



CONTEXT PLAN 4212 EVERGREEN AVENUE



MAGNIFICATION FROM CONTEXT PLAN showing main floor footprint with roof over

SEEKING PERMISSION TO ALLOW THIS CORNER AT SECOND FLOOR TO CONNECT PERMITTED UPPER AND LOWER ROOF OVERHANGS

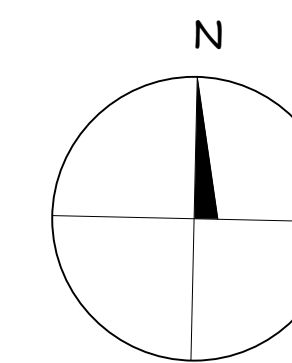
SEEKING PERMISSION TO ALLOW THIS CORNER AT SECOND FLOOR TO CONNECT PERMITTED UPPER AND LOWER ROOF OVERHANGS

SEEKING PERMISSION TO ALLOW THIS CORNER OF TRELLIS ROOF OVERHANG BEYOND ALLOWED OVERHANG

SEEKING PERMISSION TO ALLOW THIS CORNER OF TRELLIS ROOF OVERHANG BEYOND ALLOWED OVERHANG

existing pool

CONTEXT PLAN  
Scale: proportional from maps



Minor Development  
Variance request to  
residence under  
renovation permit #  
BP117964

<p>THIS DRAWING INCLUDING THE PRINCIPLES OF DESIGN AND CONCEPT IS THE PROPERTY AND COPYRIGHT OF AND IS SUBMITTED BY HOLLINGSWORTH ARCHITECTURE INC. WITH THE AGREEMENT THAT IT IS NOT TO BE REPRODUCED, COPIED, OR LOANED IN WHOLE OR IN PART. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE. COPYRIGHT AND OWNERSHIP OF THE DESIGN AND DRAWING ARE THE PROPERTY OF HOLLINGSWORTH ARCHITECTURE INC. THIS DRAWING IS NOT TO BE USED IN ANY MANNER THAT MAY CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO HOLLINGSWORTH ARCHITECTURE INC. ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN AGREEMENT AND ACCEPTANCE OF THE AFOREMENTIONED CONDITIONS.</p>	
<p>ISSUED</p>	<p>DATE</p>
<p>to District of West Van for preliminary review</p>	<p>April 5th, 2024</p>
<p>to District of West Van for review</p>	<p>April 29th, 2024</p>
<p>to District of West Van</p>	<p>May 7th, 2024</p>
<p>THIS DRAWING SHALL NOT BE SCALED.</p>	
<p>THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.</p>	
<p>REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.</p>	



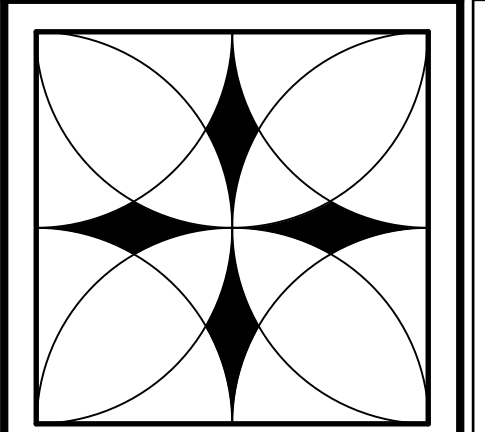
KHIMJI RESIDENCE RENOVATION  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

**HOLLINGSWORTH**  
ARCHITECTURE INC

DATE: March 28th, 2024  
DRAWN: SZR, HRB

REVISIONS:

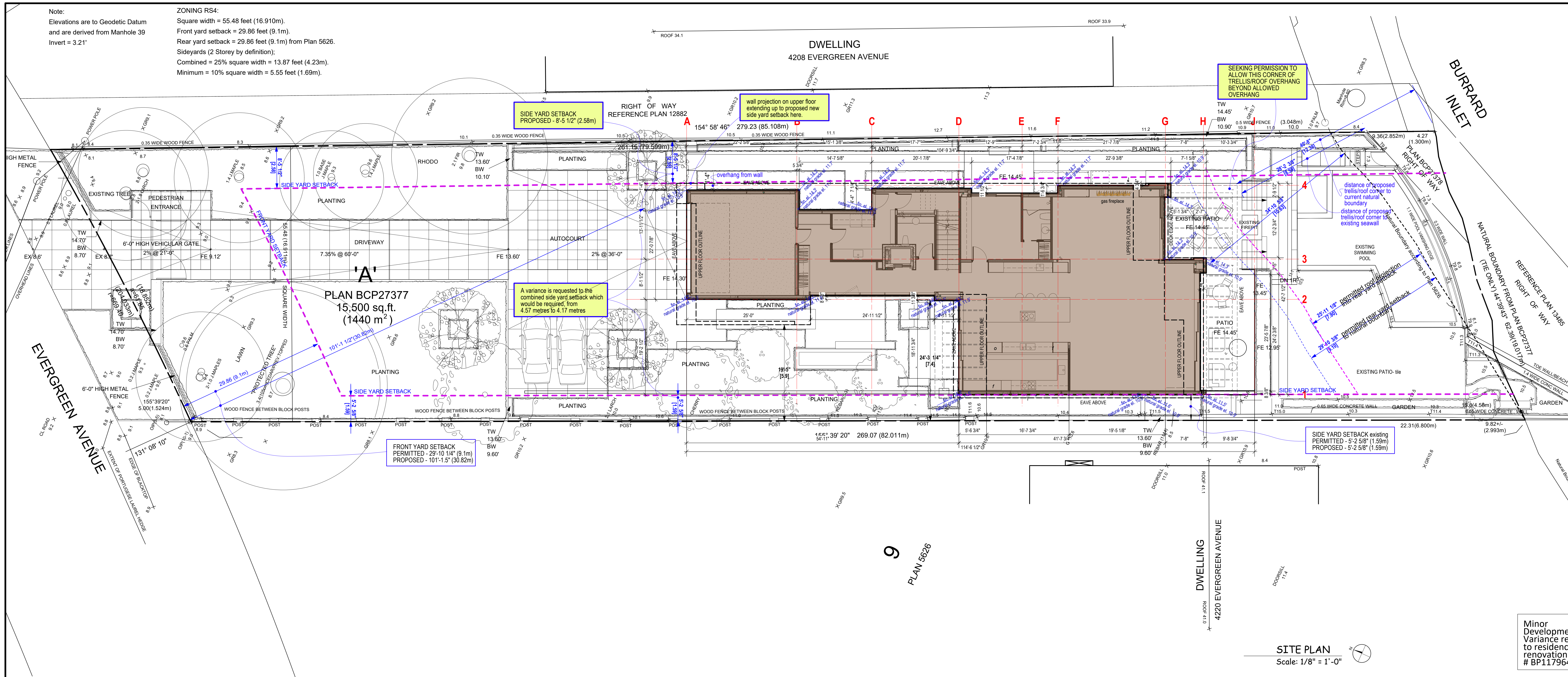
DRAWING NO. 1



May 7th, 2024

Note:  
Elevations are to Geodetic Datum  
and are derived from Manhole 39  
Invert = 3.21'

ZONING RS4:  
Square width = 55.48 feet (16.910m),  
Front yard setback = 29.86 feet (9.1m),  
Rear yard setback = 29.86 feet (9.1m) from Plan 5626.  
Sideyards (2 Storey by definition):  
Combined = 25% square width = 13.87 feet (4.23m),  
Minimum = 10% square width = 5.55 feet (1.69m).



EVERGREEN AVENUE

DWELLING  
4208 EVERGREEN AVENUE

BURARD INLET

9  
PLAN 5626

DWELLING  
4220 EVERGREEN AVENUE

SITE PLAN  
Scale: 1/8" = 1'-0"

Minor Development  
Variance req'd  
to residence  
renovation  
# BP117964

**SITE STATISTICS**

**BUILDING AREA SUMMARY**

MAIN FLOOR LIVING AREA:	2548 SF (236.7 m <sup>2</sup> )
MAIN FLOOR GARAGE:	493 SF (45.8 m <sup>2</sup> )
UPPER FLOOR:	2824 SF (262.4 m <sup>2</sup> )
<b>TOTAL</b>	<b>5865 SF (544.88 m<sup>2</sup>)</b>

**BUILDING AREA FOR F.A.R.**

MAIN FLOOR LIVING AREA:	2548 SF
MAIN FLOOR GARAGE:	493 SF
MINUS PARKING EXEMPTION:	-440 SF
UPPER FLOOR:	2824 SF
<b>TOTAL</b>	<b>5425 SF (504 m<sup>2</sup>)</b>

AVERAGE NAT. GRADE = 113' (3.444 m) see drawing 0.2

**CIVIC ADDRESS:**

4212 EVERGREEN AVENUE, WEST VANCOUVER, B.C.

**LEGAL DESCRIPTION:**

PARCEL 'A', BLOCK 12, DISTRICT LOT 582, GROUP ONE,  
NEW WESTMINSTER/DISTRICT, PLAN BCP27377  
P.I.D 026-892-146

**SITE ZONING:** RS4

**SITE AREA:** 15,500 SF (1440 m<sup>2</sup>)

**SITE COVERAGE:**

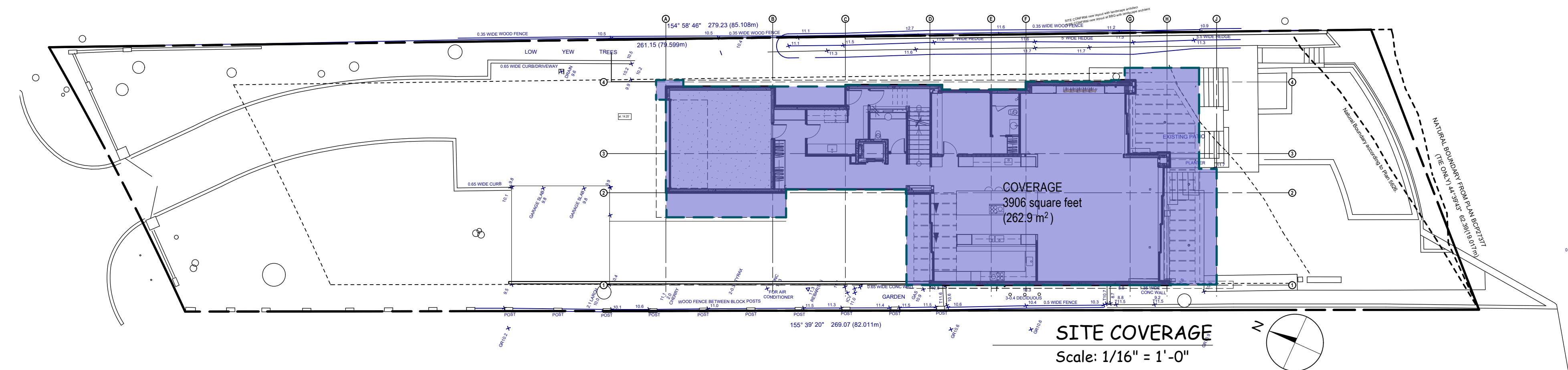
PERMITTED: MAXIMUM 30% (4650 SF (432 m<sup>2</sup>))  
PROPOSED: 3906 SF (362.9 m<sup>2</sup>) : 25.2%

**FLOOR AREA RATIO:**

PERMITTED: .35 (5425 SF (504 m<sup>2</sup>))  
PROPOSED: .35 (5425 SF (504 m<sup>2</sup>))

**BUILDING HEIGHT:**

PERMITTED: 25'-0" (7.62m)  
PROPOSED: 24'-11.5" (7.61 m)



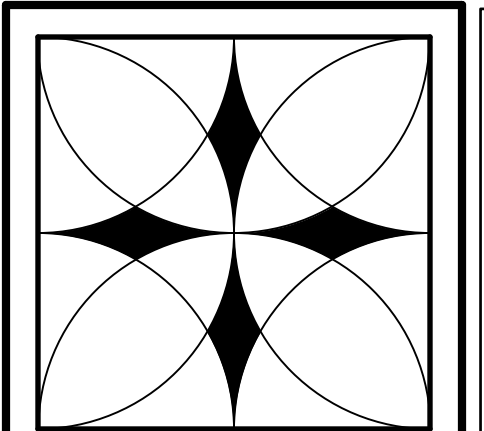
re-submitted to District of West Van	May 7th, 2024
to District of West Van for review	April 29th, 2024
to District of West Van for preliminary review	April 5th, 2024
ISSUED	DATE:

KHIMJI RESIDENCE RENOVATION  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

**HOLLINGSWORTH**  
ARCHITECTURE INC

DATE: March 28th, 2024  
DRAWN: SZR/HRB

REVISID:  
DRAWING NO. 2



May 7th, 2024

DWELLING

4208 EVERGREEN AVENUE

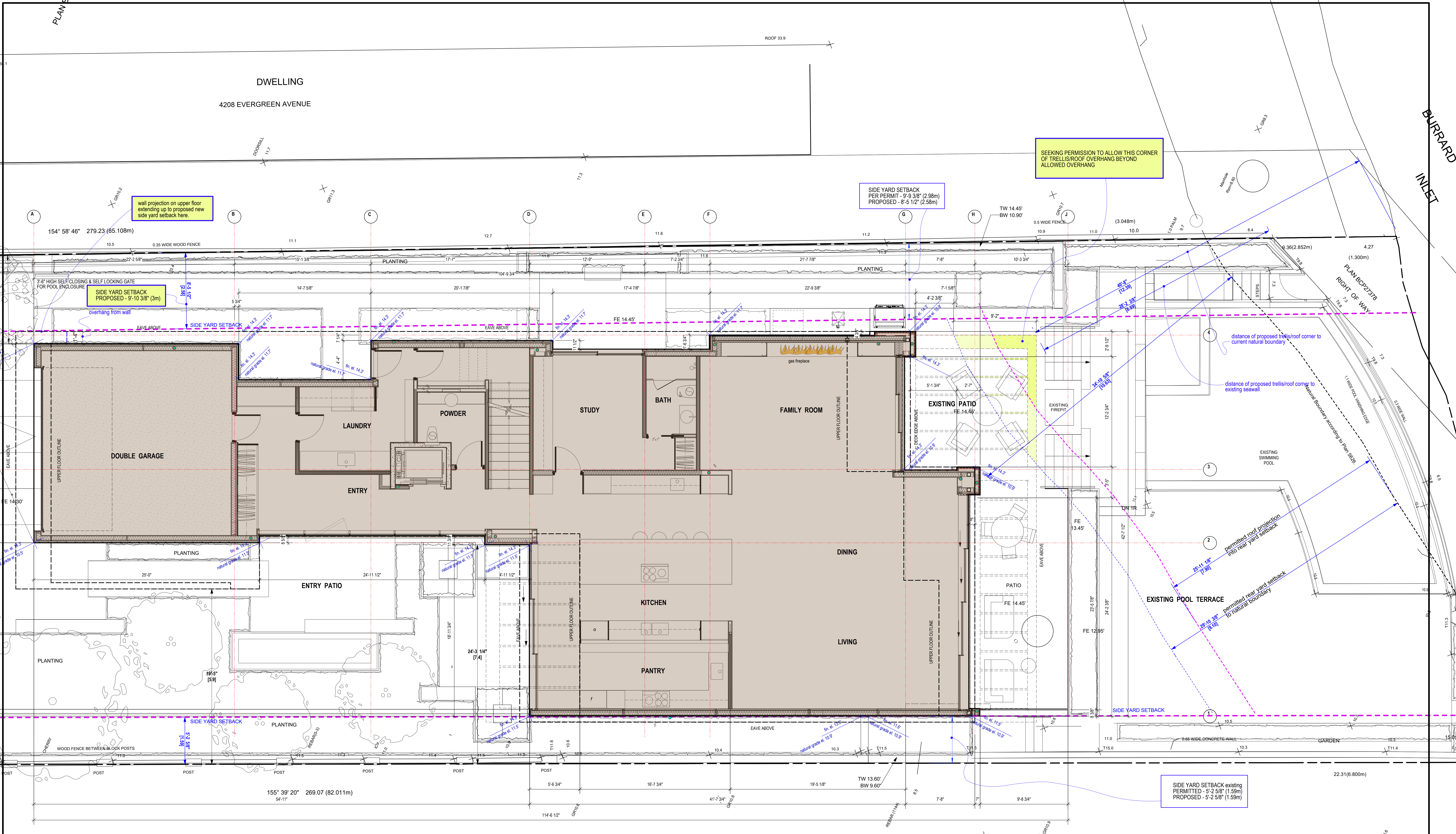
SEEKING PERMISSION TO ALLOW THIS CORNER OF TRELLIS/ROOF OVERHANG BEYOND ALLOWED OVERHANG

wall projection on upper floor extending up to proposed new side yard setback here.

SIDE YARD SETBACK PER PERMIT - 9'-9 3/8" (2.98m) PROPOSED - 8'-5 1/2" (2.58m)

SIDE YARD SETBACK PROPOSED - 9'-10 3/8" (3m)

SIDE YARD SETBACK existing PERMITTED - 5'-2 5/8" (1.59m) PROPOSED - 5'-2 5/8" (1.59m)



MAIN FLOOR PLAN

Scale: 1/4" = 1'-0"

Minor Development Variance request to residence under renovation permit # BP117964

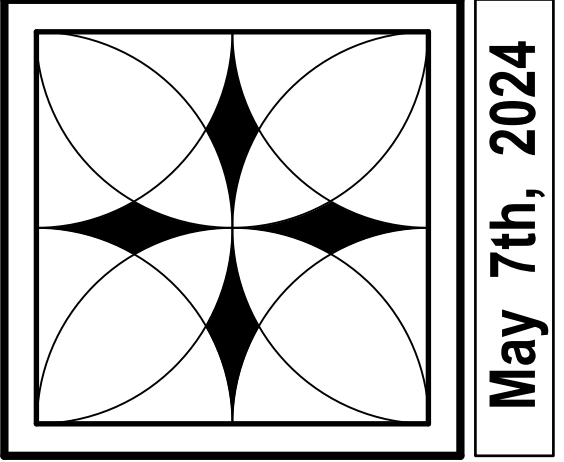
<p>THIS DRAWING INCLUDING THE PRINCIPLES OF DESIGN AND CONCEPT IS THE PROPERTY AND COPYRIGHT OF AND IS SUBMITTED BY HOLLINGSWORTH ARCHITECTURE INC. WITH THE AGREEMENT THAT IT IS NOT TO BE REPRODUCED, COPIED OR LOANED IN WHOLE OR IN PART. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE. COPYRIGHT AND OWNERSHIP OF THE DESIGN AND DRAWING ARE THE PROPERTY OF HOLLINGSWORTH ARCHITECTURE INC. THIS DRAWING IS NOT TO BE USED IN ANY MANNER THAT MAY CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO HOLLINGSWORTH ARCHITECTURE INC. ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN AGREEMENT AND ACCEPTANCE OF THE AFORESAID CONDITIONS.</p> <p>THIS DRAWING SHALL NOT BE SCALED.</p> <p>THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.</p> <p>REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.</p>	<p>REGISTERED ARCHITECT BRITISH COLUMBIA 2024-02-09</p>
<p>Submitted to District of West Van to District of West Van for review to District of West Van for preliminary review ISSUED</p>	<p>May 7th, 2024 April 29th, 2024 April 5th, 2024 DATE</p>

KHIMJI RESIDENCE RENOVATION  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

**HOLLINGSWORTH**  
ARCHITECTURE INC

DATE: March 28th, 2024  
DRAWN: SZR HRB

REVISED:  
DRAWING NO. 3



May 7th, 2024

DWELLING

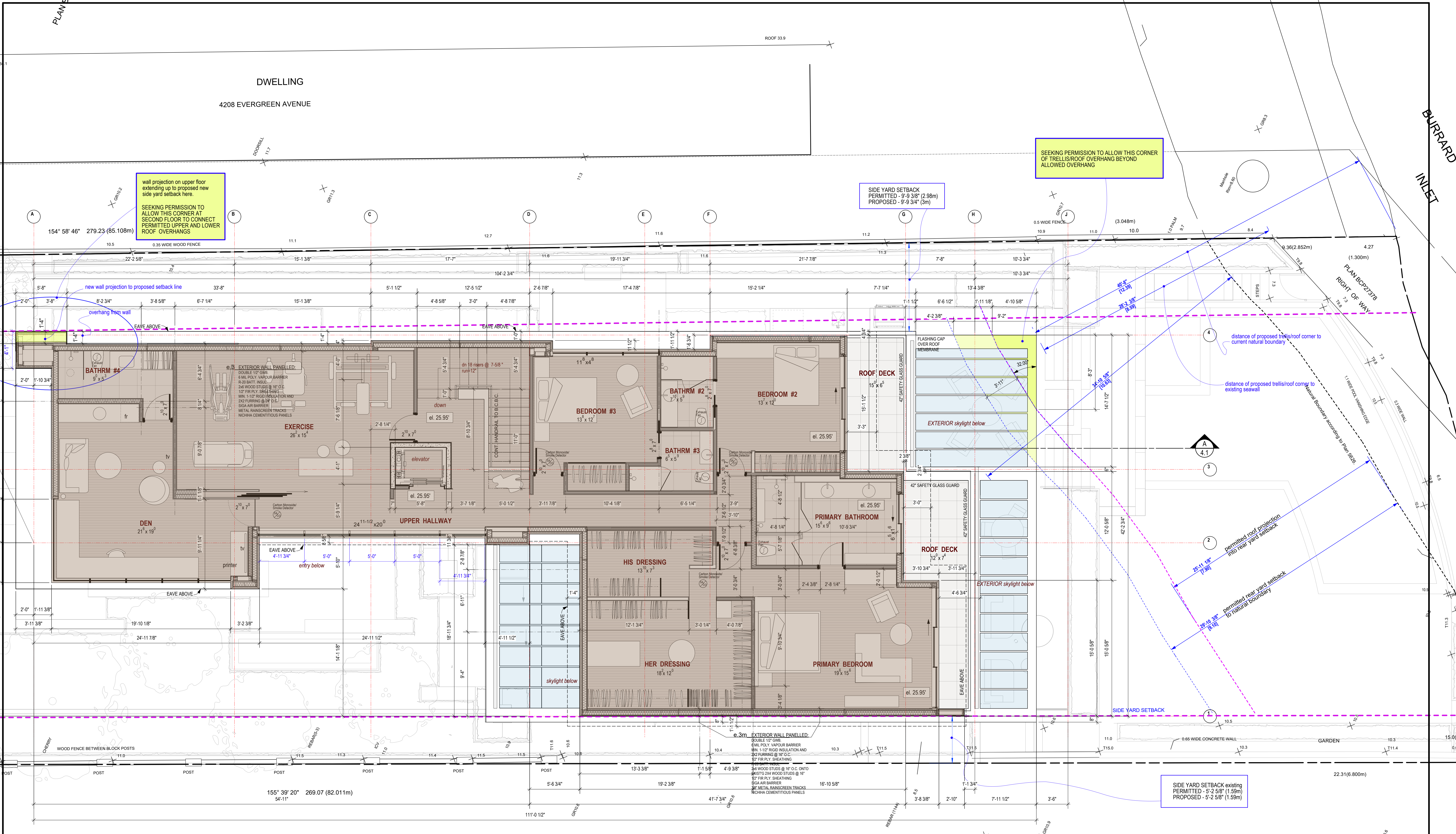
4208 EVERGREEN AVENUE

SEEKING PERMISSION TO ALLOW THIS CORNER AT SECOND FLOOR TO CONNECT PERMITTED UPPER AND LOWER ROOF OVERHANGS

SIDE YARD SETBACK PERMITTED - 9'-9 3/8" (2.98m) PROPOSED - 9'-9 3/4" (3m)

SEEKING PERMISSION TO ALLOW THIS CORNER OF TRELLIS/ROOF OVERHANG BEYOND ALLOWED OVERHANG

SIDE YARD SETBACK existing PERMITTED - 5'-2 5/8" (1.59m) PROPOSED - 5'-2 5/8" (1.59m)



UPPER FLOOR PLAN  
Scale: 1/4" = 1'-0"

Minor Development Variance request to residence under renovation permit # BP117964

16-submitted to District of West Van 17-District of West Van for review 18-District of West Van for preliminary review ISSUED:	May 7th, 2024 April 29th, 2024 April 5th, 2024 DATE:	THIS DRAWING INCLUDING THE PRINCIPLES OF DESIGN AND CONCEPT IS THE PROPERTY AND COPYRIGHT OF AND IS SUBMITTED BY HOLLINGSWORTH ARCHITECTURE INC. WITH THE AGREEMENT THAT IT IS NOT TO BE REPRODUCED, COPIED, OR LOANED IN WHOLE OR IN PART. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE. COPYRIGHT AND OWNERSHIP OF THE DESIGN AND DRAWING ARE THE PROPERTY OF HOLLINGSWORTH ARCHITECTURE INC. THIS DRAWING IS NOT TO BE USED IN ANY MANNER THAT MAY CONSTITUTE A BREACH DIRECTLY OR INDIRECTLY TO HOLLINGSWORTH ARCHITECTURE INC. ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN AGREEMENT AND ACCEPTANCE OF THE AFOREMENTIONED CONDITIONS. THIS DRAWING SHALL NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.
---	---	---

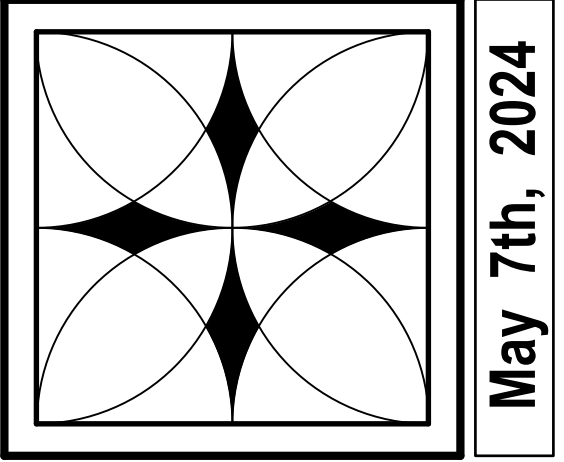


KHIMJI RESIDENCE RENOVATION  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

**HOLLINGSWORTH**  
ARCHITECTURE INC.

DATE: March 28th, 2024  
DRAWN: SZR HRB

REVISED:  
DRAWING NO. 4



May 7th, 2024

DWELLING

4208 EVERGREEN AVENUE

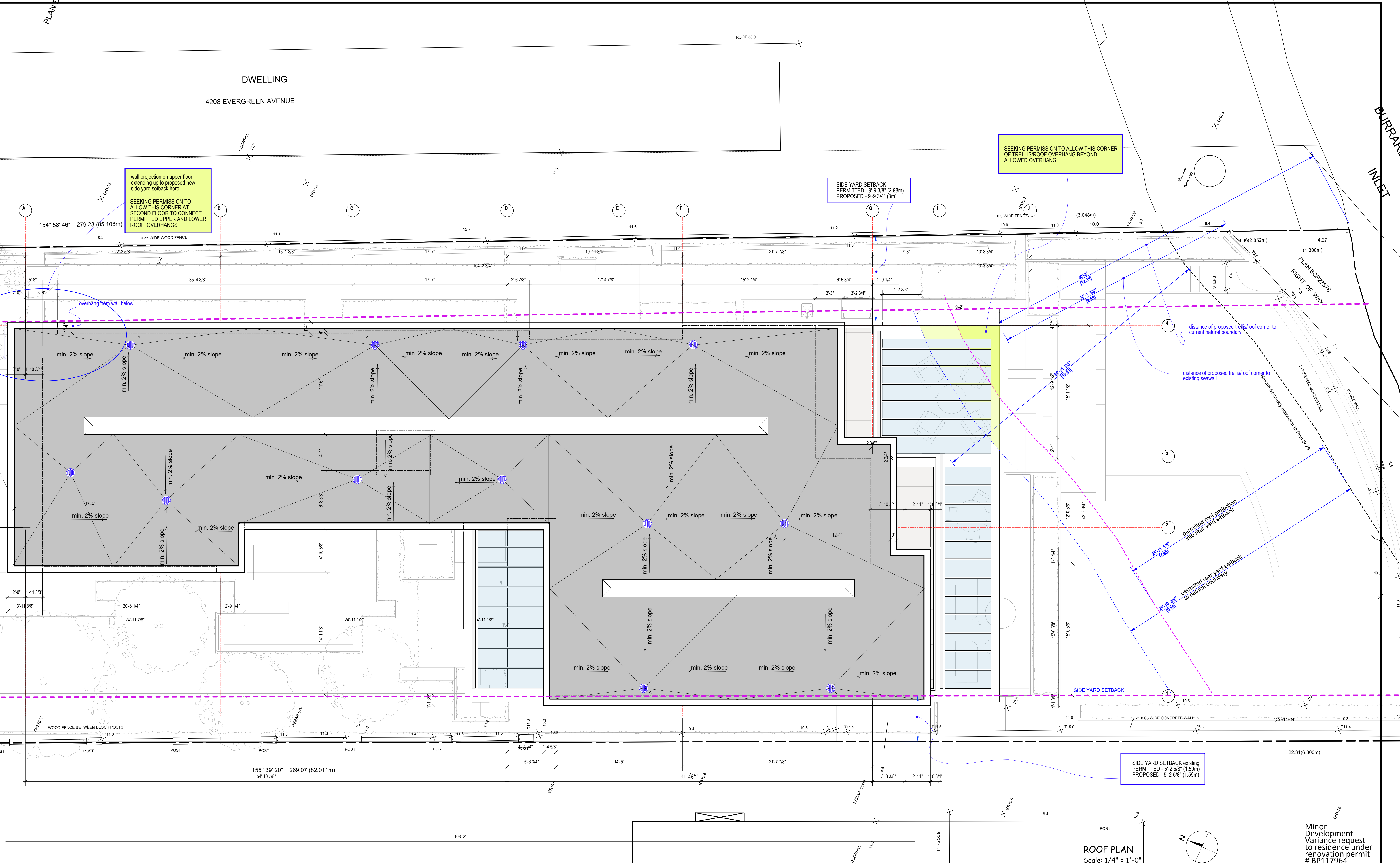
BURARD INLET

wall projection on upper floor extending up to proposed new side yard setback here.  
SEEKING PERMISSION TO ALLOW THIS CORNER AT SECOND FLOOR TO CONNECT PERMITTED UPPER AND LOWER ROOF OVERHANGS

SIDE YARD SETBACK PERMITTED - 9'-9 3/8" (2.98m)  
PROPOSED - 9'-9 3/4" (3m)

SEEKING PERMISSION TO ALLOW THIS CORNER OF TRELLIS/ROOF OVERHANG BEYOND ALLOWED OVERHANG

SIDE YARD SETBACK existing PERMITTED - 5'-2 5/8" (1.59m)  
PROPOSED - 5'-2 5/8" (1.59m)



ROOF PLAN  
Scale: 1/4" = 1'-0"

Minor Development Variance request to residence under renovation permit # BP117964

<p>THIS DRAWING INCLUDING THE PRINCIPLES OF DESIGN AND CONCEPT IS THE PROPERTY AND COPYRIGHT OF AND IS SUBMITTED BY HOLLINGSWORTH ARCHITECTURE INC. WITH THE AGREEMENT THAT IT IS NOT TO BE REPRODUCED, COPIED OR LOANED IN WHOLE OR IN PART. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE. COPYRIGHT AND OWNERSHIP OF THE DESIGN AND DRAWING ARE THE PROPERTY OF HOLLINGSWORTH ARCHITECTURE INC. THIS DRAWING IS NOT TO BE USED IN ANY MANNER THAT MAY CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO HOLLINGSWORTH ARCHITECTURE INC. ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN AGREEMENT AND ACCEPTANCE OF THE AFORESAID CONDITIONS.</p> <p>THIS DRAWING SHALL NOT BE SCALED.</p> <p>THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.</p> <p>REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.</p>	
<p>Submitted to District of West Van to District of West Van for review to District of West Van for preliminary review ISSUED</p>	<p>May 7th, 2024 April 29th, 2024 April 26th, 2024 DATE</p>

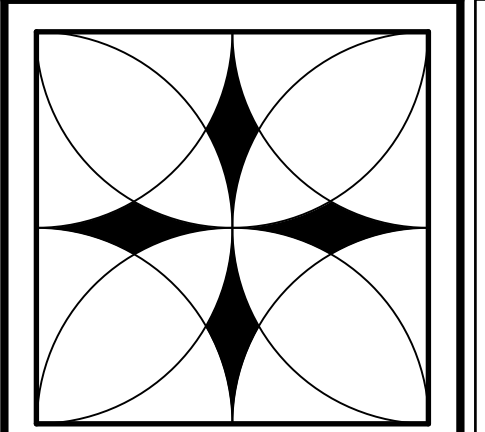


KHIMJI RESIDENCE RENOVATION  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

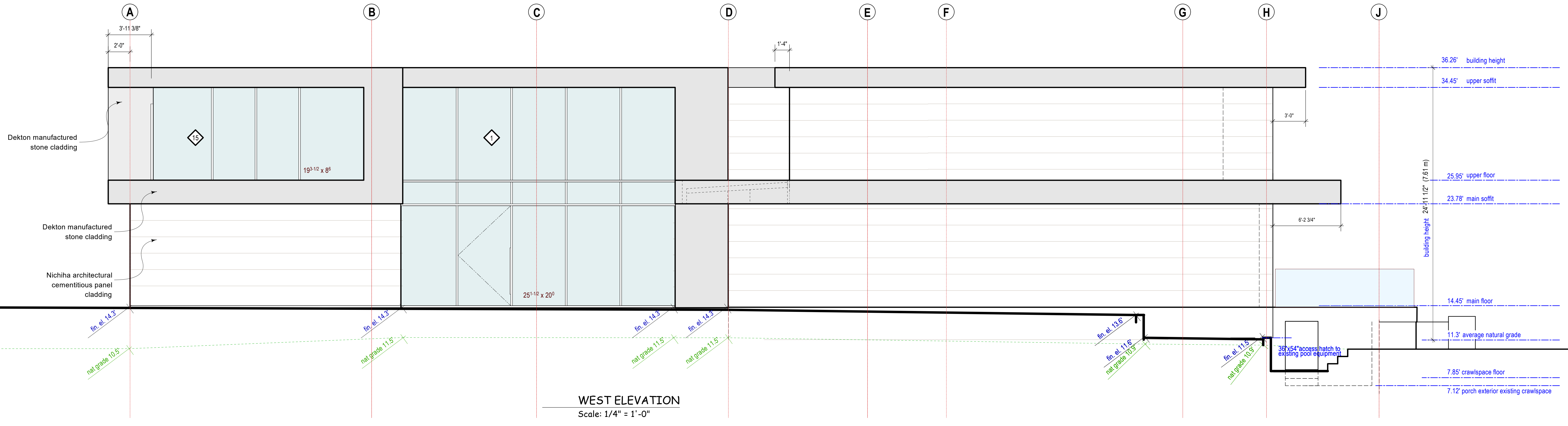
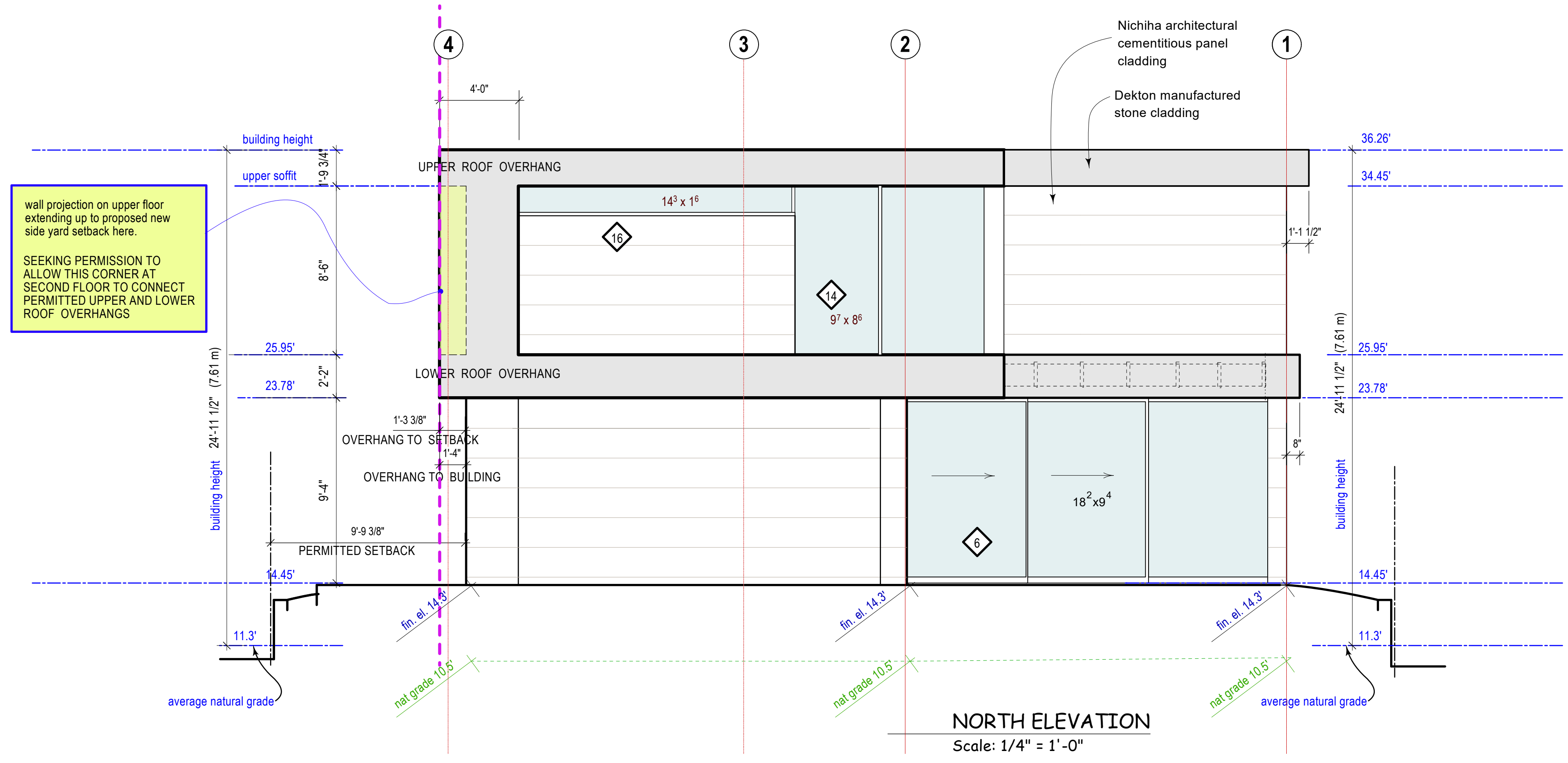
**HOLLINGSWORTH**  
ARCHITECTURE INC.

DATE: March 28th, 2024  
DRAWN: SZR HRB

REVISI...  
DRAWING NO. 5



May 7th, 2024



NORTH AND WEST ELEVATIONS  
Scale: 1/4" = 1'-0"

Minor Development Variance request to residence under renovation permit # BP117964

re-submitted to District of West Van to District of West Van for review to District of West Van for preliminary review ISSUED	May 7th, 2024 April 29th, 2024 April 29th, 2024 DATE	THIS DRAWING INCLUDING THE PRINCIPLES OF DESIGN AND CONCEPT IS THE PROPERTY AND COPYRIGHT OF AND IS SUBMITTED BY HOLLINGSWORTH ARCHITECTURE INC. WITH THE AGREEMENT THAT IT IS NOT TO BE REPRODUCED, COPIED OR LOANED IN WHOLE OR IN PART. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE. COPYRIGHT AND OWNERSHIP OF THE DESIGN AND DRAWING ARE THE PROPERTY OF HOLLINGSWORTH ARCHITECTURE INC. ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN AGREEMENT AND ACCEPTANCE OF THE AFORESAID CONDITIONS. THIS DRAWING SHALL NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.
--	---	---



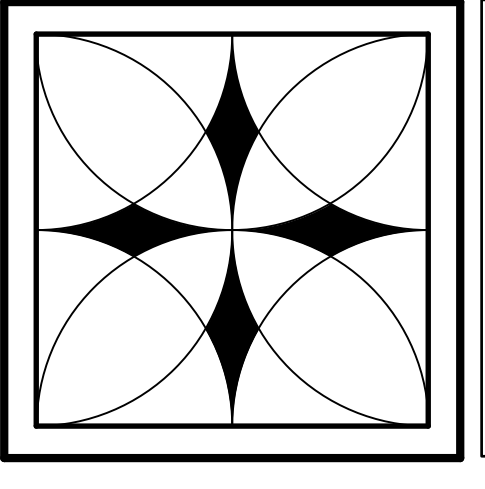
KHIMJI RESIDENCE RENOVATION  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

**HOLLINGSWORTH**  
ARCHITECTURE INC.

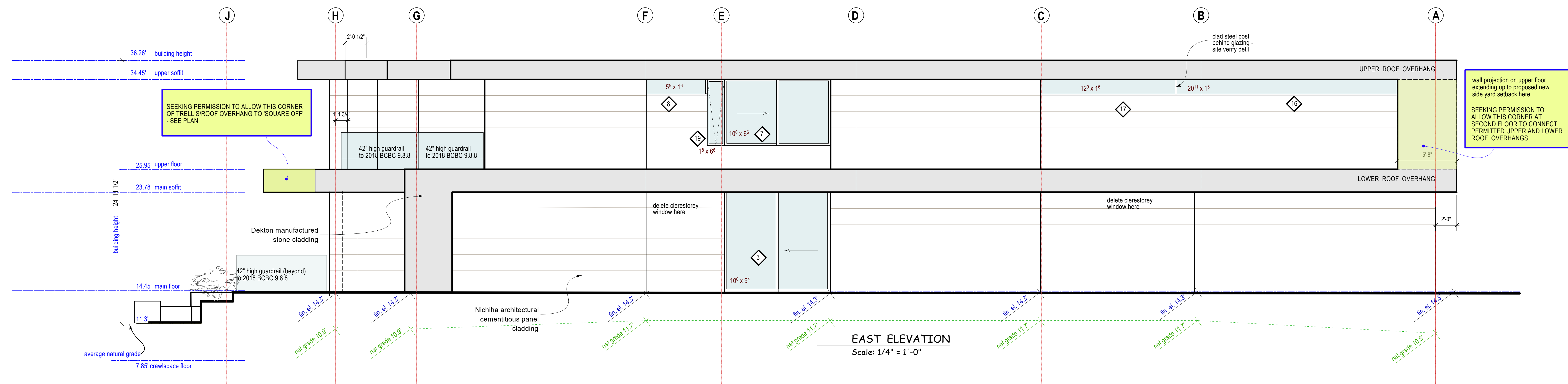
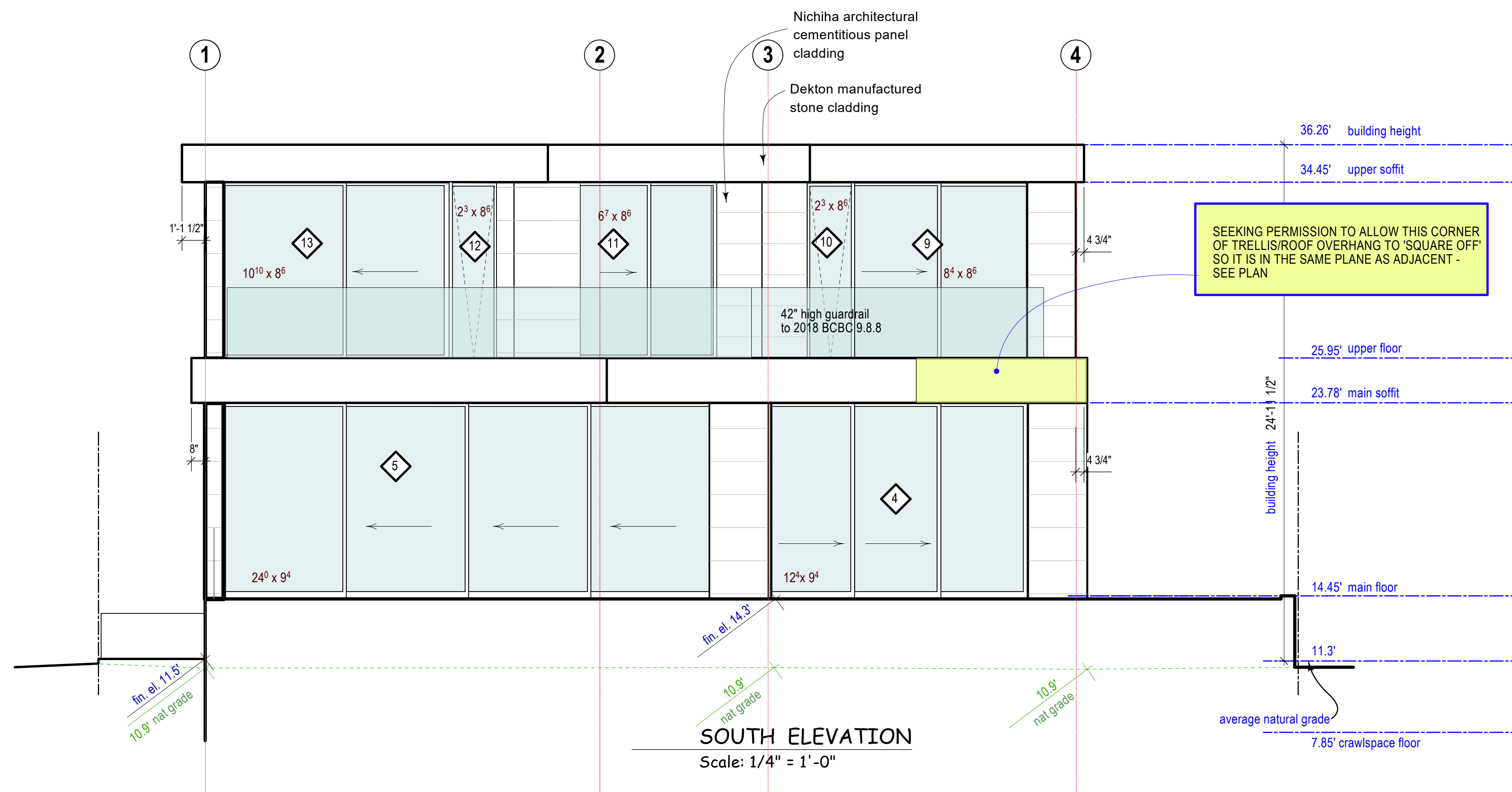
DATE: March 28th, 2024  
DRAWN: SZR, HBB

REVISIONS:

DRAWING NO. 6



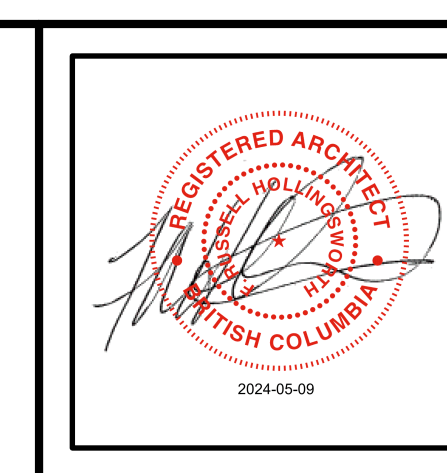
May 7th, 2024



**SOUTH AND EAST ELEVATIONS**  
Scale: 1/4" = 1'-0"

Minor Development Variance request to residence under renovation permit # BP117964

This drawing including the principles of design and concept, is the property and copyright of and is submitted by Hollingsworth Architecture Inc. with the agreement that it is not to be reproduced, copied or loaned in whole or in part. This document is an instrument of service. Copyright and ownership of the design and drawing are the property of Hollingsworth Architecture Inc. This drawing is not to be used in any manner that may constitute a detriment directly or indirectly to Hollingsworth Architecture Inc. Acceptance of this drawing will be construed as an agreement and acceptance of the aforementioned conditions. THIS DRAWING SHALL NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.	May 7th, 2024 April 29th, 2024 April 5th, 2024 DATE
Submitted to District of West Van to District of West Van for review to District of West Van for preliminary review ISSUED	May 7th, 2024 April 29th, 2024 April 5th, 2024 DATE



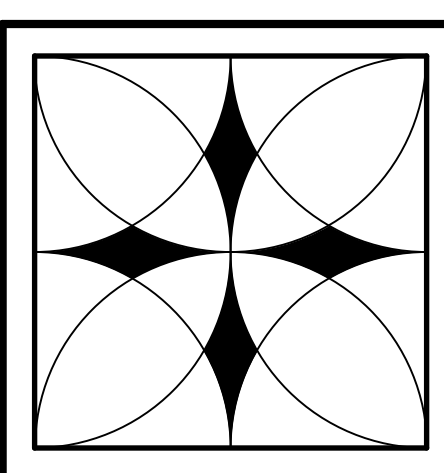
**KHIMJI RESIDENCE RENOVATION**  
4212 EVERGREEN AVENUE, WEST VAN, B.C.

**HOLLINGSWORTH**  
ARCHITECTURE INC.

DATE: March 28th, 2024  
DRAWN: SZR, HRB

REVISIONS:

DRAWING NO. 7



May 7th, 2024