

RODGERS CREEK AREA 5
3900 CYPRESS BOWL ROAD, WEST VANCOUVER

ISSUED FOR DEVELOPMENT PERMIT - REVISION 1 - 2025 03 17



ZONING SUMMARY

CIVIC ADDRESS	Road 'J' West Vancouver	
LOCATION	Lot A, Area 5 of Rogers Creek	
ZONING	603 - CD3 (Rogers Creek)	
SITE AREA	4.96 ha	
FAR AREA	472,197 SF	44,426 m ²
	472,193 SF	44,426 m ²
SITE COVERAGE	35.00%	
	31.99%	
# OF STOREYS	16 Storeys	
	Tower T1 - 16 Storeys	
	Tower T2 - 14 Storeys	
	Tower T3 - 13 Storeys	
	Tower T4 - 13 Storeys	
BUILDING HEIGHT	50.29 m	*
	58.49 m	*
SETBACKS	* Proposed variance. The proposed building height is compliant with the Maximum Height Limit defined in the Height Restrictive Covenant (refer to dwg A105)	
	6.00 m	Front yard
	7.50 m	Rear yard
	6.00 m	Side yard
	Various (the permitted setbacks are maintained - refer to site plan)	
CONSTRUCTION	Concrete	
RESIDENTIAL UNITS	354	Permitted
	354	Proposed
VEHICLE PARKING	52C	Residential stalls
	77	Visitor stalls
BICYCLE PARKING	66C	Secure bicycle spaces
	75	Short term bicycle spaces

AREA CALCULATIONS

LEVEL	TOWER 1		TOWER 2		TOWER 3		TOWER 4		AMENITY	OTHER*	TH	GFA	AMENITY BLDG.	PARKING
	RESIDENTIAL	GFA	RESIDENTIAL	GFA	RESIDENTIAL	GFA	RESIDENTIAL	GFA						
ROOF	0	296	0	296	0	296	0	296						
16	4,812	4,812	4,812	4,812	4,812	4,812	4,812	4,812						
15	5,131	5,131	5,131	5,131	5,131	5,131	5,131	5,131						
14	5,131	5,131	5,131	5,131	5,131	5,131	5,131	5,131						
13	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
12	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
11	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
10	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
9	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
8	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
7	7,638	7,638	7,638	7,638	7,638	7,638	7,638	7,638						
6	8,811	8,811	8,811	8,811	8,811	8,811	8,811	8,811						
5	8,811	8,811	8,811	8,811	8,811	8,811	8,811	8,811						
4	8,811	8,811	8,811	8,811	8,811	8,811	8,811	8,811						
3	8,811	8,811	8,811	8,811	8,811	8,811	8,811	8,811						
2	8,811	8,811	8,811	8,811	8,811	8,811	8,811	8,811						
1	4,406	4,406	8,197	8,197	6,476	6,476	2,693	2,693	417	8,234	10,488	3,869	130,971	
P1											16,143	5,527	154,411	
P2											14,126	757		
P3											14,126			
SUBTOTAL	472	114,347	0	95,370	0	86,433	0	141,286	417	8,524	40,757	10,133	265,184	
FAR AREA/BUILDING	SF	114,347	SF	95,370	SF	86,433	SF	141,286	SF	8,524	SF	SF	SF	SF
	M ²	10,623	M ²	8,860	M ²	8,000	M ²	13,126	M ²	786	M ²	M ²	M ²	M ²
GFA AREA/BUILDING	M ²	119,521	M ²	103,863	M ²	93,205	M ²	150,227	M ²	9,010	M ²	M ²	M ²	M ²
		11,104		1,640		8,659		13,957		3,786				
TOTAL		478,103 SF		44,426 M²		44,426 M²		44,426 M²		44,426 M²				
CD3 AREA 5 BY-LAW REQUIREMENT - MAX. FLOOR AREA ALLOWED		478,197 SF		44,026 M ²		44,702 M ²		44,702 M ²		44,702 M ²				
GFA (ABOVE GROUND) - L1 TO ROOF LEVEL		461,173 SF		42,733 M ²		42,733 M ²		42,733 M ²		42,733 M ²				
GFA (ABOVE + BELOW GROUND) - P2 TO ROOF LEVEL		782,890 SF		72,733 M ²		72,733 M ²		72,733 M ²		72,733 M ²				

* Includes Bike Storage, Residential Storage, Main Lobby & Mail Room & Service Rooms



1 SITE PLAN



NO.	DATE	DESCRIPTION
1	01/15/2024	ISSUED FOR PERMIT
2	02/15/2024	REVISED PER COMMENTS
3	03/15/2024	REVISED PER COMMENTS
4	04/15/2024	REVISED PER COMMENTS
5	05/15/2024	REVISED PER COMMENTS
6	06/15/2024	REVISED PER COMMENTS
7	07/15/2024	REVISED PER COMMENTS
8	08/15/2024	REVISED PER COMMENTS
9	09/15/2024	REVISED PER COMMENTS
10	10/15/2024	REVISED PER COMMENTS
11	11/15/2024	REVISED PER COMMENTS
12	12/15/2024	REVISED PER COMMENTS

Budget Code Area 5

Project Title: [Blank]
 Address: [Blank]
 City: [Blank]
 State: [Blank]
 Zip: [Blank]
 Client: [Blank]
 Designer: [Blank]
 Date: [Blank]

REFERENCES

Sheet No. A112
 Revision No. 0001
 Date: 08/15/2024



VIEW 05 - Podium



VIEW 05 - Amenity



NO.	DATE	DESCRIPTION
1	2022-01-17	PRELIMINARY
2	2022-01-17	PRELIMINARY
3	2022-01-17	PRELIMINARY
4	2022-01-17	PRELIMINARY
5	2022-01-17	PRELIMINARY
6	2022-01-17	PRELIMINARY
7	2022-01-17	PRELIMINARY
8	2022-01-17	PRELIMINARY
9	2022-01-17	PRELIMINARY
10	2022-01-17	PRELIMINARY
11	2022-01-17	PRELIMINARY
12	2022-01-17	PRELIMINARY
13	2022-01-17	PRELIMINARY
14	2022-01-17	PRELIMINARY
15	2022-01-17	PRELIMINARY
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47	2022-01-17	PRELIMINARY
48	2022-01-17	PRELIMINARY
49	2022-01-17	PRELIMINARY
50	2022-01-17	PRELIMINARY

Project Title:

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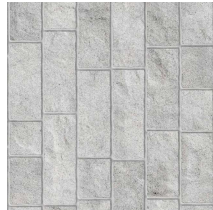
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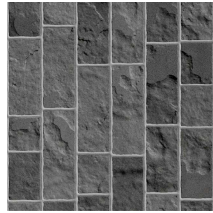
VIEW 08 - Trail



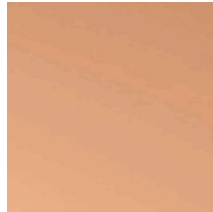
VIEW 07 - Amenity



STONE CLADDING - Light
01a



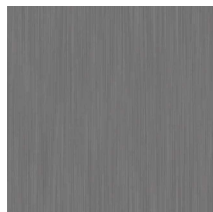
STONE CLADDING - Dark
01b



COMPOSITE METAL PANEL SYSTEM - Copper Tone
Non-Combustible
02a



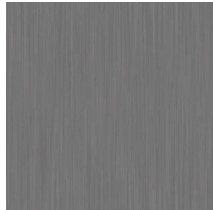
COMPOSITE METAL PANEL SYSTEM - Blue
Non-Combustible
02b



COMPOSITE METAL PANEL SYSTEM - Dark Grey
Non-Combustible
02c



COMPOSITE METAL PANEL SYSTEM - Light Grey
Non-Combustible
02d



ANODIZED ALUMINIUM - Mullions
Non-Combustible
03



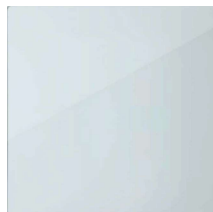
WINDOW WALL SYSTEM - Vision Glass
04a



WINDOW WALL SYSTEM - Spandrel - Blue
04b



WINDOW WALL SYSTEM - Dark Grey
04c



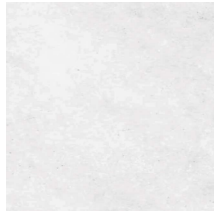
CURTAIN WALL SYSTEM - Vision Glass - Capless
05



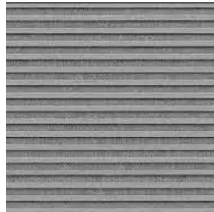
BALCONY GUARDRAIL SYSTEM - Ultra Clear Glass
06



FROSTED GLASS SYSTEM - Balcony Partitions
07



ARCHITECTURAL CONCRETE - White
08



FIBER CEMENT FACADE PANEL - Textured - Grey
Non-Combustible
09



WOOD TONE CLADDING SYSTEM
Non-Combustible
10



ANODIZED ALUMINIUM - Louvers
Non-Combustible
11



TERRACE TILES
12

Project Title	
Project Name	JEDDAH PROJECT
Project No.	FRANCIL/2023/001
Project Date	2023-10-27
Project Location	JEDDAH, SAUDI ARABIA

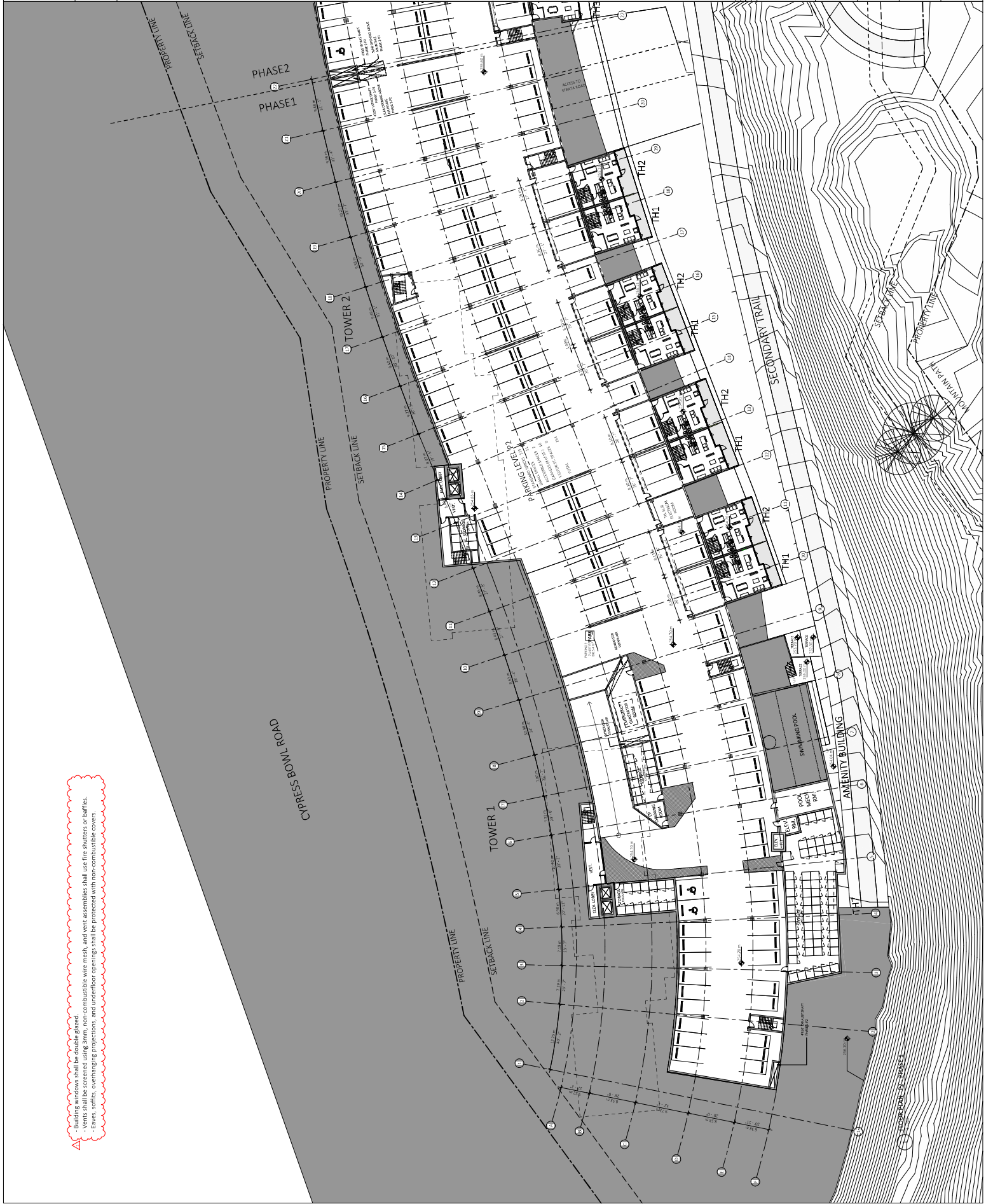
Budget Code Area's	
Budget Code	01
Budget Code	02
Budget Code	03
Budget Code	04
Budget Code	05
Budget Code	06
Budget Code	07
Budget Code	08
Budget Code	09
Budget Code	10
Budget Code	11
Budget Code	12

Address: JEDDAH PROJECT, JEDDAH, SAUDI ARABIA
 Client: JEDDAH PROJECT
 Project No.: FRANCIL/2023/001
 Project Date: 2023-10-27
 Project Location: JEDDAH, SAUDI ARABIA

Material Palette	
Material Name	01
Material Name	02
Material Name	03
Material Name	04
Material Name	05
Material Name	06
Material Name	07
Material Name	08
Material Name	09
Material Name	10
Material Name	11
Material Name	12



Building windows shall be double glazed.
Vents shall be screened using 3mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
Eaves, soffits, overhanging projections, and underfloor openings shall be protected with non-combustible covers.





Address: 10000 S. 19th Avenue, Suite 100, Aurora, CO 80012
 Project No.: 2022-01-17
 Date: 08/20/2024
 Scale: 1/8" = 1'-0"

Sheet No.: 2022-01-17
 Date: 08/20/2024

Project Name: Rodgers Creek Area 5

Phase: PHASE 2

FLOOR PLAN P2-2

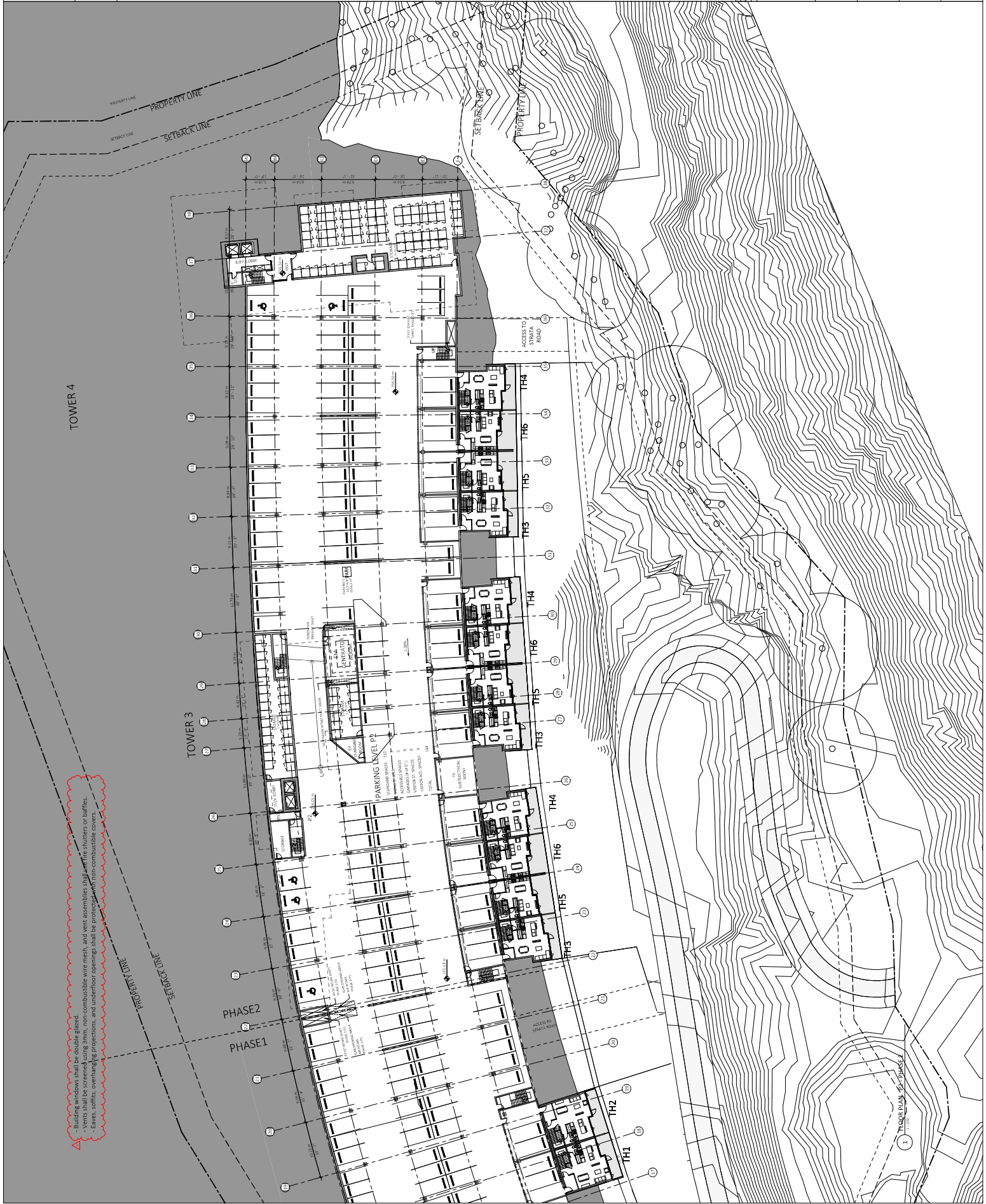
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Sheet No.: 2022-01-17

Date: 08/20/2024

Project No.: 2022-01-17

Scale: 1/8" = 1'-0"

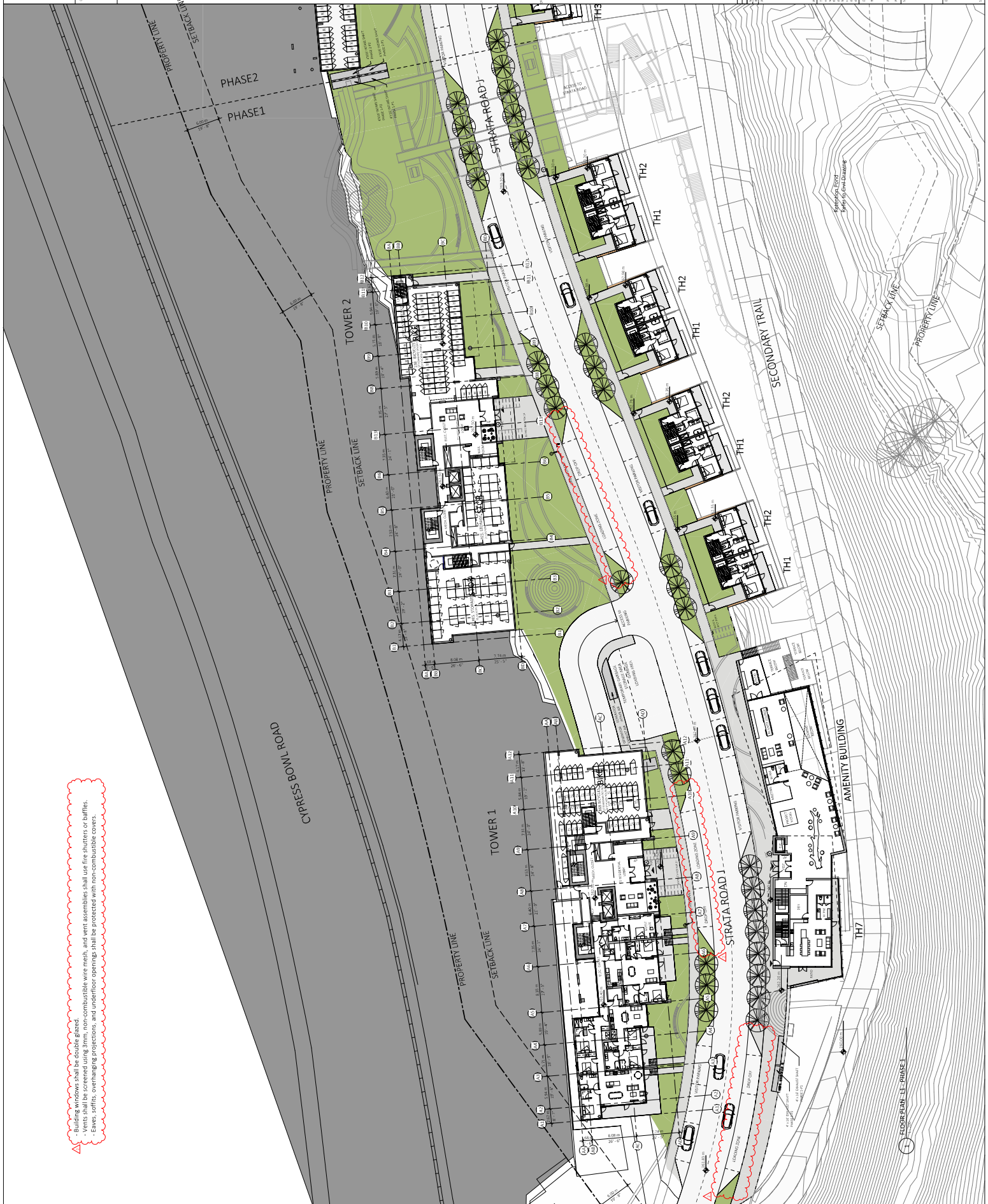


Building windows shall be double glazed.
 Vents shall be screened using 20mm non-combustible wire mesh, and vent assemblies shall have fire shutters or baffles.
 Eaves, soffits, overhanging projections, and underfloor openings shall be protected with non-combustible covers.

1. PROPOSED SETBACKS

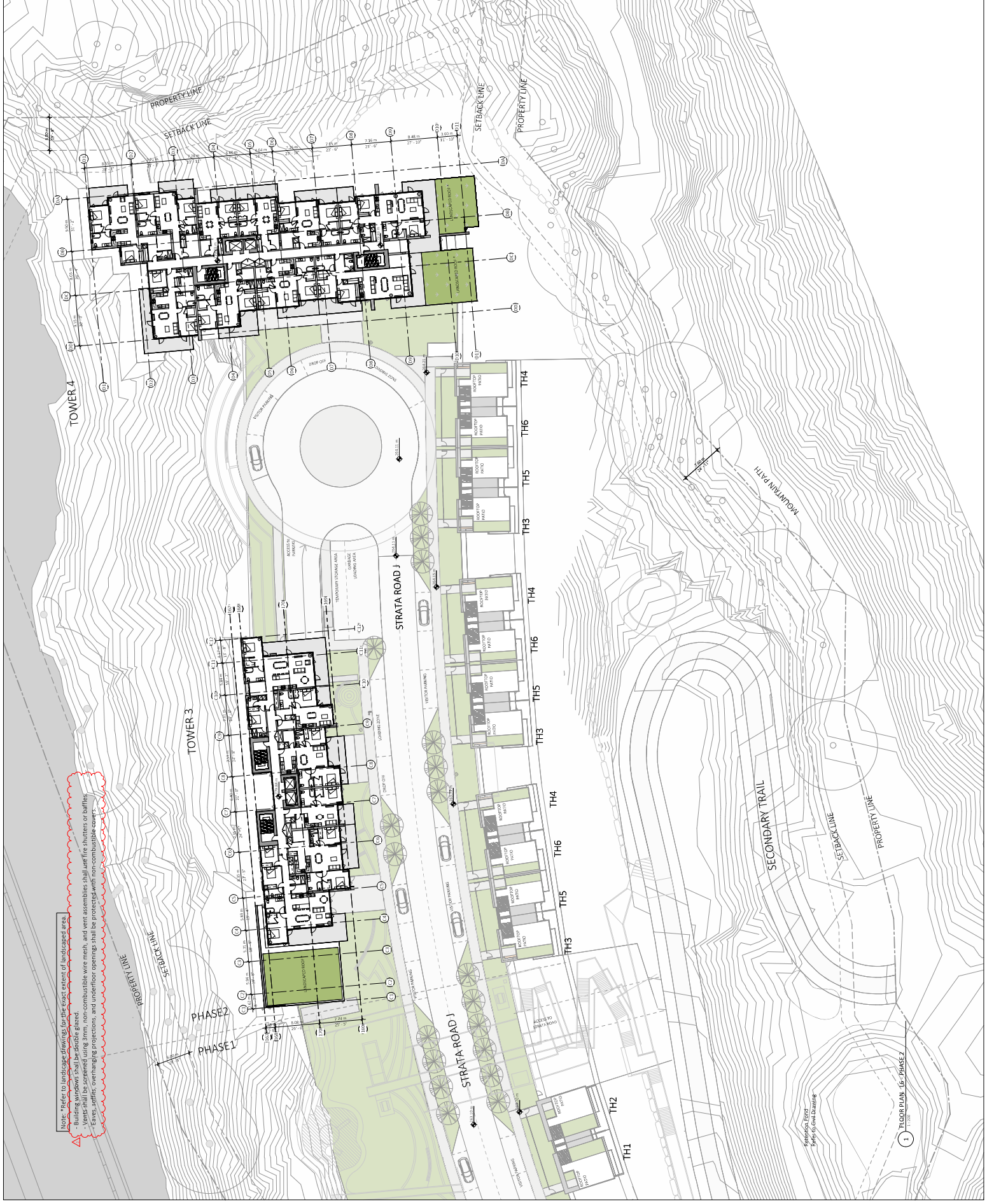


Building exterior shall be finished with:
 - Vents shall be screened using 3mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 - Eaves, soffits, overhanging projections, and underfloor openings, shall be protected with non-combustible covers.



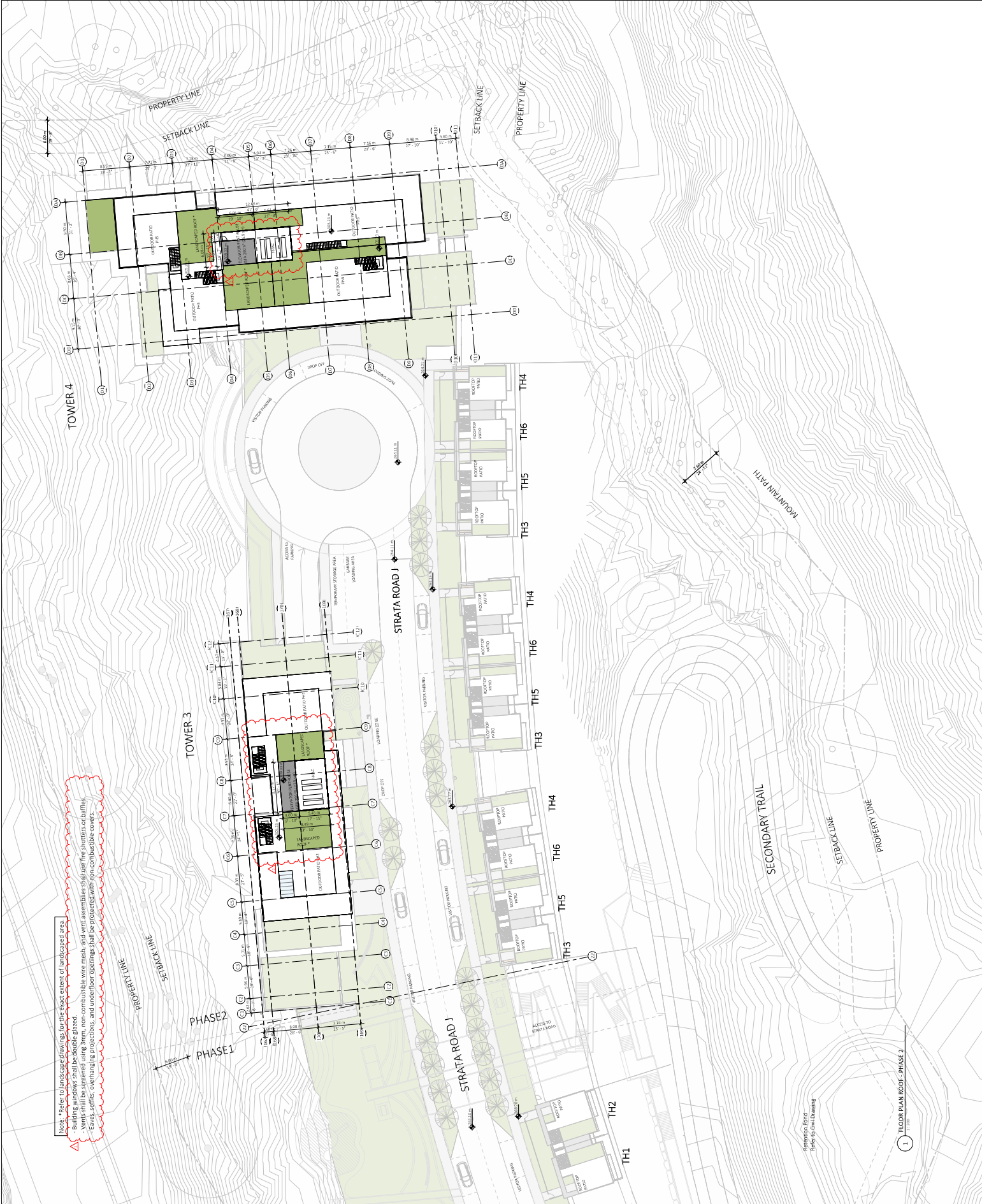


Project Name	Robert Good Area 5
Project No.	2023-01-01
Revision No.	0001
Revision Description	
Drawn By	AD
Checked By	RG
Approved By	RG
Date	2023-01-01
Scale	1:1000
North Arrow	
Sheet No.	FLOOR PLAN - 2
Phase	PHASE 2
Project No.	A216



Note: *Refer to landscape drawings for the exact extent of landscaped area.
 - Building footprints shall be shown in black.
 - Verticals shall be supported using 3mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 - Eaves, soffits, overhanging projections, and underfloor openings shall be protected with non-combustible covers.

1 FLOOR PLAN - PHASE 2
 1:1000



Note: Refer to landscape drawings for the exact extent of landscaped area.
 Building materials shall be non-combustible.
 Vents shall be screened using 3mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 Eaves, soffits, overhanging projections, and underfloor openings shall be protected with non-combustible covers.

1 FLOOR PLAN ROOF - PHASE 2
1:1000

Retention Pond
Refer to Civil Drawing



Project Name	47 & 52 ENHANCING SHAW
Project Number	2023-017
Revision Number	0001
Revision Date	11/13/23
Scale	1/8" = 1'-0"
Sheet Title	1 FLOOR PLAN L1
Project Location	10000 1st Avenue, Suite 100, Denver, CO 80202
Project Description	47 & 52 ENHANCING SHAW PHASE 1 P21
Architect	FRANCL ARCHITECTURE
Engineer	ROBERT C. COOK
Project Manager	[REDACTED]
Designer	[REDACTED]
Checker	[REDACTED]
Plot Date	11/13/23

TOWER 1

PROPERTY LINE
 SETBACK LINE

Building exterior shall be double glazed.
 Vents shall be screened using 2mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 Eaves, soffits, overhanging projections, and underfloor openings shall be protected with non-combustible covers.



47 & 52 ENHANCING SHAW
 PHASE 1 P21
 1 FLOOR PLAN L1



Project No.	1100 Strata Road
Client	MTRC
Architect	Franc Architecture
Engineer	Robert Good
Project Name	1100 Strata Road
Project Location	Vancouver, BC
Project Date	2023-01-17
Revision	001

Robert Good Area 5

Address: 1100 Strata Road, Suite 100, Vancouver, BC V6L 2G6, Canada
 Project Name: 1100 Strata Road
 Project Location: Vancouver, BC
 Project Date: 2023-01-17
 Revision: 001

Scale: 1/8" = 1'-0"

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

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Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

Sheet No. 1100 Strata Road - 12-15

TOWER 1

PROPERTY LINE

SETBACK LINE

STRATA ROAD J

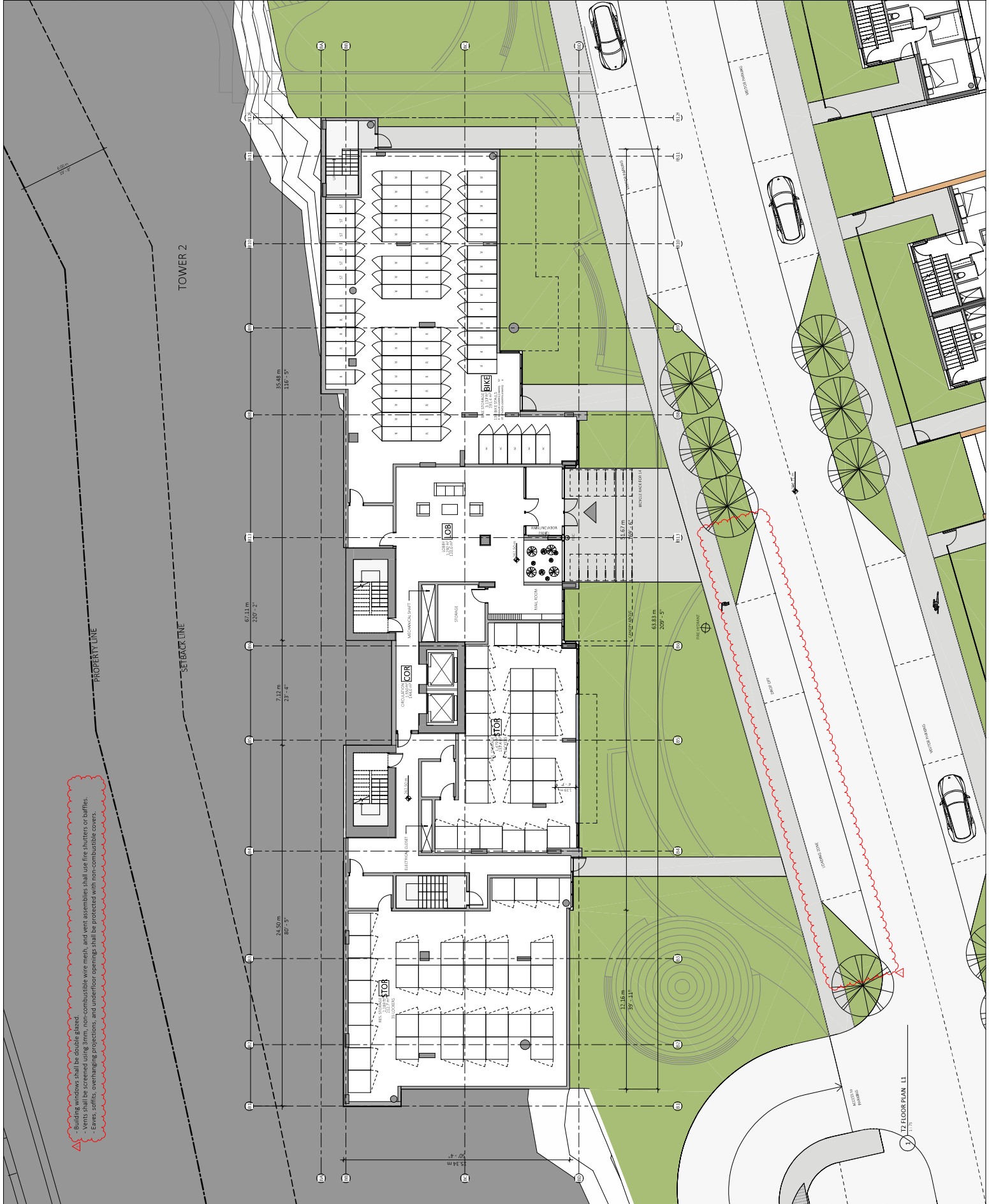
11 FLOOR PLAN 12-15

A242

Scale: 1/8" = 1'-0"

Building windows shall be double glazed.
 Vents shall be screened using 2mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 Eaves, soffits, overhanging projections, and under-floor openings shall be protected with non-combustible covers.





Building windows shall be double glazed.
 Vents shall be screened using 2mm, non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 Eaves, soffits, overhanging projections, and underfloor openings shall be protected with non-combustible covers.

PROPERTY LINE

TOWER 2

SETBACK LINE

17 FLOOR PLAN LI

A251



TOWER 3

STRATA ROAD J

RETRACT LINE

Building windows shall be fire-rated.
 Vents shall be fire-rated and use 30mbs non-combustible wire mesh, and vent assemblies shall use fire shutters or baffles.
 Egress shafts, overhanging projections, and underfloor openings shall be protected with non-combustible covers.

PHASE1

PHASE2

