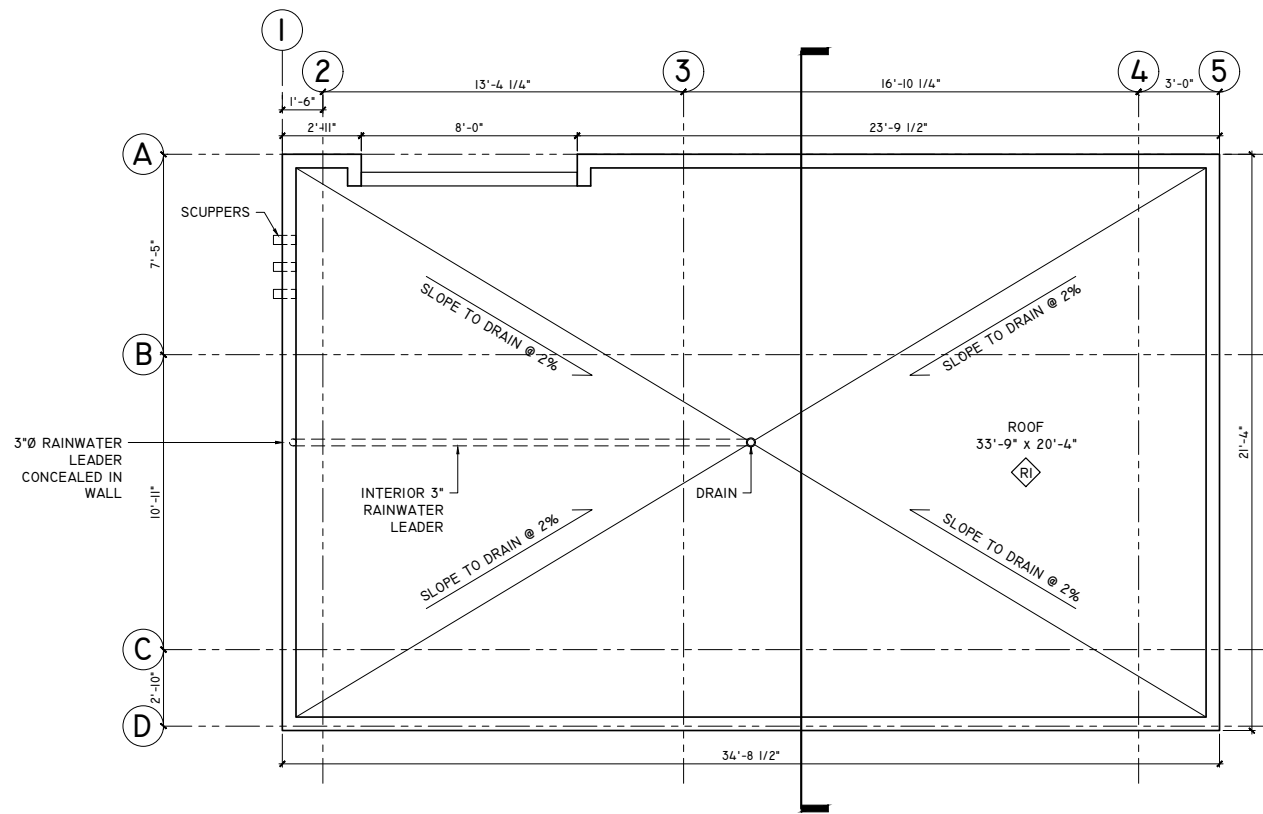


View of Existing Garage from Garden

# Elevations + Roof Plan



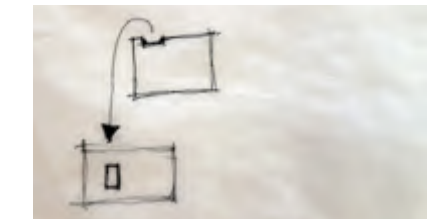
North Elevation



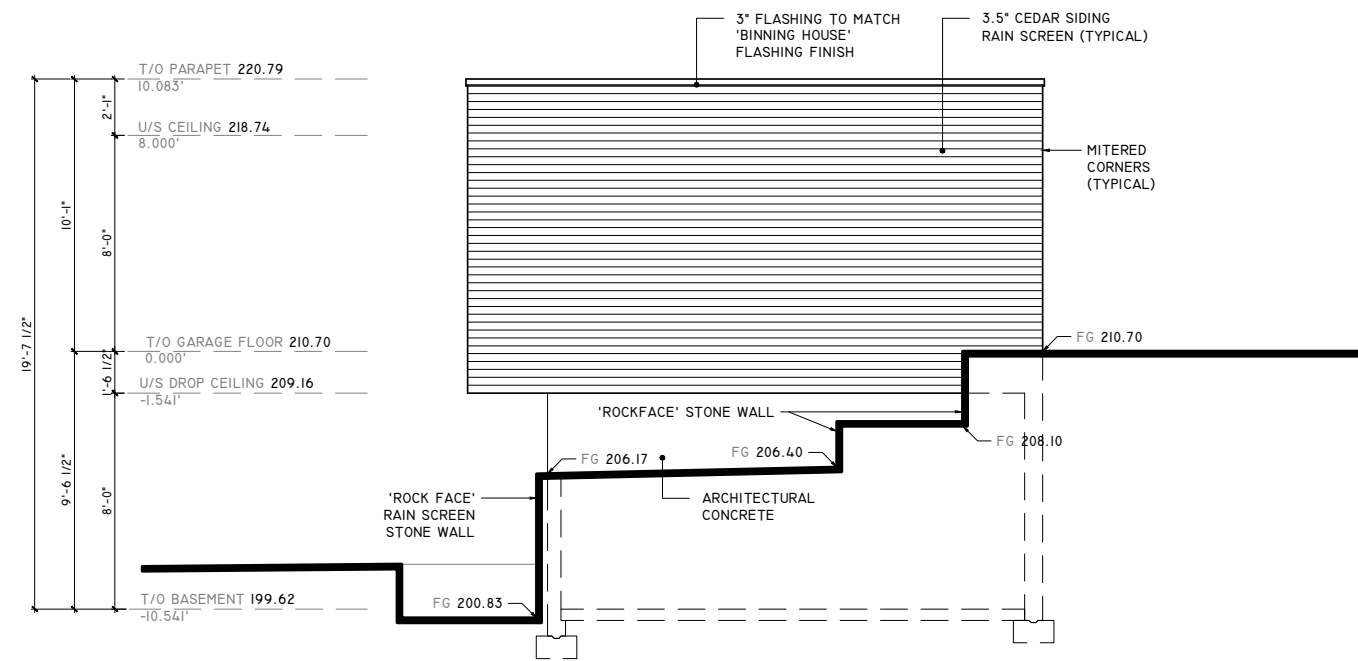
Roof Plan

## Materials

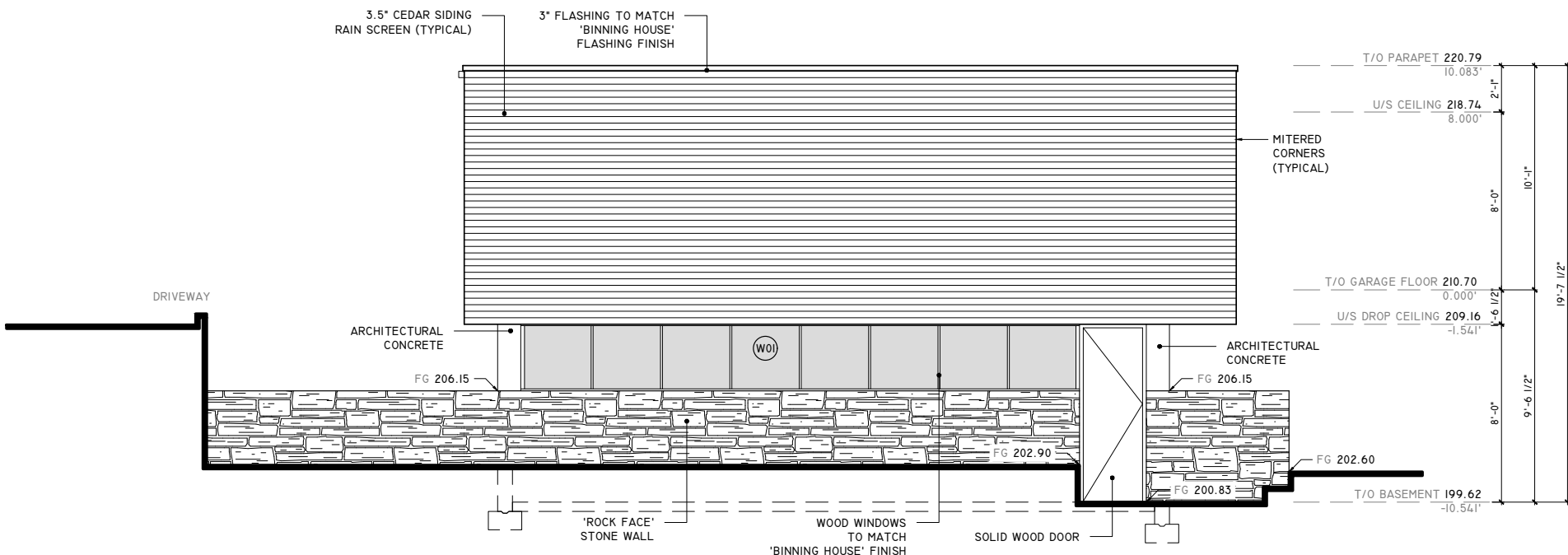
The bulk of the garage, including the 2-car flush mount garage door, will be clad with horizontal cedar siding to match the siding of the Binning House. The only exception is the single-car flush mount garage door that is pushed back from the vertical plane of the street facade - its material will be weathered brass. The same material will be used for a roof feature of the new house facilitating a visual **connection** between the two.



The caretaker suit below will expose architectural concrete to the side yards while stone matching the original landscape design, will clad the south facade below the clerestory and continue as a retaining wall into the landscape.

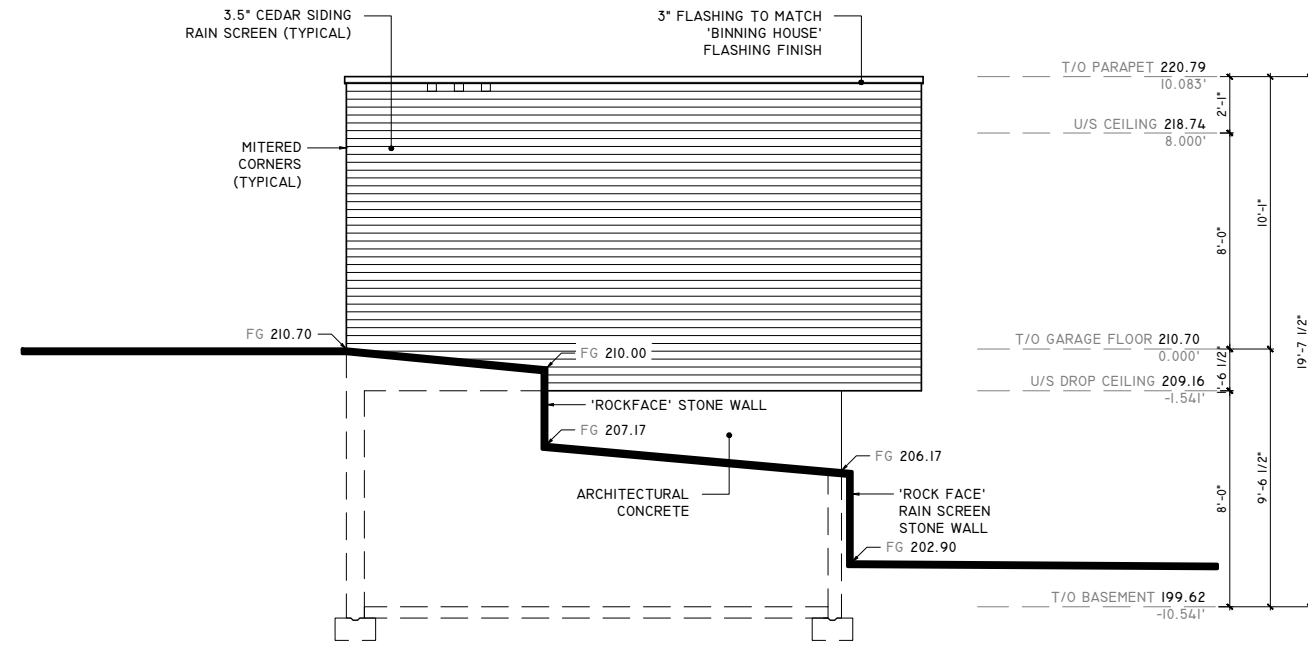


East Elevation

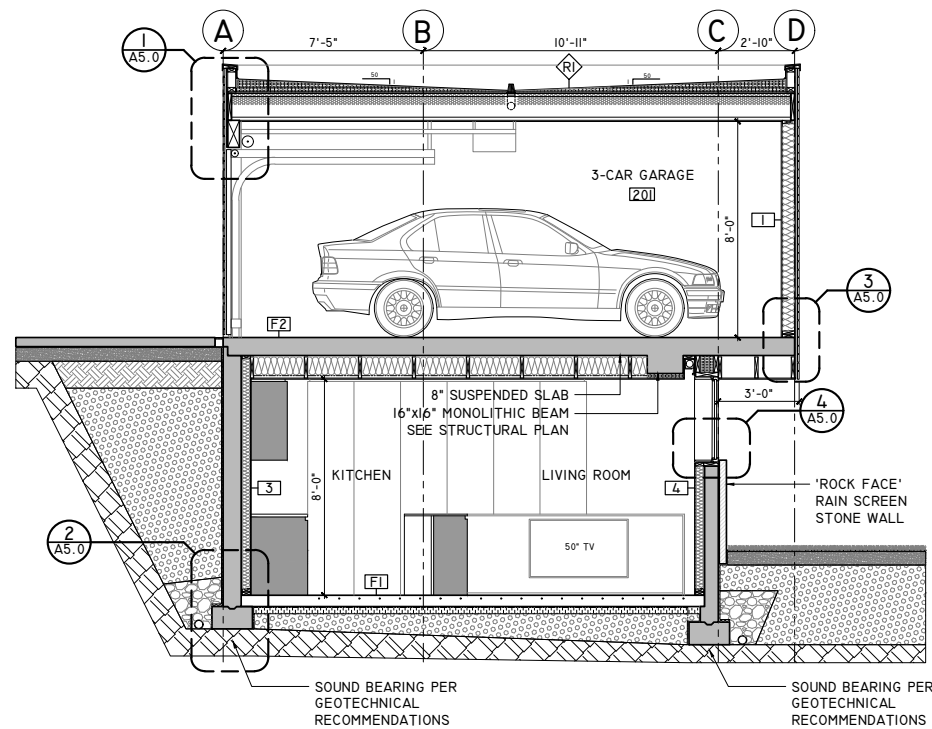


South Elevation

# Elevation + Section



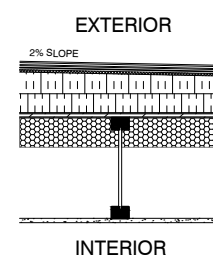
West Elevation



Section

# Construction Assemblies

## ROOF TYPES: SECTION VIEW

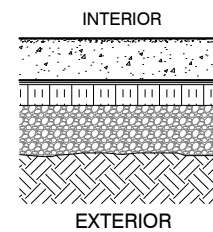


### FLAT ROOF ASSEMBLY - 12" TGI

Rsi 9.12

- 2-PLY SBS ROOF MEMBRANE W/CAP SHEET
- 1/4" SOPRABOARD MECHANICALLY FIXED
- SLOPED RIGID INSULATION PACKAGE (MIN 4")
- 2.5" XPS INSULATION - Rsi 2.2
- 5/8" T&G EXT PLYWOOD TO STRUC ENG SPEC
- 12" TGI'S @ 16" O.C.
- 3.5" - 2 LB SPRAY FOAM INSULATION TO FILL CAVITY (AIR / VAPOUR BARRIER) Rsi 3.85
- 1/2" GWB - PAINTED / 6" DROP CEILING

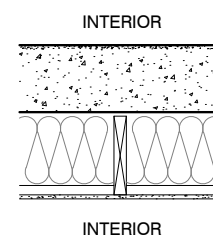
## FLOOR TYPES: SECTION VIEW



### SLAB ON GRADE (S.O.G.)

Rsi 2.42

- EXPOSED AGGREGATE CONCRETE FINISH
- 5" REINFORCED CONC SLAB TO STRUC ENG SPEC
- 6 MIL POLYETHYLENE SHEET
- 2.5" XPS INSULATION - Rsi 2.2
- STRUCTURAL FILL TO GEO TECH SPEC



### SLAB ON GRADE (S.O.G.)

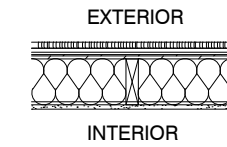
Rsi 3.15

- EXPOSED POLISHED CONCRETE FINISH
- 8" REINFORCED CONC SLAB TO STRUC ENG SPEC
- 2x10 DROP CEILING FRAMING (MECHANICAL SPACE)
- 5.5" ROCKWOOL INSULATION
- 6 MIL POLYETHYLENE SHEET
- 1/2" GWB - PAINTED

### WALL PARTITION NOTE:

Use 1/2" Schluter-KERDI-BOARD OEA in place of GWB in all bathroom + Laundry Areas.  
The corners and joints must be sealed with Schluter-KERDI-BAND, using unmodified thin-set mortar. Fastener penetrations to be sealed with KERDI-BAND using unmodified thin-set mortar. Other protrusions through the KERDI-BOARD (e.g., showerhead, tub spout, etc.) must be treated with Schluter-KERDI-SEAL-PS seals or Schluter-KERDI-FIX.

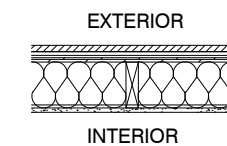
## WALL TYPES: EXTERIOR - PLAN VIEW



### WOOD CLAD WOOD FRAME - RAINSCREEN

SW 1 (Rsi 3.15)

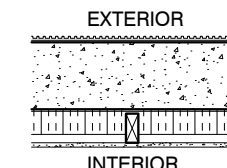
- 3/4" 'V-JOINT' HORIZONTAL CEDAR SIDING
- 3/4" STRAPPING @ 24" O.C. (AIR GAP)
- WATERPROOF MEMBRANE - TYVEK HOMEWRAP OAE
- 1/2" PLYWOOD TO STRUC ENG SPEC
- 2x6" STUD WALL @ 16" O.C.
- 5.5" R22 ROCKWOOL INSULATION
- 6 MIL POLYETHYLENE SHEET
- 1/2" GWB - PAINTED
- TOTAL = 8"



### METAL CLAD WOOD FRAME - RAINSCREEN

SW 1 (Rsi 3.15)

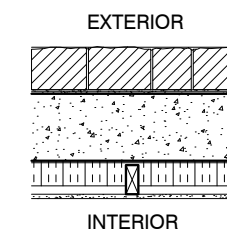
- DARK BRONZE METAL PANELING C/W RAINSCREEN SYSTEM
- WATERPROOF MEMBRANE - TYVEK HOMEWRAP OAE
- 1/2" PLYWOOD TO STRUC ENG SPEC
- 2x6" STUD WALL @ 16" O.C.
- 5.5" R22 ROCKWOOL INSULATION
- 6 MIL POLYETHYLENE SHEET
- 1/2" GWB - PAINTED
- TOTAL = 8"



### CONC FND WALL - SW C

Rsi 4.56

- PLASTIC DRAINAGE DIMPLEBOARD COMPOSITE DAMPROOFING TO GRADE
- 8" CONC FOUNDATION WALL TO STRUC ENG SPEC
- SHEATHING PAPER
- 1/2" SPACER
- 2x4" STUD WALL @ 16" O.C.
- 3" XPS RIGID INSULATION - Rsi 2.64
- 1/2" GWB - PAINTED
- 3A-C: 1/2" CEMENTIOUS BACKER BOARD
- PORCELAIN TILE
- TOTAL = 12-1/2"



### CONC FND WALL - SW C

Rsi 4.56

- ≈5" FULL BED 'ROCK FACE' STONE WALL
- 'MORTAIRVENT' RAINSCREEN (OR EQUIVALENT)
- WATERPROOF MEMBRANE - TYVEK HOMEWRAP OAE
- 8" CONC FOUNDATION WALL TO STRUC ENG SPEC
- SHEATHING PAPER
- 1/2" SPACER
- 2x4" STUD WALL @ 16" O.C.
- 3" XPS RIGID INSULATION - Rsi 2.64
- 1/2" GWB - PAINTED
- TOTAL = 12-1/2"

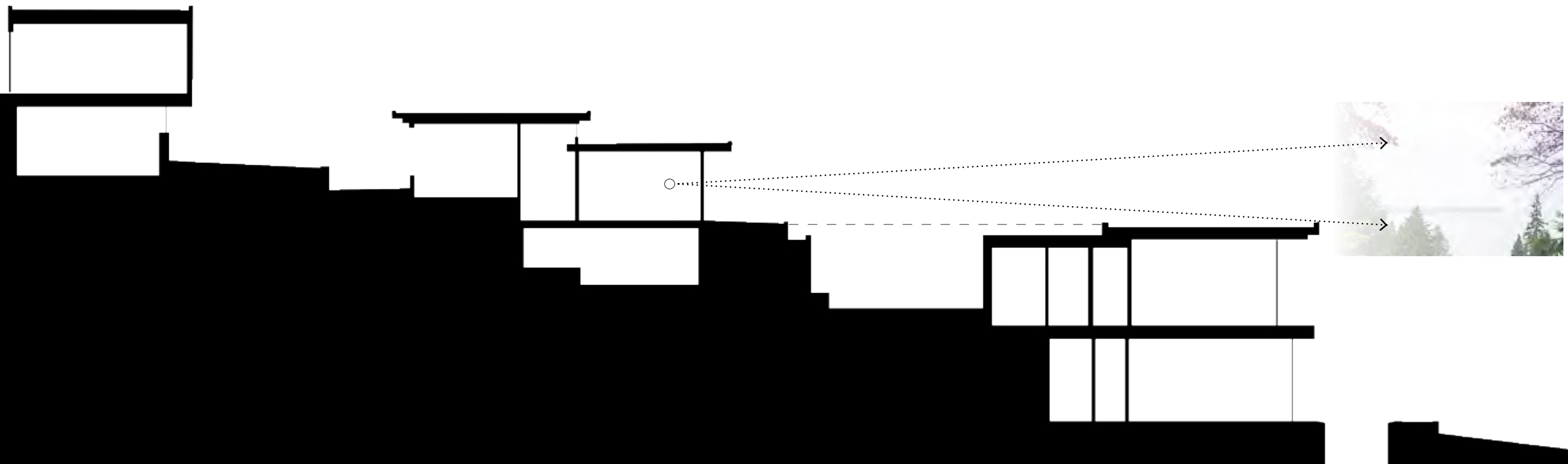
Construction Assemblies

# j\_House Design Concepts:

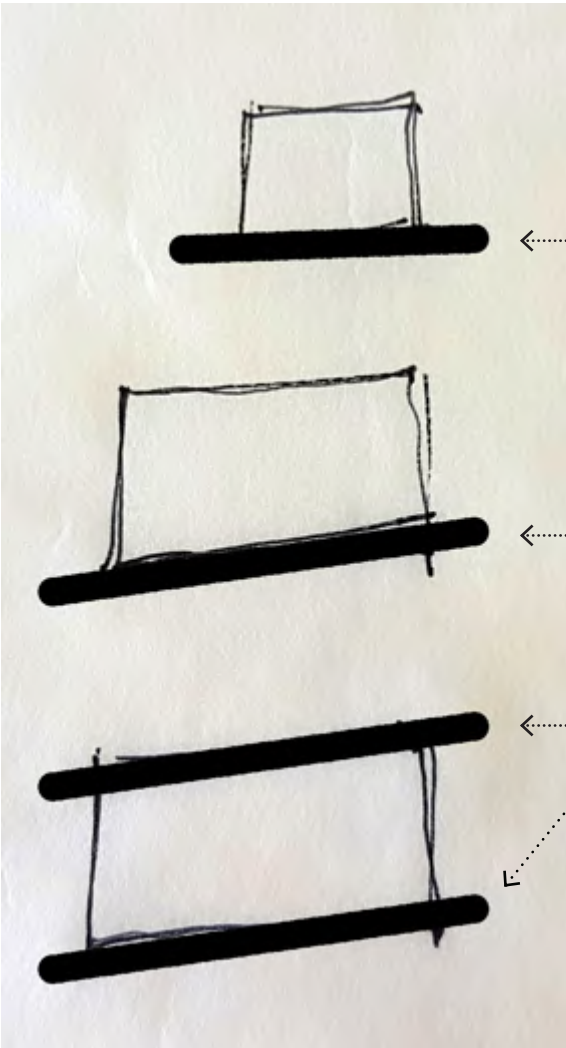
## Datum

### Roof Plane Datum

Balancing a respect for view lines, both existing and new, is of utmost importance to the proposed sub-division. Thus, the proposed green roof will sit flush with the existing rear yard garden and create a visual extension of the landscape. This will facilitate a more seamless integration between the two properties and minimize the impacts on existing view lines.



# Orientation + Structural Grid

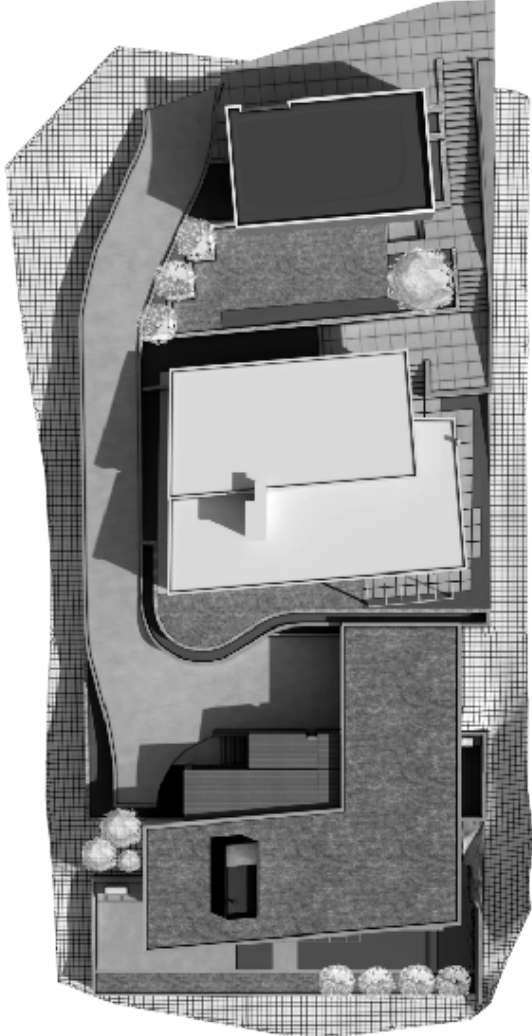


Site Plan Orientation Sketch

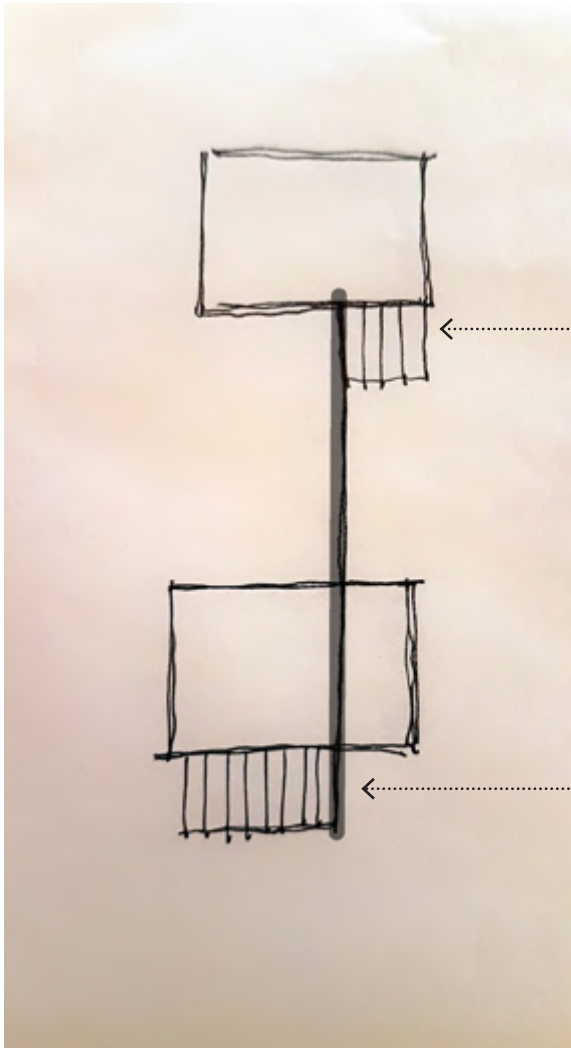
Garage:  
Orientation to match the adjacent Binning House

Binning House:  
5 degree angle

j\_House:  
Green roof to have 5 degree angle to match adjacent Binning House



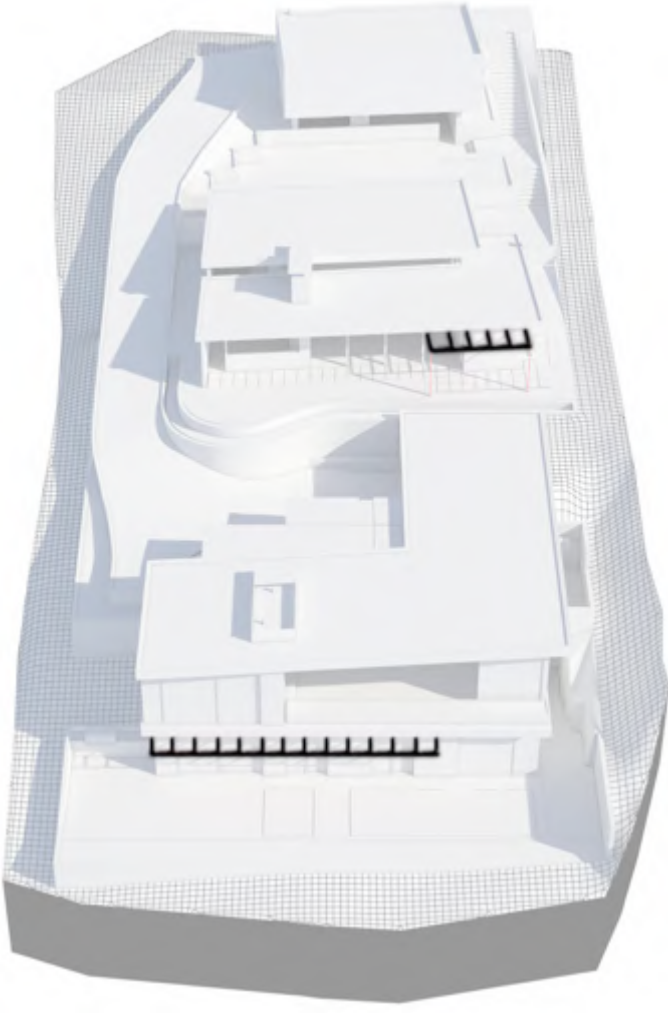
Site Plan Overview



Connection Sketch

Binning House Trellis:  
3'-0" Structural Grid

j\_House Trellis:  
Structural Grid to match Binning House (3'-0")



Site Plan Perspective

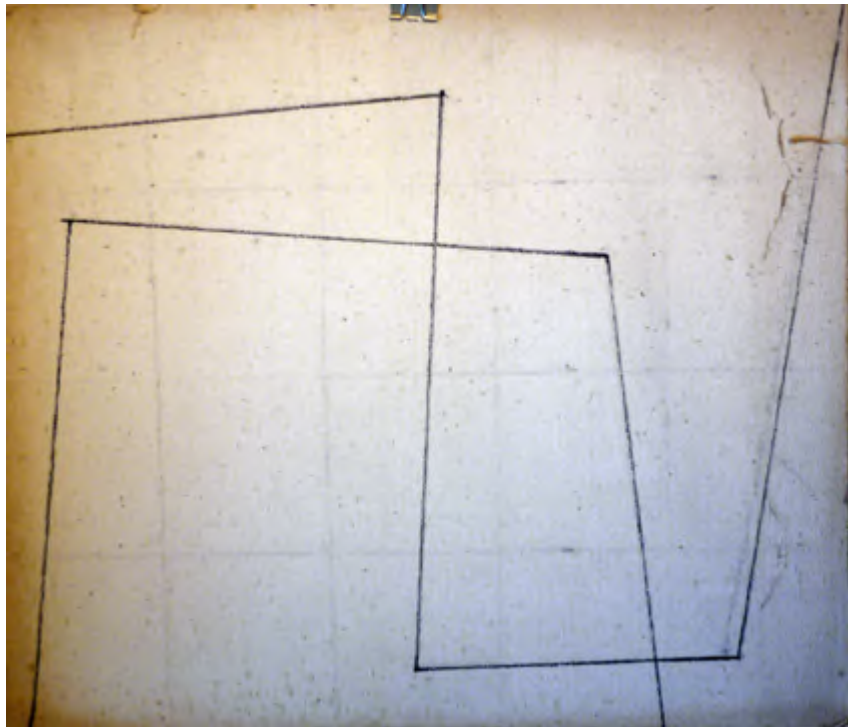
## Roof Plane Orientation

The roof orientation of the proposed j\_House is angled to match the adjacent existing residence. This achieves a more aesthetically pleasing perspective when viewed from the Binning House.

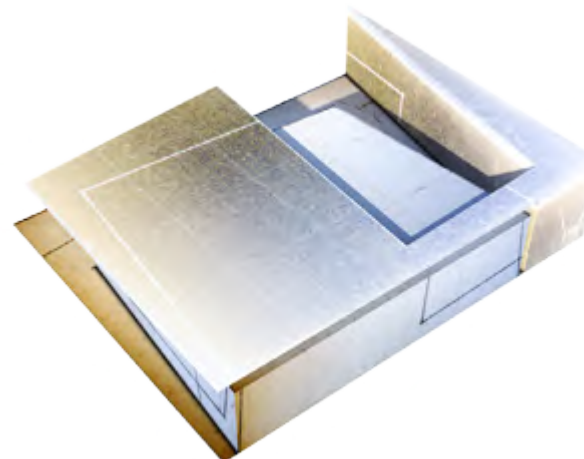
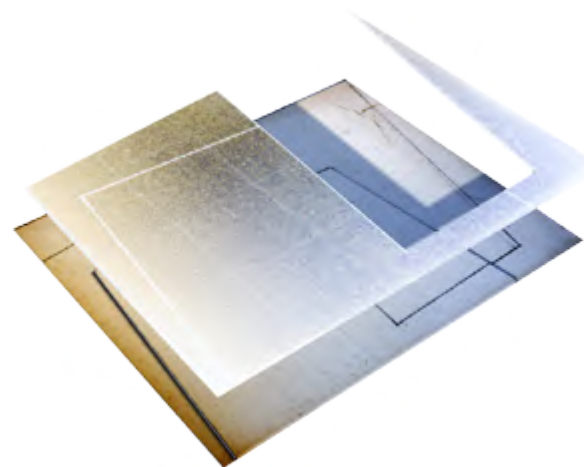
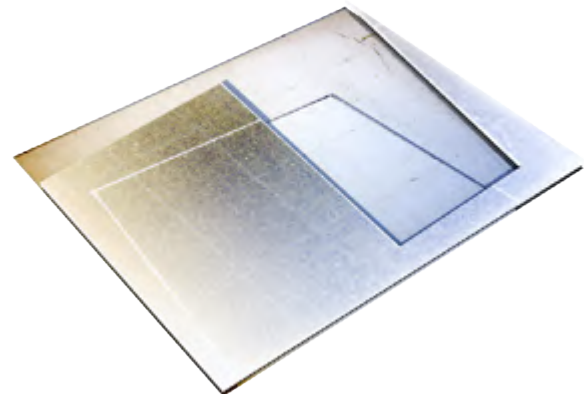
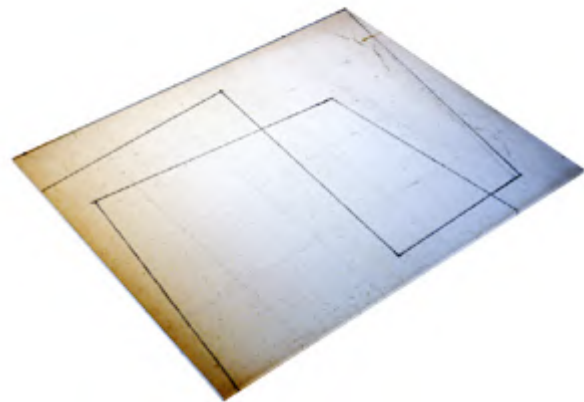
## Structural Grid + Trellis

A connection between 'existing' and 'new' is created through the use of a proportionately similar structural grid. This grid stems from the southern exterior of the Binning House and extends throughout the j\_House, manifesting at a trellis of its own.

# Massing Study



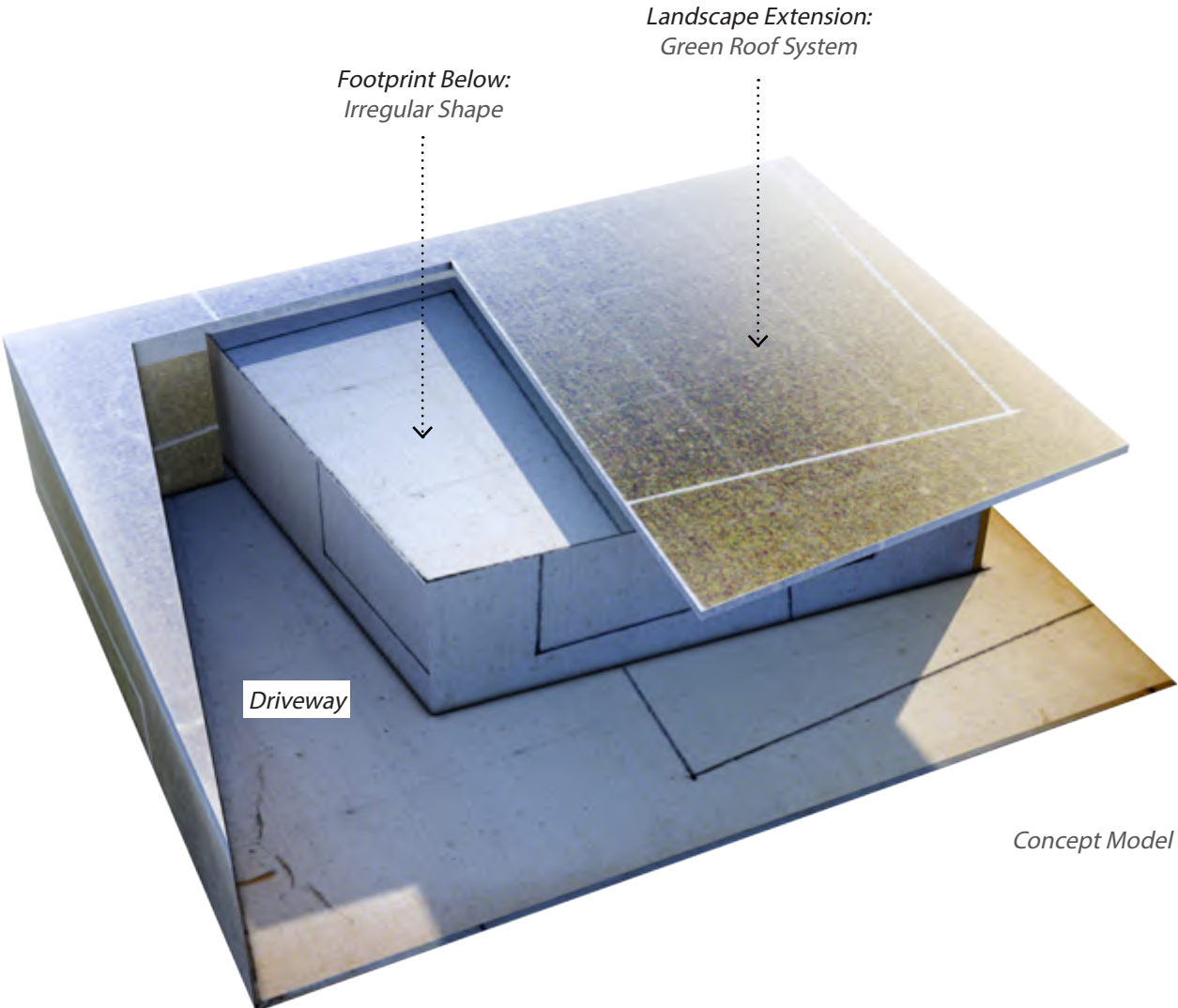
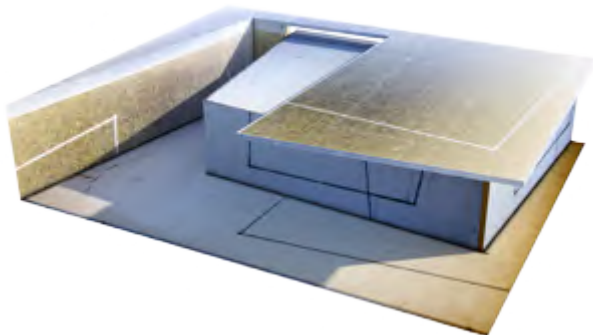
Line Study / Spatial Exploration (found on-site)  
Bert Binning



## Massing

While on-site, a line/spatial study by Bert Binning was discovered in the basement of the existing house. This was used as a massing study to explore the relationship between the extension of the landscape above, and the irregular shaped footprint below.

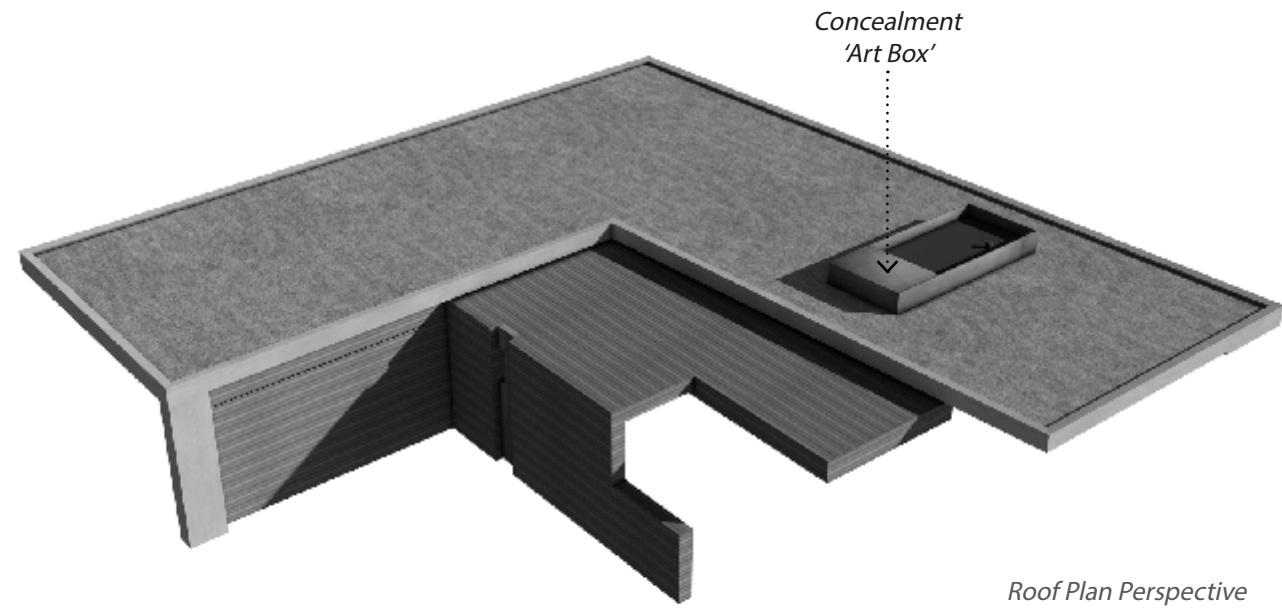
The irregularity of the footprint is driven from the necessary landscape (ie. driveway) required to facilitate functional access to the new residence.



Concept Model

# Proposed j\_House

## Roof Plan

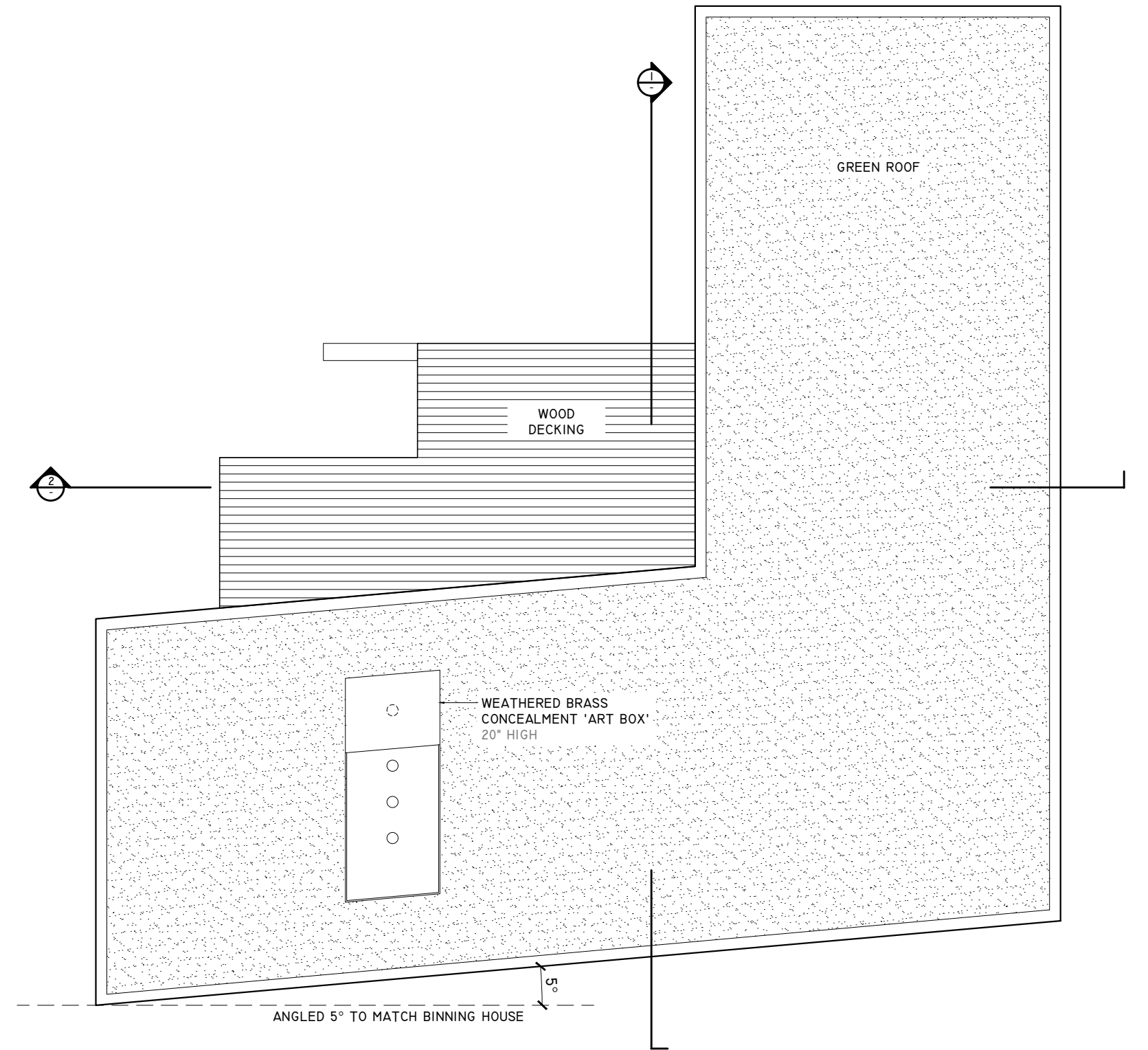


### Roof Form

The upper roof will be constructed as a **'green roof'** able to support four inches of medium and the growth of grass intended to match the rear yard garden of the Binning House.

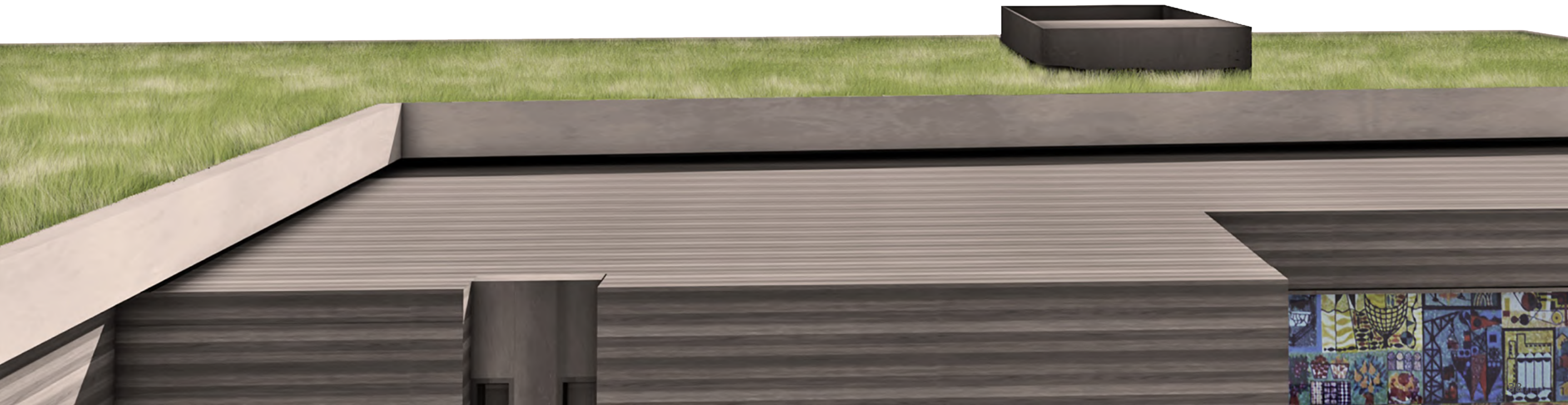
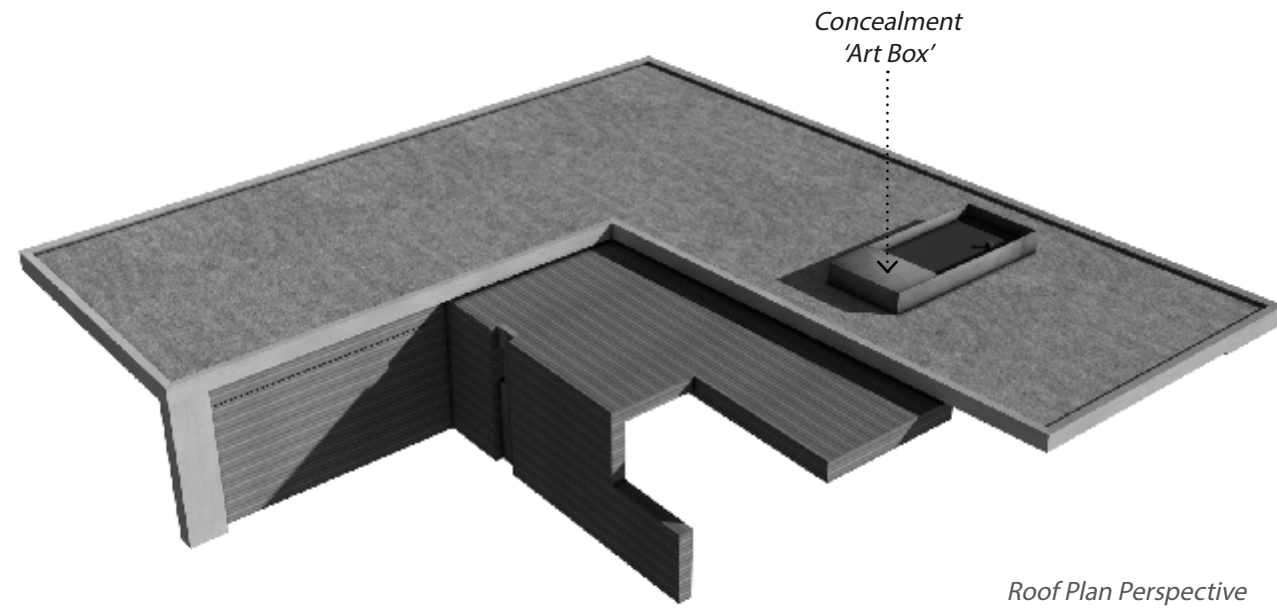
Nestled in the grass, a single 'art box' will harbor and conceal all necessary mechanical roof protrusions - it will be made of weathered brass to match the street level single-car garage door.

Below the upper roof plane, a wood 'box' will be 'slipped' beneath and harbor the entry sequences of the house. Its cedar cladding will match both the Binning Residence and the new 3-car garage.



# Proposed j\_House

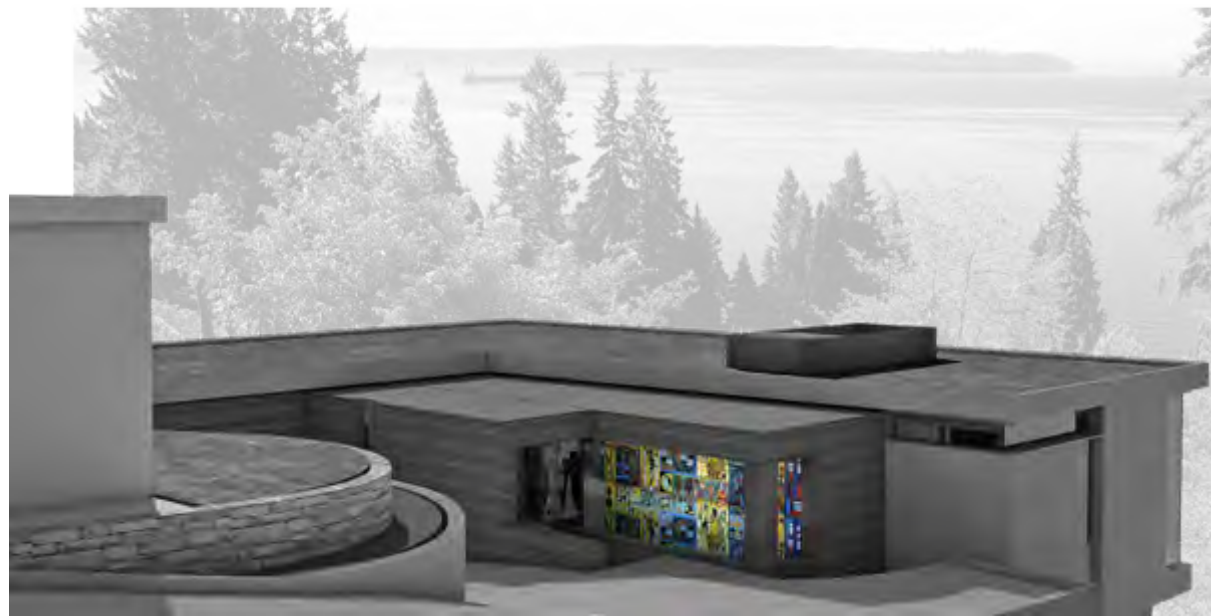
## Roof Plan



# Site Entries + Main Floor Plan



Binning Site Entry



j\_House Site Entry

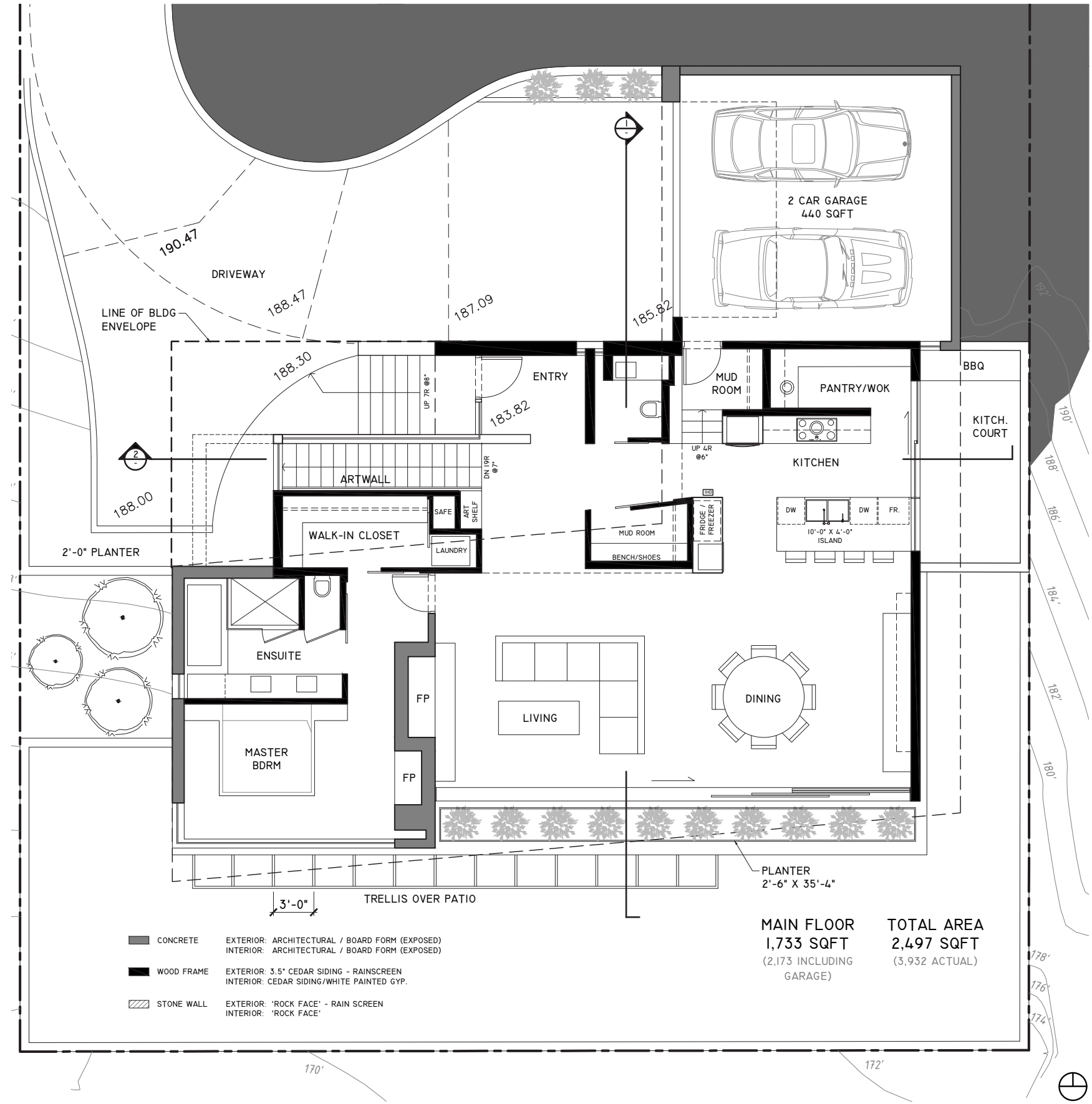
## Design Features

The Binning House exterior mural is visible upon entrance to the site and establishes the front door entrance. The j\_House will have an interior mural wall (possibly recommissioned art work of Bert Binning's) visible through a peek-a-boo window at its front door entry. This interior mural wall will also be visible from the Binning rear yard garden. An interior stairwell leads both people and natural light along the mural wall to the downstairs basement.

A southern planter along the width of the living and dining areas allows for privacy from the southern neighbor while enabling unobstructed views to the ocean and UBC peninsula. Full height sliding doors can be opened to create an indoor/outdoor spatial experience in the living, dining, and kitchen areas. **Please refer to the Main Floor Plan for programmatic details.**

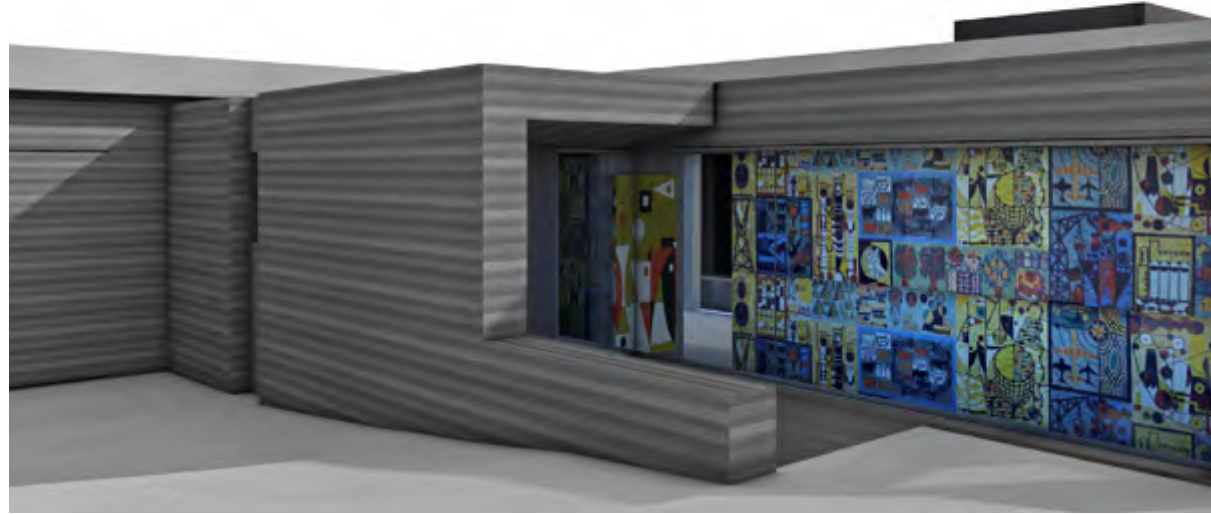


'Wood Box' Entry Massing Model



Main Floor Plan

# Exterior Perspectives + Basement Floor Plan



*j\_House 'Wood Box' Entry + Interior Mural*



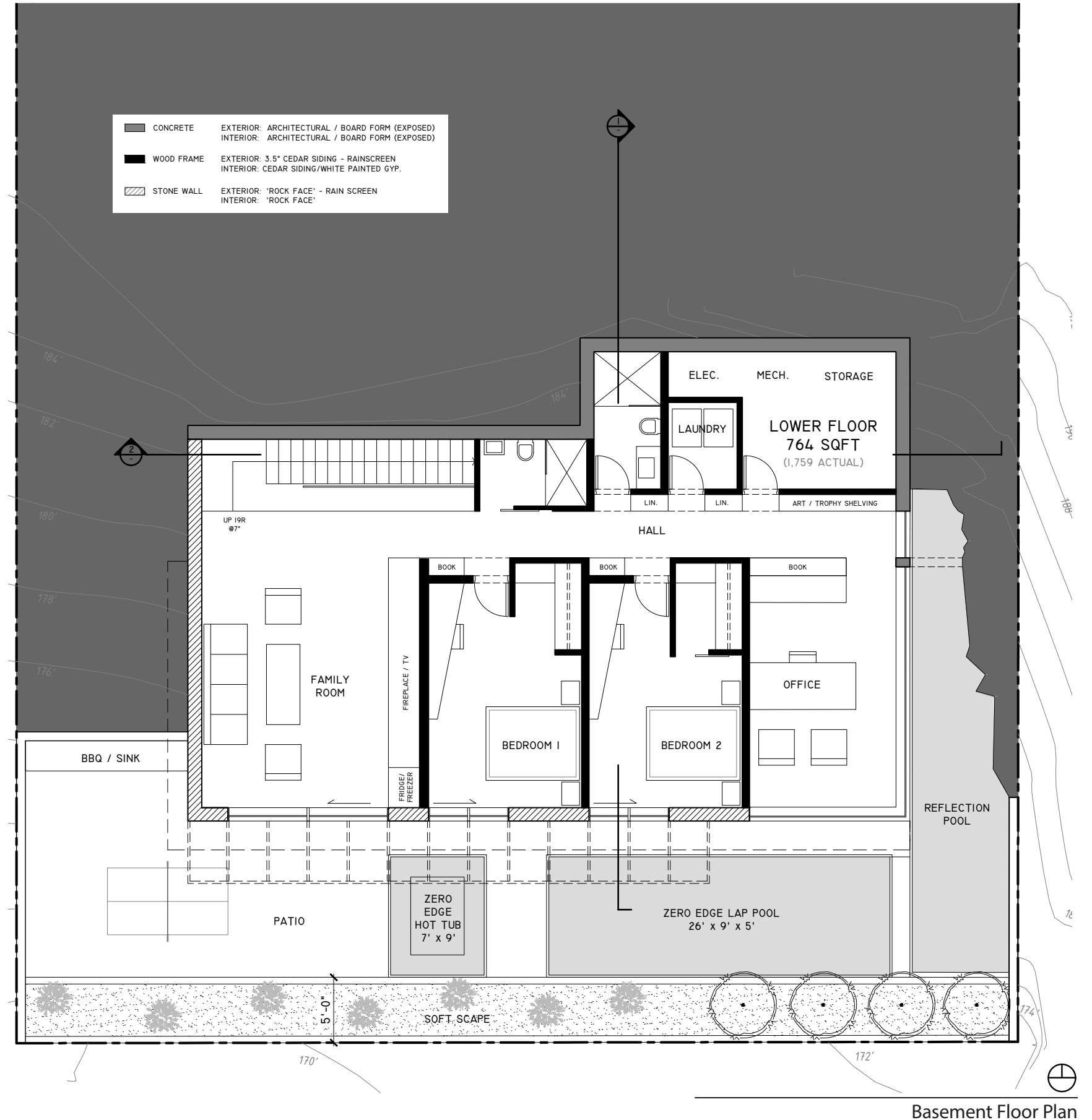
*j\_House Rear Yard Patio + Garden*

## Design Features

Just as the Binning House entry sequence draws the occupant into the house from the sloping landscape, so too does the entry sequence of the j\_House. Slit windows are carefully located to consider natural light and privacy for both the entry and powder room.

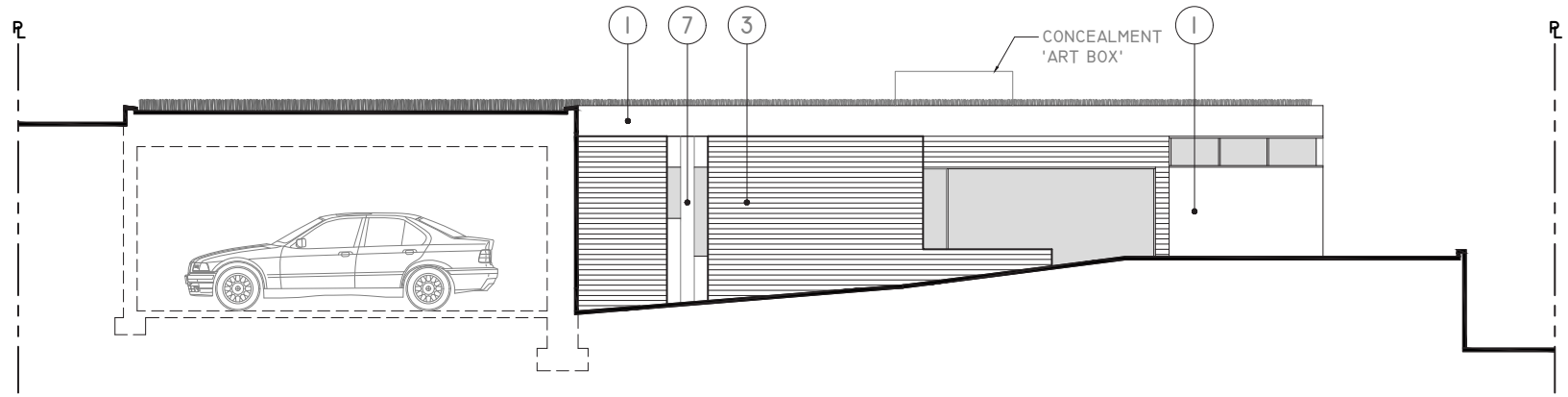
The basement comprises a family room, two bedroom / bathrooms, office space, storage room and the mechanical + electrical spatial requirements. The patio, hot tub and lap pool are accessible from the family room and two bedrooms. An outdoor kitchen is tucked behind the south west corner of the house allowing space for table tennis - a requirement of the client. A 5'-0" wide planting area is proposed at the most southern end of the property. Planting the appropriate trees and foliage will facilitate privacy from the southern neighbor while retaining critical view lines.

The total built area of the house is 3,932 sqft. However, when considering the areas allowed to be subtracted for FSR purposes, the calculated area is in fact **2,497 sqft**. It will therefore require a minor variance of 0.6% more area than the zoning by-law allows. *(Please refer to pp. 64-65 for all required variances and project data.)*

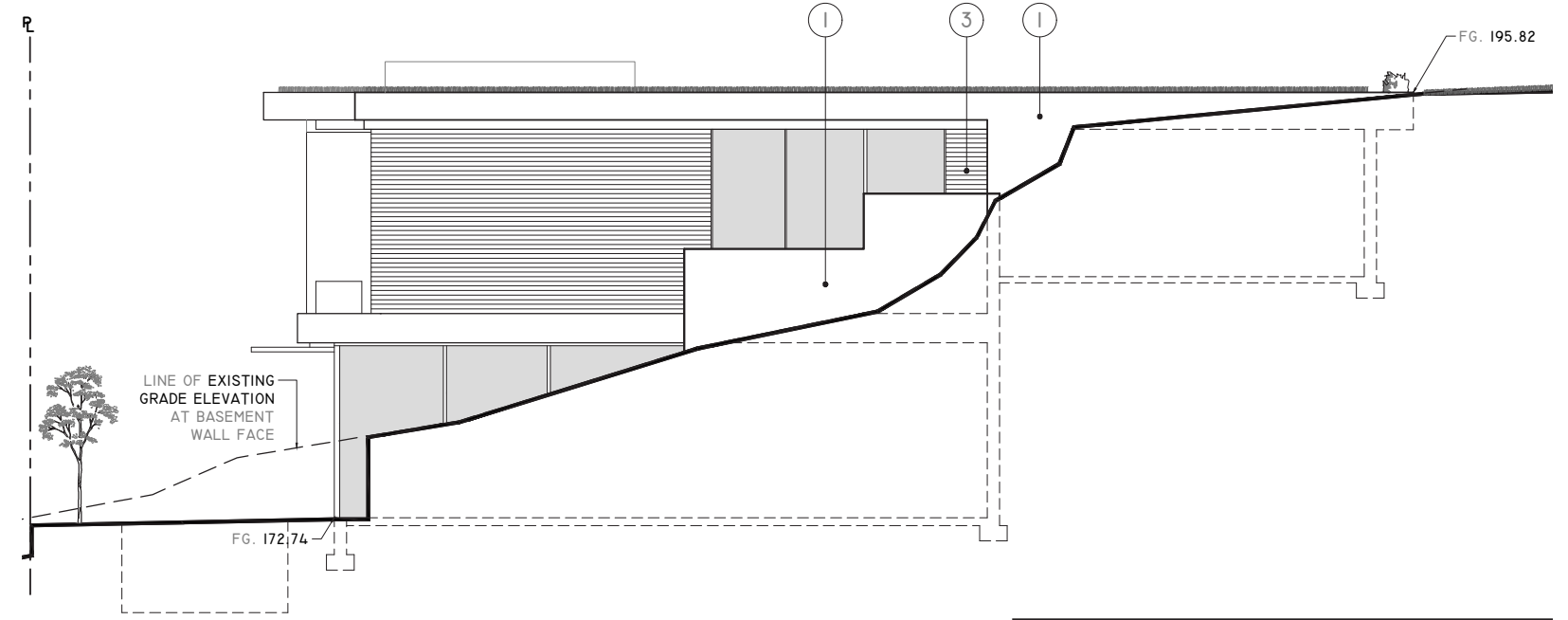


Basement Floor Plan

# Elevations



North Elevation



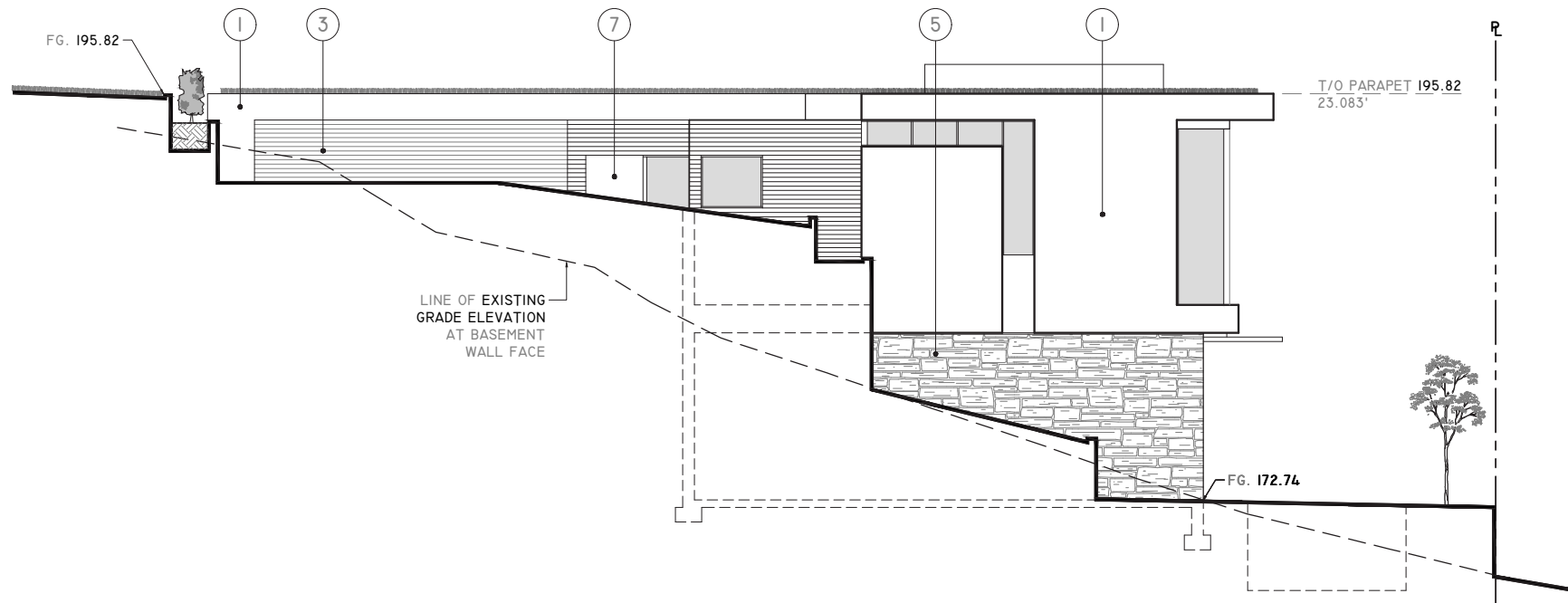
East Elevation

**EXTERIOR FINISH SCHEDULE**

- 1 ARCHITECTURAL CONCRETE
- 2 BOARD FORM CONCRETE
- 3 T+G CEDAR SIDING
- 4 CEDAR SOFFIT
- 5 FULL BED STONE (TO MATCH BINNING LANDSCAPE)
- 6 GUN METAL GREY PLANTER
- 7 WEATHERED BRASS PANEL

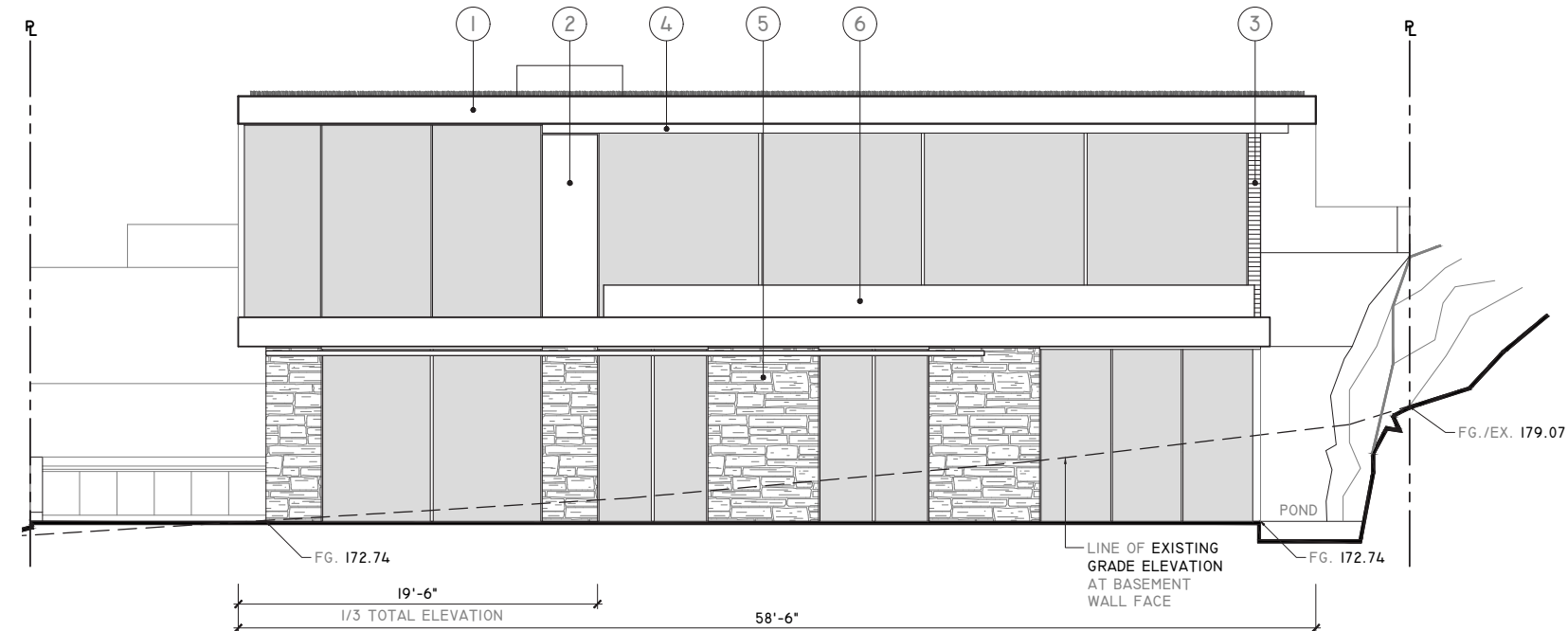
**LEGEND**

- FG PROPOSED FINISHED GRADE
- EX EXISTING/NATURAL GRADE



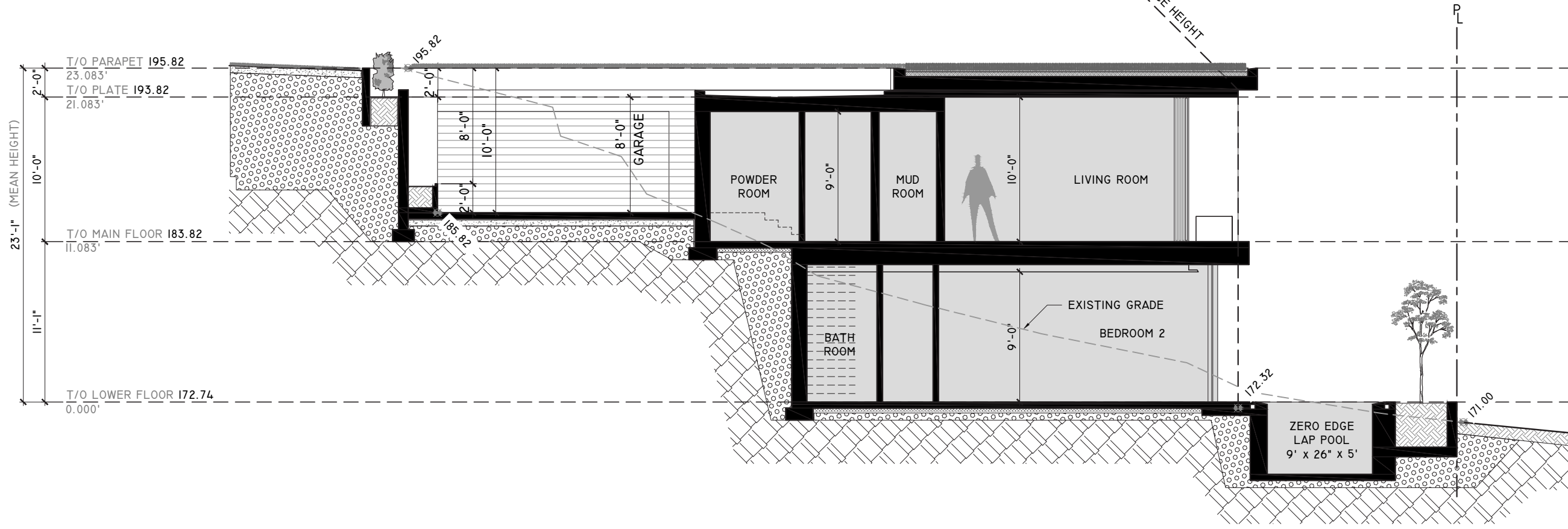
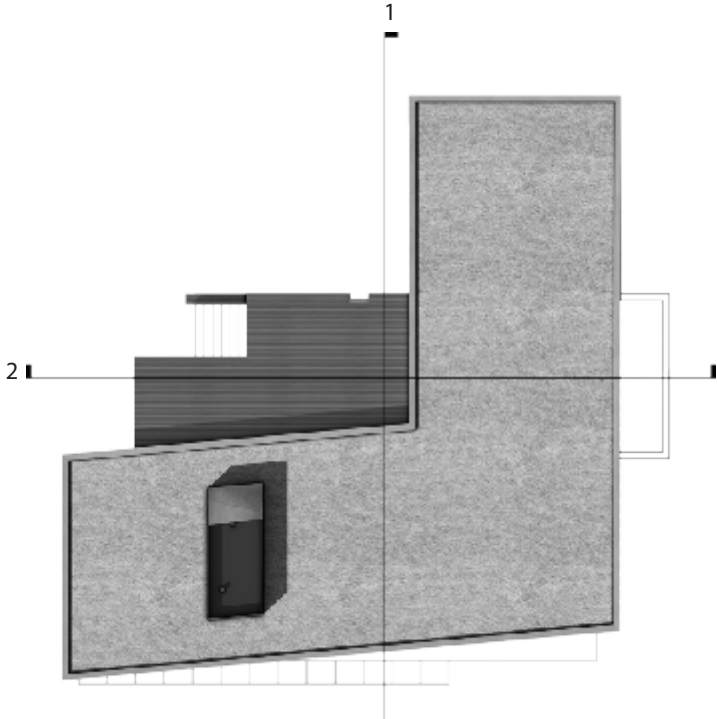
West Elevation

**\*\*\* An 'alternative solution' will be required to increase the maximum allowable area of glazing.**

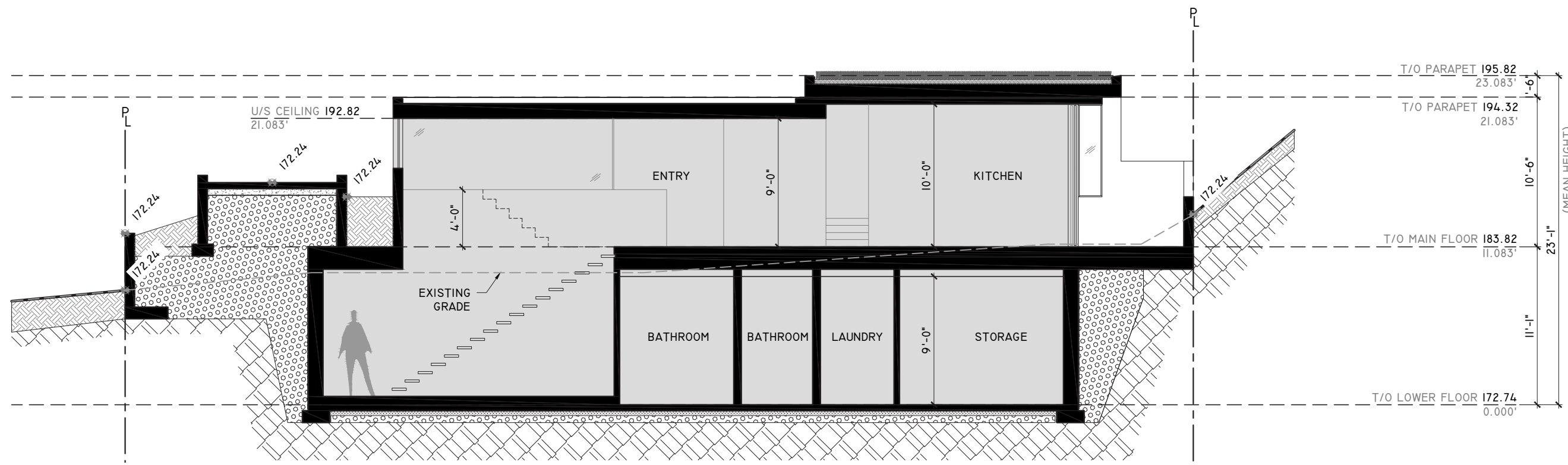


South Elevation

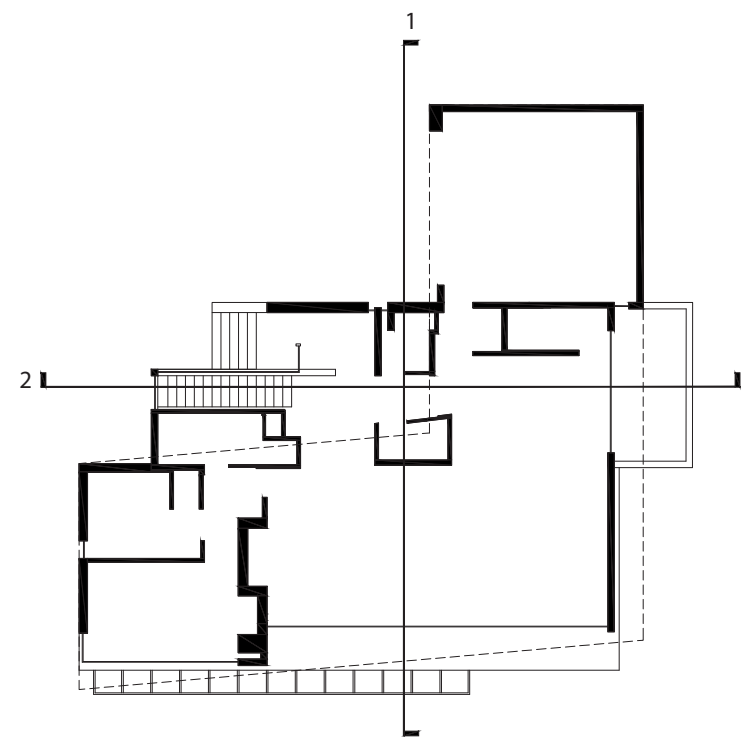
# Sections



Long Section - 1



X Section - 2



# Sustainable Development

## Urban Densification as a Strategy for Sustainability

One of my mentors, Gair Williamson, once told me, **“An existing building is an inherited investment in energy and materials.”**

I believe this statement to be true, thus the conservation of the Binning House is in itself, a sustainable development. At the same time there is an opportunity to go one step further by sub-dividing the lot, and implementing a strategy for sustainability through densification.

The map below was created (2008) from Census 2006 that quantified the growth

population density of Vancouver by the block. The map illustrates density but more specifically, dwelling units per acre (du/ac).

It is quite apparent that the majority of density lies within Vancouver’s Eastside while the Westside’s density is significantly less. Although West Vancouver is not shown on this map, its density has been calculated (Census 2011) to be even less than that of Vancouver’s Westside.

Due to current municipality zoning by-laws, most properties in West Vancouver

are ineligible for densification. However, with the conservation of the Binning House, West Vancouver’s mandates **will allow** for the sub-division of the property.

**I believe it would be a shame not to take advantage of this opportunity to showcase the benefits of an appropriately planned, designed, and implemented sub-division.**

## “Planning

policies in many European countries advocate for the Compact City or some sort of compaction process, as a strategy to obtain a more sustainable urban development. It contrasts the car-oriented urban sprawl of many modern cities, creating longer distances between urban functions, poor access to facilities and services, less efficient infrastructure provision, loss of open land, social segregation, etc. A Compact City policy in contrast should by regeneration and densification of the urban area create the opposite, thus contributing to a more sustainable development in its broadest sense, social, economic and environmental.”<sup>1</sup>



## Sustainable Building

Both the proposed Caretaker Suite and j\_House will meet the requirements set by LEED Gold standards. A checklist will be included with the submission of the subsequent Development Permits. Highlights of the checklist are:

### Sustainable Sites

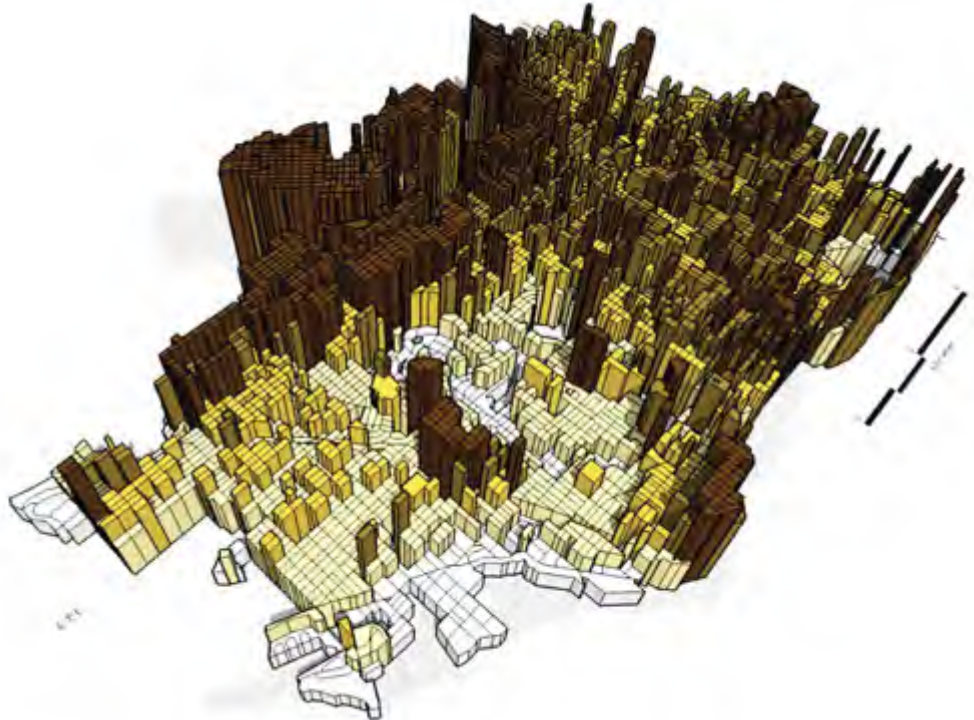
- Erosion + Sediment Control: monitored and maintained during construction
- Stormwater: quantity + quality control maintaining runoff at pre-development rates
- Landscape to exceed minimum planting requirements

### Energy Efficiency + Atmosphere

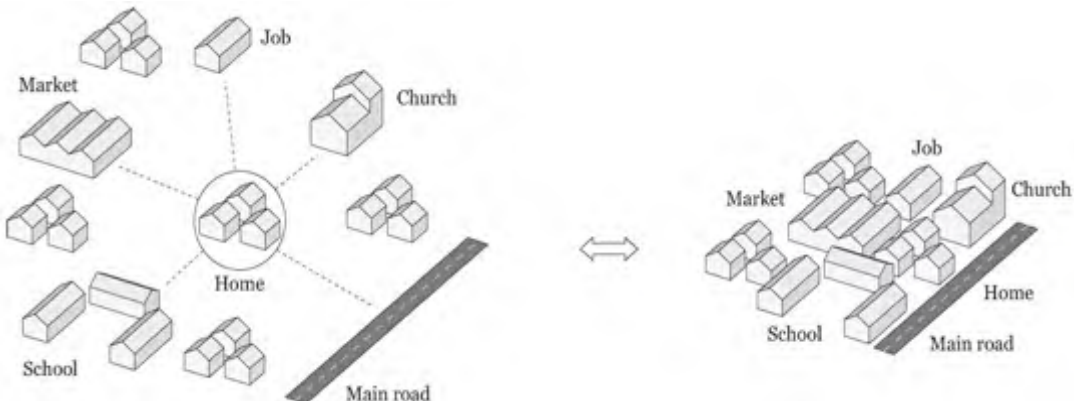
- Exterior envelope to have increased insulation values
- Energystar appliances shall be installed
- Radiant floor heating and heat recovery ventilators will be installed

### Waste Management

- A construction waste management plan will be prepared in accordance with the Metro Vancouver BuildSmart Waste Management Toolkit guidelines to achieve a 50% reduction from industry norms



Vancouver Density Map  
<http://spacing.ca/vancouver/2008/03/06/775/>



Relationship between urban density and mobility  
<https://urbannext.net/affordable-housing-prototypes-in-maputo-2/>

<sup>1</sup> Urban densification --a sustainable urban policy?  
 A. Skovbro  
 Danish Centre for Forest, Landscape and Planning, Department of urban and regional planning, Denmark

# Project Data

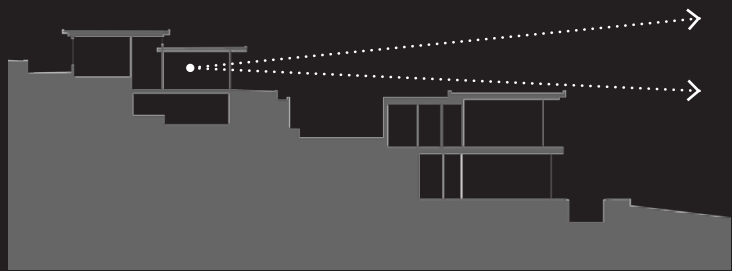
BINNING HOUSE PROJECT DATA				
EXISTING ZONING	RS-2	PROPOSED	-	
EXISTING SITE AREA (SF)	12,837	PROPOSED	-	
EXISTING SITE WIDTH	24 m	PROPOSED	-	
EXISTING SITE DEPTH	52 m	PROPOSED	-	
			<b>ft/sqft</b>	<b>m/m2</b>
<b>BINNING SITE AREA (SF) LOT A</b>	-	<b>PROPOSED</b>	5,827	541 m <sup>2</sup>
<b>BINNING SITE WIDTH</b>	-	<b>PROPOSED</b>	62.6'	19.1 m
<b>BINNING SITE DEPTH</b>	-	<b>PROPOSED</b>	96.5'	29.4 m
<b>j_HOUSE SITE AREA (SF) LOT B</b>	-	<b>PROPOSED</b>	7,010	651 m <sup>2</sup>
<b>j_HOUSE SITE WIDTH</b>	-	<b>PROPOSED</b>	75.0'	22.9 m
<b>j_HOUSE SITE DEPTH</b>	-	<b>PROPOSED</b>	157.5'	48 m
<b>MAX. ALLOWABLE F.S.R.</b>				
	<b>BYLAW</b>	<b>PROPOSED</b>	<b>SQFT</b>	
Existing	35%	13% (existing)	1,674	
Binning House + Accessory BLDG	35%	37% (Lot A)	2,172	<b>VARIANCE REQUIRED</b>
j_House	35%	35.6% (Lot B)	2,497	<b>VARIANCE REQUIRED</b>
<b>MAX. ALLOWABLE SITE COVERAGE</b>				
	<b>BYLAW</b>	<b>PROPOSED</b>	<b>SQFT</b>	
Existing	40%	16% (existing)	2,113	
Binning House + Accessory BLDG	40%	39%	2,290	
j_House	40%	34%	2,353	
<b>MAX. BLDG HEIGHT (ft)</b>				
	<b>BYLAW</b>	<b>PROPOSED</b>		
Binning House	25'	AS PER EXISTING		
Accessory BLDG	12'	13.09'		<b>VARIANCE REQUIRED</b>
j_House	25'	21.72'		
<b>BUILDING HEIGHT (ft)</b>				
	<b>BINNING</b>	<b>ACCESSORY</b>	<b>j_HOUSE</b>	
Storeys	1	1	1	
Average Grade	197.20	207.70	174.10	
<b>Building Heights Above Average Grade</b>	<b>11.49</b>	<b>13.09</b>	<b>21.72</b>	
Elevation at Roof Peak	208.69	220.79	195.82	
Elevation of Basement	188.42	201.16	172.74	
Elevation of Main Floor	196.00	210.70	183.82	

	<b>BINNING</b>	<b>ACCESSORY</b>	<b>j_HOUSE</b>
<b>HIGHEST BLDG FACE (ft)</b>			
*Binning HBF remains the same after sub-division	<b>218.00'</b>		<b>194.32'</b>
<b>SET BACKS</b>	<b>BYLAW</b>	<b>PROPOSED</b>	
<b>BINNING HOUSE LOT A</b>			
	SYS #1	MIN. SYS 1.5 m CSYS 16'	2.44 m
	SYS #2	MIN. SYS 1.5 m CSYS 16'	1.70 m
	SYS #3	MIN. SYS 1.5 m CSYS 16'	2.36 m
	FRONT	9.14 m	9.14 m
	REAR	9.14 m	2.03 m
			<b>VARIANCE REQUIRED</b>
<b>j_HOUSE LOT B</b>			
	SYS #1	MIN. SYS 1.5 m CSYS 16'	3.41 m
	SYS #2	MIN. SYS 1.5 m CSYS 16'	2.29 m
	SYS #3	MIN. SYS 1.5 m CSYS 16'	1.58 m
	FRONT	9.14 m	0.80 m
	REAR	9.14 m	4.57 m
			(Garage SYS)
			<b>VARIANCE REQUIRED</b>
			<b>VARIANCE REQUIRED</b>
			<b>VARIANCE REQUIRED</b>
<b>BUILDING AREA</b>			
	<b>EXISTING</b>	<b>PROPOSED</b>	<b>SUBTRACTION</b>
BINNING HOUSE	1650 sf	1552 sf	98 sf
ACCESSORY BLDG		620 sf	
<b>TOTAL</b>		<b>2172 sf</b>	<b>VARIANCE REQUIRED</b>
<b>j_HOUSE</b>		<b>2497 sf</b>	1759 sf
			<b>VARIANCE REQUIRED</b>
<b>PARKING</b>			
	<b>BYLAW</b>	<b>EXISTING</b>	<b>PROPOSED</b>
BINNING HOUSE	Min. 1	1.5	3
j_HOUSE	Min. 1		2

# Conclusion

## *Design*

+ Development goals have been met by way of retaining privacy, view lines and the conservation of not just the existing house but the ideologies and architectural style that the Binning Residence represents.



*Interior Perspective: View from Binning House living space*