



District of West Vancouver

Heritage Alteration Permit No. 19-097

CURRENT OWNERS: JODI HORN

THIS HERITAGE ALTERATION PERMIT APPLIES TO:

CIVIC ADDRESS: 4841 The Dale

LEGAL DESCRIPTION: PID No. 015-048-829
LOT 17 BLOCK 1 DISTRICT LOT 811 PLAN 967
(the 'LANDS')

1. This Heritage Alteration Permit:
 - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as Lower Caulfeild Heritage Conservation Area to provide for the protection of the special heritage character of the Lower Caulfeild Area and subject to Guidelines HE6 specified in the Official Community Plan;
 - (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit; and
 - (c) allows for construction of a new single-family dwelling on the Lands.

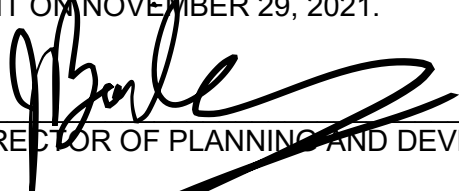
2. The following requirements and conditions shall apply to the Lands:
 - 2.1 Buildings, structures, on-site parking, driveways and site development shall take place in accordance with the attached Schedule A.
 - 2.2 On-site and off-site landscaping shall be installed at the cost of the Owner in accordance with the attached Schedule B.
 - 2.3 For clarity:
 - (i) This Heritage Alteration Permit allows a 3.1 m (10.2 ft.) front yard setback variance for the single-family dwelling as outlined in Schedule A from 9.1 m (29.9 ft.) to 6 m (19.7 ft.);
 - (ii) This Heritage Alteration Permit allows for removal of trees in the west 'side yard' and south 'front yard' setback;
 - (iii) Any other tree removal on-site or within the boulevard must be compliant with Tree Bylaw No. 4892, 2016; and
 - (iv) All tree removal on site shall commence under the supervision of a professional arborist at the sole cost of the property owners.
 - 2.4 Sprinklers must be installed in all areas as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.
 - 2.5 All balconies, decks and patios are to remain fully open and unenclosed in compliance with Schedule A.

3. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
 - 3.1 Install protective tree fencing, in compliance with Tree Bylaw No. 4892, 2016, along the entire western property line adjacent to the unopened municipal road to the satisfaction of the District's Environmental Protection Officer.
 - 3.2 Install protective tree fencing, in compliance with Tree Bylaw No. 4892, 2016, along the entire eastern property line to the satisfaction of the District's Environmental Protection Officer.
 - 3.3 Provide and implement a plan for traffic management during construction, to the satisfaction of the District's Manager of Land Development.
 - 3.4 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, and the owner shall be responsible for maintaining, repairing and implementing the sediment control measures.
 - 3.5 Submit a letter from a qualified professional regarding the amount of rock removal required to allow for the development permitted through this Heritage Alteration Permit, to the satisfaction of the District's Manager of Land Development.

4. Prior to Building Permit issuance, the following must be provided:
 - 4.1 Engineering civil drawings detailing works, including but not limited to: (a) storm water management measures; (b) site service connections; and (c) any boulevard works along the frontage of the site, must be submitted for acceptance, and security provided for the due and proper completion of the engineering works, all to the satisfaction of the District's Manager of Land Development.
 - 4.2 A landscape cost estimate, for the landscape works outlined in Schedule B, to the Director of Planning and Development Services (or designate).
 - 4.3 A Landscaping Deposit, for the monetary amount determined in section 4.2 of this Heritage Alteration Permit, shall be provided to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union and:
 - (a) a minimum 20% of the initial value of the Landscaping Deposit shall be retained by the District for one year after installation of the landscaping, as a warranty deposit to ensure successful installation of the landscaping; and
 - (b) the initial value of the Landscaping Deposit may only be reduced to the warranty level and the warranty shall only be released when the registered member of the BSCLA for the project provides a field report to the District confirming successful installation of the on-site landscaping in accordance with Schedule B to this Heritage Alteration Permit.
 - 4.4 Plans indicating the location and measures to buffer all mechanical equipment must be submitted to the Director of Planning and Development Services (or designate).

5. This Heritage Alteration Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES APPROVED THIS HERITAGE ALTERATION PERMIT ON NOVEMBER 29, 2021.



DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, AND BOULEVARD WORKS; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 5, THIS PERMIT IS ISSUED ON NOVEMBER 29, 2021.

Schedules:

- A – Architectural Plans from Alex Voth Design Consulting (dated August 6, 2021).
B – Landscape Plans from Forma Design Inc. (last revision date August 6, 2021).

New Residence

*Address: 4841 The Dale, West Vancouver, B.C.
August 6, 2021*

October 23, 2019
Issued for Lower Caulfield
Design Panel

June 18, 2021
Issued to Consultants

July 12, 2021
Revisions to Capture Energy

A-0.0	Title Sheet - Drawing Legend	-
A-2.0	Site Plan - Calculations	1/8" = 1'-0"
A-3.0	Lower Floor Plan	1/4" = 1'-0"
A-3.1	Main Floor Plan	1/4" = 1'-0"
A-3.1	Upper Floor Plan	1/4" = 1'-0"
A-3.3	Roof Plan	1/4" = 1'-0"
A-3.4	Garage Plans	1/4" = 1'-0"
A-4.0	South Elevation	1/4" = 1'-0"
A-4.1	East Elevation	1/4" = 1'-0"
A-4.2	North Elevation	1/4" = 1'-0"
A-4.3	West Elevation	1/4" = 1'-0"
A-4.4	Garage Elevations	1/4" = 1'-0"
A-5.0	Section	1/4" = 1'-0"
A-5.1	Section	1/4" = 1'-0"
A-5.2	Section	1/4" = 1'-0"
A-5.3	Garage Sections	1/4" = 1'-0"

New Residence
4841 The Dale
West Vancouver, British Columbia

Title sheet

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

October 23, 2019
Issued for Lower Caulfield
Design Panel

June 18, 2021
Issued to Consultants

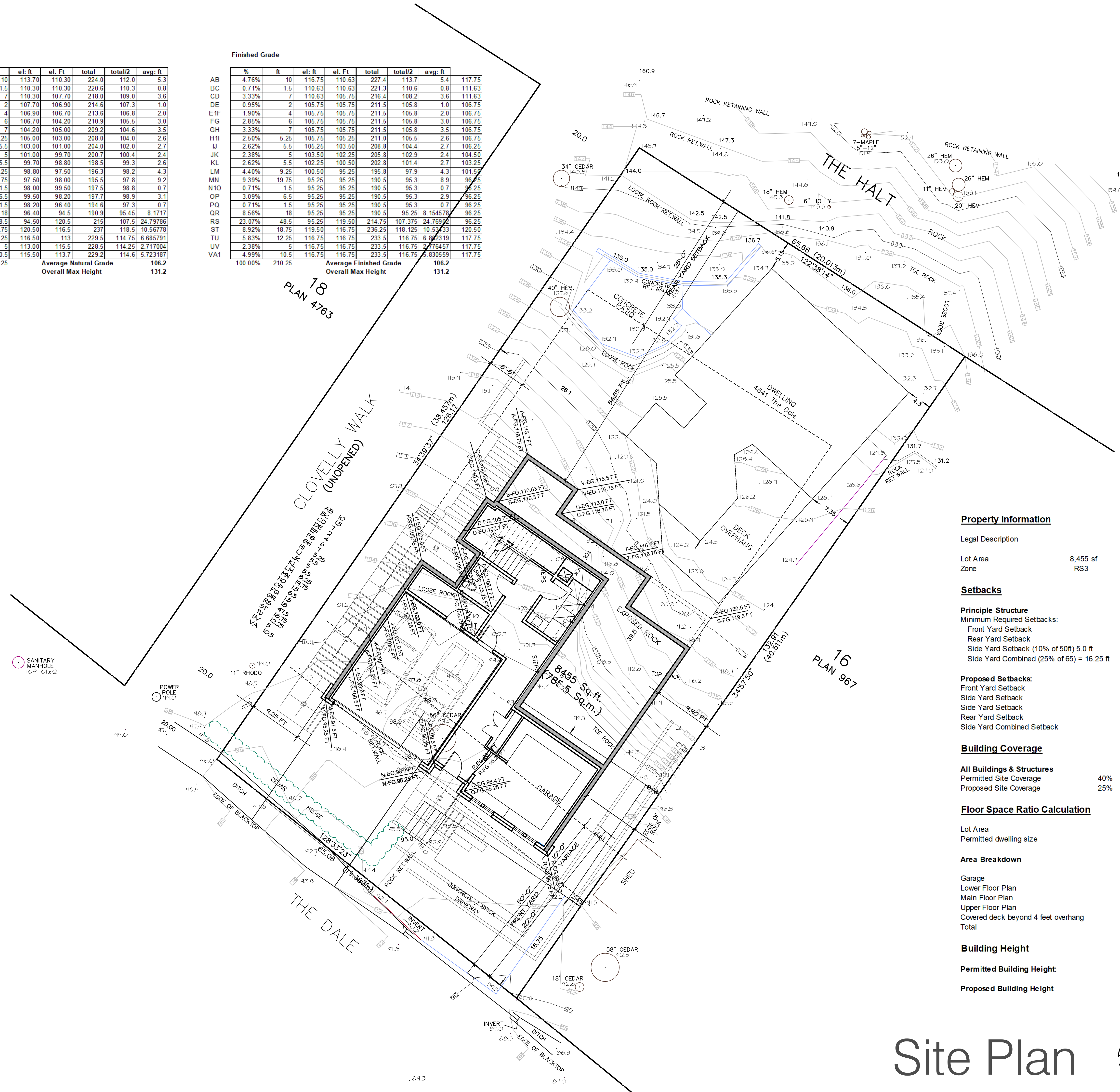
July 12, 2021
Revisions to Capture Energy

Natural Grade

	%	ft	el. ft	el. Ft	total	total/2	avg. ft
AB	4.76%	10	113.70	110.30	224.0	112.0	5.3
BC	0.71%	1.5	110.30	110.30	220.6	110.3	0.8
CD	3.33%	7	110.30	107.70	218.0	109.0	3.6
DE	0.95%	2	107.70	106.90	214.6	107.3	1.0
EF	1.90%	4	106.90	106.70	213.6	106.8	2.0
FG	2.85%	6	106.70	104.20	210.9	105.5	3.0
GH	3.33%	7	104.20	105.00	209.2	104.6	3.5
HI	2.50%	5.25	105.00	103.00	208.0	104.0	2.6
IJ	2.62%	5.5	103.00	101.00	204.0	102.0	2.7
JK	2.38%	5	101.00	99.70	200.7	100.4	2.4
KL	2.62%	5.5	99.70	98.80	198.5	99.3	2.6
LM	4.40%	9.25	98.80	97.50	196.3	98.2	4.3
MN	9.39%	19.75	97.50	98.00	195.5	97.8	9.2
NO	0.71%	1.5	98.00	99.50	197.5	98.8	0.7
OP	3.09%	6.5	99.50	98.20	197.7	98.9	3.1
PQ	0.71%	1.5	98.20	96.40	194.6	97.3	0.7
QR	8.56%	18	96.40	94.5	190.9	95.45	8.17
RS	23.07%	48.5	94.50	120.5	215	107.5	24.79
ST	8.92%	18.75	120.50	116.5	237	118.5	10.56
TU	5.83%	12.25	116.50	113	229.5	114.75	6.68
UV	2.38%	5	113.00	115.5	228.5	114.25	2.71
VA	4.99%	10.5	115.50	113.7	229.2	114.6	5.72
				Average Natural Grade	106.2		
				Overall Max Height	131.2		

Finished Grade

	%	ft	el. ft	el. Ft	total	total/2	avg. ft
AB	4.76%	10	116.75	110.63	227.4	113.7	5.4
BC	0.71%	1.5	110.63	110.63	221.3	110.6	0.8
CD	3.33%	7	110.63	105.75	216.4	108.2	3.6
DE	0.95%	2	105.75	105.75	211.5	105.8	1.0
E1F	1.90%	4	105.75	105.75	211.5	105.8	2.0
FG	2.85%	6	105.75	105.75	211.5	105.8	3.0
GH	3.33%	7	105.75	105.75	211.5	105.8	3.5
HI	2.50%	5.25	105.75	105.25	211.0	105.5	2.6
IJ	2.62%	5.5	105.25	103.50	208.8	104.4	2.7
JK	2.38%	5	103.50	102.25	205.8	102.9	2.4
KL	2.62%	5.5	102.25	100.50	202.8	101.4	2.7
LM	4.40%	9.25	100.50	95.25	195.8	97.9	4.3
MN	9.39%	19.75	95.25	95.25	190.5	95.3	8.9
NO	0.71%	1.5	95.25	95.25	190.5	95.3	0.7
OP	3.09%	6.5	95.25	95.25	190.5	95.3	2.9
PQ	0.71%	1.5	95.25	95.25	190.5	95.3	0.7
QR	8.56%	18	95.25	95.25	190.5	95.25	8.16
RS	23.07%	48.5	95.25	119.50	214.75	107.375	24.76
ST	8.92%	18.75	119.50	116.75	236.25	118.125	10.53
TU	5.83%	12.25	116.75	116.75	233.5	116.75	6.82
UV	2.38%	5	116.75	116.75	233.5	116.75	2.76
VA1	4.99%	10.5	116.75	116.75	233.5	116.75	5.83
				Average Finished Grade	106.2		
				Overall Max Height	131.2		



Property Information

Legal Description

Lot Area 8,455 sf
Zone RS3

Setbacks

Principle Structure
Minimum Required Setbacks:
Front Yard Setback 30.00 ft
Rear Yard Setback 30.00 ft
Side Yard Setback (10% of 50ft) 5.0 ft
Side Yard Combined (25% of 65) = 16.25 ft

Proposed Setbacks:
Front Yard Setback 25.00 ft
Side Yard Setback 6.50 ft
Side Yard Setback 9.90 ft
Rear Yard Setback 36.00 ft
Side Yard Combined Setback 16.40 ft

Building Coverage

All Buildings & Structures
Permitted Site Coverage 40% 3,382 sf
Proposed Site Coverage 25% 2,091 sf

Floor Space Ratio Calculation

Lot Area 8,455 sf
Permitted dwelling size 2,959 sf

Area Breakdown

	Gross	FSR
Garage	472 sf	0 sf
Lower Floor Plan	933 sf	0 sf
Main Floor Plan	1,416 sf	1,416 sf
Upper Floor Plan	1,543 sf	1,543 sf
Covered deck beyond 4 feet overhang	0 sf	0 sf
Total	3,892 sf	2,959.0 sf

Building Height

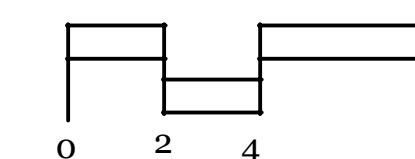
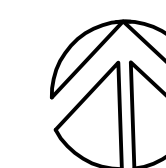
Permitted Building Height 25 ft
Proposed Building Height 24.19 ft

New Residence
4841 The Dale
West Vancouver, British Columbia

Site Plan

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Site Plan



A-2.0

October 23, 2019
Issued for Lower Caulfield
Design Panel

June 18, 2021
Issued to Consultants


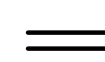
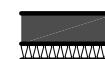

July 12, 2021
Revisions to Capture Energy

New Residence
4841 The Dale
West Vancouver, British Columbia

Lower Floor

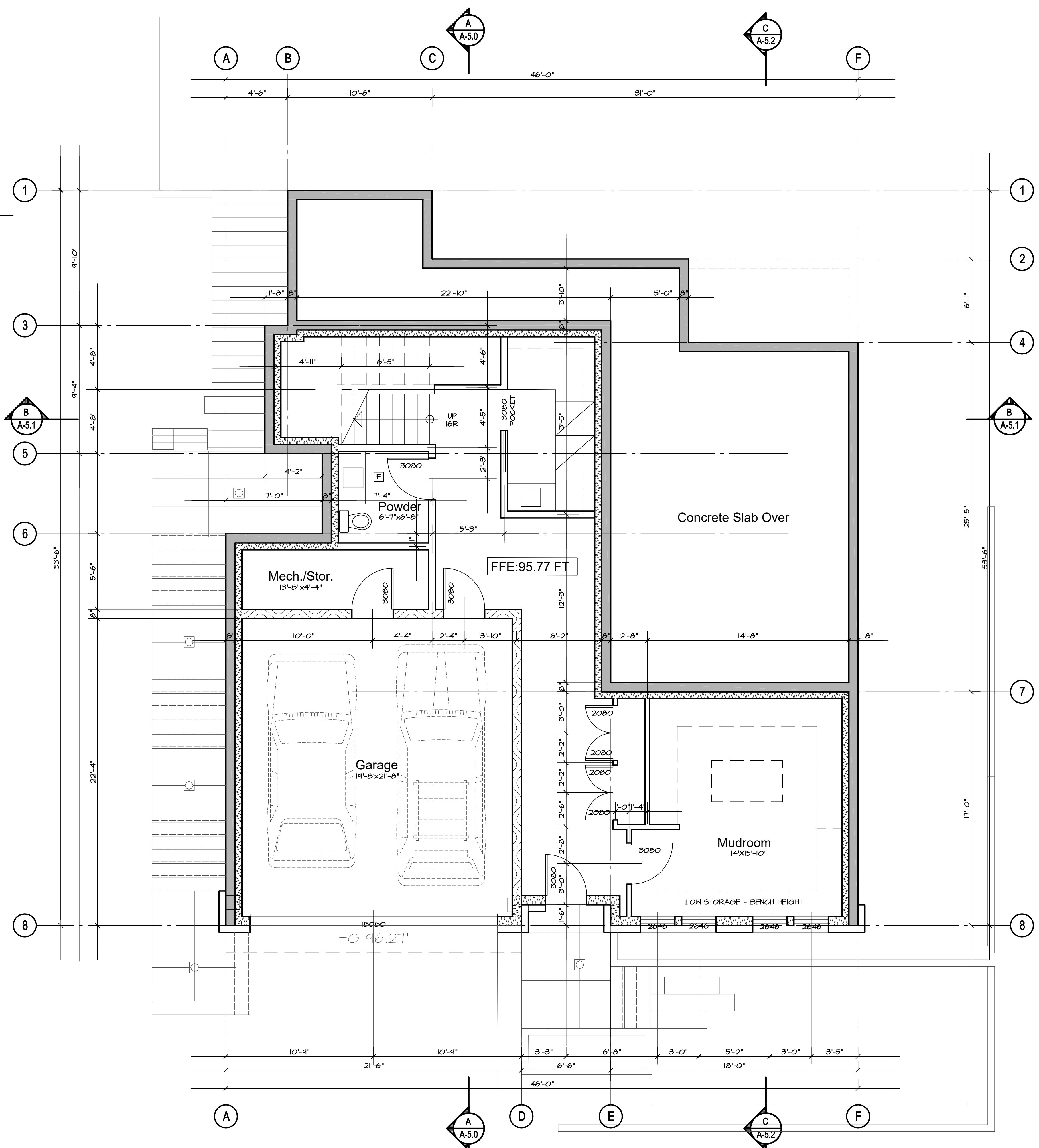
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Wall Legend

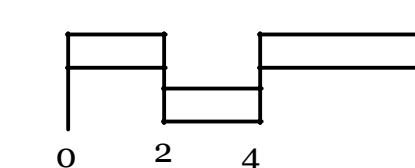
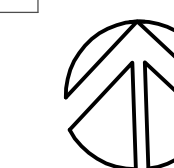
-  TYPICAL EXTERIOR WALL ASSEMBLY
SIDEWALL SHINGLES (REBUTTED #1 GRADE, DIPPED WITH 2 COATS STAIN PRIOR TO INSTALLATION)
RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION)
2 LAYERS OF 30MIN BLDG. PAPER
1/2" PLYWOOD SHEATHING
2X8 STUDS @ 24" O.C., AS PER STRUCTURAL
R28 BATT INSULATION AND 6 MIL FLY VAPOUR BARRIER
1.2" GYPSUM BOARD
-  INTERIOR PARTITION WALL
1/2" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS U.N.O. AT 16" O.C. (REFER TO STRUCT. DWGS.)
-  CRAWLSPACE:
PROVIDE R12 RIGID INSULATION ON INTERIOR SIDE OF PERIMETER FOUNDATION WALL TO MIN 2'-0" BELOW GRADE
-  INSULATED INTERIOR WALL
5/8" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS AT 16" O.C. (REFER TO STRUCT. DWGS.)
R14 BATT INSULATION

Notes

- ALL EXTERIOR WALLS DIMENSIONED TO FACE OF CONCRETE AND PLYWOOD SHEATHING
- ALL INTERIOR WALLS DIMENSIONED TO CENTRE LINE OF WALLS
- ALL WINDOWS & DOORS DIMENSIONED TO CENTRE LINE
- FOR SHEAR WALL LOCATIONS REFER TO STRUCT. DWGS.



Lower Floor ~ Proposed



A-3.0

October 23, 2019
Issued for Lower Caulfield
Design Panel

June 18, 2021
Issued to Consultants

July 12, 2021
Revisions to Capture Energy

New Residence
4841 The Dale
West Vancouver, British Columbia

Main Floor

Contract

Drawn





Checked

Date JULY 12, 2021

Scale 1/4" = 1'-0"

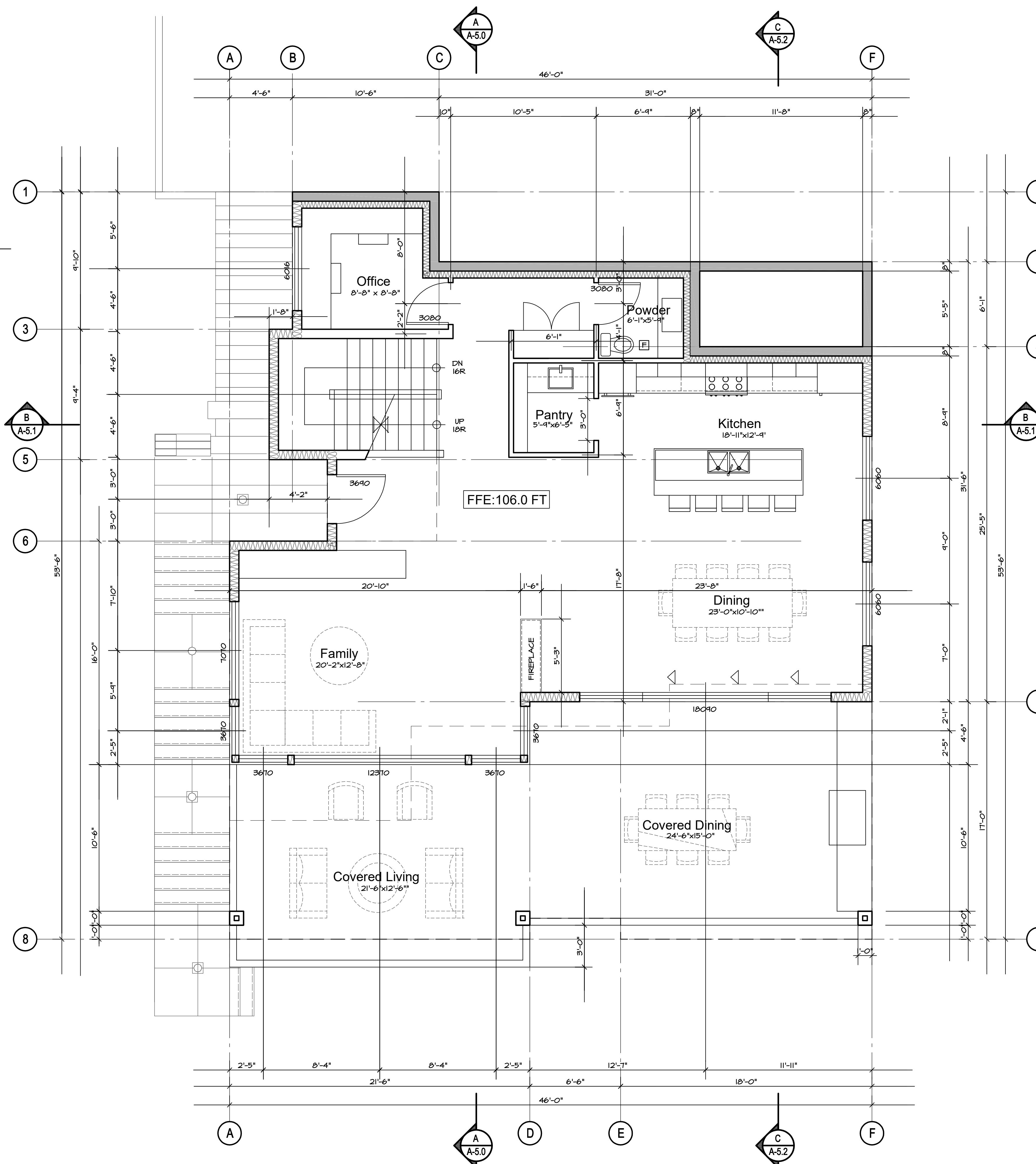
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Wall Legend

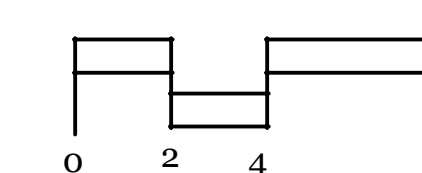
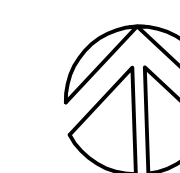
-  TYPICAL EXTERIOR WALL ASSEMBLY
SIDEWALL SHINGLES (REBUTTED #1 GRADE, DIPPED WITH 2 COATS STAIN PRIOR TO INSTALLATION)
RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION)
2 LAYERS OF 30MIN BLDG. PAPER
1/2" PLYWOOD SHEATHING
2x8 STUDS @ 24" O.C., AS PER STRUCTURAL
R28 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER
1.2" GYPSUM BOARD
-  INTERIOR PARTITION WALL
1/2" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS U.N.O. AT 16" O.C. (REFER TO STRUCT. DWGS.)
-  CRAWLSPACE:
PROVIDE R12 RIGID INSULATION ON INTERIOR SIDE OF PERIMETER FOUNDATION WALL TO MIN 2'-0" BELOW GRADE
-  INSULATED INTERIOR WALL
5/8" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS AT 16" O.C. (REFER TO STRUCT. DWGS.) R14 BATT INSULATION

Notes

- ALL EXTERIOR WALLS DIMENSIONED TO FACE OF CONCRETE AND PLYWOOD SHEATHING
- ALL INTERIOR WALLS DIMENSIONED TO CENTRE LINE OF WALLS
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Main Floor ~ Proposed



A-3.1

October 23, 2019
Issued for Lower Caulfield
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June 18, 2021
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July 12, 2021
Revisions to Capture Energy

Wall Legend

TYPICAL EXTERIOR WALL ASSEMBLY

SIDEWALL SHINGLES (REBUTTED #1 GRADE,
DIPPED WITH 2 COATS STAIN PRIOR TO
INSTALLATION)
RAINSCREEN AS PER CONSULTANT APPROVED
DETAILS (PROVIDE MOCKUP ON SITE PRIOR
TO PROCEEDING WITH INSTALLATION)
2 LAYERS OF 30MIN BLDG. PAPER
1/2" PLYWOOD SHEATHING
2x8 STUDS @ 24" O.C., AS PER STRUCTURAL
R22 BATT INSULATION AND 6 MIL PLY
VAPOUR BARRIER
1.2" GYPSUM BOARD

INTERIOR PARTITION WALL

1/2" GYPSUM WALLBOARD PAINTED BOTH SIDES OF
2 X 4" STUDS U.N.O. AT 16" O.C. (REFER TO STRUCT. DWGS.)

CRAWLSPACE:

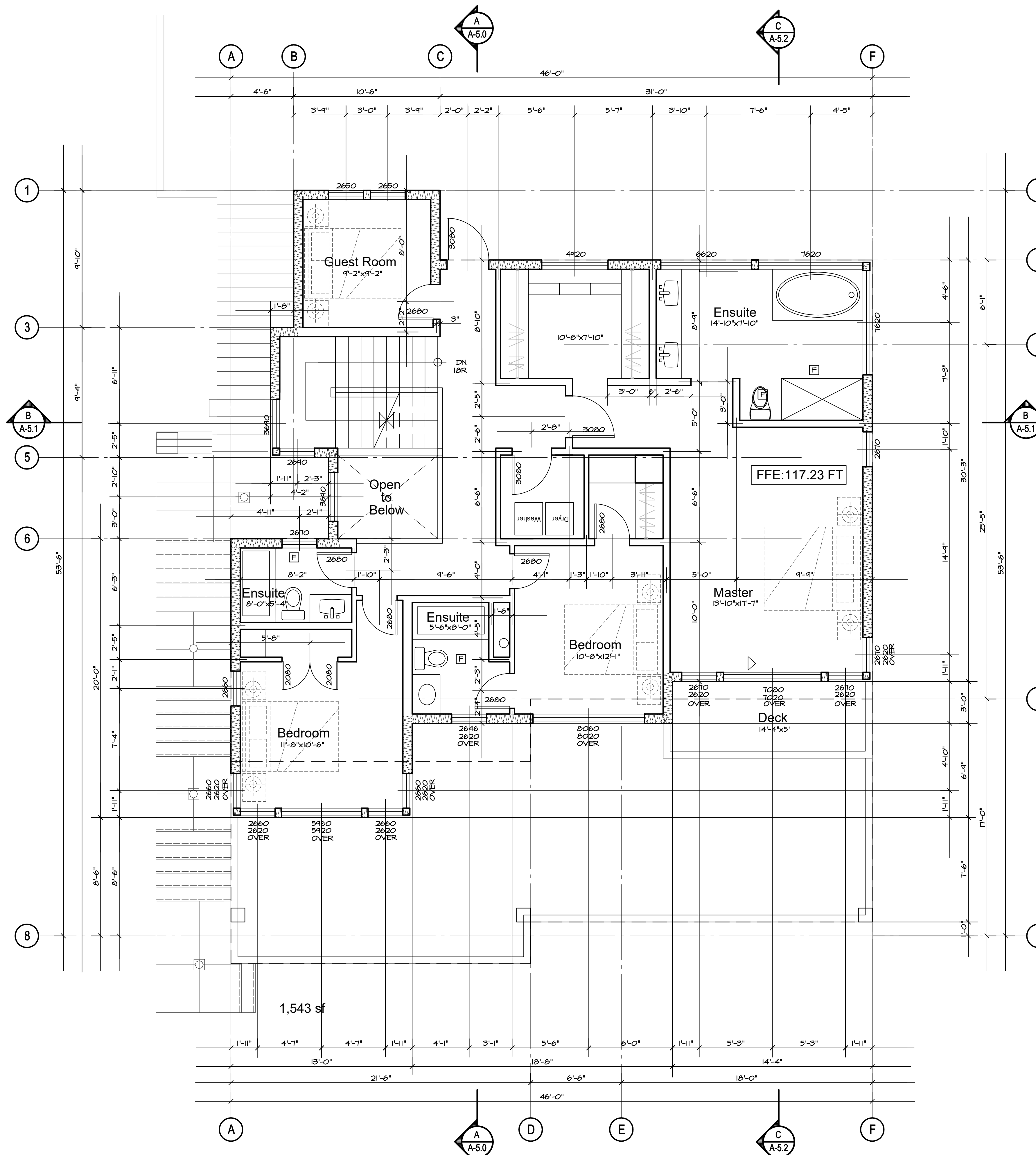
PROVIDE R12 RIGID INSULATION ON INTERIOR
SIDE OF PERIMETER FOUNDATION WALL.
TO MIN 2'-0" BELOW GRADE

INSULATED INTERIOR WALL

5/8" GYPSUM WALLBOARD PAINTED BOTH SIDES OF
2 X 4" STUDS AT 16" O.C. (REFER TO STRUCT. DWGS.)
R14 BATT INSULATION

Notes

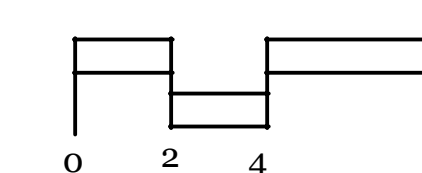
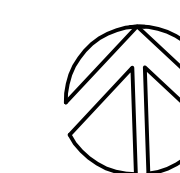
ALL EXTERIOR WALLS DIMENSIONED TO FACE OF
CONCRETE AND PLYWOOD SHEATHING
ALL INTERIOR WALLS DIMENSIONED TO CENTRE
LINE OF WALLS
ALL WINDOWS & DOORS DIMENSIONED TO CENTRE LINE
FOR SHEAR WALL LOCATIONS REFER TO STRUCT. DWGS.



New Residence
4841 The Dale
West Vancouver, British Columbia

Upper Floor

Upper Floor ~ Proposed



A-3.2

Contract
Drawn
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Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

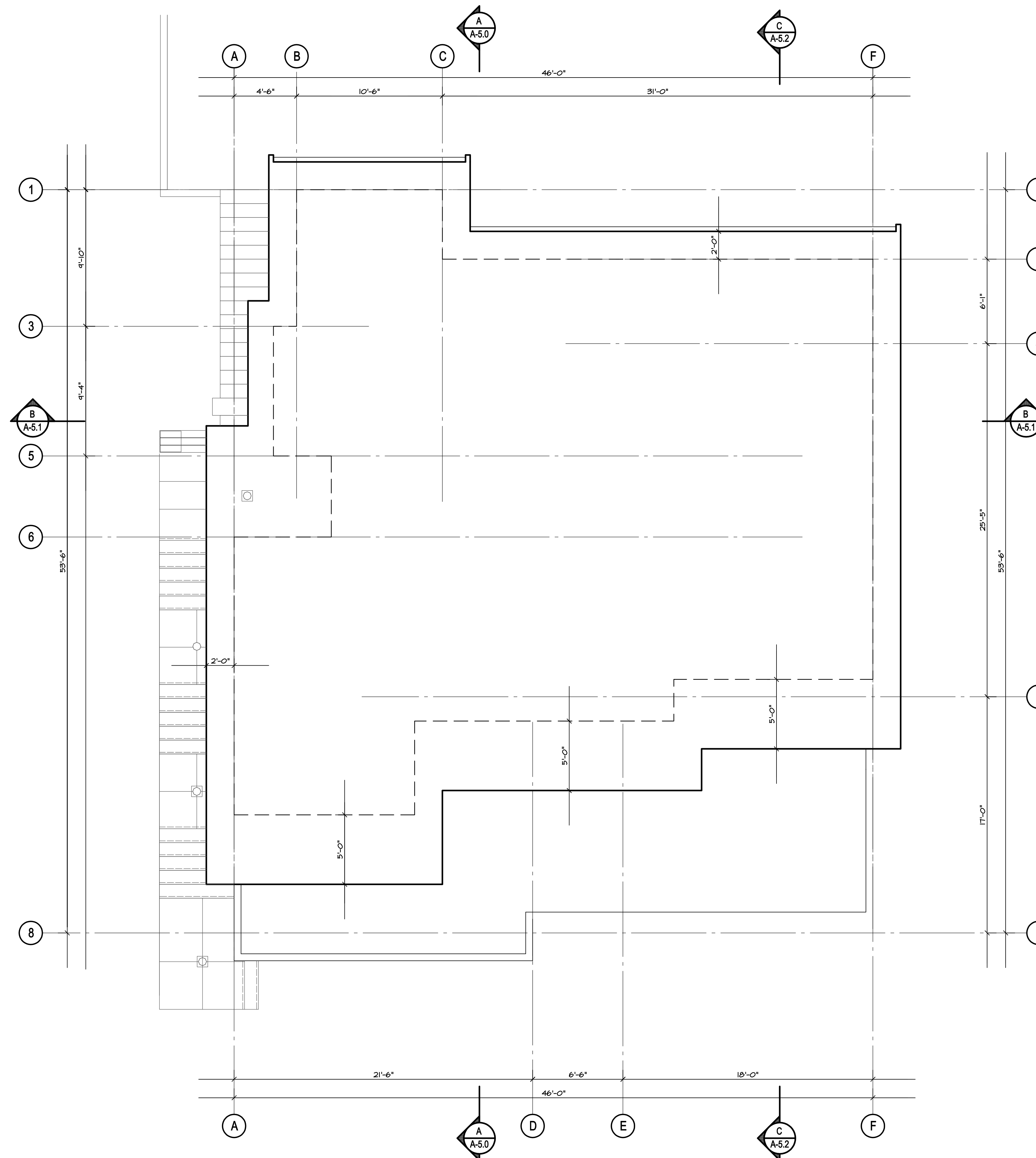
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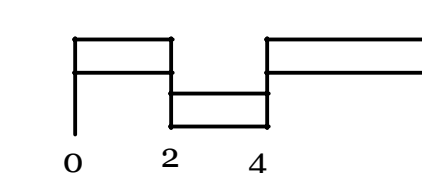
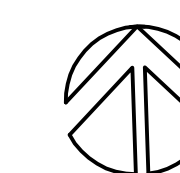
July 12, 2021
Revisions to Capture Energy

New Residence
4841 The Dale
West Vancouver, British Columbia

Roof Plan



Roof Plan ~ Proposed



A-3.3

Contract
Drawn
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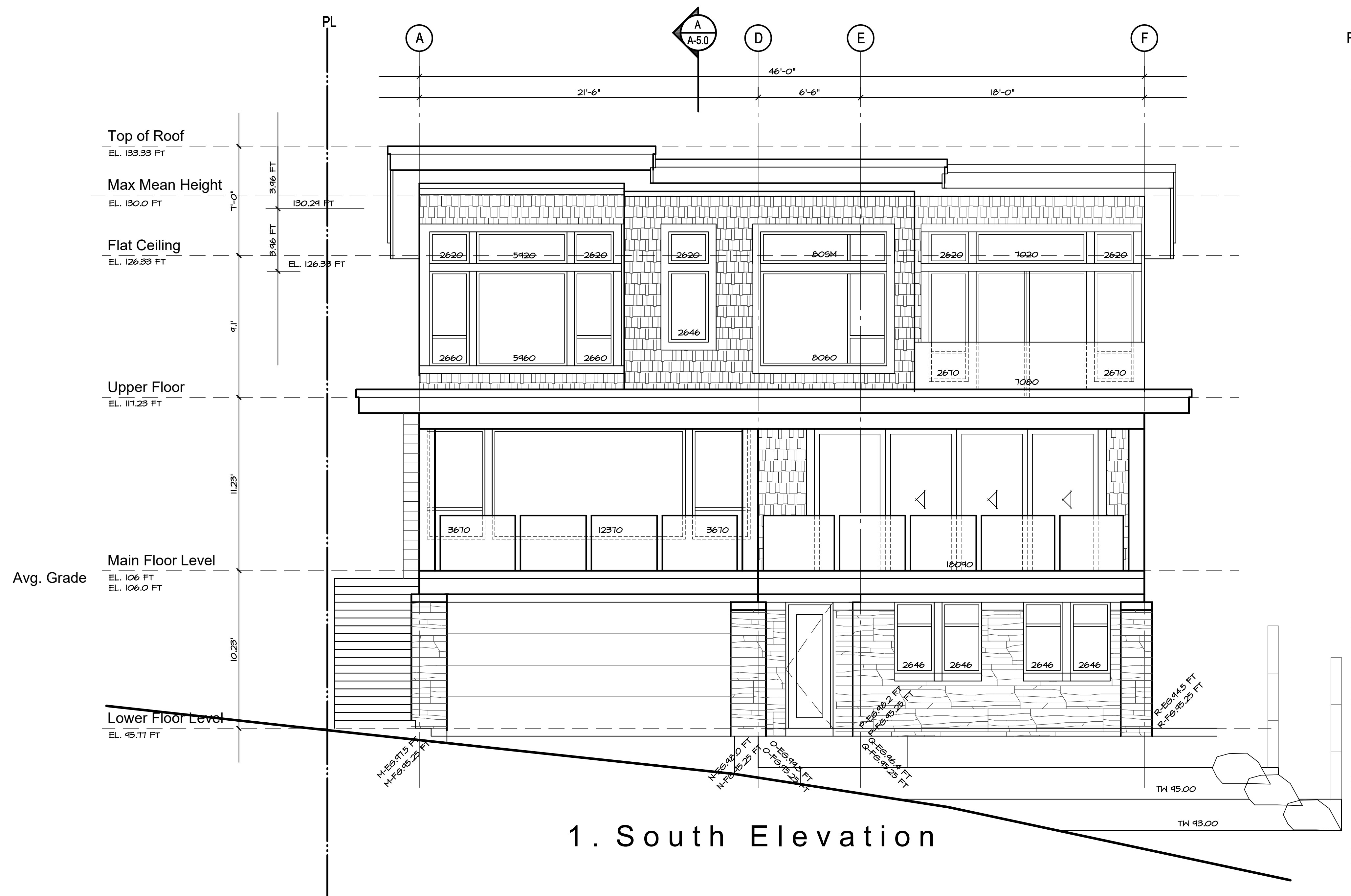
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New Residence
4841 The Dale
West Vancouver, British Columbia

Elevation



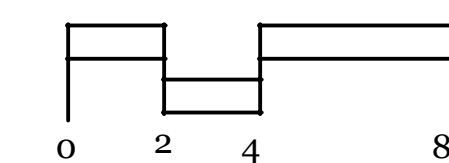
1. South Elevation

Exterior Finish Legend

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Powercoated Aluminum and Glass	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD			Window Trims	1 X 6 Hardie - Smooth

Contract
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Sheet Number

Elevation

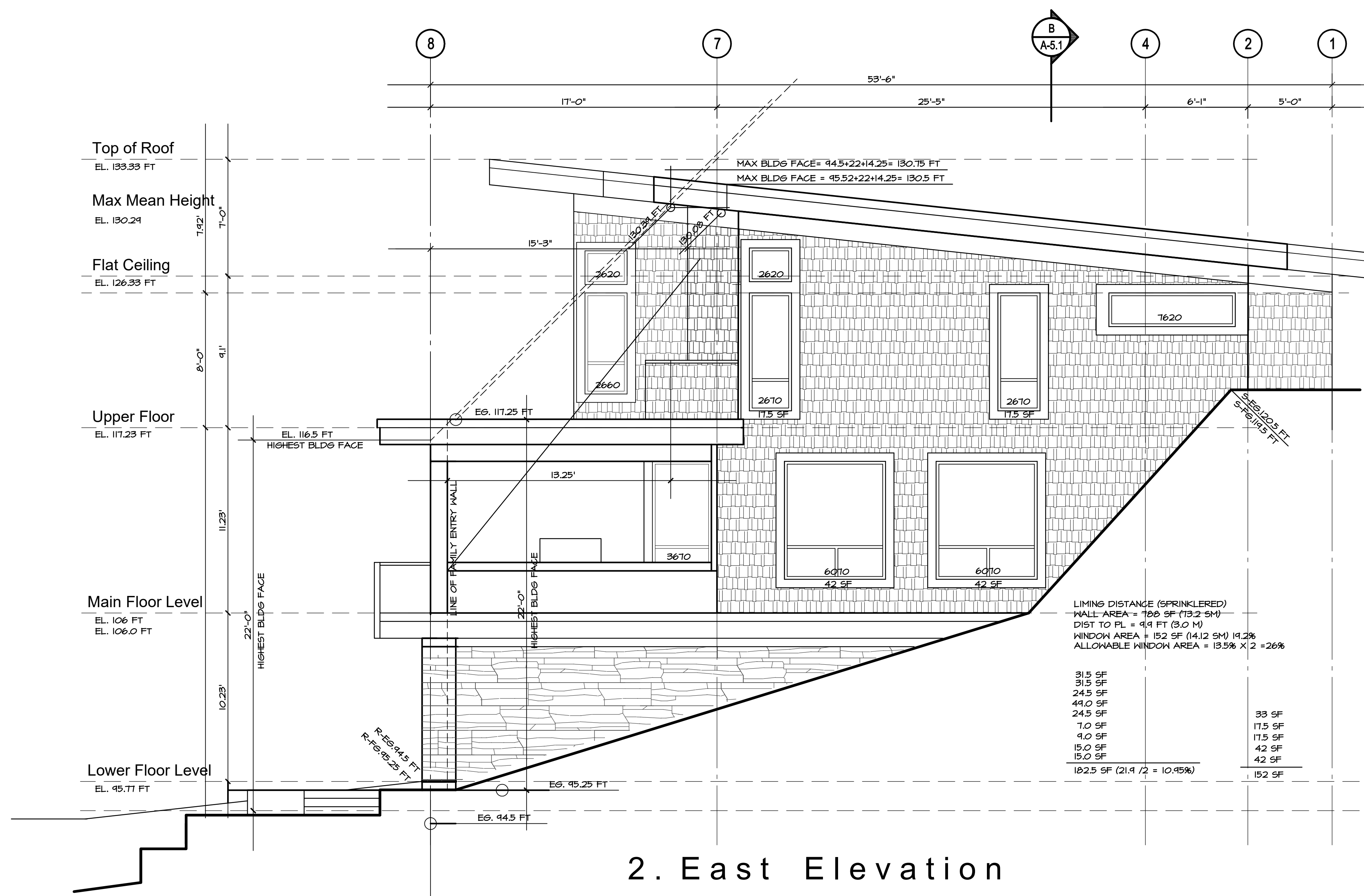


A-4.0

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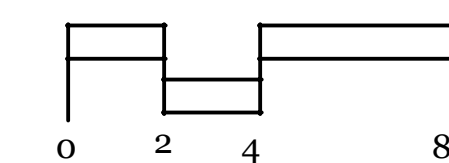
2. East Elevation

Exterior Finish Legend

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD		Powercoated Aluminum and Glass	Window Trims	1 X 6 Hardie - Smooth

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Elevation



A-4.1

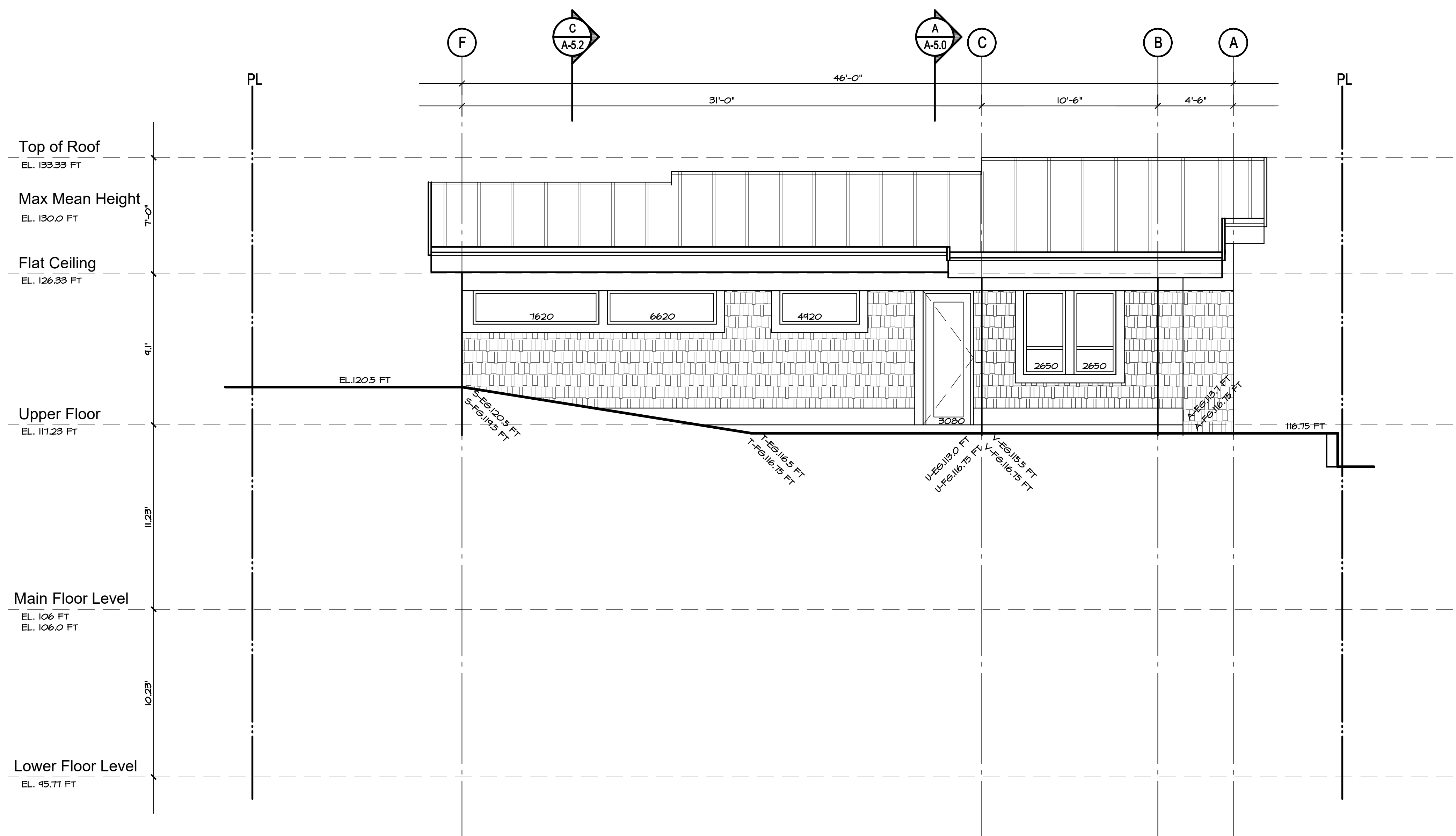
New Residence
4841 The Dale
West Vancouver, British Columbia

Elevation

October 23, 2019
Issued for Lower Caulfield
Design Panel

June 18, 2021
Issued to Consultants

July 12, 2021
Revisions to Capture Energy



New Residence
4841 The Dale
West Vancouver, British Columbia

Elevation

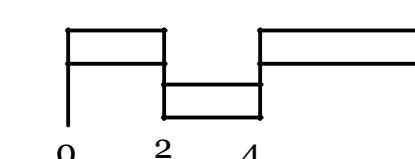
3. North Elevation

Exterior Finish Legend

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Powercoated Aluminum and Glass	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD			Window Trims	1 X 6 Hardie - Smooth

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Elevation



A-4.2

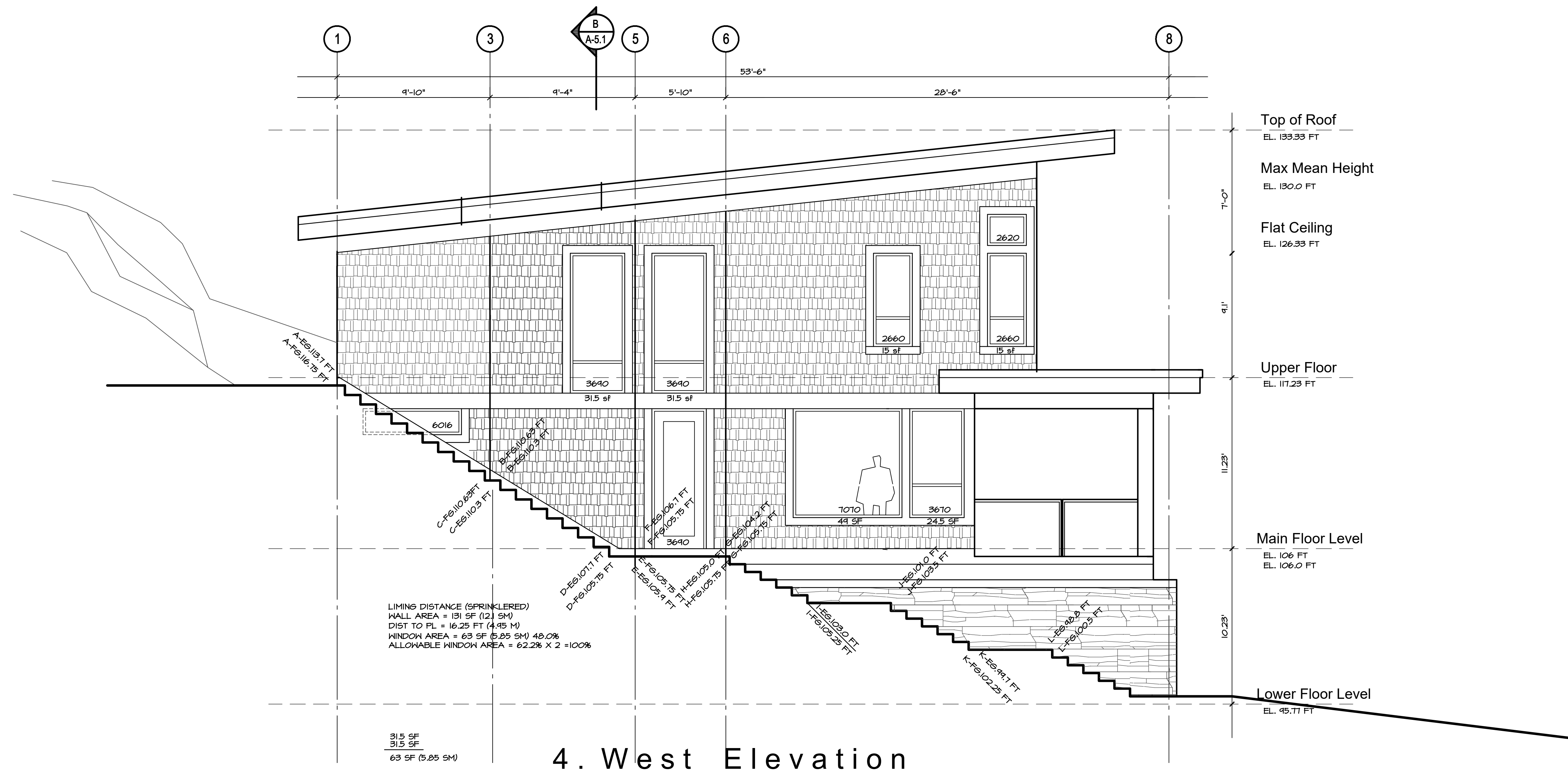
October 23, 2019
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New Residence
4841 The Dale
West Vancouver, British Columbia

Elevation



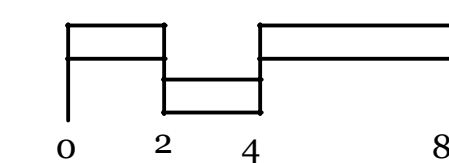
4. West Elevation

Exterior Finish Legend

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Powercoated Aluminum and Glass	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD			Window Trims	1 X 6 Hardie - Smooth

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Elevation



A-4.3

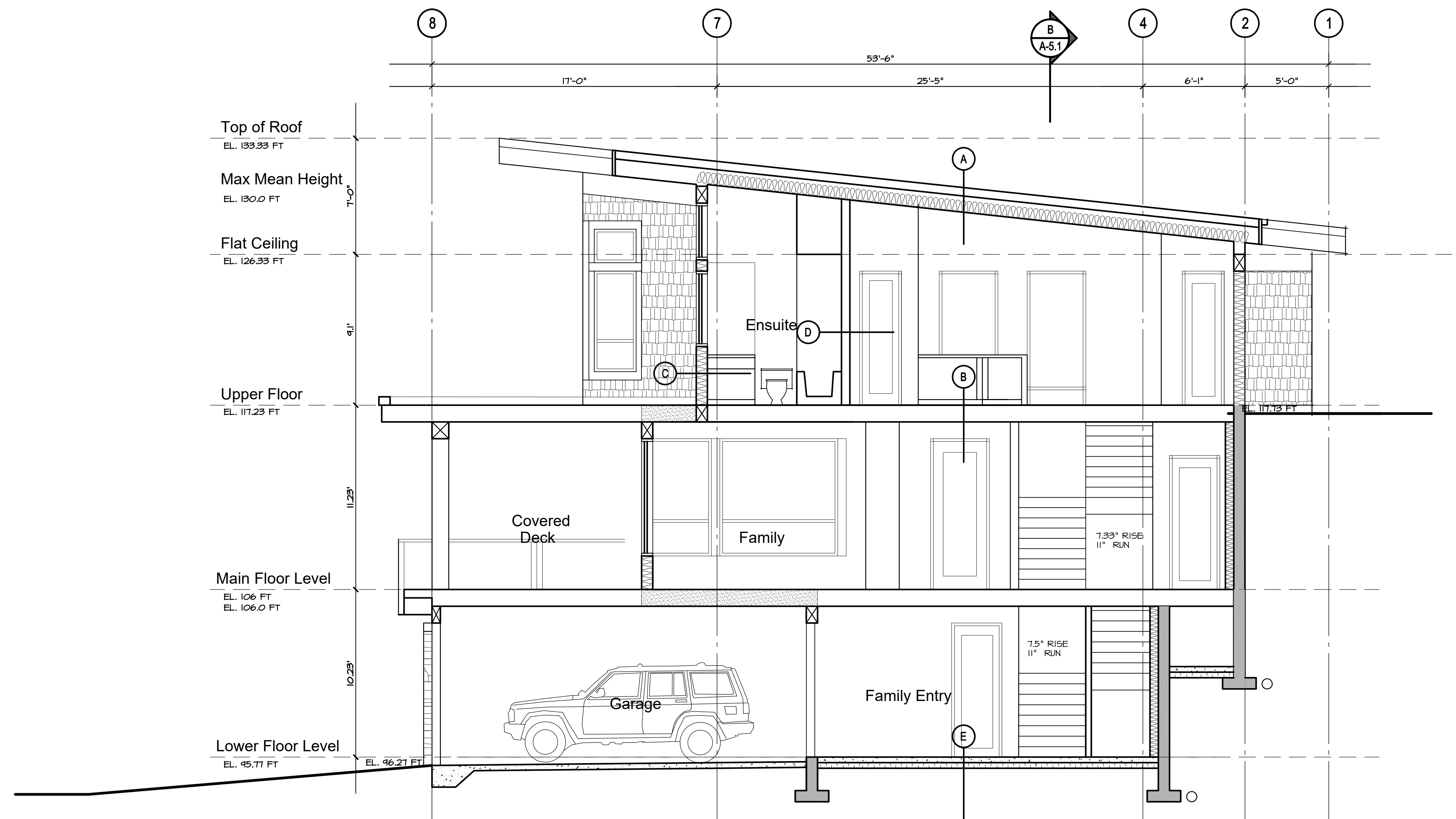
October 23, 2019
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New Residence
4841 The Dale
West Vancouver, British Columbia

Section A



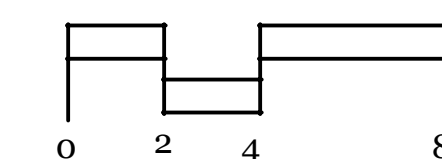
Section A

Assembly Legend

- A.** STANDING SEAM ROOF - CASCADIA WATERPROOF MEMBRANE ON SHEATHING, AS PER STRUCTURAL 2X4 STRAPPING ON TJI ROOF JOISTS AT 24" O.C. R-40 BATT. INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 1/2" DRYWALL
- B.** FLOOR FINISH ON RADIANT FLOORING - LIGHT WEIGHT 1.5" GYPCRETE ON 5/8" T & G PLYWOOD SHEATHING, NAILED AND GLUED TJI FLOOR FRAMING PER STRUCTURAL 1/2" DRYWALL (NO DRYWALL BETWEEN CRAWLSPACE AND MAIN FLOOR)
- C.** HORIZONTAL SIDING RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION) TYVEK COMMERICAL WRAP, INSTALLED AS A AIR BARRIER SYSTEM 1/2" PLYWOOD SHEATHING 2X8 STUDS @ 24" O.C. AS PER STRUCTURAL R20 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER 1/2" GYPSUM BOARD
- D.** INTERIOR PARTITION WALL 1/2" GYPSUM BOARD BOTH SIDES OF 2X4 STUDS UNLESS NOTED ON DRAWINGS BY STRUCTURAL OR PLUMBING WALLS SHOWN IN PLAN.
- E.** FLOOR FINISH ON 4" CONCRETE SLAB ON GRADE 4" XPS R 20 RIGID INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 6" COMPACTED GRAVEL BASE
- F.** FOUNDATION WALL ASSEMBLY DIMPLEBOARD DRAINAGE MAT 2 COATS DAMP PROOFING 8" CONCRETE 2" XPS RIGID INSULATION 2X4 @ 24" O.C. W/ R14 BATT INSULATION 1/2" GNB
- G.** CANTILEVERED SPACE R-40 BATT. INSULATION FINE-LINE HEMLOCK SOFFIT W/ VENT STRIPS

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Section

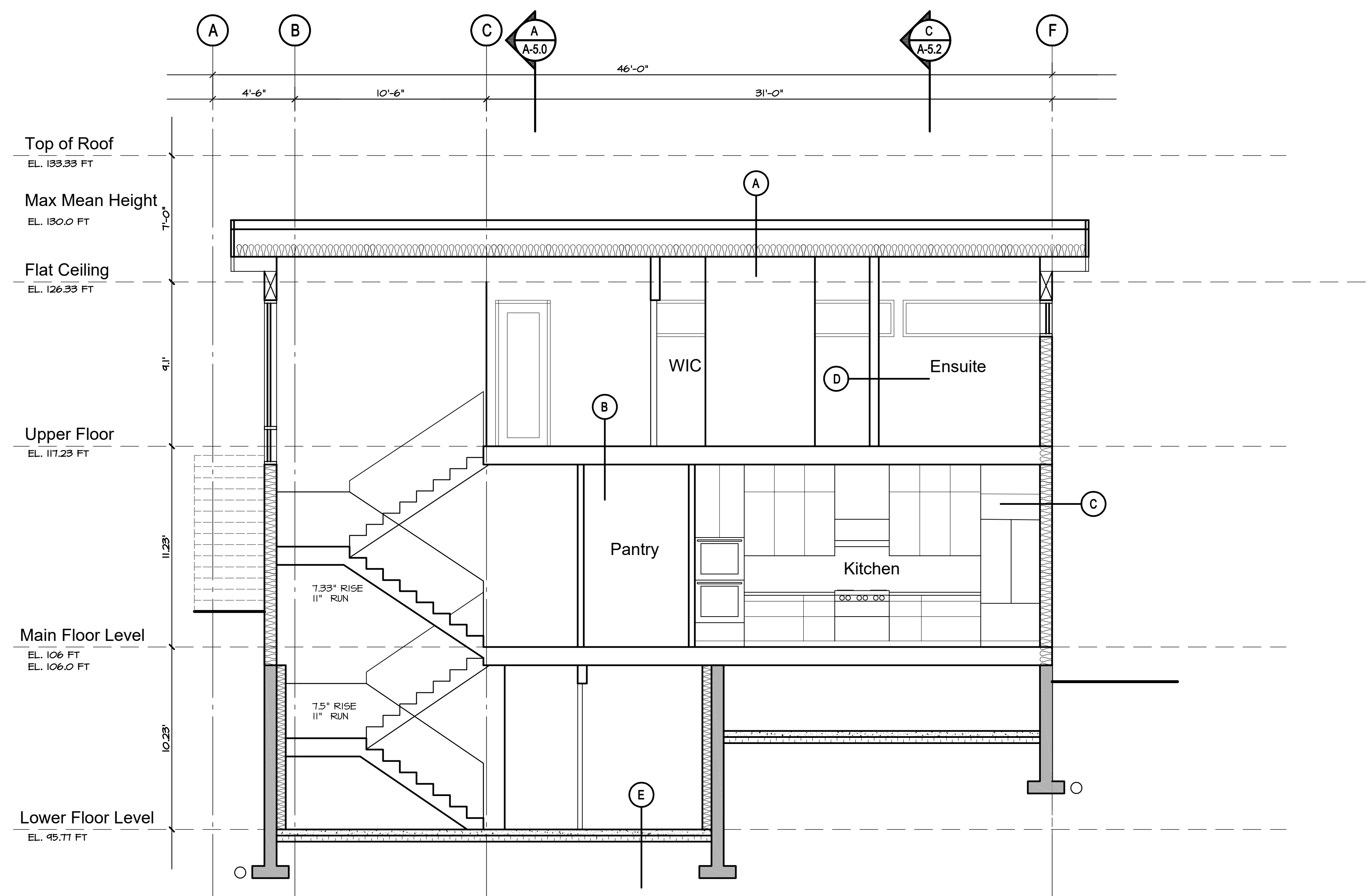


A-5.0

October 23, 2019
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Section B

New Residence
4841 The Dale
West Vancouver, British Columbia

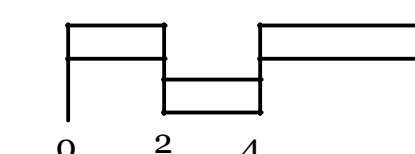
Section B

Assembly Legend

- A. STANDING SEAM ROOF - CASCADIA WATERPROOF MEMBRANE ON SHEATHING, AS PER STRUCTURAL 2X4 STRAFFING ON TJI ROOF JOISTS AT 24" O.C. R-40 BATT. INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 1/2" DRYWALL
- B. FLOOR FINISH ON RADIANT FLOORING - LIGHT WEIGHT 1.5" GYPCRETE ON 5/8" T & G PLYWOOD SHEATHING, NAILED AND GLUED TJI FLOOR FRAMING PER STRUCTURAL 1/2" DRYWALL (NO DRYWALL BETWEEN CRAWLSPACE AND MAIN FLOOR)
- C. HORIZONTAL SIDING RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION) TYVEK COMMERCIAL WRAP, INSTALLED AS A AIR BARRIER SYSTEM 1/2" PLYWOOD SHEATHING 2X8 STUDS @ 24" O.C., AS PER STRUCTURAL R28 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER. 1/2" GYPSUM BOARD
- D. INTERIOR PARTITION WALL 1/2" GYPSUM BOARD BOTH SIDES OF 2X4 STUDS UNLESS NOTED ON DRAWINGS BY STRUCTURAL OR PLUMBING WALLS SHOWN IN PLAN.
- E. FLOOR FINISH ON 4" CONCRETE SLAB ON GRADE 4" XPS R 20 RIGID INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 6" COMPACTED GRAVEL BASE
- F. FOUNDATION WALL ASSEMBLY DIMPLEBOARD DRAINAGE MAT 2 COATS DAMP PROOFING 8" CONCRETE 2" XPS RIGID INSULATION 2X4 @ 24" O.C. W/ R14 BATT INSULATION 1/2" GNB
- G. CANTILEVERED SPACE R-40 BATT. INSULATION FINE-LINE HEMLOCK SOFFIT W/ VENT STRIPS

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Section

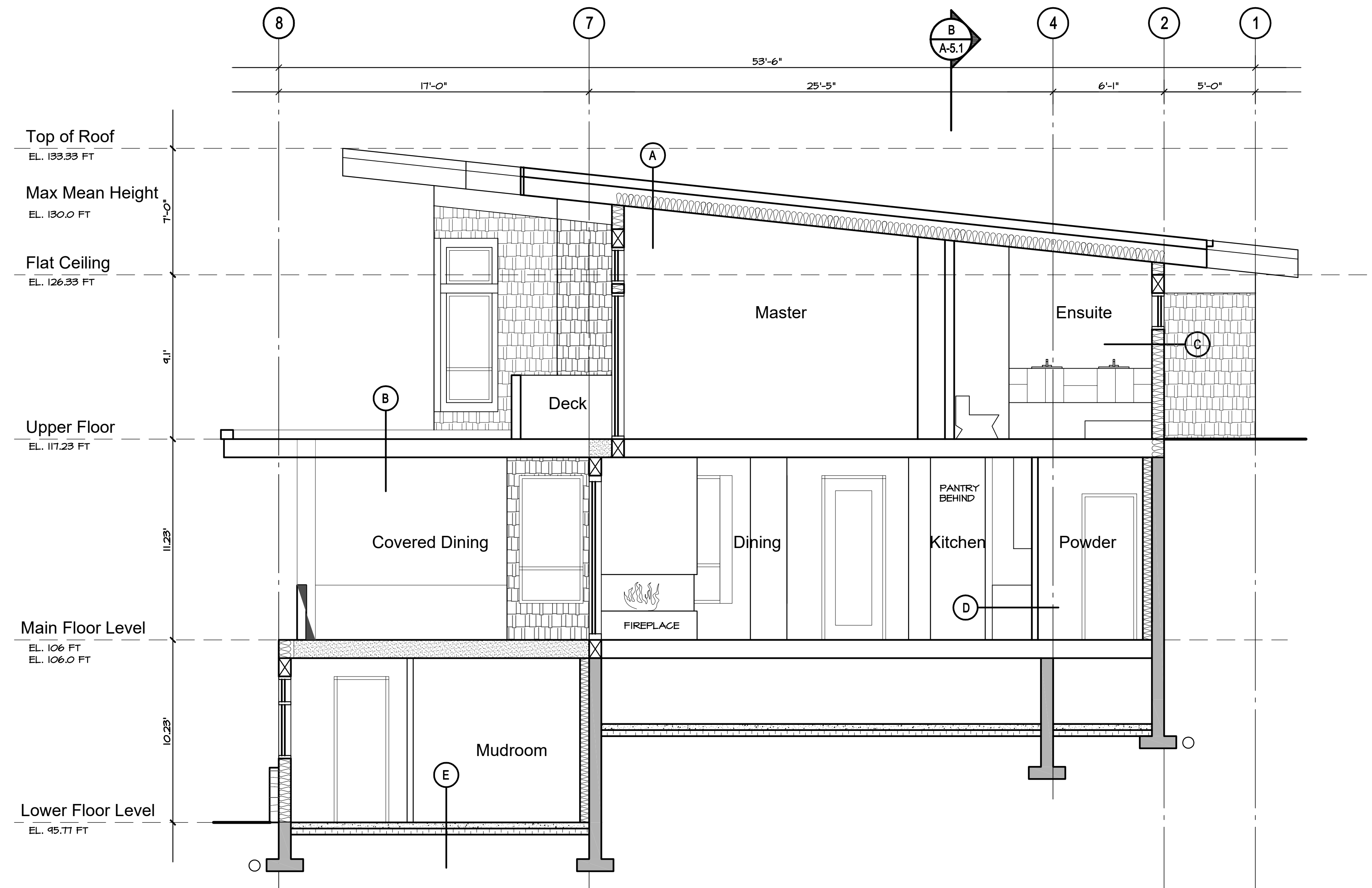


A-5.1

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Revisions to Capture Energy



Section C

New Residence
4841 The Dale
West Vancouver, British Columbia

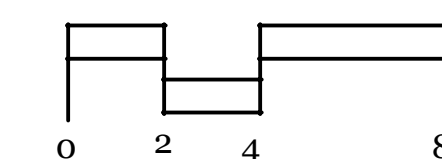
Section C

Assembly Legend

- A. STANDING SEAM ROOF - CASCADIA**
WATERPROOF MEMBRANE ON SHEATHING, AS PER STRUCTURAL
2X4 STRAPPING ON TJI ROOF JOISTS AT 24" O.C.
R-40 BATT. INSULATION
6 MIL U.V. POLY VAPOUR BARRIER
1/2" DRYWALL
- B. FLOOR FINISH ON**
RADIANT FLOORING - LIGHT WEIGHT 1.5" GYPCRETE ON 5/8" T & G PLYWOOD SHEATHING, NAILED AND GLUED
TJI FLOOR FRAMING PER STRUCTURAL
1/2" DRYWALL (NO DRYWALL BETWEEN CRAWLSPACE AND MAIN FLOOR)
- C. HORIZONTAL SIDING**
RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION)
TYVEK COMMERCIAL WRAP, INSTALLED AS A AIR BARRIER SYSTEM
1/2" PLYWOOD SHEATHING
2X8 STUDS @ 24" O.C. AS PER STRUCTURAL
R20 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER
1.2" GYPSUM BOARD
- D. INTERIOR PARTITION WALL**
1/2" GYPSUM BOARD BOTH SIDES OF 2X4 STUDS UNLESS NOTED ON DRAWINGS BY STRUCTURAL OR PLUMBING WALLS SHOWN IN PLAN.
- E. FLOOR FINISH ON**
4" CONCRETE SLAB ON GRADE
4" XPS R 20 RIGID INSULATION
6 MIL U.V. POLY VAPOUR BARRIER
6" COMPACTED GRAVEL BASE
- F. FOUNDATION WALL ASSEMBLY**
DIMPLEBOARD DRAINAGE MAT
2 COATS DAMP PROOFING
8" CONCRETE
2" XPS RIGID INSULATION
2X4 @ 24" O.C. W/ R14 BATT INSULATION
1/2" GNB
- G. CANTILEVERED SPACE**
R-40 BATT. INSULATION
FINE-LINE HEKLOCK SOFFIT
W/ VENT STRIPS

Contract
Drawn
Checked
Date JULY 12, 2021
Scale 1/4" = 1'-0"
Sheet Number

Section



A-5.2

4841 The Dale
West Vancouver

Design Rationale:

The landscape design follows the Architectural lead that tucks a clean crisp modern building into the hillside and allows the natural existing grades and forest cover to engulf it from the rear and sides. The rear of the site utilises the existing levels and grades, (and wall structures) where possible, to form the multileveled outdoor living spaces on the property. Most of the paving here is natural stone slabs and the plant material is primarily native and shade loving. The stone outcroppings will be cleaned and enhanced where possible, to add to the mountainside expression of the landscape.

The front of the new house is very contemporary and has a short driveway and small formalised front semi-private garden area which adds layering to the entry of the home. The elements in landscape design (the concrete walls, details, furnishings and lush plant material) at the front of the house all compliment the modern character of the new home. The concrete stairs are detailed with large reveals to emphasize lightness.

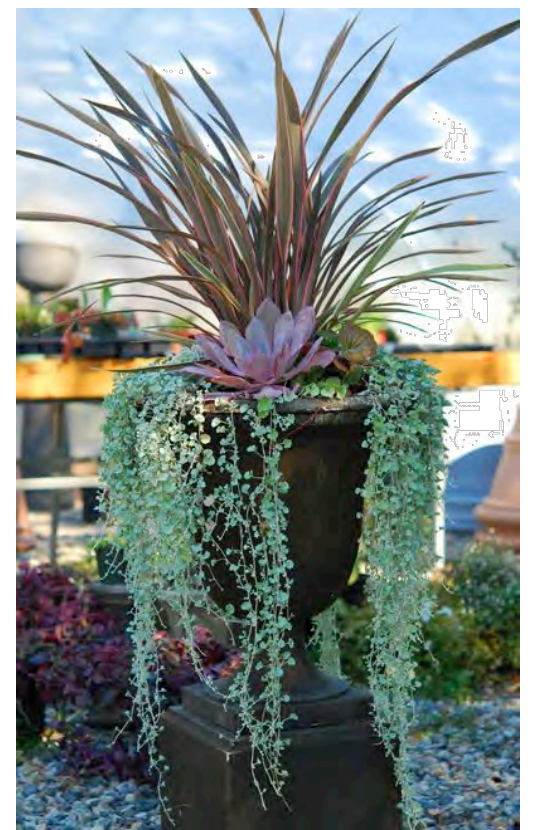
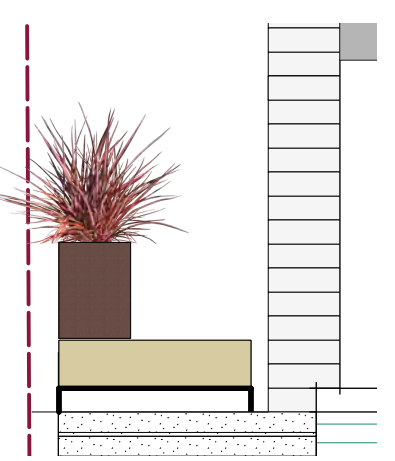
Basalt Column Loose Retaining



Cut Stone Slab Secondary (rear) Steps

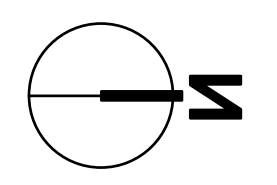
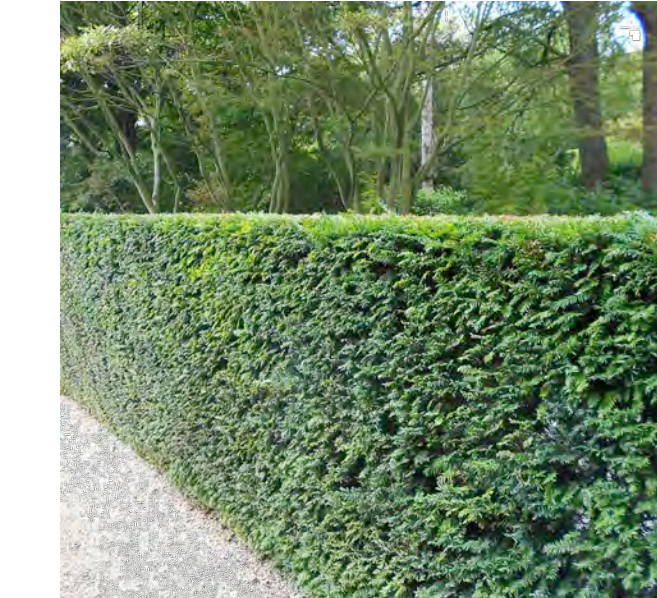
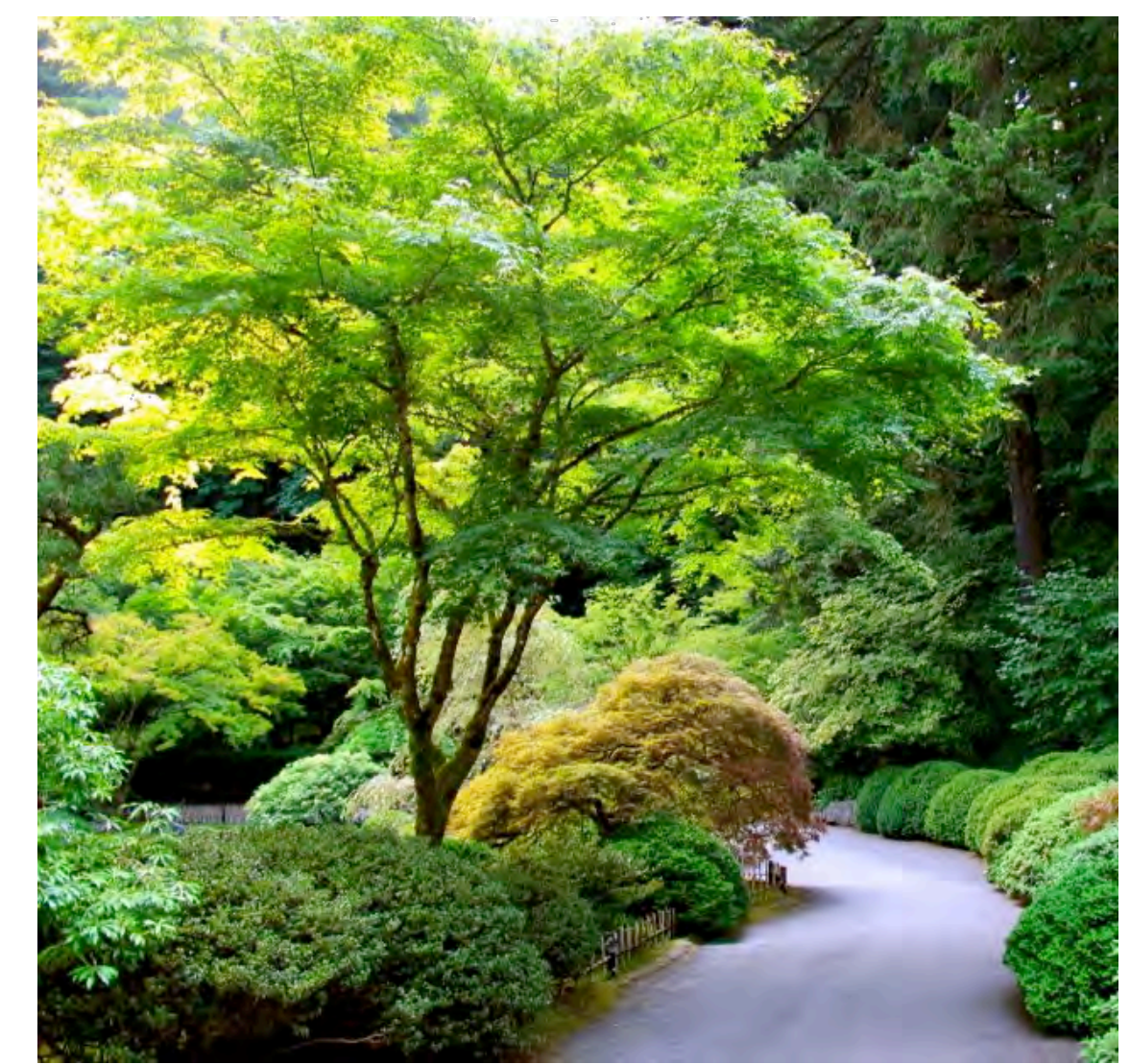
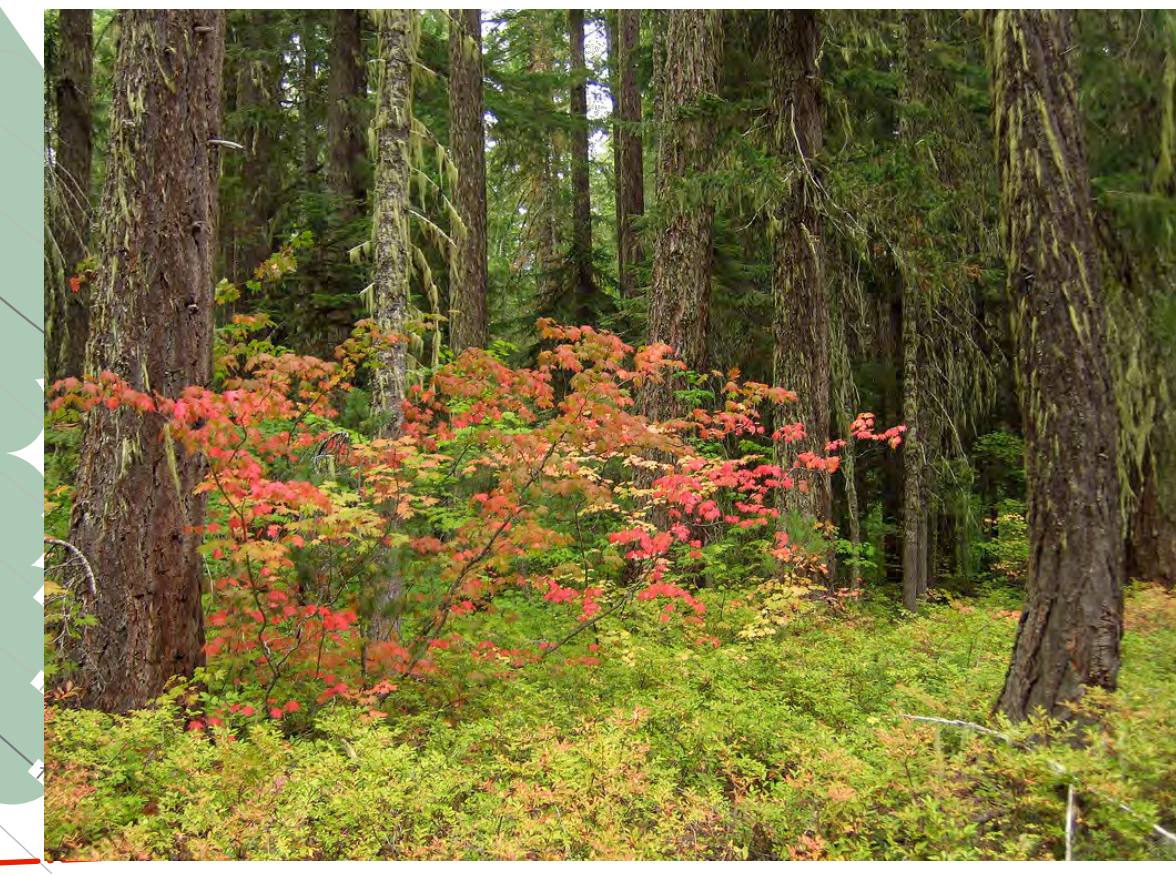
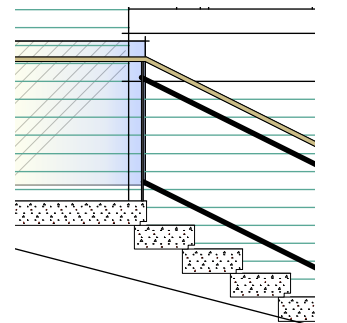


Groundcover in between Pavers



2 Custom Timber and Metal Benches
Scale: 1/4" = 1'-0"

3 Concrete Entry Stair
Scale: 1/4" = 1'-0"



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Revisions:
1. Issued for Client Review - January 19, 2018

1. per Committee comments - August 06, 2021

Consultants:

Project:
4841 The Dale - Caulfield, DWV
West Vancouver, BC

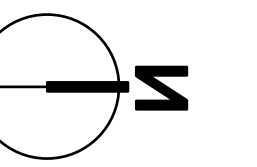
Title:

Planting Plan

Drawn: BH
Checked: Mar 2017
Date: **As Noted.**

Client's approval: This drawing and design is the property of Forma Design Inc. and may not be reproduced without written permission.
Contractors shall verify and be responsible for all dimensions on the job and the site shall be informed of any changes made on site.

Project No: 17.037 **Sheet No:** L1 of 4



Revisions:
1. Issued for Client Review - January 19, 2018

1. per Committee comments - August 06, 2021

Consultants:

Project:
4841 The Dale - Caulfield, DWV
West Vancouver, BC

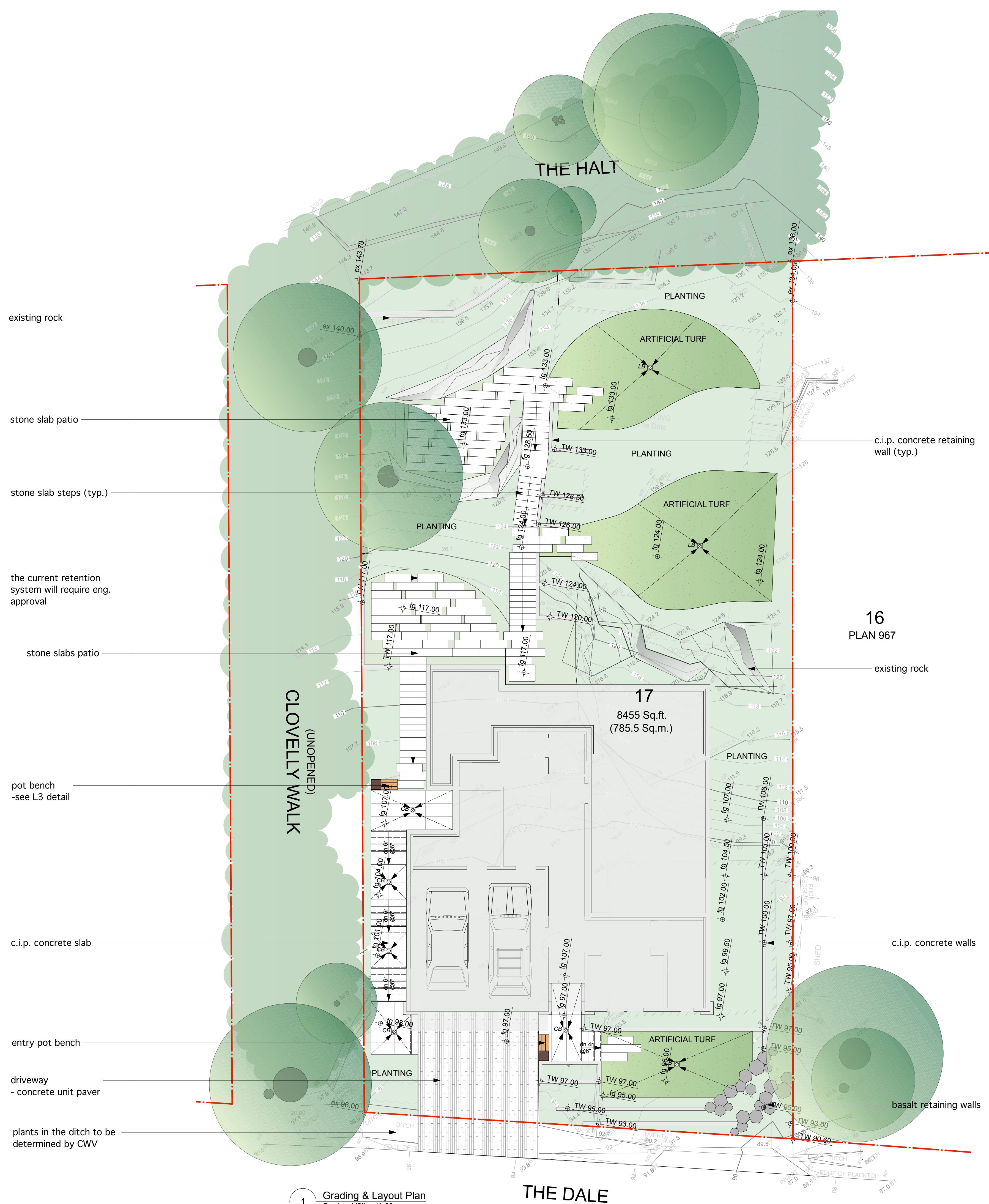
Title:

Grading & Layout Plan

Scale: As Noted.

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Contractors shall verify and be responsible for all dimensions on this plan and the client shall be informed of any changes made on site.

Project No: 17.037 **Sheet No:** L2 of 4



existing rock
stone slab patio
stone slab steps (typ.)
the current retention system will require eng. approval
stone slabs patio
pot bench -see L3 detail
c.i.p. concrete slab
entry pot bench
driveway - concrete unit paver
plants in the ditch to be determined by CWV

16
PLAN 967

17
8455 Sq.ft.
(785.5 Sq.m.)

Drawing Legend:

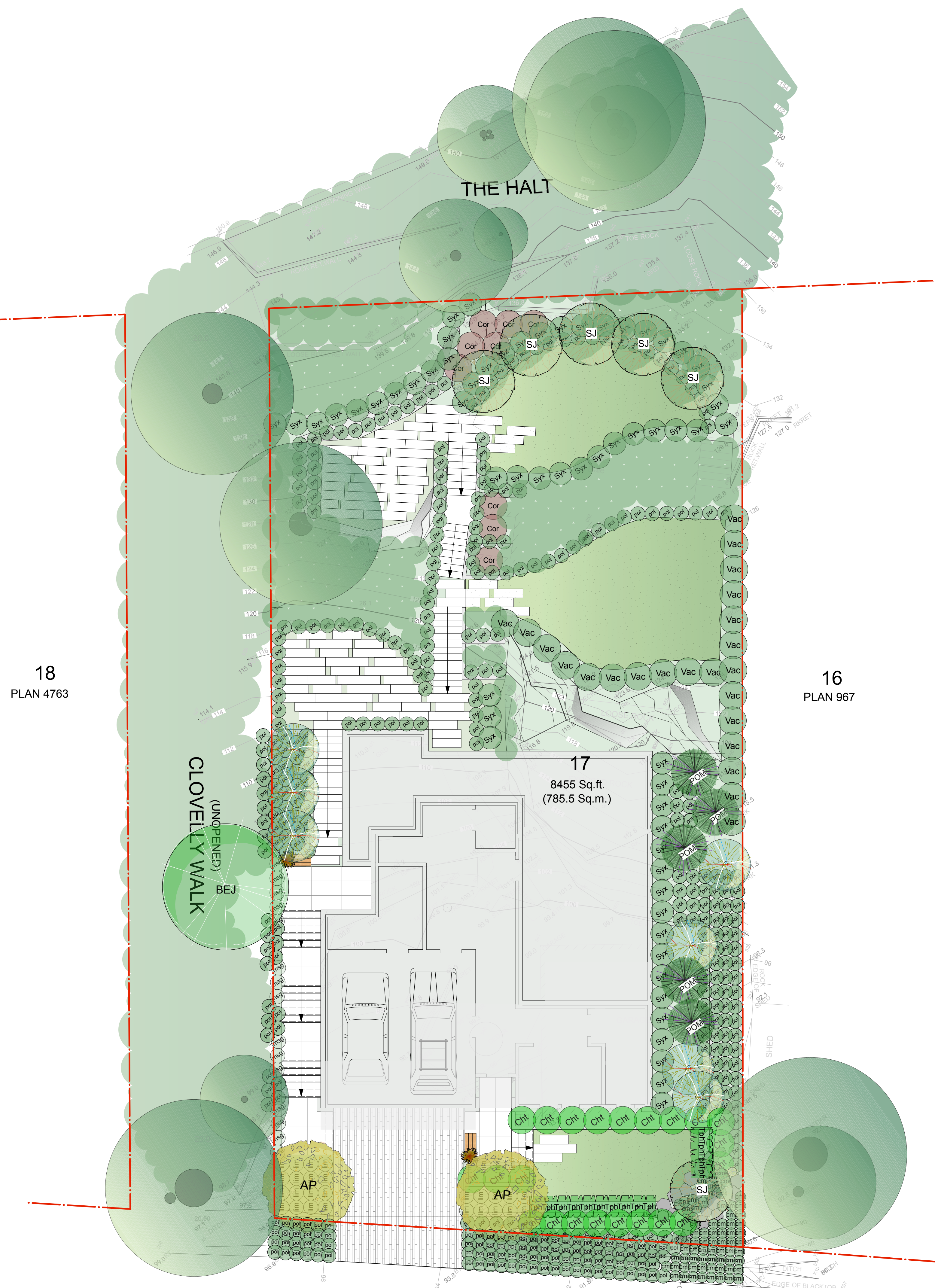
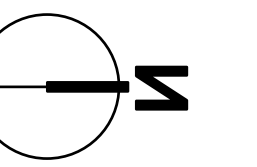
- design grade (proposed)
- existing survey grade
- driveway pavers
- concrete pavers
- artificial turf
- existing trees to be protected
- catch basin
- lawn basin
- c.i.p. concrete retaining wall

* NOTE: ALL WALLS TO BE ENGINEERED *

General Notes:

1. All walls to be inspected and approved by geotech and structural engineer.
2. Ensure positive drainage behind all walls and throughout site.
3. All walls to conform to West Vancouver municipal bylaws and BPP Design Guidelines
4. All landscape works (including boulevard areas) to be automatically irrigated
5. Where soft landscape areas meet building foundation wall, 12-18" wide gravel drain strip to be installed at landscape grade.
6. All CIP conc. walls visible from the street to be granite clad to BPP standard.
7. Guardrails and handrails to be installed where required by code.

1 Grading & Layout Plan
Scale: 1/8" = 1'-0"



18
PLAN 4763

16
PLAN 967

17
8455 Sq.ft.
(785.5 Sq.m.)

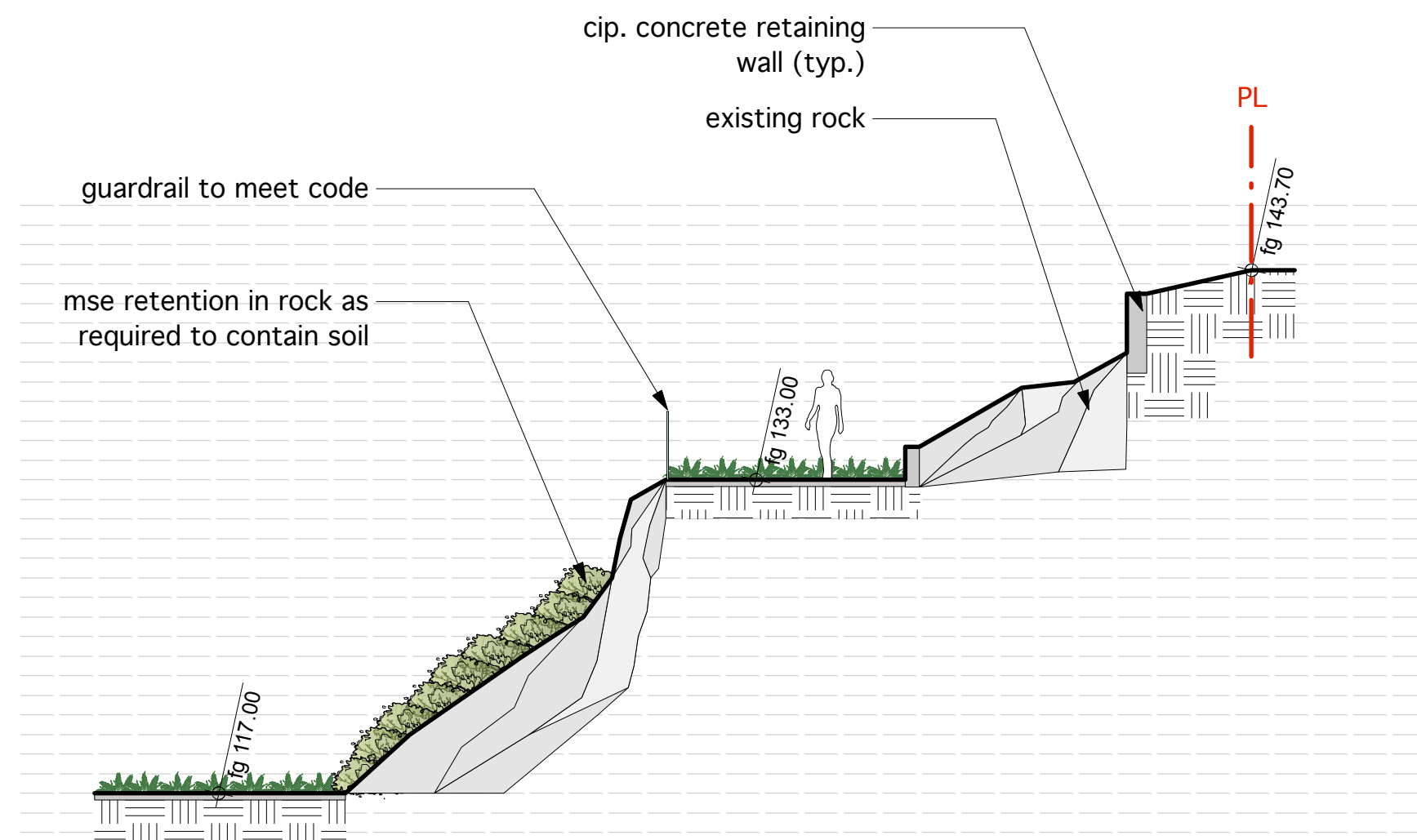
1 Planting Plan
Scale: 1/8" = 1'-0"

PLANT LIST ON-SITE					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
ACx	Acer circinatum	Vine Maple	7	2.5m ht.	
AP	Acer palmatum Green	Japanese Maple	2	2m ht.	
POM	Picea omorika	Serbian Spruce	5	3.0m	
SJ	Styrax japonicus	Japanese Snowbell Tree	6	5cm cal.	
Tph	Thuja plicata hedge	Western Red Cedar hedge	14	48" B&B	
SHRUBS					
Ch	Choisya ternata	Mexican Orange Blossom	22	#5 pot	
Cor	Cornus sericea	Red Twig Dogwood	9	#1 pot	
Ph	Phormium tenax	New Zealand Flax	2		
Syx	Symphoricarpos alba	Snowberry	69	#3 pot	
Vac	Vaccinium parvifolium	Red Huckleberry	133	#3 pot	
PERENNIALS & GROUNDCOVERS					
lm	Liriope muscari	Big Blue Lily Turf	31	#1 pot	
pol	Polystichum munitum	Western sword fern	294	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS					
cmi	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	39	#1 pot	
msg	Miscanthus sinensis 'Gracillimus'	Maiden Grass	15	#1 pot	
Sten	Stipa tenuissima	Ponytail Grass	1		

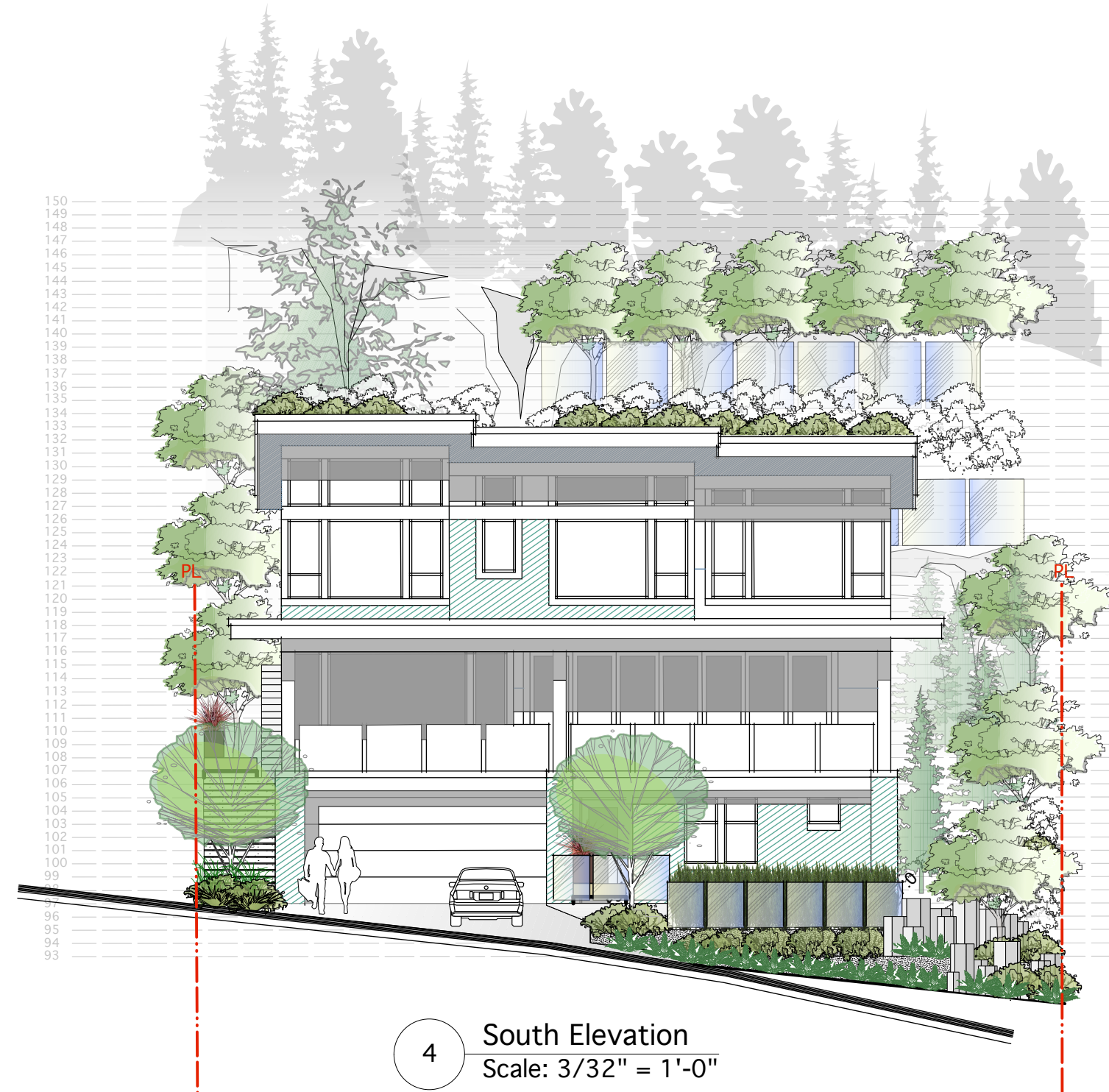
PLANT LIST - OFFSITE					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
BEJ	Betula utilis var. jacquemontii	Whitebarked Himalayan Bir	1	6cm cal.	
SHRUBS					
PERENNIALS & GROUNDCOVERS					
pol	Polystichum munitum	Western sword fern	100	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS					
cmi	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	32	#1 pot	

Planting Notes

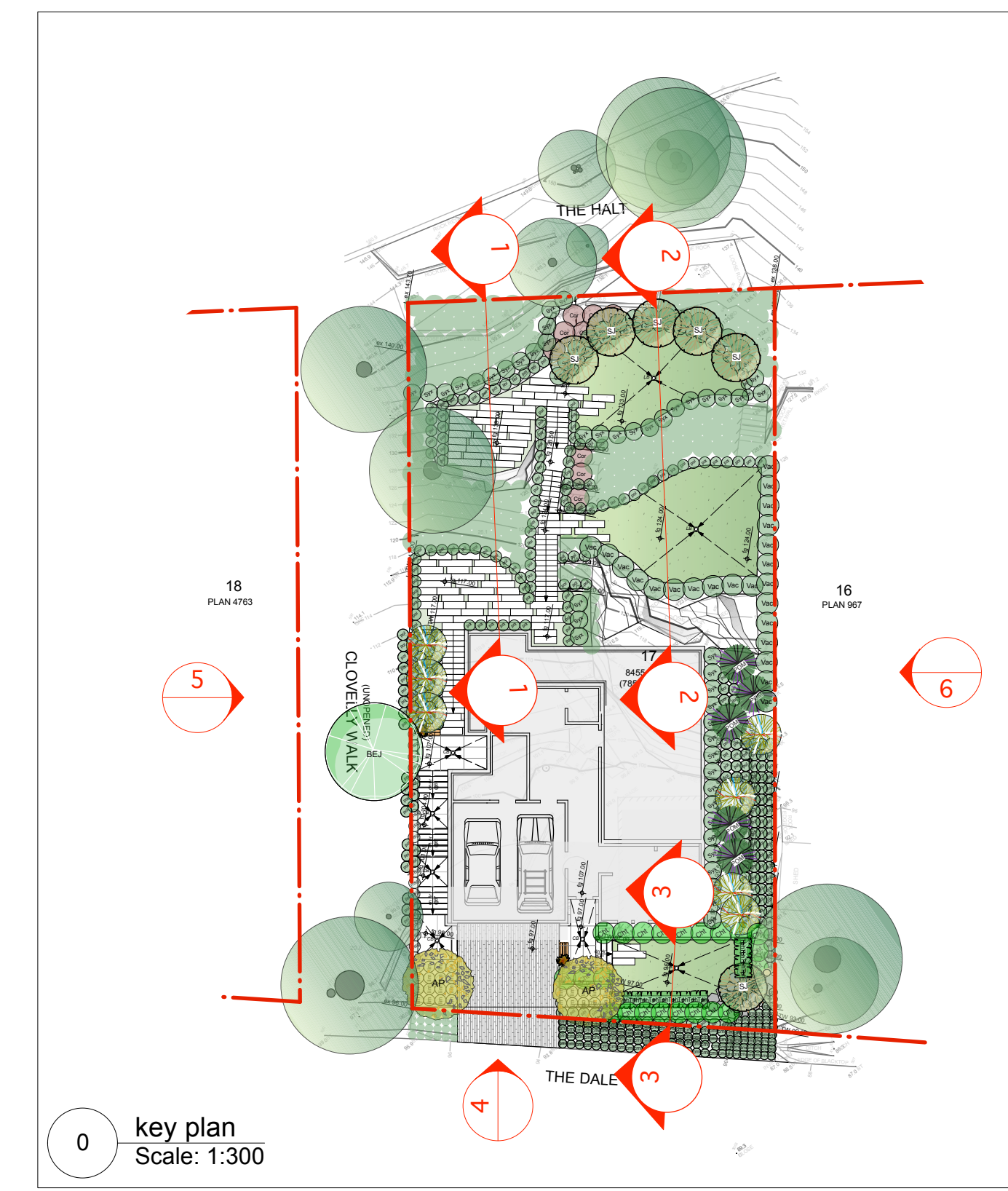
- All materials and execution of landscape works shall conform to the C.L.S./B.C.N.T.A. Landscape standard. Refer to written specifications for complete landscape documentation.
- The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- Minimum planting medium depths:
lawn - 6"/150mm
groundcover - 12"/300 mm
shrubs - 18"/450 mm
trees - 24"/600 mm (around and beneath rootball)
- All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to BCNTA standard for container grown stock.
- Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supercede the list.
- All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying Pr will be removed, disposed of and replaced at the contractor's expense.
- Tree Protection Measures**
Where construction, demolition, or excavation is to take place within 4m of the drip line of a tree to be retained, a protection barrier at least 4'0" (1.2m) in height must be installed around the tree or group of trees to be retained. The diameter of the barrier shall be no smaller than the drip line of the tree(s). The barrier must be constructed of snow fencing staked every 3' (1m), plywood sheets fastened to wooden stakes or of another form approved by the municipality. The barrier shall be constructed prior to any site work and remain intact until all construction is complete. The barrier shall clearly display all-weather signage indicating that the area is a protected zone. Any work which must be done within the protection zone is to be done by hand. No burning is to take place close enough for the flames or heat to damage any tree to be retained.
- Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the landscape architect and request additional instructions.
- Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be pruned prior to delivery except upon special approval.



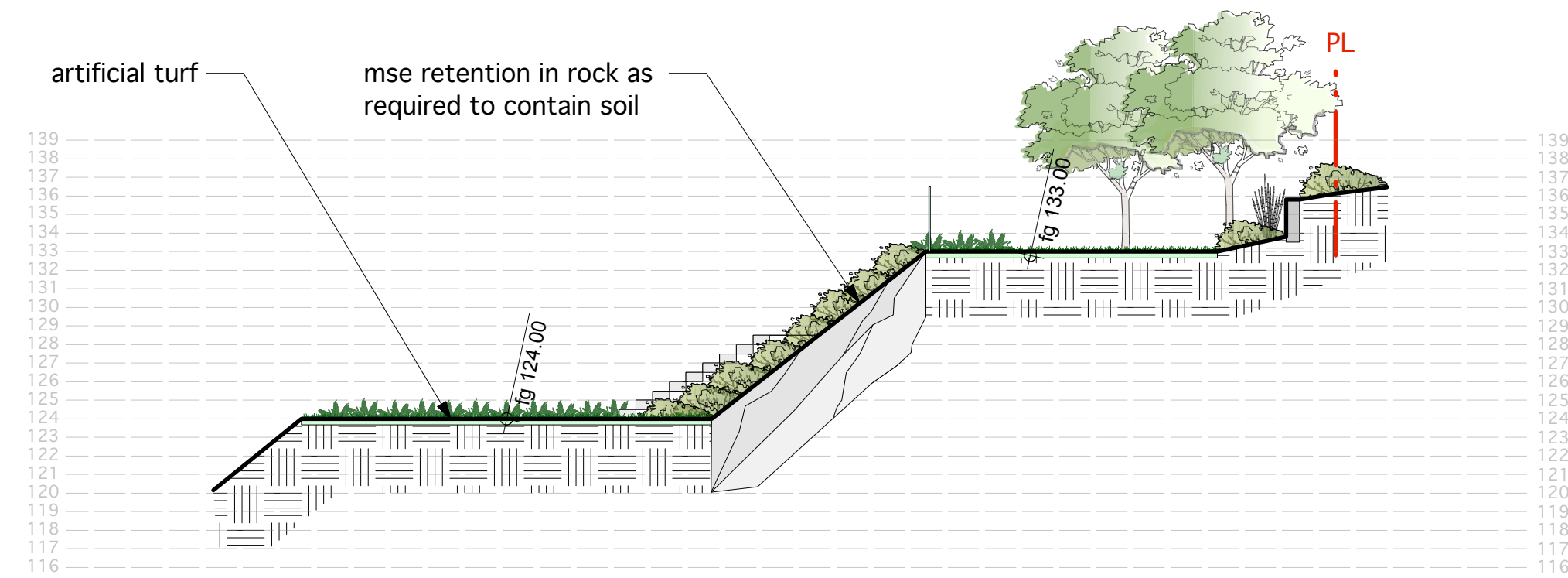
1 backyard patio section
Scale: 1/8" = 1'-0"



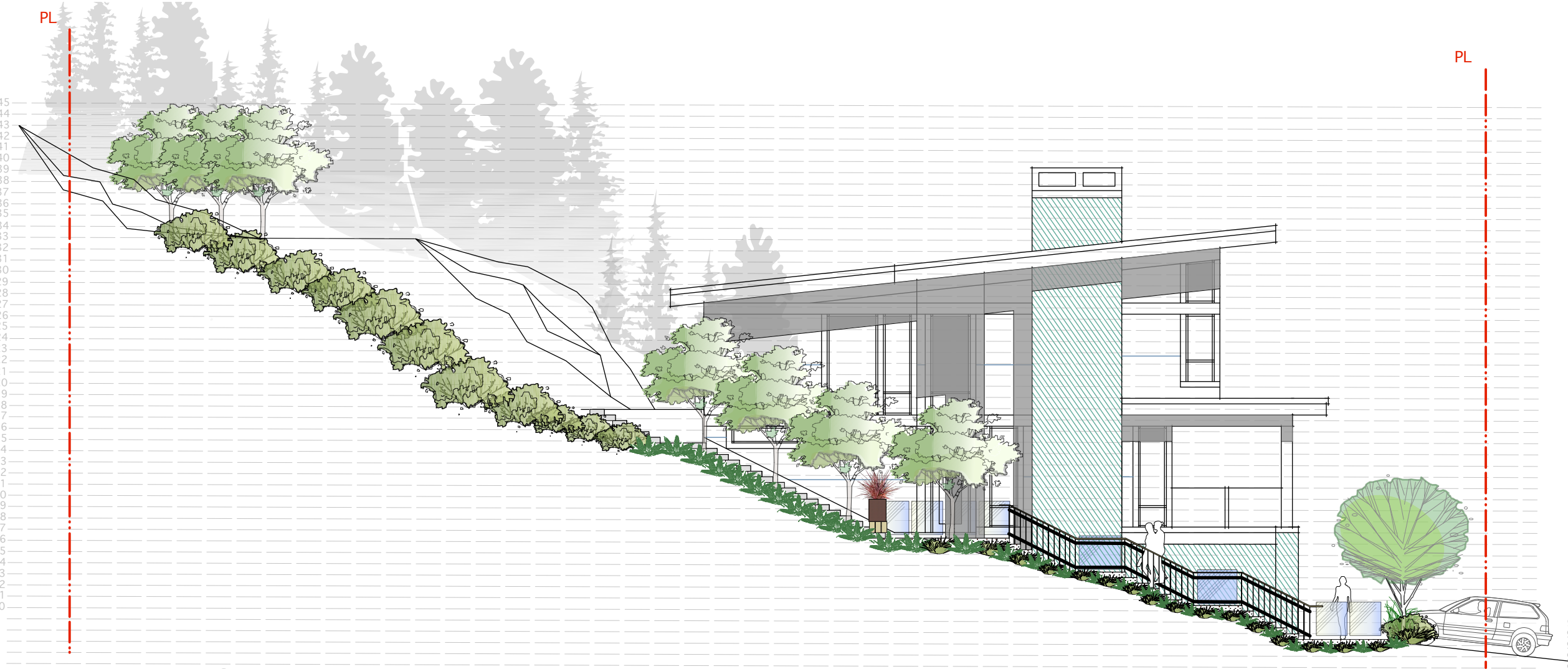
4 South Elevation
Scale: 3/32" = 1'-0"



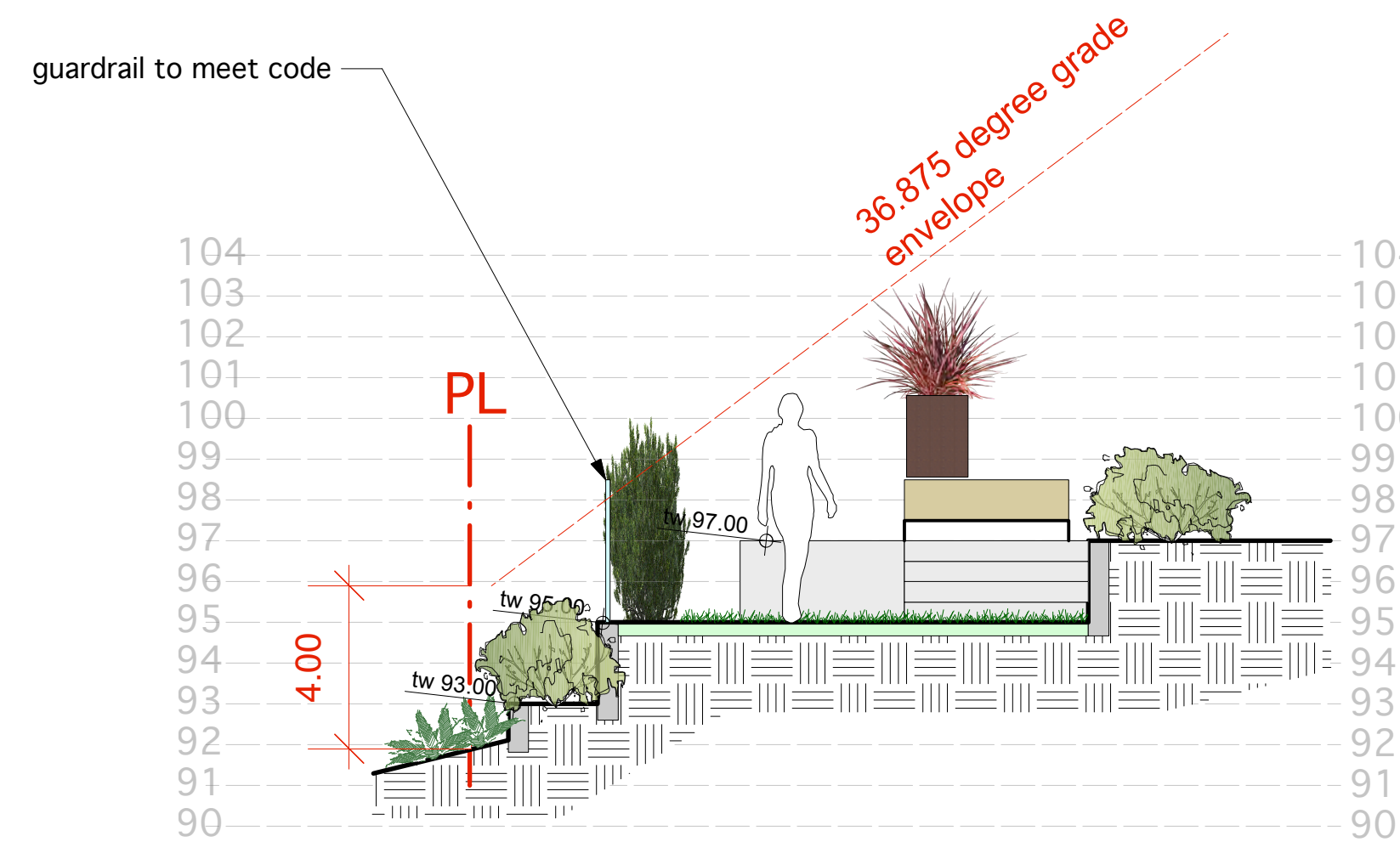
0 key plan
Scale: 1:300



2 backyard lawn area section
Scale: 1/8" = 1'-0"



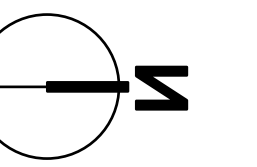
5 West Elevation
Scale: 3/32" = 1'-0"



3 front yard section
Scale: 1/4" = 1'-0"



6 East Elevation
Scale: 3/32" = 1'-0"



Revisions:

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1. per Committee comments - August 06, 2021

Consultants:

Project:

4841 The Dale - Caulfield, DWV
West Vancouver, BC

Title:

Sections & Elevations

Drawn: BH
Checked: BH
Date: Mar 2017
Scale: As Noted.

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