4890 Water Lane - Little Residence

New Garage and Home Addition

DRAWING INDEX

Legal Description: Lot 'I' Block B of Block 4;

District Lot 811; Group One New Westminster District

Plan 21837;

P.I.D. 011-644-176

JDI Design
4890 Water Lane
West Vancouver, BC
V7W 1K5

CLIENT
Josh and Erin Little
4890 Water Lane

DRAWING ISSUE
Revision 0C - 2024 Oct 1

PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
Cover Sheet

DESIGN AND DRAFTING BY
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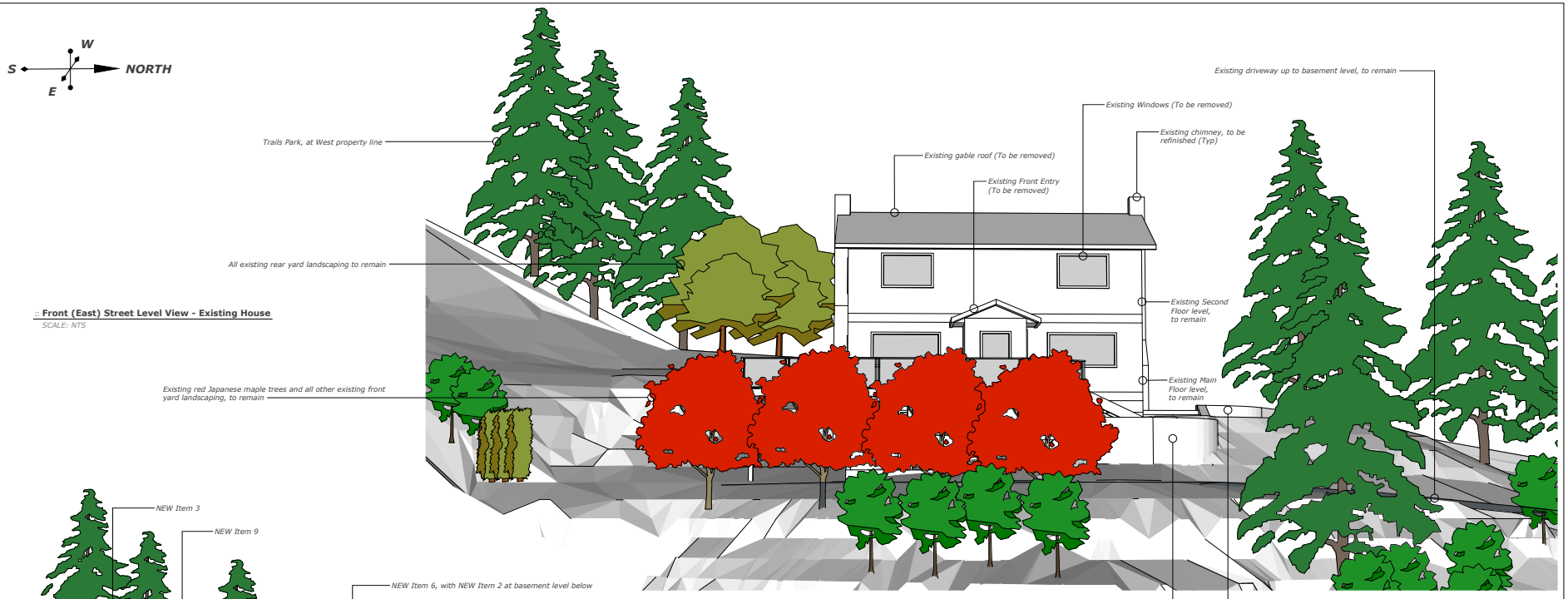
A

01



:: **Front (East) Street Level View - Existing House**

SCALE: NTS

:: **Front (East) Street Level View - Proposed Final Condition**

SCALE: NTS

PROPOSED SCOPE OF WORK ITEMS SHOWN:

(See General Notes sheet for complete list of all NEW scope of work items)

Item 1. New 21' x 24' Garage addition at basement level east side.

Item 2. New 26' x 5' plus 12' x 19' L-shaped Bedroom and Games Room addition at basement level SE corner, with on-grade patio in front.

Item 3. New concrete retaining walls at basement level south side to retain on-grade patio at main floor level with in-ground hot tub.

Item 5. New 20' x 9' Living Room and Office addition at main floor level east side, above new Garage addition.

Item 6. New 26' x 5' plus 12' x 19' L-shaped Family Room and Dining Room addition at main floor level SE corner, above new SE basement addition.

Item 8. New 30' x 15' plus 7' x 11' L-shaped Deck at main floor level incorporated into new Garage addition roof.

Item 9. New 39' x 8' plus 13' x 24' L-shaped Deck at main floor level SE corner, above basement level on-grade patio.

Item 10. New 20' x 9' Master Bedroom addition at second floor level east side, above new main floor level Living Room and Office addition.

Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.

Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.

Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

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4890 Water Lane
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V7W 1K5

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DRAWING ISSUE
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PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
General Views 1 of 5 - Street Front

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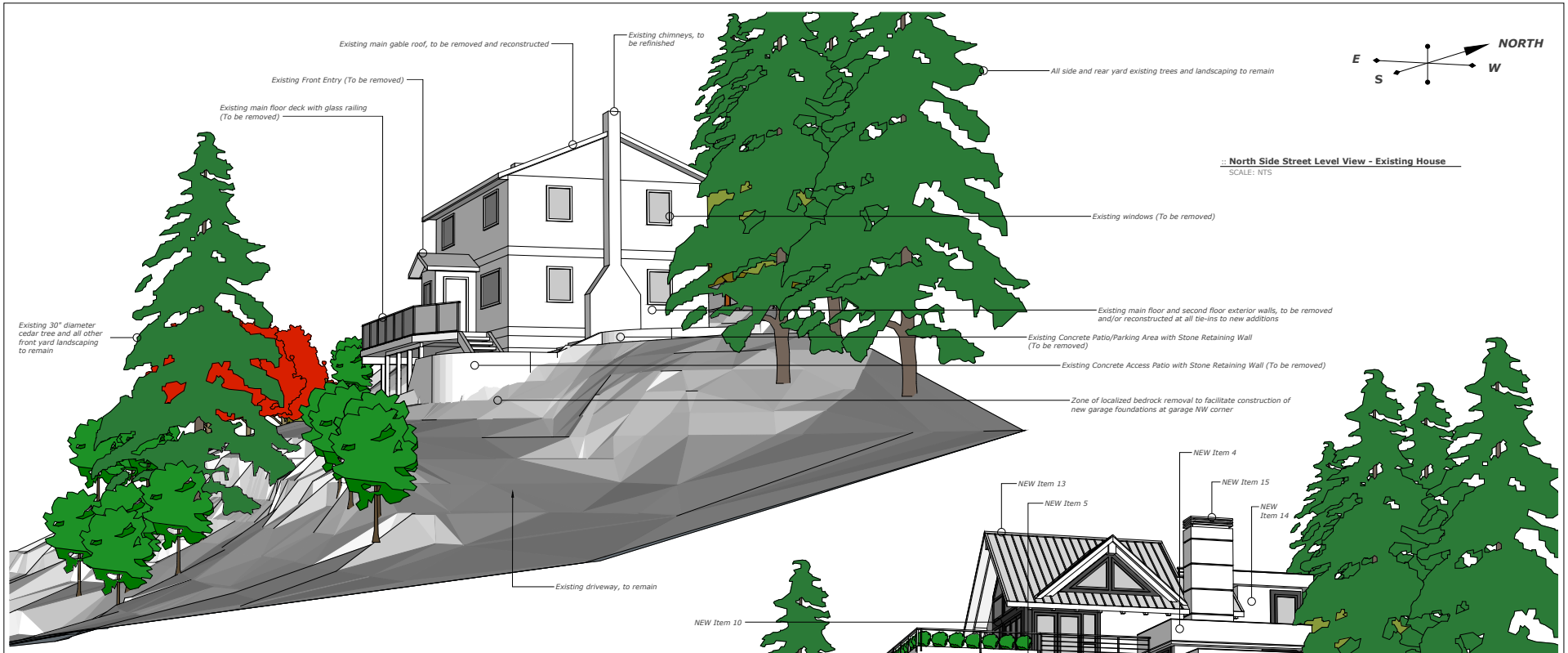
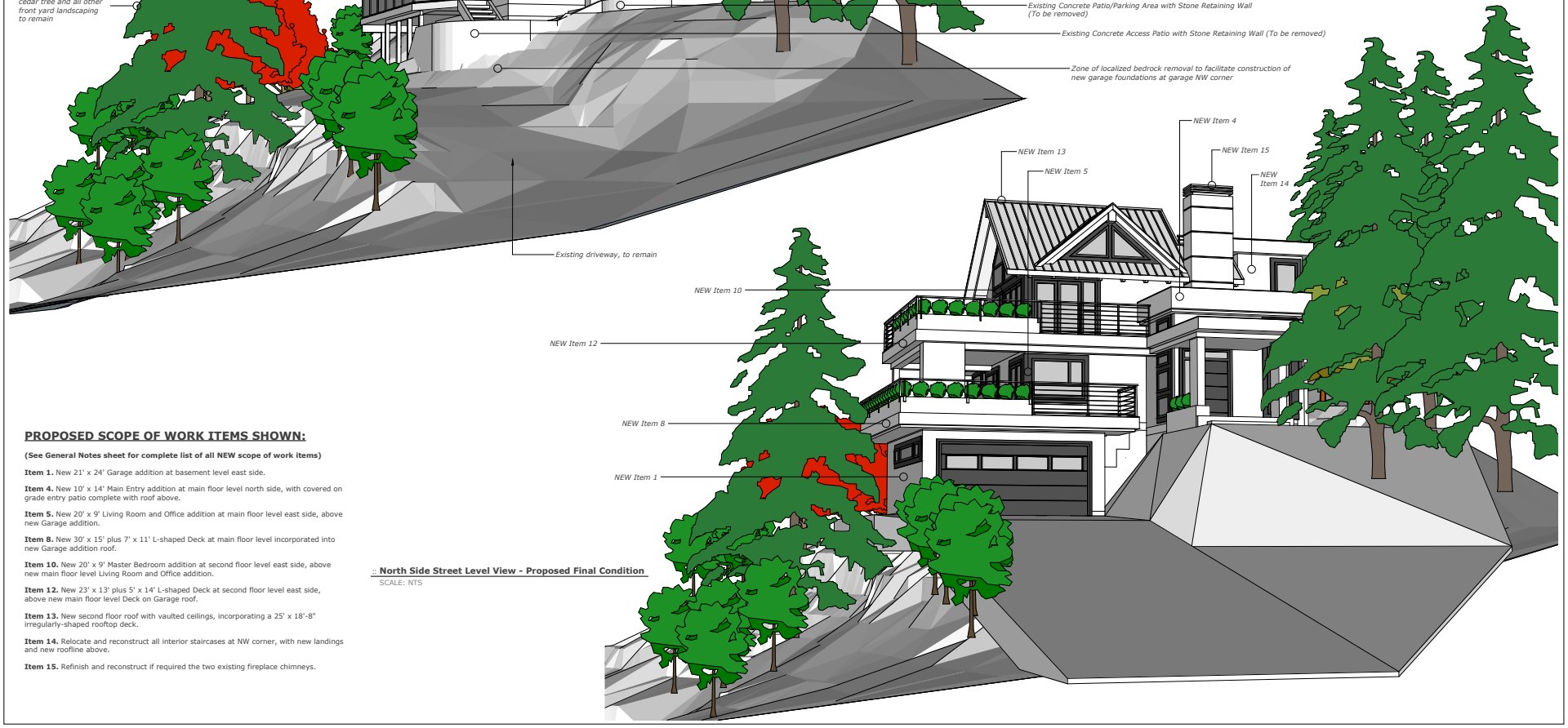
A

02



:: **North Side Street Level View - Existing House**
SCALE: NTS



:: **North Side Street Level View - Proposed Final Condition**
SCALE: NTS

PROPOSED SCOPE OF WORK ITEMS SHOWN:

(See General Notes sheet for complete list of all NEW scope of work items)

Item 1. New 21' x 24' Garage addition at basement level east side.

Item 4. New 10' x 14' Main Entry addition at main floor level north side, with covered on grade entry patio complete with roof above.

Item 5. New 20' x 9' Living Room and Office addition at main floor level east side, above new Garage addition.

Item 8. New 30' x 15' plus 7' x 11' L-shaped Deck at main floor level incorporated into new Garage addition roof.

Item 10. New 20' x 9' Master Bedroom addition at second floor level east side, above new main floor level Living Room and Office addition.

Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.

Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.

Item 14. Relocate and reconstruct all interior staircases at NW corner, with new landings and new roofline above.

Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

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4890 Water Lane
West Vancouver, BC
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DRAWING ISSUE
Revision 0C - 2024 Oct 1

PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
General Views 2 of 5 - Street North

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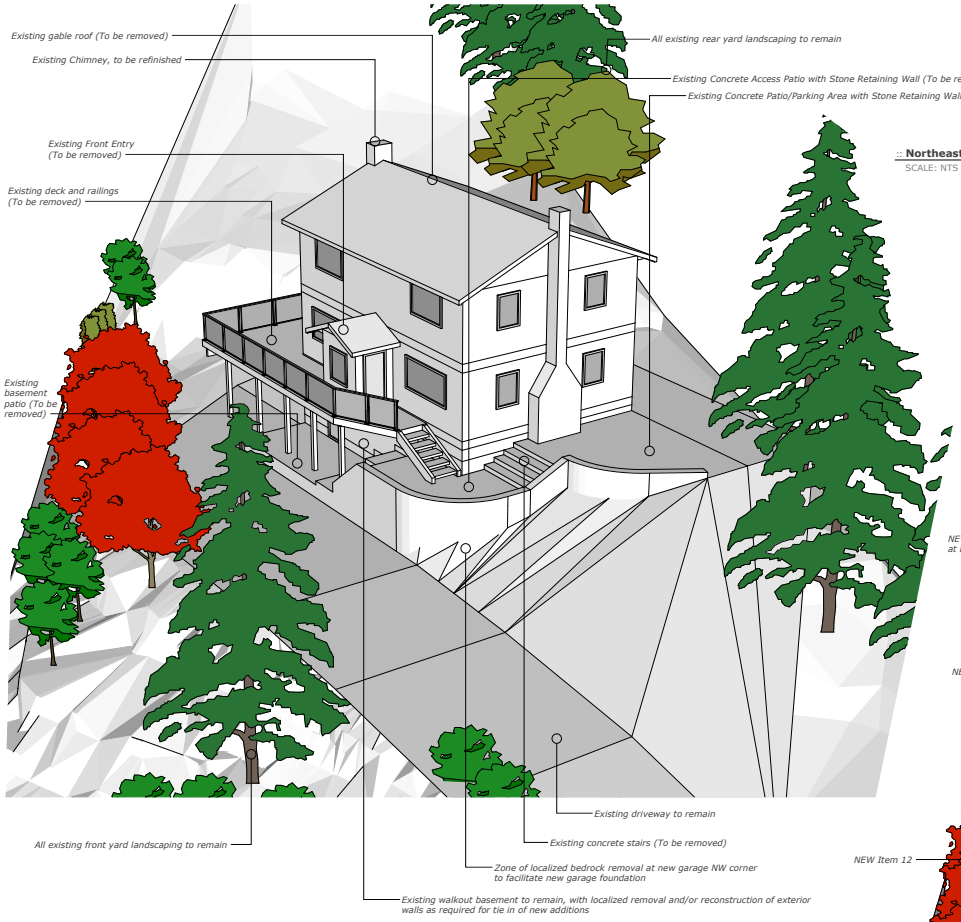
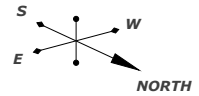
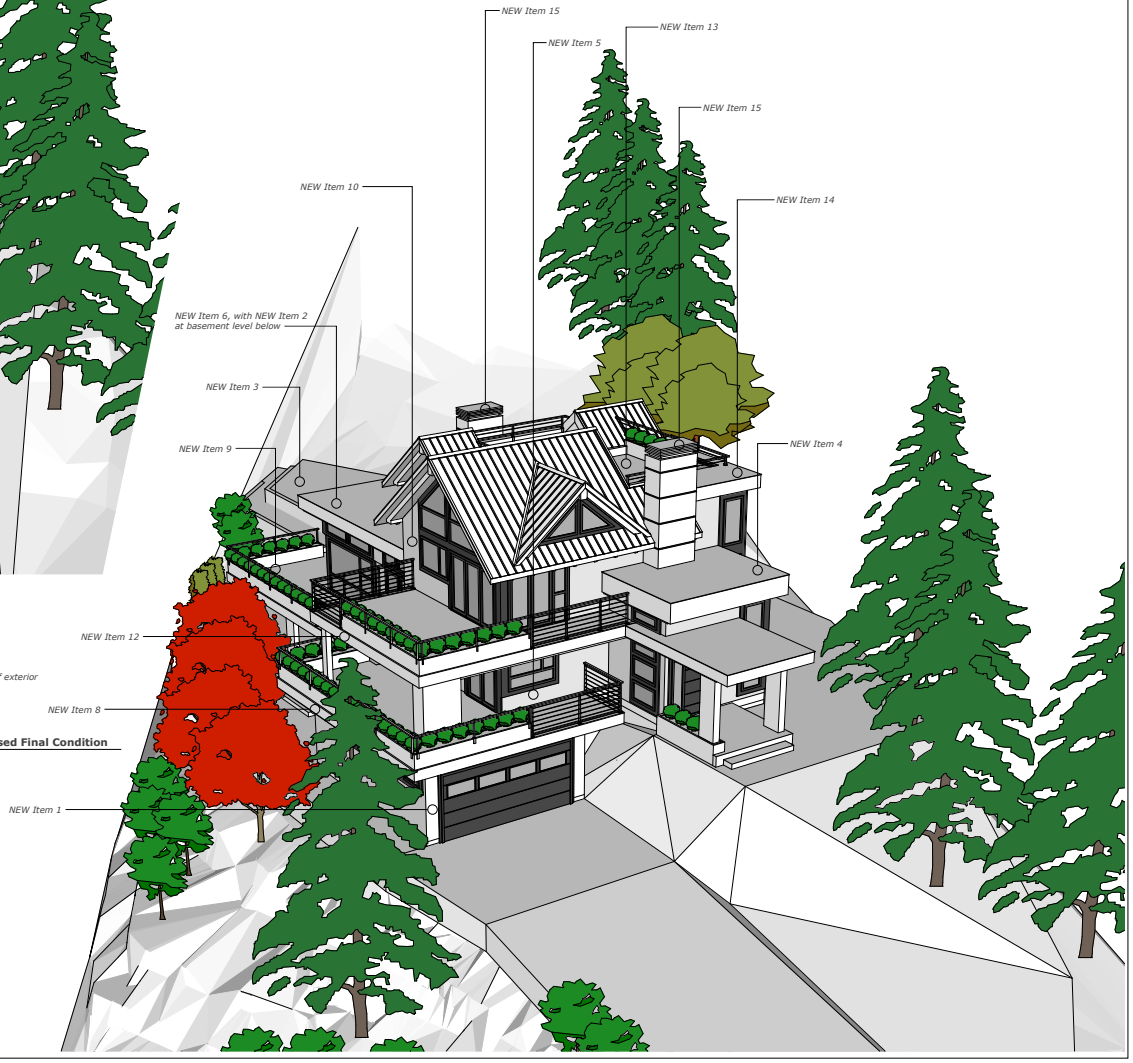
03



:: **Northeast Aerial View (looking SW) - Existing House**
SCALE: NTS





:: **Northeast Aerial View (looking SW) - Proposed Final Condition**
SCALE: NTS

PROPOSED SCOPE OF WORK ITEMS SHOWN:

(See General Notes sheet for complete list of NEW scope of work items)

Item 1. New 21' x 24' Garage addition at basement level east side.

Item 2. New 26' x 5' plus 12' x 19' L-shaped Bedroom and Games Room addition at basement level SE corner, with on-grade patio in front.

Item 3. New concrete retaining walls at basement level south side to retain on-grade patio at main floor level with in-ground hot tub.

Item 4. New 10' x 14' Main Entry addition at main floor level north side, with covered on grade entry patio complete with roof above.

Item 5. New 20' x 9' Living Room and Office addition at main floor level east side, above new Garage addition.

Item 6. New 26' x 5' plus 12' x 19' L-shaped Family Room and Dining Room addition at main floor level SE corner, above new SE basement addition.

Item 8. New 30' x 15' plus 7' x 11' L-shaped Deck at main floor level incorporated into new Garage addition roof.

Item 9. New 39' x 8' plus 13' x 24' L-shaped Deck at main floor level SE corner, above basement level on-grade patio.

Item 10. New 20' x 9' Master Bedroom addition at second floor level east side, above new main floor level Living Room and Office addition.

Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.

Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.

Item 14. Relocate and reconstruct all interior staircases at NW corner, with new landings and new roofline above.

Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

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4890 Water Lane
West Vancouver, BC
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Josh and Erin Little
4890 Water Lane

DRAWING ISSUE
Revision 0C - 2024 Oct 1

PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
General Views 3 of 5 - NE Aerial

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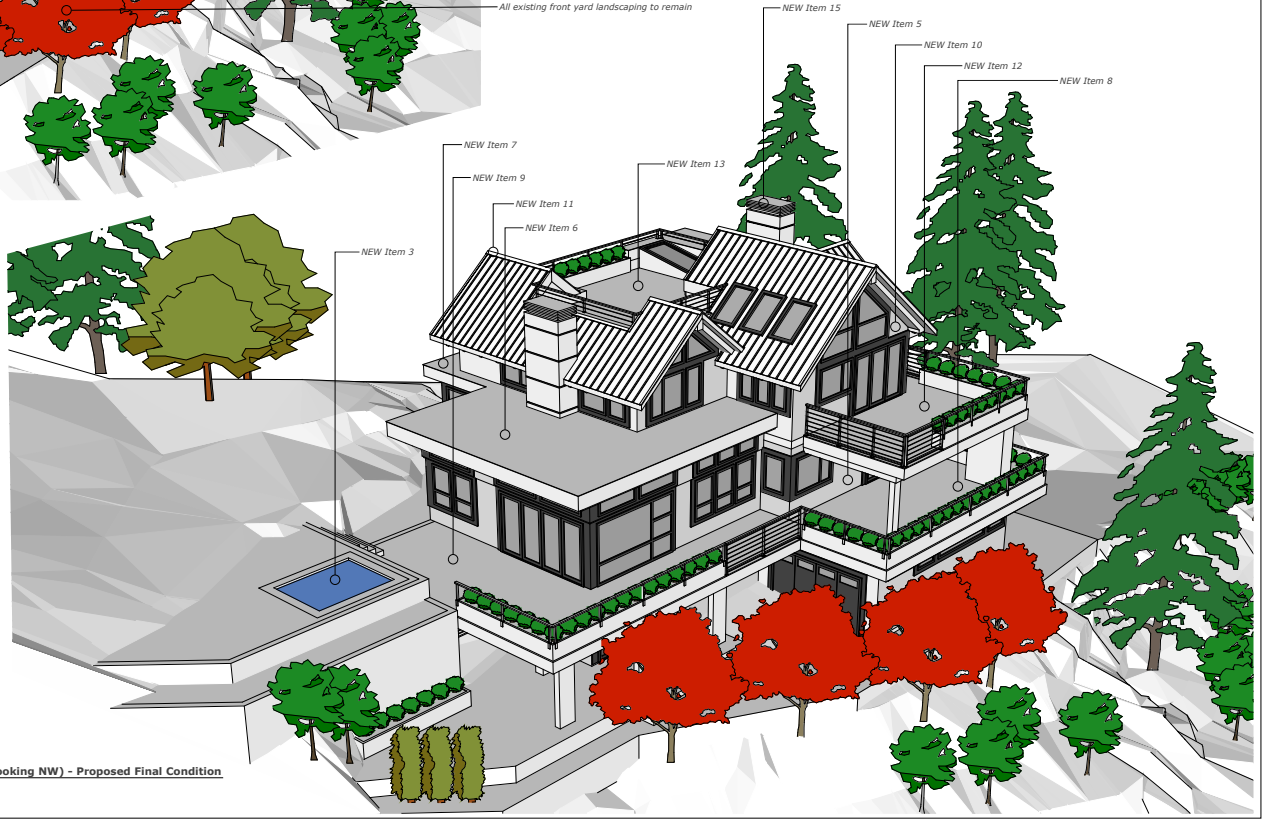
:: **Southeast Aerial View (Looking NW) - Existing House**

SCALE: NTS



:: **Southeast Aerial View (Looking NW) - Proposed Final Condition**

SCALE: NTS

PROPOSED SCOPE OF WORK ITEMS SHOWN:

(See General Notes sheet for complete list of NEW scope of work items)

Item 3. New concrete retaining walls at basement level south side to retain on-grade patio at main floor level with in-ground hot tub.

Item 5. New 20' x 9' Living Room and Office addition at main floor level east side, above new Garage addition.

Item 6. New 26' x 5' plus 12' x 19' L-shaped Family Room and Dining Room addition at main floor level SE corner, above new SE basement addition.

Item 7. New 21' x 6' Kitchen addition at main floor level west side.

Item 8. New 30' x 15' plus 7' x 11' L-shaped Deck at main floor level incorporated into new Garage addition roof.

Item 9. New 39' x 8' plus 13' x 24' L-shaped Deck at main floor level SE corner, above basement level on-grade patio.

Item 10. New 20' x 9' Master Bedroom addition at second floor level east side, above new main floor level Living Room and Office addition.

Item 11. New 14' x 3' Bedroom #3 window bench addition at second floor level west side, above new main floor level Kitchen addition.

Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.

Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.

Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

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4890 Water Lane
West Vancouver, BC
V7W 1K5

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DRAWING ISSUE
Revision 0C - 2024 Oct 1

PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
General Views 4 of 5 - SE Aerial

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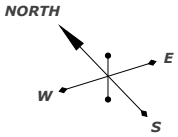
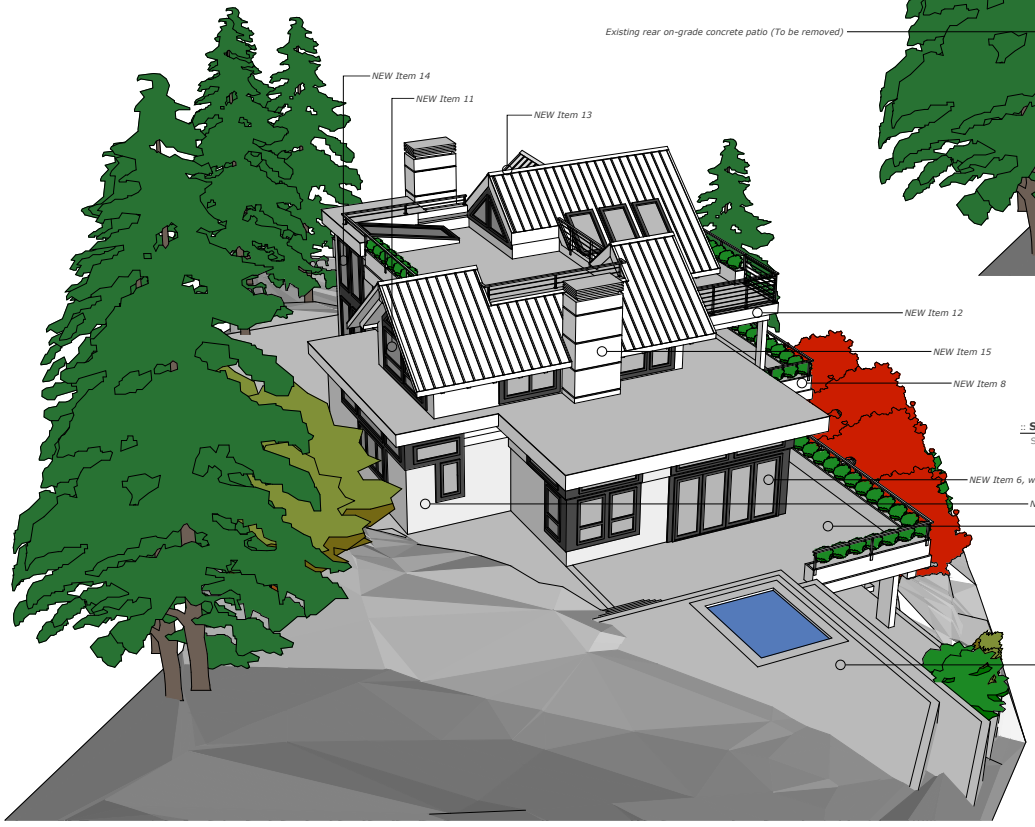


:: **Southwest View from Rear of Property (Looking NE) - Existing House**
SCALE: NTS



:: **Southwest View from Rear of Property (Looking NE) - Proposed Final Condition**
SCALE: NTS

PROPOSED SCOPE OF WORK ITEMS SHOWN:

(See General Notes sheet for complete list of NEW scope of work items)

Item 2. New 26' x 5' plus 12' x 19' L-shaped Bedroom and Games Room addition at basement level SE corner, with on-grade patio in front.

Item 3. New concrete retaining walls at basement level south side to retain on-grade patio at main floor level with in-ground hot tub.

Item 6. New 26' x 5' plus 12' x 19' L-shaped Family Room and Dining Room addition at main floor level SE corner, above new SE basement addition.

Item 7. New 21' x 6' Kitchen addition at main floor level west side.

Item 8. New 30' x 15' plus 7' x 11' L-shaped Deck at main floor level incorporated into new Garage addition roof.

Item 9. New 39' x 8' plus 13' x 24' L-shaped Deck at main floor level SE corner, above basement level on-grade patio.

Item 11. New 14' x 3' Bedroom #3 window bench addition at second floor level west side, above new main floor level Kitchen addition.

Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.

Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.

Item 14. Relocate and reconstruct all interior staircases at NW corner, with new landings and new roofline above.

Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

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4890 Water Lane
West Vancouver, BC
V7W 1K5

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Josh and Erin Little
4890 Water Lane

DRAWING ISSUE
Revision 0C - 2024 Oct 1

PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
General Views 5 of 5 - SW at Rear

DESIGN AND DRAFTING BY
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06

GENERAL NOTES

1. LOT INFORMATION AND COVERAGE

Lot Address: 4890 Water Lane, West Vancouver, BC

Legal Description: Lot 'I' Block B of Block 4; District Lot 811; Group One New Westminster District
Plan 21837; P.I.D. 011-644-176

Zone: RS3

Lot Area: 13049 sq ft (1212.9 sq m)

Site Coverage: 3915 sq ft allowable (363.9 sq m) (30%); 2897 sq ft actual (269.3 sq m) (22.2%), see calculations on sheet 08

Floor Area Ratio: 3915 sq ft allowable (363.9 sq m) (0.30); 3691 sq ft actual (343.1 sq m) (0.283), see calculations on sheet 08

2. SETBACKS

Lot Width (at front property line): 80.0 ft (24.4 m)

FRONT YARD SETBACK VARIANCE OF 1.15m REQUESTED (9.10m REQUIRED; 7.95m PROPOSED)
See A09A and A09B for details

Proposed Front Yard Setback: 26.08' (7.95 m) to NW corner of garage roof deck (see sheet A09A and A09B)

Rear Yard Setback: 29.86' (9.1 m) allowable; 78.5' (23.9 m) actual

West Side Yard Setback: 5.0' (1.52 m) allowable; 5.00' (1.52 m) actual at tightest location on existing house NW corner

East Side Yard Setback: 5.0' (1.52 m) allowable; 8.17' (2.49 m) actual to SE corner of main floor deck (see Sheet A09A and A09B)

Proposed Combined Side Yard Setback: 13.17' (4.01 m)

COMBINED SIDE YARD SETBACK VARIANCE OF 0.87m REQUESTED (4.88m REQUIRED; 4.01m PROPOSED)
See A09A and A09B for details

3. BUILDING HEIGHT

Max Storeys: 2 (plus basement) allowable; 2 plus basement actual

Main storey width on street façade (East face): 56'-0"

Second storey width on street façade (East face): 34'-0"

HBF VARIANCE REQUESTED TO PERMIT NON-CONTIGUOUS 33% PORTION ABOVE HBF ENVELOPE
See A10-A12 for details

Ratio of second storey width to main storey width: 61%; less than 66% max allowable per 2/3 rule

Highest building face envelope: all portions compliant except 14'-0" length of lower pitched roof gable section and ~3'-8" length of upper pitched roof gable section at peak (see Elevation sheets for details). Permissible HBF length exceeding envelope = 33% of 54'-0" = 18'-0", however must be continuous.

Average Grade (using minimum of existing and finished grade at each point): 216.18

Building Height: 25.0' (7.62 m) allowable; 28.52' (8.69 m) actual from average grade to top of roof deck guard per Bylaw (see Elevations and Sections sheets)

BUILDING HEIGHT VARIANCE OF 1.07m REQUESTED (7.62m REQUIRED; 8.69m PROPOSED)
See A10 for details

4. DESIGN STANDARDS AND CODES

British Columbia Building Code - 2024

CSA Standard A23.3 - Design of Concrete Structures

Canadian Foundation Engineering Manual

In general all building construction procedures and materials shall conform to the most current editions of the British Columbia Building Code (BCBC) and to all local relevant Bylaws as applicable.

5. MATERIALS

All concrete shall have a minimum 28 day strength of 4000 psi unless noted otherwise.

Reinforcing steel for concrete shall be in accordance with CAN/CSA G30.18 Grade 400R

Framing lumber shall be KD No. 2 and better SPF unless noted otherwise. Lintels shall be minimum 2-ply 2x10 unless noted otherwise.

All floor, deck and roof joists for new additions shall be Weyerhauser TJI engineered floor system or approved equivalent. Floor, deck and roof framing members shall be sized, configured and installed in full conformance with Engineer and manufacturer's specifications.

All structural beams shall be Weyerhauser Parallam PSL, Microlam LVL or alternate approved equivalent as specified on the structural drawings, unless noted otherwise. Beam type, size, configuration, number of plies and all installation details shall be in full conformance with Engineer and manufacturer's specifications.

Unless noted otherwise, sheathing shall be ½" plywood for walls, 5/8" T&G plywood for floors and decks and ½" plywood for roof sheathing.

Interior ceiling and wall surfaces to be finished with painted ½" gypsum board unless noted otherwise. Cement board shall be used as tile base around all tubs and showers.

All fasteners for exterior cladding materials shall be galvanized, stainless steel or other corrosion resistant material.

6. CONSTRUCTION GENERAL

Drawings shall not be scaled.

Unless noted otherwise, all plan dimensions are taken to the outside of sheathing at exterior face of exterior walls, and to face of stud at interior walls or at interior face of exterior walls.

Foundation dimensions are taken to exterior face of concrete.

Contractor shall field verify all relevant dimensions and details of existing house prior to commencement of construction. Any discrepancies that impact the dimensioning and construction of new works shall be reported to the Designer.

Contractor shall confirm all window and door rough openings with the supplier in advance of framing. All as-built rough openings shall be in accordance with manufacturer's specifications.

7. FOUNDATIONS

Prior to start of construction, all utility and service lines, and existing storm drain lines shall be located and hand excavated if required to ensure no damage during installation of new foundation walls.

Foundation walls and footings for new house additions shall be configured to enable delivery of all foundation reactions to bedrock unless noted otherwise. Portions of foundation walls not founded directly on bedrock shall be extended below frost penetration depth to a minimum of 18' below finished grade and designed to span to the portions of the foundations that are founded on bedrock. Foundations for new garage shall not rely upon bearing on the engineered fill structure of the driveway, but shall be configured to transmit all reactions to bedrock.

Openings in foundations for services shall be provided as required.

Concrete foundation walls and retaining walls shall not be backfilled until the concrete has reached its specified minimum 28 day strength, or until adequately braced subject to approval of the Designer.

8. FRAMING AND STRUCTURAL

Sill plates shall be anchored to foundation walls with ½" diameter 8" long steel anchor bolts at 6'-0" c/c maximum spacing.

Wood members in direct contact with concrete shall be pressure treated or be protected by a 45# damp-proofing felt layer.

Floor and deck sheathing shall be screwed and glued per manufacturer's specifications.

Flush framed wood members shall be connected with metal framing anchors to suit design loading and member type, selected and installed in accordance with Engineer and manufacturer's specifications.

All framing, bridging, blocking and nailing shall conform to BCBC 2024 edition Section 9.23.

Continuous bridging or full depth blocking, and point load blocking where applicable shall be provided between joists and at bearing walls in accordance with floor framing system manufacturer's specifications.

Structural wood blocking to be provided as required in wall and ceiling framing for support of cabinets, handrails, guardrails, stair components, towel bars and any other elements post-installed after completion of finished gypsum board or interior finishing materials installation.

Exterior swinging doors shall be solid blocked between the door frame and the wall framing at the location of hinges and strike plates. Provide solid blocking at two adjacent stud spaces (if present) either side of door at latch height.

Guardrails and handrails shall conform to the requirements of BCBC latest edition.

9. VENTILATION, MOISTURE CONTROL AND DRAINAGE

Drain tile at base of foundation walls shall consist of 4" diameter perforated drain piping around the full perimeter of the house, with a minimum 6" thick layer of clear crushed drain rock and filter fabric above top of pipe. Existing drain tile for existing house shall not be disturbed during construction if possible.

Provide continuous 2" screened vents at all roof and deck eaves.

Where specified on the plans, provide air space for insulation above floor and roof joists per BCBC Section 9.19.1.3 (1) and 9.19.1.3 (2). For unvented application of closed cell foam insulation in flat and vaulted roofs, spray foam insulation shall be provided and installed by a licensed supplier in full conformance with Engineer and manufacturer's specifications.

Exterior air and moisture barrier membrane shall by 3M Tyvek or approved equivalent, installed in accordance with manufacturer's specifications.

All interior vapor barriers where required shall be continuous with joints lapped 16" minimum and caulked or taped. Polyethylene vapor barrier shall be 6 mil thickness minimum.

Moisture barrier below new basement and garage concrete floor slabs shall be 6 mil thickness minimum with 24" minimum lap on all joints.

All flat roofs and all exterior decks with elevated pedestal and paver system walking surface shall have their waterproof surface sloped a minimum of ⅛" per foot, and shall incorporate integrated drains and overflow scuppers.

Deck and roof drain piping shall connect to downspout leaders which in turn connect to the storm drain system.

10. MECHANICAL AND ELECTRICAL

Mechanical ventilation shall conform to BCBC latest edition.

Provide high capacity exhaust fans to each bathroom and in kitchen area above range. Locations for dryer, range and bathroom exhaust fan outlets shall be confirmed with Designer prior to installation, and installed in accordance with manufacturer's specifications.

Plumbing installations shall be in accordance with BCBC latest edition and all relevant applicable local Bylaws.

Design and installation of heating system shall be in accordance with BCBC latest edition.

Sprinkler system installation shall conform to the latest edition of NFPA 13D.

Install fireplaces and chimneys in strict conformance with manufacturer's specifications and in accordance with BCBC latest edition. All components shall conform to BCBC Section 9.10.15.3 and be CSA and ULC approved.

Chimney flues shall conform to ULC S610 and shall be installed in accordance with manufacturer's instructions. Provide all required clearances to combustible materials.

Electrical installations shall be in accordance with BCBC latest edition and all relevant applicable local Bylaws.

Smoke detectors shall be installed in accordance with BCBC. Provide a minimum of one hardwired smoke detector per floor with all alarms interconnected.

PROPOSED SCOPE OF WORK SUMMARY AND LEGEND

(See General View, Elevation and Plan View sheets for identification of NEW scope of work items)

Item 1. New 21' x 24' Garage addition at basement level east side.

Item 2. New 26' x 5' plus 12' x 19' L-shaped Bedroom and Games Room addition at basement level SE corner, with on-grade patio in front.

Item 3. New concrete retaining walls at basement level south side to retain on-grade patio at main floor level with in-ground hot tub.

Item 4. New 10' x 14' Main Entry addition at main floor level north side, with covered on grade entry patio complete with roof above.

Item 5. New 20' x 9' Living Room and Office addition at main floor level east side, above new Garage addition.

Item 6. New 26' x 5' plus 12' x 19' L-shaped Family Room and Dining Room addition at main floor level SE corner, above new SE basement addition.

Item 7. New 21' x 6' Kitchen addition at main floor level west side.

Item 8. New 30' x 15' plus 7' x 11' L-shaped Deck at main floor level incorporated into new Garage addition roof.

Item 9. New 39' x 8' plus 13' x 24' L-shaped Deck at main floor level SE corner, above basement level on-grade patio.

Item 10. New 20' x 9' Master Bedroom addition at second floor level east side, above new main floor level Living Room and Office addition.

Item 11. New 14' x 3' Bedroom #3 window bench addition at second floor level west side, above new main floor level Kitchen addition.

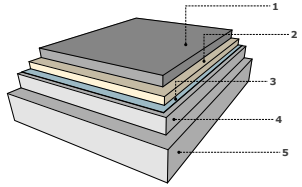
Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.

Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.

Item 14. Relocate and reconstruct all interior staircases at NW corner, with new landings and new roofline above.

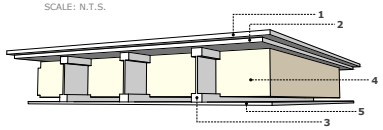
Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

TYPICAL ASSEMBLY CONSTRUCTIONS - FLOOR, DECK, ROOF AND WALLS



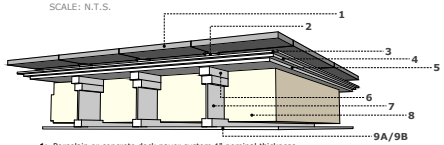
1: Reinforced concrete slab 4" thickness
2: Rigid XPS insulation 3" thickness
3: Polyethylene vapour barrier 6 mil minimum thickness
4: Compacted granular fill 6" thickness
5: Compacted base fill

:: **Typical Concrete Slab on Grade Assembly**
SCALE: N.T.S.



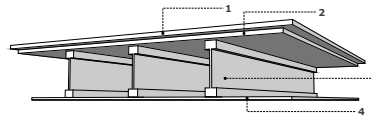
1: Finished flooring - engineered hardwood or similar
2: T&G plywood subfloor sheathing, glued and screwed
3: Engineered floor joist system (TJI or approved equivalent)
4: Closed cell spray foam insulation sealed tight against joists and subfloor
5: Painted gypsum board 1/2" minimum thickness

:: **Typical Cold Floor Assembly**
SCALE: N.T.S.



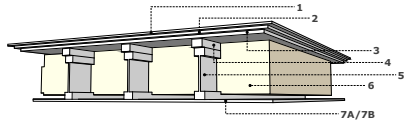
1: Porcelain or concrete deck paver system 1" nominal thickness
2: Adjustable pedestal system per manufacturer specifications
3: Two-layer torch-on flat roof waterproofing membrane system
4: Protection board layer, 1/2" nominal thickness
5: T&G plywood subfloor sheathing, glued and screwed
6: Tapered strips to provide roof slope, min 1/4" per foot slope
7: Engineered floor joist system (TJI or approved equivalent)
8: Closed cell spray foam insulation sealed tight against joists and subfloor (interior soffit only)
9A: Painted gypsum board 1/2" minimum thickness (interior soffit)
9B: T&G clear cedar or fir soffit 1/2" minimum thickness (exterior soffit)

:: **Typical Exterior Deck Assembly**
SCALE: N.T.S.



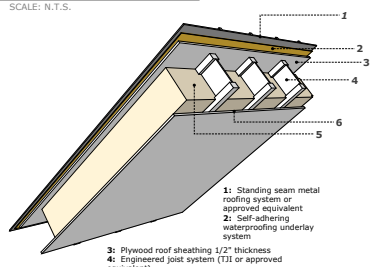
1: Finished flooring - engineered hardwood or similar
2: T&G plywood subfloor sheathing, glued and screwed
3: Engineered floor joist system (TJI or approved equivalent)
4: Painted gypsum board 1/2" minimum thickness

:: **Typical Interior Floor Assembly**
SCALE: N.T.S.



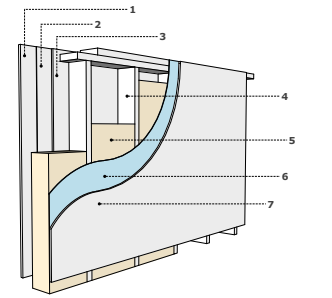
1: Two-layer torch-on flat roof waterproofing membrane system
2: Protection board layer, 1/2" nominal thickness
3: T&G plywood subfloor sheathing, glued and screwed
4: Tapered strips to provide roof slope, min 1/4" per foot slope
5: Engineered floor joist system (TJI or approved equivalent)
6: Closed cell spray foam insulation sealed tight against joists and subfloor (interior soffit only)
7A: Painted gypsum board 1/2" minimum thickness (interior soffit)
7B: T&G clear cedar or fir soffit 1/2" minimum thickness (exterior soffit)

:: **Typical Flat Roof Assembly**
SCALE: N.T.S.



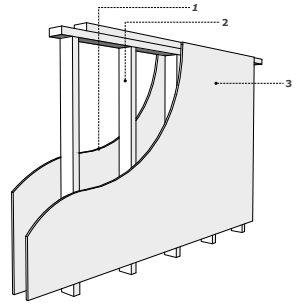
1: Standing seam metal roofing system or approved equivalent
2: Self-adhering waterproofing underlay system
3: Plywood roof sheathing 1/2" thickness
4: Engineered joist system (TJI or approved equivalent)
5: Closed cell spray foam insulation sealed tight against joists and subfloor
6: Painted gypsum board 1/2" minimum thickness

:: **Typical Pitched Vaulted Roof Assembly**
SCALE: N.T.S.



1: Finished exterior siding - clear stained wood shingles or similar
2: One-way breathable house wrap system (3M Tyvek or approved equivalent)
3: Plywood sheathing 1/2" thickness
4: Wood framing, 2x6 construction
5: Closed cell spray foam insulation sealed tight against studs and sheathing
6: Polyethylene vapour barrier 6 mil minimum thickness
7: Painted gypsum board 1/2" minimum thickness

:: **Typical Exterior Wall Assembly**
SCALE: N.T.S.



1: Painted gypsum board 1/2" minimum thickness
2: Wood framing, 2x4 construction
3: Painted gypsum board 1/2" minimum thickness

:: **Typical Interior Wall Assembly**
SCALE: N.T.S.

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New Garage and Home Addition

SHEET DESCRIPTION
General Notes

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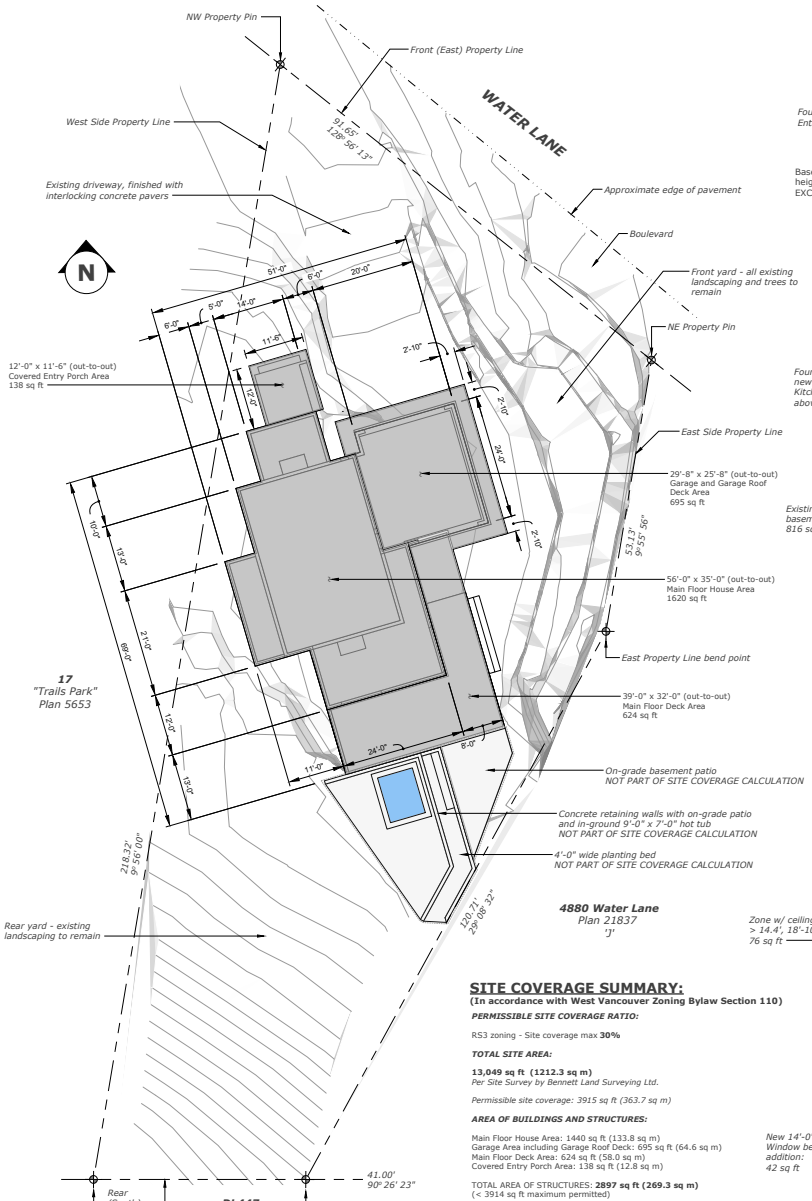
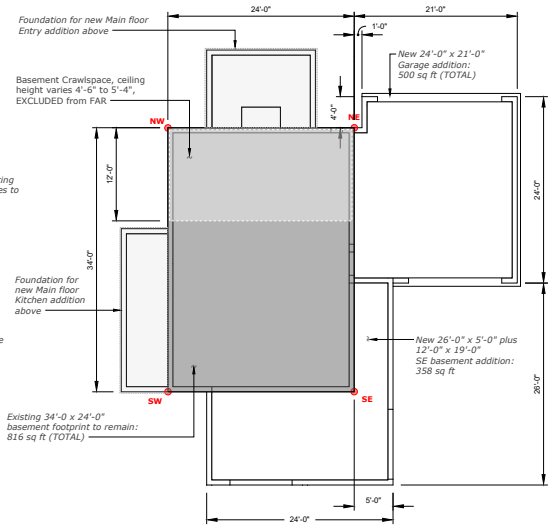
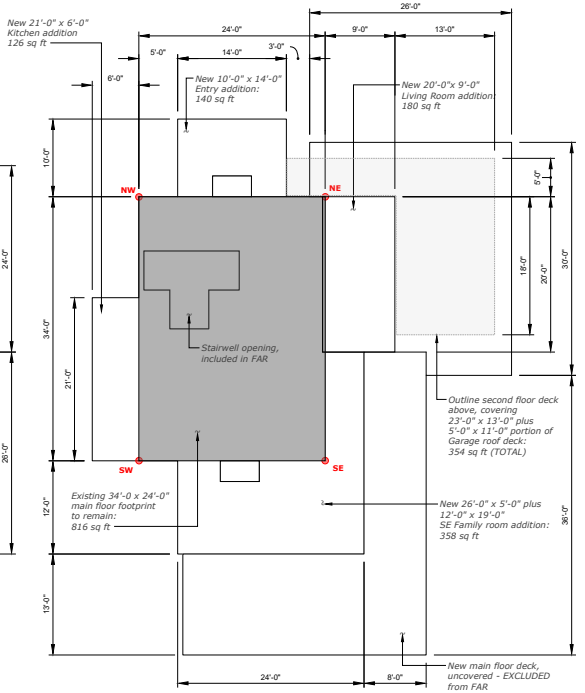


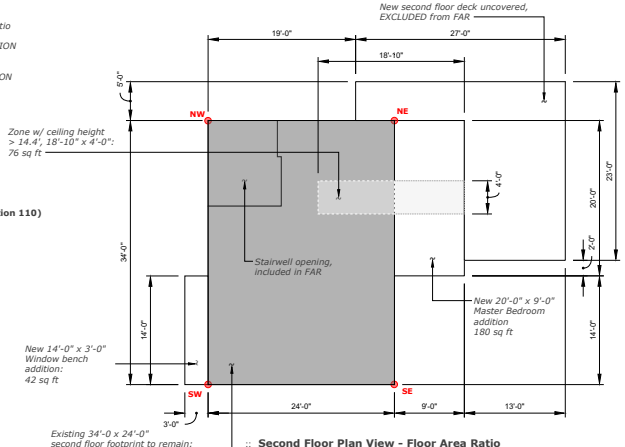
:: **Property Plan View - Site Coverage**
SCALE: 1"=12'



:: **Basement Floor Plan View - Floor Area Ratio**
SCALE: 1/8"=1'



:: **Main Floor Plan View - Floor Area Ratio**
SCALE: 1/8"=1'



:: **Second Floor Plan View - Floor Area Ratio**
SCALE: 1/8"=1'

NW ◎ PRIMARY CORNER POINT OF EXISTING HOUSE FOOTPRINT FOR REFERENCE

SITE COVERAGE SUMMARY:

(In accordance with West Vancouver Zoning Bylaw Section 110)

PERMISSIBLE SITE COVERAGE RATIO:

RS3 zoning - Site coverage max **30%**

TOTAL SITE AREA:

13,049 sq ft (1212.3 sq m)
Per Site Survey by Bennett Land Surveying Ltd.

Permissible site coverage: 3915 sq ft (363.7 sq m)

AREA OF BUILDINGS AND STRUCTURES:

Main Floor House Area: 1440 sq ft (133.8 sq m)
Garage Area including Garage Roof Deck: 695 sq ft (64.6 sq m)
Main Floor Deck Area: 624 sq ft (58.0 sq m)
Covered Entry Porch Area: 138 sq ft (12.8 sq m)

TOTAL AREA OF STRUCTURES: **2897 sq ft (269.3 sq m)**
(< 3914 sq ft maximum permitted)

SITE COVERAGE RATIO:

2897 sq ft / 13,049 sq ft = **22.2%** (< 30% maximum permitted)
SITE COVERAGE COMPLIANT

FLOOR AREA RATIO SUMMARY:

(In accordance with West Vancouver Zoning Bylaw Section 130)

PERMISSIBLE FLOOR AREA RATIO:

RS3 zoning - FAR max **0.30**

***TOTAL SITE AREA:* 13,049 sq ft (1212.3 sq m)**
Per Site Survey by Bennett Land Surveying Ltd.
Permissible FAR: 3915 sq ft (363.7 sq m)
(< 6301 sq ft maximum limit)

FLOOR AREA OF BUILDINGS AND STRUCTURES:

Basement Level:
- Existing basement gross area: 816 sq ft (75.8 sq m)
- SE basement addition area: 358 sq ft (33.3 sq m)
- Reduction for crawl space (ceiling < 5.9'): 288 sq ft (26.8 sq m)
- Net basement area for FAR: 886 sq ft (82.4 sq m)
- Reduction factor based on Average Grade: (216.18' - 214.16') / (222.53' - 214.16') = 2.02' / 8.37' = **0.242**
- FAR reduction per factor: 0.242 x 886 sq ft = 214 sq ft (19.9 sq m)
- FAR BASEMENT SUBTOTAL: 672 sq ft (62.5 sq m)

Garage Addition:
- Garage gross area: 500 sq ft (46.5 sq m)
- Allowance/reduction per Bylaw: 441 sq ft (41.0 sq m)
- FAR GARAGE SUBTOTAL: 59 sq ft (5.5 sq m)

Main Floor Level:
- Existing main floor house to remain: 816 sq ft (75.8 sq m)
- New Kitchen addition: 126 sq ft (11.7 sq m)
- New SE Family Room addition: 358 sq ft (33.3 sq m)
- New Entry addition: 140 sq ft (13.0 sq m)
- New Living Room addition: 180 sq ft (16.7 sq m)
- Covered portion of Garage roof deck - gross area: 354 sq ft (32.9 sq m)
- Reduction for 3.9' portion adjacent to exterior walls: 128 sq ft (11.9 sq m)
- FAR MAIN FLOOR SUBTOTAL: 1846 sq ft (171.6 sq m)

Second Floor Level:
- Existing second floor house to remain: 816 sq ft (75.8 sq m)
- New Master Bedroom addition: 180 sq ft (16.7 sq m)
- New window bench addition: 42 sq ft (3.9 sq m)
- Additional FAR allowance for zone with ceiling height > 14.4': 76 sq ft (7.1 sq m)
- FAR SECOND FLOOR SUBTOTAL: 1114 sq ft (103.5 sq m)

TOTAL FLOOR AREA: **3691 sq ft (343.1 sq m)**
(< 3914 sq ft maximum permitted)

FLOOR AREA RATIO:

3691 sq ft / 13,049 sq ft = **0.283** (< 0.30 maximum permitted)
FLOOR AREA RATIO COMPLIANT

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SHEET DESCRIPTION
Site Coverage and Floor Area Ratio

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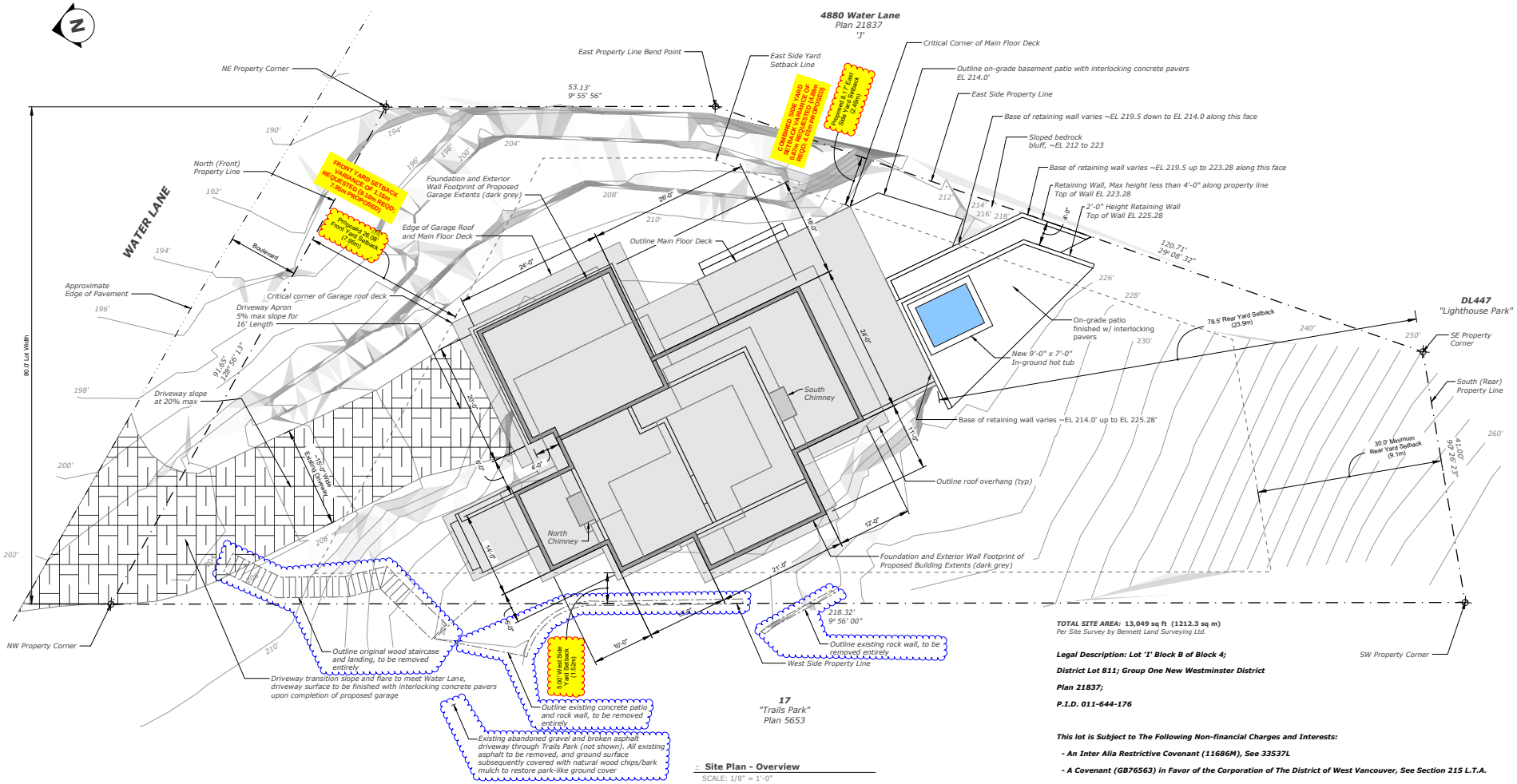

:: **Site Plan - Overview**
SCALE: 1/8" = 1'-0"

TOTAL SITE AREA: **13,049 sq ft (1212.3 sq m)**
Per Site Survey by Bennett Land Surveying Ltd.

Legal Description: Lot 'I' Block B of Block 4;
District Lot 811; Group One New Westminster District
Plan 21837;
P.I.D. 011-644-176

This lot is Subject to The Following Non-financial Charges and Interests:
- An Inter Alia Restrictive Covenant (11686M), See 33537L
- A Covenant (GB76563) in Favor of the Corporation of The District of West Vancouver, See Section 215 L.T.A.

FOR ADDITIONAL DETAILS, DIMENSIONS AND EXISTING AND FINISHED GRADE INFORMATION, SEE SITE PLAN INSET ON A09B

FRONT YARD LANDSCAPE PERMEABILITY SUMMARY:
(In accordance with West Vancouver Zoning Bylaw Section 130.16)

Total front yard area: **2390 sq ft (222.2 sq m)**
(Area between front property line and front yard setback line)

Area of impermeable and/or unvegetated permeable surfaces within front yard: **850 sq ft (79.0 sq m)**
(Portion of driveway contained within front yard area as defined above)

Ratio of Unvegetated Area to Total Area of Front Yard = 850 sq ft / 2390 sq ft: **35.6%**

Permissible Limit: **50% - COMPLIANT**

EXISTING HOUSE RETENTION SUMMARY:

Total Floor Area of Existing House: **2069 sq ft (192.3 sq m)**
(Excludes crawlspace area of existing basement)

Existing House Area to be Removed: **36 sq ft (3.3 sq m)**
(Existing front entry at main floor level to be removed)

Existing House Area to be Retained: **2033 sq ft (189.0 sq m)**

Percentage of Existing House Retained = 2033 sq ft /2069 sq ft : **98.3%**

Floor Area of All Proposed Additions: **1658 sq ft (154.1 sq m)**
(Includes proposed garage, covered deck and over height ceiling areas per FAR requirements)

Total Floor Area of Proposed Complete Renovation Including Existing House to Remain: **3691 sq ft (343.1 sq m)**

Ratio of Existing / Total = 2033 sq ft / 3691 sq ft: **55.1%**

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New Garage and Home Addition

SHEET DESCRIPTION
Site Plan - Overview

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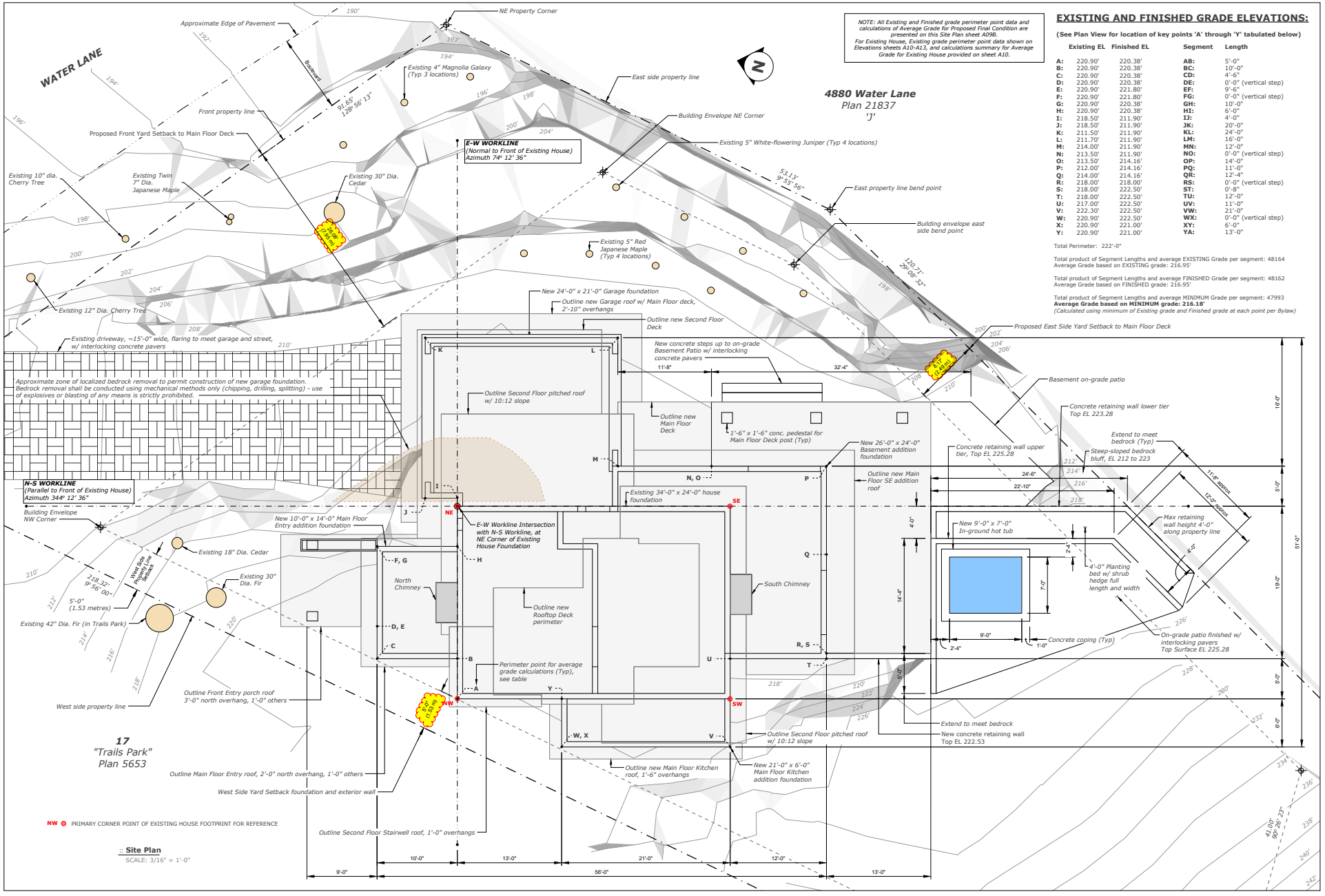

NOTE: All Existing and Finished grade perimeter point data and calculations of Average Grade for Proposed Final Condition are presented on this Site Plan sheet A09B.
For Existing House, Existing grade perimeter point data shown on Elevations sheets A10-A13, and calculations summary for Average Grade for Existing House provided on sheet A10.

EXISTING AND FINISHED GRADE ELEVATIONS:

(See Plan View for location of key points 'A' through 'Y' tabulated below)

	Existing EL	Finished EL
A:	220.90'	220.38'
B:	220.90'	220.38'
C:	220.90'	220.38'
D:	220.90'	220.38'
E:	220.90'	221.80'
F:	220.90'	221.80'
G:	220.90'	220.38'
H:	220.90'	220.38'
I:	218.50'	211.90'
J:	218.50'	211.90'
K:	211.50'	211.90'
L:	211.70'	211.90'
M:	214.00'	211.90'
N:	213.50'	211.90'
O:	213.50'	214.16'
P:	212.00'	214.16'
Q:	214.00'	214.16'
R:	218.00'	218.00'
S:	218.00'	222.50'
T:	218.00'	222.50'
U:	217.00'	222.50'
V:	222.30'	222.50'
W:	220.90'	222.50'
X:	220.90'	221.00'
Y:	220.90'	221.00'

AB:	5'-0"
BC:	10'-0"
CD:	4'-6"
DE:	0'-0" (vertical step)
EF:	9'-6"
FG:	0'-0" (vertical step)
GH:	10'-0"
HI:	6'-0"
IJ:	4'-0"
JK:	20'-0"
KL:	24'-0"
LM:	16'-0"
MN:	12'-0"
NO:	0'-0" (vertical step)
OP:	14'-0"
PQ:	11'-0"
QR:	12'-4"
RS:	0'-0" (vertical step)
ST:	0'-8"
TU:	12'-0"
UV:	11'-0"
VW:	21'-0"
WX:	0'-0" (vertical step)
XY:	6'-0"
YA:	13'-0"

Total Perimeter: 222'-0"

Total product of Segment Lengths and average EXISTING Grade per segment: 48164
Average Grade based on EXISTING grade: 216.95'

Total product of Segment Lengths and average FINISHED Grade per segment: 48162
Average Grade based on FINISHED grade: 216.95'

Total product of Segment Lengths and average MINIMUM Grade per segment: 47993
Average Grade based on MINIMUM grade: 216.18'
(Calculated using minimum of Existing grade and Finished grade at each point per Bylaw)

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PROJECT
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New Garage and Home Addition

SHEET DESCRIPTION
Site Plan - Inset

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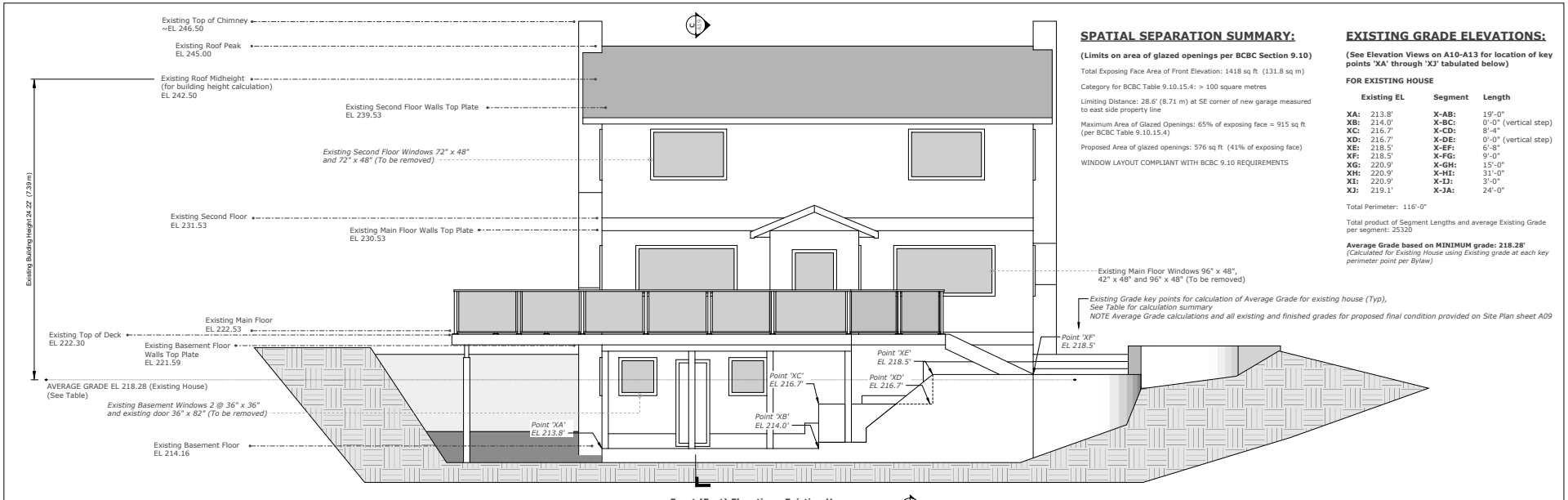


:: Front (East) Elevation - Existing House

SCALE: 1/4"=1'

SPATIAL SEPARATION SUMMARY:

(Limits on area of glazed openings per BCBC Section 9.10)

Total Exposing Face Area of Front Elevation: 1418 sq ft (131.8 sq m)

Category for BCBC Table 9.10.15.4: > 100 square metres

Limiting Distance: 28.6' (8.71 m) at SE corner of new garage measured to east side property line

Maximum Area of Glazed Openings: 65% of exposing face = 915 sq ft (per BCBC Table 9.10.15.4)

Proposed Area of glazed openings: 576 sq ft (41% of exposing face)

WINDOW LAYOUT COMPLIANT WITH BCBC 9.10 REQUIREMENTS

EXISTING GRADE ELEVATIONS:

(See Elevation Views on A10-A13 for location of key points 'XA' through 'XJ' tabulated below)

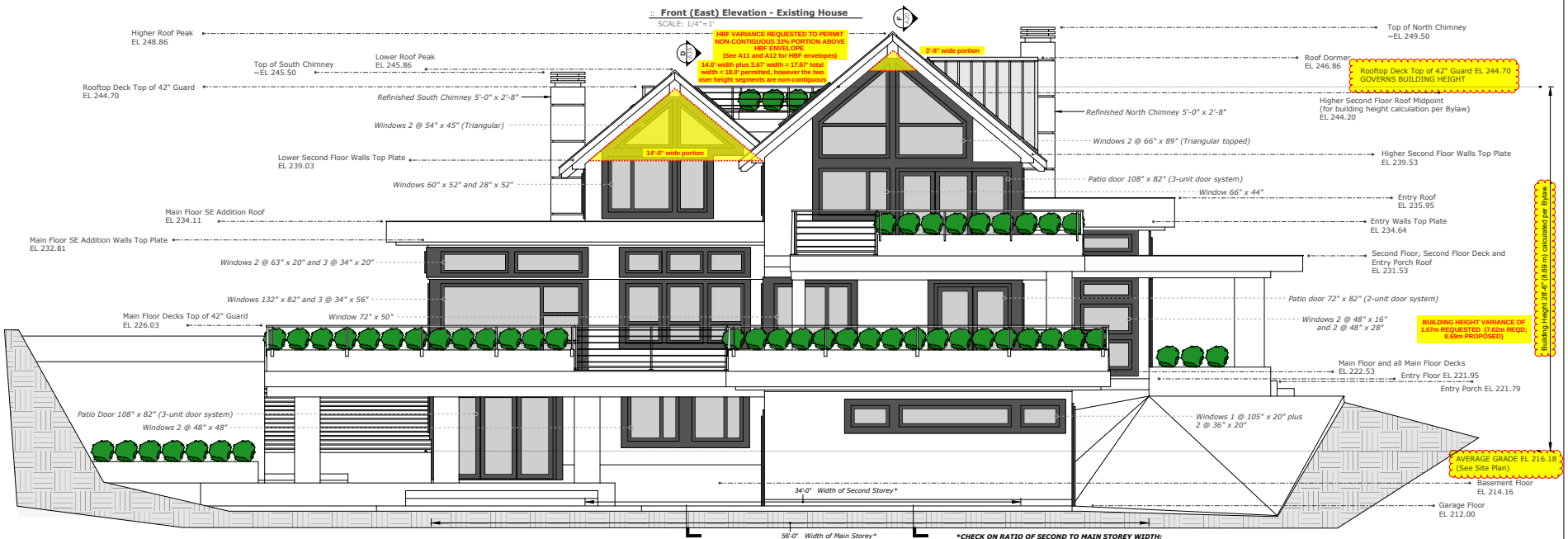
FOR EXISTING HOUSE

	Existing EL	Segment	Length
XA:	213.8'	**X-AB:**	19'-0"
XB:	214.0'	**X-BC:**	0'-0" (vertical step)
XC:	216.7'	**X-CD:**	8'-4"
XD:	216.7'	**X-DE:**	0'-0" (vertical step)
XE:	218.5'	**X-EF:**	6'-8"
XF:	218.5'	**X-FG:**	9'-0"
XG:	220.9'	**X-GH:**	15'-0"
XH:	220.9'	**X-HI:**	31'-0"
XI:	220.9'	**X-IJ:**	3'-0"
XJ:	219.1'	**X-JA:**	24'-0"

Total Perimeter: 116'-0"

Total product of Segment Lengths and average Existing Grade per segment: 25320

Average Grade based on MINIMUM grade: 218.28'
(Calculated for Existing House using Existing grade at each key perimeter point per Bylaw)



:: Front (East) Elevation - Proposed Final Condition

SCALE: 1/4"=1'

***CHECK ON RATIO OF SECOND TO MAIN STOREY WIDTH:**
Width of main storey = 56'-0"
Width of second storey = 34'-0"
Ratio of second / main width = 34'-0" / 56'-0" = 61% < 66% (2/3)

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SHEET DESCRIPTION
Front (East) Elevation

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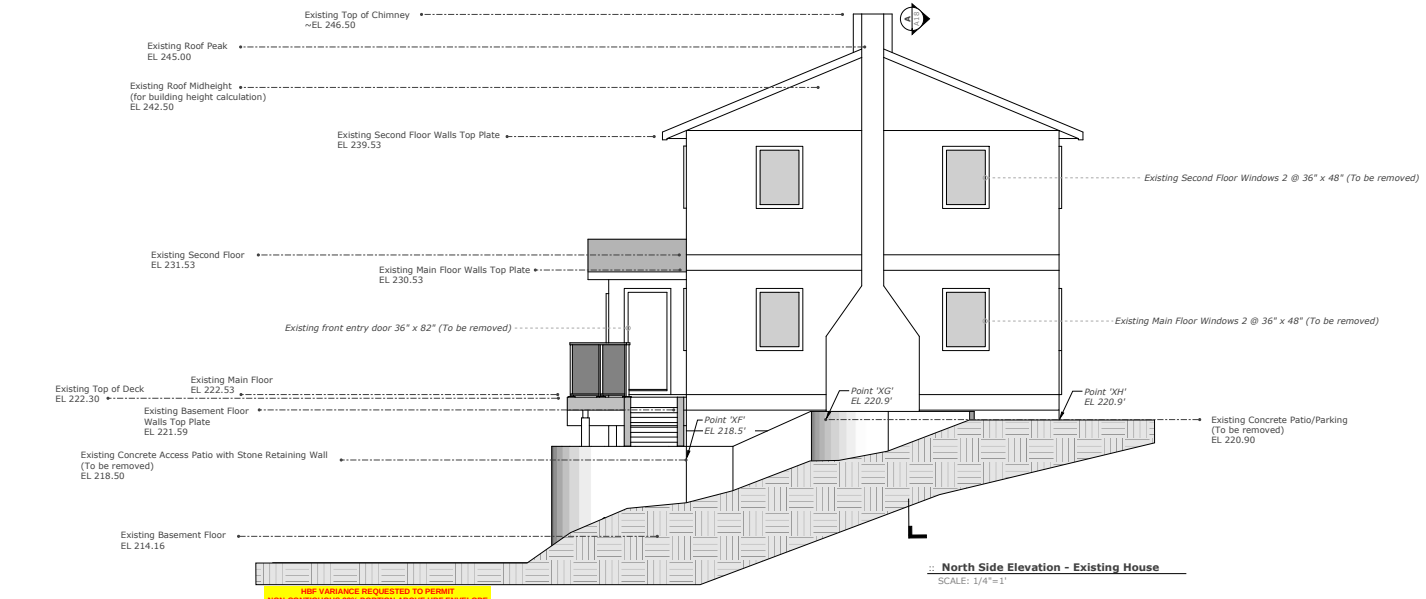


North Side Elevation - Existing House

SCALE: 1/4"=1'

SPATIAL SEPARATION SUMMARY:

(Limits on area of glazed openings per BCBC Section 9.10)

Category for BCBC Table 9.10.15.4: > 100 square metres (for total exposing face of North elevation

Exposing face area of *Segment 1* North side elevation - from west edge of new kitchen wall to east edge of new Entry wall, full height: 460 sq ft (131.8 sq m)

Limiting Distance: 11.8' (3.61 m) at NW corner of stairwell wall measured to west side property line

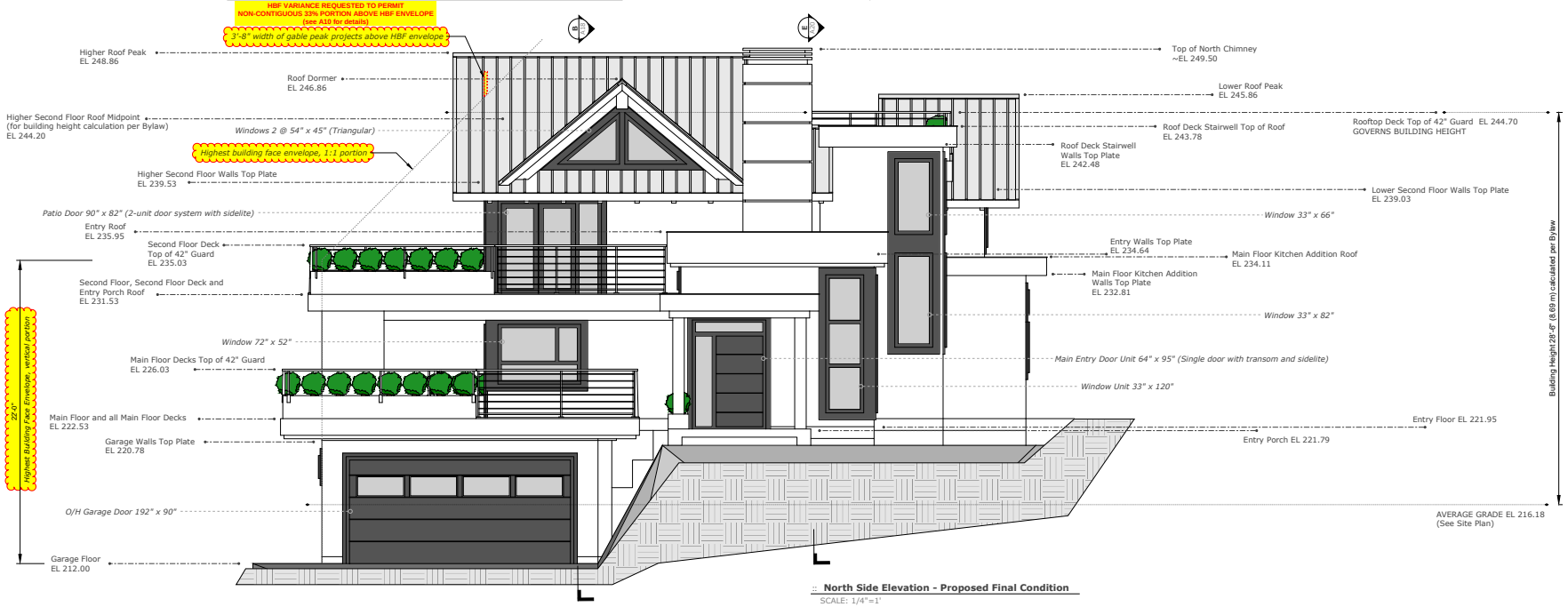
Maximum Area of Glazed Openings: 32% of exposing face segment = 149 sq ft (per BCBC Table 9.10.15.4)

Proposed Area of glazed openings: 120 sq ft (26% of exposing face, including full area of front entry door unit)

Segment 2 exposing face (remainder of North side elevation including garage north wall) limiting distance: 51.3' (15.64 m) measured at intersection of east Entry wall and existing house to west side property line

Maximum Area of Glazed Openings: 100% of exposing face segment = no Limit on window area (per BCBC Table 9.10.15.4)

WINDOW LAYOUT COMPLIANT WITH BCBC 9.10 REQUIREMENTS



North Side Elevation - Proposed Final Condition

SCALE: 1/4"=1'

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SHEET DESCRIPTION
North Side Elevation

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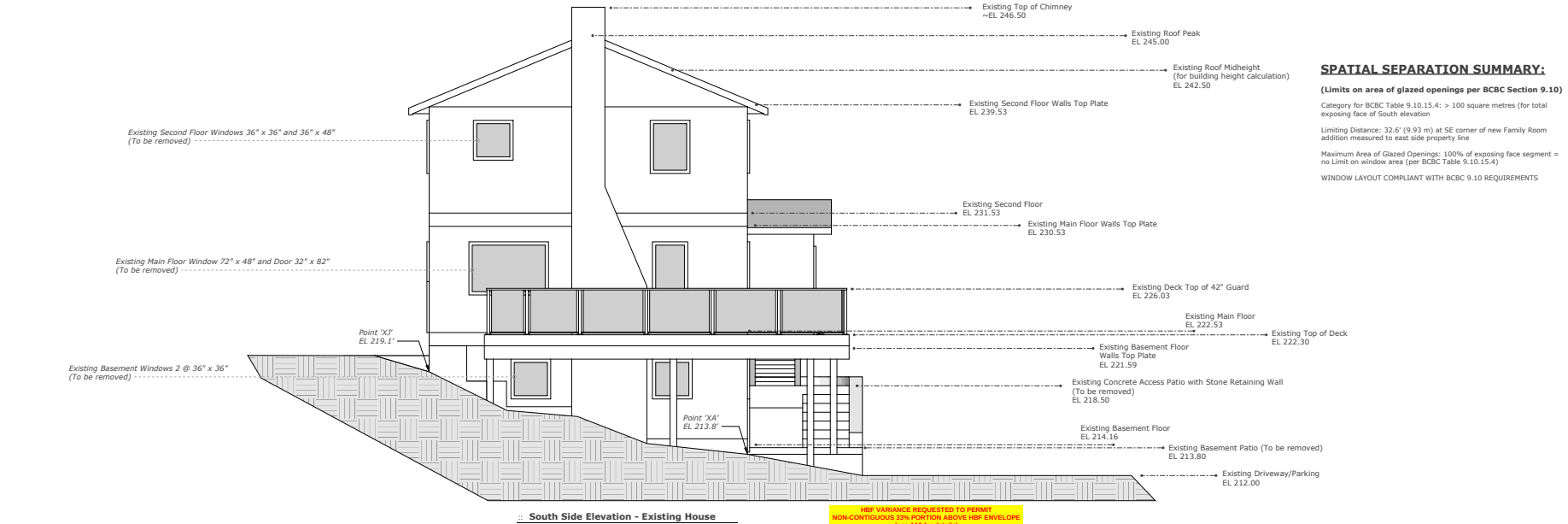


:: **South Side Elevation - Existing House**

SCALE: 1/4"=1'

SPATIAL SEPARATION SUMMARY:

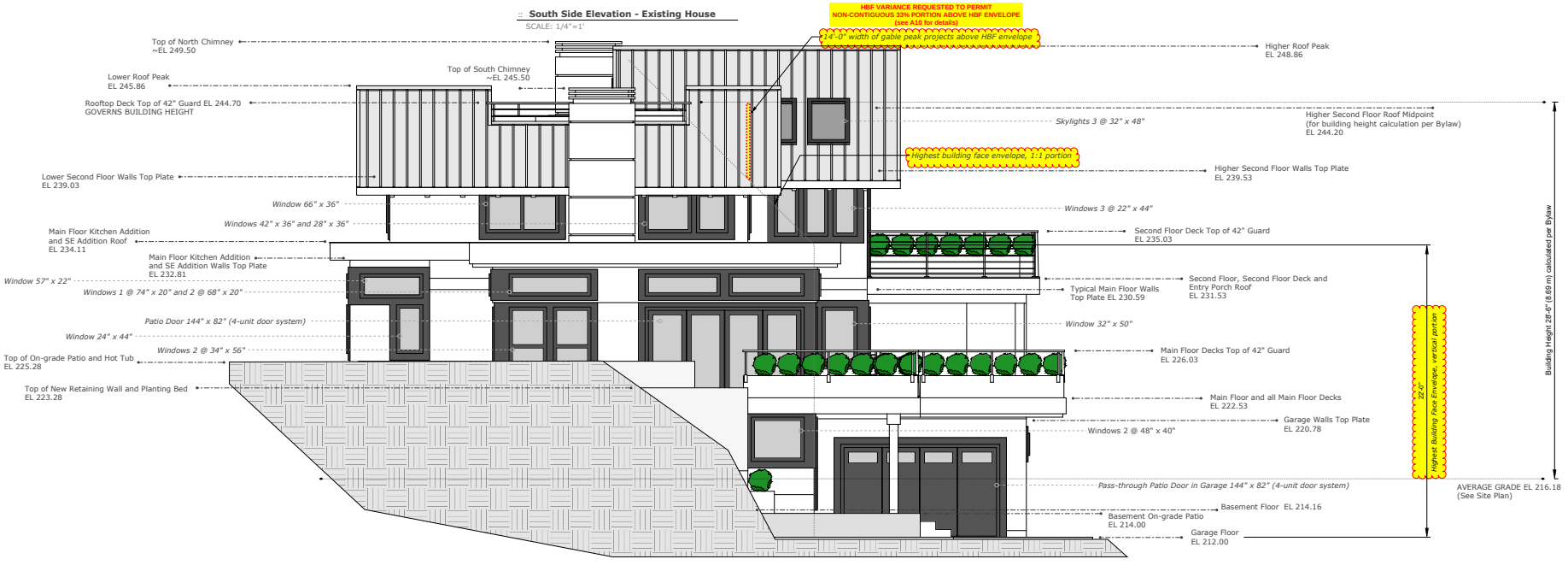
(Limits on area of glazed openings per BCBC Section 9.10)

Category for BCBC Table 9.10.15.4: > 100 square metres (for total exposing face of South elevation

Limiting Distance: 32.6' (9.93 m) at SE corner of new Family Room addition measured to east side property line

Maximum Area of Glazed Openings: 100% of exposing face segment = no Limit on window area (per BCBC Table 9.10.15.4)

WINDOW LAYOUT COMPLIANT WITH BCBC 9.10 REQUIREMENTS



:: **South Side Elevation - Proposed Final Condition**

SCALE: 1/4"=1'

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SHEET DESCRIPTION
South Side Elevation

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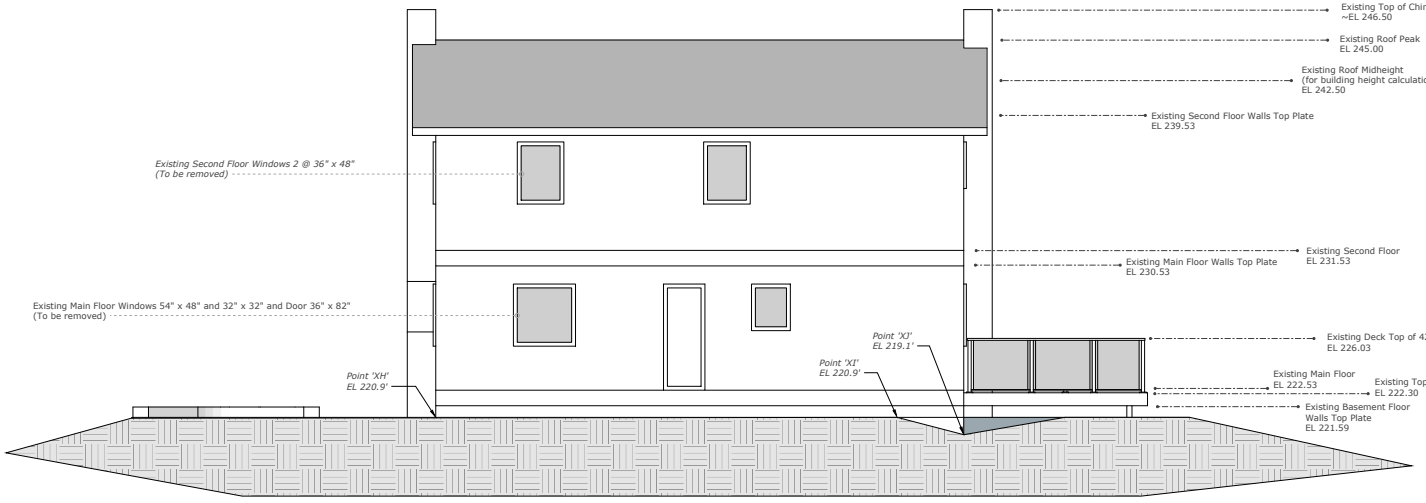

:: **Rear (West) Elevation - Existing House**
SCALE: 1/4"=1'

SPATIAL SEPARATION SUMMARY:

(Limits on area of glazed openings per BCBC Section 9.10)

Total Exposing Face Area of Rear Elevation: 1025 sq ft (95.3 sq m)

Category for BCBC Table 9.10.15.4: 100 square metres (for total exposing face of Rear Elevation)

Exposing face area of *Segment 1* Rear Elevation - from north corner of new Entry wall to 9'-0" south of new Kitchen north wall, full height: 588 sq ft (54.6 sq m)

Segment 1 Limiting Distance: 5.7' (1.73 m) at NW corner of Entry wall measured to west side property line

Segment 1 Maximum Area of Glazed Openings: 17% of exposing face segment = 100 sq ft (per BCBC Table 9.10.15.4)

Segment 1 Proposed Area of glazed openings: 100 sq ft (17% of exposing face)

Exposing face area of *Segment 2* Rear Elevation - from 9'-0" south of new Kitchen north wall to south corner of new Family Room addition, main floor: 268 sq ft (24.9 sq m)

Segment 2 Limiting Distance: 10.3' (3.13 m) at face of Kitchen wall measured to west side property line

Segment 2 Maximum Area of Glazed Openings: 28% of exposing face segment = 75 sq ft (per BCBC Table 9.10.15.4)

Segment 2 Proposed Area of glazed openings: 75 sq ft (28% of exposing face)

Exposing face area of *Segment 3* Rear Elevation - second story vaulted portion of rear bedroom: 107 sq ft (10.0 sq m)

Segment 3 Limiting Distance: 13.3' (4.05 m) at face of bedroom wall measured to west side property line

Segment 3 Maximum Area of Glazed Openings: 78% of exposing face segment = 83 sq ft (per BCBC Table 9.10.15.4)

Segment 3 Proposed Area of glazed openings: 56 sq ft (52% of exposing face)

Exposing face area of *Segment 4* Rear Elevation - second story vaulted portion of Master bedroom above Rooftop Deck: 63 sq ft (5.9 sq m)

Segment 4 Limiting Distance: 19.7' (6.00 m) at face of bedroom wall measured to west side property line

Segment 4 Maximum Area of Glazed Openings: 68% of exposing face segment = 43 sq ft (per BCBC Table 9.10.15.4)

Segment 4 Proposed Area of glazed openings: 17 sq ft (27% of exposing face)

WINDOW LAYOUT COMPLIANT WITH BCBC 9.10 REQUIREMENTS

:: ***Rear (West) Elevation - Proposed Final Condition***
SCALE: 1/4"=1'

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Rear (West) Elevation

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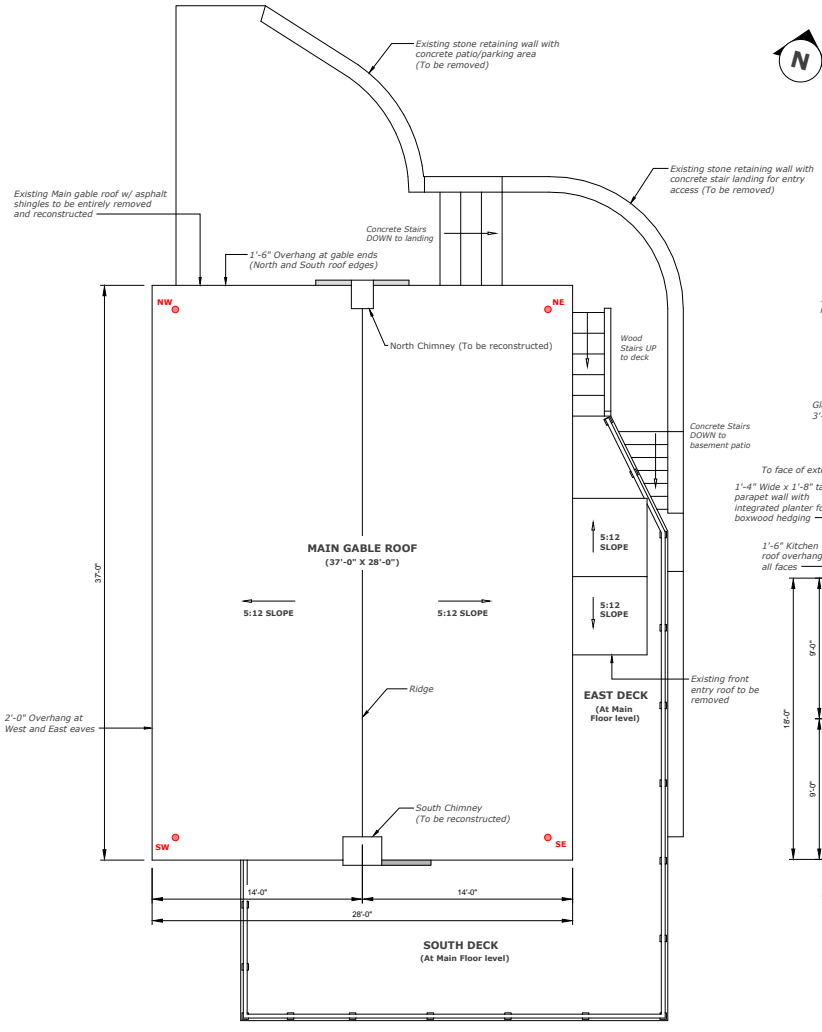
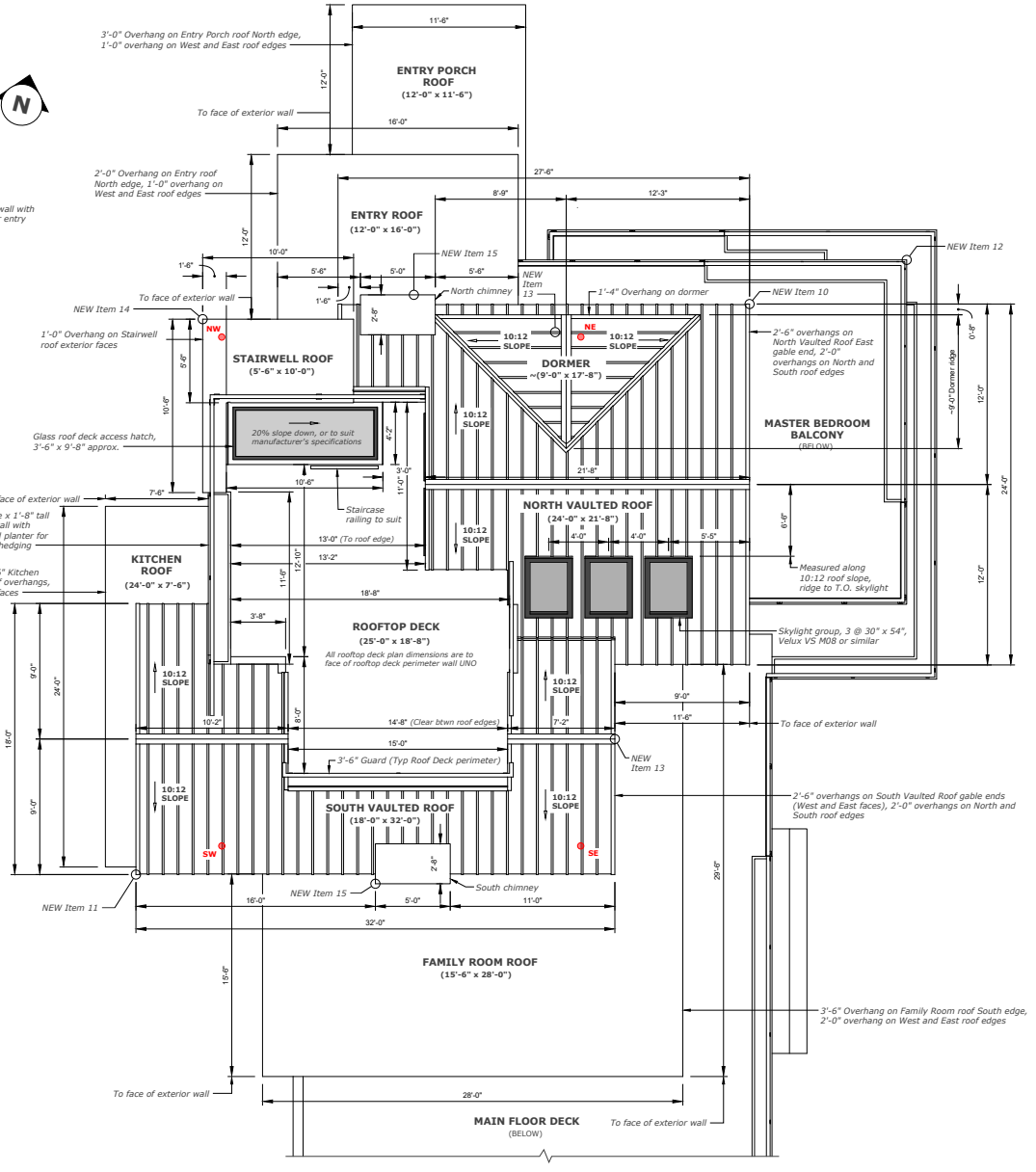


NW PRIMARY CORNER POINT OF EXISTING HOUSE FOOTPRINT (AT EXTERIOR WALLS) FOR REFERENCE

:: **Roof Plan - Existing House**
SCALE: 1/4"=1'



:: **Roof Plan - Proposed Final Condition**
SCALE: 1/4"=1'

PROPOSED SCOPE OF WORK ITEMS SHOWN:

(See General Notes sheet for complete list of NEW scope of work items)

Item 10. New 20' x 9' Master Bedroom addition at second floor level east side, above new main floor level Living Room and Office addition.
Item 11. New 14' x 3' Bedroom #3 window bench addition at second floor level west side, above new main floor level Kitchen addition.
Item 12. New 23' x 13' plus 5' x 14' L-shaped Deck at second floor level east side, above new main floor level Deck on Garage roof.
Item 13. New second floor roof with vaulted ceilings, incorporating a 25' x 18'-8" irregularly-shaped rooftop deck.
Item 14. Relocate and reconstruct all interior staircases at NW corner, with new landings and new roofline above.
Item 15. Refinish and reconstruct if required the two existing fireplace chimneys.

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DRAWING ISSUE
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PROJECT
Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
Roof Plan

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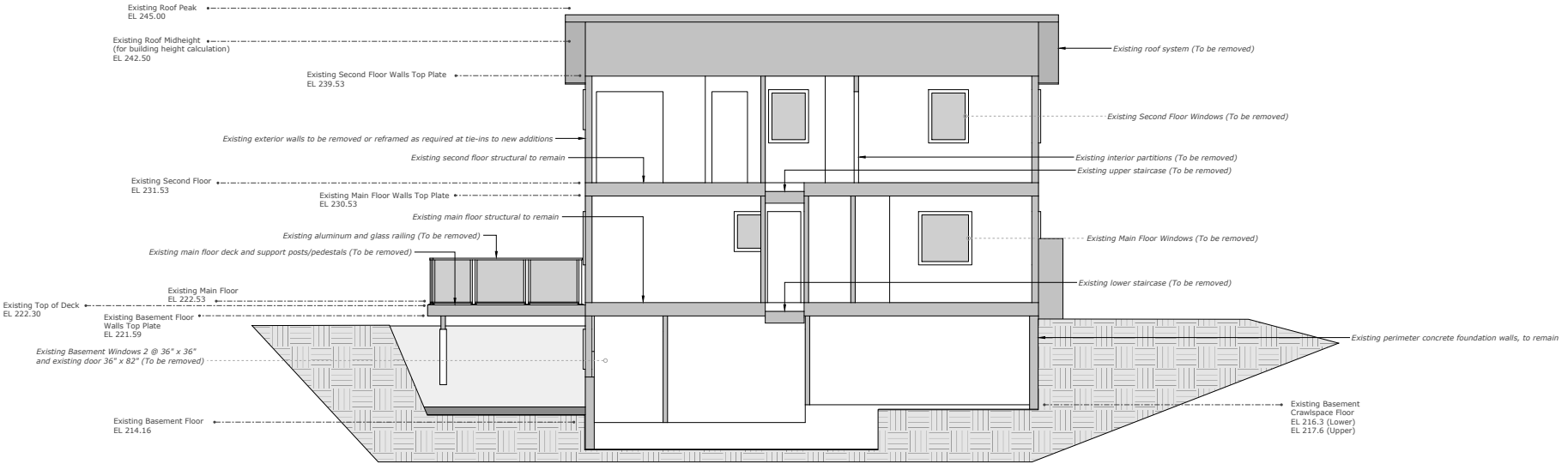
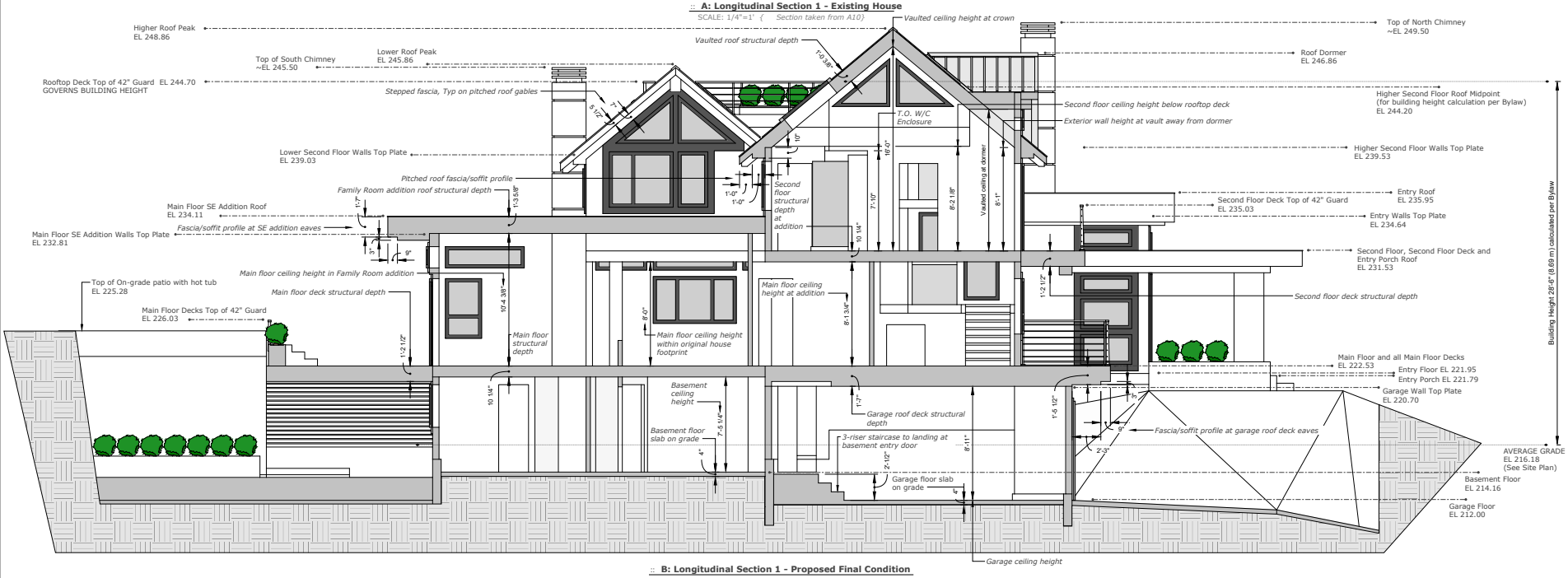


:: A: Longitudinal Section 1 - Existing House

SCALE: 1/4"=1' { Section taken from A10}



:: B: Longitudinal Section 1 - Proposed Final Condition

SCALE: 1/4"=1' { Section taken from A10}

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Little Residence
New Garage and Home Addition

SHEET DESCRIPTION
Cross Sections - Sheet 1 of 3

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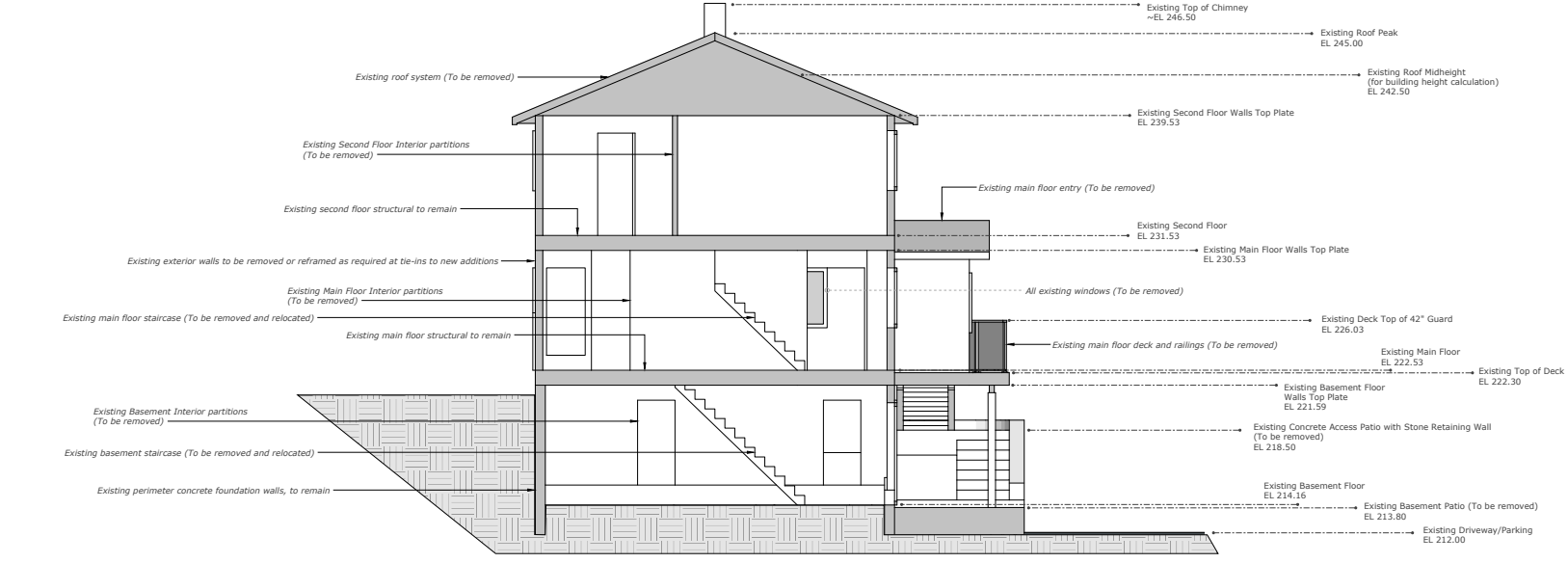
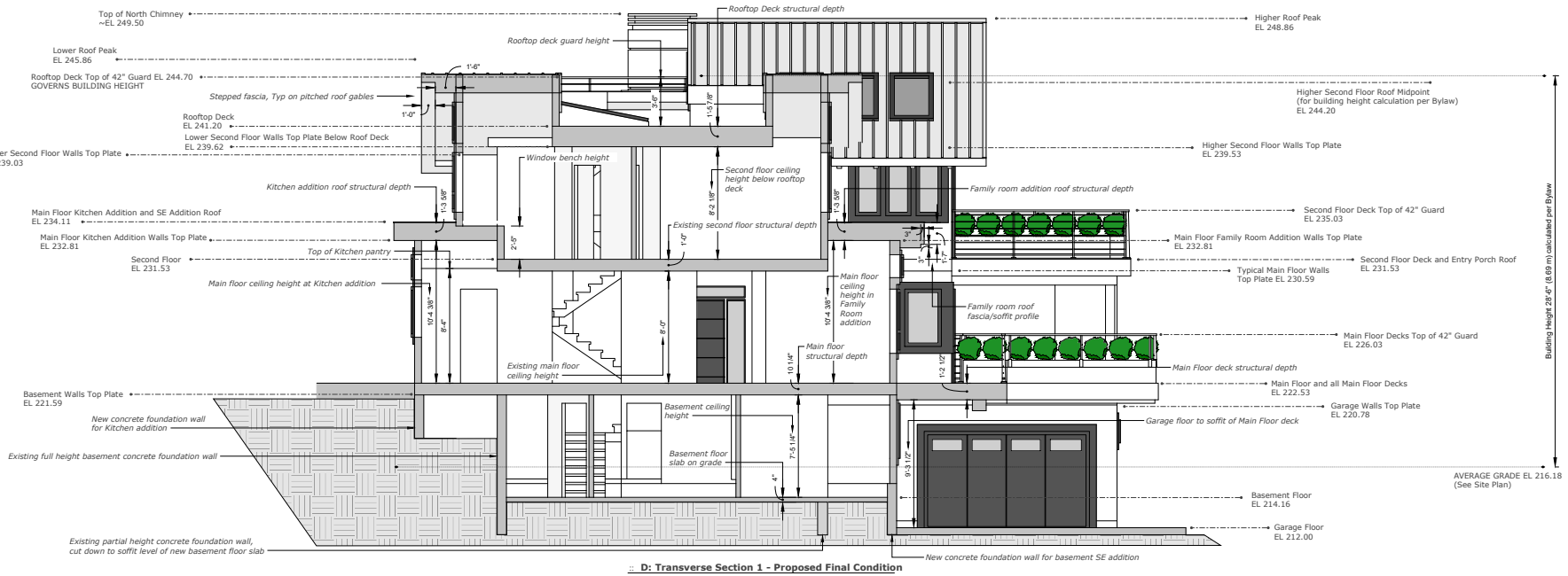


C: Transverse Section 1 - Existing House

SCALE: 1/4"=1' { Section taken from A11}



D: Transverse Section 1 - Proposed Final Condition

SCALE: 1/4"=1' { Section taken from A11}

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New Garage and Home Addition

SHEET DESCRIPTION
Cross Sections - Sheet 2 of 3

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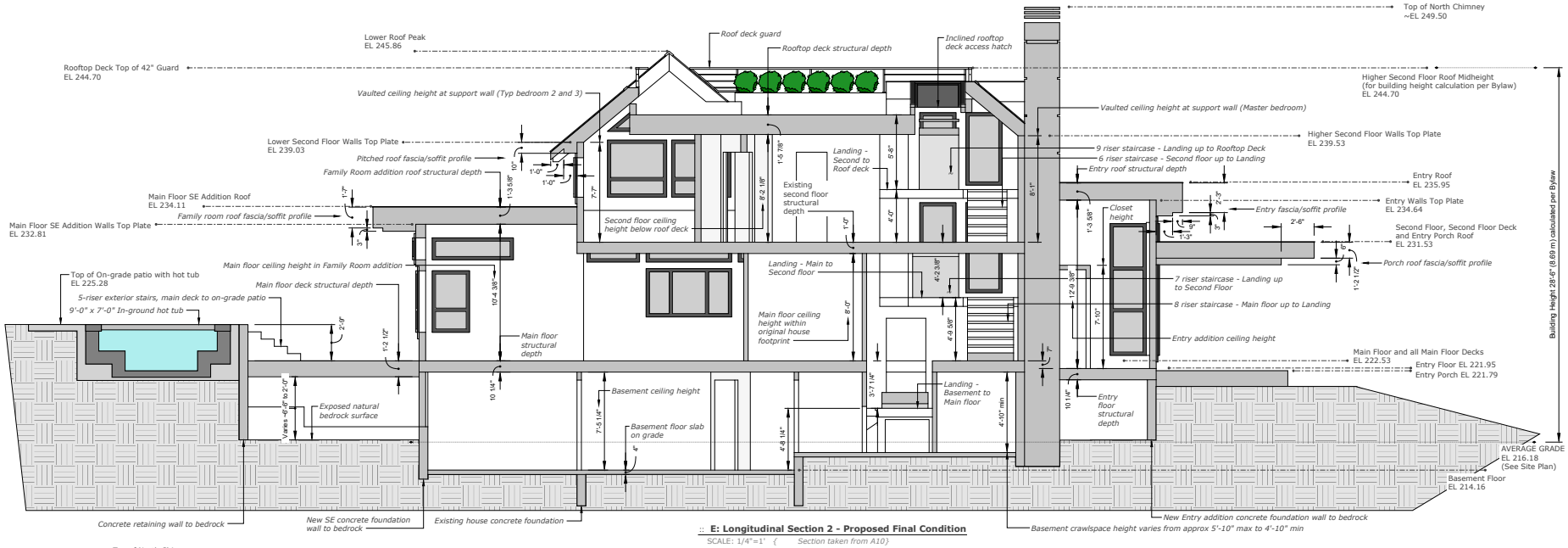
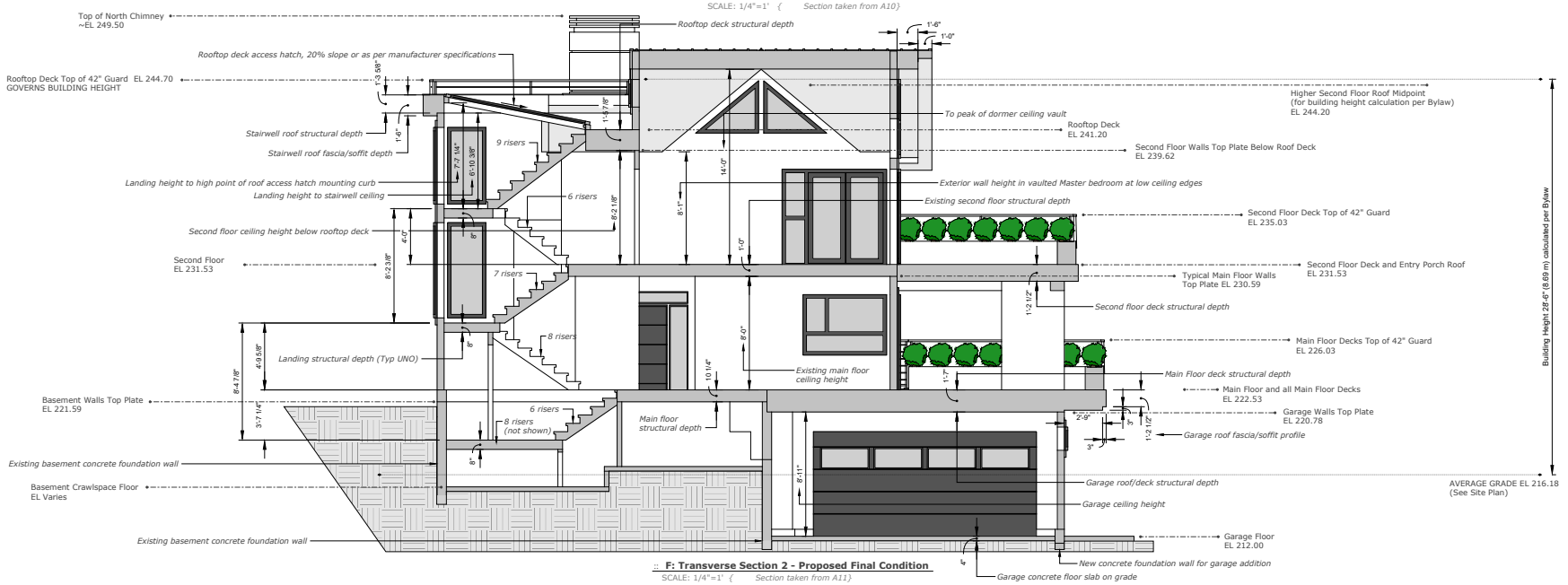


:: **E: Longitudinal Section 2 - Proposed Final Condition**

SCALE: 1/4"=1' { Section taken from A10}



:: **F: Transverse Section 2 - Proposed Final Condition**

SCALE: 1/4"=1' { Section taken from A11}

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SHEET DESCRIPTION
Cross Sections - Sheet 3 of 3

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A