



DESIGNER IMPRESSION ONLY

LIU RESIDENCE

BUILDING PERMIT PLANS 835 ANDOVER CRESCENT, WEST VANCOUVER, BC



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Vancouver, BC, V6P 6G2
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IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, GEOTECHNICAL, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF BCBC2018
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEER'S DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS* CONFIRM ON SITE
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- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS
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WINDOWS AND DOORS REQUIREMENTS:

ANY WINDOW, DOOR AND SKYLIGHT INSTALLED AFTER DEC 19 2013 MUST CONFORM TO AMMA/WDMACSA 101 1.5.2/A440-08 NAVS- NORTH AMERICAN FENESTRATION STANDARDS/ SPECIFICATION FOR WINDOWS, DOORS AND SKYLIGHTS AND A440-09 CANADIAN SUPPLEMENT TO AMMA/WDMACSA 101 1.5.2/A440 NAVS

ALL NEW WINDOWS, DOORS, AND SKYLIGHTS SHALL CONFORM TO AMMA/WDMACSA101.1.5.2/A440 NAVS, TYPICAL, AND, CONFORM TO BCBC 9.7.5.2 (1)-(9) (Resistance to Forced Entry for Swing Doors), 9.7.5.3 (Windows) and 9.7.5.4 (Skylights). SLEIGHT OF THE ENTRY DOOR AND DECK DOOR, WINDOWS WITHIN 3' FROM DOOR SHALL BE GLAZED WITH TEMPERED, LAMINATED, OR WIRED SAFETY GLASS AS PER BCBC 9.6.1.4.(1). OPENABLE WINDOWS SHALL BE DESIGNED IN ACCORDANCE WITH BCBC 9.8.8.1.(5) OR BE PROTECTED A GUARD OR RESTRICT OPENINGS PER BCBC 9.8.8.1.(6). GLAZING INSTALLED OVER STAIRS AND LANDINGS THAT EXTENDS TO LESS THAN 2'00" ABOVE THE SURFACE OF THE TREADS OR LANDINGS SHALL BE PROTECTED IN ACCORDANCE WITH BCBC 9.8.8.1.(7). PROVIDE STATEMENT OF COMPLIANCE WITH BCBC 9.7.5.2 (RESISTANCE TO FORCED ENTRY FOR SWING DOORS), 9.7.5.3 (WINDOWS).

ALL DWELLING UNITS SHALL COMPLY WITH BCBC 3.8.5 WINDOWS & DOORS IN FIRE SEPARATION TO BE DESIGNED AS CLOSURES WITH MIN. 45MIN F.P.R. RATING PER 9.10.13.1. DOOR IN FIRE SEPARATION TO HAVE A LATCH AND SELF-CLOSING DEVICE PER 9.10.13.9 & 9.10.13.10.

PROJECT DESCRIPTION:

RENOVATION OF THE EXISTING SINGLE FAMILY DWELLING WITH AN ADDITION ON THE UPPER FLOOR.

CIVIC: 835 ANDOVER CRESCENT, WEST VANCOUVER
LEGAL PLAN OF LOT 23, BLOCK 38, CAPLANO ESTATES AND EXTENSIONS NO.2, PLAN 5994
PID: 009-675-345
SITE AREA: 15,470.5 SQ.FT.
ZONE: RS3

WORK INCLUDES, BUT IS NOT LIMITED TO: RECONFIGURE BASEMENT, MAIN & UPPER FLOORS, AND AN ADDITION OF THE UPPER FLOOR.

PROJECT CONSULTANTS

DESIGNED BY: KERR DESIGN BUILD
1676 W 75th Ave, Vancouver, BC, V6P 6G2

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WEBSITE: www.kerrdesignbuild.ca

ENGINEERING:

FNG STRUCTURAL ENGINEERING INC.
304-2488 Kelly Ave, Port Coquitlam, BC V3C 1Y4

CONTACT: William Guo
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EMAIL: admin@hmsurveys.com

WEBSITE: www.kerrdesignbuild.ca

SITE SUMMARY - ZONING REVIEW

RS3- 835 Andover Crescent, West Vancouver

WEST VANCOUVER ZONING BYLAW 662, 2010	LOT SIZE	15470.5
Min site frontage 7.3m = 23.95'	LOT WIDTH	132.27
	LOT DEPTH	144

DENSITY AND FLOOR AREA (FSR)	%	PERMITTED	EXISTING	PROPOSED	Comments
Overall 0.3 or a max of 585.4 m ² (6296.8 SQ.FT.)	.30	4641	Ex Basement 1695 Ex Main 1851 Ex Upper 704 Garage 30	1695 1896 1597 30	Existing area to Remain Unchanged Request Relaxation - Front covered Porch Request Relaxation - Front Balcony Area Mt from the 441 excluded (471-441)
			TOTAL:	4280	5218

Bylaw # 5230 PARTIALLY UNDERGROUND BASEMENT EXCLUSION	1174.04			1174.04	Refer to BP2 for area calculation
TOTAL PROPOSED AREA AFTER EXCLUSIONS (5218 - 1174.04)			TOTAL:	4043.96	Refer to BP2 for area calculation

MAX BUILDING HEIGHT - 7.62m (25FT)	PERMITTED	EXISTING	PROPOSED	Comments
	25	26.21	24.72	Proposed Upper Floor addition under Max. height Existing non conforming to remain unchanged

Highest Building Face 6.7m (22 FT)	PERMITTED	EXISTING	PROPOSED	Comments
	22	26.21	22	Proposed Upper Floor addition under Building Face Existing non conforming to remain unchanged

SIDE YARDS	PERMITTED	EXISTING	PROPOSED	Comments
MINIMUM FRONT YARD DEPTH	29.86	28.6	24.1	Request Relaxation - Front covered Porch
COMBINED SIDE YARD WIDTH (25% WIDTH 3M TO 18.2M)	33.07	30.9	30.9	To Remain Unchanged
CORNER FLANKING SIDE YARD	29.86	21.8	21.8	To Remain Unchanged
MINIMUM REAR YARD DEPTH	29.86	83.8	83.8	To Remain Unchanged

Section 110. MAXIMUM SITE COVERAGE FOR ALL BUILDINGS	30	4641	2632.99	2319.19	Back yard covered Deck Removed
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MAX. AREA OF IMPERMEABLE MATERIALS (Bylaw #5122 and #5230)	PERMITTED	EXISTING	PROPOSED	Comments
	50	7735.2	2161.22	

4.2.2 FSR EXCLUSIONS	PERMITTED	EXISTING	PROPOSED	Comments
Bylaw 130.08 (3)(a) GARAGE	441	471	441	Extra area placed in FSR (+30 sq.ft.)
FRONT COVERED PORCH			271	
UNCOVERED BALCONY			289	
OVERALL TOTAL:			1001	

Notes:
Unless otherwise noted, all numbers & calculations are in sq.ft



KERR CONSTRUCTION
We hereby certify that the current drawings have been explained in detail and are correct to our satisfaction, & agree that the project is ready to proceed to the next stage

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

REV	DATE	ISSUED FOR CONTRACT TRIFECTA	XJ
1	Feb. 06/25	Issued for Contract Trifecta	XJ

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
TITLE SHEET

Date: **Feb. 06/25**
Scale: @ 36" W x 24" H Sheet
1 : 100

Drawn: **Author**
Project no: **D487**

Current revision: **1**

Sheet No: **BP0**

LEGEND - SITE PLAN

BE BUILDING DEVELOPE	REMOVE EXISTING TREE, REFER REPORT FOR DETAILS
CLD CLADDING	EXISTING TREE TO REMAIN, REFER ARBORIST REPORT FOR DETAILS
CRZ CRITICAL ROOT ZONE	EXISTING STREET LAMP
COS CONFIRM ON SITE	EXISTING POWER POLE
(D) DECIDUOUS TREE - REFER SURVEY	SITE LEVELS IN DECIMAL FEET - REFER SURVEY
EL EXISTING SPOT LEVEL/GRADE	EXISTING WATER LINE
EX EXISTING	EXISTING SANITARY LINE
FX FINISHED GRADE SPOT LEVEL FOUNDATION	EXISTING STORM LINE
IP FRONT YARD SETBACK	EXISTING EASEMENT, RIGHT OF WAY
IRN IRON POST, REFER SURVEY	EXISTING FENCE
MB METER BOX	APPROX. EXISTING GAS, CONFIRM WITH FORTIS BC
MH MAN HOLE	PROPOSED SUB-DIVISION LINE
RES REQUIRED	IDENTIFIED TRIGGER POINT, REFER ARBORIST REPORT FOR DETAILS
RET RETAINING WALL	
RYSB REAR YARD SETBACK	
SF SQUARE FOOTAGE	
SYSB SIDE YARD SETBACK	
TPB TREE PROTECTION BARRIER	
WW WATER VALVE	

LEGEND - FINISHES ABBREVIATIONS

AS ASBESTOS SHEETING	FOR FURTHER INFORMATION REFER SPECIFICATION
BB BASEBOARDS	AS BACKSPLASH (X-NUMBER)
BS(C) BATHROOM CABINETS	BB BASEBOARD HEATING
CT(X) COUNTER TOP (X-NUMBER)	BS(C) BACKSPLASH (X-NUMBER)
DR DRAWER	CB CABINETS REFER MANUFACTURER'S DETAILS
DW DOWNSHOWER FOLD DOWN DRAWER	CT(X) COUNTER TOP (X-NUMBER)
EQ EQUAL DISTANCE	DR DRAWER
FX FIXED GLAZING	DW DOWNSHOWER FOLD DOWN DRAWER
HTR HAND TOWEL RING	EQ EQUAL DISTANCE
HD CABINETRY HANDLE/ HAND PULL	FX FIXED GLAZING
HK HOOK, SUGGESTED LOCATION, TBD	HTR HAND TOWEL RING
KB KEYBOARD	HD CABINETRY HANDLE/ HAND PULL
KL KEYS OR COMBINATION LOCK, TBD	HK HOOK, SUGGESTED LOCATION, TBD
KL KEYS OR COMBINATION LOCK, TBD	KB KEYBOARD
OP OPENABLE	KL KEYS OR COMBINATION LOCK, TBD
PT PAINT (X-NUMBER)	OP OPENABLE
CL CLOTHES RAIL	PT PAINT (X-NUMBER)
SB SHOWER BAR/COLUMN	CL CLOTHES RAIL
SDR STORAGE DRAWER	SB SHOWER BAR/COLUMN
SG SAFETY GLASS	SDR STORAGE DRAWER
SW SWING DOOR SWITCH	SG SAFETY GLASS
TL TRACK LIGHTING	SW SWING DOOR SWITCH
TRX TRAY (X-NUMBER)	TL TRACK LIGHTING
TRX TRAY (X-NUMBER)	TRX TRAY (X-NUMBER)
UMS UNDER MOUNT SINK	TRX TRAY (X-NUMBER)
UMS UNDER MOUNT SINK	UMS UNDER MOUNT SINK

DRAWING LIST

Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
BP0	TITLE SHEET	1	Feb. 06/25	Issued for Contract Trifecta
BP1	SITE PLAN - EXISTING	1	Feb. 06/25	Issued for Contract Trifecta
BP2	SITE PLAN - PROPOSED	9	Mar 26/25	Relaxation Update
BP3	SURVEY - EXISTING	1	Feb. 06/25	Issued for Contract Trifecta
BP4	LANDSCAPE PLAN	1	Feb. 06/25	Issued for Contract Trifecta
BP5	BASEMENT FLOOR PLAN - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP6	MAIN FLOOR PLAN - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP7	UPPER FLOOR PLAN - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP8	ROOF PLAN - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP9	ELEVATIONS - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP10	ELEVATIONS - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP11	ELEVATIONS - EX/DEMO & PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP12	WINDOW SCHEDULE	1	Feb. 06/25	Issued for Contract Trifecta
BP13	SECTIONS - PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP14	SECTIONS, DETAILS & ASSEMBLIES	1	Feb. 06/25	Issued for Contract Trifecta
BP15	SECTIONS - DRIVEWAY	1	Feb. 06/25	Issued for Contract Trifecta
BP16	RCP - PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP17	RCP - PROPOSED	1	Feb. 06/25	Issued for Contract Trifecta
BP18	RENDERS	1	Feb. 06/25	Issued for Contract Trifecta
BP19	SECTIONS - LOT LINE	1	Feb. 06/25	Issued for Contract Trifecta

LEGEND - DEMOLITION PLAN

EXISTING WALL TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION	EXISTING FRAMED WALL TO REMAIN, COS
EXISTING WALL STRUCTURE AND ALL ASSOCIATED FIXINGS TO BE FULLY DEMOLISHED AND REMOVED AND SALVAGED WHERE POSSIBLE & PREPARED FOR PROPOSED WORKS	NEW FRAMED WALL - REFER TO ENGINEERS DRAWINGS
DEMOLISH AND REMOVE PART FLOOR, WALL OR ROOF & ALL ASSOCIATED FIXINGS	NEW SHEAR WALL - REFER TO ENGINEERS DRAWINGS
EXISTING ITEM TO BE DEMOLISHED AND REMOVED, ALLOW FOR NEW PROPOSED WORKS.	WHERE DIMENSIONS ARE NOTED WITH C.O.S THIS INDICATES THE DIMENSIONED VALUE IS TO BE CONFIRMED ON SITE AND REPORTED FOR ANY DISCREPANCIES
EXISTING WALL STRUCTURE/ITEM SHOWN AS PER CITY ARCHIVE DRAWINGS	EXISTING WINDOW, FRAME & TRIM TO REMAIN AND PROTECT FROM DAMAGE, ALLOW TO PREPARE FOR NEW PROPOSED WORKS.
EXISTING DOOR TO BE REMOVED AND SALVAGE AS MUCH AS POSSIBLE AND ALLOW TO PREPARE FOR PROPOSED WORKS.	EXISTING WINDOW, FRAME & TRIM TO REMAIN AND PROTECT FROM DAMAGE, ALLOW TO PREPARE FOR NEW PROPOSED WORKS.
EXISTING WINDOW TO BE REMOVED AND SALVAGE AS MUCH AS POSSIBLE AND ALLOW TO PREPARE FOR PROPOSED WORKS.	DOOR NUMBER, REFER SCHEDULE
WHERE DIMENSIONS ARE NOTED WITH C.O.S THIS INDICATES THE DIMENSIONED VALUE IS TO BE CONFIRMED ON SITE AND REPORTED FOR ANY DISCREPANCIES	WINDOW NUMBER, REFER SCHEDULE
	W-WINDOW & FLOOR LEVEL
	CENTER LINE FOR WALLS & PLUMBING
	FFL 40.10 DENOTES FINISHED FLOOR LEVEL refer survey details
	DEMO DEMO WINDOW/DOOR
	NEW NEW WINDOW/DOOR
	RELOCATE RETAIN EXISTING & RELOCATE

LEGEND - HATCHES

CONCRETE (CONC.)	APPROVED HARD WIRED SMOKE DETECTOR/COMBINATION CARBON MONOXIDE DETECTOR
HARDCAPE CONCRETE/ TILE PAVING	STEEL POST, REFER ENG. DETAILS
CARPET (CPT)	STRUCTURAL BEAM, REFER ENG. DETAILS
WOOD FLOORING (X-NUMBER)	WHERE DIMENSIONS ARE NOTED WITH (COS) THIS INDICATES THE DIMENSIONED VALUE IS TO BE CONFIRMED ON SITE AND REPORTED FOR ANY DISCREPANCIES
TILES (TLX)	CONCRETE (CONC.)
EARTH/GROUND	HARDCAPE CONCRETE/ TILE PAVING
RIGID INSULATION	CARPET (CPT)
BRICK SECTION	WOOD FLOORING (X-NUMBER)
FLYWOOD	TILES (TLX)
ALUMINIUM	EARTH/GROUND
WOOD SECTION	RIGID INSULATION
	BRICK SECTION
	FLYWOOD
	ALUMINIUM
	WOOD SECTION

LEGEND - SERVICES

AF(X)* ABOVE FLOOR (X - HEIGHT DIMENSION INCHES)	KEYED LOCK, DEAD OR COMBINATION, TBD
REC POP UP RECEPTICAL, RECESSED INTO EXISTING WINDOW SILL, TO FUTURE SELECTION	LOCKABLE DOOR
AB (X)* RECEPTICAL (PO - POWER OUTLET) AB - ABOVE BENCH (X - HEIGHT DIMENSION INCHES)	BASEBOARD HEATER
GFI (X)* GFI RECEPTICAL (COMPLIANT FOR WET AREA PROXIMITY, HEIGHT AS NOTED) (PO - POWER OUTLET)	TRACK LIGHTING, CEILING MOUNT
(L) SELECTED RECESSED LIGHT	WIRING
(P) SELECTED PENDANT FIXTURE	NEW LIGHT SWITCH (DIMM DIMMER SWITCH (DW) 2 WAY SWITCH
(F) SELECTED CEILING MOUNT FIXTURE	NUMBER OF SWITCHES
(FL) FAN & LIGHT	SS SURROUND SOUND WIRING HUB
(LD) ADJUSTABLE DIRECTIONAL LIGHT	SP SPEAKER
(EP) ELECTRICAL PANEL TO BE LOCATED AND CONFIRMED ON SITE	S EXHAUST MOTOR SENSOR, TBD
(T) THERMOSTAT	EX EXHAUST FAN TO REMAIN AND BE UPGRADED/RECONFIGURED AS REQD
(TO) TYPICAL OUTLET	FAN EX EXHAUST FAN TO BE DUCTED OUTSIDE
(DA) DATA OUTLET (CATEGORY 6)	GAS GAS LINE TO BE RECONFIG AS REQD
(IC) INTERCOM	FD FLOOR DRAIN, CONNECT TO SYSTEM
(S) SECURITY ALARM BOX	MVXER, CONTROL VALVE
	25MM Ø SOLAR PHOTOVOLTAIC PIPE RUN PER 10.2.2.19

LEGEND - GENERAL ABBREVIATIONS

AH AIR HANDLING UNIT	ACCESS HATCH
AC AIR CONDITIONING UNIT	AS ABOVE
BIB BATH	BB BASEBOARD HEATING
CH CHIMNEY	BS(C) BACKSPLASH (X-NUMBER)
COS CONFIRM ON SITE	CB CABINETS REFER MANUFACTURER'S DETAILS
DP DOWNPIPE	CT(X) COUNTER TOP (X-NUMBER)
DW DOWNSHOWER	DR DRAWER
EX EXISTING (CONFIRM ON SITE)	DW DOWNSHOWER FOLD DOWN DRAWER
FGL FINISH GRADE LINE	EQ EQUAL DISTANCE
FLOOR DRAIN	FX FIXED GLAZING
FIXED GLAZING	HTR HAND TOWEL RING
FIRE PLACE	HD CABINETRY HANDLE/ HAND PULL
HIGH POINT	HK HOOK, SUGGESTED LOCATION, TBD
HOT WATER SYSTEM	KB KEYBOARD
LP LOW POINT	KL KEYS OR COMBINATION LOCK, TBD
METER BOX	OP OPENABLE
MIX MIXING VALVE (DVERTER)	PT PAINT (X-NUMBER)
NATURAL GRADE LINE	CL CLOTHES RAIL
OPENABLE	SB SHOWER BAR/COLUMN
ELECTRICAL POWER OUTLET	SDR STORAGE DRAWER
FLOOR MOUNT RADIANT HEATERS	SG SAFETY GLASS
REF REFRIGERATOR	SW SWING DOOR SWITCH
REQUIRED	TL TRACK LIGHTING
SC SCREEN (GLASS)	TRX TRAY (X-NUMBER)
SMOKE DETECTOR/COMBINATION SAFETY GLASS	UMS UNDER MOUNT SINK
SHR SHOWER	
SL SLICING	
SR SHOWER ROSE	
ST STOVE	
TOILET	
TAP	
TYPICAL	
VANITY	
WASHER BOX	
WASHER/DRYER	

SPRINKLER TO ROOM/AREA, TBD
INTERIOR FAST-RESPONSE SPR HEAD WITHIN 1.5M OF THE OPENING, REFER ENG. DETAILS
DUCTWORK IN BULKHEAD, REFER MECH DETAILS
AIR VENT
DUCTWORK & DIRECTIONAL FLOW
PATH/DIRECTION OF TRAVEL
CENTRE LINE OF PLUMBING/ELECTRICAL DIMENSION SHOWN DIAGRAMMATICALLY ONLY. CONTRACTOR TO C.O.S.
DOWNPipe LOCATIONS, SHOWN AS INDICATIVE ONLY
NOTE: ALL EXISTING CONDITIONS ARE SHOWN APPROXIMATE ONLY, AND MUST BE CHECKED REFERENCED WITH ORIGINAL EXISTING CITY ARCHITECTURAL PLANS, AND VERIFY LOCATIONS OF ALL WALLS, WINDOWS, DOORS, ROOFS, UTILITIES AND UNKNOWN CONCEALED SPACES ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS, AND REPORT ANY DISCREPANCIES TO DESIGNER.
NOTE: IF SERVICES ITEM IS NOT SHOWN ON PLANS, THE ITEM & LOCATION IS CURRENTLY UNKNOWN AND STILL TO BE VERIFIED

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KERR CONSTRUCTION
BUILDING PERMIT PLANS

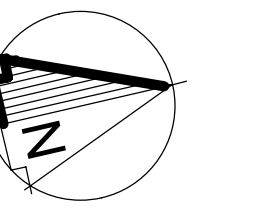
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RESIDENCE

KERR CONSTRUCTION

We hereby certify that the current drawings have been explained in detail, and are complete to our satisfaction, & agree that the project is ready to proceed to the next stage

signature(s)	initials	date
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CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
SITE PLAN - EXISTING

Date: **Feb. 06/25**

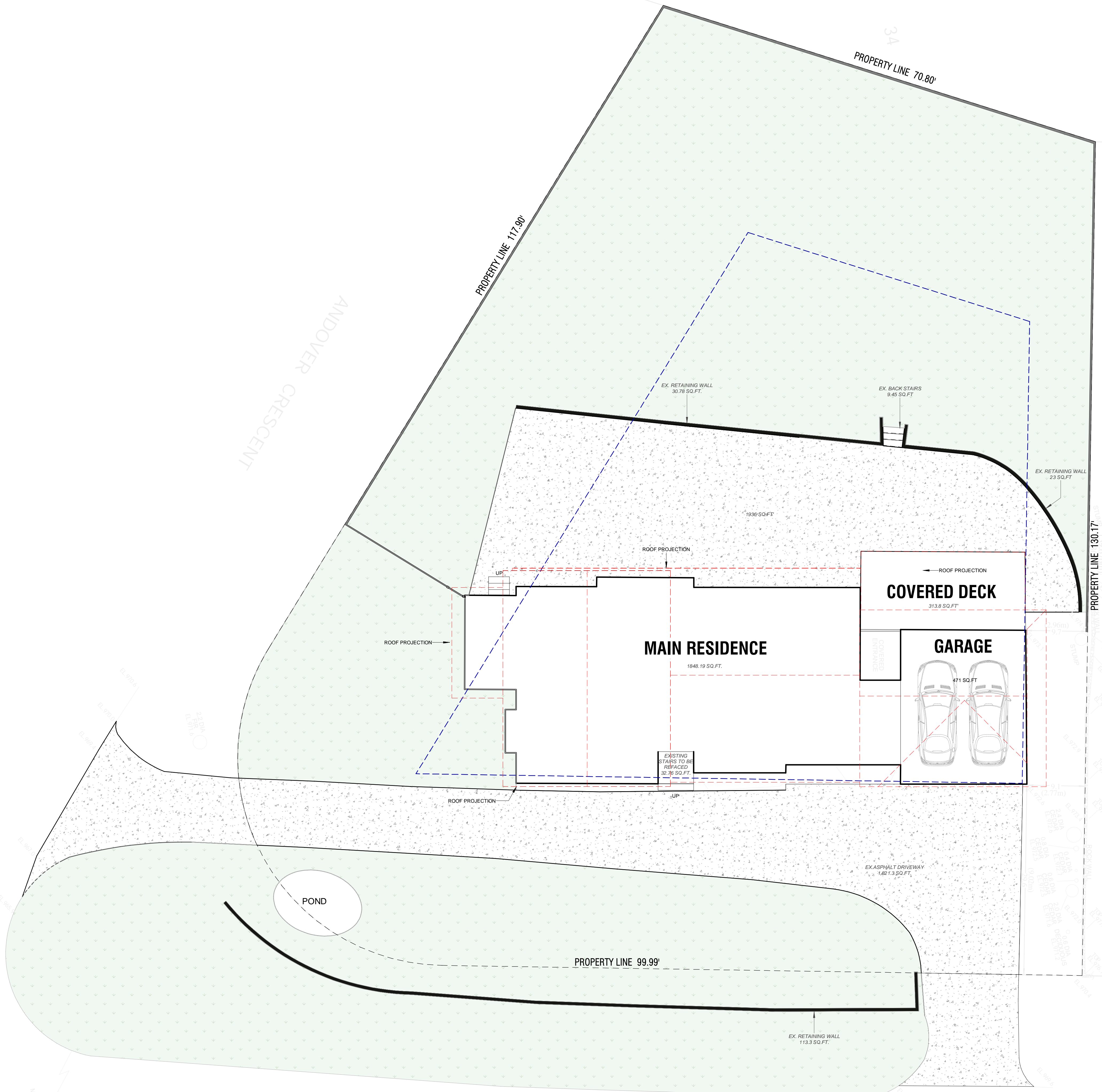
Scale: @ 36"W x 24"H Sheet 1/8" = 1'-0"

Drawn: **Author**

Project no: **D487**

Current revision: **1**

Sheet No: **BP1**



GARAGE EXCLUSIONS

AVERAGE GRADE	BASEMENT FLOOR ELEVATION	=	5.74
972.43	966.69		
MAIN FLOOR ELEVATION	BASEMENT FLOOR ELEVATION	=	8.5
975.19	966.69		

5.74/8.5 = 0.676 x 1694.45 = 1144.88

GOVERNS

BASEMENT AREA	1694.45	SQ.FT.
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BASEMENT EXCLUSION	1144.88	SQ.FT.
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OR

AVERAGE GRADE	MAIN FLOOR EL. (975.19-9.02)	=	6.26
972.43	966.17		
	9.02	=	9.02

6.26/9.02 = 0.694 x 1694.45 = 1176.56

WALL SECTION	LOWER OF FINISHED OR NATURAL AT WALL SECTION ENDPOINT	AVERAGE GRADE	LENGTH	AVERAGE GRADE X LENGTH	
1-2	971.7	972.3	972	8.1	7873.2
2-3	972.3	972.3	972.3	1.4	1361.22
3-4	972.4	971.5	971.95	1.3	1263.535
4-5	971.5	971.5	971.5	2.6	2525.9
5-6	971.5	971.5	971.5	10.9	10589.35
6-7	971.5	971.5	971.5	2.6	2525.9
7-8	972.3	971.5	971.9	0.4	388.76
8-9	971.5	971.5	971.5	1.5	1457.25
9-10	971.5	971.5	971.5	15.1	14669.65
10-11	971.5	971.5	971.5	1.5	1457.25
11-12	971.5	971.2	971.35	26	25255.1
12-13	971.2	971.2	971.2	6.5	6312.8
13-14	971.2	973.1	972.15	25.9	25178.685
14-15	973.1	972.6	972.85	24.2	23542.97
15-16	972.6	972.9	972.75	19.8	19260.45
16-17	972.9	972.6	972.75	3	2918.25
17-18	972.6	972.6	972.6	3.6	3501.36
18-19	972.6	972.6	972.6	3	2917.8
19-20	972.6	972.7	972.65	9.7	9434.705
20-21	972.7	972.7	972.7	3	2918.1
21-22	972.7	972.8	972.75	3.3	3210.075
22-23	972.8	972.8	972.8	1.3	1264.64
23-24	972.8	973.3	973.05	14.4	14011.92
24-25	973.3	975.1	974.2	3.3	3214.86
25-26	975.1	975.1	975.1	5.5	5363.05
26-27	975.1	973.3	974.2	5	4871
27-28	973.3	973.4	973.35	5.5	5353.425
28-29	973.4	973.5	973.45	3	2920.35
29-30	973.5	973.4	973.45	9.7	9442.465
30-31	973.4	973.4	973.4	3	2920.2
31-32	973.4	973	973.2	5.6	5449.92
32-33	973	972.3	972.65	4.8	4668.72
33-34	972.3	972.3	972.3	1.7	1652.91
34-35	972.3	971.8	972.05	6.8	6609.94
35-36	971.8	971.8	971.8	1.7	1652.06
36-37	971.8	971.8	971.8	3.1	3012.58
37-38	971.8	971.7	971.75	8.1	7871.175
38-1	971.7	971.7	971.7	14.7	14283.99
TOTAL LENGTH			224.7	SUM OF GRADES	218505.73
AVERAGE GRADE			972.43		

IMPERMEABLE FRONT YARD

LOCATION	ALLOWABLE	PROPOSED
Main Residence		24.40
Diveway		1898.7
Window Well Retaining Wall		10.46
Ex. Retaining Wall	50% of 15470.5	59.40
New Retaining Wall	=	22.00
Ex. Pond	7,735 SQ.FT.	110.00
Ex. Main entrance stairs		32.76
Front Porch columns		3.50
TOTAL		2161.22

SITE COVERAGE

LOCATION	EXISTING	PROPOSED
Main Residence	1848.19	1848.19
Attached Garage	471	471
Covered Deck	313.8	0.00
TOTAL	2632.99	2319.19



1 SITE PLAN
1/8" = 1'-0"

Kerr
DESIGN · BUILD

1676 West 75th Avenue,
Vancouver, BC, V6P 6G2
www.kerrdesignbuild.ca
Ph: 604.263.6943

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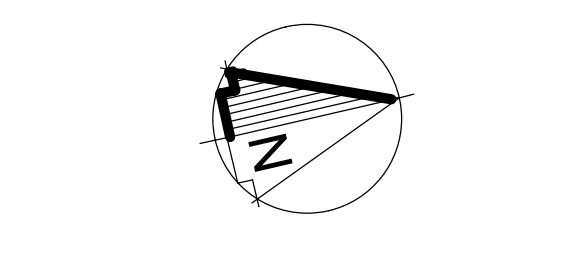
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signature(s) initials date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



9	Mar. 26/25	Relaxation Update	XJ
1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

Project:
835 ANDOVER CRESCENT, WEST VANCOUVER

Drawing:
SITE PLAN - PROPOSED

Date: Mar. 26/25
Scale: @ 36"W x 24"H Sheet
As indicated

Drawn: Author
Project no: D487
Current revision: 9

Sheet No: **BP2**

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Signature(s)	Initials	Date
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CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

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REV	DATE	DETAILS	INIT

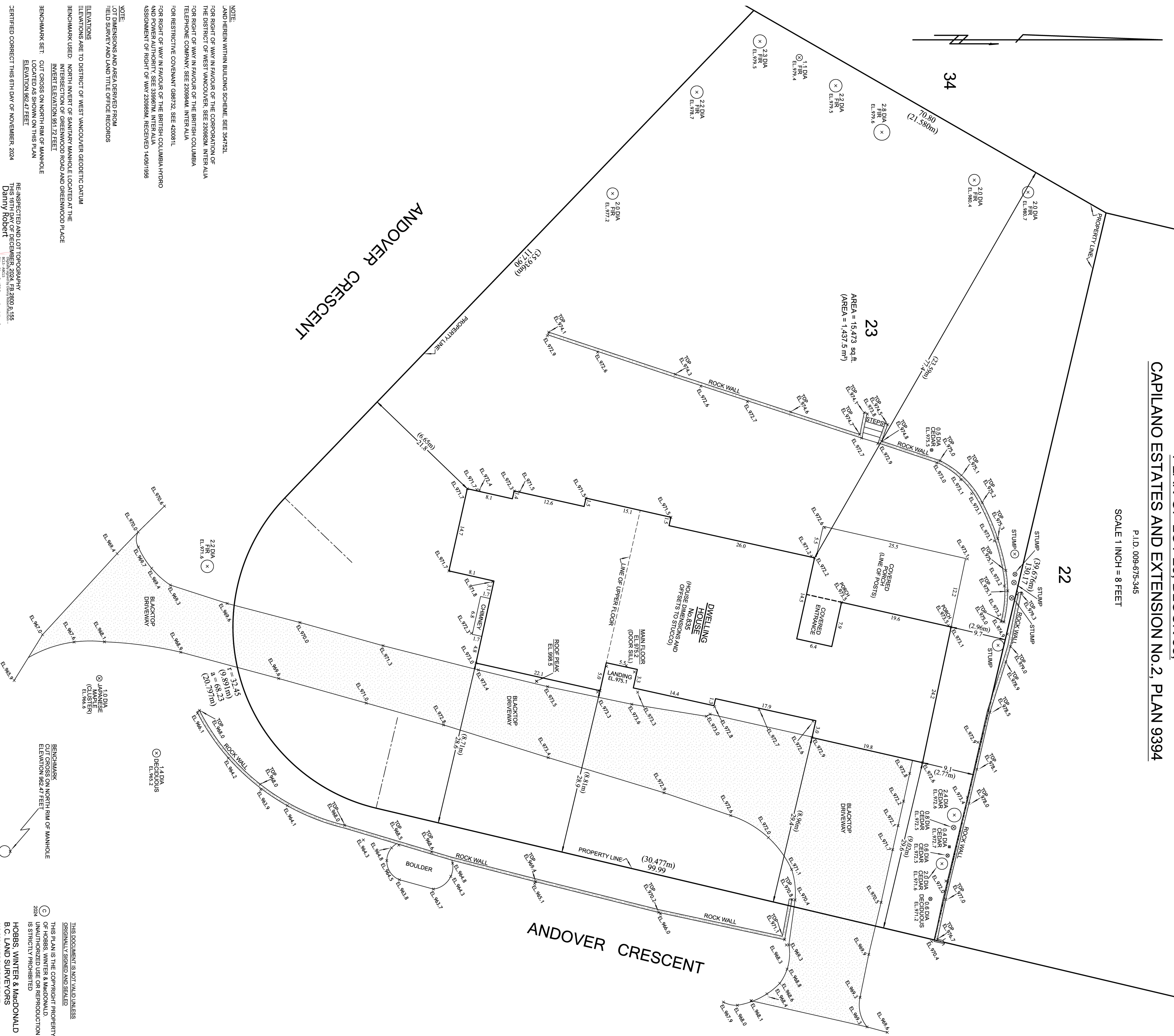
Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
SURVEY - EXISTING

Date:	Feb. 06/25
Scale:	@ 36"W x 24"H Sheet 1/8" = 1'-0"
Drawn:	Author
Project no:	D487
Current revision:	1
Sheet No:	BP3

**PLAN OF LOT 23, BLOCK 38,
CAPLANO ESTATES AND EXTENSION NO.2, PLAN 9394**

P.I.D. 009-675-345
SCALE 1 INCH = 8 FEET



NOTE:
LAND HEREIN WITHIN BUILDING SCHEME, SEE 964732L
FOR RIGHT OF WAY IN FAVOUR OF THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER, SEE 230982M, INTER ALIA
FOR RIGHT OF WAY IN FAVOUR OF THE BRITISH COLUMBIA TELEPHONE COMPANY, SEE 230989M, INTER ALIA
FOR RESTRICTIVE COVENANT 698792, SEE 428881L
FOR RIGHT OF WAY IN FAVOUR OF THE BRITISH COLUMBIA HYDRO AND POWER AUTHORITY, SEE 339987M, INTER ALIA
ASSIGNMENT OF RIGHT OF WAY 230989M, RECEIVED 1408/1998

NOTE:
LOT DIMENSIONS AND AREA DERIVED FROM FIELD SURVEY AND LAND TITLE OFFICE RECORDS

ELEVATIONS ARE TO DISTRICT OF WEST VANCOUVER GEODETIC DATUM

BENCHMARK USED: NORTH INVERT OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF GREENWOOD ROAD AND GREENWOOD PLACE INVERT ELEVATION 961.72 FEET

BENCHMARK SET: CUT CROSS ON NORTH RIM OF MANHOLE LOCATED AS SHOWN ON THIS PLAN ELEVATION 962.47 FEET

CERTIFIED CORRECT THIS 6TH DAY OF NOVEMBER, 2024

RE-INSPECTED AND LOT TOPOGRAPHY THIS 16TH DAY OF DECEMBER, 2024, FB, 2800 A, 155
Danny Robert
Machon -- BCL.S
ABCL.S
DNM

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALY SIGNED AND SEALED
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HOBBS, WINTER & MACDONALD
B.C. LAND SURVEYORS
113-828 HARBOURSIDE DRIVE,
NORTH VANCOUVER, B.C. V7P 3R9
TEL: 604-988-1371 FAX: 604-988-5204
EMAIL: dnm@hwsurveyors.com

835 ANDOVER CRESCENT
FB 3025 FB 62-79 MC368-164 WV SM

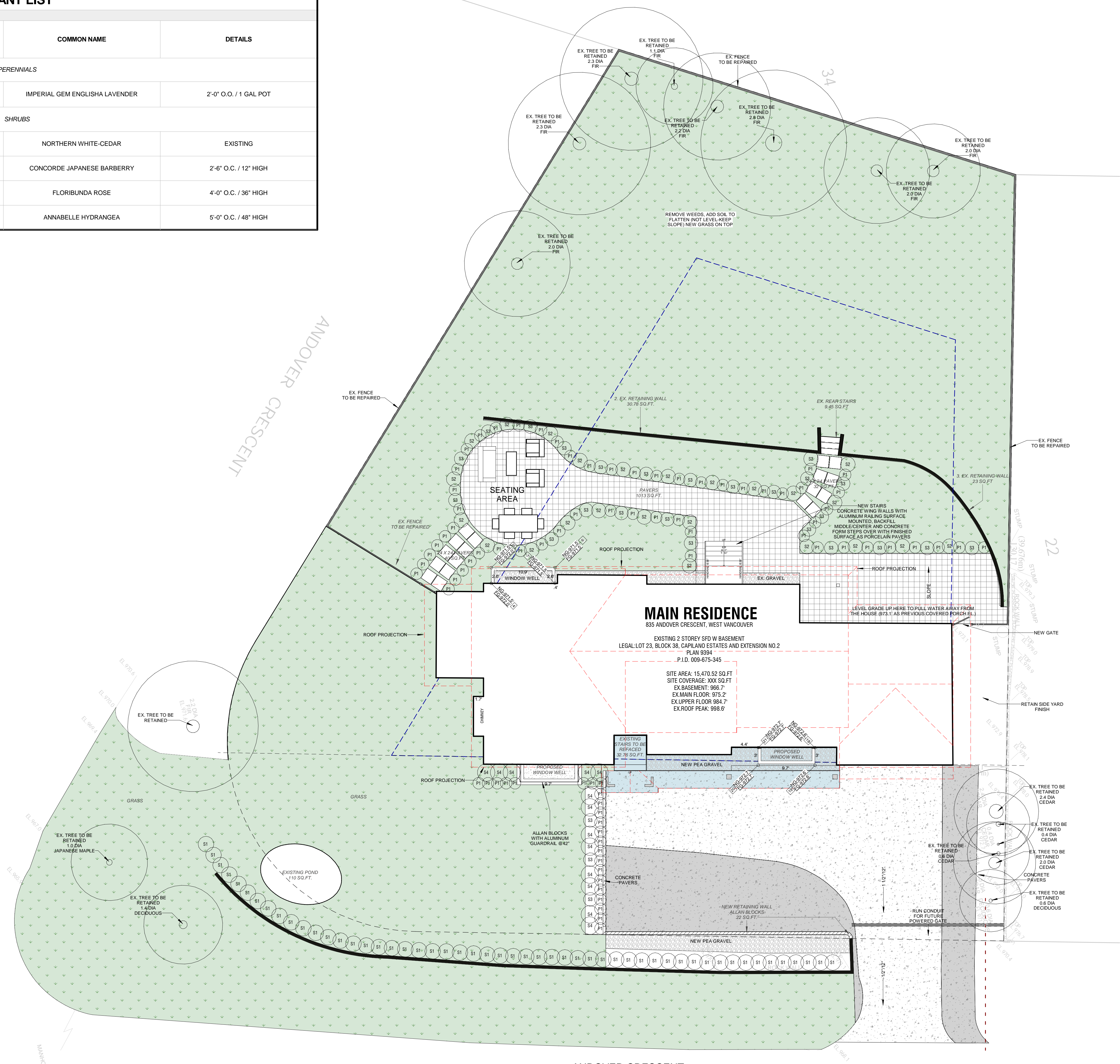
B.C.L.S.
B.C.L.S.

PLANT LIST

CODE	QTY	BOTANICAL NAME	COMMON NAME	DETAILS
<i>PERENNIALS</i>				
P1	80	LAVENDULA ANGUSTIFOLIA	IMPERIAL GEM ENGLISH LAVENDER	2'-0" O.O. / 1 GAL POT
<i>SHRUBS</i>				
S1	52	THUJA OCCIDENTALIS	NORTHERN WHITE-CEDAR	EXISTING
S2	25	BERBERIS THUNBERGII	CONCORDE JAPANESE BARBERRY	2'-6" O.C. / 12" HIGH
S3	26	FLORIBUNDA ROSE LAVAGLUT	FLORIBUNDA ROSE	4'-0" O.C. / 36" HIGH
S4	13	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	5'-0" O.C. / 48" HIGH

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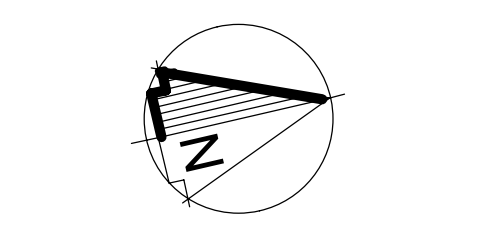
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Signature: _____ Initials: _____ Date: _____

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT
Project: 835 ANDOVER CRESCENT, WEST VANCOUVER			
Drawing: LANDSCAPE PLAN			
Date:	Feb. 06/25		
Scale:	@ 36"W x 24"H Sheet 1/8" = 1'-0"		
Drawn:	Author		
Project no:	D487		
Current revision:	1		
Sheet No:	BP4		

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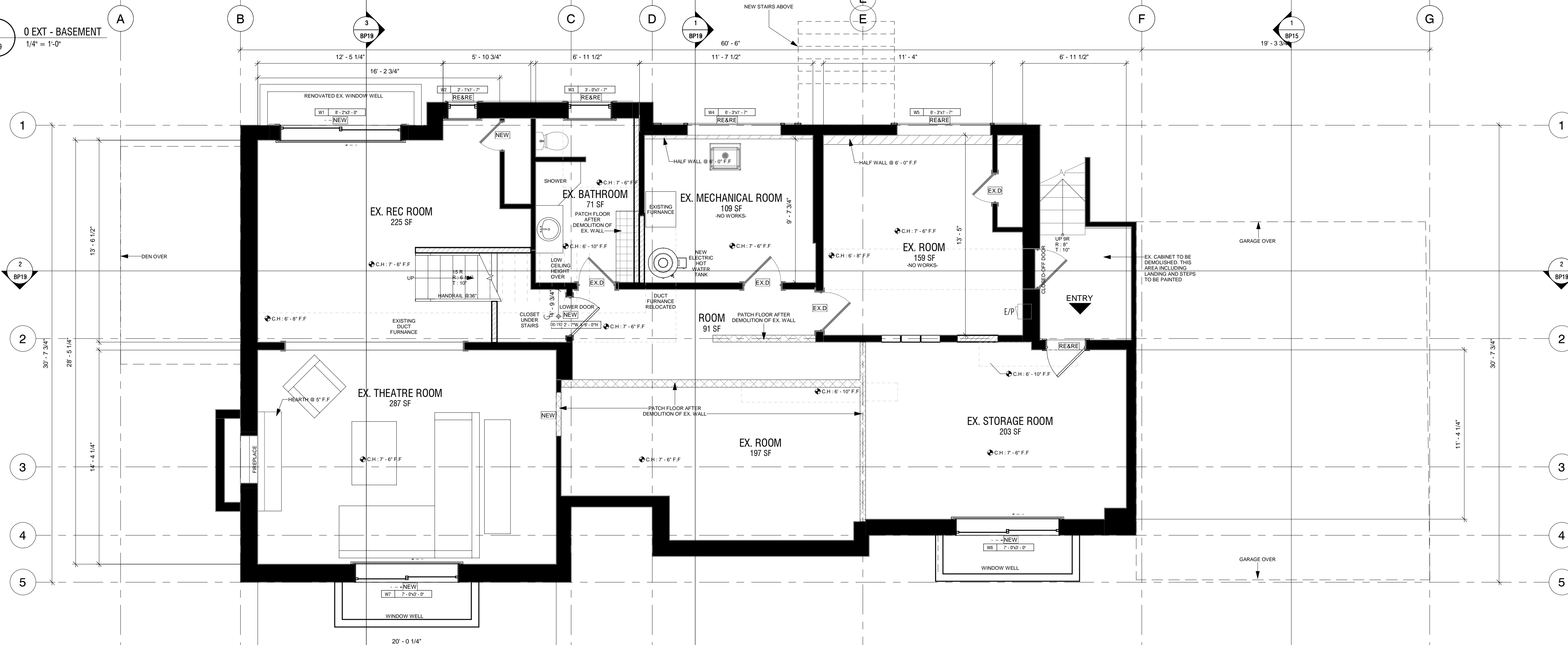
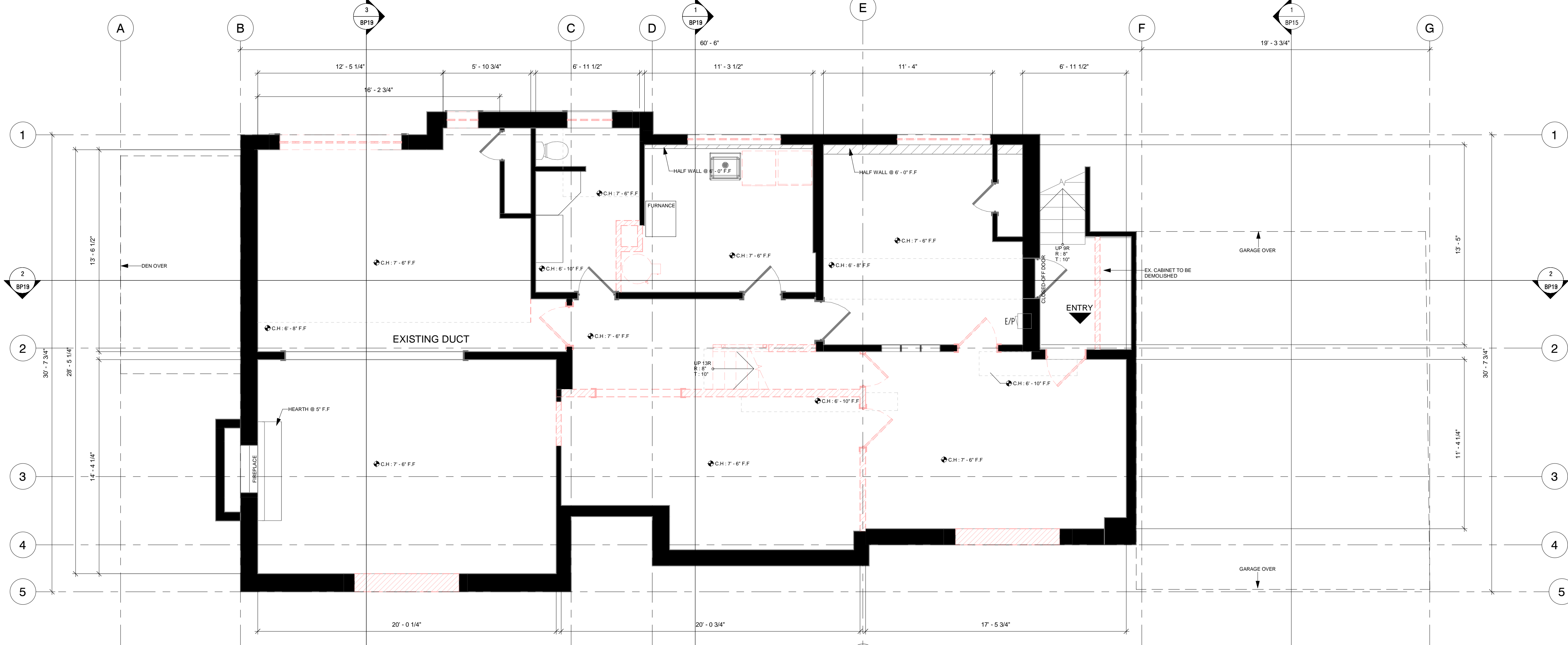
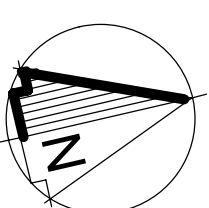
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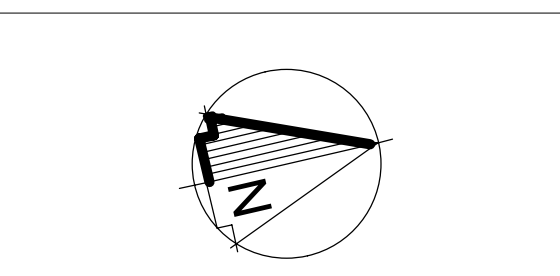
CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



1	REV	DATE	Issued for Contract Trifecta	XJ
			DETAILS	INIT
Project: 835 ANDOVER CRESCENT, WEST VANCOUVER				
Drawing: BASEMENT FLOOR PLAN - EX/DEMO & PROPOSED				
Date:	Feb. 06/25			Author
Scale:	@ 36"W x 24"H Sheet			1/4" = 1'-0"
Drawn:				D487
Project no:				1
Current revision:				
Sheet No:				BP5

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REV	DATE	ISSUED FOR	INIT
1	Feb. 06/25	Issued for Contract Trifecta	XJ
		DETAILS	INIT

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
**MAIN FLOOR PLAN - EX/DEMO
& PROPOSED**

Date: Feb. 06/25

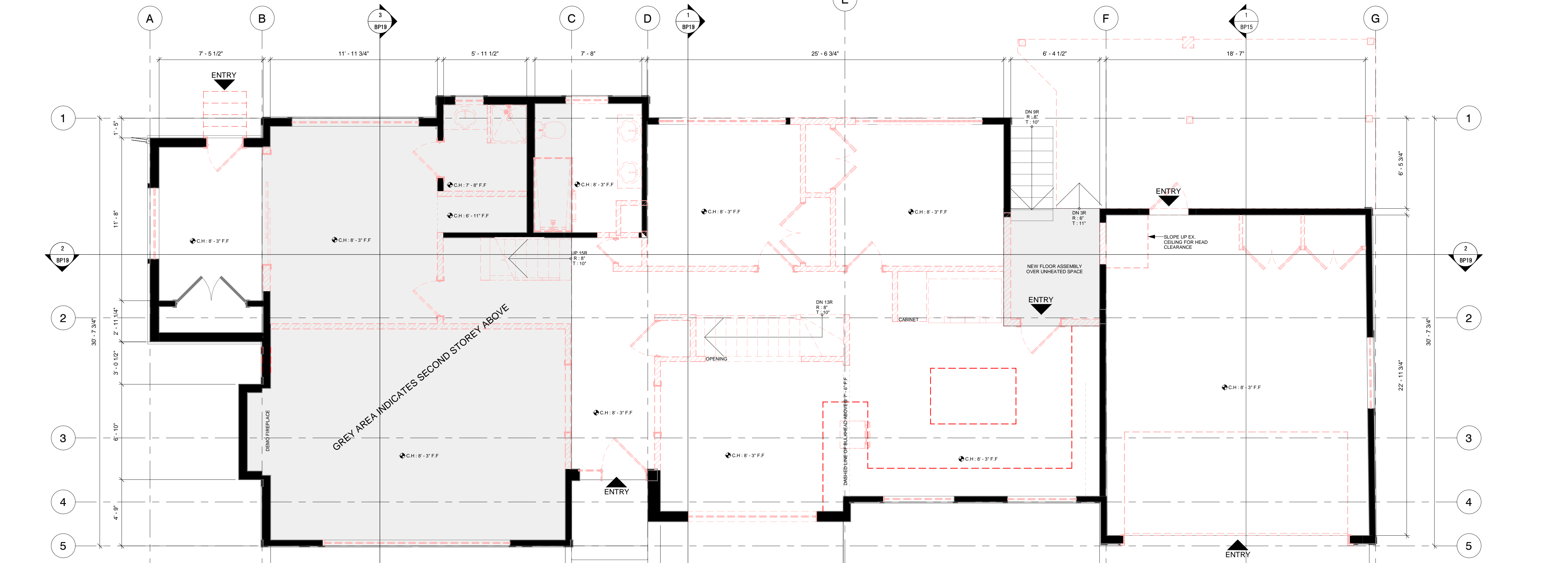
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Drawn: Author

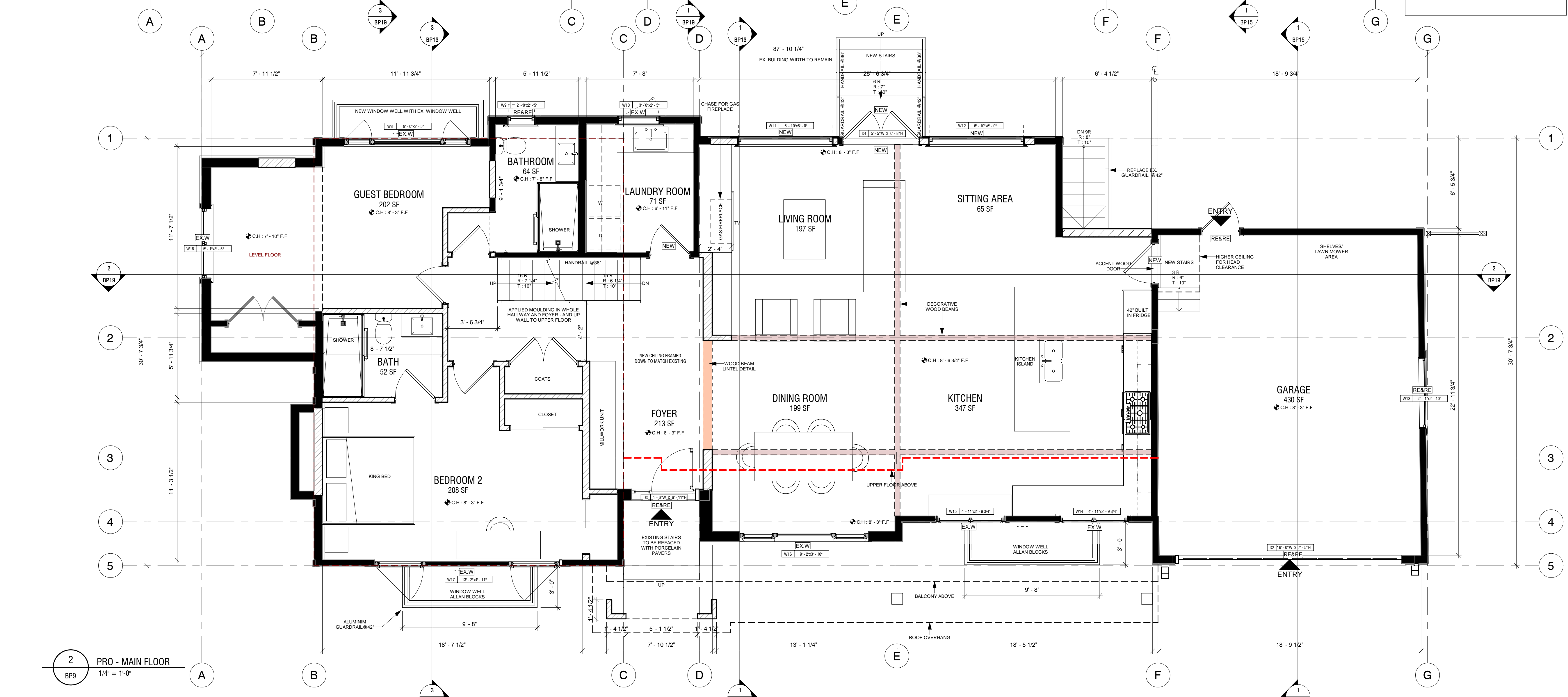
Project no: D487

Current revision: 1

Sheet No: **BP6**



1 EXT - MAIN FLOOR
1/4" = 1'-0"



2 PRO - MAIN FLOOR
1/4" = 1'-0"

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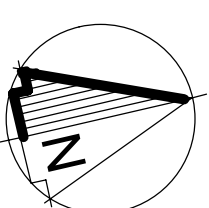
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Signature: _____ Initials: _____ Date: _____

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

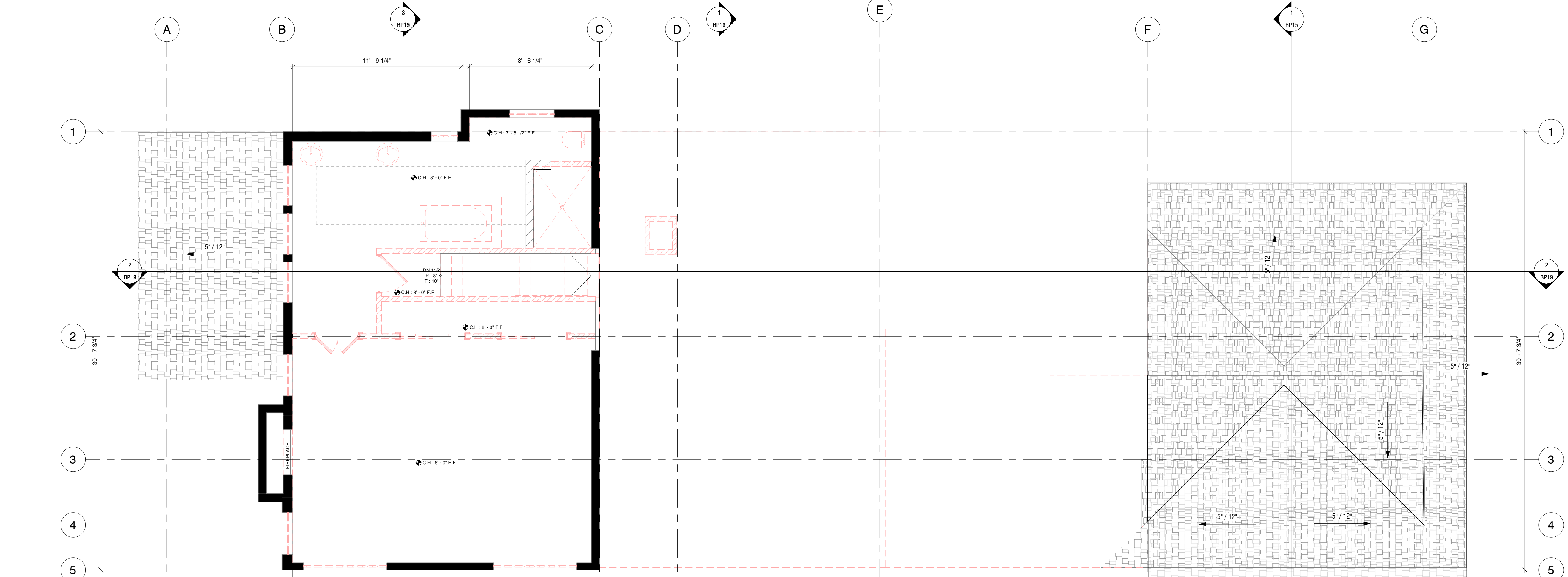


1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

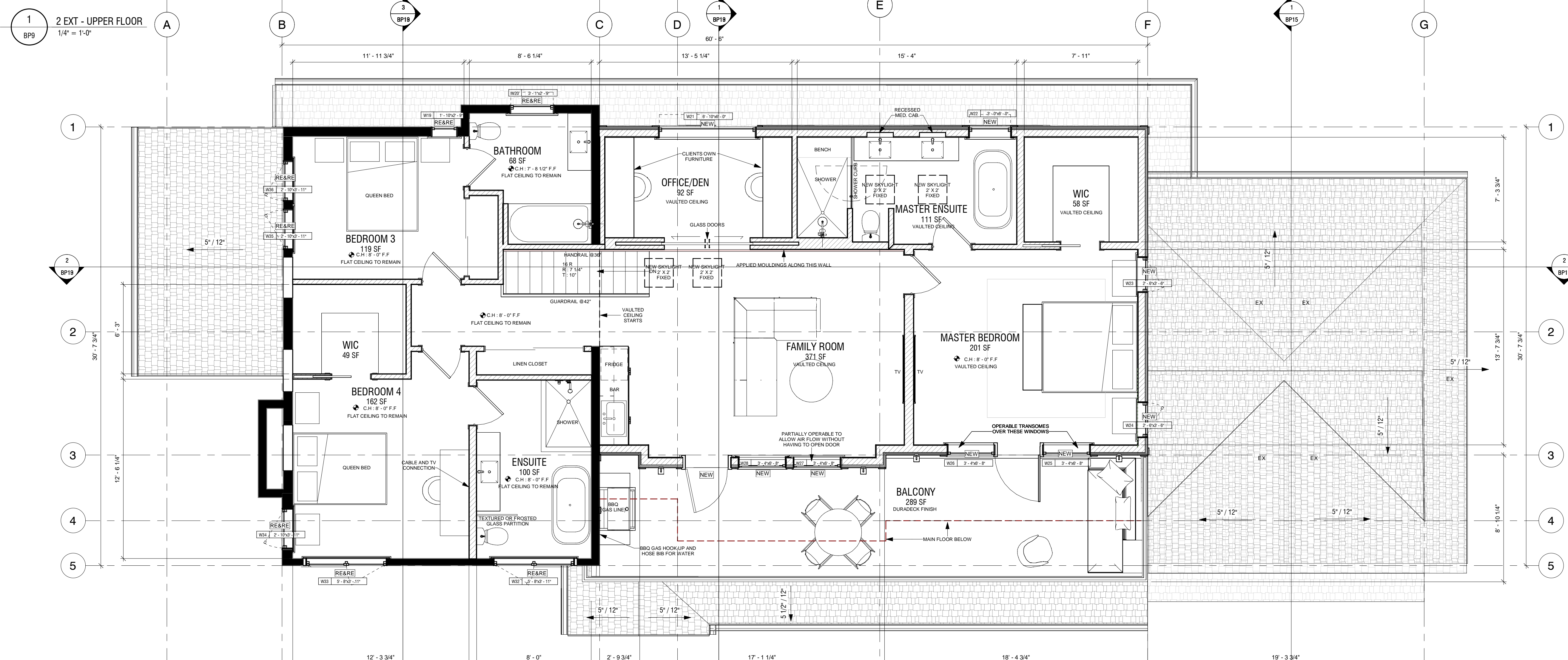
Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
**UPPER FLOOR PLAN -
EX/DEMO & PROPOSED**

Date:	Feb. 06/25
Scale:	@ 36"W x 24"H Sheet 1/4" = 1'-0"
Drawn:	Author
Project no.:	D487
Current revision:	1
Sheet No.:	BP7



2 EXT - UPPER FLOOR
1/4" = 1'-0"



2 PRO - UPPER FLOOR
1/4" = 1'-0"

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KERR CONSTRUCTION
BUILDING PERMIT PLANS

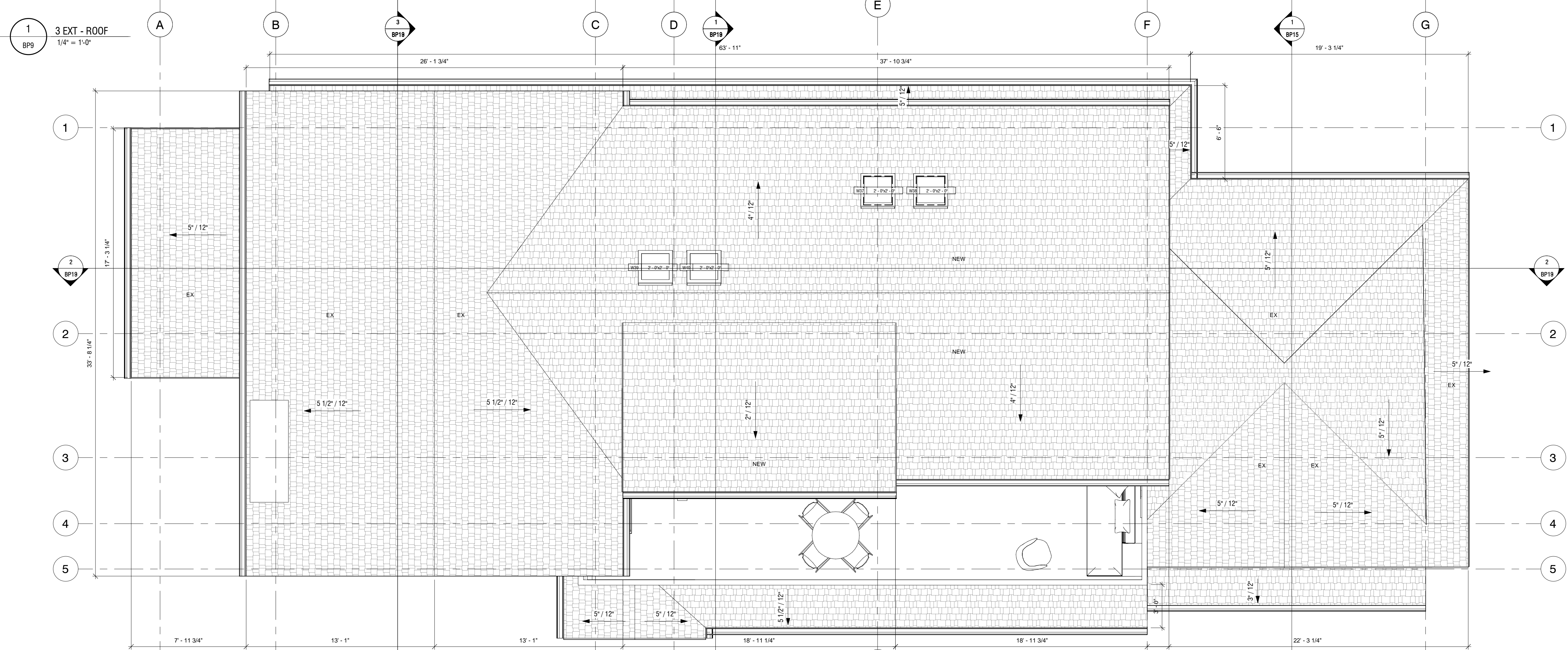
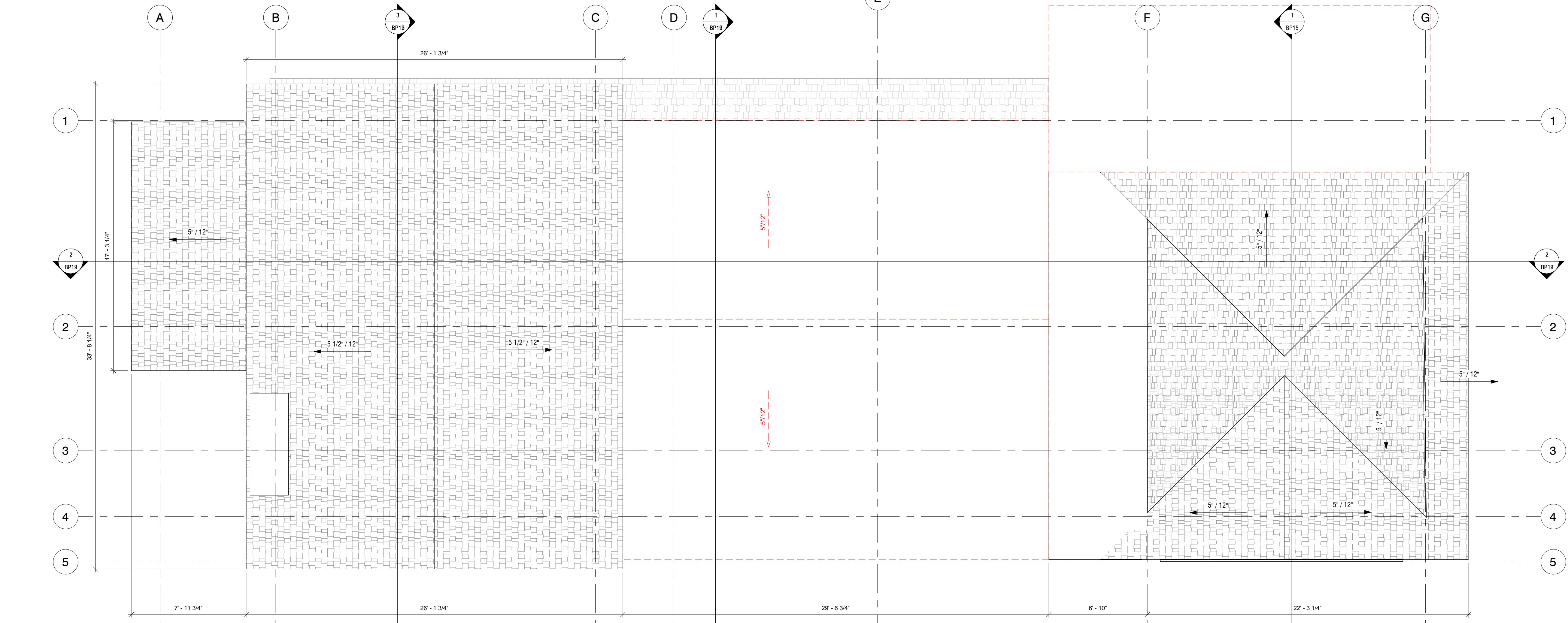
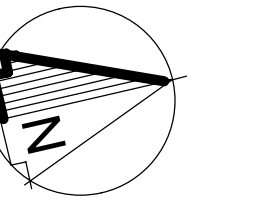
LIU
RESIDENCE

KERR CONSTRUCTION

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Signature: _____ Initials: _____ Date: _____

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



2 ROOF
1/4" = 1'-0"

REV	DATE	Issued for Contract Trifecta	XJ
1	Feb. 06/25	DETAILS	INIT

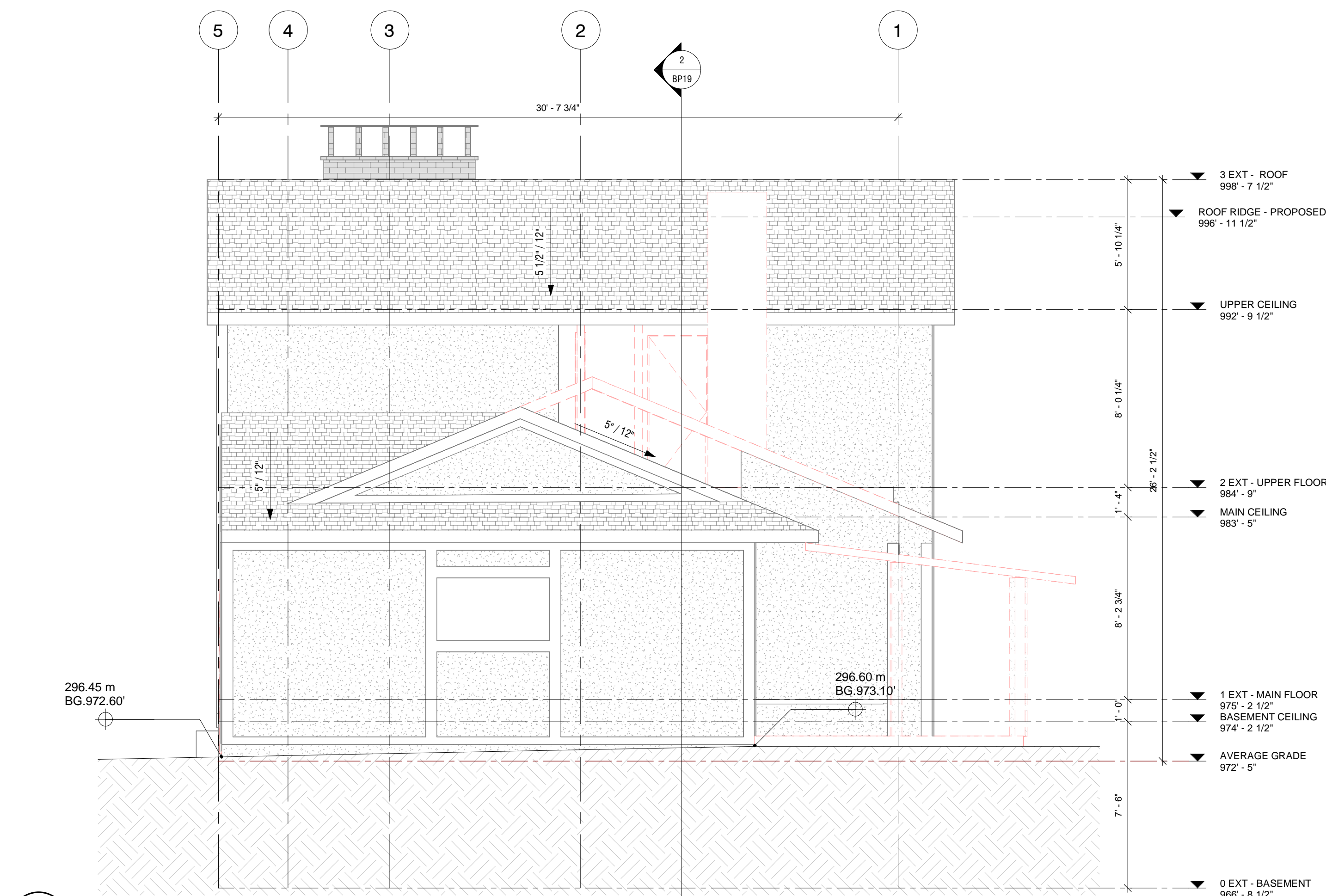
Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
**ROOF PLAN - EX/DEMO &
PROPOSED**

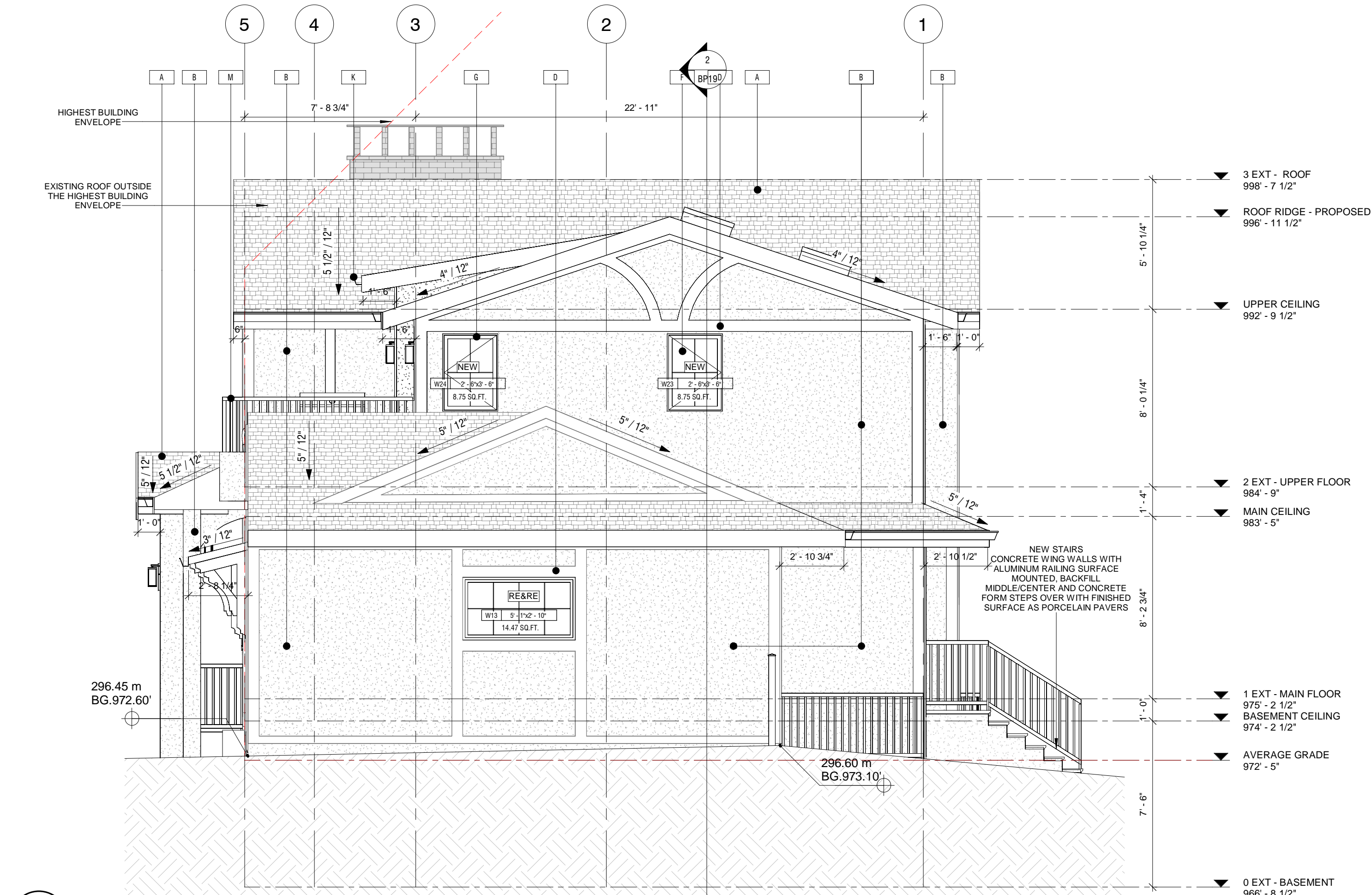
Date: Feb. 06/25
Scale: @ 36"W x 24"H Sheet 1/4" = 1'-0"
Drawn: Author
Project no: D487
Current revision: 1
Sheet No: **BP8**

IMPORTANT INFORMATION

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3 NORTH ELEVATION - EX/DEMO
1/4" = 1'-0"



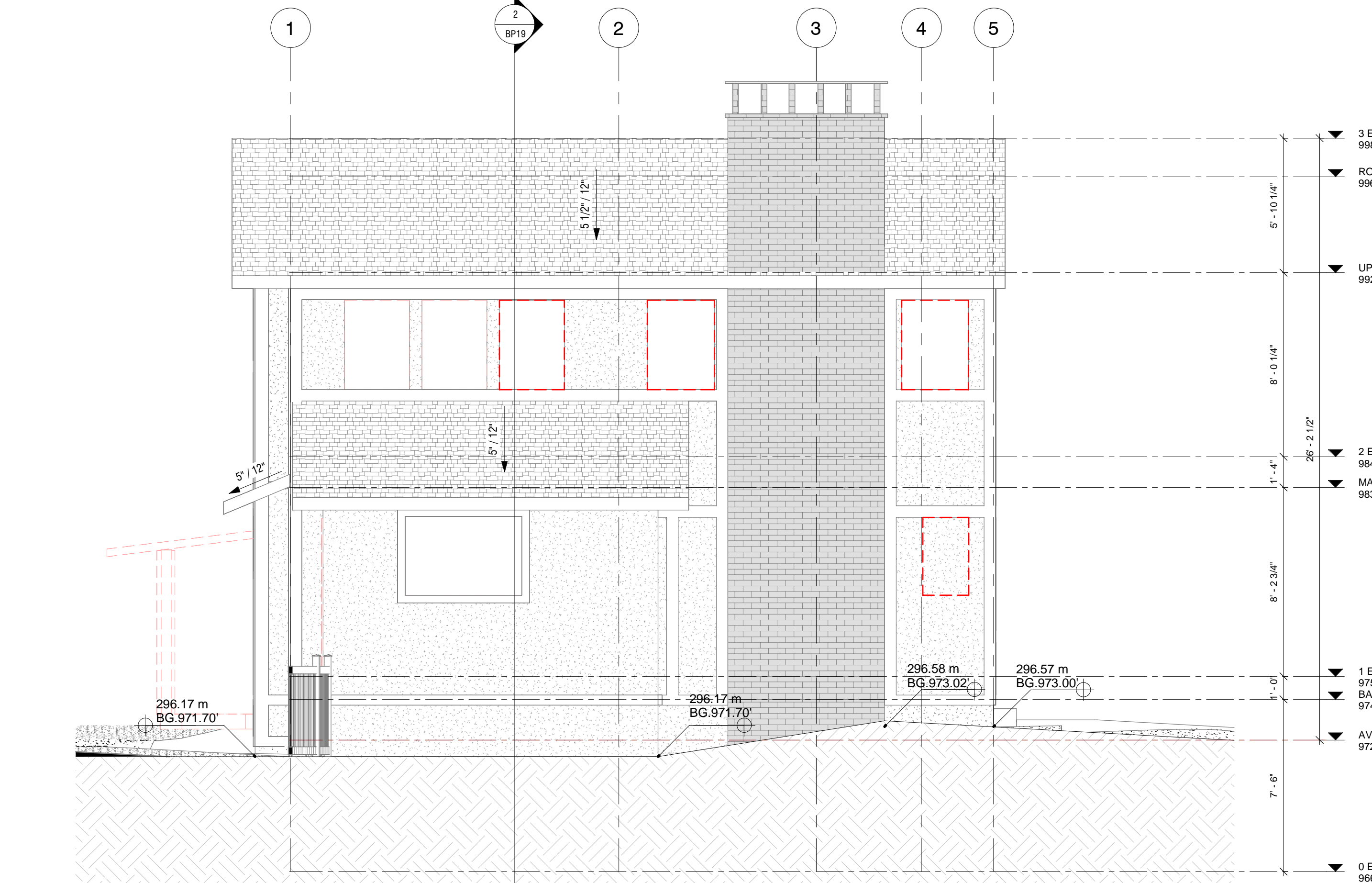
1 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

SPATIAL SEPARATION - NORTH AND SOUTH

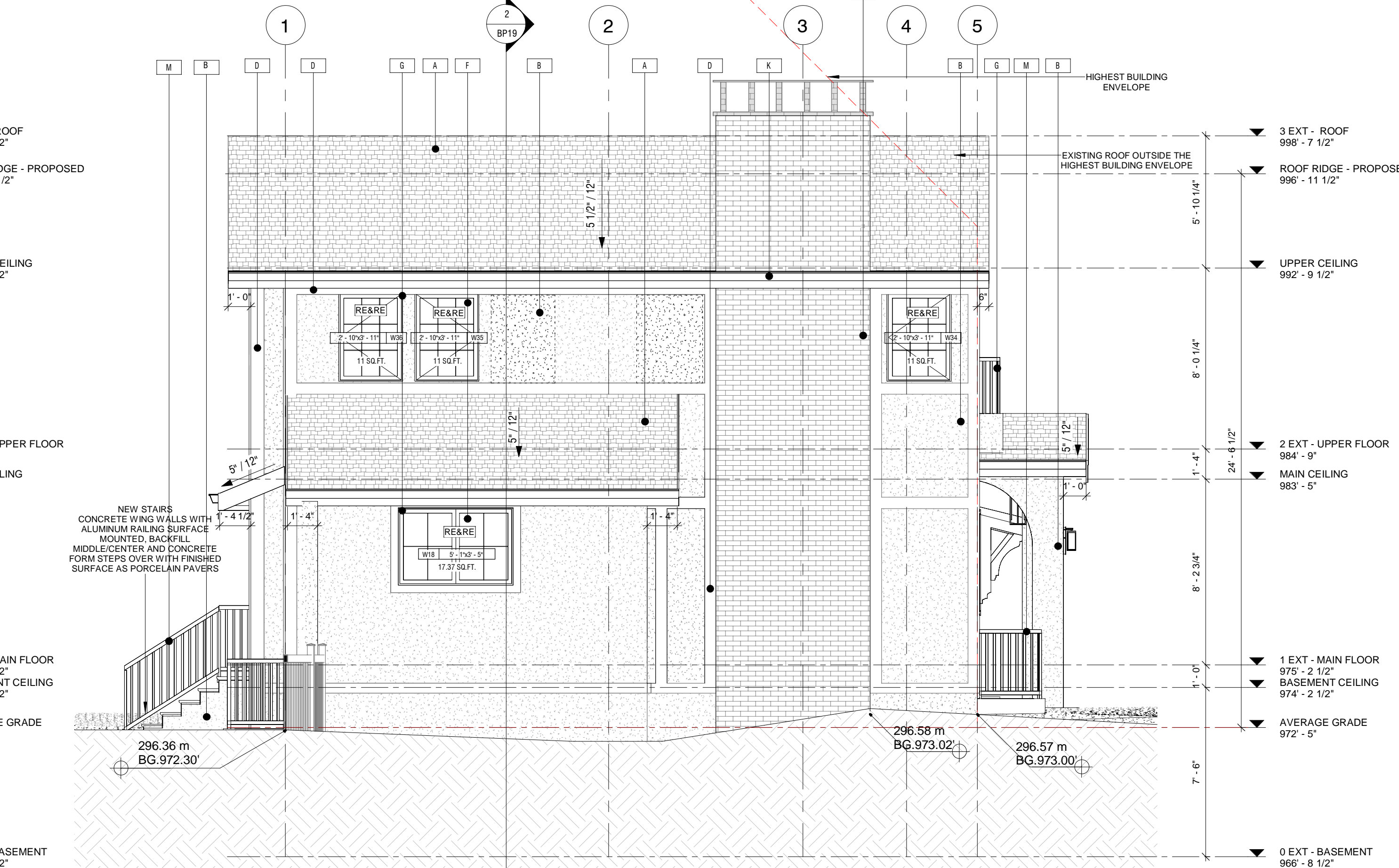
	LIMITING DISTANCE- (FT)	PROPOSED EBF (SF)	PROPOSED U.P.O. (SF)	ALLOWABLE U.P.O. (SF)	ALLOWABLE U.P.O. (%)	PROPOSED U.P.O. (%)	YES/NO
NORTH (GARAGE)	9.1	319	14.3	38.28	12	4.48	YES
NORTH (UPPER FLOOR)	29.1	283	17.5	283	100	6.18	YES
SOUTH	27	839	50.37	839	100	5.9	YES

NOTE: ALL EXISTING RETAINED WINDOWS TO BE UPDATED WITH PLAN ON GRIDS AND PAINTED BLACK TO MATCH NEW

- MATERIAL LEGEND**
- A) ASPHALT SHINGLES
 - B) STUCCO - ARCTIC WHITE PAINT
 - C) STUCCO - TRC
 - D) TUDOR/TRIM - BATTEN- SMOOTH GRAIN - PRIMED FOR PAINT - POLO CHARCOAL
 - E) EX STONE VANEER
 - F) GLASS - CLEAR
 - G) W/AL WINDOWS - POLO CHARCOAL
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 - J) FASCIA - POLO CHARCOAL
 - K) METAL BUTTERS - PAINT COLOUR TO BE CONFIRMED ON SITE
 - L) GARAGE DOOR - POLO CHARCOAL
 - M) ALUMINUM GUARDRAIL - POLO CHARCOAL
 - N) BRICK - ARCTIC WHITE PAINT
 - O) EX FENCE - REPAIRED AND REPAINTED



4 SOUTH ELEVATION - EX/DEMO
1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

KERR CONSTRUCTION
BUILDING PERMIT PLANS

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CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

REV	DATE	ISSUED FOR	BY
1	Feb. 06/25	Issued for Contract Trifecta	XJ
		DETAILS	INIT

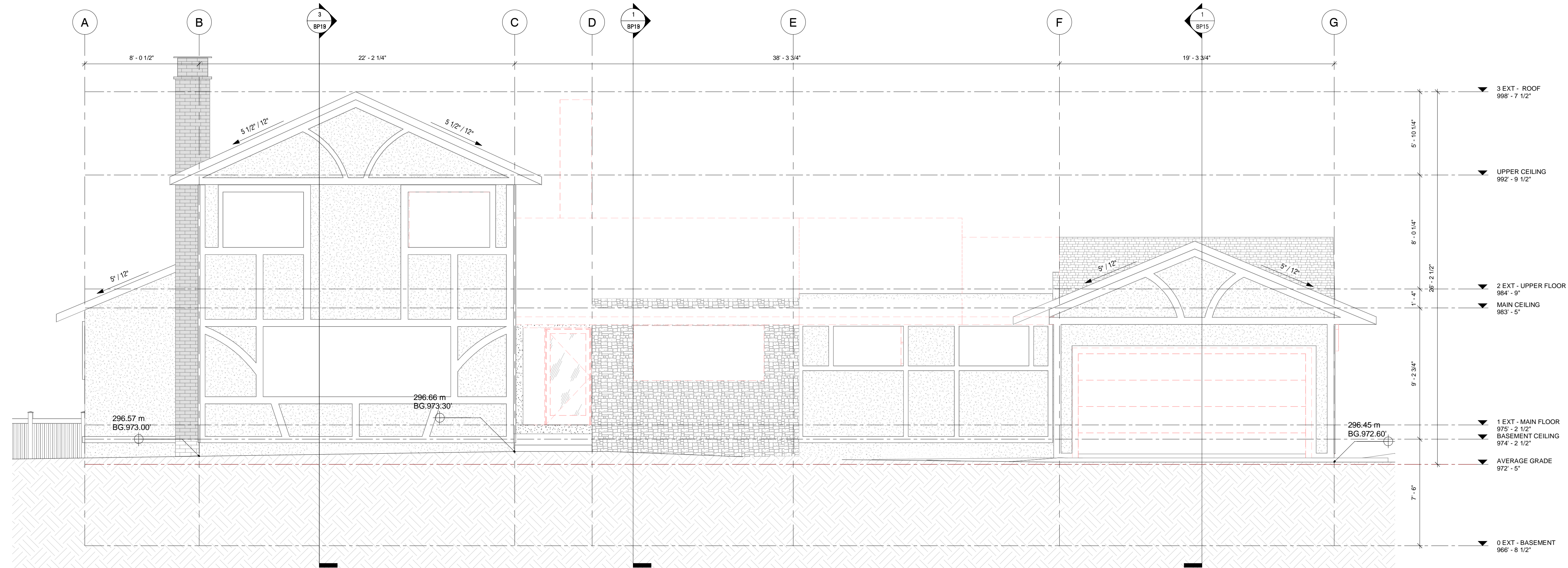
Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
**ELEVATIONS - EX/DEMO &
PROPOSED**

Date: Feb. 06/25
Scale: @ 36"W x 24"H Sheet As indicated
Drawn: Author
Project no: D487
Current revision: 1
Sheet No: **BP9**

IMPORTANT INFORMATION

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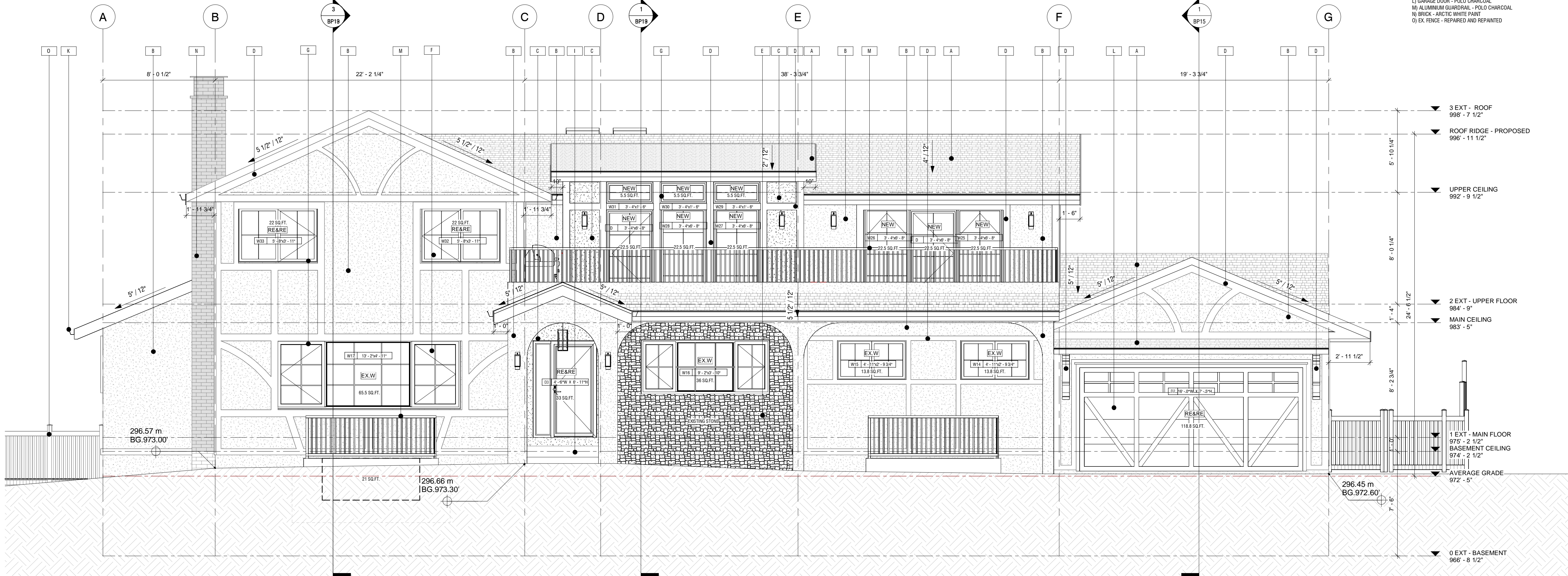
1 EAST ELEVATION - EX/DEMO
1/4" = 1'-0"

SPATIAL SEPARATION - EAST							
	LIMITING DISTANCE- (FT)	PROPOSED EBF (SF)	PROPOSED U.P.O. (SF)	ALLOWABLE U.P.O. (SF)	ALLOWABLE U.P.O. (%)	PROPOSED U.P.O. (%)	YES/NO
EAST	28.6	1889	497.4	528.92	28	26.33	YES

NOTE: ALL EXISTING RETAINED WINDOWS TO BE UPDATED WITH PLAN ON GRIDS AND PAINTED BLACK TO MATCH NEW

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 - N) BRICK - ARCTIC WHITE PAINT
 - O) EX. FENCE - REPAIRED AND REPAINTED

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LIU
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2 EAST ELEVATION - PROPOSED
1/4" = 1'-0"

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1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

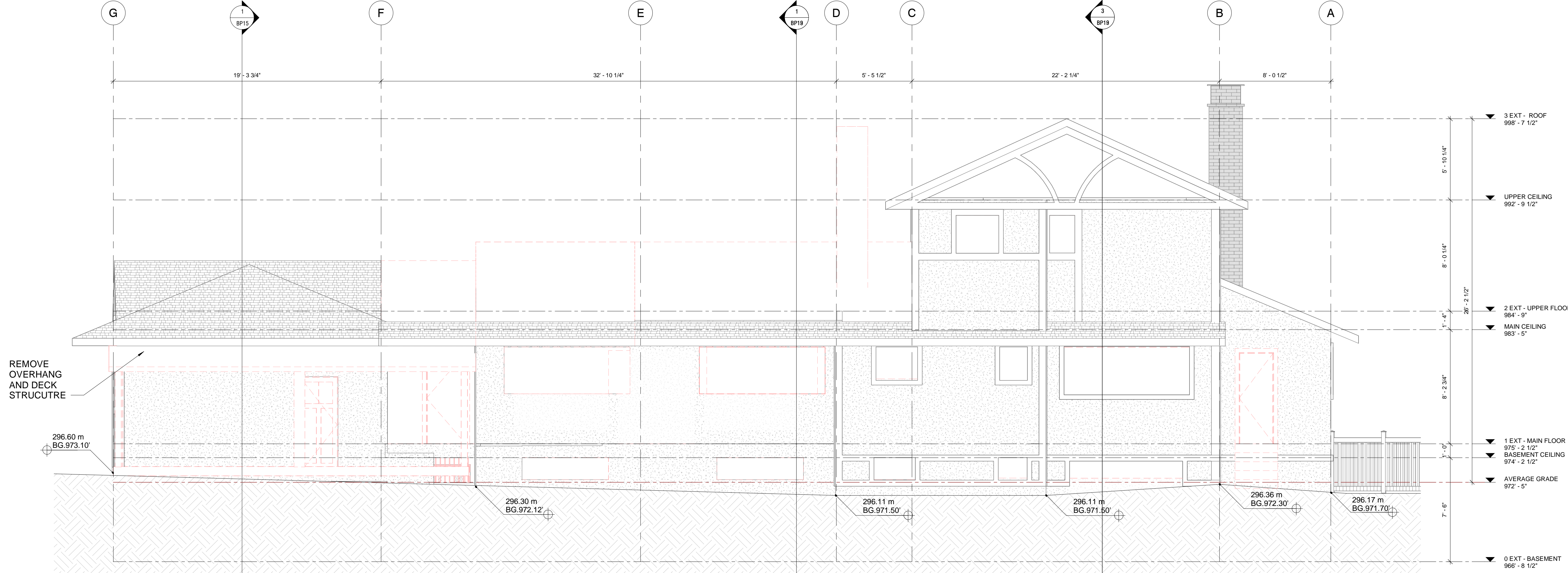
Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
**ELEVATIONS - EX/DEMO &
PROPOSED**

Date:	Feb. 06/25
Scale:	@ 36"W x 24"H Sheet As indicated
Drawn:	Author
Project no:	D487
Current revision:	1
Sheet No:	BP10

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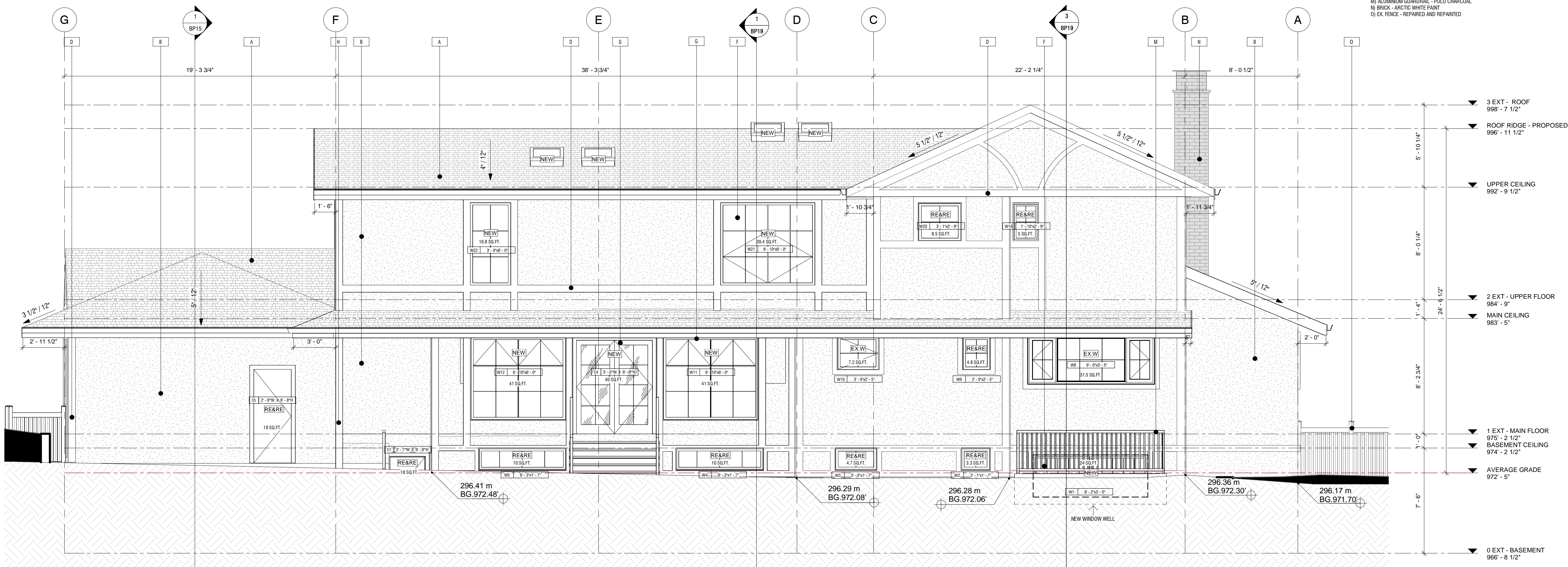
1 WEST ELEVATION - EX/DEMO
1/4" = 1'-0"

SPATIAL SEPARATION - WEST							
	LIMITING DISTANCE- (FT)	PROPOSED EBF (SF)	PROPOSED U.P.O. (SF)	ALLOWABLE U.P.O. (SF)	ALLOWABLE U.P.O. (%)	PROPOSED U.P.O. (%)	YES/NO
WEST	68	1936	324.2	UNLIMITED	UNLIMITED	-	YES

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2 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

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1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT
Project: 835 ANDOVER CRESCENT, WEST VANCOUVER			
Drawing: ELEVATIONS - EX/DEMO & PROPOSED			
Date:	Feb. 06/25		
Scale:	As indicated		
Drawn:	Author		
Project no:	D487		
Current revision:	1		
Sheet No:	BP11		

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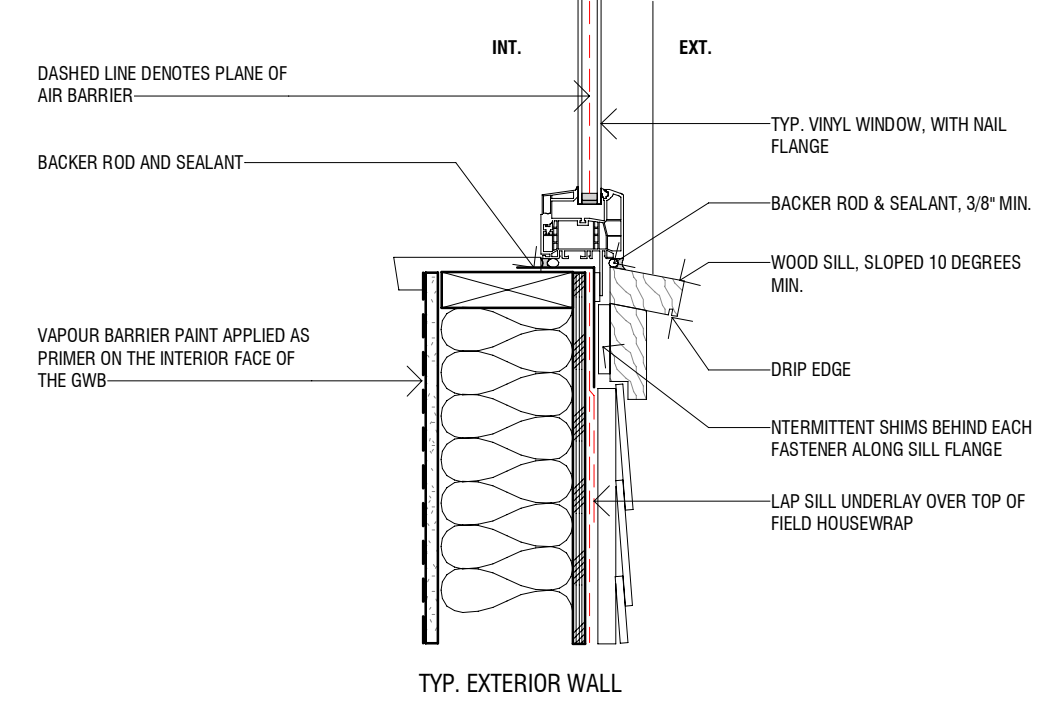
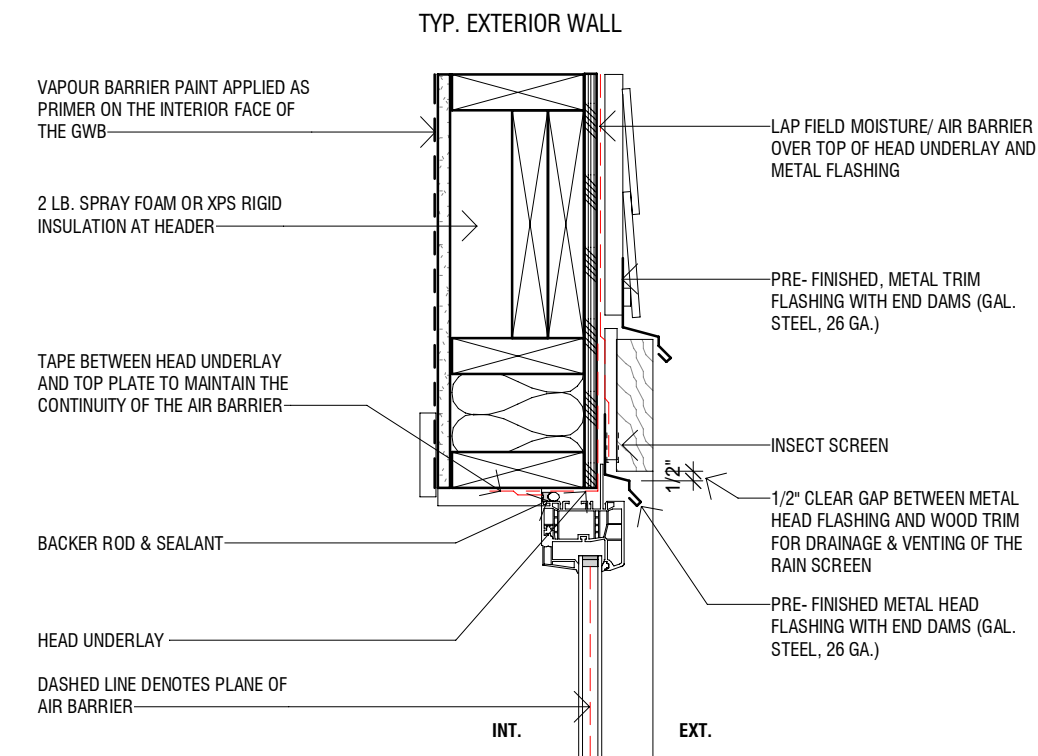
WINDOW SCHEDULE - BASEMENT

Tag	Description	Location	Level	Width	Height	Sill Height	Head Height	Frame Type	Glazing	Comments
0 EXT - BASEMENT										
W1	OPENABLE	REC ROOM	0 EXT - BASEMENT	8'-2"	3'-0"	4'-0"	7'-0"	VINYL	TRIPLE GLAZING	NEW
W2	FIXED	REC ROOM	0 EXT - BASEMENT	2'-1"	1'-7"	5'-11"	7'-6"	VINYL	TRIPLE GLAZING	REAR
W3	FIXED	BATHROOM	0 EXT - BASEMENT	3'-0"	1'-7"	5'-11"	7'-6"	VINYL	TRIPLE GLAZING	REAR
W4	OPENABLE	MECH ROOM	0 EXT - BASEMENT	6'-3"	1'-7"	5'-11"	7'-6"	VINYL	TRIPLE GLAZING	REAR
W5	OPENABLE	ROOM	0 EXT - BASEMENT	6'-3"	1'-7"	5'-11"	7'-6"	VINYL	TRIPLE GLAZING	REAR
W6	OPENABLE	STORAGE ROOM	0 EXT - BASEMENT	7'-0"	3'-0"	4'-0"	7'-0"	VINYL	TRIPLE GLAZING	NEW
W7	OPENABLE	THEATRE ROOM	0 EXT - BASEMENT	7'-0"	3'-0"	4'-0"	7'-0"	VINYL	TRIPLE GLAZING	NEW
1 EXT - MAIN FLOOR										
W8	OPENABLE	GUEST BEDROOM	1 EXT - MAIN FLOOR	9'-0"	3'-5"	3'-6 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W
W9	FIXED	BATHROOM	1 EXT - MAIN FLOOR	2'-0"	2'-5"	4'-6 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	REAR
W10	OPENABLE	LAUNDRY ROOM	1 EXT - MAIN FLOOR	3'-0"	2'-5"	4'-6 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W
W11	OPENABLE	LIVING AREA	1 EXT - MAIN FLOOR	6'-10"	6'-0"	0'-11 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	NEW
W12	OPENABLE	SITTING AREA	1 EXT - MAIN FLOOR	6'-10"	6'-0"	0'-11 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	NEW
W13	FIXED	GARAGE	1 EXT - MAIN FLOOR	5'-1"	2'-10"	2'-7 3/4"	5'-6"	VINYL	TRIPLE GLAZING	REAR
W14	OPENABLE	KITCHEN	1 EXT - MAIN FLOOR	4'-11"	2'-9 3/4"	4'-1 3/4"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W
W15	OPENABLE	KITCHEN	1 EXT - MAIN FLOOR	4'-11"	2'-9 3/4"	4'-1 3/4"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W
W16	OPENABLE	DINING ROOM	1 EXT - MAIN FLOOR	9'-2"	3'-10"	3'-1 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W
W17	OPENABLE	BEDROOM 2	1 EXT - MAIN FLOOR	13'-2"	4'-11"	2'-0 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W
W18	OPENABLE	GUEST BEDROOM	1 EXT - MAIN FLOOR	5'-1"	3'-5"	3'-6 1/2"	6'-11 1/2"	VINYL	TRIPLE GLAZING	EX.W

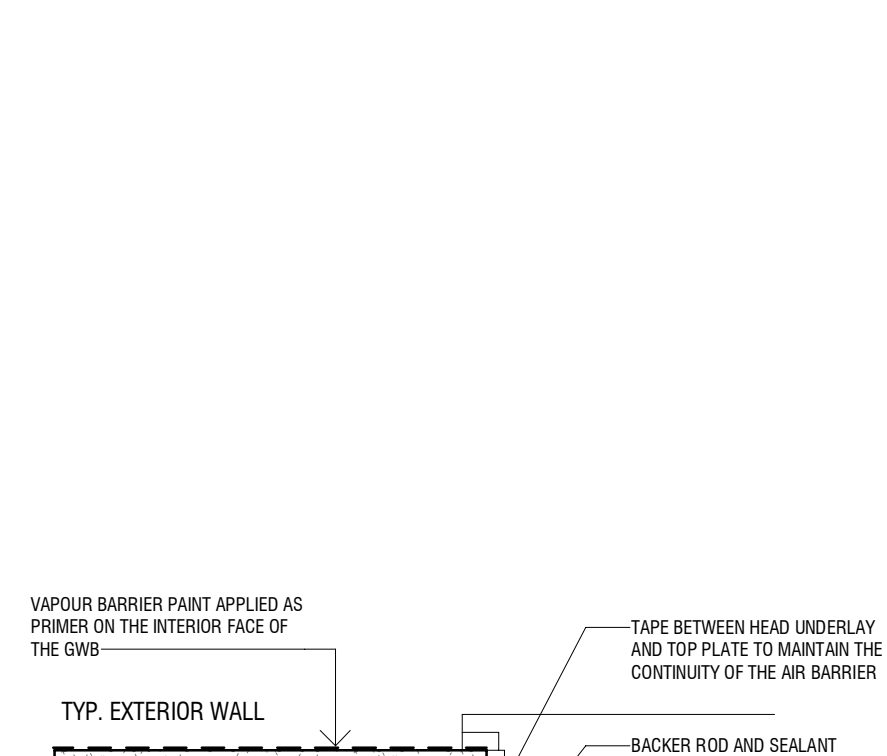
2 EXT - UPPER FLOOR										
W19	FIXED	BEDROOM 3	2 EXT - UPPER FLOOR	1'-10"	2'-9"	4'-2"	6'-11"	VINYL	TRIPLE GLAZING	REAR
W20	FIXED	BATHROOM	2 EXT - UPPER FLOOR	3'-1"	2'-9"	4'-2"	6'-11"	VINYL	TRIPLE GLAZING	REAR
W21	OPENABLE	OFFICE/DEN	2 EXT - UPPER FLOOR	6'-10"	6'-0"	0'-11 3/4"	7'-0"	VINYL	TRIPLE GLAZING	NEW
W22	OPENABLE	MASTER ENSUITE	2 EXT - UPPER FLOOR	3'-0"	6'-0"	0'-11 3/4"	7'-0"	VINYL	TRIPLE GLAZING	NEW
W23	OPENABLE	MASTER BEDROOM	2 EXT - UPPER FLOOR	2'-6"	3'-6"	3'-5"	6'-11"	VINYL	TRIPLE GLAZING	NEW
W24	OPENABLE	MASTER BEDROOM	2 EXT - UPPER FLOOR	2'-6"	3'-6"	3'-5"	6'-11"	VINYL	TRIPLE GLAZING	NEW
W25	FIXED	MASTER BEDROOM	2 EXT - UPPER FLOOR	3'-4"	6'-8"	0'-3"	6'-11"	VINYL	TRIPLE GLAZING	NEW
W26	FIXED	MASTER BEDROOM	2 EXT - UPPER FLOOR	3'-4"	6'-8"	0'-3"	6'-11"	VINYL	TRIPLE GLAZING	NEW
W27	FIXED	FAMILY ROOM	2 EXT - UPPER FLOOR	3'-4"	6'-8"	0'-3"	6'-11"	VINYL	TRIPLE GLAZING	NEW
W28	FIXED	FAMILY ROOM	2 EXT - UPPER FLOOR	3'-4"	6'-8"	0'-3"	6'-11"	VINYL	TRIPLE GLAZING	NEW
W29	OPENABLE	FAMILY ROOM	2 EXT - UPPER FLOOR	3'-4"	1'-6"	7'-3"	8'-9"	VINYL	TRIPLE GLAZING	NEW
W30	OPENABLE	FAMILY ROOM	2 EXT - UPPER FLOOR	3'-4"	1'-6"	7'-3"	8'-9"	VINYL	TRIPLE GLAZING	NEW
W31	OPENABLE	FAMILY ROOM	2 EXT - UPPER FLOOR	3'-4"	1'-6"	7'-3"	8'-9"	VINYL	TRIPLE GLAZING	NEW
W32	OPENABLE	ENSUITE	2 EXT - UPPER FLOOR	5'-8"	3'-11"	3'-0"	6'-11"	VINYL	TRIPLE GLAZING	REAR
W33	OPENABLE	BEDROOM 4	2 EXT - UPPER FLOOR	5'-8"	3'-11"	3'-0"	6'-11"	VINYL	TRIPLE GLAZING	REAR
W34	OPENABLE		2 EXT - UPPER FLOOR	2'-10"	3'-11"	3'-0"	6'-11"	VINYL	TRIPLE GLAZING	REAR
W35	OPENABLE	BEDROOM 3	2 EXT - UPPER FLOOR	2'-10"	3'-11"	3'-0"	6'-11"	VINYL	TRIPLE GLAZING	REAR
W36	OPENABLE	BEDROOM 3	2 EXT - UPPER FLOOR	2'-10"	3'-11"	3'-0"	6'-11"	VINYL	TRIPLE GLAZING	REAR

UPPER CEILING										
W37	FIXED	ROOF	UPPER CEILING	2'-0"	2'-0"			VINYL		NEW
W38	FIXED	ROOF	UPPER CEILING	2'-0"	2'-0"			VINYL		NEW
W39	FIXED	ROOF	UPPER CEILING	2'-0"	2'-0"			VINYL		NEW
W40	FIXED	ROOF	UPPER CEILING	2'-0"	2'-0"			VINYL		NEW

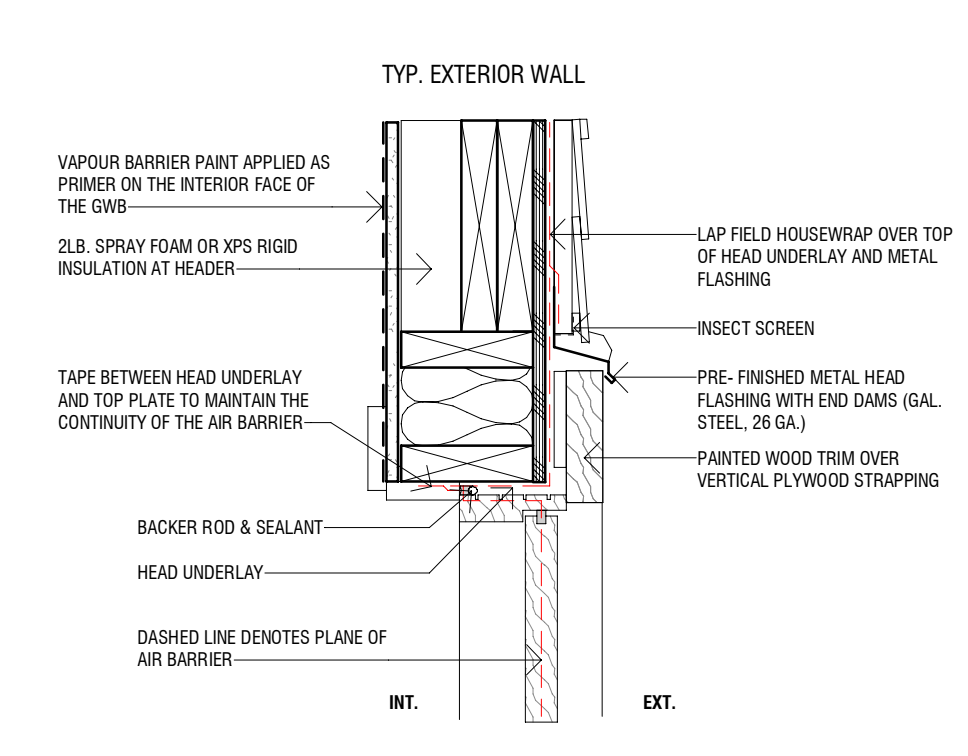
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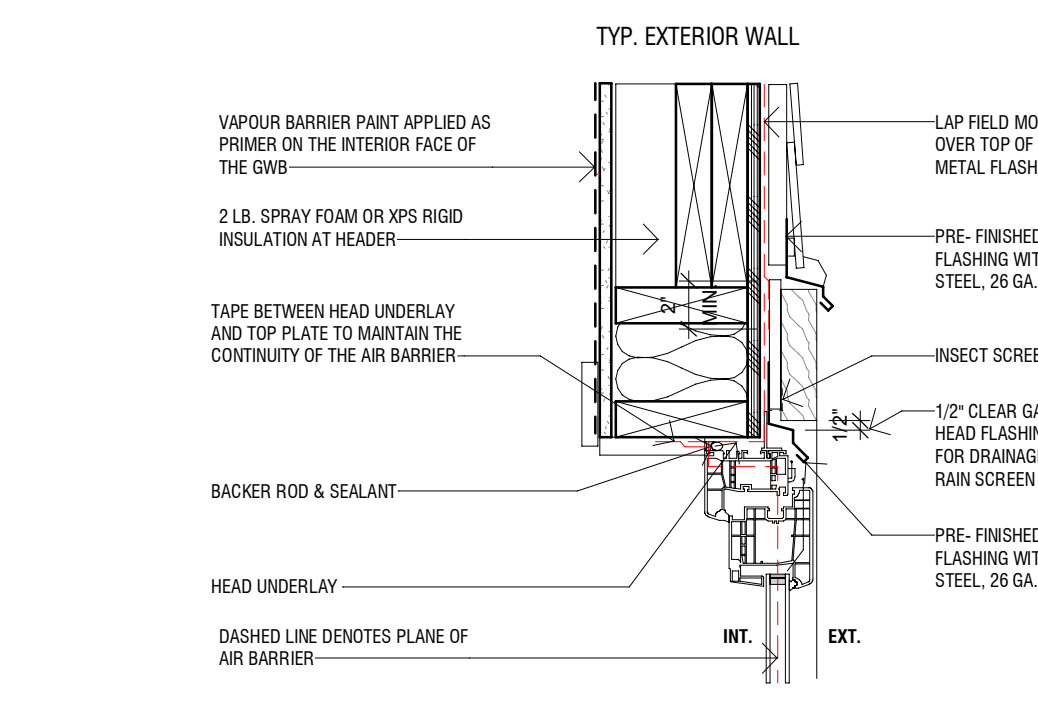
TYP. WINDOW SILL



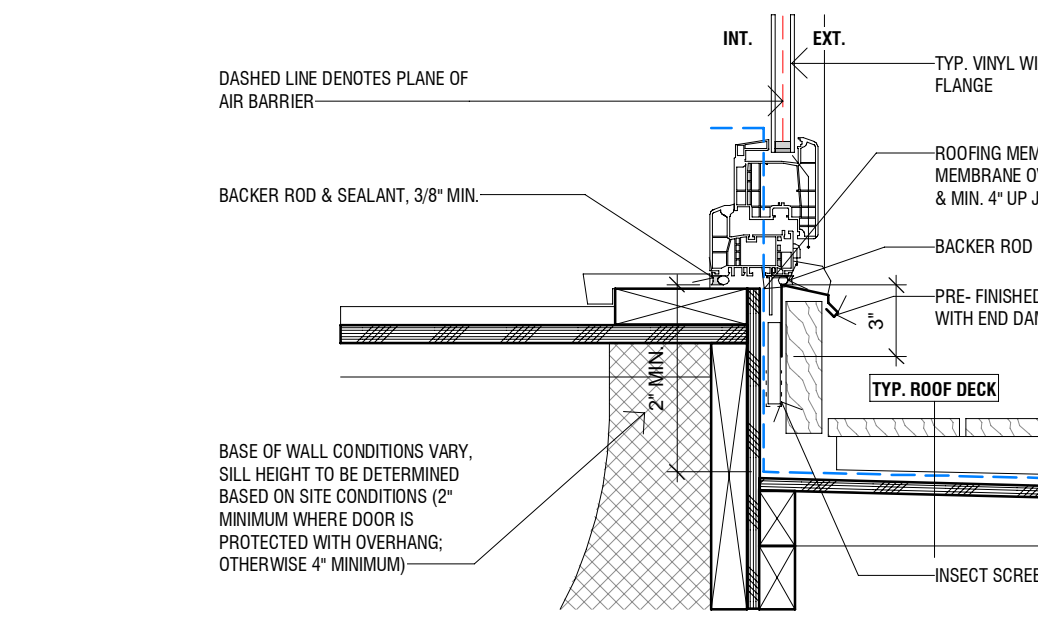
TYP. WINDOW JAMB



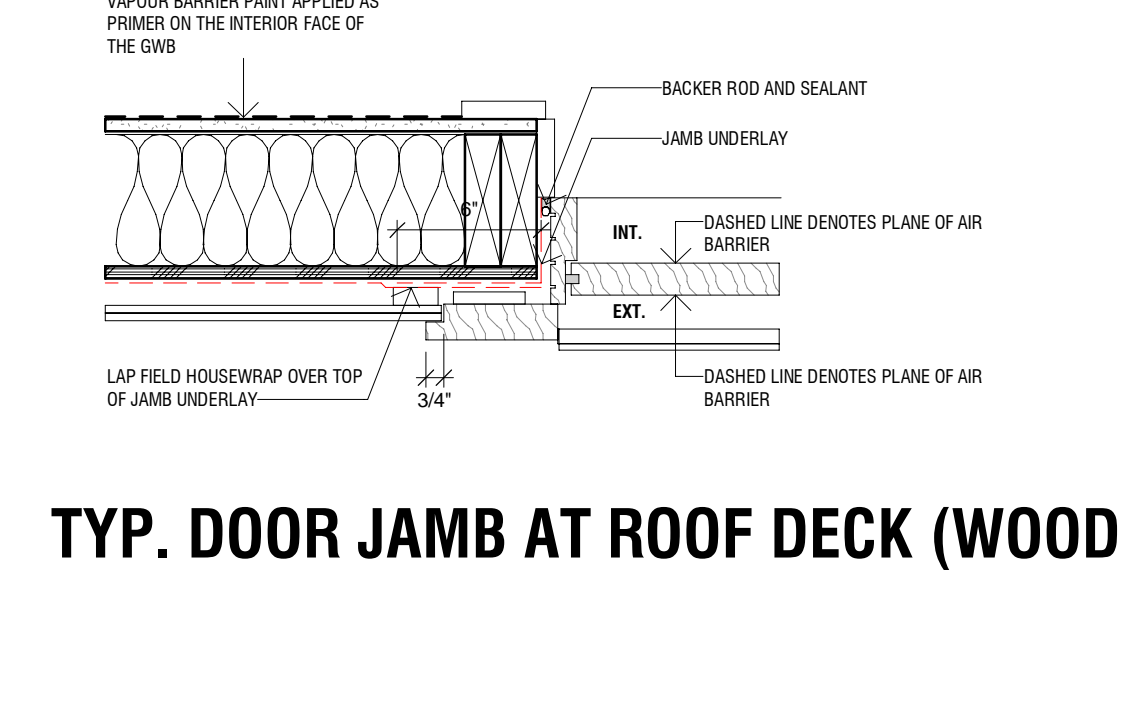
TYP. DOOR SILL AT ROOF DECK (WOOD DOOR)



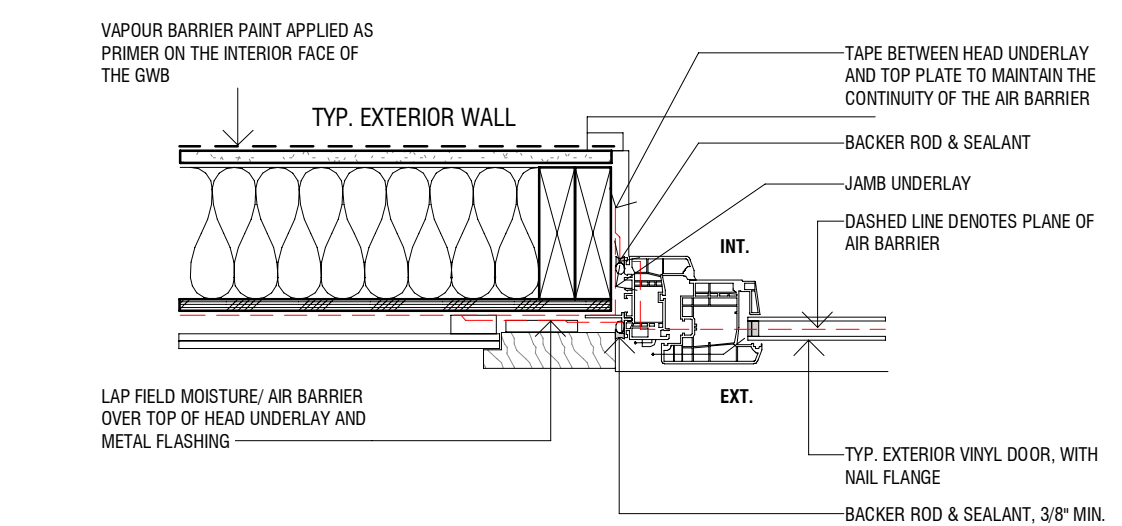
TYP. HEAD AT ROOF DECK (VINYL DOOR)



TYP. DOOR SILL AT ROOF DECK (VINYL DOOR)



TYP. DOOR JAMB AT ROOF DECK (WOOD DOOR)



TYP. JAMB AT ROOF DECK (VINYL DOOR)

DETAIL - TYP. WINDOW SILL & HEAD
1 1/2" = 1'-0"

KERR CONSTRUCTION
 BUILDING PERMIT PLANS
 LIU
 RESIDENCE

KERR CONSTRUCTION

We hereby certify that the current drawings have been explained in detail, and are complete to our satisfaction. I agree that the project is ready to proceed to the next stage.

Signature(s) Initials Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

REV	DATE	ISSUED FOR CONTRACT TRIFECTA	INIT
1	Feb. 06/25	Issued for Contract Trifecta	XJ

Project:
835 ANDOVER CRESCENT,
WEST VANCOUVER

Drawing:
WINDOW SCHEDULE

Date: Feb. 06/25

Scale: @ 3/16" = 1'-0"

Drawn: Author

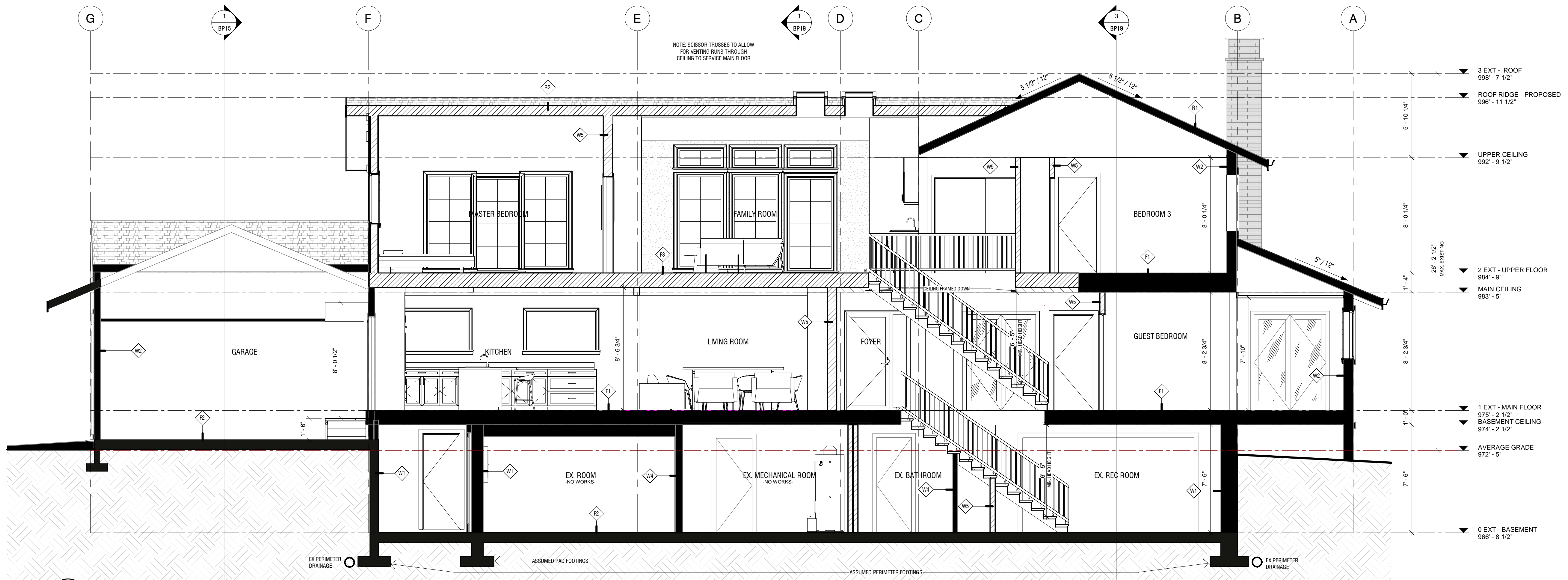
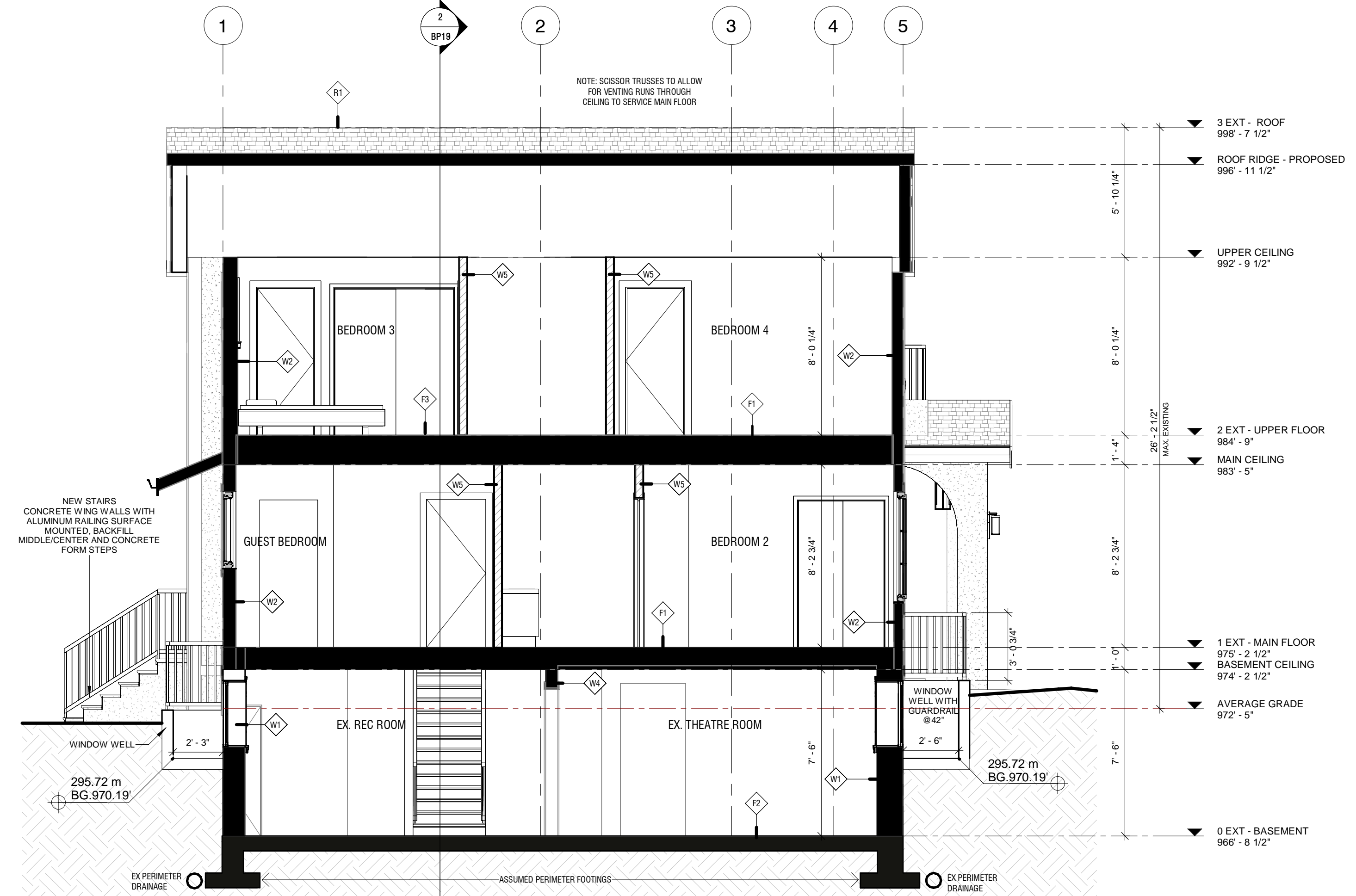
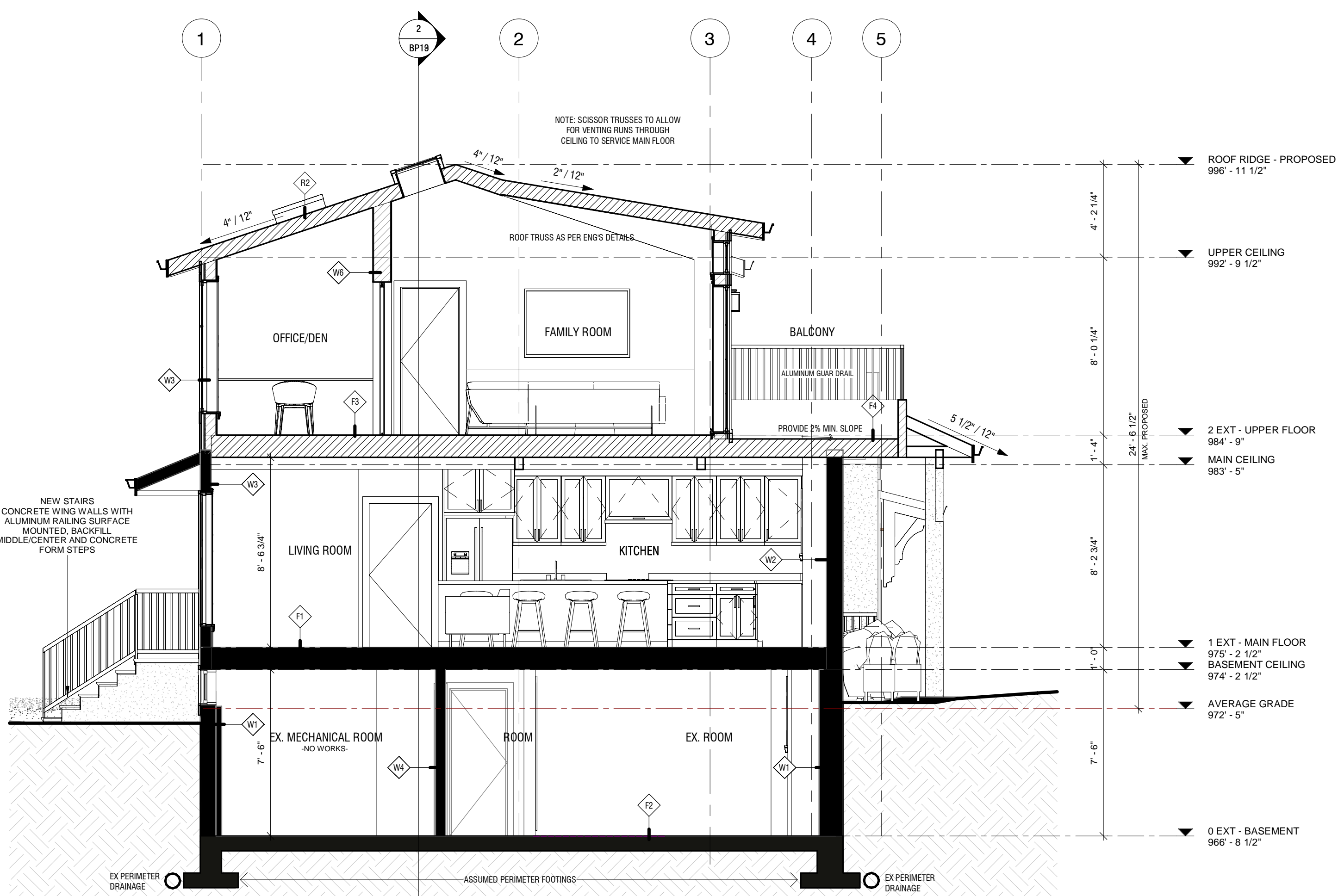
Project no: D487

Current revision: 1

Sheet No: BP12

IMPORTANT INFORMATION

- 1/ ALL ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH LAND SURVEY, GEOTECHNICAL, STRUCTURAL, ELECTRICAL, HVAC & ALL OTHER RELEVANT SUB-CONTRACTORS DESIGN DOCUMENTATION AND LOCAL AUTHORITY PLANNING REGULATIONS
- 2/ THE PROPOSED WORKS HAVE BEEN DESIGNED TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF BCBC2018
- 3/ NEW STORMWATER RUNOFF TO BE CONNECTED TO THE EXISTING STORMWATER
- 4/ FOR STRUCTURAL DESIGN REFER TO THE STRUCTURAL ENGINEERS DESIGN & DETAILS
- 5/ CONTRACTOR TO CONFIRM ON SITE & VERIFY ALL SITE DIMENSIONS ON ALL DRAWINGS, DETAILS AND SPECIFICATIONS & REPORT ANY ERRORS OR OMISSIONS TO KERR CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THAT WORK, WHERE SHOWN COS' CONFIRM ON SITE
- 6/ CONTRACTOR TO REFER ENGINEERS DOCUMENTATION, SURVEYOR FOR LOCATIONS OF EXISTING SERVICES TO SUBJECT SITE. EXISTING SERVICES TO BE ESTABLISHED ON SITE AND CROSS REFERENCED WITH DESIGN DRAWINGS AND REPORT ANY DISCREPANCIES TO THE SITE FOREMAN PRIOR TO COMMENCEMENT OF WORKS.
- 7/ CONTRACTOR TO FULLY INSPECT CONCEALED SPACES AND TAKE APPROPRIATE PRECAUTIONS TO PROTECT ANY EXISTING SERVICES/SURFACES FROM DAMAGE DURING DEMOLITION OR CONSTRUCTION WORKS.
- 8/ ALL CITY UTILITY SERVICES ACCESSING THE SITE ARE TO REMAIN UNCHANGED
- 9/ UTILITY PROVIDERS TO BE ADVISED OF ANY NEW WORK
- 10/ CONTRACTOR TO COMPLY WITH AND BE APPROVED BY THE INSPECTOR BEFORE FINAL COMPLETION & SIGN OFF OF WORKS.
- 11/ ALL DIMENSIONS ARE IN FEET AND INCHES, UNLESS OTHERWISE NOTED. SPOT LEVELS SHOWN IN DECIMAL FEET TO BETTER REFERENCE SURVEY
- 12/ DO NOT SCALE FROM DRAWINGS, FIGURE DIMENSIONS TO BE TAKEN IN PREFERENCE
- 13/ THIS IS A COPYRIGHT DRAWING & DESIGN AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM KERR CONSTRUCTION & DESIGN



KERR CONSTRUCTION
BUILDING PERMIT PLANS

LIU
RESIDENCE

KERR CONSTRUCTION

I hereby certify that the current drawings have been explained in detail, and are complete to our satisfaction, & agree that the project is ready to proceed to the next stage

signature(s) initials date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

REV	DATE	ISSUED FOR	CONTRACT	INITIALS
1	Feb. 06/25	Issued for Contract	Trifecta	XJ

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
SECTIONS - PROPOSED

Date: Feb. 06/25
Scale: @ 36"W x 24"H Sheet 1/4" = 1'-0"
Drawn: Author
Project no: D487
Current revision: 1
Sheet No: **BP13**

CONSTRUCTION ASSEMBLIES

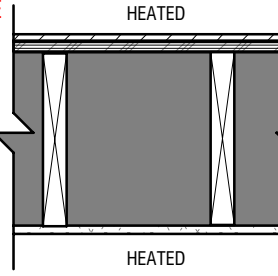
1" = 1'-0"

F1	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	R27.1 EFFECTIVE	MAIN & UPPER	N/A

EX. FLOOR ASSEMBLY - W NEW FINISH OVER INTERIOR HEATED SPACE

- 3/8" - 5/8" SELECTED ENG. HW FLOOR FINISH (UNDERLAY/GLUED), OR, PORCELAIN TILE (ON MORTAR BED & SCHLUTER DITRA MAT)
- 1/2" (15.5mm) D HBL, T + G PLYWOOD SHEATHING ON EXISTING FLOOR JOISTS (PER ENG. DETAILS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

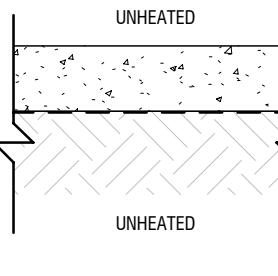


F2	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	SUITE LANDING & DRIVEWAY	N/A

EX. FLOOR ASSEMBLY - SLAB ON GRADE

- EX. FINISH VARIES (CARPET & TILE) TO REMAIN
- 4" CONC. SLAB WITH REINFORCEMENT, REFER ENG. DETAILS
- 6MM POLY UNDISTURBED SOIL, L/U/O

REFER ENG. DETAILS

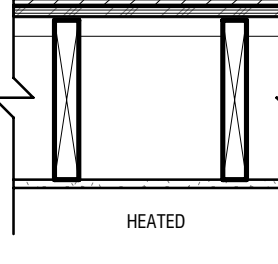


F3	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	UPPER	N/A

NEW FLOOR ASSEMBLY - OVER INTERIOR HEATED SPACE

- 3/8" - 5/8" SELECTED FLOOR FINISH ENG. HW W APPROVED FOAM UNDERLAY/GLUED, OR, PORCELAIN TILE (ON MORTAR BED & SCHLUTER DITRA MAT)
- 1/2" (15.5mm) D HBL, T + G PLYWOOD SHEATHING ON T.J. - 2"x10" ON 16" O.C. JOISTS OR SIMILAR APPROVED (PER ENG. DETAILS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

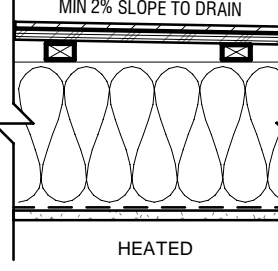


F4	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	R-24	REAR ROOF DECK	N/A

NEW FLOOR ASSEMBLY - OVER INTERIOR HEATED SPACE

- DURABLE W/VINYL MEMBRANE AND HEAT SEAL SEAMS (METAL FLASHINGS TO DRAIN)
- 1/2" (15.5mm) D HBL, T + G PLYWOOD SHEATHING ON 2X4 CROSS PULGUS GRADED TO SLOPE W MIN 2% TO ROOF DRAIN
- 2"x8" ON 16" O.C. JOISTS OR SIMILAR APPROVED (PER ENG. DETAILS)
- R24 HD BATT INSULATION, INSPECT ON SITE & UPGRADE AS REQ'D.
- 6 MIL POLY AIR & VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 1 LAYER OF 1/2" (12.7MM) DRYWALL

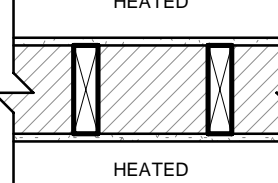
REFER ENG. DETAILS



W6	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	INTERIOR MAIN & UPPER	N/A

NEW INTERIOR WALL ASSEMBLY WITH NO INSULATION

- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL
- NEW 2"x10" STUDS @ 16" CTS
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL
- NEW 2"x8" STUDS @ 16" O.C. - TRIPLE STUD TRACK WALL ONLY, REFER ELEVATOR MANU. & ENG. DETAILS



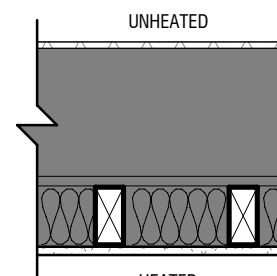
NOTE: FOR ALL SHEAR WALLS, LOCATIONS AND SPECIFICATION, REFER ENG. DETAILS

W1	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	R22 EFFECTIVE	BASEMENT	N/A

EX. FOUNDATION & FROST WALL

- DAMP PROOFING
- 8" CONC. F/W WALL
- 1/2" AIR GAP
- 2"x4" POLYFROST STUD WALL @ 16" ON CTS
- R14 INSULATION, INSPECT ON SITE & UPGRADE AS REQ'D.
- 1 LAYER OF 1/2" DRYWALL

REFER ENG. DETAILS

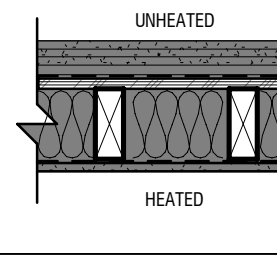


W2	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
	N/A	N/A	N/A	R12.7 EFFECTIVE	UPPER EXTERIOR WALLS	N/A	N/A

EX. WALL ASSEMBLY W EX. STUCCO CLADDING & INSULATION

- FINISH COAT/PRIMER/BASE COAT OF 1/2" THICK STUCCO CLADDING, REFER ELEVATIONS
- GALVANIZED REINFORCING WIRE MESH
- DRAINAGE CAVITY (U.I.O.)
- AIR-WATER RESISTIVE BARRIER (TYVEK®STUCCOWRAP OR SIMILAR APPROVED)
- 1/2" PLYWOOD SHEATHING (U.I.O.)
- 2"x8" @ STUDS SPACED 16" OR 24" O.C.
- R-40 BATT (OR BLOWN) INSULATION, ROXUL OR SIMILAR APPROVED.
- 6 MIL POLY AIR & VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- R14 HD BATT INSULATION, INSPECT ON SITE & UPGRADE AS REQ'D.
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

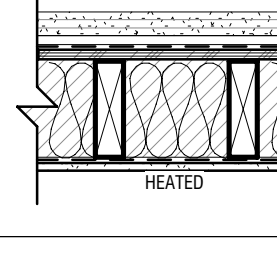


W3	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
	N/A	N/A	N/A	R18 EFFECTIVE	UPPER EXTERIOR WALLS	B (SHEET BRG)	N/A

NEW WALL ASSEMBLY W NEW STUCCO CLADDING & INSULATION

- FINISH COAT/PRIMER/BASE COAT OF 1/2" THICK STUCCO CLADDING, REFER ELEVATIONS
- GALVANIZED REINFORCING WIRE MESH
- DRAINAGE CAVITY (U.I.O.)
- AIR-WATER RESISTIVE BARRIER (TYVEK®STUCCOWRAP OR SIMILAR APPROVED)
- 1/2" PLYWOOD SHEATHING (U.I.O.)
- 2"x8" @ STUDS SPACED 16" OR 24" O.C.
- R-40 BATT (OR BLOWN) INSULATION, ROXUL OR SIMILAR APPROVED. REFER CEA REPORT
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

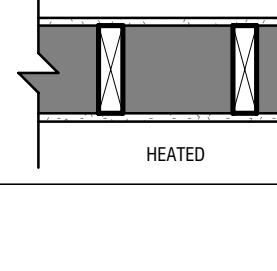


W4	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	ALL INTERIOR WALLS	N/A

EX. INTERIOR WALL ASSEMBLY

- 1 LAYER OF 1/2" (12.7MM) DRYWALL
- 2"x8", 2"x8" @ 16" (OR 24") CTS
- NO INSULATION
- 1 LAYER OF 1/2" (12.7MM) DRYWALL

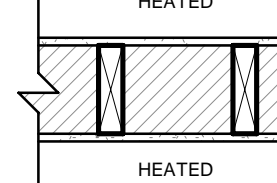
REFER ENG. DETAILS



W5	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	INTERIOR MAIN & UPPER	N/A

NEW INTERIOR WALL ASSEMBLY WITH NO INSULATION

- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL
- NEW 2"x10" STUDS @ 16" CTS
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL
- NEW 2"x8" STUDS @ 16" O.C. - TRIPLE STUD TRACK WALL ONLY, REFER ELEVATOR MANU. & ENG. DETAILS



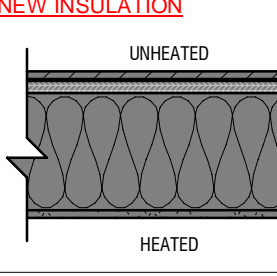
NOTE: FOR ALL ROOF TRUSSES, REFER TO MANUFACTURER'S DETAILS AND ENG. DETAILS

R1	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
	N/A	N/A	N/A	R48 EFFECTIVE	MAIN & UPPER FLOORS	N/A	N/A

EX. ROOF ASSEMBLY WITH EX. STRUCTURE & EX. CLADDING W NEW INSULATION

- RETAIN EX. ASPHALT SHINGLE ROOF CLADDING
- RETAIN EX. PLYWOOD SHEATHING (INSPECT ON SITE AND REPLACE AS REQ'D)
- EXISTING FRAMING TO REMAIN UNCHANGED (UPGRADE AS REQ'D)
- NEW R-40 BATT (OR BLOWN) INSULATION - ABSORPTIVE MATERIAL - (ROXUL SAFE & SOUND OR SIMILAR APPROVED)
- 6 MIL AIR & VAPOUR BARRIER (AS REQ'D)
- 5/8" DRYWALL

REFER ENG. DETAILS

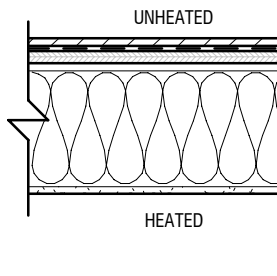


R2	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	MATERIAL ELEV. REF	REF
	N/A	N/A	N/A	R39.4 EFFECTIVE	ROOF	C (SHEET BRG)	N/A

NEW ROOF ASSEMBLY W ASPHALT CLADDING - WOOD TRUSSES

- ASPHALT SHINGLES
- APPROVED ROOFING MEMBRANE (15 LB FELT) UNDERLAYMENT
- 1/2" THK. PLYWOOD ROOF SHEATHING
- NEW 2X4 OR 2X6 CSA APPROVED WOOD TRUSSES (AS PER MANUFACTURER'S DETAILS)
- R-40 BATT (OR BLOWN) INSULATION, ROXUL OR SIMILAR APPROVED.
- 6 MIL POLY AIR & VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 5/8" DRYWALL

REFER ENG. DETAILS




W6	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	UPPER EXTERIOR WALLS	N/A

NEW WALL ASSEMBLY W NEW STUCCO CLADDING & INSULATION

- FINISH COAT/PRIMER/BASE COAT OF 1/2" THICK STUCCO CLADDING, REFER ELEVATIONS
- GALVANIZED REINFORCING WIRE MESH
- DRAINAGE CAVITY (U.I.O.)
- AIR-WATER RESISTIVE BARRIER (TYVEK®STUCCOWRAP OR SIMILAR APPROVED)
- 1/2" PLYWOOD SHEATHING (U.I.O.)
- 2"x8" @ STUDS SPACED 16" OR 24" O.C.
- R-40 BATT (OR BLOWN) INSULATION, ROXUL OR SIMILAR APPROVED. REFER CEA REPORT
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

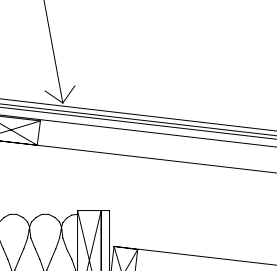


W6	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	UPPER EXTERIOR WALLS	N/A

NEW WALL ASSEMBLY W NEW STUCCO CLADDING & INSULATION

- FINISH COAT/PRIMER/BASE COAT OF 1/2" THICK STUCCO CLADDING, REFER ELEVATIONS
- GALVANIZED REINFORCING WIRE MESH
- DRAINAGE CAVITY (U.I.O.)
- AIR-WATER RESISTIVE BARRIER (TYVEK®STUCCOWRAP OR SIMILAR APPROVED)
- 1/2" PLYWOOD SHEATHING (U.I.O.)
- 2"x8" @ STUDS SPACED 16" OR 24" O.C.
- R-40 BATT (OR BLOWN) INSULATION, ROXUL OR SIMILAR APPROVED. REFER CEA REPORT
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

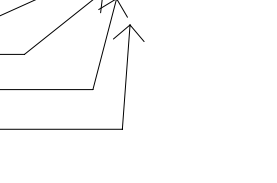
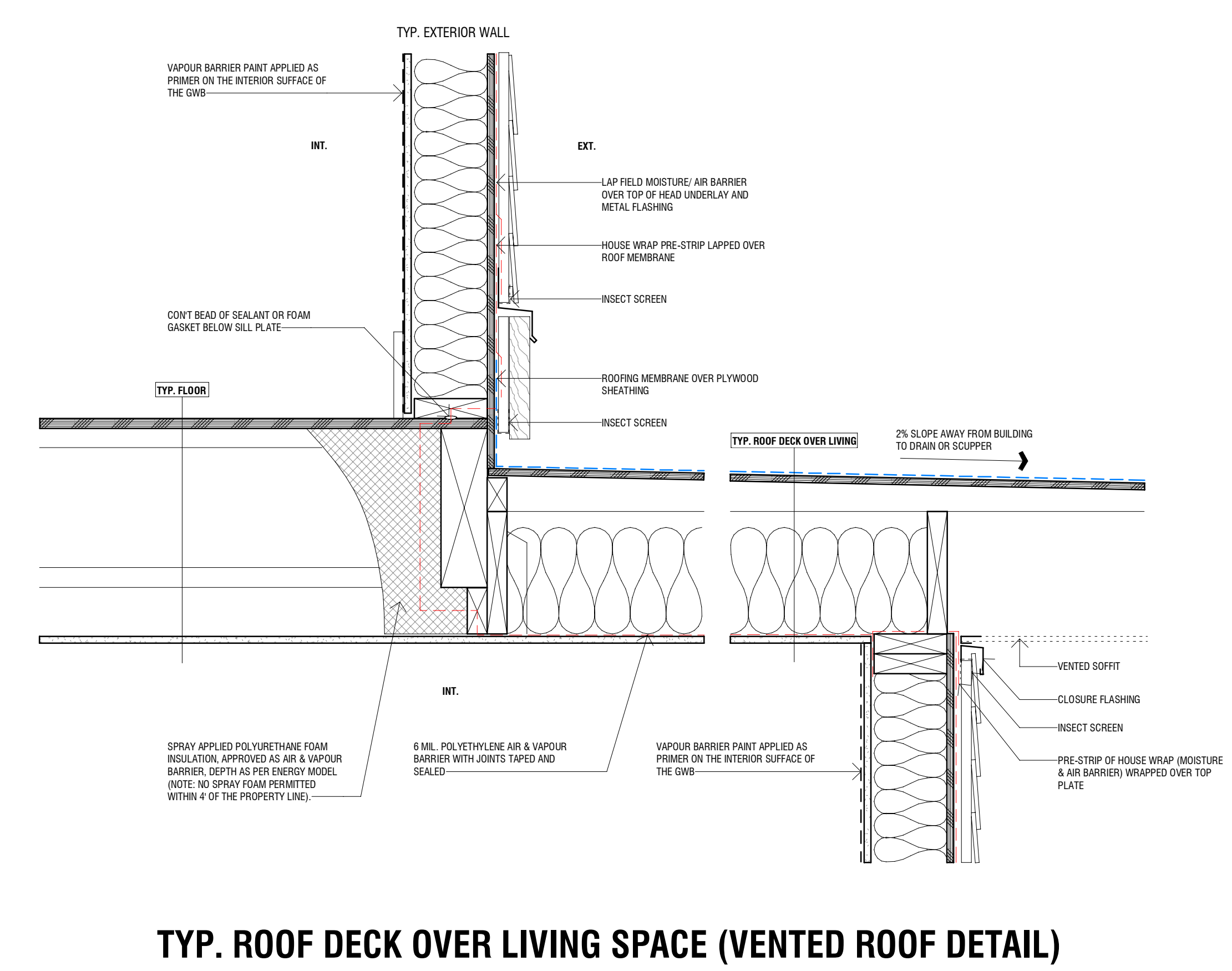
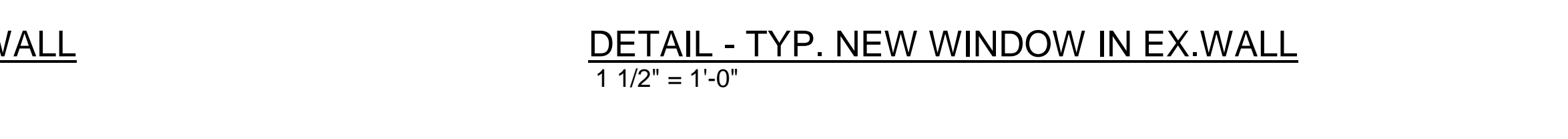
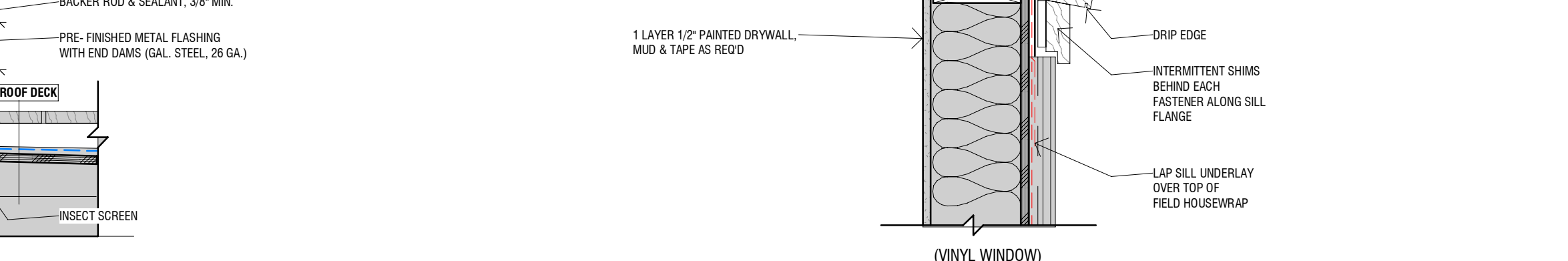
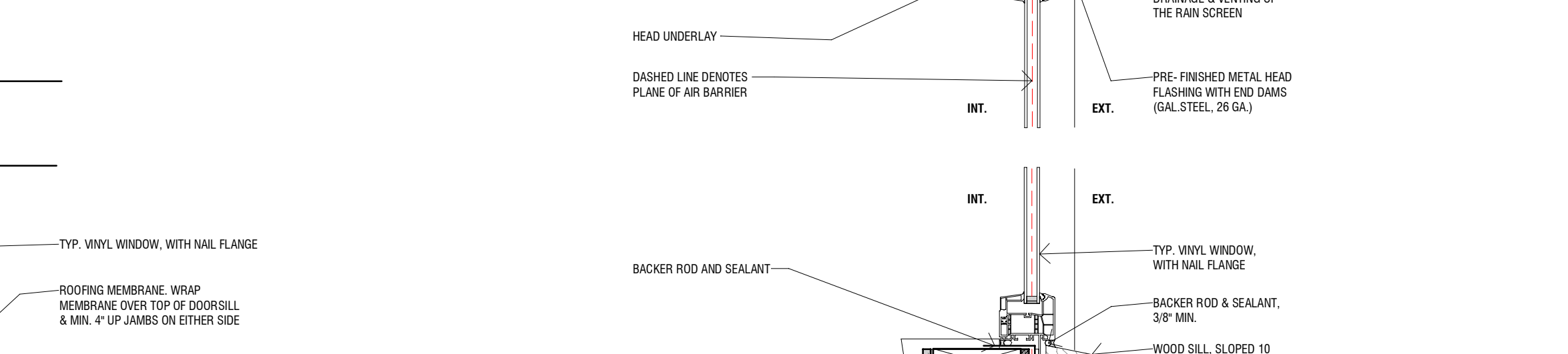
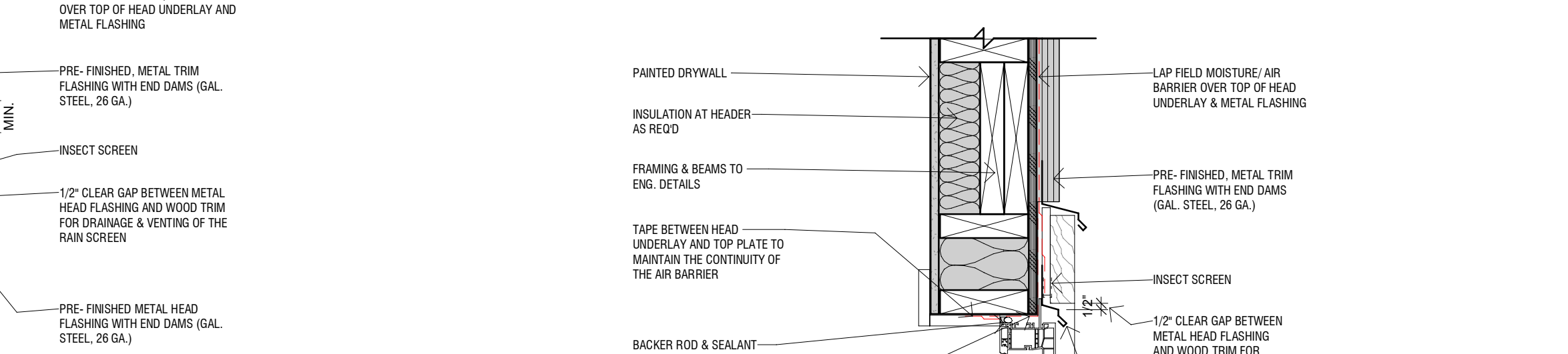
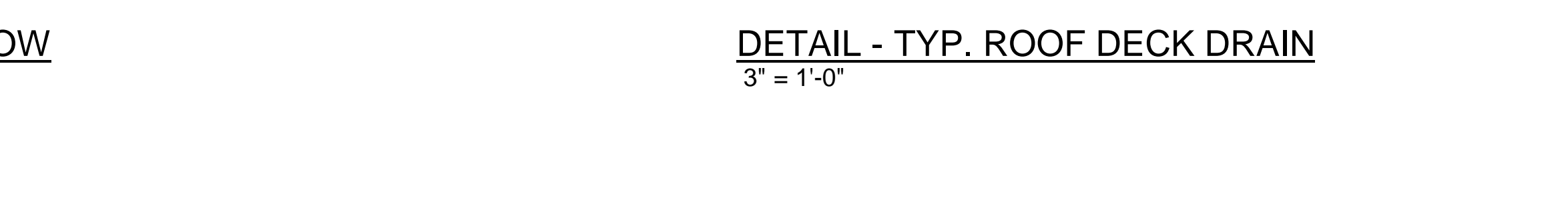
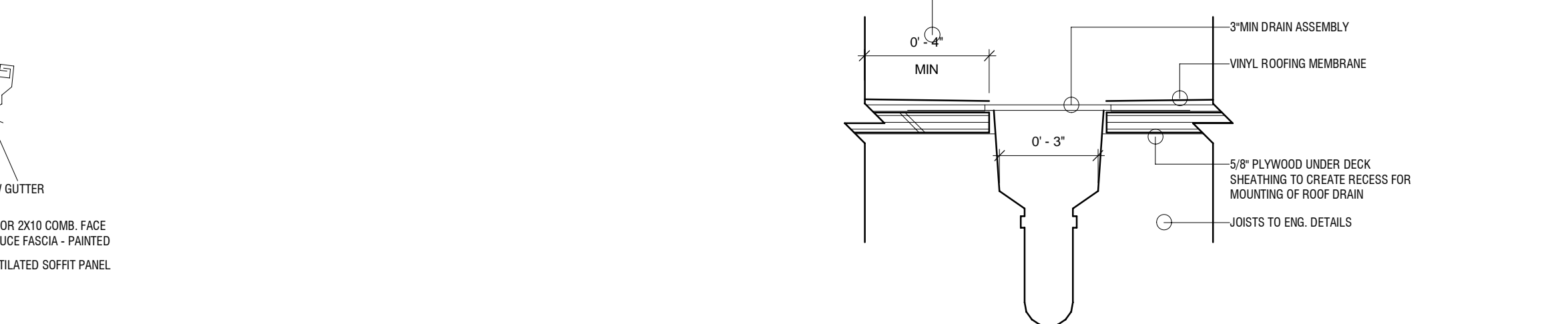
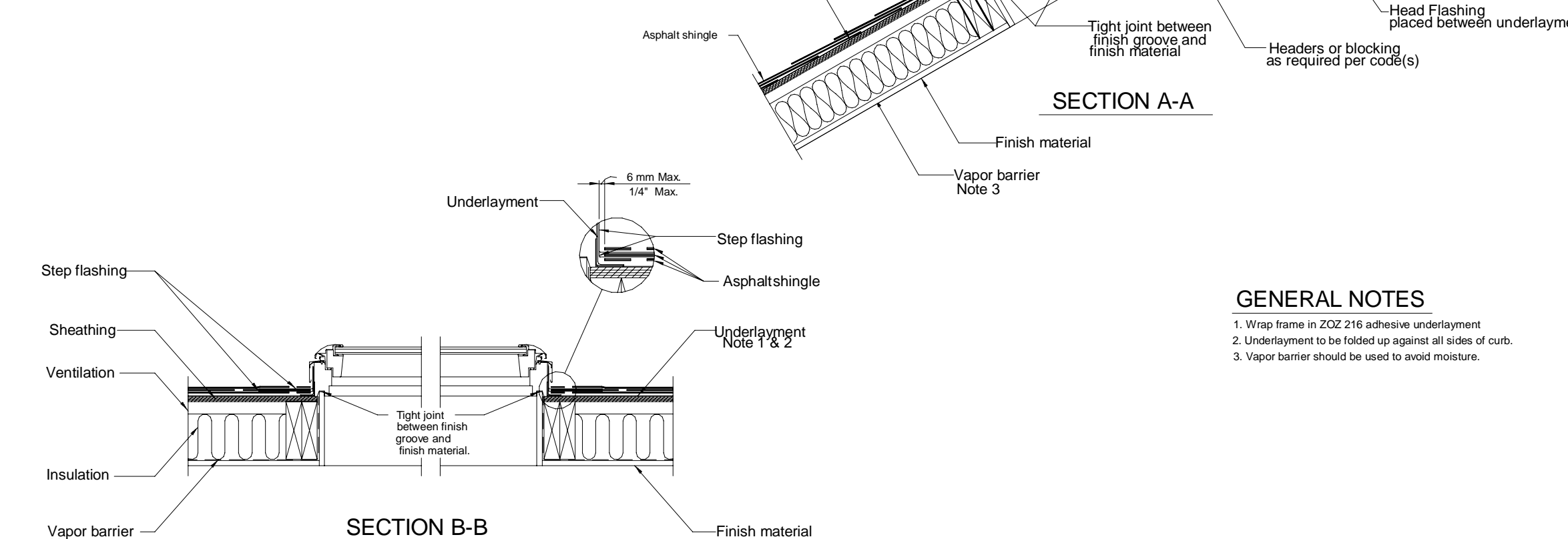
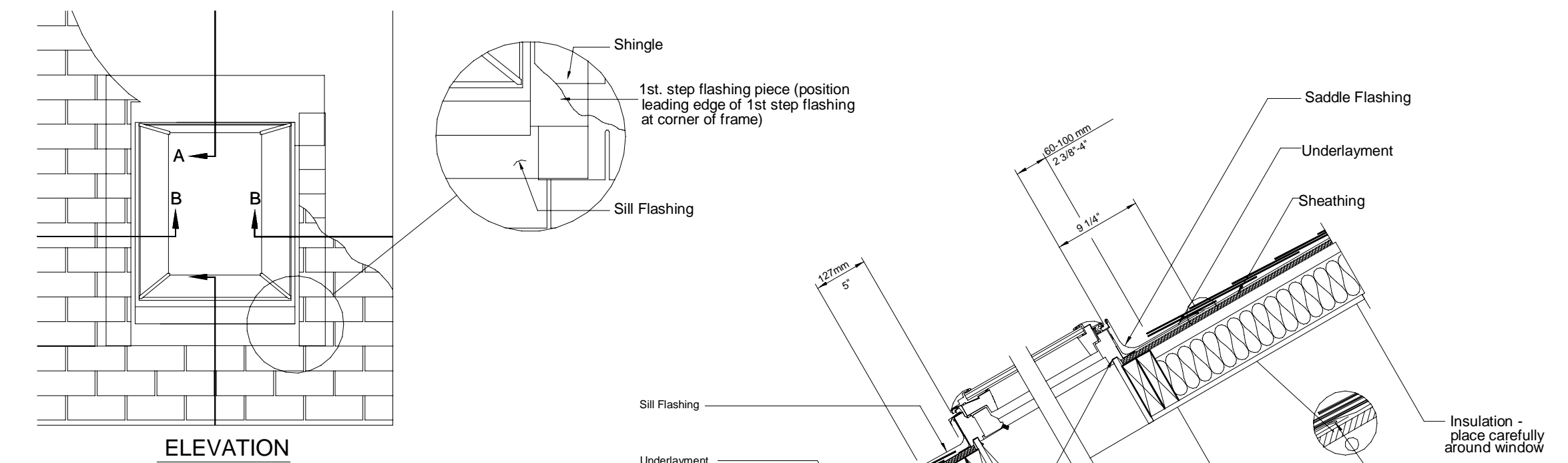


W6	FIRE RATING	STC MIN	TESTED ASSEMBLY	INSULATION R-VALUE	LOCATION	REF
	N/A	N/A	N/A	N/A	UPPER EXTERIOR WALLS	N/A

NEW WALL ASSEMBLY W NEW STUCCO CLADDING & INSULATION

- FINISH COAT/PRIMER/BASE COAT OF 1/2" THICK STUCCO CLADDING, REFER ELEVATIONS
- GALVANIZED REINFORCING WIRE MESH
- DRAINAGE CAVITY (U.I.O.)
- AIR-WATER RESISTIVE BARRIER (TYVEK®STUCCOWRAP OR SIMILAR APPROVED)
- 1/2" PLYWOOD SHEATHING (U.I.O.)
- 2"x8" @ STUDS SPACED 16" OR 24" O.C.
- R-40 BATT (OR BLOWN) INSULATION, ROXUL OR SIMILAR APPROVED. REFER CEA REPORT
- 6 MIL POLY VAPOUR BARRIER (CAULK OPENINGS & SEAL JOINTS)
- 1 NEW LAYER OF 1/2" (12.7MM) DRYWALL

REFER ENG. DETAILS

1676 West 75th Avenue, Vancouver, BC, V6P 6G2
www.kerrdesignbuild.ca
PH: 604.263.0343

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LIU RESIDENCE

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Signature(s)	Initials	Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

REV	DATE	ISSUED FOR CONTRACT TRIFECTA	INIT
1	Feb. 06/25	Issued for Contract Trifecta	XJ

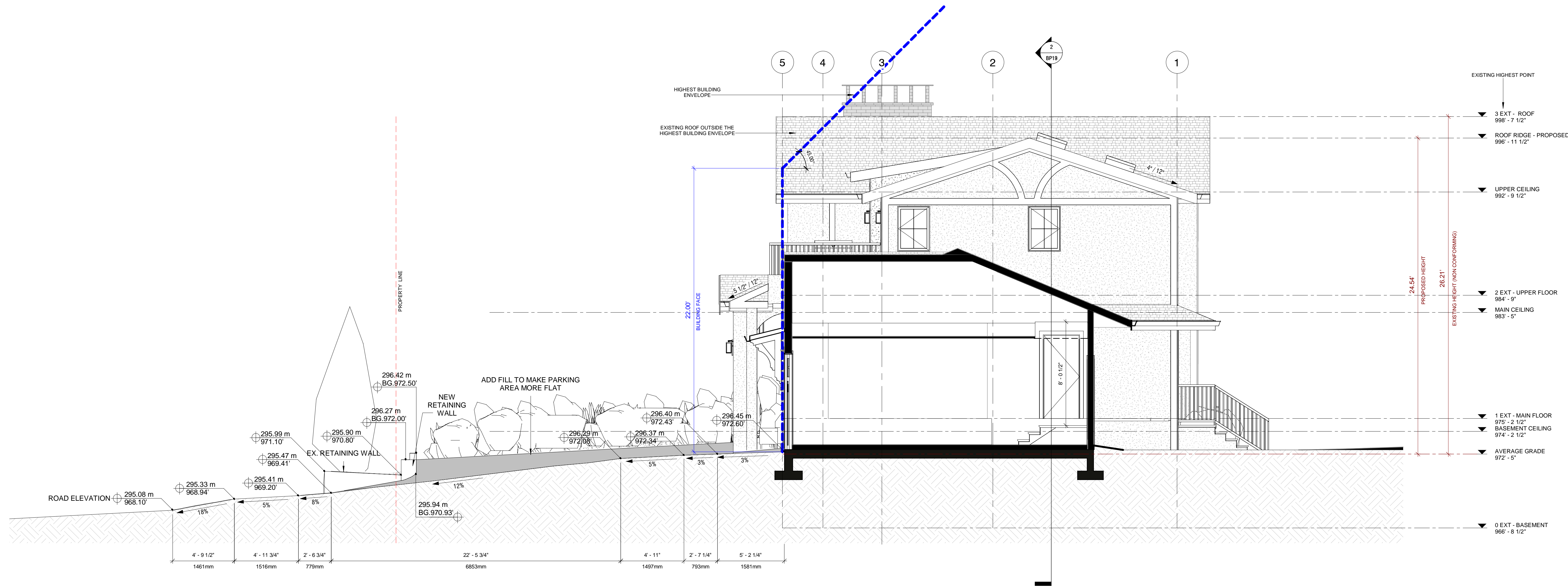
Project:
835 ANDOVER CRESCENT, WEST VANCOUVER

Drawing:
SECTIONS, DETAILS & ASSEMBLIES

Date:	Feb. 06/25
Scale:	As indicated
Drawn:	Author
Project no:	D487
Current revision:	1
Sheet No:	BP14

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1 SECTION 3 - DRIVEWAY
BP5 1/4" = 1'-0"

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 BUILDING PERMIT PLANS
 LIU
 RESIDENCE

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Signature: _____ Initials: _____ Date: _____

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
SECTIONS - DRIVEWAY

Date:	Feb. 06/25
Scale:	@ 36"W x 24"H Sheet 1/4" = 1'-0"
Drawn:	Author
Project no.:	D487
Current revision:	1
Sheet No.:	BP15

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LEGEND - LIGHTING & ELECTRICAL

- RECESSED DOWNLIGHT
- PENDANT FIXTURE
- CEILING MOUNT FIXTURE
- WALL SCONCE FIXTURE
- LED STRIP
- WRAP AROUND LIGHTING
- CEILING MOUNT FAN
- EXHAUST FAN
- HEAT VENT
- PLUMBING STACK
- SMOKE ALARM
- THERMOSTAT
- BASEBOARD HEATER, TBD
- INTERIOR MOTION SENSOR & LIGHT
- WIRING
- LIGHT SWITCH
- USB OUTLET

NOTE: - ALL PROPOSED LOCATIONS ARE AT THIS POINT SHOWN APPROXIMATE ONLY, AND ARE FOR DISCUSSION PURPOSES ONLY. LOCATIONS OF ALL LIGHTING, UTILITIES, SERVICES AND RCP LAYOUTS ARE FOR FUTURE DETERMINATION

NOTE: - IF SERVICES ITEM TAG IS NOT SHOWN ON PLANS THE ITEM & LOCATION IS CURRENTLY UNKNOWN AND STILL TO BE VERIFIED

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BUILDING PERMIT PLANS

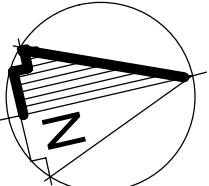
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RESIDENCE

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We hereby certify that the current drawings have been prepared in good faith and are complete to our satisfaction. I agree that the project is ready to proceed to the next stage

Signature: _____ Initials: _____ Date: _____

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



2 RCP EXT - BASEMENT
1/4" = 1'-0"

1 RCP - BASEMENT
1/4" = 1'-0"

1	REV	DATE	Issued for Contract Trifecta	XJ
			DETAILS	INIT
Project:				
835 ANDOVER CRESCENT, WEST VANCOUVER				
Drawing:				
RCP - PROPOSED				
Date:				
Feb. 06/25				
Scale: @ 36"W x 24"H Sheet				
As indicated				
Drawn:				
Author				
Project no:				
D487				
Current revision:				
1				
Sheet No:				
BP16				

IMPORTANT INFORMATION

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LEGEND - LIGHTING & ELECTRICAL

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- CF CEILING MOUNT FIXTURE
- W WALL SCONCE FIXTURE
- LED STRIP
- 5 WRAP AROUND LIGHTING
- F CEILING MOUNT FAN
- F EXHAUST FAN
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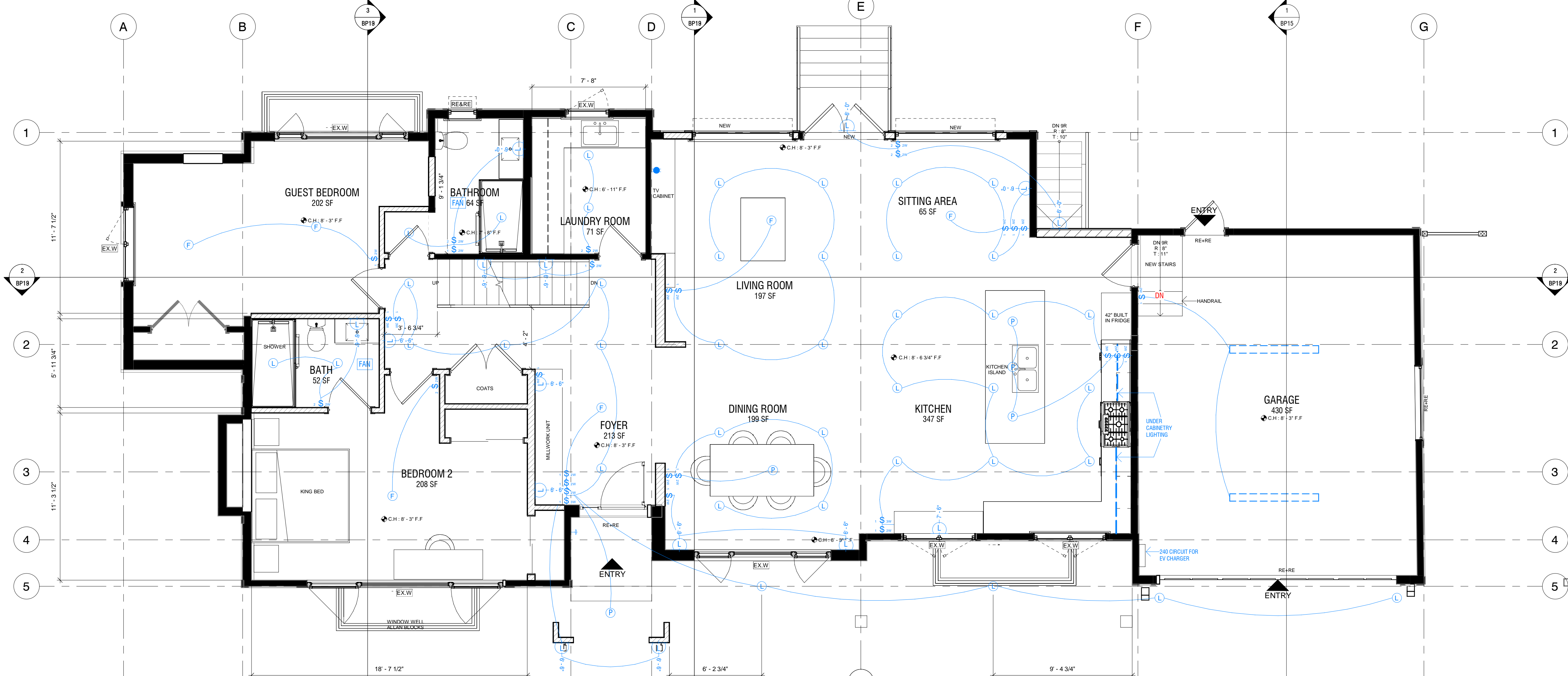
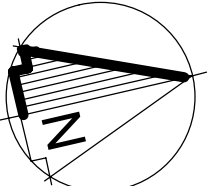
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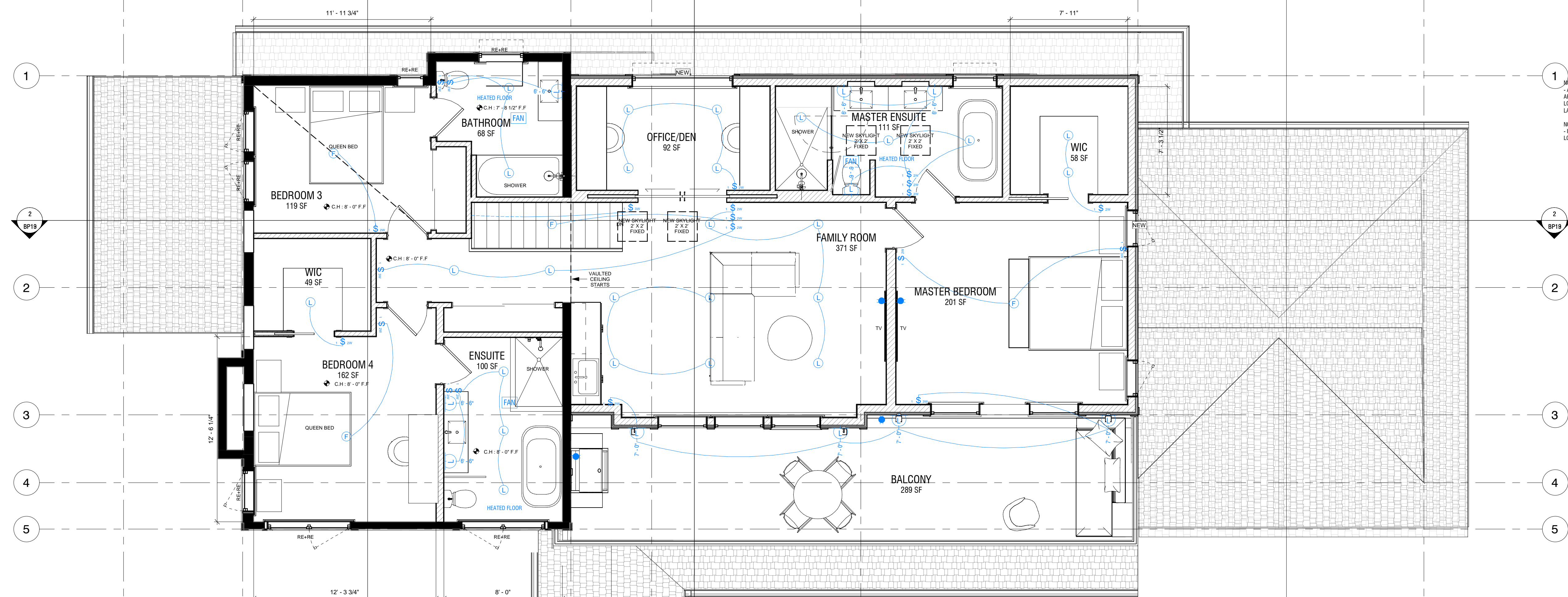
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Signature(s) Initials Date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



2 RCP - MAIN FLOOR
1/4" = 1'-0"



1 RCP - UPPER FLOOR
1/4" = 1'-0"

1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT
Project: 835 ANDOVER CRESCENT, WEST VANCOUVER			
Drawing: RCP - PROPOSED			
Date:	Feb. 06/25	As indicated	Author
Scale:	@ 36"W x 24"H Sheet		D487
Project no:			1
Current revision:			
Sheet No:	BP17		



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DESIGN · BUILD

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signature(s)	initials	date
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CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS

1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
RENDERS

Date: Feb. 06/25

Scale: @ 36"W x 24"H Sheet

Drawn: Author

Project no: D487

Current revision: 1

Sheet No: **BP18**

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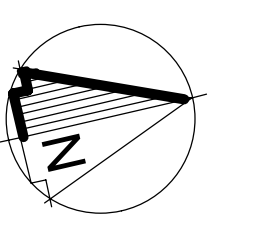
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signature(s) initials date

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1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
FLOOR PLANS

Date: Feb. 06/25

Scale: @ 36"W x 24"H Sheet 1/4" = 1'-0"

Drawn: Author

Project no: D487

Current revision: 1

Sheet No: **M1**

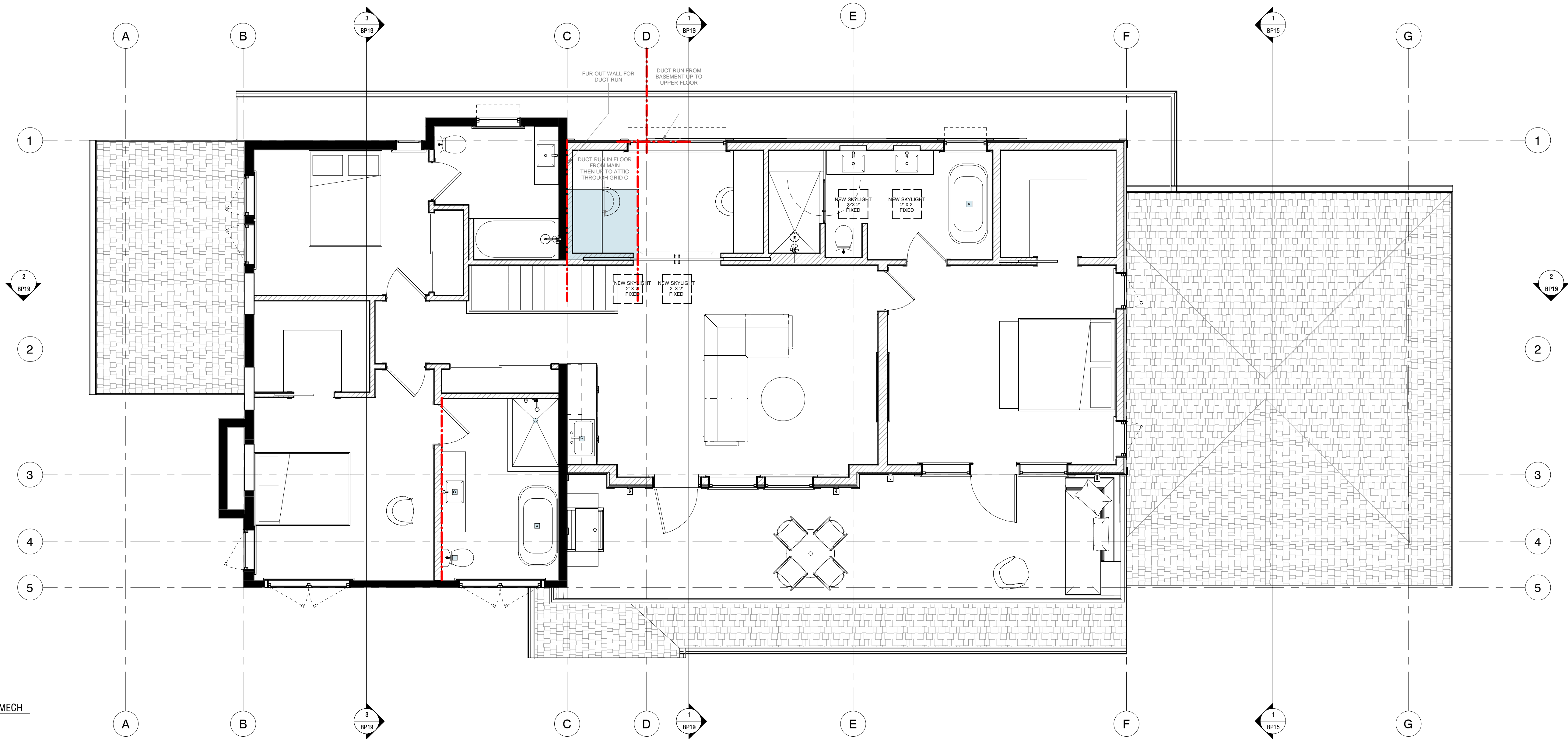


1 PRO - BASEMENT - MECH
BP9 1/4" = 1'-0"

2 PRO - MAIN FLOOR - MECH
BP9 1/4" = 1'-0"

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1 PRO - UPPER FLOOR - MECH
1/4" = 1'-0"

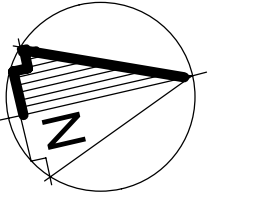
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signature(s) initials date

CONSTRUCTION CONTRACT TAKES PRECEDENCE OVER PLANS



1	Feb. 06/25	Issued for Contract Trifecta	XJ
REV	DATE	DETAILS	INIT

Project:
**835 ANDOVER CRESCENT,
WEST VANCOUVER**

Drawing:
FLOOR PLANS

Date:	Feb. 06/25
Scale:	@ 36"W x 24"H Sheet 1/4" = 1'-0"
Drawn:	Author
Project no.:	D487
Current revision:	1
Sheet No.:	M2