

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS. SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

- U.N.O. - UNLESS NOTED OTHERWISE
- U.S. - INSIDE
- O.C. - ON CENTER
- TYP. - TYPICAL
- D.F. - DOUGLAS FIR
- GWB - GYPSUM WALL BOARD (DRYWALL)
- PT. - PRESSURE TREATED
- CONT. - CONTINUOUS
- ELEV. - ELEVATION
- O/H - OVERHANG
- ENG. - ENGINEERED
- T & G - TONGUE AND GROOVE
- EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA	
EXIST UPPER FLR:	1689 SQ FT
UPPER FLR ADD:	59 SQ FT
EXIST LWR FLR:	1320 SQ FT
LWR FLR ADD:	151 SQ FT
TOTAL AREA:	3219 SQ FT

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP
NO.	DATE	REVISION

REVISED
NOV 18 2021
District of West Vancouver
Permits Dept.

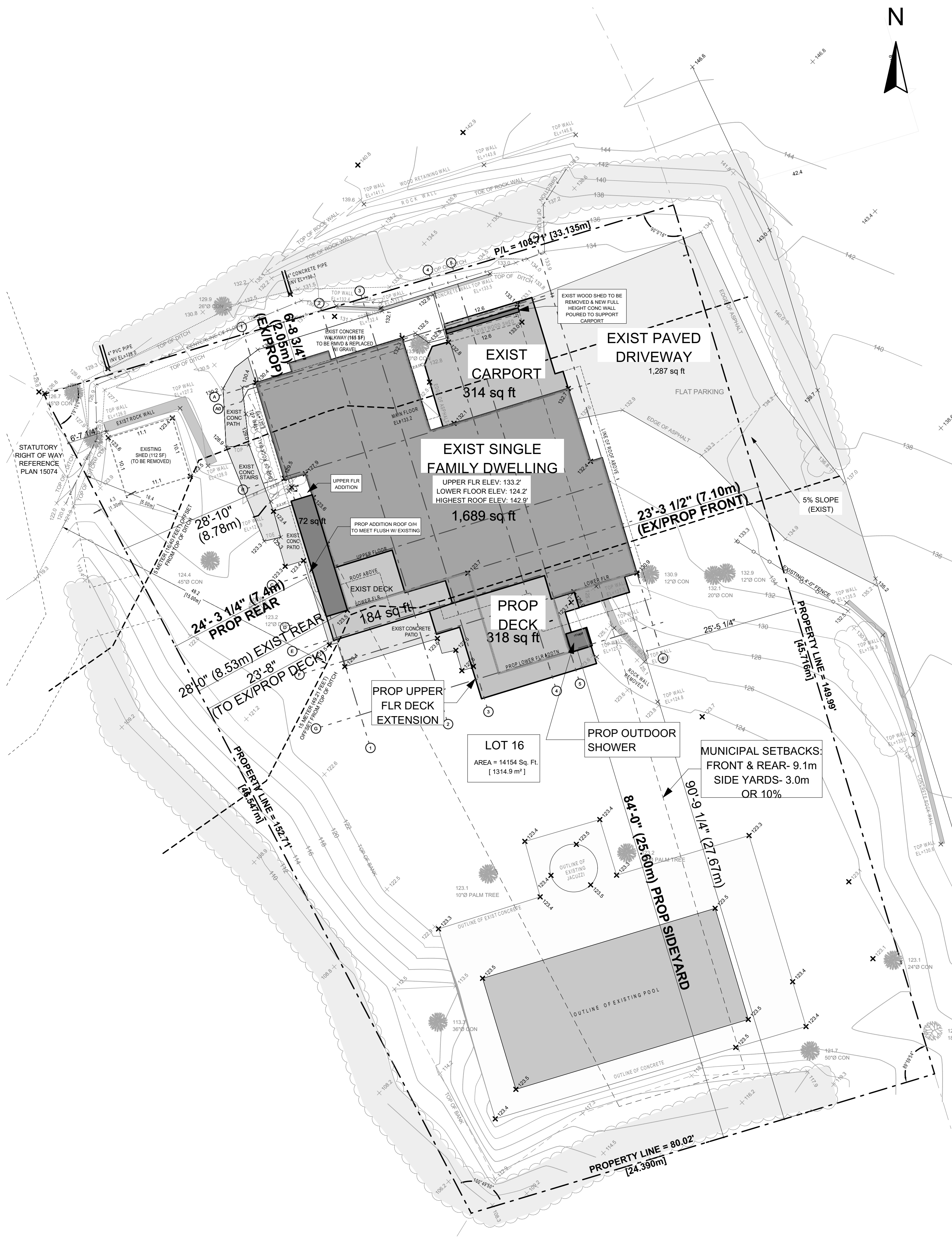
ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:	
SITE PLAN	
SHEET TITLE:	
DRAWN BY: LULIA L.	A-0
CHECKED BY:	
DATE: 11/17/2021	
SCALE: AS NOTED	

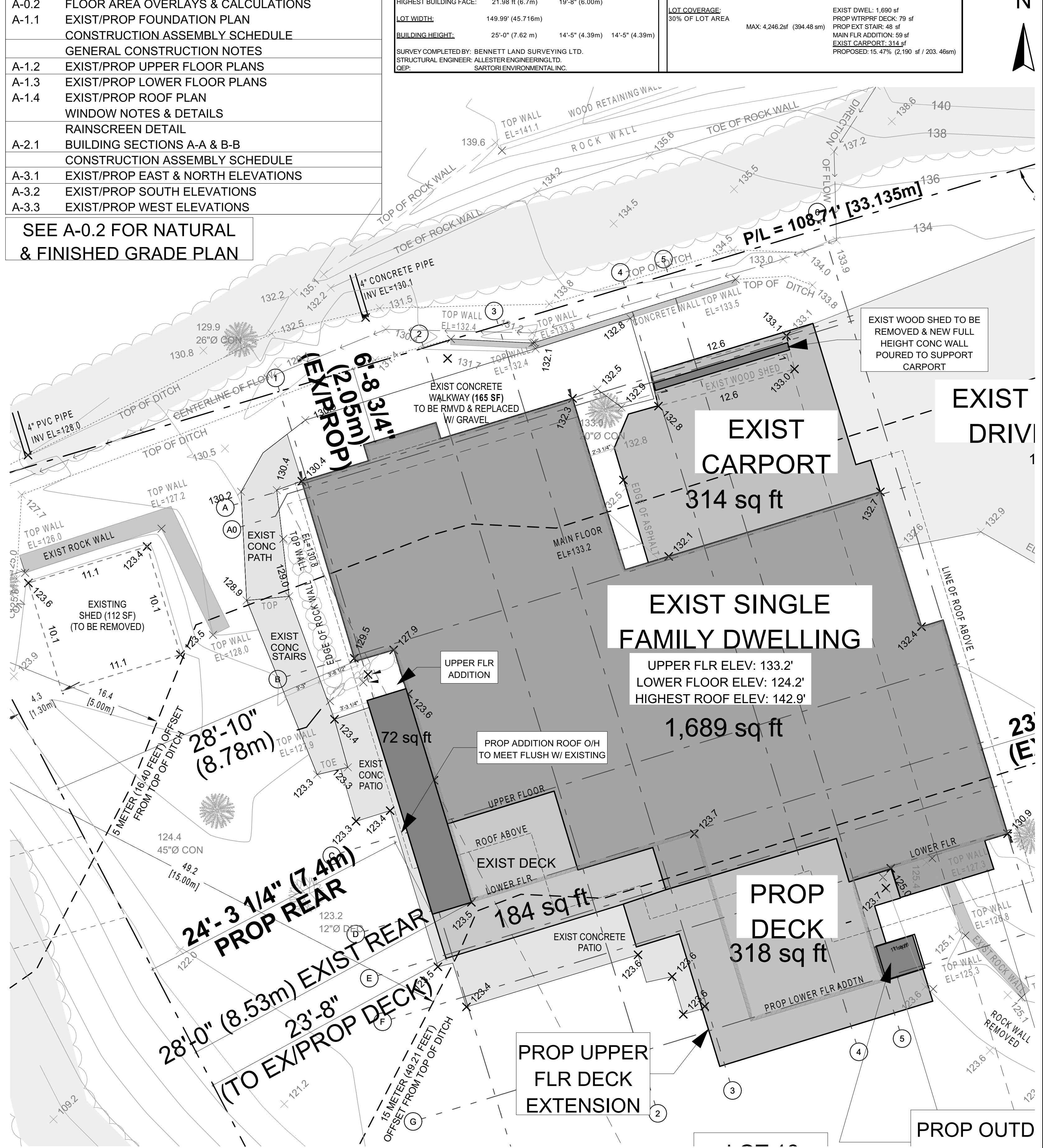
DRAWING INDEX	
A-0	SITE PLAN
ZONING ANALYSIS	
A-0a	SITE PLAN (LARGER SCALE 1/8":1)
A-0.1	SITE PLAN W/ NATURAL & FINISHED ELEVS AVERAGE GRADE CALCULATIONS
A-0.2	FLOOR AREA OVERLAYS & CALCULATIONS
A-1.1	EXIST/PROP FOUNDATION PLAN CONSTRUCTION ASSEMBLY SCHEDULE GENERAL CONSTRUCTION NOTES
A-1.2	EXIST/PROP UPPER FLOOR PLANS
A-1.3	EXIST/PROP LOWER FLOOR PLANS
A-1.4	EXIST/PROP ROOF PLAN WINDOW NOTES & DETAILS RAINSCREEN DETAIL
A-2.1	BUILDING SECTIONS A-A & B-B CONSTRUCTION ASSEMBLY SCHEDULE
A-3.1	EXIST/PROP EAST & NORTH ELEVATIONS
A-3.2	EXIST/PROP SOUTH ELEVATIONS
A-3.3	EXIST/PROP WEST ELEVATIONS

SEE A-0.2 FOR NATURAL & FINISHED GRADE PLAN

ZONING ANALYSIS	
MUNICIPALITY:	DISTRICT OF WEST VANCOUVER
ZONING:	RS3
PID:	006-580-181
LEGAL DESCRIPTION:	PLAN 7542 DISTRICT LOT 657 BLOCK 2 LOT 16
CIVIC ADDRESS:	1421 31st Street, West Vancouver, BC
LOT AREA:	1314.9 sm (14,154 sf)
DP AREA:	YES (EDP # 20-061)
SETBACKS (DWELLING):	ALLOWED EXISTING PROPOSED
FRONT (EAST):	29.86 ft (9.1 m) 23'-4" (7.11 m) 23'-4" (7.11 m)
REAR (WEST):	29.86 ft (9.1 m) 28'-0" (8.53 m) 25'-8" (7.85 m)
NORTH SIDERYARD:	9.84 ft (3.0 m or 10%) 6'-8 3/4" (2.05 m or 3.04" (2.05 m)
SOUTH SIDERYARD:	9.84 ft (3.0 m) 9'-0" (2.73 m) 8'-4" (2.56 m)
HIGHEST BUILDING FACE:	21.98 ft (6.7 m) 19'-8" (6.00 m)
LOT WIDTH:	149.99' (45.716m)
BUILDING HEIGHT:	25'-0" (7.62 m) 14'-5" (4.39 m) 14'-5" (4.39 m)
SURVEY COMPLETED BY: BENNETT LAND SURVEYING LTD.	
STRUCTURAL ENGINEER: ALESTERENGINEERING.LTD.	
O/E: SARTORI ENVIRONMENTAL INC.	
FLOOR AREAS:	
EXIST UPPER FLOOR:	1,689 sf
UPPER FLOOR ADD:	59 sf
EXIST LOWER FLOOR:	1,320 sf
LOWER FLOOR ADDITION:	151 sf
TOTAL FLOOR AREA:	3,219 sf
CARPOR/COV PARKING MAX:	41sm (441.32 sf)
PROP:	29.17 sm (314 sq ft)
MAX FAR. 0.35 (4,963 Bsf)	PROPOSED FAR. 0.18 (2,479.57 sf)
UPPER FLOOR AREA: 1,748 sf	LOWER FLOOR AREA: 731.57 sf
(SEE FLOOR AREA OVERLAYS ON A-0.3)	
LOT COVERAGE:	
30% OF LOT AREA:	MAX: 4,246.2sf (394.48 sm)
EXIST DWELL: 1,689 sf	PROP WTRPRF DECK: 79 sf
PROP EXT STAIR: 48 sf	MAIN FLR ADDITION: 59 sf
EXIST CARPORT: 314 sf	EXIST CARPORT: 314 sf
PROPOSED: 15.47% (2,190 sf / 203.46sm)	



SITE PLAN 3/32" = 1'-0"



SITE PLAN (LARGER) 3/16" = 1'-0"

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS. SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP. - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT. - PRESSURE TREATED
CONT. - CONTINUOUS
ELEV. - ELEVATION
O/H - OVERHANG
ENG. - ENGINEERED
T & G - TONGUE AND GROOVE
EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR: 1689 SQ FT
UPPER FLR ADD: 59 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 151 SQ FT
TOTAL AREA: 3219 SQ FT

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

REVISED

NOV 18 2021

District of West Vancouver
Permits Dept.

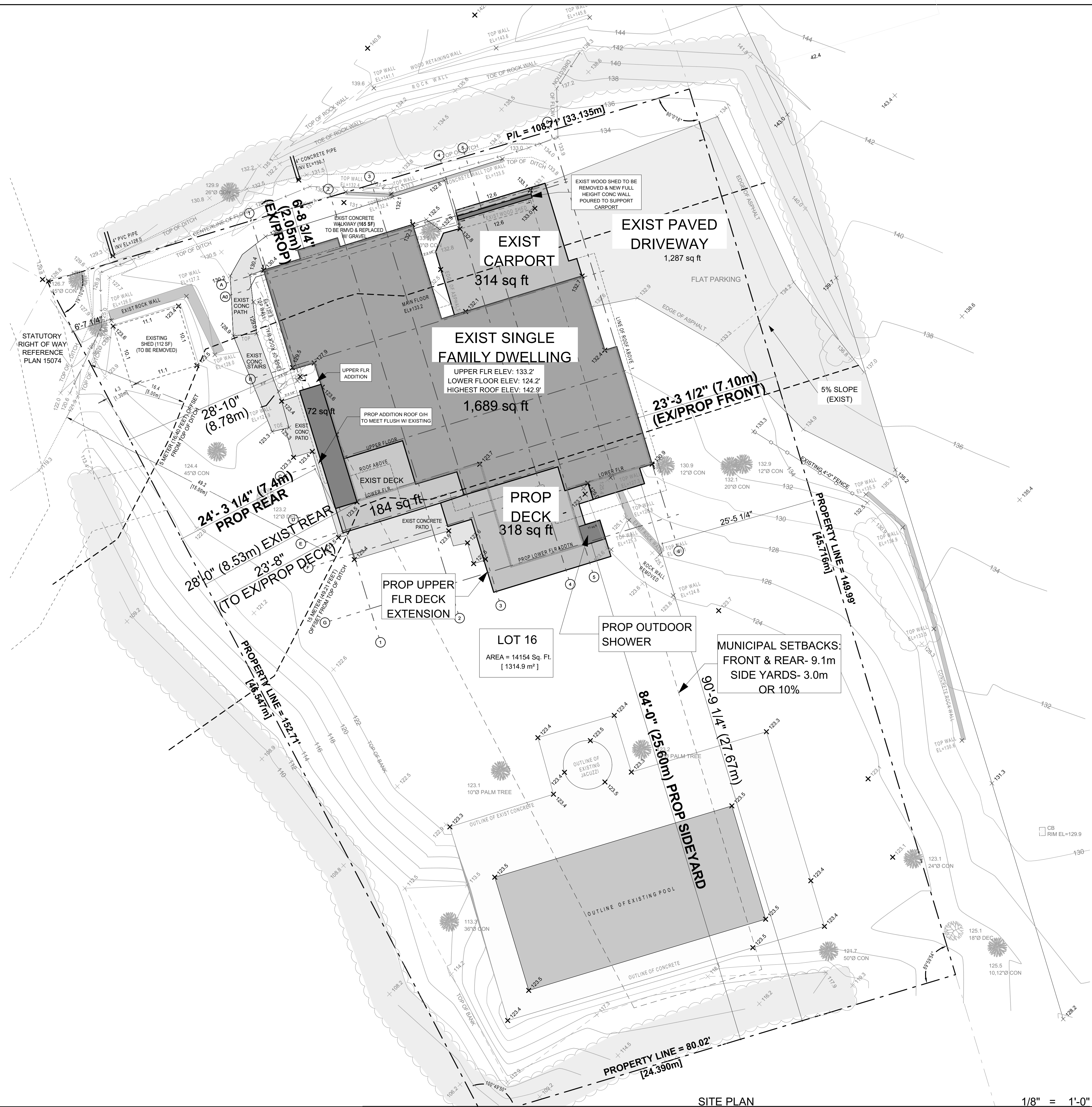
ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

SITE PLAN

SHEET TITLE:
DRAWN BY: LULIA L.
CHECKED BY:
DATE: 11/17/2021
SCALE: AS NOTED

A-0a



SITE PLAN

1/8" = 1'-0"

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS. SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

- U.N.O. - UNLESS NOTED OTHERWISE
- I/S - INSIDE
- O.C. - ON CENTER
- TYP. - TYPICAL
- D.F. - DOUGLAS FIR
- GWB - GYPSUM WALL BOARD (DRYWALL)
- PT. - PRESSURE TREATED
- CONT. - CONTINUOUS
- ELEV. - ELEVATION
- O/H - OVERHANG
- ENG. - ENGINEERED
- T & G - TONGUE AND GROOVE
- EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR:	1689 SQ FT
UPPER FLR ADD:	59 SQ FT
EXIST LWR FLR:	1320 SQ FT
LWR FLR ADD:	151 SQ FT
TOTAL AREA:	3219 SQ FT

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

REVISED

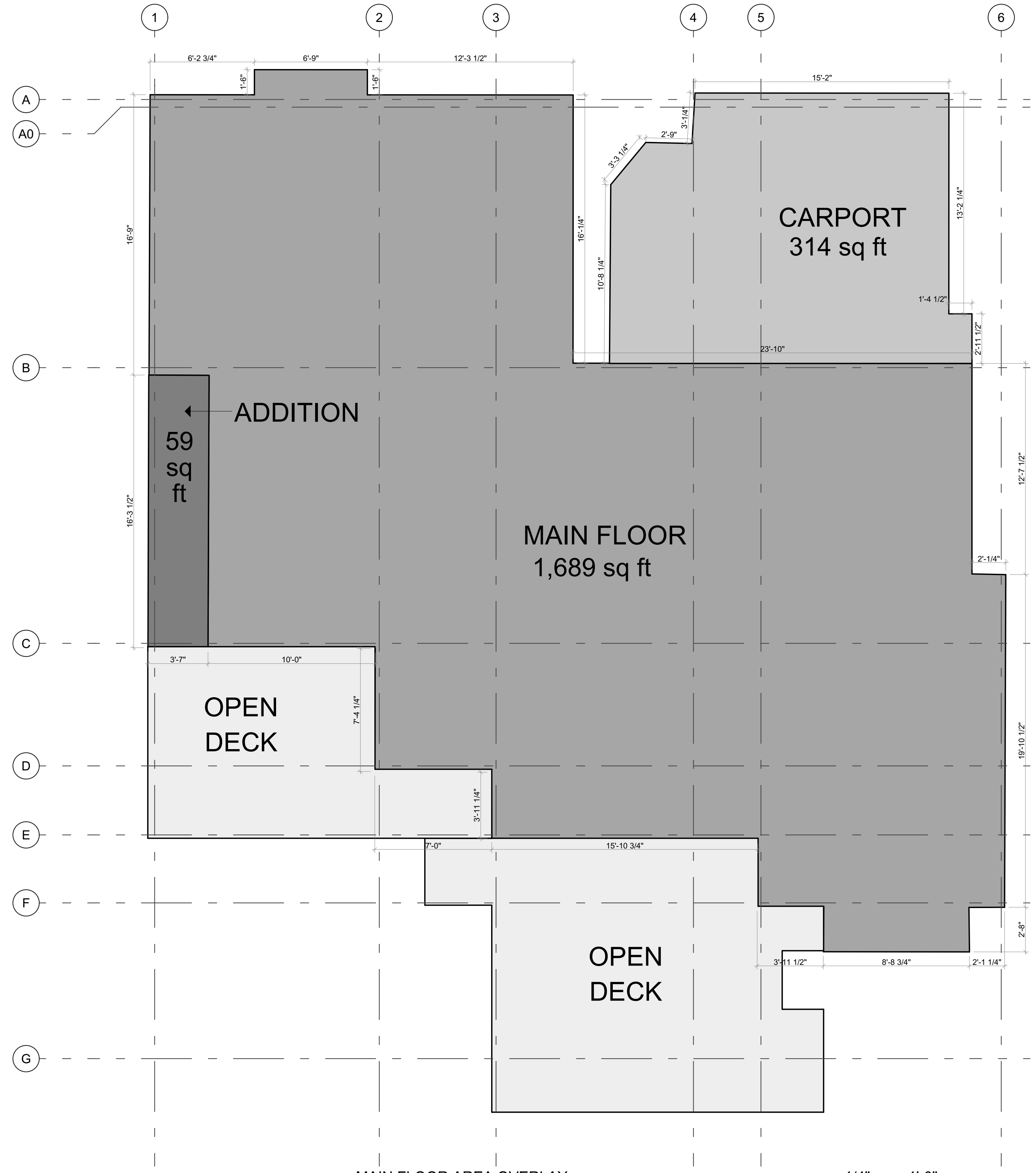
NOV 18 2021
District of West Vancouver
Permits Dept.

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

FLOOR AREA OVERLAYS
& CALC'S

SHEET TITLE:	
DRAWN BY: LULIA L.	A-0.2
CHECKED BY:	
DATE: 11/17/2021	
SCALE: AS NOTED	



MAIN FLOOR AREA = 1,689 + 59 = 1,748 SF



BASEMENT FLOOR AREA:

AVG NAT/FIN GRADE - BASEMENT FLOOR ELEVATION X 100
MAIN FLOOR ELEVATION - BASEMENT FLOOR ELEVATION

128.49' - 124.2' X 100 = 47.67% BASEMENT AREA EXEMPTION
133.2' - 124.2' BASEMENT FLOOR AREA = 1,320 + 72 + 79 = 1471 SF
1471 - 701.23 = 769.78 SF

GENERAL CONSTRUCTION NOTES:

COVERING CODE: B.C. BUILDING CODE 2018, INCLUDING ALL AMENDMENTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH MUNICIPAL BY-LAWS, B.C. BUILDING CODE 2018, WORKSAFE BC REGULATIONS, AND AUTHORITIES HAVING JURISDICTION. ERRORS OR OMISSIONS IN THE PLANS OR SPECIFICATIONS WILL NOT REMOVE THE OBLIGATION FOR THE CONTRACTOR OR SUBCONTRACTOR TO ENSURE ALL CONSTRUCTION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS.

ALL WORK TO BE COMPLETED TO CURRENT STANDARDS BY SKILLED TRADES.

ALL MATERIALS TO BE OF GOOD QUALITY, AND PROPERLY TRANSPORTED, STORED AND PROTECTED.

BEARING SOIL TO BE INSPECTED BY PROPER AUTHORITIES BEFORE COMMENCEMENT OF FORMWORK.

PROVIDE MINIMUM 8" CLEARANCE BETWEEN ANY WOOD MEMBERS AND SOIL.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS, INFORMATION, SPECIFICATIONS, SITE CONDITIONS, ETC., PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS NOT REPORTED TO THE DESIGN TEAM, ETC., BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

WRITTEN SPECIFICATIONS OR AMENDMENTS BY AUTHORITIES HAVING JURISDICTION SHALL OVERRIDE ANY SPECIFICATIONS OR NOTATIONS ON DRAWINGS. CONTRACTORS, SUPPLIERS, SUBTRADES, ETC., ARE TO ENSURE THEY ARE WORKING WITH CURRENT DRAWINGS AND SHOULD VERIFY THAT THEY ARE IN POSSESSION OF LATEST ISSUE. OBSOLETE DRAWINGS TO BE RECYCLED.

ANY VARIANCES FROM THESE DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE SHALL BE RESOLVED BY THE CONTRACTOR AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.

THE CONTRACTOR SHALL SUPERVISE THE WORK OF SUBCONTRACTORS AND BE RESPONSIBLE TO THE OWNER FOR SUCH WORK AS IF IT WERE CARRIED OUT BY THEM-SELF. THE CONTRACTOR SHALL ENSURE THAT ALL SUBCONTRACTORS RECEIVE A COPY OF RELEVANT WRITTEN SPECIFICATIONS AND DRAWINGS.

ALL FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS. WHERE NOTES AND DETAILS ON DRAWINGS EXCEED MINIMUMS OF GENERAL NOTES AND TYPICAL DETAILS, THEY SHALL TAKE PRECEDENCE.

CIVIL, ELECTRICAL, MECHANICAL, SOILS, GEOTECHNICAL, STRUCTURAL ENGINEERING, ETC., MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. IT IS THE DEVELOPER OR CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND PAY FOR THESE SERVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE NEW RESIDENCE ON THE PROPERTY AND FOR CONFIRMATION OF ALL REQUIREMENTS FOR SITING.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED FOR CONSTRUCTION LOADS AND STABILITY UNTIL THE PROJECT IS COMPLETED. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF MATERIALS SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADS.

THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE JOB SITE AND CONFORMANCE TO WORKSAFE BC REGULATIONS THROUGHOUT CONSTRUCTION.

WELLS AND SEPTIC DISPOSAL SYSTEMS ARE TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH REGULATIONS DURING CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT WATER COLLECTED IN THE GUTTERS, DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS IS DISCHARGED IN ACCORDANCE WITH REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.

CONCRETE FOOTINGS ARE TO BE PLACED ON COMPACT FILL, OR SOLID UNDISTURBED BEARING AND BELOW FROST LINE.

GRADES SHOWN ON ELEVATIONS ARE ESTIMATED. ADJUST ON SITE AS REQUIRED. RETAINING WALLS OTHER THAN THE FOUNDATION WALLS OF THE RESIDENCE, ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS NOTED OTHERWISE.

ALL CONCRETE FOUNDATION WALLS ARE TO HAVE MINIMUM 1-15 M CONTINUOUS BAR AT TOP. ALL CONCRETE FOOTINGS ARE TO HAVE MINIMUM 2-15 M CONTINUOUS BARS. CONCRETE REINFORCING SHALL BE SUPPORTED BY APPROVED SUPPORTS, SPACERS, OR HANGERS PER BCBC 2018.

FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH, OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITIES HAVING JURISDICTION.

ALL FRAMING, BRIDGING, BLOCKING, NAILING, ETC., SHALL CONFORM TO B.C. BUILDING CODE, 2018, SECTION 9.23.

WOOD PLATES ARE TO BE ANCHORED TO FOUNDATION WALL WITH 1/2 INCH DIAM. ANCHOR BOLTS AT MAXIMUM 6 FEET O/C. WOOD PLATES ARE TO BE SEPARATED FROM CONCRETE WITH FOAM SILL GASKET.

UNLESS NOTED OTHERWISE, LUMBER SHALL BE 1/2" PLYWOOD (WITH H CLIPS) FOR ROOF SHEATHING, 5/8 INCH T&G PLYWOOD (GLUED AND SCREWED) FOR FLOOR SHEATHING, 1/2" PLYWOOD FOR WALL SHEATHING, K.D. SPF NO.2 AND BETTER FOR BUILT-UP BEAMS, K.D. SPF NO.2 AND BETTER FOR FLOOR JOISTS AND ROOF FRAMING, D.FIR NO.1 FOR POSTS, AND K.D. SPF NO.2 AND BETTER FOR WALL STUDS. (ALL EXTERIOR PORCH AND DECK FRAMING TO BE TREATED LUMBER.)

USE MGA OR SIMPSON STRONGTIE CONNECTOR HARDWARE WHERE REQUIRED.

ALL LINTELS OVER WINDOW AND DOOR OPENINGS TO BE 2-2 X 10 UNLESS NOTED OTHERWISE. SPANS OVER 6 FEET TO HAVE 2 CRIPPLES AND 3-2 X 10 LINTEL.

PROVIDE SOLID BLOCKING BETWEEN JOISTS AT ALL LOAD BEARING WALLS, TOP OF BEAMS OR HEADERS, BUILT-UP POSTS AND AT ALL SUPPORTS FOR CANTILEVERED JOISTS.

PROVIDE CONTINUOUS CROSS BRIDGING BETWEEN FLOOR JOISTS AT MAX. 6'-10" APART ALONG THE SPAN OF THE JOIST. MINIMUM ONE ROW.

PROVIDE DOUBLE JOISTS UNDER ALL PARTITION WALLS PARALLEL TO JOIST SPAN.

CONTINUE ALL POSTS AND CRIPPLES DOWN TO FOUNDATION COMPLETE WITH BLOCKING IN JOIST SPACE.

MANUFACTURED WOOD TRUSSES, JOISTS, AND/OR BEAMS ARE TO BE ENGINEERED BY THE MANUFACTURER AND INSTALLED AND BRACED PER THE MANUFACTURER'S INSTRUCTIONS. LAYOUT SHOWN ON PLANS TO BE CONFIRMED WITH MANUFACTURER PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR IS TO OBTAIN AN ENGINEER'S CERTIFICATE FROM THE MANUFACTURER OF ROOF TRUSSES, JOISTS, AND/OR BEAMS. PROVIDE A MINIMUM OF 4 SETS OF ENGINEERED SEALED SHOP DRAWINGS WITH NAME OF PROJECT ON DRAWINGS AND DATE ISSUED.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL INSTALLATION OF ELECTRICAL ITEMS COMPLY WITH LOCAL ELECTRICAL CODES AND REGULATIONS AND WITH LOCAL ELECTRICAL POWER SUPPLY REQUIREMENTS IN ALL RESPECTS.

APPROVED INTERCONNECTED SMOKE & CO2 DETECTORS TO BE INSTALLED AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.

SAFETY GLASS- ALL GLAZING WITHIN 36" OF DOOR LOCKS TO BE SAFETY GLASS. ALL GLAZING WITHIN 8" OF FLOOR TO BE SAFETY GLASS. ALL GLAZING OVER 20" (THAT COULD BE MISTAKEN FOR DOORS) TO BE SAFETY GLASS. ALL GLAZING IN EXTERIOR DOORS TO BE SAFETY GLASS. ALL GLAZING IN WALLS ENCLOSING BATHTUBS OR SHOWERS TO BE SAFETY GLASS AND WATERPROOFED TO THE SATISFACTION OF AUTHORITIES HAVING JURISDICTION.

SUPPLY AND INSTALL EXHAUST FANS AND DUCTING IN ALL BATHROOMS AND KITCHENS AS REQ'D.

WATERPROOF MEMBRANE TO BE INSTALLED AND FITTED TIGHTLY TO WALLS AND FLOOR OF ALL TILED SHOWERS, AND NOT TO BE PENETRATED BY FASTENERS OF ANY KIND.

INSTALLATION OF ENTIRE HEATING SYSTEM, WHETHER ELECTRIC, FORCED WARM AIR, HOT WATER, SOLID FUEL, ETC., SHALL COMPLY WITH MANUFACTURER'S DIRECTIONS WHERE APPLICABLE AND CONFORM WITH LOCAL CODES AND REGULATIONS IN ALL RESPECTS. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.

FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIRE PLACES, WOOD STOVES, ETC., ARE TO BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH CURRENT NATIONAL, PROVINCIAL, AND LOCAL BUILDING CODES.

6 MIL POLY VAPOUR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION. INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS AND LOCAL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INSULATION VALUES COMPLY WITH WITH LOCAL REQUIREMENTS.

ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFITS.

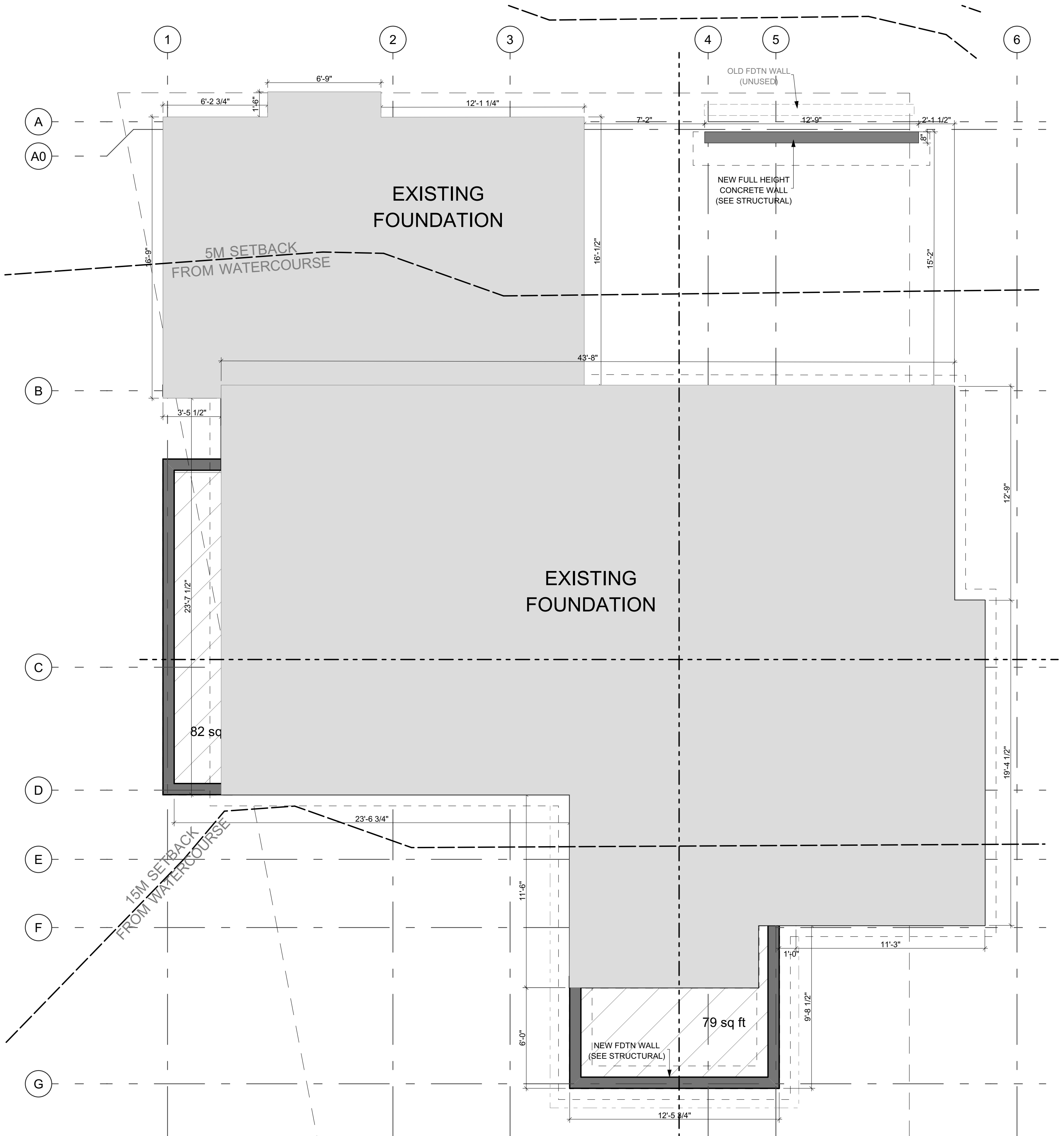
ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSE-ABLE VENTS.

ALL MASONRY APPLICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ALL FIREPLACE AND CHIMNEY INSTALLATIONS SHALL BE GOVERNED, INSPECTED AND APPROVED BY MUNICIPAL AUTHORITIES. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.

ZERO CLEARANCE TYPE METAL FIREPLACES AND METAL CHIMNEYS TO BE CSA APPROVED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

CONSTRUCTION ASSEMBLY SCHEDULE			
1	2 X 6" EXTERIOR WALL WOOD SIDING ON 3/8" RAINDRIP SYSTEM ON HOUSE WRAP ON 1/2" PLYWOOD SHEATHING ON 2 X 6" STUDS (SEE STRUCTURAL FOR DETAILS) W/ R-24 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1/2" INTERIOR WALL GYPSUM BOARD (PAINTED)	4	FLOOR ASSEMBLY A (COLD FLOOR) FINISHED FLOOR ON 5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON ENGINEERED FLOOR JOISTS W/ R-31 SPRAY FOAM INSULATION 3/4" T&G WOOD SOFFITS (PAINTED/STAINED) (SEE STRUCTURAL FOR DETAILS)
2	2 X 4" INTERIOR PARTITION 2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)	5	FLOOR ASSEMBLY B FINISHED FLOOR ON 4" CONC SLAB ON 3" RIGID XPS INSUL. ON 6 MIL POLY V.B. ON 6" GRANULAR FILL ON COMPACT FILL
3	2 X 6" INTERIOR PARTITION 2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)	6	TYP EXTERIOR FOUNDATION WALL DELTA DRAIN MAT ON 8" CONCRETE FOUNDATION WALL W/ DAMP-PROOFING AS REQ'D (SEE STRUCTURAL FOR DETAILS)
		7	WATERPROOF DECK/FLAT ROOF WATERPROOF DECKING MEMBRANE (MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON 1/2" T&G PT PLYWOOD SHEATHING ON PT SLEEPERS (@ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON DECK JOISTS (SEE STRUCTURAL) W/ R-31 SPRAY FOAM INSULATION 1/2" CD BOARD (PAINTED)
		8	EXTERIOR DECK STAIR TOTAL RISE = 9'-8" 16 RISERS 10" RUNS PLUS 1" NOSING MINIMUM 6'-6" HEADROOM 36" HIGH CONTINUOUS GRASPABLE HANDRAIL PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
		9	DRAINAGE ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.) TO BE 4" PERF. PIPE 3" BELOW T/O SLAB (HOLES DOWN) W/ FILTER FABRIC (TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON MIN 6" COMPACT GRANULAR FILL ON (ON, AROUND AND BELOW PIPE) ON COMPACT FILL
		10	EXIST/PROP ROOF 2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE (@ 1/4" PER FOOT SLOPE TO DRAINS) ON 1/2" FIBRE BOARD SHEATHING ON TAR & GRAVEL ROOF SYSTEM 2 LAYERS 1/2" FIBRE BOARD SHEATHING ON T&G TRUCK DECKING ON STRUCTURAL BEAMS (SEE STRUCT)



EXISTING/PROPOSED FOUNDATION PLAN 1/4" = 1'-0"

DIMENSION NOTES:

ALL EXTERIOR DIMENSIONS TAKEN TO EXT. FACE OF SHEATHING.

ALL FOUNDATION DIMENSIONS ARE TAKEN TO FACE OF ICF WALL OR EXTERIOR FACE OF CONCRETE FOR STANDARD CONC WALLS.

ALL INTERIOR DIMENSIONS ARE TAKEN TO FACE OF FRAMING.

WINDOW AND DOOR DIMENSIONS READ LENGTH BY HEIGHT (EG- 6040 MEANS 6'-0" WIDE BY 4'-0" HIGH).

CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.

NOTES:

ALL FRAMING IS TO BE DONE PER THE STRUCTURAL DRAWINGS. ANY "EQUIVALENT METHODS" MUST BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO INSTALLATION.

ALL BLOCKING TO BE INSTALLED IN FLOOR SYSTEM AT FULL DIMENSION, GLUED & SCREWED ALONG WITH THE REST OF THE FLOOR. BLOCKING SHALL BE INSTALLED ON EITHER SIDE OF A SNAPPED CHALK LINE AND IS TO BE STRAIGHT AND PLUMB.

ALL POINT LOADS ARE TO BE INSTALLED RIGHT AWAY.

ALL SONO TUBES ARE TO BE ACCURATELY LOCATED AND BRACED. POSTS MUST HAVE FULL BEARING ON CONCRETE COLUMNS.

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS. SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP. - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT - PRESSURE TREATED
CONT. - CONTINUOUS
ELEV. - ELEVATION
O/H - OVERHANG
ENG. - ENGINEERED
T & G - TONGUE AND GROOVE
EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR:	1689 SQ FT
UPPER FLR ADD:	59 SQ FT
EXIST LWR FLR:	1320 SQ FT
LWR FLR ADD:	151 SQ FT
TOTAL AREA:	3219 SQ FT

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

REVISED

NOV 18 2021

District of West Vancouver
Permits Dept.

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:
EXISTING & PROPOSED FOUNDATION PLAN

SHEET TITLE:	A-1.1
DRAWN BY: LULIA L.	
CHECKED BY:	
DATE: 11/17/2021	
SCALE: AS NOTED	

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

REVISED

NOV 18 2021

District of West Vancouver
Permits Dept.

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

EXIST & PROP MAIN
FLOOR PLANS

SHEET TITLE:	
DRAWN BY: LULIA L.	A-1.2
CHECKED BY:	
DATE: 11/17/2021	
SCALE: AS NOTED	

NOTES:

ALL FRAMING IS TO BE DONE PER THE STRUCTURAL DRAWINGS. ANY "EQUIVALENT METHODS" MUST BE APPROVED IN WRITING BY THE DEVELOPER PRIOR TO INSTALLATION.

ALL BLOCKING TO BE INSTALLED IN FLOOR SYSTEM AT FULL DIMENSION, GLUED & SCREWED ALONG WITH THE REST OF THE FLOOR. BLOCKING SHALL BE INSTALLED ON EITHER SIDE OF A SNAPPED CHALK LINE AND IS TO BE STRAIGHT AND PLUMB.

ALL POINT LOADS ARE TO BE INSTALLED RIGHT AWAY.

ALL SONO TUBES ARE TO BE ACCURATELY LOCATED AND BRACED. POSTS MUST HAVE FULL BEARING ON CONCRETE COLUMNS.

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.

DIMENSION NOTES:

ALL EXTERIOR DIMENSIONS TAKEN TO EXT. FACE OF SHEATHING.

ALL FOUNDATION DIMENSIONS ARE TAKEN TO FACE OF ICF WALL OR EXTERIOR FACE OF CONCRETE FOR STANDARD CONC WALLS.

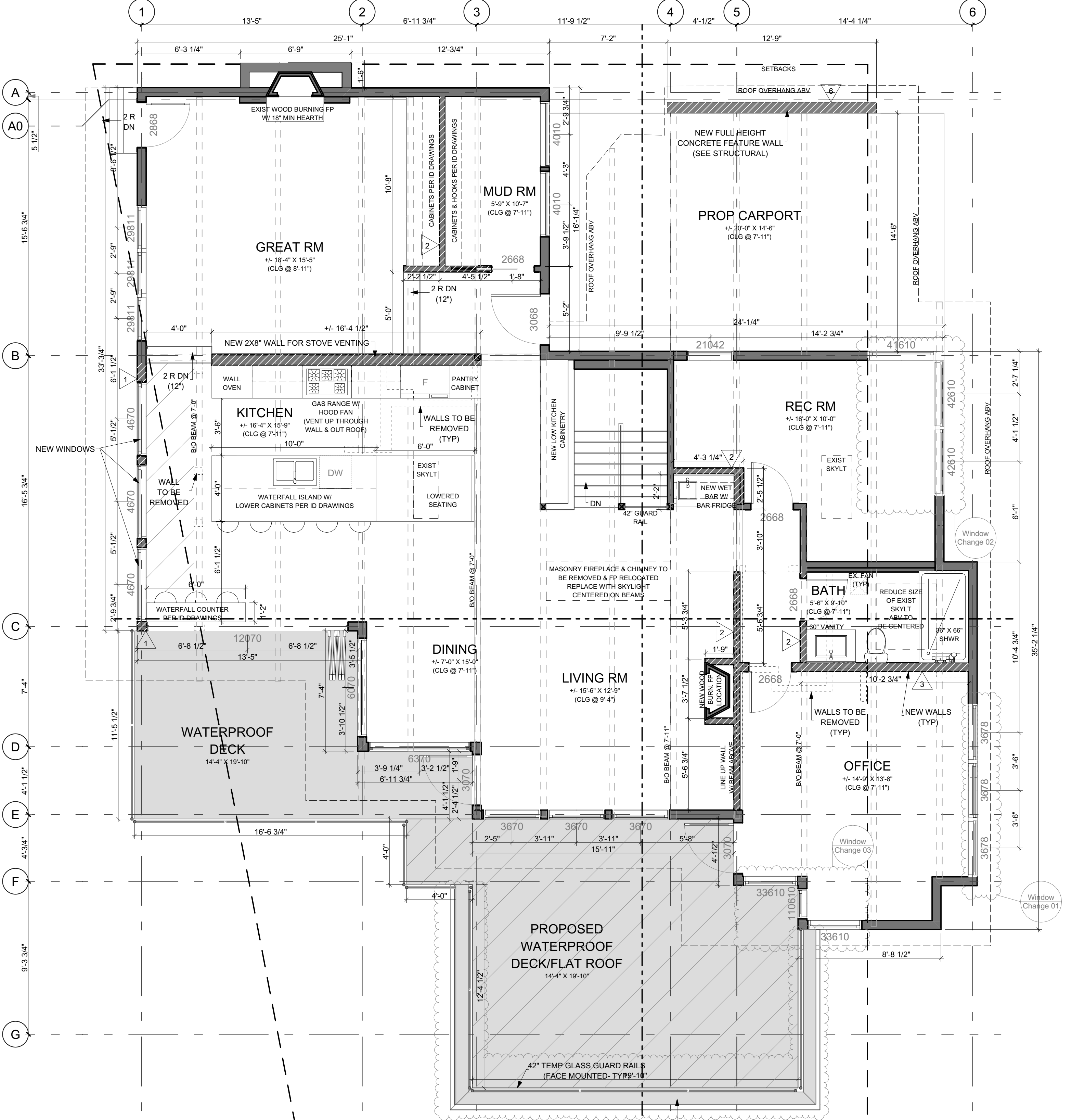
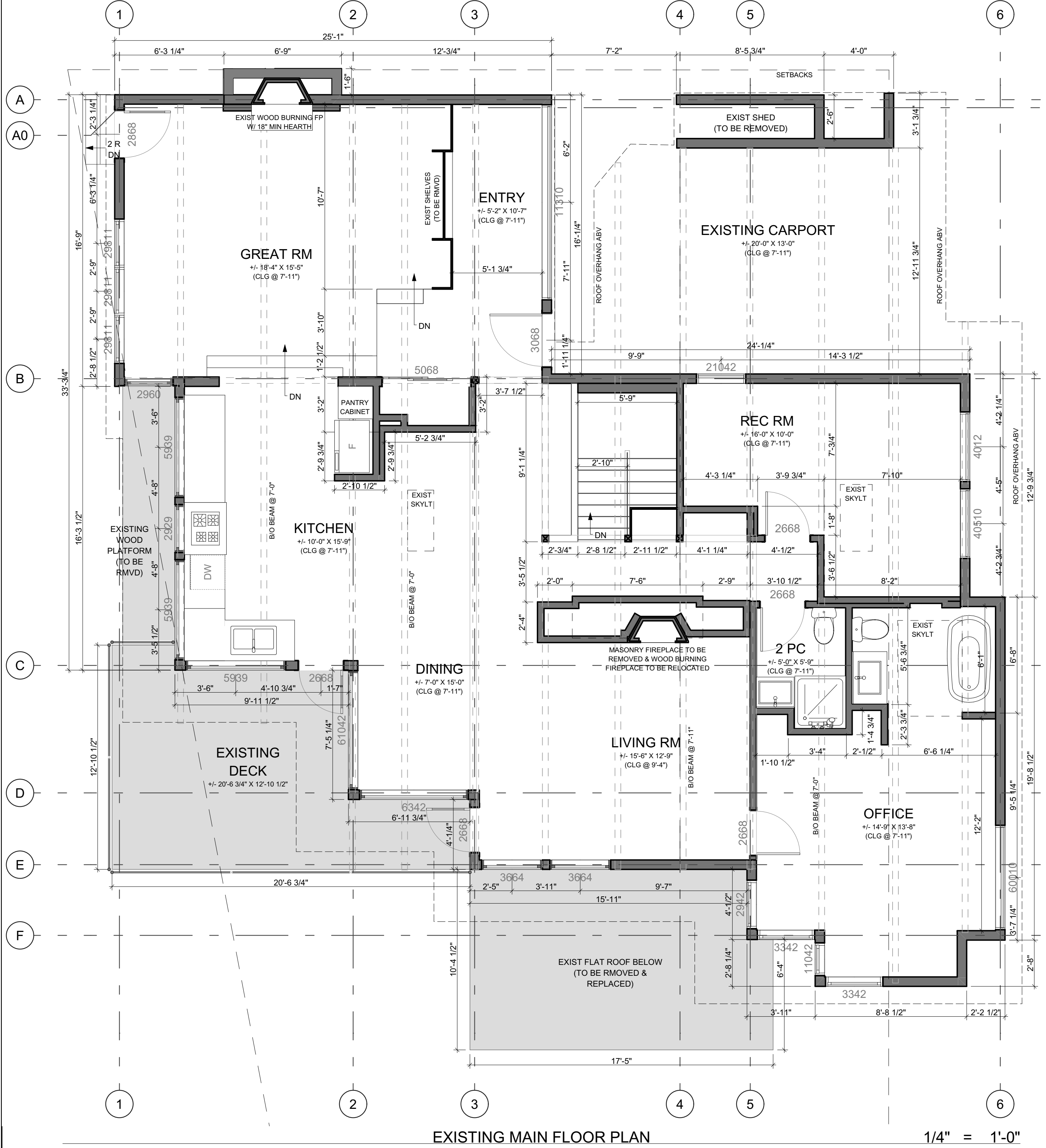
ALL INTERIOR DIMENSIONS ARE TAKEN TO FACE OF FRAMING.

WINDOW AND DOOR DIMENSIONS READ LENGTH BY HEIGHT (EG- 6040 MEANS 6'-0" WIDE BY 4'-0" HIGH).

CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.

CONSTRUCTION ASSEMBLY SCHEDULE

1	2 X 6" EXTERIOR WALL WOOD SIDING ON 3/8" RAINSCREEN SYSTEM ON HOUSE WRAP ON 1/2" PLYWOOD SHEATHING ON 2 X 6" STUDS (SEE STRUCTURAL FOR DETAILS) W/ R-24 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1/2" INTERIOR WALL GYPSUM BOARD (PAINTED)	4	FLOOR ASSEMBLY A (COLD FLOOR) FINISHED FLOOR ON 5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON ENGINEERED FLOOR JOISTS W/ R-31 SPRAY FOAM INSULATION 3/4" T&G WOOD SOFFITS (PAINTED/STAINED) (SEE STRUCTURAL FOR DETAILS)	7	WATERPROOF DECK/FLAT ROOF WATERPROOF DECKING MEMBRANE (MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON 1/2" T&G FT PLYWOOD SHEATHING ON PT SLEEPERS (@ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON DECK JOISTS (SEE STRUCTURAL) W/ R-31 SPRAY FOAM INSULATION 1/2" CD BOARD (PAINTED)	9	DRAINAGE ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.) TO BE 4" PERF. PIPE 3" BELOW T/O SLAB (HOLES DOWN) W/ FILTER FABRIC (TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON MIN 6" COMPACT GRANULAR FILL ON (ON, AROUND AND BELOW PIPE) ON COMPACT FILL
2	2 X 4" INTERIOR PARTITION 2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)	5	FLOOR ASSEMBLY B FINISHED FLOOR ON 4" CONC SLAB ON 3" RIGID XPS INSUL. ON 6 MIL POLY V.B. ON 6" GRANULAR FILL ON COMPACT FILL	8	EXTERIOR DECK STAIR TOTAL RISE = 9'-8" 16 RISERS 10" RUNS PLUS 1" NOSING MINIMUM 6'-6" HEADROOM 36" HIGH CONTINUOUS GRASPABLE HANDRAIL PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS	10	EXIST/PROP ROOF 2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE (@ 1/4" PER FOOT SLOPE TO DRAINS) ON 1/2" FIBRE BOARD SHEATHING ON T&R & GRAVEL ROOF SYSTEM 2 LAYERS 1/2" FIBRE BOARD SHEATHING ON T&G TRUCK BEAMS (SEE STRUCT)
3	2 X 6" INTERIOR PARTITION 2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)	6	TYP EXTERIOR FOUNDATION WALL DELTA DRAIN MAT ON 8" CONCRETE FOUNDATION WALL W/ DAMP PROOFING AS REQ'D (SEE STRUCTURAL FOR DETAILS)				



PROPOSED MAIN FLOOR PLAN 1/4" = 1'-0"

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS. SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP. - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
P.T. - PRESSURE TREATED
CONT. - CONTINUOUS
ELEV. - ELEVATION
O/H - OVERHANG
ENG. - ENGINEERED
T & G - TONGUE AND GROOVE
EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
EXIST UPPER FLR: 1689 SQ FT
UPPER FLR ADD: 59 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 151 SQ FT
TOTAL AREA: 3219 SQ FT

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

REVISED
NOV 18 2021
District of West Vancouver
Permits Dept.

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

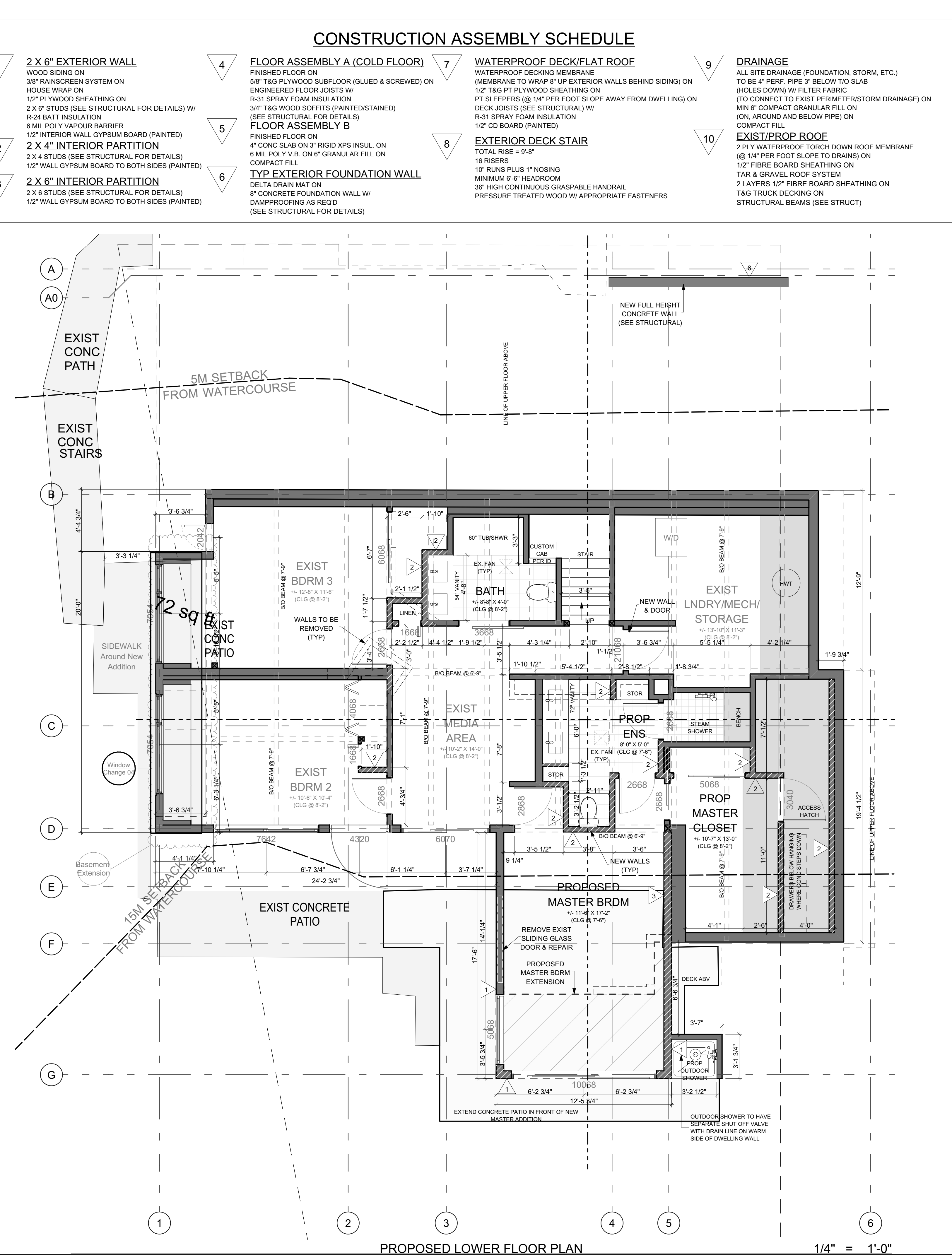
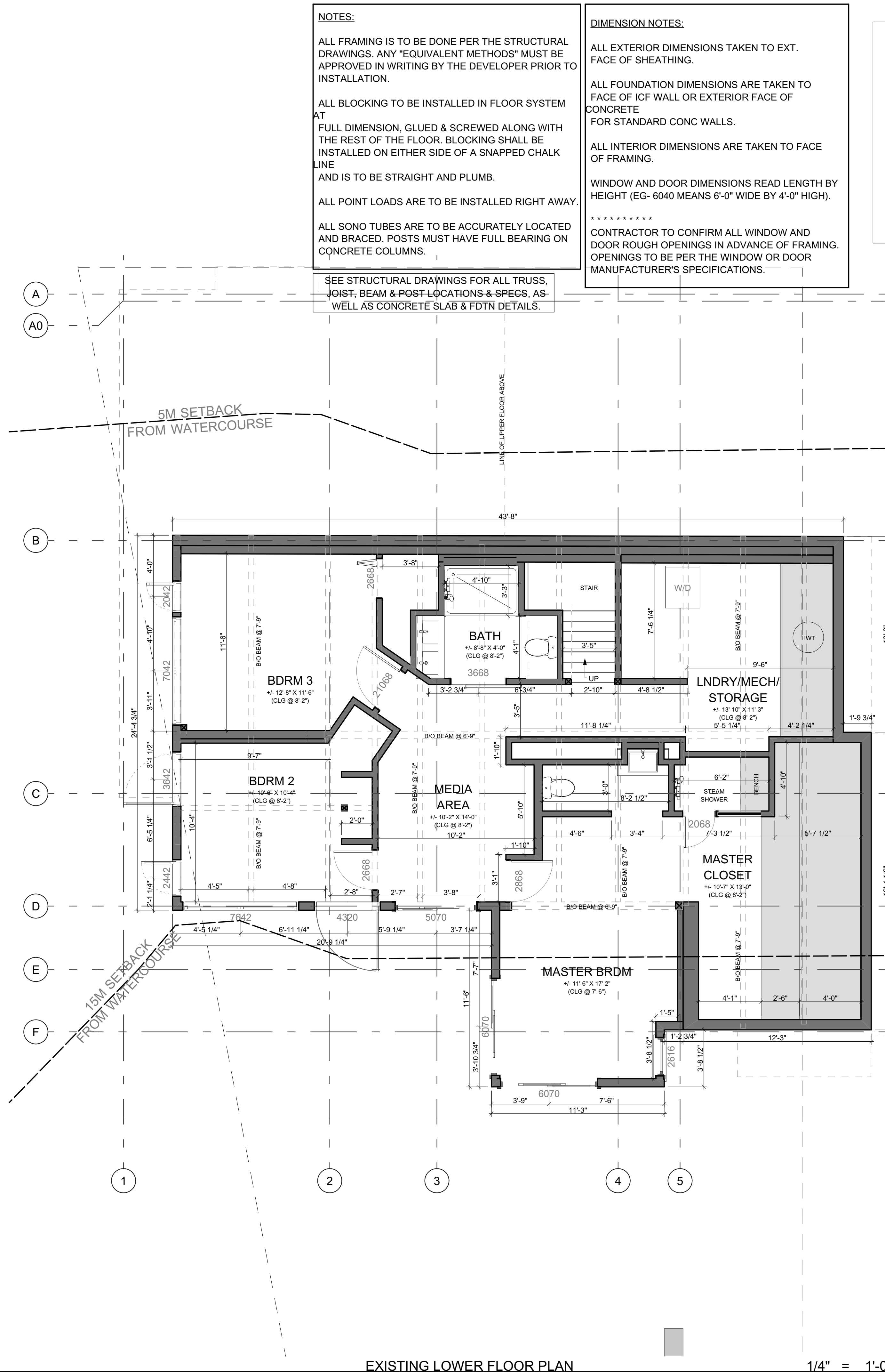
PROJECT TITLE:
EXIST & PROP LOWER FLOOR PLANS

SHEET TITLE:
DRAWN BY: LULIA L.
CHECKED BY:
DATE: 11/17/2021
SCALE: AS NOTED

A-1.3

CONSTRUCTION ASSEMBLY SCHEDULE

- 1 **2 X 6" EXTERIOR WALL**
WOOD SIDING ON
3/8" RAINSCREEN SYSTEM ON
HOUSE WRAP ON
1 1/2" PLYWOOD SHEATHING ON
2 X 6" STUDS (SEE STRUCTURAL FOR DETAILS) W/
R-24 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" INTERIOR WALL GYPSUM BOARD (PAINTED)
- 2 **2 X 4" INTERIOR PARTITION**
2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 3 **2 X 6" INTERIOR PARTITION**
2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 4 **FLOOR ASSEMBLY A (COLD FLOOR)**
FINISHED FLOOR ON
5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON
ENGINEERED FLOOR JOISTS W/
R-31 SPRAY FOAM INSULATION
3/4" T&G WOOD SOFFITS (PAINTED/STAINED)
(SEE STRUCTURAL FOR DETAILS)
- 5 **FLOOR ASSEMBLY B**
FINISHED FLOOR ON
4" CONC SLAB ON 3" RIGID XPS INSUL. ON
6 MIL POLY V.B. ON 6" GRANULAR FILL ON
COMPACT FILL
- 6 **TYP EXTERIOR FOUNDATION WALL**
DELTA DRAIN MAT ON
8" CONCRETE FOUNDATION WALL W/
DAMP-PROOFING AS REQ'D
(SEE STRUCTURAL FOR DETAILS)
- 7 **WATERPROOF DECK/FLAT ROOF**
WATERPROOF DECKING MEMBRANE
(MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON
1 1/2" T&G PT PLYWOOD SHEATHING ON
PT SLEEPERS (@ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON
DECK JOISTS (SEE STRUCTURAL) W/
R-31 SPRAY FOAM INSULATION
1/2" CD BOARD (PAINTED)
- 8 **EXTERIOR DECK STAIR**
TOTAL RISE = 9'-8"
16 RISERS
10" RUNS PLUS 1" NOSING
MINIMUM 6'-6" HEADROOM
36" HIGH CONTINUOUS GRASPABLE HANDRAIL
PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
- 9 **DRAINAGE**
ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.)
TO BE 4" PERF. PIPE 3" BELOW T/O SLAB
(HOLES DOWN) W/ FILTER FABRIC
(TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON
MIN 6" COMPACT GRANULAR FILL ON
(ON AROUND AND BELOW PIPE) ON
COMPACT FILL
- 10 **EXIST/PROP ROOF**
2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE
(@ 1/4" PER FOOT SLOPE TO DRAINS) ON
1 1/2" FIBRE BOARD SHEATHING ON
TAR & GRAVEL ROOF SYSTEM
2 LAYERS 1/2" FIBRE BOARD SHEATHING ON
T&G TRUCK DECKING ON
STRUCTURAL BEAMS (SEE STRUCT)



WINDOW AND DOOR NOTES:

CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.

- ALL WINDOW DIMENSIONS ARE TAKEN TO THE FRAME SIZE.

- ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.

- BEDROOM WINDOWS TO COMPLY WITH BCBC 9.7.1.2.

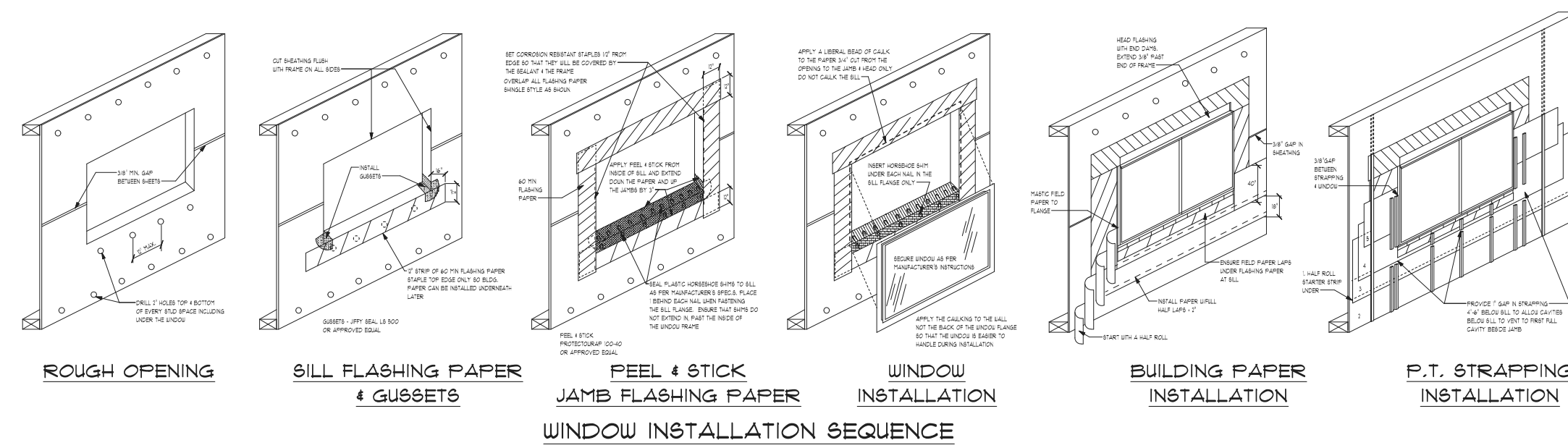
- ALL EXTERIOR DOORS ARE DIMENSIONED TO THE DOOR SIZE.

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.

- FRAMER TO SEE MANUFACTURER'S SPECS FOR ROUGH OPENINGS.

- ALL WINDOWS AND DOORS TO HAVE U FACTOR OF 1.8 OR BETTER.

- ASHRAE 90.1-2010 (U VALUE 0.35 MAX)



CONTRACTOR TO DETERMINE LOCATIONS OF RAIN WATER LEADERS ON SITE.

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS. SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

- U.N.O. - UNLESS NOTED OTHERWISE
- I/S - INSIDE
- O.C. - ON CENTER
- TYP. - TYPICAL
- D.F. - DOUGLAS FIR
- GWB - GYPSUM WALL BOARD (DRYWALL)
- P.T. - PRESSURE TREATED
- CONT. - CONTINUOUS
- ELEV. - ELEVATION
- O/H - OVERHANG
- ENG. - ENGINEERED
- T & G - TONGUE AND GROOVE
- EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR: 1689 SQ FT
UPPER FLR ADD: 59 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 151 SQ FT
TOTAL AREA: 3219 SQ FT

NO.	DATE	REVISION
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

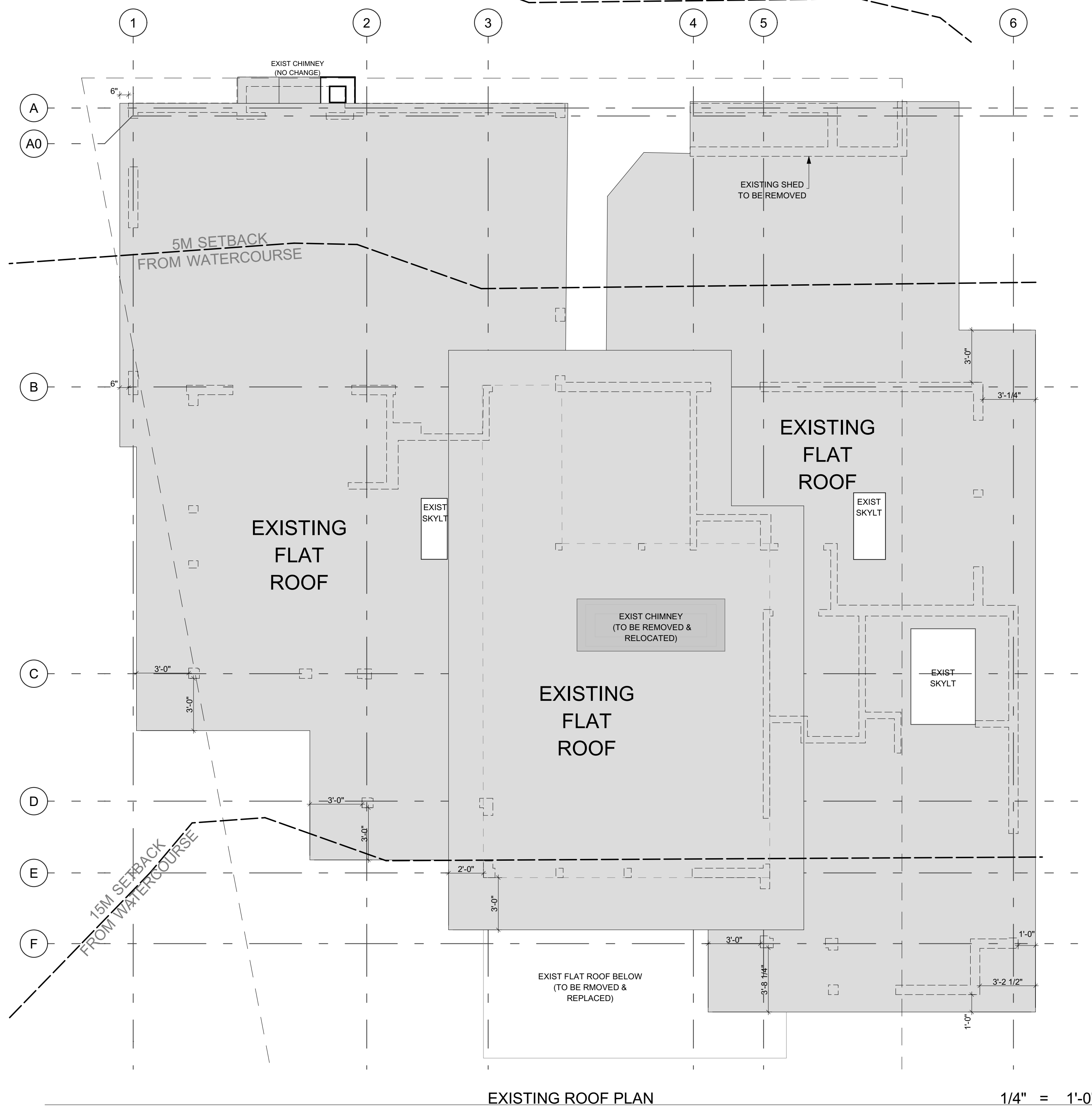
REVISED

NOV 18 2021
District of West Vancouver Permits Dept.

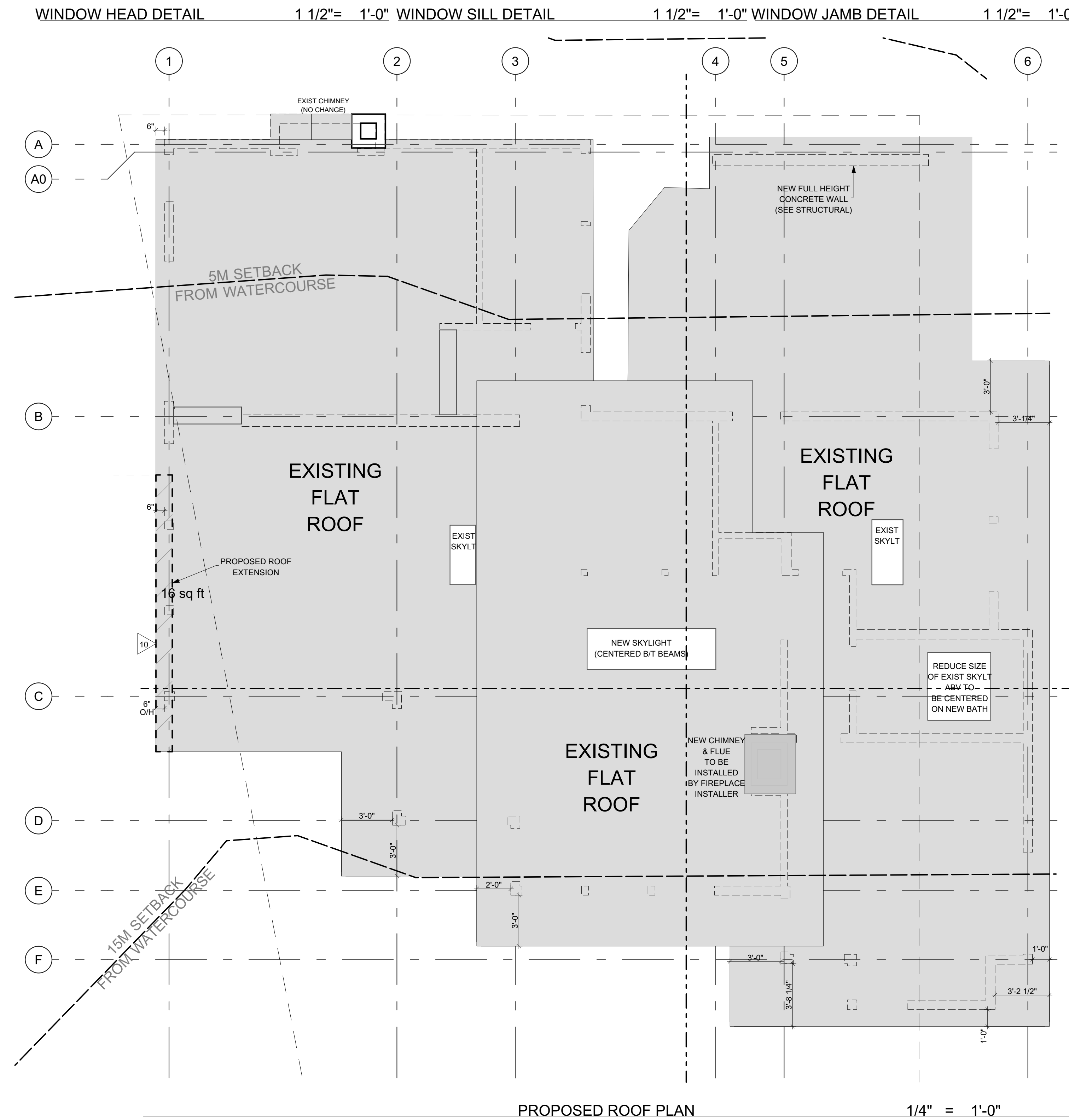
ADDITION/RENOVATION BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:
EXIST & PROP ROOF PLANS & DOOR/WINDOW DETAILS

SHEET TITLE:
DRAWN BY: LULIA L.
CHECKED BY:
DATE: 11/17/2021
SCALE: AS NOTED



EXISTING ROOF PLAN 1/4" = 1'-0"



PROPOSED ROOF PLAN 1/4" = 1'-0"

WINDOW HEAD DETAIL 1 1/2"= 1'-0" WINDOW SILL DETAIL 1 1/2"= 1'-0" WINDOW JAMB DETAIL 1 1/2"= 1'-0"

3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP
NO.	DATE	REVISION

REVISED

NOV 18 2021

District of West Vancouver
Permits Dept.

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

BUILDING SECTIONS

SHEET TITLE:

DRAWN BY: LULIA L.

CHECKED BY:

DATE: 11/17/2021

SCALE: AS NOTED

A-2.1

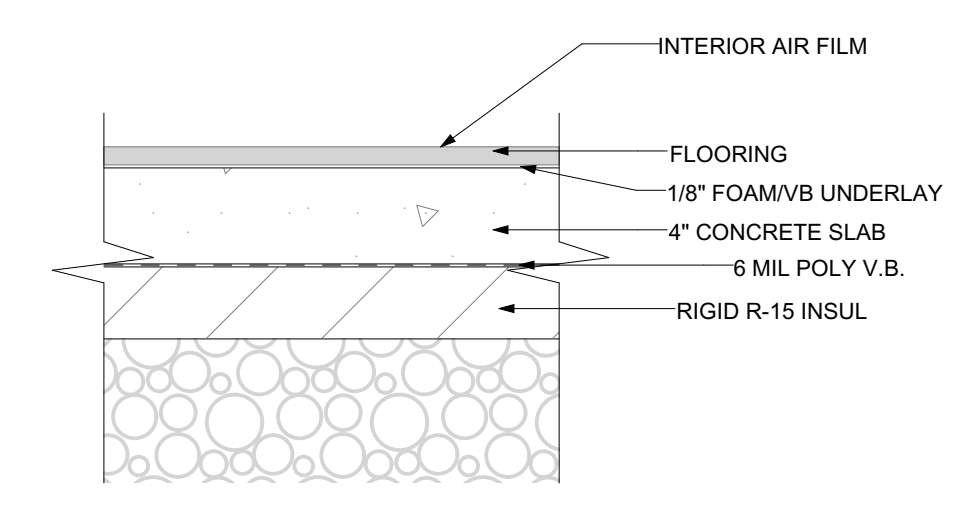
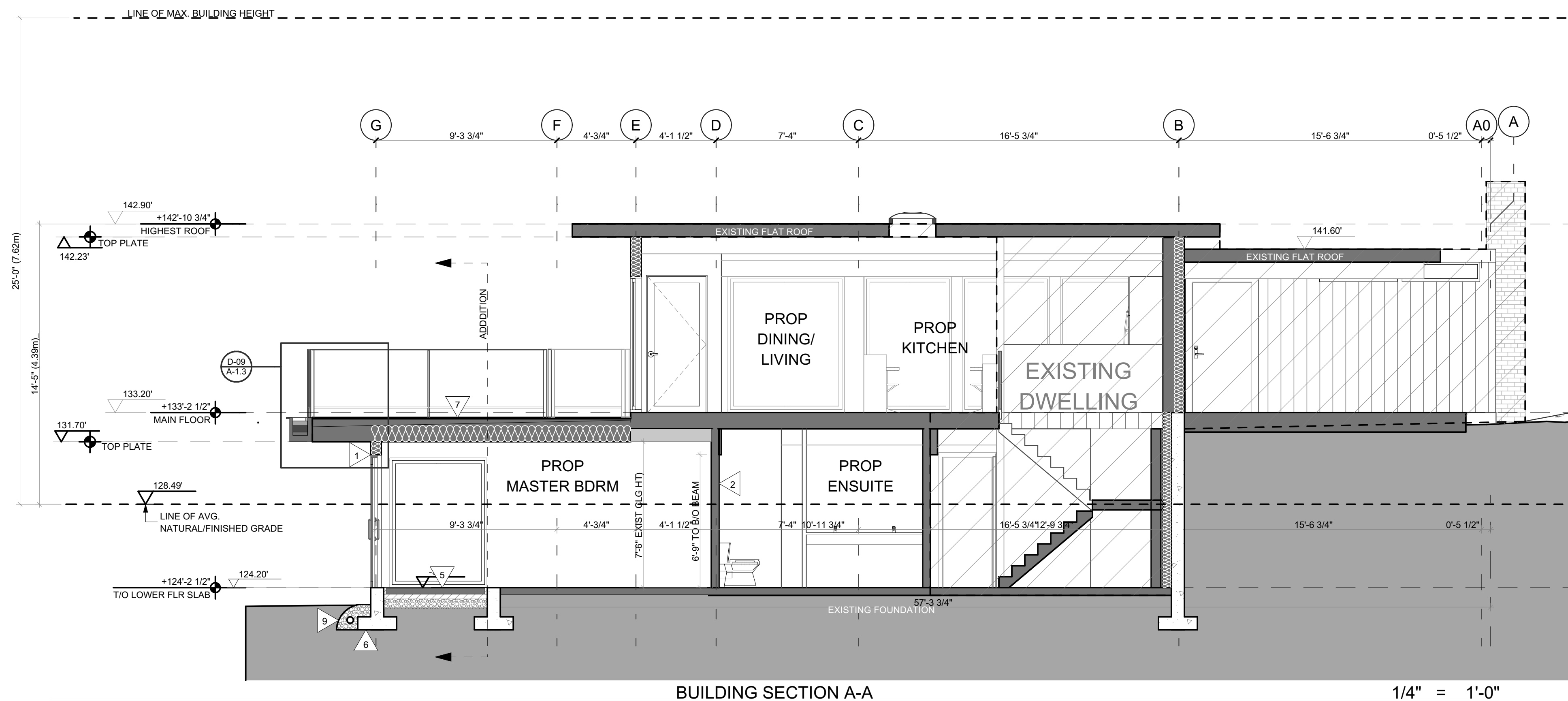
AVERAGE NATURAL/FINISHED GRADE CALCULATIONS

	ELEV (FT)	ELEV (FT)		LENGTH (FT)	TOTAL (FT)
A-B	130.40	+ 132.30	/2 = 131.35	25.20	3310.02
B-C	132.30	+ 132.10	/2 = 132.20	16.00	2115.20
C-C1	132.10	+ 132.20	/2 = 132.15	2.00	264.3
C1-C2	132.20	+ 132.80	/2 = 132.50	8.5	1126.25
C2-C3	132.80	+ 132.80	/2 = 132.80	3.2	424.96
C3-C4	132.80	+ 132.80	/2 = 132.80	2.6	345.28
C4-C5	132.80	+ 132.80	/2 = 132.80	2.8	371.84
C5-C6	132.80	+ 133.10	/2 = 132.95	15.7	2087.32
C6-C7	133.10	+ 132.80	/2 = 132.95	13.3	1768.24
C7-C8	132.80	+ 132.80	/2 = 132.80	4.3	571.04
C8-D	132.80	+ 132.70	/2 = 132.75	3.2	424.80
D-E	132.70	+ 132.40	/2 = 132.55	12.60	1670.13
E-F	132.40	+ 132.30	/2 = 132.35	2.00	264.70
F-G	132.30	+ 130.90	/2 = 131.60	19.90	2618.84
G-H	130.90	+ 123.70	/2 = 127.30	15.40	1960.42
H-I	123.70	+ 123.70	/2 = 123.70	9.50	1175.15
I-J	123.70	+ 123.70	/2 = 123.70	11.40	1410.18
J-K	123.70	+ 123.70	/2 = 123.70	17.50	2164.75
K-L	123.70	+ 123.50	/2 = 123.60	20.80	2570.88
L-M	123.50	+ 127.90	/2 = 125.70	23.60	2966.52
M-N	127.90	+ 129.50	/2 = 128.70	3.60	463.32
N-A	129.50	+ 130.40	/2 = 129.95	16.80	2183.16
SUBTOTALS				249.9	32,257.3
AVERAGE NATURAL/ FINISHED GRADE:					129.08

CONSTRUCTION ASSEMBLY SCHEDULE

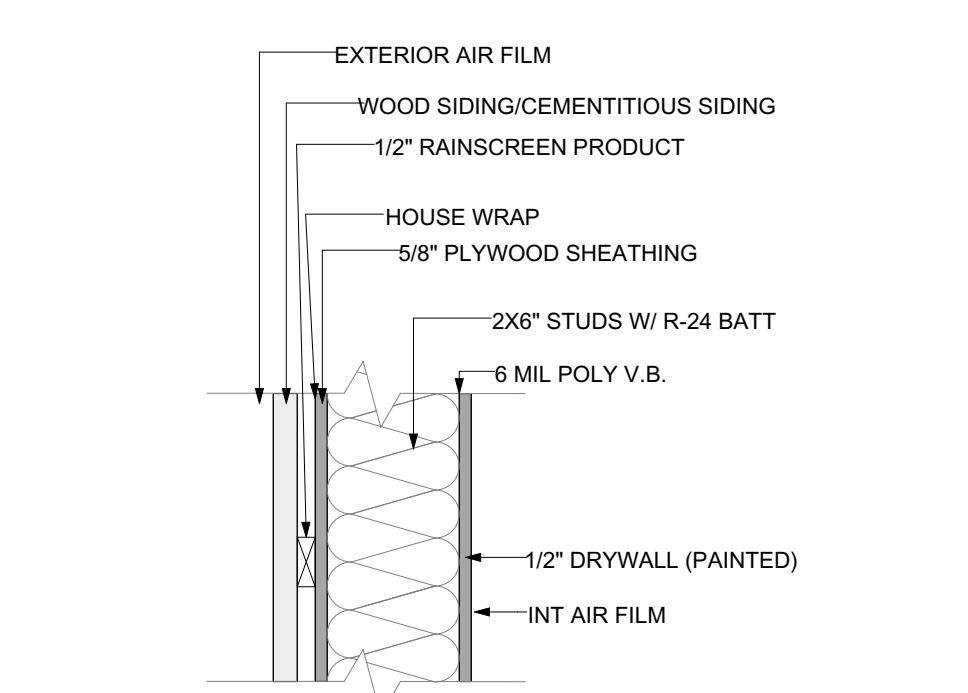
- 2 X 6" EXTERIOR WALL
WOOD SIDING ON 3/8" RAINSCREEN SYSTEM ON HOUSE WRAP ON 1/2" PLYWOOD SHEATHING ON 2 X 6" STUDS (SEE STRUCTURAL FOR DETAILS) W/ R-24 BATT INSULATION
- 2 X 4" INTERIOR PARTITION
2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 2 X 6" INTERIOR PARTITION
2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- FLOOR ASSEMBLY A (COLD FLOOR)
FINISHED FLOOR ON 5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON ENGINEERED FLOOR JOISTS W/ R-31 SPRAY FOAM INSULATION
- FLOOR ASSEMBLY B
FINISHED FLOOR ON 4" CONC SLAB ON 3" RIGID XPS INSUL ON 6 MIL POLY V.B. ON 6" GRANULAR FILL ON COMPACT FILL
- TYP EXTERIOR FOUNDATION WALL
DELTA DRAIN MAT ON 8" CONCRETE FOUNDATION WALL W/ DAMPROOFING AS REQ'D (SEE STRUCTURAL FOR DETAILS)
- WATERPROOF DECK/FLAT ROOF
WATERPROOF DECKING MEMBRANE (MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON 1/2" T&G PT PLYWOOD SHEATHING ON PT SLEEPERS (@ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON DECK JOISTS (SEE STRUCTURAL) W/ R-31 SPRAY FOAM INSULATION 1/2" CD BOARD (PAINTED)
- EXTERIOR DECK STAIR
TOTAL RISE = 9'-8"
16 RISERS
10" RUNS PLUS 1" NOSING
MINIMUM 6'-6" HEADROOM
36" HIGH CONTINUOUS GRASPABLE HANDRAIL
PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
- DRAINAGE
ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.) TO BE 4" PERF. PIPE 3" BELOW T/O SLAB (HOLES DOWN) W/ FILTER FABRIC (TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON MIN 6" COMPACT GRANULAR FILL ON (ON, AROUND AND BELOW PIPE) ON COMPACT FILL
- EXIST/PROP ROOF
2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE (@ 1/4" PER FOOT SLOPE TO DRAINS) ON 1/2" FIBRE BOARD SHEATHING ON TAR & GRAVEL ROOF SYSTEM 2 LAYERS 1/2" FIBRE BOARD SHEATHING ON T&G TRUCK DECKING ON STRUCTURAL BEAMS (SEE STRUCT)

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.



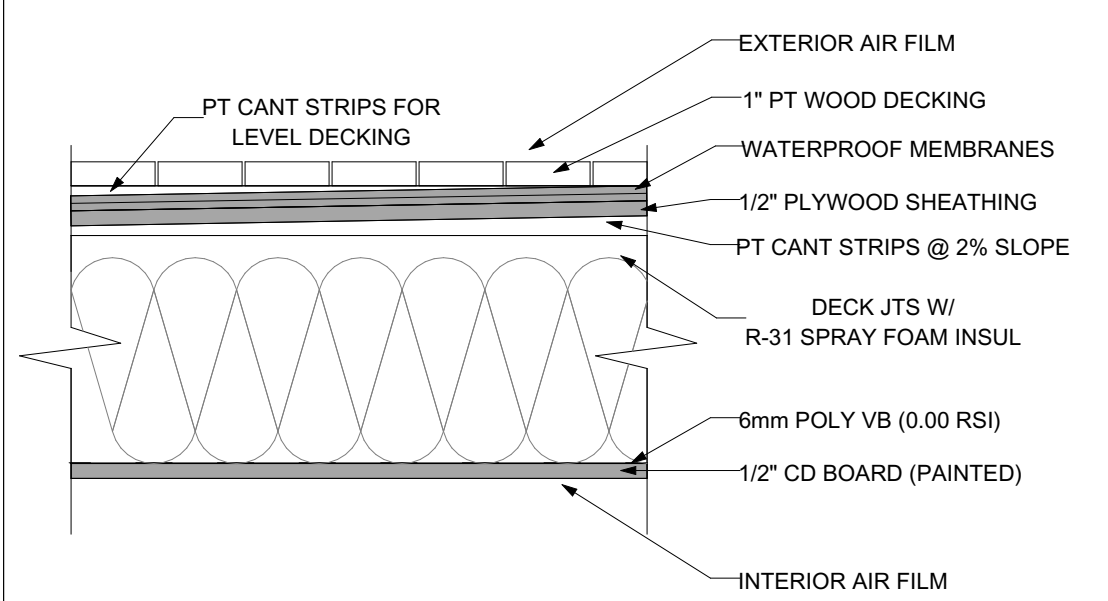
HEATED SLAB (FLOOR) 1 1/2" = 1'-0"

Slab Floor	Assemblies	Effective R _{total}	Effective R _{net}	Framing	Cavity
R-15 Rigid Slab	Interior air film	0.91	0.160		
	Finished Floor	0.68	0.120		
	4" Reinforced Concrete Slab	0.23	0.041		
	6 mil Poly Vapour Barrier	0.00	0.000		
	R-15 Rigid Insulation	15.00	2.642		
Total Effective Value		16.82	2.96		



ABOVE GRADE WALL 1 1/2" = 1'-0"

Wall Assembly	Assembly	Effective R	Effective R _{net}	Framing	Cavity
2x6 @ 16" o/c R-24 Batt	Exterior air film	0.17	0.030		
	1/2" Wood siding	0.76	0.137		
	Rain screen (3/8" x 1/2" air space)	0.85	0.150		
	Building Wrap	0.00	0.000		
	1/2" Plywood	0.63	0.110		
	2x6 @ 16" o/c R-24 Batt	15.11	2.661	0.23	0.77
	6 mil Vapour barrier	0.00	0.000		
	1/2" Gypsum board	0.44	0.077		
	Interior Air Film	0.68	0.120		
	Total Effective R Value		18.65	3.285	



FLAT ROOF/DECK (@ MASTER) 1 1/2" = 1'-0"

Flat and/or Vaulted Ceilings	Assembly	Effective R	Effective R _{net}	Framing	Cavity
2x10 @ 16" o/c R-31 batt or spray foam	Exterior air film	0.17	0.030		
	Roofing membrane	0.00	0.000		
	1/2" Plywood	0.63	0.110		
	2x10 @ 16" o/c R-31 batt or spray foam	24.67	4.344	13.0%	87.0%
	6 mil Vapour barrier	0.00	0.000		
	1/2" Gypsum board	0.55	0.097		
	Interior Air Film	0.68	0.120		
Total Effective R Value		26.70	4.702		

