

**DISTRICT OF WEST VANCOUVER**  
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

**COUNCIL REPORT**

**6.**

Date:	September 4, 2020
From:	James Cummins, Planning Technician
Subject:	Detached Secondary Suite Application (Zoning Amendment and Development Permit) for 1186 Duchess Avenue
File:	1010-20-20-009

**RECOMMENDATION**

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5087, 2020" be read a first time.

**RECOMMENDATION**

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5087, 2020" be presented at a Public Hearing scheduled for October 20, 2020, at 6:00 p.m. in the Municipal Hall Council Chamber, and that statutory notice be given of the scheduled public hearing.

**RECOMMENDATION**

THAT proposed "Development Permit 20-009" be presented at a public meeting scheduled for October 20, 2020 at 6:00 p.m. in the Municipal Hall Council Chamber, to be held concurrently with the public hearing scheduled for October 20, 2020, at 6:00 p.m. in the Municipal Hall Council Chamber, and that notice be given of the scheduled public meeting

**1.0 Purpose**

The purpose of this report is to present to Council a proposed zoning amendment to the Duplex Dwelling Zone 1 (RD1) and development permit to allow for a detached secondary suite at 1186 Duchess Avenue.

**2.0 Executive Summary**

A concurrent rezoning and development application has been submitted under Policy 2.1.2 of the Official Community Plan (OCP) to allow for a rental detached secondary suite (coach house) requiring additional floor area at 1186 Duchess Avenue.

Staff recommend support for the application as the proposal is consistent with District policy and objectives to deliver additional sensitive infill housing units that increase housing diversity in existing detached residential neighbourhoods. As well, the proposed design responds to the applicable development permit design guidelines for coach houses.

Staff recommend that the application be referred to a public hearing and concurrent public information meeting on October 20, 2020. Prior to the public hearing, the applicant will be required to host a virtual public

information meeting in accordance with the District's interim COVID-19 public consultation strategy for small scale projects.

### **3.0 Legislation/Bylaw/Policy**

#### *Local Government Act*

The *Local Government Act* requires that a public hearing be held on the proposed rezoning bylaw.

#### *Zoning Bylaw No.466 2010*

The subject site is zoned RD1 (Duplex Dwelling Zone 1), which regulates duplex and single-family development and associated uses. A text amendment is required to allow for additional density to accommodate the proposal.

### **4.0 Official Community Plan**

The Official Community Plan (OCP) provides direction to regenerate the District's primarily detached, single-family neighbourhoods with an estimated 300– 400 new infill units (e.g. coach house, duplex, secondary suite and infill subdivision) which can provide sensitive infill housing options that respect the scale and character of existing neighbourhoods.

Policy 2.1.2 allows for the consideration of site-specific applications to increase the supply of coach houses ("detached secondary suites") in existing detached residential areas by:

- a) Allowing coach houses to be stratified to increase home ownership opportunities;
- b) Providing floor area exemptions for rental coach houses secured through Housing Agreements;
- c) Considering allowance of a coach house and a basement suite on a single lot; and
- d) Removing other potential regulatory barriers to the supply of coach houses (e.g., enabling more flexible off-street parking requirements).

The application is consistent with Policy 2.1.2(b) and staff note that a housing agreement is not required as the Zoning Bylaw prohibits coach house stratification.

#### *Coach House Development Permit Guidelines BF-B 3.1*

Under Part 14 of the *Local Government Act*, the District has designated a Development Permit Area within the OCP for coach house development in existing neighbourhoods. The objective of the Development Permit Area is to ensure that coach houses meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form character of the local neighbourhood.

## **5.0 Financial Implications**

Development Cost Charges (DCCs) as required will be paid by the applicant to fund upgrading or provision of infrastructure services resulting from development.

### **5.1 Community Amenity Contribution**

New rezoning developments are to deliver community amenities related to the impacts of new development. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning and land uses on-site. District staff consulted with a third party financial consultant regarding various types of low density infill housing that the OCP encourages. Based on that review staff recommend that a CAC would not be applicable as the rental coach house application only provides an incremental land value increase that is unlikely to result in opportunity for any material amenity contribution.

## **6.0 Background**

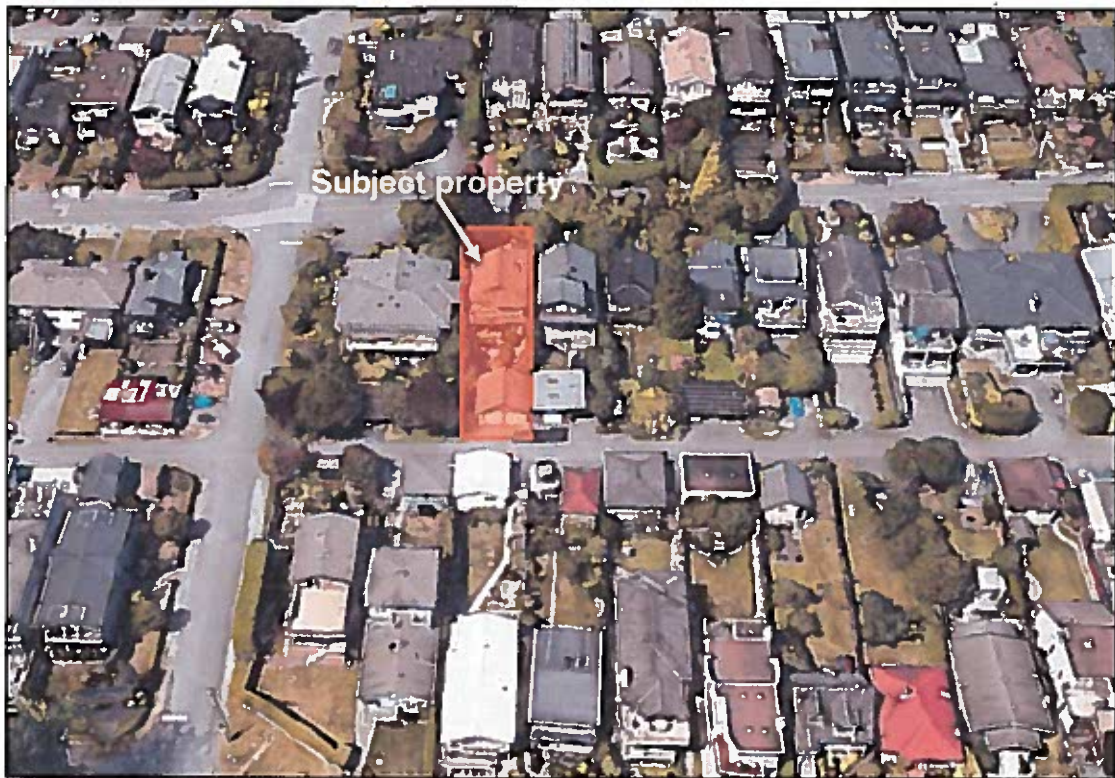
### **6.1 Previous Decisions**

Not applicable.

## **7.0 Analysis**

### **7.1 Site Context**

The subject site is a mid-block lot located on the southern side of Duchess Avenue and is bounded by single family properties to the east and west (Appendix A). The 374.1 m<sup>2</sup> site is zoned Residential Duplex 1 (RD1) and is occupied by a two-storey plus basement single family dwelling, constructed in 1998. An existing two-car garage providing vehicle access to the site is located along the rear lane. The adjacent boulevard on Duchess Avenue is paved and occupied by two perpendicular parking stalls. The surrounding area within Lower Ambleside is characterized by a continuous grid pattern with lane access and moderate north-south sloping terrain (Figure 1).



**Figure 1. Aerial photograph showing property location and surroundings (Google Earth)**

## 7.2 Proposed Development

The applicant proposes to demolish the existing garage and construct a 71.1 m<sup>2</sup> (765.7 sq. ft.) coach house (net floor area). Given that with the existing dwelling is already at the maximum floor area ratio (FAR) allowance for the site, a zoning amendment is proposed to permit the additional floor area for the coach house.

Key features of the proposal are:

- A new two-storey plus basement coach house, requiring an additional FAR of 0.19, with a south facing balcony on the upper level. The coach house would be finished with grey board and batten siding and cedar shingles;
- Two tandem parking stalls accessed off the rear lane using narrow wheel lane pavers with ground cover planting in between;
- Landscaping at the rear of the site, including adjacent to the rear lane; and
- Boulevard works on Duchess Avenue with the replacement of two existing perpendicular parking stalls with one parallel stall and landscaping.

In order to accommodate the proposed development, the following zoning variances are required:

Zoning Regulation	Allowable	Proposed	Variance
Section 251.06 - RD1 Zone Floor Area Ratio (FAR)	0.50	0.70	0.20 FAR*
Section 130.051(g) - Detached Secondary Suites Maximum upper storey floor area not to exceed 60% of the main floor area	60%	61.6%	1.6% (0.7 m <sup>2</sup> )
Section 130.051(h) – Detached Secondary Suites Maximum Floor Area	37.4 m <sup>2</sup> (10% of site area)	71.1 m <sup>2</sup>	33.7 m <sup>2</sup>

\* Additional FAR requested with the current application is 0.19. Review of the existing dwelling floor area using updated grades and calculation methods, confirmed that the primary dwelling slightly exceeds the allowable floor area by 5.5 m<sup>2</sup> (0.1 FAR).

### 7.3 Staff Evaluation

#### *Site Review*

Contextual review of the subject site indicates that 1186 Duchess Avenue would be a suitable property to support an additional sensitive infill unit consistent with OCP housing objectives. The project would deliver a new centrally-located unit on a site located within a short walking distance of commercial, recreation, and transit services provided in Lower Ambleside. The surrounding grid pattern and topography assists with minimizing impact on surrounding properties and neighbourhood character. The lane immediately to the south of the site and north-south grade change buffers the proposed coach house from neighbouring dwellings assisting with both view retention for dwellings upslope and distribution of the additional floor area downslope to be subordinate to surrounding dwellings. No substantial site alteration or vegetation removal would be required.

#### *Building Design*

The overall building design includes a partial second storey that is generally kept within the roof slope with a minor variance to the maximum 60% upper level floor area. This building form minimizes the potential for view loss or shadowing impacts associated with upper level massing. The pitched roof design and application of cedar shingles results in a building design that contrasts and complements the principal dwelling. Potential for overlook is also minimized due to the extent and location of upper level window and balcony placement, with the windows either facing the adjacent lane, or neighbouring garages (east) and mature vegetation (west). The proposed building complies with the overall coach house regulations for building height, setbacks from property lines and distance from the principal dwelling.

Staff have reviewed the coach house building massing in relation to potential view loss and shadowing for neighbouring properties. There would be some peripheral view impacts for adjacent dwellings at the main storey level, although this has been minimized by the upper level setback provided from the south and compliance with side yard setback requirements. Given the grade change on site and coach house compliance with the maximum height regulation, no view loss would result at the upper level for neighbouring dwellings.

The building's orientation and siting, including in relation to existing trees to the west would limit shadowing impacts to short periods early morning (west) and late afternoon/early evening (east) onto neighbouring properties.

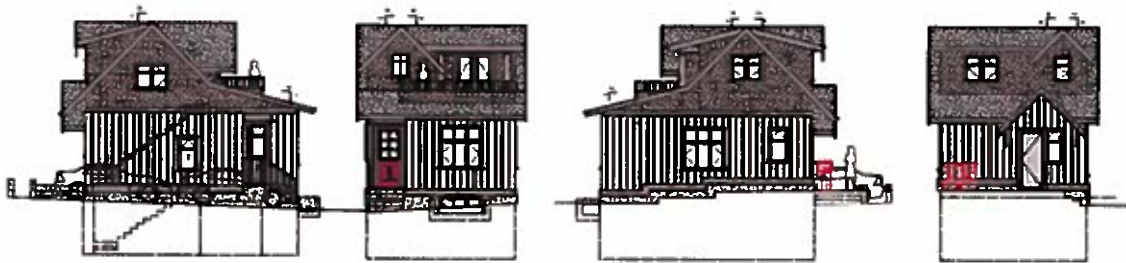


Figure 2. Elevation Plans of the proposed coach house

*Site Design and Landscaping:*

The proposed development responds to the landscaping and site development design guidelines with revisions made through the review process intended to address neighbourhood comments received during the preliminary consultation phase, detailed within Section 7.3 of this report. The development includes extensive landscaping, including with shrubbery at the southern end of the site that would result in a positive addition to the lane. The coach house was redesigned to include two tandem parking stalls with narrow wheel pavers and permeable ground cover planting in between. The coach house has been sited to avoid impact on the neighbouring trees to the west.

The applicant has responded to the local parking concerns raised during preliminary consultation by redesigning to accommodate the tandem parking arrangement. It is noted that only one parking stall is required for the site, due to the recent zoning amendment that reduced the parking requirement for a coach house to zero stalls within 400 m of a bus stop. The proposal also includes improved boulevard landscaping on Duchess Avenue along with a new parallel stall, responding to staff comments that the current perpendicular arrangement poses a safety issue.

#### 7.4 Sustainability

The proposal will exceed the minimum step of the *BC Energy Step Code* specified in the Building Bylaw. The proposal would meet a minimum of Step 2 of the Energy Step Code, as was required by the *Sustainable Buildings Policy (02-80-386)* at the time of application submission.

As the application was in-stream during the recent adoption of Sustainable Buildings Policy 0014 on June 8, 2020, the proposal is not required to comply with the new Low-Carbon Energy System pathway required for more recent applications. However, should the application proceed to Building Permit submission after February 28, 2021, the Building Bylaw will require either Step 2 with a Low-Carbon Energy System or Step 5 (applicable to all new buildings).

In addition, the proposed rezoning will facilitate an infill housing unit recognized as a sustainable and efficient land use within the OCP. Infill housing units allow new development to be integrated within existing neighbourhoods and utilize existing infrastructure.

Given the shared parking arrangement, one parking stall has access to an electric vehicle charging outlet.

#### 7.5 Public Engagement and Outreach

##### *Preliminary Development Proposal and Public Consultation Policy*

As required by Council's Preliminary Development Proposal and Public Consultation Policy, the applicant held a public information meeting on the preliminary rezoning proposal on October 10, 2019. The meeting was held at the subject property.

Seven responses were received on the preliminary proposal:

- Two responses supporting the project.
- One response was received supporting the project on the condition that parking is continued to be provided on Duchess Avenue noting that a lack of street parking is an issue in the surrounding area.
- Four responses were received either directly objecting to the project or with concerns as summarized below.

Densification - Concern was raised regarding additional densification given the area's narrow 33 ft. wide lots and that the application would be precedent setting. Specific concerns raised included the impact on green space and associated pressures resulting from parking and infrastructure use including the availability of spaces in local schools, noise pollution and parking impacts.

**Parking** - Concern was raised regarding lack of parking with the initial proposal that included only one on-site parking stall. Potential impact to street parking was cited with the additional unit along with the removal of the existing 2-car garage. As well, concern was raised regarding pedestrian safety issues that could result from the additional requirement for street parking, given the lack of sidewalk and tree overgrowth on Duchess Avenue, and use of the street as a school route and Marine Drive bypass.

**Building Height and Loss of View** - One concern was raised with the proposed building height and loss of view resulting from the proposed coach house, along with the potential for the new building to close in the skyline.

**Consultation Procedures/Materials** - One concern was raised with the lack of material available in the information package sent out to neighbours within 100 m of the subject property. Other concerns raised that the proposal is taking place prior to the Ambleside Local Area Plan creation and that the 100 m notification area is insufficient given that the application could be precedent setting for the wider area.

*Interim COVID-19 Public Consultation Strategy for Development Projects*

In accordance with the *Interim COVID-19 Public Consultation Strategy for Development Projects* received by Council for information at its June 22, 2020 meeting, the project is classified as a "small scale" rezoning project (3 residential units or less). As such, public consultation on the proposed development will be provided virtually through an applicant-hosted project webpage. The webpage is an alternative to the conventional public information meeting required under the District's Development Procedures Bylaw. Neighbours within 100 m of the subject site will be notified and engagement opportunities will be provided through phone, email, along with an online comment form. Staff will report back to Council at the Public Hearing regarding further public feedback received.

*Public Hearing and Notification*

In compliance with the *Development Procedures Bylaw No. 4940, 2017*, the proposed rezoning is subject to a public hearing. Notice of the public hearing will be given in accordance with District procedures.

*Signage*

The applicant is required to install a development information sign in front of the property prior to the public hearing. Should the proposal advance, the applicant will be required to update the sign with information about the public hearing and virtual public information meeting.

## 8.0 Options

### 8.1 Recommended Option

It is recommended that Council give first reading to the proposed zoning bylaw and set a date for a public hearing.

Scheduling the application for a public hearing will give the public the opportunity to make representations to Council on the proposal.

### 8.2 Considered Options

- a) give first reading to the proposed bylaws and set an alternative date (to be specified) for a public hearing; or
- b) defer consideration pending the receipt of additional information (to be specified) be provided and available to assist in consideration of the application; or
- c) reject the proposal.

## 9.0 Conclusion

Staff have reviewed the application and are satisfied that the proposed design, including the request for additional floor area and zoning variances, is consistent with the policy direction provided within the OCP encouraging sensitive infill development. The project design responds to the applicable design guidelines, surrounding development and site conditions and, where possible, addresses neighbour concerns received during preliminary consultation. Staff supports the application and recommends that it be scheduled for public hearing.

Author:



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James Cummins  
Planning Technician

Concurrence



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Michelle McGuire,  
Manager of Current Planning and Urban Design

Date: September 4, 2020 Page 10  
From: James Cummins, Planning Technician  
Subject: Detached Secondary Suite Application (Zoning Amendment and Development Permit) for 1186 Duchess Avenue

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**Appendices:**

Appendix A – Context Plan

Appendix B – Proposed Development Permit 20-009

Appendix C – Proposed Zoning Bylaw No 4662, 2010 Amendment Bylaw No 5087, 2020

# Appendix A



**CONTEXT PLAN**

TITLE: 1186 Duchess Avenue

DATE: Aug.31/20    REV: 0

FILE: 20-009

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**District of West Vancouver**  
*Proposed*  
**Development Permit No. 20-009**

**CURRENT OWNER:** Judith Bel Walkey and Richard Arthur Walkey

**THIS DEVELOPMENT PERMIT APPLIES TO:**

**CIVIC ADDRESS:** 1186 Duchess Avenue

**DESCRIPTION:** 012-867-756  
 Lot 3, Block 10, District Lot 237, Plan 3459  
 (the 'LANDS')

**1.0 This Development Permit:**

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as Development Permit Area to ensure that detached secondary suites meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form character of the local neighbourhood; and is subject to Guidelines BF-B3.1 specified in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

**2.0 The following requirements and conditions shall apply to the Lands:**

- 2.1 Building, structures, on-site parking, driveways and site development shall take place in accordance with the attached **Schedule A**.
- 2.2 On-site landscaping must be installed at the cost of the Owner in accordance with the attached **Schedule A**.
- 2.3 Boulevard works, including removal of the two existing parking stalls shall be carried out in accordance with the attached **Schedule A**.
- 2.4 Notwithstanding Conditions 2.1, 2.2 and 2.3 above, the Director of Planning and Development Services may determine that minor changes to the proposal still comply with the Development Permit plans where proposed changes do not materially affect the intent of the plans attached to this Development Permit.
- 2.5 Zoning Bylaw No. 4332, 2010, as amended, shall be varied to allow construction of the buildings and structures described in the attached **Schedule A** as follows:
  - 2.5.1 Section 130.051(g) is varied to allow for the upper storey of the detached secondary suite to have a maximum floor area of 61.6% of the main floor area, as per **Schedule A**.

- 
- 2.5.2 Section 130.051(h) is varied to allow for a maximum detached secondary suite floor area of 71.1 m<sup>2</sup> as per **Schedule A**.
- 2.6 The minimum energy performance of the proposed detached secondary suite shall conform to a minimum of Step 2, as defined by the British Columbia Energy Step Code. Compliance with the required Step shall be demonstrated through provision of sufficient documentation to the satisfaction of the Chief Building Official.
- 2.7 All trees located along the common property line shared with 1192 Duchess Avenue and adjacent lane shall be retained and protected during construction and site works.
- 2.8 The detached secondary suite shall incorporate a charging outlet that is capable of providing Level 2 charging for an electric vehicle and is labelled for the use of electric vehicle charging
- 3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner shall:**
- a) install tree protection measures as required to the satisfaction of the District's Environmental Protection Officer;
  - b) submit a "Stormwater Management Plan" to the District's Environmental Protection Officer for approval;
  - c) submit a "Sediment and Erosion Control Plan" to the District's Environmental Protection Officer for approval, and the owner shall be responsible for maintaining, repairing and implementing the Sediment Control Measures; and
  - d) dependent on the value of construction and review by the District's Land Development Department, provide and implement a plan for traffic management during construction, to the satisfaction of the District's Manager of Land Development.
- 4.0 Security for the due and proper completion of the landscaping set forth in Section 2 of this Development Permit, the owner shall:**
- a) provide a landscape cost estimate acceptable to the Director of Planning and Development Services;
  - b) provide security in the amount of 125% of the landscape cost estimate to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union; and
  - c) maintain the security for a minimum of one year after completion of the landscaping, and not prior to the date on which the District authorizes in writing the release of the security.
- 5.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.**

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

FOR THE PURPOSES OF SECTION 5, THIS PERMIT IS ISSUED ON \_\_\_\_\_.

Schedules:

A – Proposed Development and Landscape Plans, prepared by Novell Design Build, dated September 2, 2020

# SCHEDULE A TO DP20-009

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02



**GENERAL NOTES:**

1. ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE ONLY.
2. HEIGHT OF BUILDINGS AND SETBACKS TO BE VERIFIED BY THE CONTRACTOR AND TO BE SHOWN ON THE SITE PLAN.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
7. PROPERTY IS A REMAINING OF AN EXISTING HOUSE TO BE DEMOLISHED AND REBUILT.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
9. PROPERTY IS A REMAINING OF AN EXISTING HOUSE TO BE DEMOLISHED AND REBUILT.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
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12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE BC BUILDING DEPARTMENT'S REGULATIONS AND BY-LAWS.



**PROJECT TITLE:**

**WALKEY FINGERSTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2**

**JOB NUMBER:**

**P1812**

**DRAWING TITLE:**

**Site - Plan Proposed**

**SCALE:**

**1/8"=1'-0"**

**DRAWING NUMBER:**

**A.1.0**

PROJECT NAME & ADDRESS: WALKEY FINGERSTE RESIDENCE, 1186 DUCHESS AVE, WEST VANCOUVER, BC V7T 1H2  
 LEGAL ADDRESS: LOT 1 BLOCK 14, DISTRICT LOT #11, NEW WESTMINSTER DISTRICT, PLAN 3494

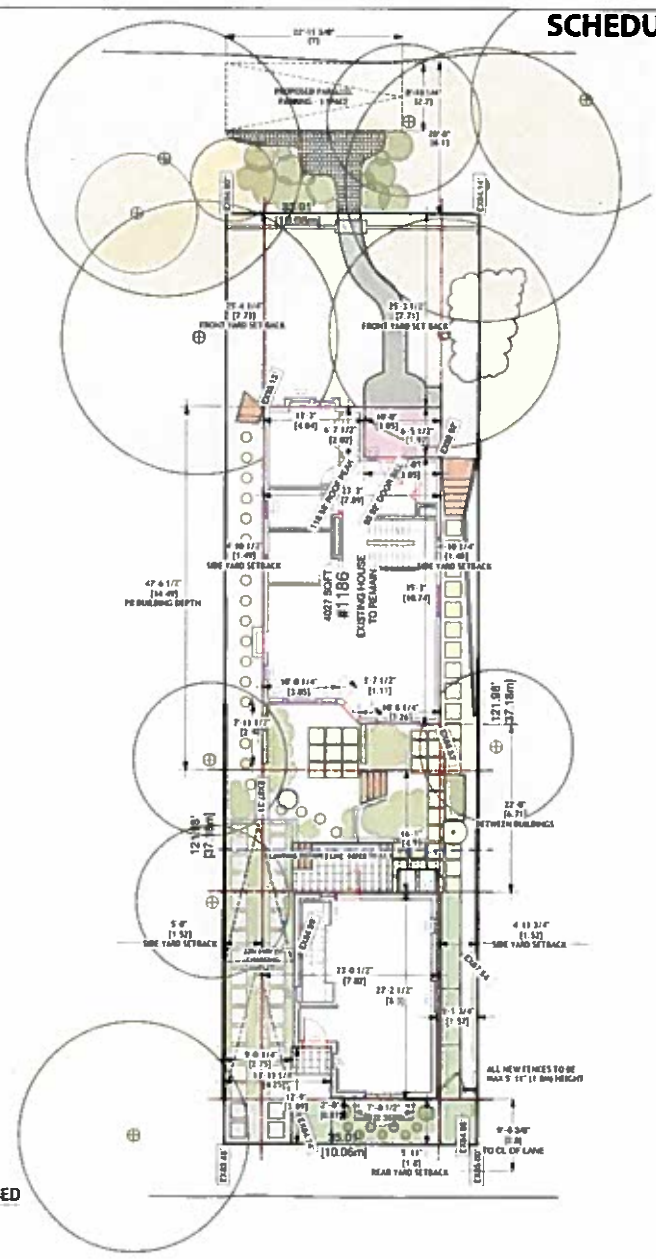
PROPOSED USE: SINGLE FAMILY DWELLING WITH DETACHED SECONDARY SUITE **RD-1**

LOT LENGTH (FT)	LOT WIDTH (FT)	AREA (SQ FT)	LOT AREA (SQ FT)	LOT AREA (SQ FT)	PROPOSED (SQ FT)
33.01	121.99	374.09	4,024.72	1999	1999

LOT COVERAGE	ALLOWABLE (MAX)	ALLOWABLE (MIN)	PROPOSED (MAX)	PROPOSED (MIN)
0.40	0.40	0.40	0.40	0.40

FLOOR AREA RATIO (FAR)	ALLOWED (MAX)	ALLOWED (MIN)	PROPOSED (MAX)	PROPOSED (MIN)
BASEMENT	0.50	0.50	0.50	0.50
MAIN FLOOR	0.50	0.50	0.50	0.50
SECOND FLOOR	0.50	0.50	0.50	0.50
DETACHED SECONDARY SUITE	0.50	0.50	0.50	0.50
<b>ALL BUILDINGS TOTAL</b>	<b>0.50</b>	<b>0.50</b>	<b>0.50</b>	<b>0.50</b>

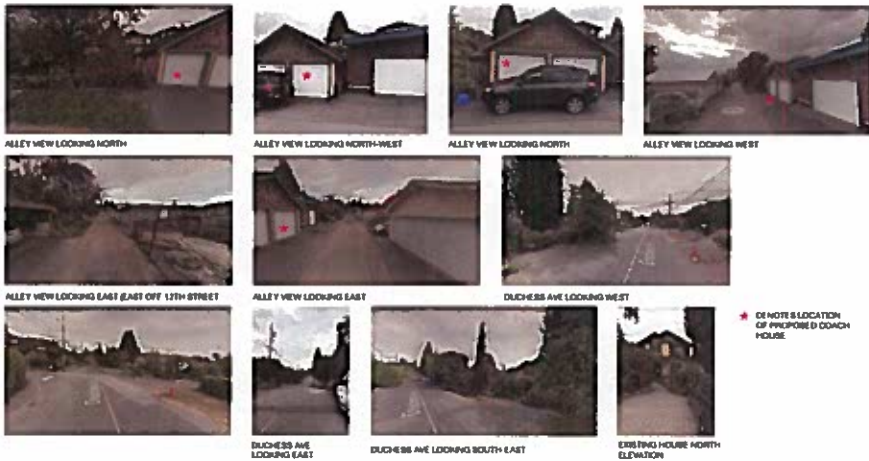
AREA EXCLUSIONS	ALLOWED (MAX)	ALLOWED (MIN)	PROPOSED (MAX)	PROPOSED (MIN)
BASEMENT EXCLUSION	0.00	0.00	0.00	0.00
SCREENS	0.00	0.00	0.00	0.00
COVERED PORCH	0.00	0.00	0.00	0.00
DETACHED SECONDARY SUITE	0.00	0.00	0.00	0.00
SCREENS	0.00	0.00	0.00	0.00
COVERED PORCH	0.00	0.00	0.00	0.00



**SITE PLAN PROPOSED**



1  
A.1.1  
CONTEXT PLAN PROPOSED



\* DENOTES LOCATION OF PROPOSED CONCH HOUSE

2  
A.1.1  
CONTEXT IMAGES



3  
A.1.1  
CONTEXT IMAGES LONG VIEW

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02



- GENERAL NOTES:
- ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE 2018
  - REVIEW OF EXISTING AND NEW TO BE RECONSTRUCTED AND ALL EXISTING AND NEW TO BE RECONSTRUCTED
  - ALL EXISTING DIMENSIONS AND FINISHES INCLUDING TO BE RECONSTRUCTED SHALL BE VERIFIED BY THE DESIGNER PRIOR TO COMMENCEMENT OF WORK
  - ALL EXISTING DIMENSIONS AND FINISHES INCLUDING TO BE RECONSTRUCTED SHALL BE VERIFIED BY THE DESIGNER PRIOR TO COMMENCEMENT OF WORK
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  - ALL EXISTING DIMENSIONS AND FINISHES INCLUDING TO BE RECONSTRUCTED SHALL BE VERIFIED BY THE DESIGNER PRIOR TO COMMENCEMENT OF WORK



PROJECT TITLE  
**WALKEY FINGEROTE RESIDENCE**  
**1186 DUCHESS AVE**  
**WEST VANCOUVER V7T 1H2**

JOB NUMBER  
**P1812**

DRAWING TITLE  
**SITE - Context**

SCALE  
**N7S**

DRAWING NUMBER  
**A.1.1**





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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02

GENERAL NOTES:

- ALL WORK TO BE DONE IS ACCORDANCE TO THE BC BUILDING CODE 2018
- LOCATION OF UTILITIES ARE BASED ON SITE INFORMATION AND AS SHOWN ON THE RECORD SURVEY DATA.
- ALL EXISTING UTILITIES ARE TO BE PROTECTED AND NOT TO BE CUT OR DAMAGED UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES AND PIPES SHALL BE PROTECTED BY INSTALLING EXISTING PIPES AND BURN-RESISTANT (MINIMUM 2 HOURS) PROTECTION.
- ALL PROVISIONS TO BE MADE AS SHOWN ON THIS PLAN, ALL DETAILS AND CONDITIONS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE 2018.
- PROVIDE A MINIMUM OF 9" CLEARANCE BETWEEN WALLS AND ALL BETWEEN WALLS HEIGHTS.
- ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT TO BE CUT OR DAMAGED UNLESS OTHERWISE NOTED.
- PROVIDE PROTECTION FOR ALL EXISTING UTILITIES AND PIPES TO BE PROTECTED AND NOT TO BE CUT OR DAMAGED UNLESS OTHERWISE NOTED.
- PROVIDE PROTECTION FOR ALL EXISTING UTILITIES AND PIPES TO BE PROTECTED AND NOT TO BE CUT OR DAMAGED UNLESS OTHERWISE NOTED.
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- PROVIDE PROTECTION FOR ALL EXISTING UTILITIES AND PIPES TO BE PROTECTED AND NOT TO BE CUT OR DAMAGED UNLESS OTHERWISE NOTED.



PROJECT TITLE

WALKER FINGEROTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

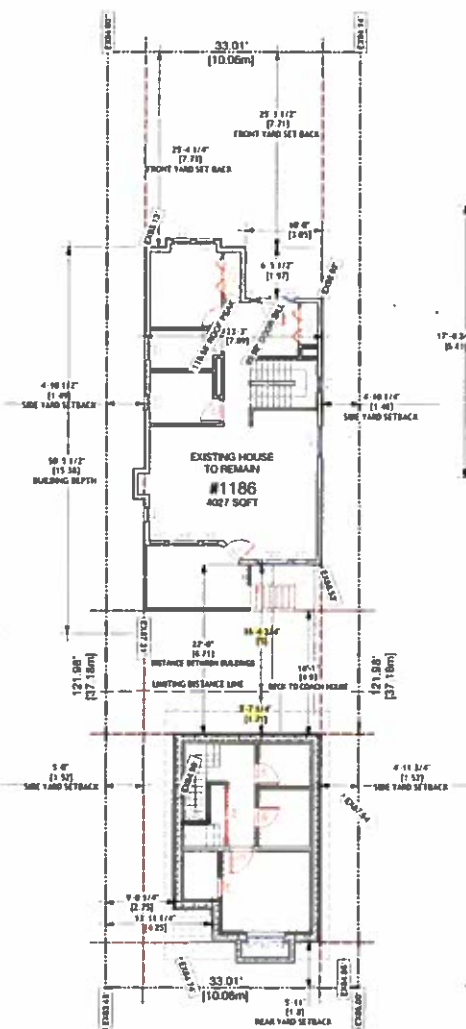
MAIN/COACH HOUSE / NORTH + SOUTH  
SPATIAL SEPARATION

SCALE

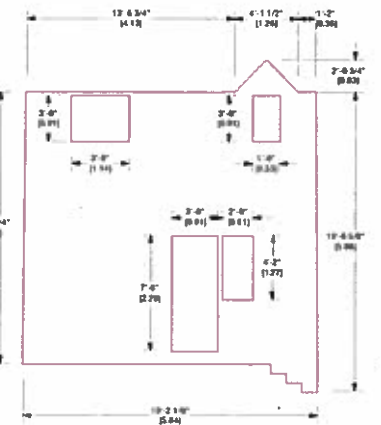
1/4" = 1'-0"

DRAWING NUMBER

A.3.3

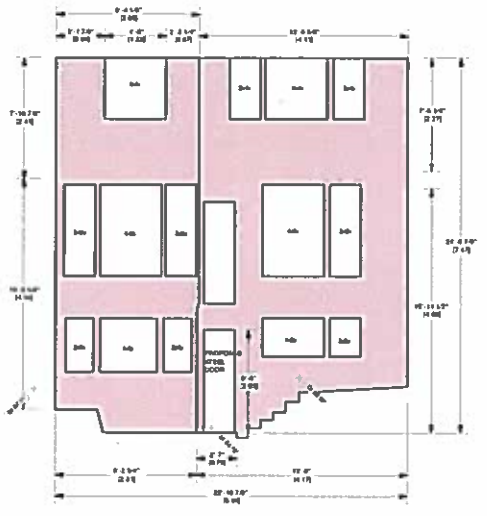


3 SITE - SEPARATION BETWEEN DWELLINGS



1 COACH HOUSE NORTH ELEVATION: SPATIAL CALCULATIONS

LIMITING DISTANCE CALCULATION AS PER Table 3.2.3.1 - D (Sprinklered Building)			
<b>NORTH ELEVATION - COACH HOUSE</b>			
Aggregate Area and Area contained	22.05	22.05	22.05
Max Total Area of Opposing Building Face			22.05
TABLE 1			
Limiting Distance	1.71	37.11'	
Area	22.05	22.05	22.05
Fire door fire resistance rating	not required		
Type of cladding	no limits		
Percentage % of glazed openings	5.13	165	165.18
Permitted aggregate area of glazed openings			4.42
Permitted area of glazed openings			4.42



2 MAIN HOUSE SOUTH ELEVATION: SPATIAL CALCULATIONS

LIMITING DISTANCE CALCULATION AS PER Table 3.2.3.1 - B (Non-Sprinklered Building)			
<b>SOUTH ELEVATION - MAIN HOUSE</b>			
Aggregate Area	65.01	65.01	65.01
Max Total Area of Opposing Building Face			65.01
TABLE 1			
Limiting Distance	3.00	96.31'	
Area	65.01	65.01	65.01
Fire door fire resistance rating	not required		
Type of cladding	no limits		
Percentage % of glazed openings	13.28	225	225.13
Permitted aggregate area of glazed openings			11.29
Permitted area of glazed openings			11.29

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02

GENERAL NOTES:

- 1 ALL WORK IS TO BE ACCORDING TO THE BC BUILDING CODE 2018
- 2 HEIGHT OF ALL ROOFS AND BASES TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 3 ALL OFFSHORE FOUNDATIONS AND LATERAL BRACING SURFACES, ON CONCRETE AND ON SMALL BRIDGE FOUNDATIONS
- 4 ALL OFFSHORE FOUNDATIONS AND LATERAL BRACING TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 5 ALL FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 6 ALL FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 7 FOUNDATION TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 8 ALL FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 9 ALL FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 10 ALL FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 11 FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 12 FOUNDATIONS TO BE SUBMITTED AND NOT SHOWN ON THIS DRAWING
- 13 ALL WORK SHALL BE PERFORMED



PROJECT TITLE

WALKEY FINGERLITE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

PI1812

DRAWING TITLE

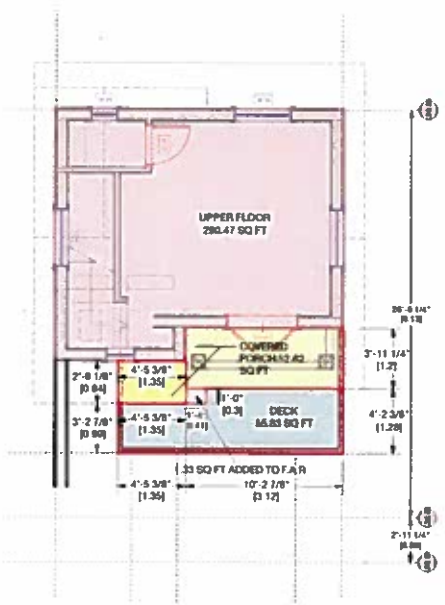
AREA CALCULATIONS

SCALE

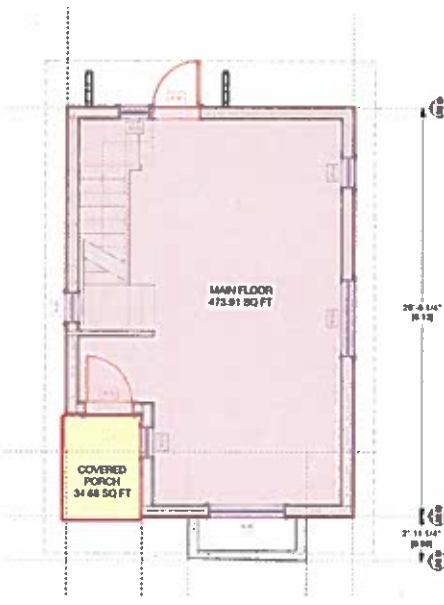
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DRAWING NUMBER

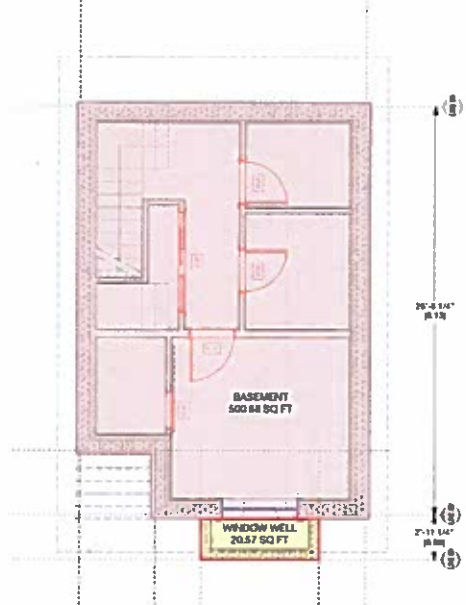
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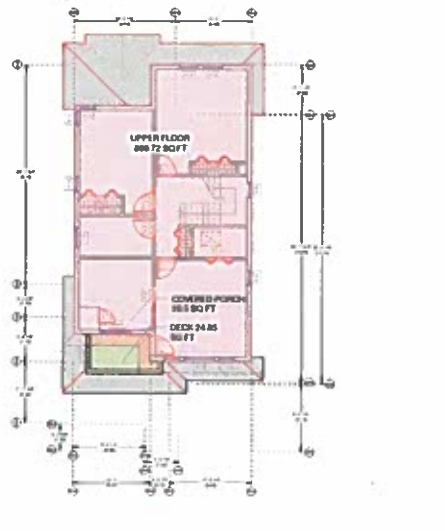
1 COACH HOUSE / UPPER FLOOR PLAN



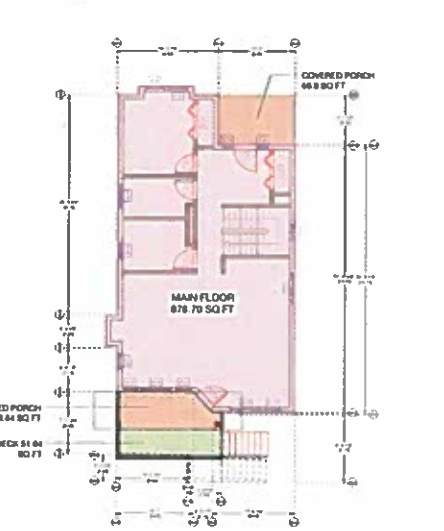
2 COACH HOUSE / MAIN FLOOR PLAN



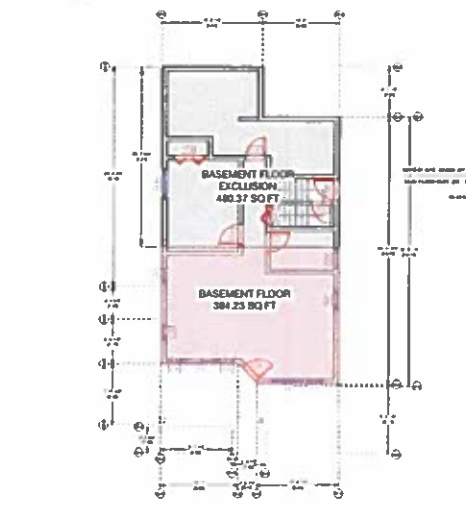
3 COACH HOUSE / BASEMENT FLOOR PLAN



6 MAIN HOUSE / UPPER FLOOR PLAN



5 MAIN HOUSE / MAIN FLOOR PLAN



4 MAIN HOUSE / BASEMENT FLOOR PLAN

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02



GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE 2018
2. VERIFY ALL DIMENSIONS AND LEVELS ON SITE (MEASUREMENTS) AND ALL CONDITIONS ON THE EXISTING STRUCTURE
3. ALL EXISTING FOUNDATIONS AND LOTS TO REMAIN SHALL BE AS SHOWN ON DRAWING AND TO BE MAINTAINED UNLESS OTHERWISE NOTED
4. ALL EXISTING FOUNDATIONS AND PILES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED
5. ALL EXISTING TO BE KEPT OR DEMOLISHED SHALL BE AS SHOWN ON DRAWING, AND TO BE MAINTAINED UNLESS OTHERWISE NOTED
6. ALL EXISTING FOUNDATIONS TO BE MAINTAINED UNLESS OTHERWISE NOTED
7. PROVIDE A SCHEDULE OF WORKS TO BE COMPLETED BY THE END OF EACH WORKING DAY
8. ALL EXISTING FOUNDATIONS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED
9. PROVIDE ALL NECESSARY PERMITS AND APPROVALS TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK
10. MAINTAIN NEUTRALITY IN ALL MATTERS
11. ALL WORK SHALL BE COMPLETED UNLESS OTHERWISE NOTED
12. DIMENSIONS TO BE PROVIDED ON ALL OF THE PLANS
13. ALL WORK SHALL BE COMPLETED UNLESS OTHERWISE NOTED



PROJECT TITLE

WALKER FINGEROTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

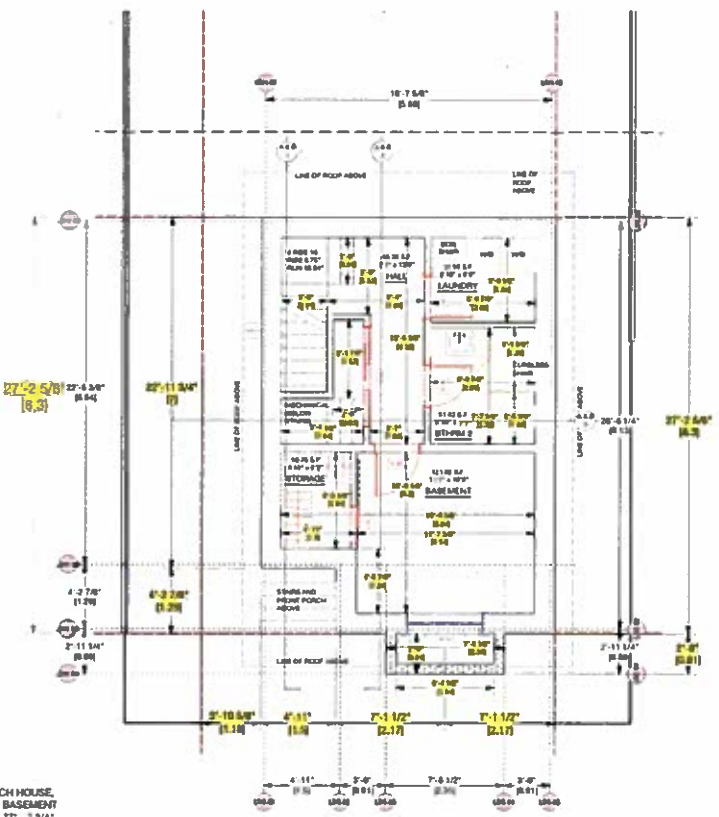
COACH HOUSE / BSMT+MAIN PLANS Proposed

SCALE

1/4"=1'-0"

DRAWING NUMBER

A.4.1

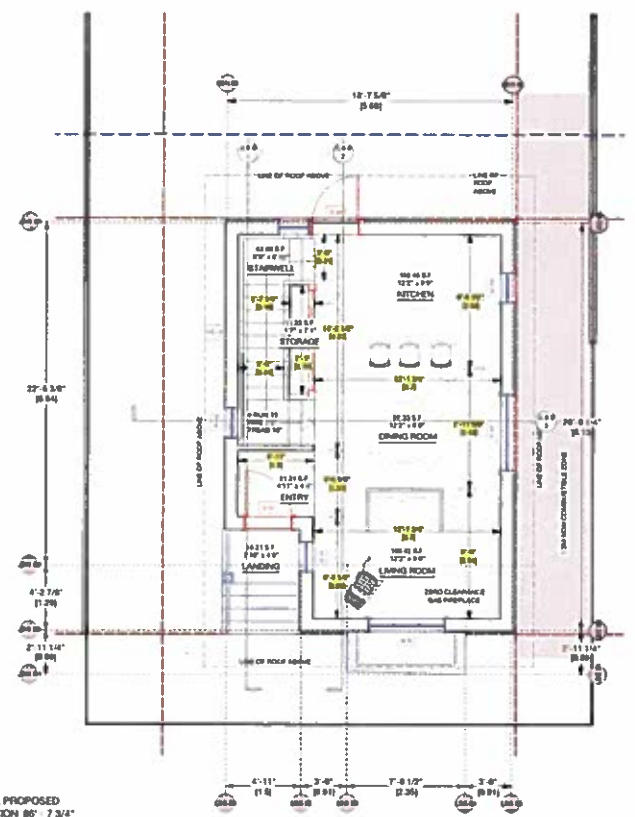


NOTE: COACH HOUSE, PROPOSED BASEMENT ELEVATION 77'-3.34"

1 COACH HOUSE BASEMENT FLOOR PLAN

WINDOW NO.	WIDTH	DEPTH	HEAD OF WINDOW	SPERABILITY	GLASS TYPE	MARK OR FINISH
W-12	5'0"	1'0"	78'-1.7"	Custom	CLEAR	NEW

DOOR NO.	WIDTH	DEPTH	MARK OR FINISH
D-03	6'0"	6'0"	NEW
D-04	2'10"	6'0"	NEW
D-05	2'0"	6'0"	NEW
D-06	2'10"	6'0"	NEW
D-07	2'10"	6'0"	NEW

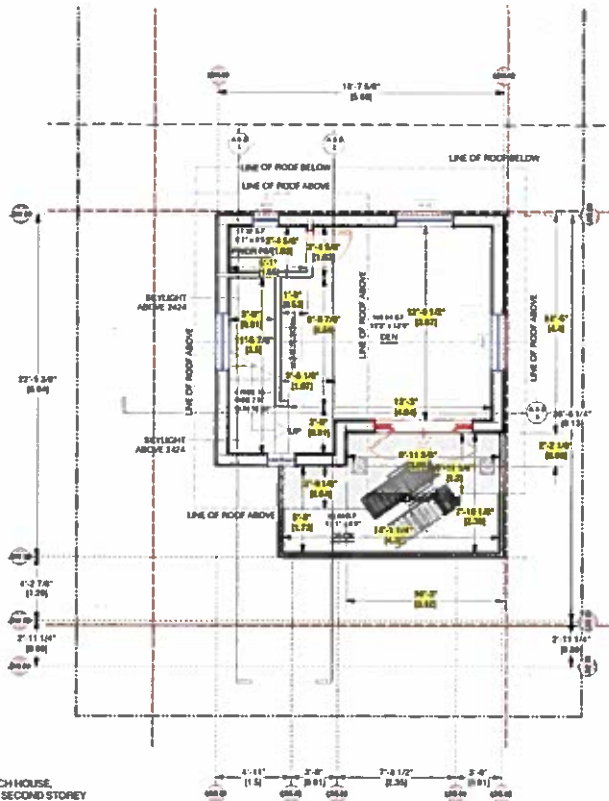


NOTE: COACH HOUSE, PROPOSED FIRST STOREY ELEVATION 85'-7.34"

2 COACH HOUSE MAIN FLOOR PLAN

WINDOW NO.	WIDTH	DEPTH	HEAD OF WINDOW	SPERABILITY	GLASS TYPE	MARK OR FINISH
W-01	2'0"	4'0"	78'-0"	Custom	CLEAR	NEW
W-02	5'0"	5'0"	78'-0"	Custom	CLEAR	NEW
W-03	5'0"	5'0"	78'-0"	Custom	CLEAR	NEW
W-04	2'0"	4'0"	78'-0"	Custom	CLEAR	NEW
W-05	2'0"	4'0"	78'-0"	Custom	CLEAR	NEW
W-06	2'0"	4'0"	78'-3.4"	Custom	CLEAR	NEW

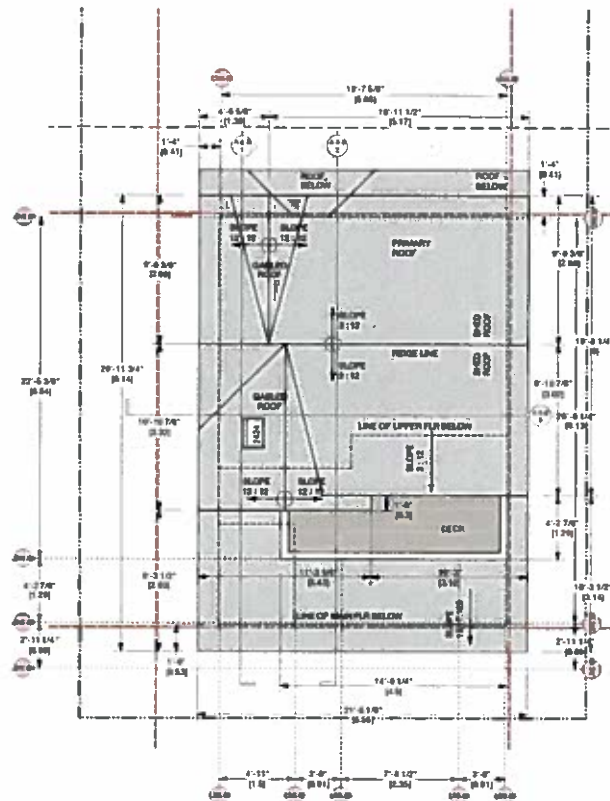
DOOR NO.	WIDTH	DEPTH	MARK OR FINISH
D-01	2'0"	7'0"	NEW
D-02	2'0"	7'0"	NEW



1  
A.4.2  
COACH HOUSE UPPER FLOOR PLAN

WINDOW #	WIDTH	HEIGHT	GLASS HEIGHT	FINISHABILITY	GLASS TYPE	NEW OR EXISTING
W-07	5'-0"	3'-0"	2'-0"	Custom	CLEAR	NEW
W-08	1'-3 1/2"	7'-8 1/2"	3'-11 1/2"	Custom	CLEAR	NEW
W-09	3'-0"	3'-0"	0'-0"	Custom	CLEAR	NEW
W-10	3'-0"	3'-0"	0'-0"	Custom	CLEAR	NEW
W-11	1'-0"	3'-0"	0'-0"	Custom	OBSOLETE	NEW

DOOR #	WIDTH	HEIGHT	DOOR TYPE	FINISH OPTIONS	NEW OR EXISTING
D-08	4'-0"	0'-0"	66" DOOR (66" x 1" W/ DOOR)	YS	NEW
D-09	2'-0"	0'-0"	NO	NO	NEW



2  
A.4.2  
COACH HOUSE ROOF PLAN

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02



GENERAL NOTES:

- ALL WORK IS TO BE IN ACCORDANCE TO THE BC BUILDING CODE 2019
- HEIGHT OF ALL ROOFS AND SLOPE ON RPT REQUIREMENTS AND NOT EXCEED THE HEIGHT PERMITTED BY THE CODE
- ALL EXTERIOR SURFACES AND LANDSCAPE FINISHES TO BE COMPLETED AND FINISHED TO THE SATISFACTION OF THE ARCHITECT AND OWNER
- ALL EXTERIOR FINISHES AND ROOF FINISHES TO BE COMPLETED AND FINISHED TO THE SATISFACTION OF THE ARCHITECT AND OWNER
- ALL FINISHES TO BE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE ARCHITECT'S SPECIFICATIONS
- ALL WORK IS TO BE COMPLETED AND FINISHED TO THE SATISFACTION OF THE ARCHITECT AND OWNER
- PROVIDE A SCHEDULE OF FINISHES TO THE ARCHITECT AND OWNER
- ALL FINISHES TO BE IN ACCORDANCE WITH THE BC BUILDING CODE AND THE ARCHITECT'S SPECIFICATIONS
- PROVIDE A SCHEDULE OF FINISHES TO THE ARCHITECT AND OWNER
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PROJECT TITLE

WALKER FINGEROTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

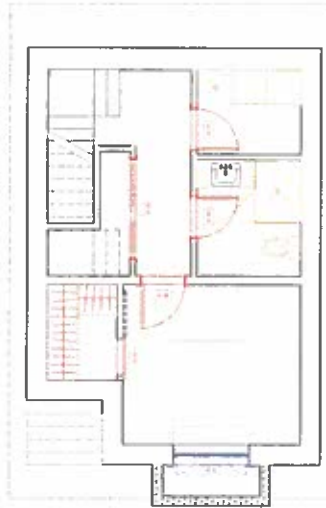
COACH HOUSE / UPPER + ROOF PLANS  
Proposed

SCALE

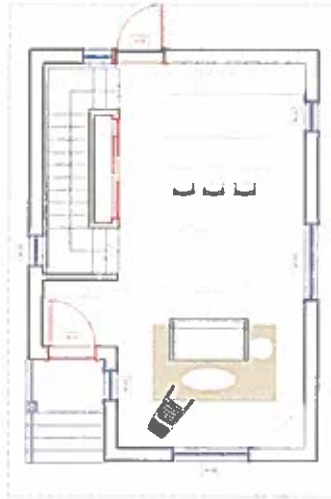
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DRAWING NUMBER

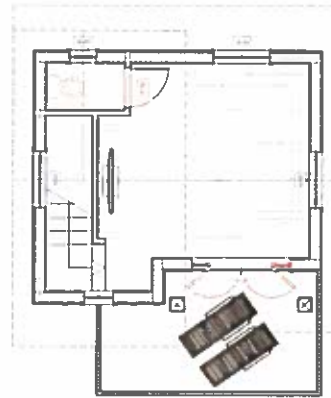
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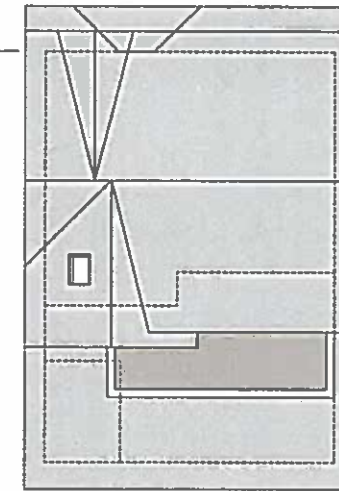
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A.4.3 COACH HOUSE BASEMENT FLOOR PLAN  
1/4" = 1'-0" (FOR REFERENCE ONLY)



2  
A.4.3 COACH HOUSE MAIN FLOOR PLAN  
1/4" = 1'-0" (FOR REFERENCE ONLY)



3  
A.4.3 COACH HOUSE UPPER FLOOR PLAN  
1/4" = 1'-0" (FOR REFERENCE ONLY)



4  
A.4.3 COACH HOUSE ROOF PLAN  
1/4" = 1'-0" (FOR REFERENCE ONLY)



5  
A.4.3 COACH HOUSE WEST ELEVATION  
3/16" = 1'-0" (FOR REFERENCE ONLY)



6  
A.4.3 COACH HOUSE SOUTH ELEVATION  
3/16" = 1'-0" (FOR REFERENCE ONLY)



7  
A.4.3 COACH HOUSE EAST ELEVATION  
3/16" = 1'-0" (FOR REFERENCE ONLY)



8  
A.4.3 COACH HOUSE NORTH ELEVATION  
3/16" = 1'-0" (FOR REFERENCE ONLY)

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02



GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE 2018
- REVISION OF DIMENSIONS AND LEVELS TO BE IN ACCORDANCE WITH THE DESIGNER'S DATA
- ALL MATERIALS DIMENSIONS AND LEVELS TO BE PROVIDED BY THE CONTRACTOR AND TO BE VERIFIED BY THE DESIGNER
- ALL EXISTING DIMENSIONS AND LEVELS TO BE VERIFIED BY THE CONTRACTOR AND TO BE PROVIDED BY THE DESIGNER
- ALL MATERIALS TO BE PROVIDED BY THE CONTRACTOR AND TO BE VERIFIED BY THE DESIGNER
- ALL MATERIALS TO BE PROVIDED BY THE CONTRACTOR AND TO BE VERIFIED BY THE DESIGNER
- PROVIDE A DETAILED SCHEDULE OF MATERIALS AND FINISHES TO THE DESIGNER FOR APPROVAL
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PROJECT TITLE

WALKER FINGEROTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

COACH HOUSE / PLANS + ELEVATIONS

SCALE

1/4" = 1'-0"

DRAWING NUMBER

A.4.3

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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02

GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE BOOK
- UNLESS OTHERWISE NOTED ALL STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE BOOK
- ALL EXTERIOR FINISHES AND FLOOR FINISHES SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE BOOK
- ALL EXTERIOR FINISHES AND FLOOR FINISHES SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE BOOK
- ALL EXTERIOR FINISHES AND FLOOR FINISHES SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE BOOK
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PROJECT TITLE

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1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

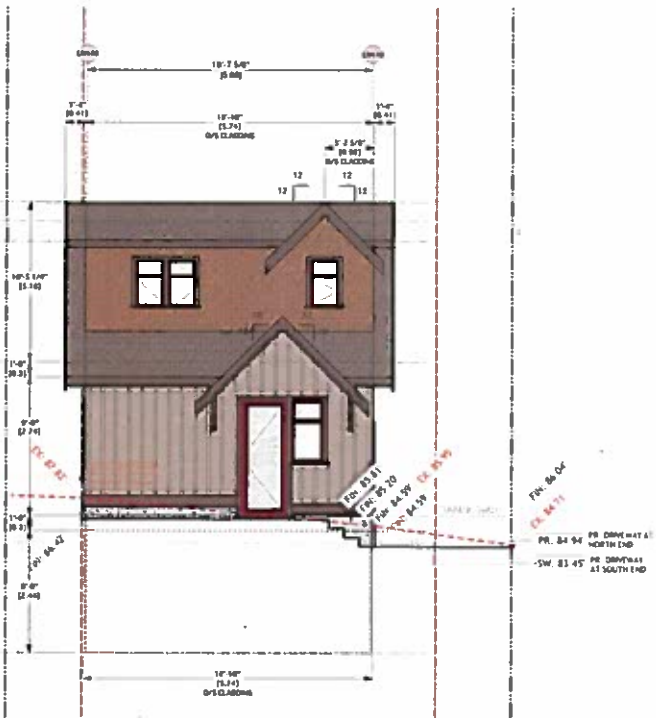
COACH HOUSE / NORTH + WEST ELEVATIONS

SCALE

1/4" = 1'-0"

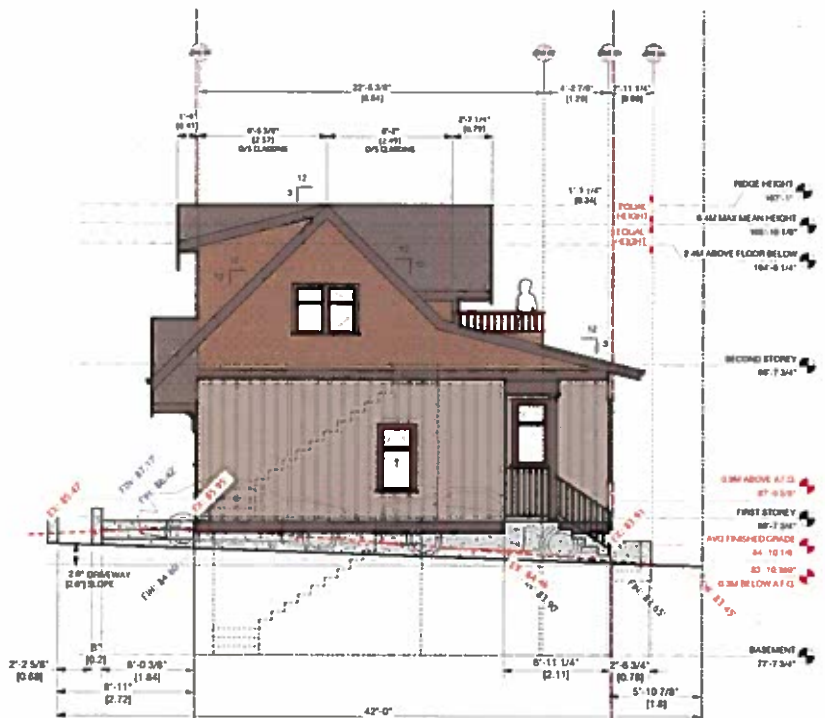
DRAWING NUMBER

A.5.0



1 NORTH ELEVATION

LIMITING DISTANCE CALCULATION		
AS PER TABLE 3.2.3.1.0 (Sprinklered Building)		
NORTH ELEVATION - COACH HOUSE		
Aggregate Area (All faces combined)	68.0	361
Max Total Area of Exposed Building Face	12.85	744.95
CALC 1		
Limiting Distance	5.75	37.31'
Area	11.05	694.95
Fire Rating	not required	
Type of Cladding	no limits	
Permitted % of glazed openings	5.13	36.77
Proposed area of glazed openings	4.41	31.58



2 WEST ELEVATION

LIMITING DISTANCE CALCULATION		
AS PER TABLE 3.2.3.1.0 (Sprinklered Building)		
WEST ELEVATION - COACH HOUSE		
Aggregate Area (All faces combined)	68.0	361
Max Total Area of Exposed Building Face	12.85	744.95
CALC 1		
Limiting Distance	5.75	37.31'
Area	11.05	694.95
Fire Rating	not required	
Type of Cladding	no limits	
Permitted % of glazed openings	5.13	36.77
Proposed area of glazed openings	4.41	31.58

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DP REVISION	2020-07-29
DP REVISION	2020-09-02

GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE 2018
- INDICATED DIMENSIONS AND NOTES ON THIS DRAWING ARE FOR INFORMATION ONLY AND NOT TO BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.
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PROJECT TITLE

WALKLEY FINGERROTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

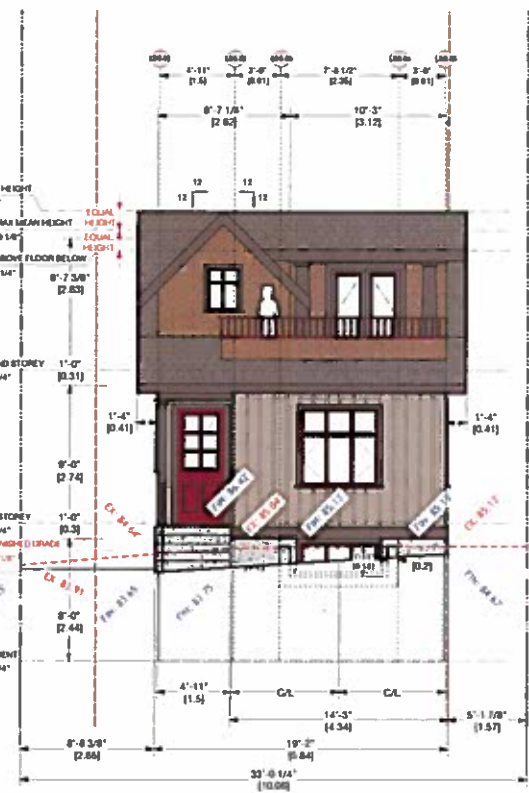
COACH HOUSE / SOUTH + EAST ELEVATIONS + FINISHES

SCALE

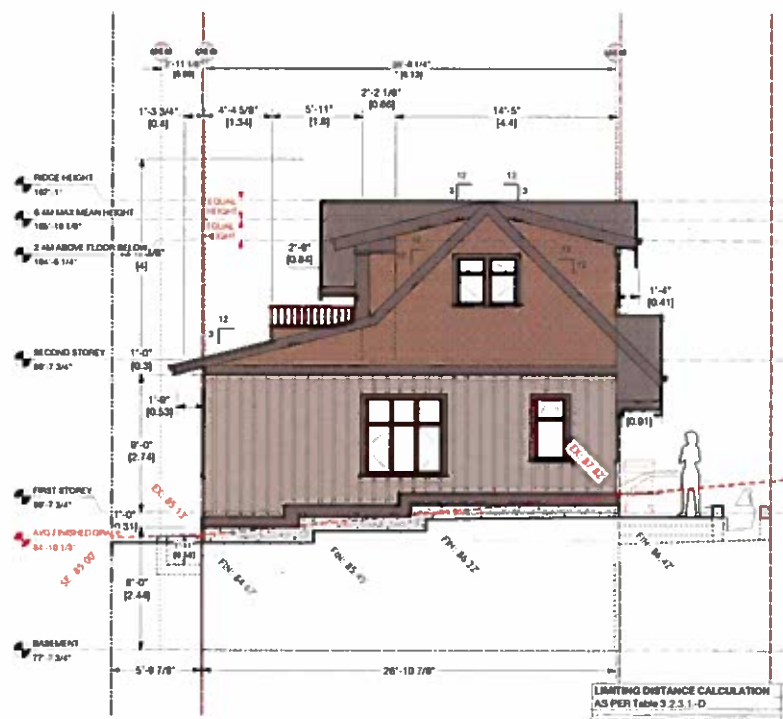
1/4"=1'-0"

DRAWING NUMBER

A.5.1



1 SOUTH ELEVATION

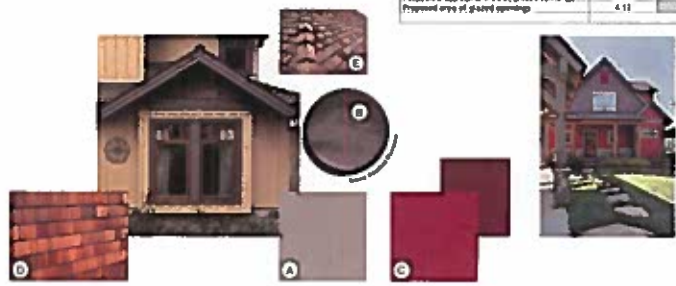


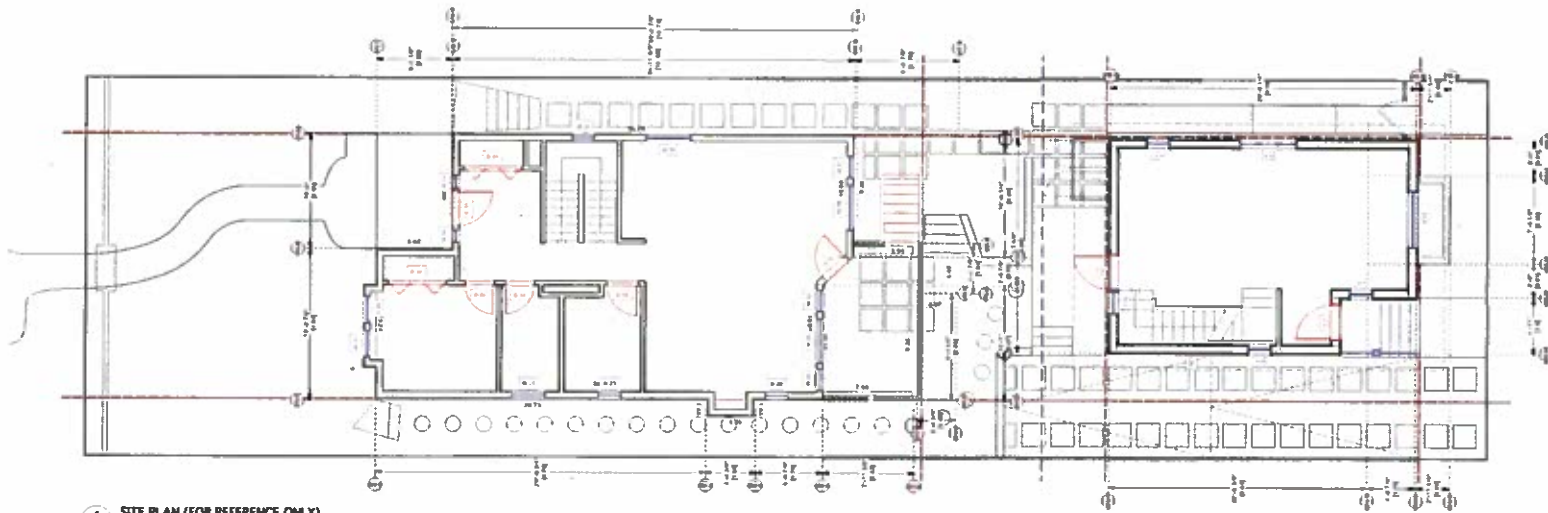
2 EAST ELEVATION

LIMITING DISTANCE CALCULATION AS PER Table 3.2.3.1 - D	
EAST ELEVATION - COACH HOUSE	
Aggregate Area (all faces combined) (see Total Area of Exposed Building Face)	41.21
Limiting Distance	1.57
Area of area fire resistance rating	not required
Type of cladding	no limits
Percentage of glazed openings	6.59
Percentage aggregate area of glazed openings	4.11

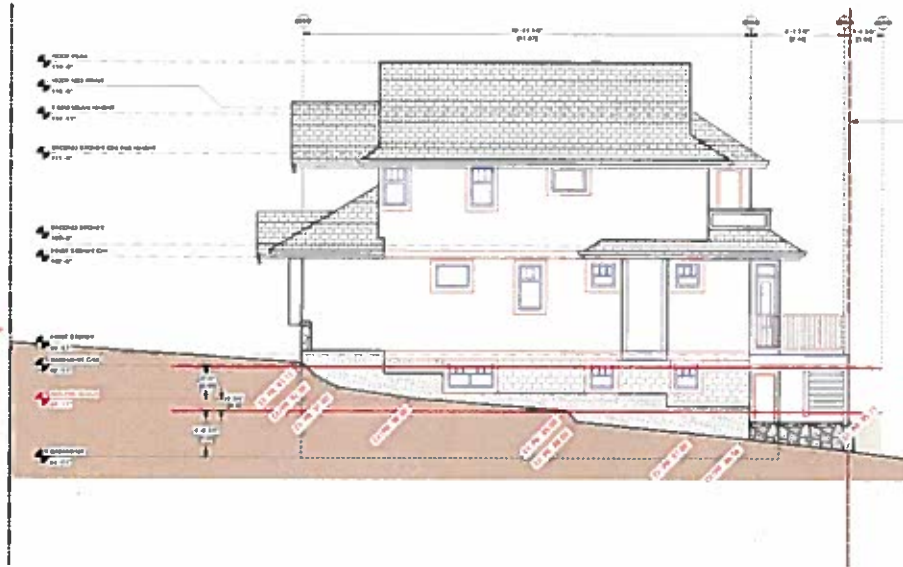
LIMITING DISTANCE CALCULATION AS PER Table 3.2.3.1 - D	
SOUTH ELEVATION - COACH HOUSE	
Aggregate Area (all faces combined) (see Total Area of Exposed Building Face)	41.21
Limiting Distance	1.57
Area of area fire resistance rating	not required
Type of cladding	no limits
Percentage of glazed openings	6.59
Percentage aggregate area of glazed openings	4.11

- (A) LOWER SIDING: WARM GREY (25%) BOARD AND BATTEN SIDING
- (B) PAINTED TRIM: RESENE BLEACHED RIVERSTONE
- (C) WINDOW FRAME (ONLY) + DOORS: [Color swatch]
- (D) UPPER SIDING: NATURAL STAIN CEDAR SHINGLES
- (E) ROOF: NATURAL STAIN CEDAR SHINGLES

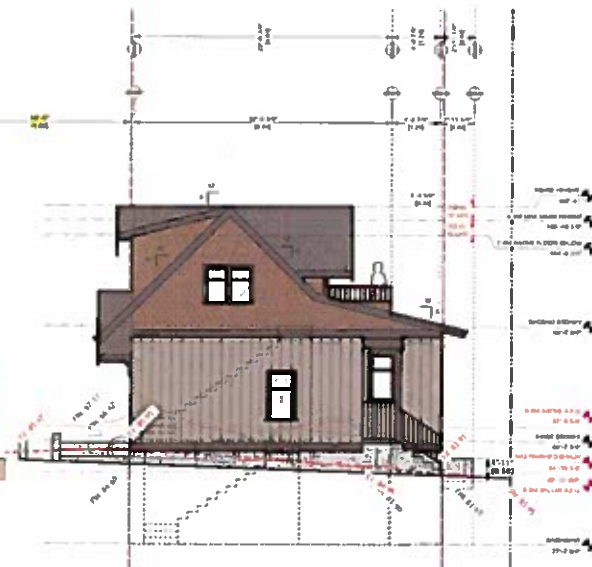




1 SITE PLAN (FOR REFERENCE ONLY)  
3/16" = 1'-0"



2 WEST ELEVATION EXISTING HOUSE + PROPOSED COACH HOUSE  
3/16" = 1'-0"



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ISSUE RECORD:	DATE:
DP SUBMISSION	2019-08-12
DP REVISION	2020-02-14
DP REVISION	2020-07-29
DP REVISION	2020-09-02

GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE.
2. VERIFY ALL DIMENSIONS AND LOCATIONS ARE ACCURATE AND AS SHOWN ON THE DRAWINGS AND FIELD SURVEY DATA.
3. ALL EXISTING DIMENSIONS AND LOCATIONS TO REMAIN UNLESS OTHERWISE NOTED.
4. ALL EXISTING DIMENSIONS ARE FROM INTERIOR TO INTERIOR UNLESS OTHERWISE NOTED.
5. ALL EXISTING DIMENSIONS ARE FROM INTERIOR TO INTERIOR UNLESS OTHERWISE NOTED.
6. ALL EXISTING DIMENSIONS ARE FROM INTERIOR TO INTERIOR UNLESS OTHERWISE NOTED.
7. VERIFY A COPY OF ALL EXISTING DIMENSIONS AND LOCATIONS ARE ACCURATE AND AS SHOWN ON THE DRAWINGS AND FIELD SURVEY DATA.
8. ALL EXISTING DIMENSIONS ARE FROM INTERIOR TO INTERIOR UNLESS OTHERWISE NOTED.
9. VERIFY A COPY OF ALL EXISTING DIMENSIONS AND LOCATIONS ARE ACCURATE AND AS SHOWN ON THE DRAWINGS AND FIELD SURVEY DATA.
10. VERIFY A COPY OF ALL EXISTING DIMENSIONS AND LOCATIONS ARE ACCURATE AND AS SHOWN ON THE DRAWINGS AND FIELD SURVEY DATA.
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13. VERIFY A COPY OF ALL EXISTING DIMENSIONS AND LOCATIONS ARE ACCURATE AND AS SHOWN ON THE DRAWINGS AND FIELD SURVEY DATA.



PROJECT TITLE  
**WALKEY FINGEROTE RESIDENCE**  
 1184 DUCHESS AVE  
 WEST VANCOUVER V7T 1H2

JOB NUMBER  
**P1012**

DRAWING TITLE  
**COACH HOUSE / WEST ELEVATION HOUSE + COACH HOUSE CONTEXT**

SCALE  
**1/4" = 1'-0"**

DRAWING NUMBER  
**A.5.2**

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ISSUE RECORD:	DATE
DP SUBMISSION	2019-06-12
DP REVISION	2020-02-10
DP REVISION	2020-07-29
DP REVISION	2020-09-02

**GENERAL NOTES:**

- All work to be done in accordance to the BC Building Code.
- Verify all dimensions and levels on site before starting work.
- All structural elements and loads to be checked with the local authority.
- All structural elements and loads to be checked with the local authority.
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**PROJECT TITLE**

WALKER FINGEROTE RESIDENCE  
1184 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

**JOB NUMBER**

P1812

**DRAWING TITLE**

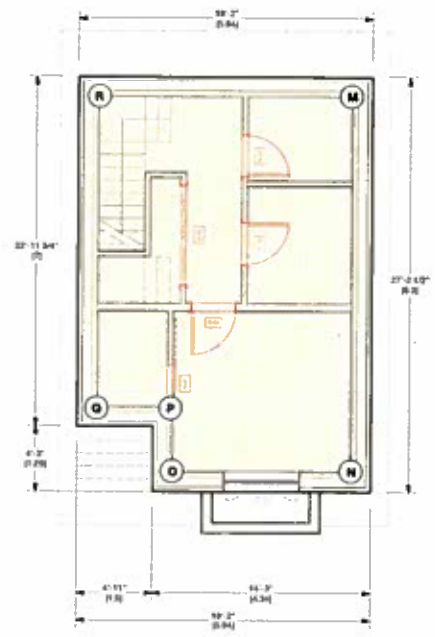
COACH HOUSE NATURAL & FINISHED GRADE

**SCALE**

1/4"=1'-0"

**DRAWING NUMBER**

**A.5.3**



FINISHED GRADE CALCULATIONS			
ELEVATION	#	LENGTH (FT)	TOTAL
M N 86.42 + 84.87 + 2	2	37.23	2,326.53
N O 85.65 + 83.75 + 2	2	14.25	2,190.00
O P 83.75 + 83.82 + 2	2	4.34	395.25
P Q 83.82 + 82.90 + 2	2	4.92	412.59
Q R 82.90 + 84.99 + 2	2	22.98	1,935.99
R M 84.99 + 84.82 + 2	2	19.16	1,628.28
<b>TOTAL</b>		<b>92.77</b>	<b>7,878.59</b>
AVERAGE FINISHED GRADE = 7,882.56 / 92.77 =			84.97 FEET

NATURAL GRADE CALCULATIONS			
ELEVATION	#	LENGTH (FT)	TOTAL
64-N 87.97 + 85.11 + 2	2	27.23	2,515.09
N O 85.11 + 85.90 + 2	2	14.25	1,212.39
O P 85.90 + 84.87 + 2	2	4.34	368.19
P Q 84.87 + 84.78 + 2	2	4.92	415.14
Q R 84.78 + 86.11 + 2	2	22.98	1,964.98
R M 86.11 + 87.97 + 2	2	19.16	1,669.68
<b>TOTAL</b>		<b>92.77</b>	<b>7,905.11</b>
AVERAGE NATURAL GRADE = 7,908.11 / 92.77 =			84.92 FEET

**PLAN VIEW COACH HOUSE**



**W1**

COACH HOUSE - PROPOSED BELOW GRADE FOUNDATION WALL DETAIL

	RSI	R VALUE
1 PB DRUMPLE MEMBRANE	0.00	0.00
2 PB REINFORCING 3 LAYERS OF FAB FABRY	0.00	0.00
3 PB 5/8" ICE BROW	2.11	17.00
4 PB 6" CP CONCRETE	0.31	4.10
5 PB 2 5/8" ICE BROW	2.11	17.00
6 PB SHEATHING 1/2"	0.00	0.00
7 PB 1/2" DRYPWALL	0.08	0.65
8 INTERIOR AIR FILM	0.12	0.60
<b>TOTAL PROVIDED RSI &amp; R-VALUE</b>	<b>4.84</b>	<b>27.51</b>

**W2**

COACH HOUSE - PROPOSED WALL DETAIL

	RSI	R VALUE
1 HARDIE BOARD 1/2"	0.00	0.00
2 AIR GAP - 1/2"	0.00	0.00
3 BUILDING WRAP VAPOR PERMEABLE (A-D) 8 3/4"	0.00	0.00
4 SHEATHING 1/2"	0.10	0.81
5 PB 2 3/4" WOOD STUD FINISHING 16 O.C. (MAX HEIGHT 8'2")	4.93	38.00
6 SHEATHING 1/2"	0.00	0.00
7 SHEET ROCK (5/8" & 1/2")	0.00	0.00
8 GYPHUM BOARD 1/2"	0.00	0.41
<b>TOTAL PROVIDED RSI &amp; R-VALUE</b>	<b>5.11</b>	<b>29.06</b>

**F1**

COACH HOUSE - PROPOSED BASEMENT SLAB

	RSI	R VALUE
1 PB FINISH FLOOR 1"	0.00	0.00
2 WAFLOOR TEG 5/8"	0.00	0.41
3 PB 4" CONCRETE SLAB W/ WOOD RADIANT HEATING	0.13	0.60
4 PB 2" 1/2" RIGID INSULATION (4" PER INCH)	1.82	14.00
5 PB 6" EPS POLY	3.93	17.21

**F2**

COACH HOUSE - PROPOSED MAIN & UPPER FLOOR (OUND INSULATED)

1 PB FINISH FLOOR		
2 PB 5/8" TEG SHEATHING		
3 PB 2 1/8 JOISTS @ 16 O.C. W/ RIGID INSULATION		
4 PB 1/2" GYPHUM WALLBOARD		

**F3**

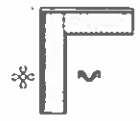
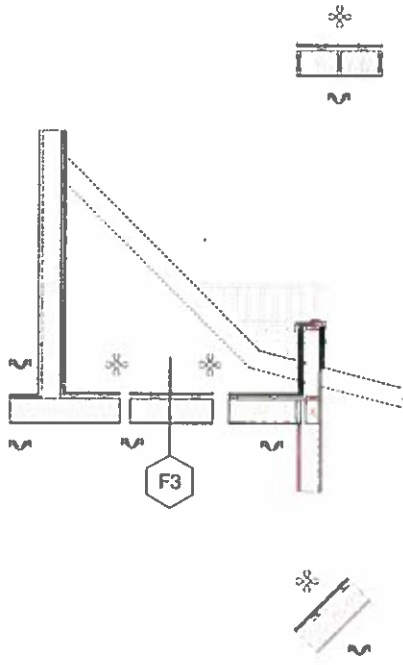
COACH HOUSE - PROPOSED DECK FLOOR OVER LIVING SPACE

	RSI	R VALUE
1 EXTERIOR AIR FILM	0.03	0.17
2 PB TOUCH ON BASE D CAP (PB RL) / W/ W/ BEE (2X4) (MAX HEIGHT)	0.00	0.00
3 PB 5/8" TEG SHEATHING	0.10	0.81
4 PB 2 1/8" (2X4) JOISTS	0.00	0.00
5 PB 2 1/8 WOOD JOISTS @ 16" O.C. W/ RIGID BATT INSULATION	4.93	38.00
6 PB SHE POLY	0.00	0.00
7 PB 1/2" DRYPWALL	0.08	0.65
8 INTERIOR AIR FILM	0.12	0.60
<b>TOTAL PROVIDED RSI &amp; R-VALUE</b>	<b>5.98</b>	<b>29.91</b>

**R1**

R1 COACH HOUSE - PROPOSED VAULTED ROOF W/ CEDAR SHINGLES

	RSI	R VALUE
1 EXTERIOR AIR FILM	0.03	0.17
2 CEDAR SHINGLES ROOF	0.00	0.00
3 ROOFING MEMBRANE	0.00	0.00
4 PB 1/2" PLYWOOD SHEATHING	0.10	0.81
5 PB 2 1/8 CROSS PILING	0.00	0.00
6 PB 2 1/8 WOOD JOISTS @ 16" O.C. W/ RIGID BATT INSULATION	4.93	38.00
7 PB SHE POLY	0.00	0.00
8 PB 1/2" DRYPWALL	0.08	0.65
9 INTERIOR AIR FILM	0.12	0.60
<b>TOTAL PROVIDED RSI &amp; R-VALUE</b>	<b>5.18</b>	<b>29.46</b>



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ISSUE RECORD:

DATE	DESCRIPTION
2019-06-12	DP SUBMISSION
2020-02-14	DP REVISION
2020-07-29	DP REVISION
2020-09-02	DP REVISION

GENERAL NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE 2018.
- ALL WORK TO BE DONE IN ACCORDANCE TO THE BC BUILDING CODE 2018.
- ALL MATERIALS AND TRADES TO BE PROVIDED BY THE CONTRACTOR AND TO BE SUBJECT TO INSPECTION BY THE DESIGNER.
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PROJECT TITLE

WALKER FINGERHOTE RESIDENCE  
1186 DUCHESS AVE  
WEST VANCOUVER V7T 1H2

JOB NUMBER

P1812

DRAWING TITLE

DETAILS

SCALE

1/4"=1'-0"

DRAWING NUMBER

A7.0



District of West Vancouver

APPENDIX C

**Zoning Bylaw  
Bylaw No. 4662, 2010,  
Amendment Bylaw No. 5087, 2020  
(1186 Duchess Avenue)**

Effective Date:

# Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5087, 2020

## Table of Contents

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Part 1	Citation .....	1
Part 2	Severability .....	1
Part 3	Zoning Bylaw Amendments.....	1
Part 4	Offence and Penalty.....	2

District of West Vancouver

## **Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5087, 2020**

A bylaw to amend the maximum floor area ratio within the RD1 zone to facilitate an infill detached secondary suite at 1186 Duchess Avenue

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4861, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068 and 5065.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide an amendment to the zoning bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

### **Part 1 Citation**

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5087, 2020

### **Part 2 Severability**

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

### **Part 3 Zoning Bylaw Amendments**

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 251 (Duplex Dwelling Zone 1) is hereby amended by adding the following text under Section 251.06(3):

(4) Notwithstanding Section 251.06(3), additional floor area permitted for an infill detached secondary suite shall be allowed as follows for the following property:

Legal Description	Civic Address	Maximum Detached Secondary Suite Floor Area
PID 012-867-756; Lot 3, Block 10, District Lot 237, Plan 3459	1186 Duchess Avenue	71.1 m <sup>2</sup>

## Part 4 Offence and Penalty

- 4.1 Every person who violates a provision of this bylaw, or who consents, allows or permits an act or thing to be done in violation of a provision of this bylaw, or who neglects to or refrains from doing anything required to be done by a provision of this bylaw, is guilty of an offence and is liable to the penalties imposed under this bylaw, and is guilty of a separate offence each day that a violation continues to exist.
- 4.2 Every person who commits an offence is liable on summary conviction to a fine or to imprisonment, or to both a fine and imprisonment, not exceeding the maximum allowed by the *Offence Act*.

READ A FIRST TIME on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

ADOPTED by the Council on

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Corporate Officer

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