

# New Residence

*Address: 4841 The Dale, West Vancouver, B.C.  
August 6, 2021*

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy

A-0.0	Title Sheet - Drawing Legend	-
A-2.0	Site Plan - Calculations	1/8" = 1'-0"
A-3.0	Lower Floor Plan	1/4" = 1'-0"
A-3.1	Main Floor Plan	1/4" = 1'-0"
A-3.1	Upper Floor Plan	1/4" = 1'-0"
A-3.3	Roof Plan	1/4" = 1'-0"
A-3.4	Garage Plans	1/4" = 1'-0"
A-4.0	South Elevation	1/4" = 1'-0"
A-4.1	East Elevation	1/4" = 1'-0"
A-4.2	North Elevation	1/4" = 1'-0"
A-4.3	West Elevation	1/4" = 1'-0"
A-4.4	Garage Elevations	1/4" = 1'-0"
A-5.0	Section	1/4" = 1'-0"
A-5.1	Section	1/4" = 1'-0"
A-5.2	Section	1/4" = 1'-0"
A-5.3	Garage Sections	1/4" = 1'-0"

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Title sheet

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

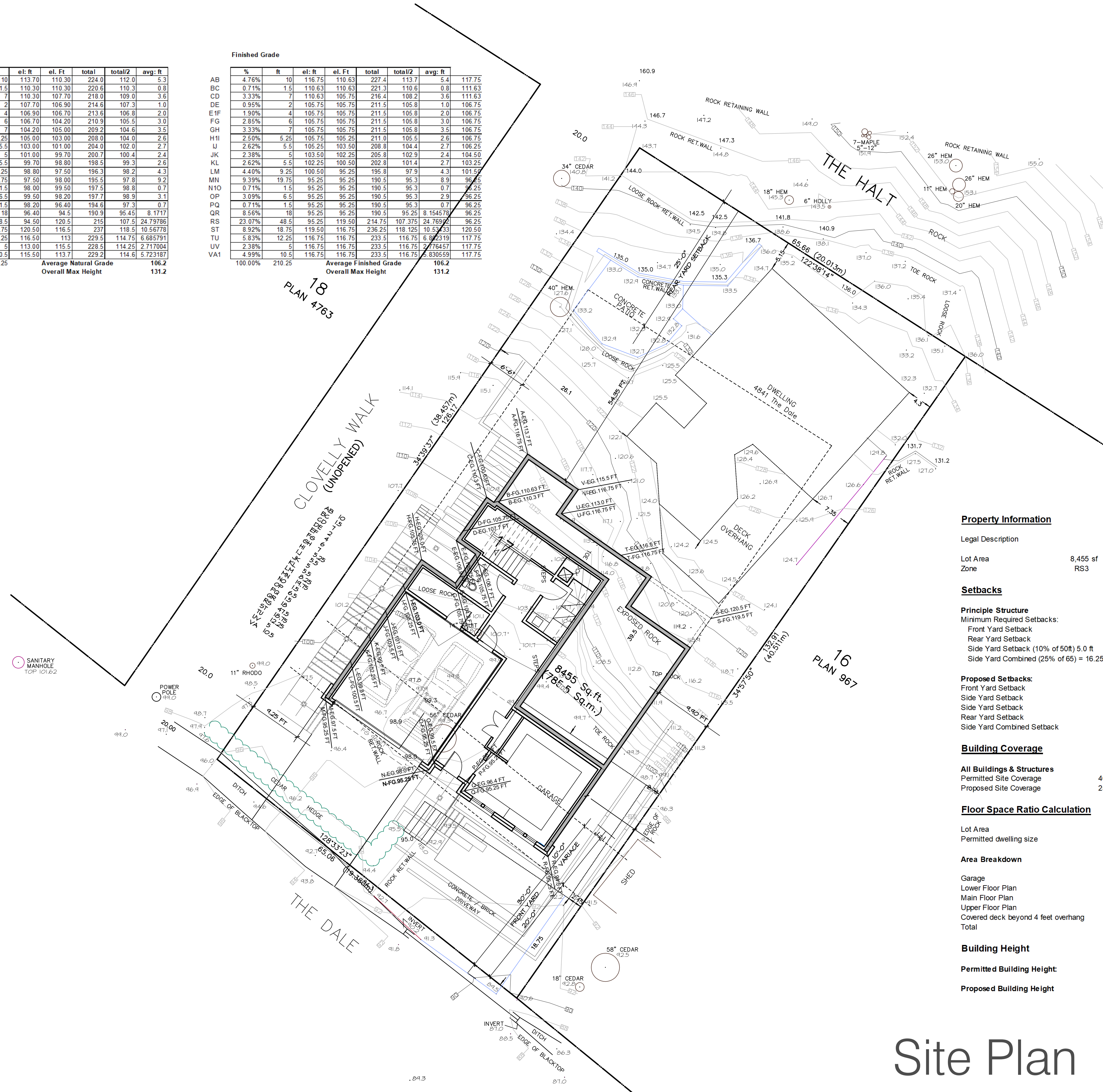
July 12, 2021  
Revisions to Capture Energy

**Natural Grade**

	%	ft	el. ft	el. Ft	total	total/2	avg. ft
AB	4.76%	10	113.70	110.30	224.0	112.0	5.3
BC	0.71%	1.5	110.30	110.30	220.6	110.3	0.8
CD	3.33%	7	110.30	107.70	218.0	109.0	3.6
DE	0.96%	2	107.70	106.90	214.6	107.3	1.0
EF	1.90%	4	106.90	106.70	213.6	106.8	2.0
FG	2.85%	6	106.70	104.20	210.9	105.5	3.0
GH	3.33%	7	104.20	105.00	209.2	104.6	3.5
HI	2.50%	5.25	105.00	103.00	208.0	104.0	2.6
IJ	2.62%	5.5	103.00	101.00	204.0	102.0	2.7
JK	2.38%	5	101.00	99.70	200.7	100.4	2.4
KL	2.62%	5.5	99.70	98.80	198.5	99.3	2.6
LM	4.40%	9.25	98.80	97.50	196.3	98.2	4.3
MN	9.39%	19.75	97.50	98.00	195.5	97.8	9.2
NO	0.71%	1.5	98.00	99.50	197.5	98.8	0.7
OP	3.09%	6.5	99.50	98.20	197.7	98.9	3.1
PQ	0.71%	1.5	98.20	96.40	194.6	97.3	0.7
QR	8.56%	18	96.40	94.5	190.9	95.45	8.17
RS	23.07%	48.5	94.50	120.5	215	107.5	24.79
ST	8.92%	18.75	120.50	116.5	237	118.5	10.56
TU	5.83%	12.25	116.50	113	229.5	114.75	6.68
UV	2.38%	5	113.00	115.5	228.5	114.25	2.71
VA	4.99%	10.5	115.50	113.7	229.2	114.6	5.72
			<b>Average Natural Grade</b>		<b>106.2</b>		
			<b>Overall Max Height</b>		<b>131.2</b>		

**Finished Grade**

	%	ft	el. ft	el. Ft	total	total/2	avg. ft
AB	4.76%	10	116.75	110.63	227.4	113.7	5.4
BC	0.71%	1.5	110.63	110.63	221.3	110.6	0.8
CD	3.33%	7	110.63	105.75	216.4	108.2	3.6
DE	0.96%	2	105.75	105.75	211.5	105.8	1.0
E1F	1.90%	4	105.75	105.75	211.5	105.8	2.0
FG	2.85%	6	105.75	105.75	211.5	105.8	3.0
GH	3.33%	7	105.75	105.75	211.5	105.8	3.5
HI	2.50%	5.25	105.75	105.25	211.0	105.5	2.6
IJ	2.62%	5.5	105.25	103.50	208.8	104.4	2.7
JK	2.38%	5	103.50	102.25	205.8	102.9	2.4
KL	2.62%	5.5	102.25	100.50	202.8	101.4	2.7
LM	4.40%	9.25	100.50	95.25	195.8	97.9	4.3
MN	9.39%	19.75	95.25	95.25	190.5	95.3	8.9
NO	0.71%	1.5	95.25	95.25	190.5	95.3	0.7
OP	3.09%	6.5	95.25	95.25	190.5	95.3	2.9
PQ	0.71%	1.5	95.25	95.25	190.5	95.3	0.7
QR	8.56%	18	95.25	95.25	190.5	95.25	8.16
RS	23.07%	48.5	95.25	119.50	214.75	107.375	24.76
ST	8.92%	18.75	119.50	116.75	236.25	118.125	10.53
TU	5.83%	12.25	116.75	116.75	233.5	116.75	6.82
UV	2.38%	5	116.75	116.75	233.5	116.75	2.76
VA1	4.99%	10.5	116.75	116.75	233.5	116.75	5.83
			<b>Average Finished Grade</b>		<b>106.2</b>		
			<b>Overall Max Height</b>		<b>131.2</b>		



**Property Information**

Legal Description

Lot Area 8,455 sf  
Zone RS3

**Setbacks**

**Principle Structure**  
Minimum Required Setbacks:  
Front Yard Setback 30.00 ft  
Rear Yard Setback 30.00 ft  
Side Yard Setback (10% of 50ft) 5.0 ft  
Side Yard Combined (25% of 65) = 16.25 ft

**Proposed Setbacks:**  
Front Yard Setback 25.00 ft  
Side Yard Setback 6.50 ft  
Side Yard Setback 9.90 ft  
Rear Yard Setback 36.00 ft  
Side Yard Combined Setback 16.40 ft

**Building Coverage**

**All Buildings & Structures**  
Permitted Site Coverage 40% 3,382 sf  
Proposed Site Coverage 25% 2,091 sf

**Floor Space Ratio Calculation**

Lot Area 8,455 sf  
Permitted dwelling size 2,959 sf

**Area Breakdown**

	Gross	FSR
Garage	472 sf	0 sf
Lower Floor Plan	933 sf	0 sf
Main Floor Plan	1,416 sf	1,416 sf
Upper Floor Plan	1,543 sf	1,543 sf
Covered deck beyond 4 feet overhang	0 sf	0 sf
<b>Total</b>	<b>3,892 sf</b>	<b>2,959.0 sf</b>

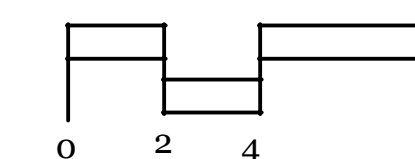
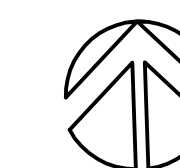
**Building Height**

Permitted Building Height 25 ft  
Proposed Building Height 24.19 ft

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

**Site Plan**

Site Plan



A-2.0

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants


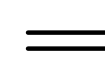
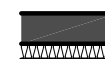

July 12, 2021  
Revisions to Capture Energy

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Lower Floor

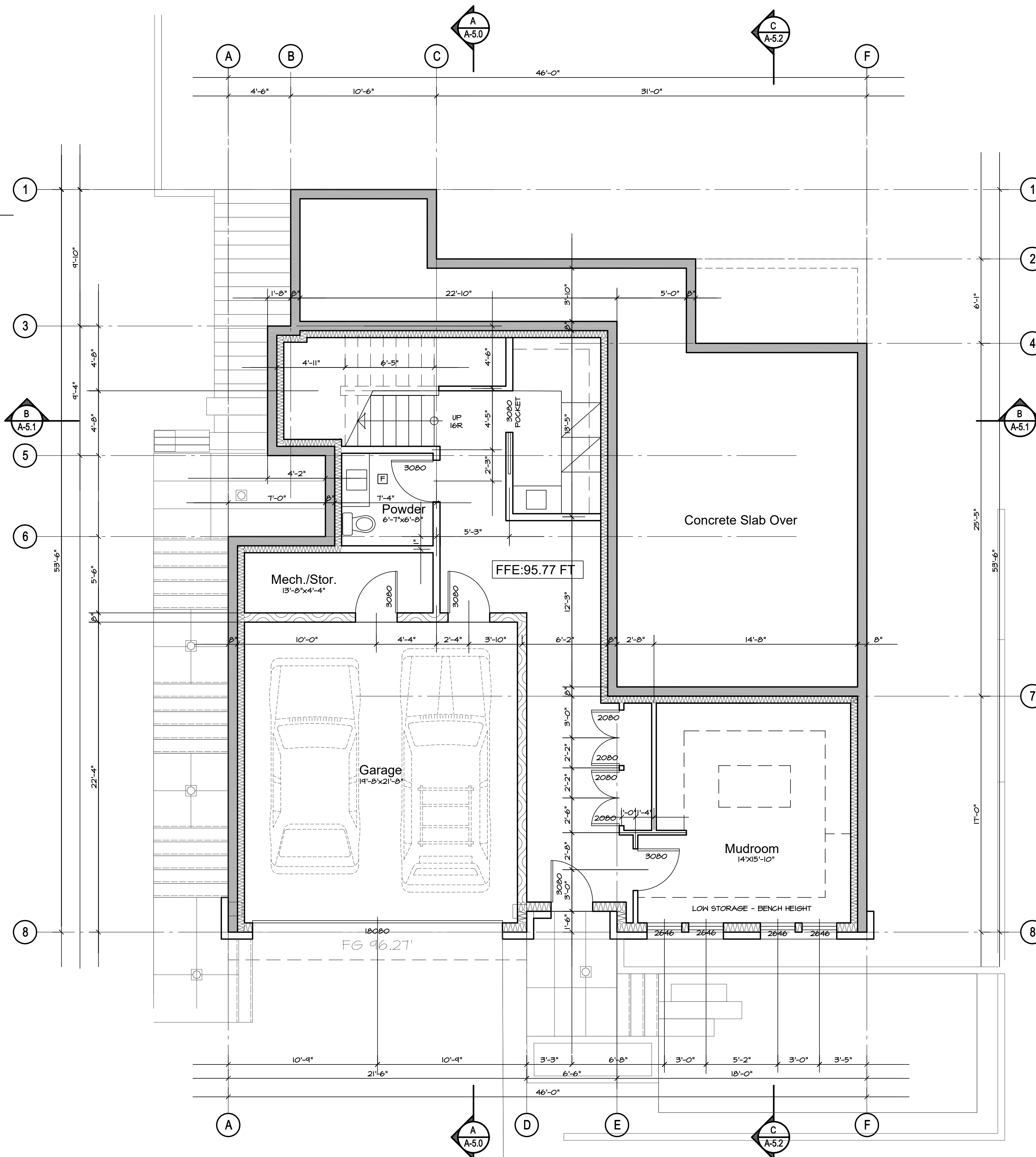
Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

### Wall Legend

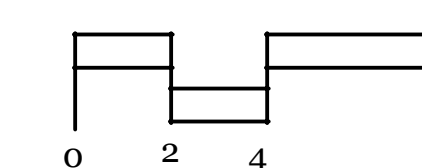
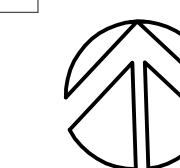
-  TYPICAL EXTERIOR WALL ASSEMBLY  
SIDEWALL SHINGLES (REBUTTED #1 GRADE, DIPPED WITH 2 COATS STAIN PRIOR TO INSTALLATION)  
RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION)  
2 LAYERS OF 30MIN BLDG. PAPER  
1/2" PLYWOOD SHEATHING  
2X8 STUDS @ 24" O.C., AS PER STRUCTURAL  
R28 BATT INSULATION AND 6 MIL FLY VAPOUR BARRIER  
1.2" GYPSUM BOARD
-  INTERIOR PARTITION WALL  
1/2" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS U.N.O. AT 16" O.C. (REFER TO STRUCT. DWGS.)
-  CRAWLSPACE:  
PROVIDE R12 RIGID INSULATION ON INTERIOR SIDE OF PERIMETER FOUNDATION WALL TO MIN 2'-0" BELOW GRADE
-  INSULATED INTERIOR WALL  
5/8" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS AT 16" O.C. (REFER TO STRUCT. DWGS.) R14 BATT INSULATION

### Notes

- ALL EXTERIOR WALLS DIMENSIONED TO FACE OF CONCRETE AND PLYWOOD SHEATHING
- ALL INTERIOR WALLS DIMENSIONED TO CENTRE LINE OF WALLS
- ALL WINDOWS & DOORS DIMENSIONED TO CENTRE LINE
- FOR SHEAR WALL LOCATIONS REFER TO STRUCT. DWGS.



Lower Floor ~ Proposed



A-3.0

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants


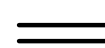


July 12, 2021  
Revisions to Capture Energy

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Main Floor

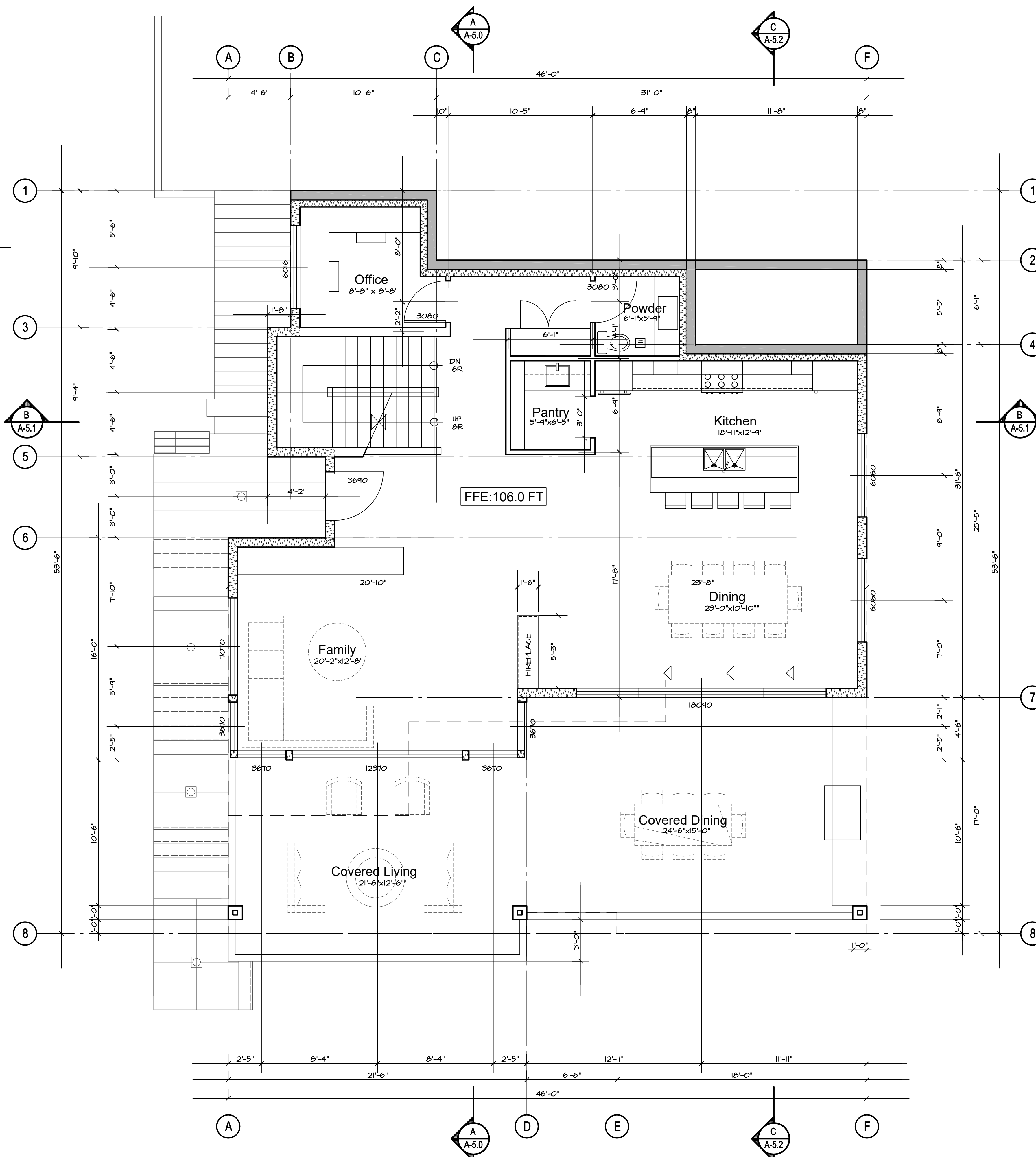
Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

### Wall Legend

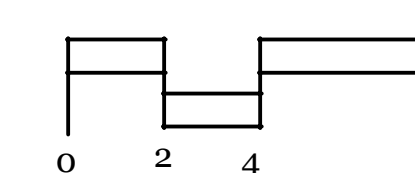
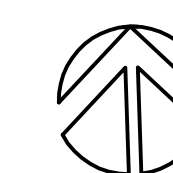
-  TYPICAL EXTERIOR WALL ASSEMBLY  
SIDEWALL SHINGLES (REBUTTED #1 GRADE, DIPPED WITH 2 COATS STAIN PRIOR TO INSTALLATION)  
RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION)  
2 LAYERS OF 30MIN BLDG. PAPER  
1/2" PLYWOOD SHEATHING  
2x8 STUDS @ 24" O.C., AS PER STRUCTURAL  
R28 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER  
1.2" GYPSUM BOARD
-  INTERIOR PARTITION WALL  
1/2" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS U.N.O. AT 16" O.C. (REFER TO STRUCT. DWGS.)
-  CRAWLSPACE:  
PROVIDE R12 RIGID INSULATION ON INTERIOR SIDE OF PERIMETER FOUNDATION WALL TO MIN 2'-0" BELOW GRADE
-  INSULATED INTERIOR WALL  
5/8" GYPSUM WALLBOARD PAINTED BOTH SIDES OF 2 X 4" STUDS AT 16" O.C. (REFER TO STRUCT. DWGS.) R14 BATT INSULATION

### Notes

- ALL EXTERIOR WALLS DIMENSIONED TO FACE OF CONCRETE AND PLYWOOD SHEATHING
- ALL INTERIOR WALLS DIMENSIONED TO CENTRE LINE OF WALLS
- ALL WINDOWS & DOORS DIMENSIONED TO CENTRE LINE
- FOR SHEAR WALL LOCATIONS REFER TO STRUCT. DWGS.



# Main Floor ~ Proposed



A-3.1

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy

### Wall Legend

**TTTTTT** TYPICAL EXTERIOR WALL ASSEMBLY

SIDEWALL SHINGLES (REBUTTED #1 GRADE,  
DIPPED WITH 2 COATS STAIN PRIOR TO  
INSTALLATION)  
RAINSCREEN AS PER CONSULTANT APPROVED  
DETAILS (PROVIDE MOCKUP ON SITE PRIOR  
TO PROCEEDING WITH INSTALLATION)  
2 LAYERS OF 30MIN BLDG. PAPER  
1/2" PLYWOOD SHEATHING  
2X8 STUDS @ 24" O.C., AS PER STRUCTURAL  
R22 BATT INSULATION AND 6 MIL PLY  
VAPOUR BARRIER  
1.2" GYPSUM BOARD

**=====** INTERIOR PARTITION WALL

1/2" GYPSUM WALLBOARD PAINTED BOTH SIDES OF  
2 X 4" STUDS U.N.O. AT 16" O.C. (REFER TO STRUCT. DWGS.)

**|||||** CRAWLSPACE:

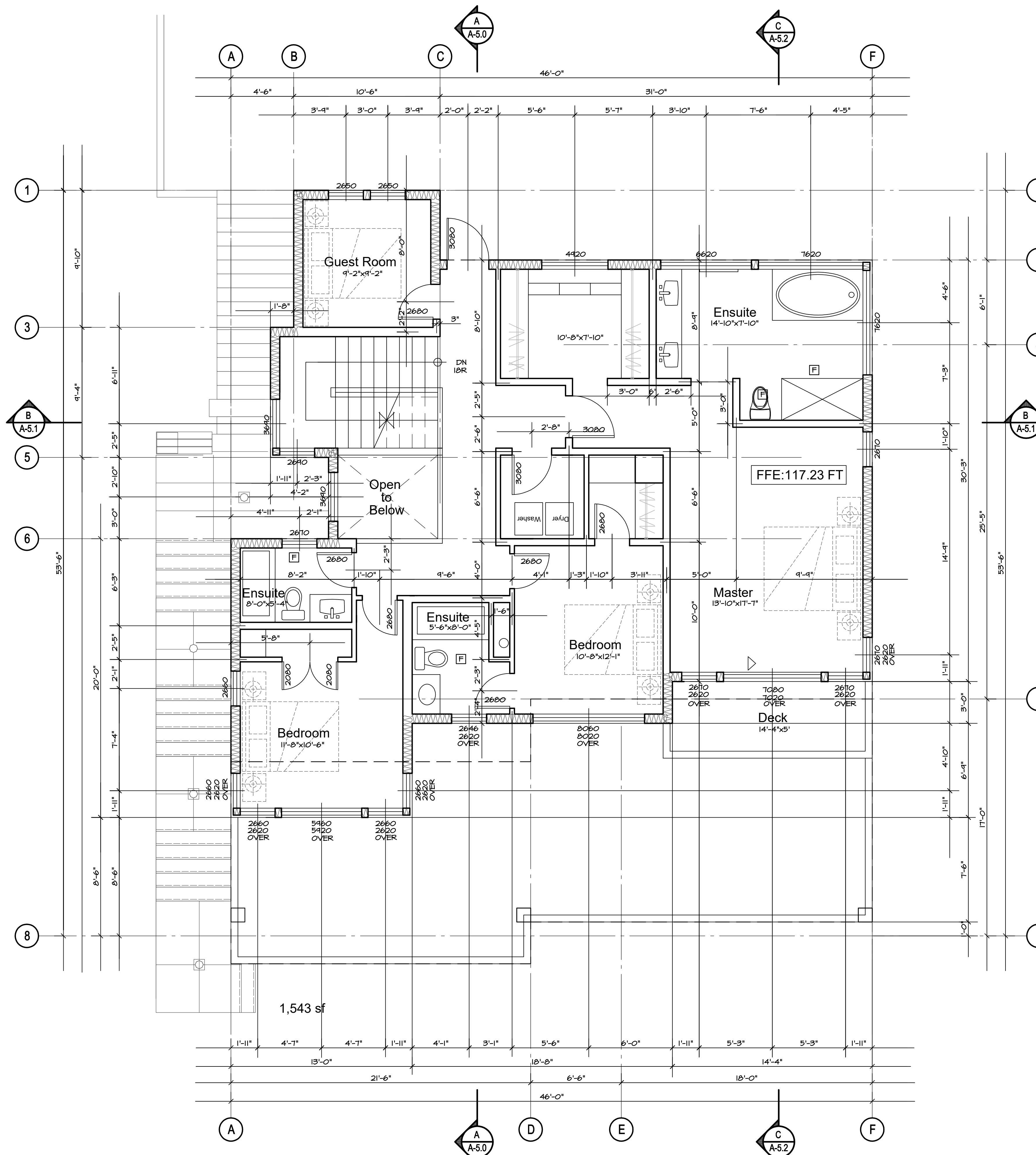
PROVIDE R12 RIGID INSULATION ON INTERIOR  
SIDE OF PERIMETER FOUNDATION WALL.  
TO MIN 2'-0" BELOW GRADE

**=====** INSULATED INTERIOR WALL

5/8" GYPSUM WALLBOARD PAINTED BOTH SIDES OF  
2 X 4" STUDS AT 16" O.C. (REFER TO STRUCT. DWGS.)  
R14 BATT INSULATION

#### Notes

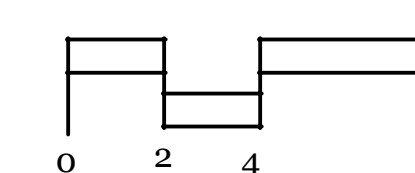
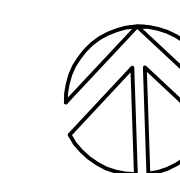
ALL EXTERIOR WALLS DIMENSIONED TO FACE OF  
CONCRETE AND PLYWOOD SHEATHING  
ALL INTERIOR WALLS DIMENSIONED TO CENTRE  
LINE OF WALLS  
ALL WINDOWS & DOORS DIMENSIONED TO CENTRE LINE  
FOR SHEAR WALL LOCATIONS REFER TO STRUCT. DWGS.



**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Upper Floor

# Upper Floor ~ Proposed



A-3.2

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number



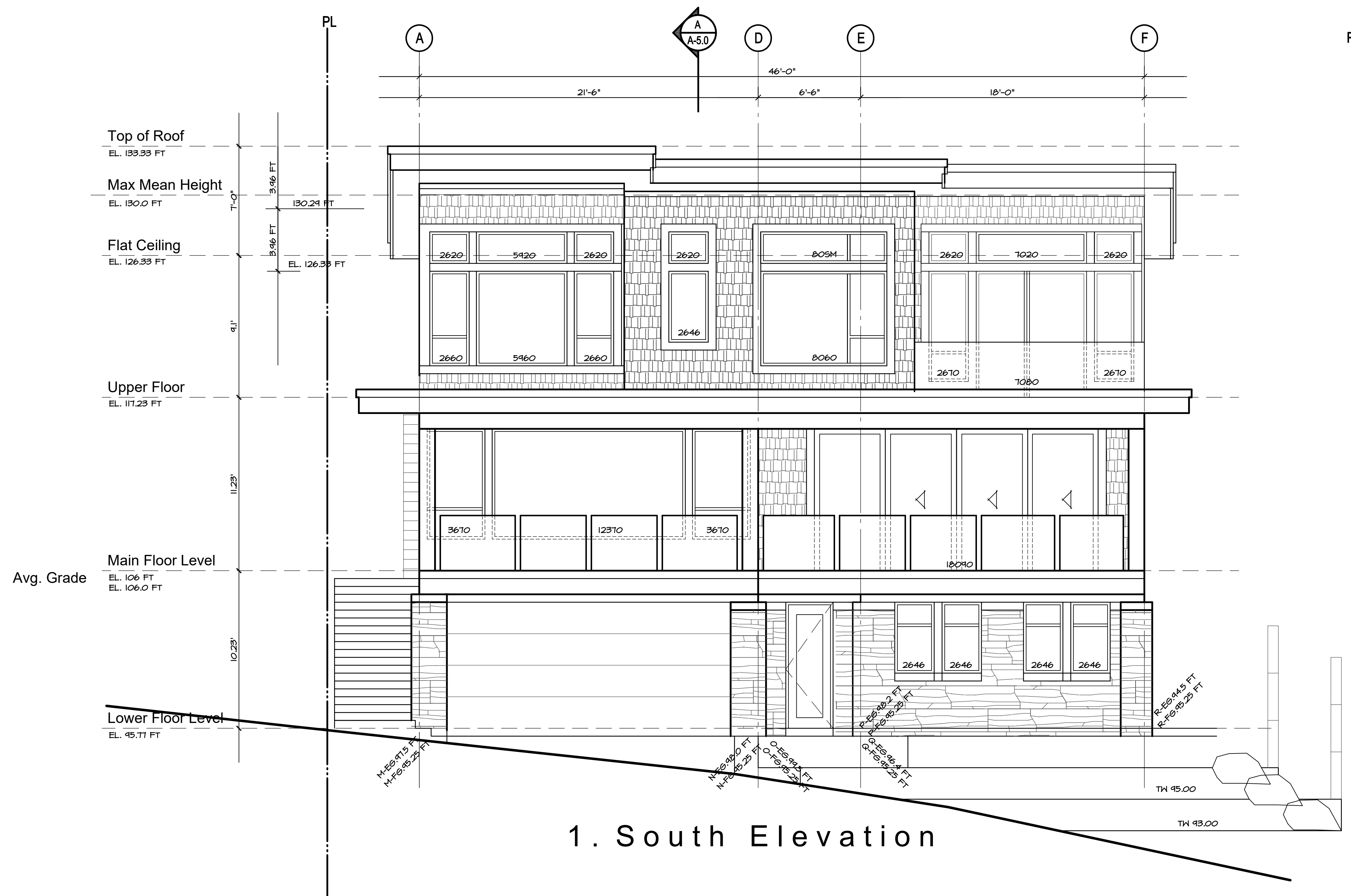
October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Elevation



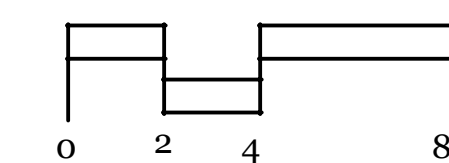
1. South Elevation

**Exterior Finish Legend**

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Powercoated Aluminum and Glass	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD			Window Trims	1 X 6 Hardie - Smooth

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

Elevation

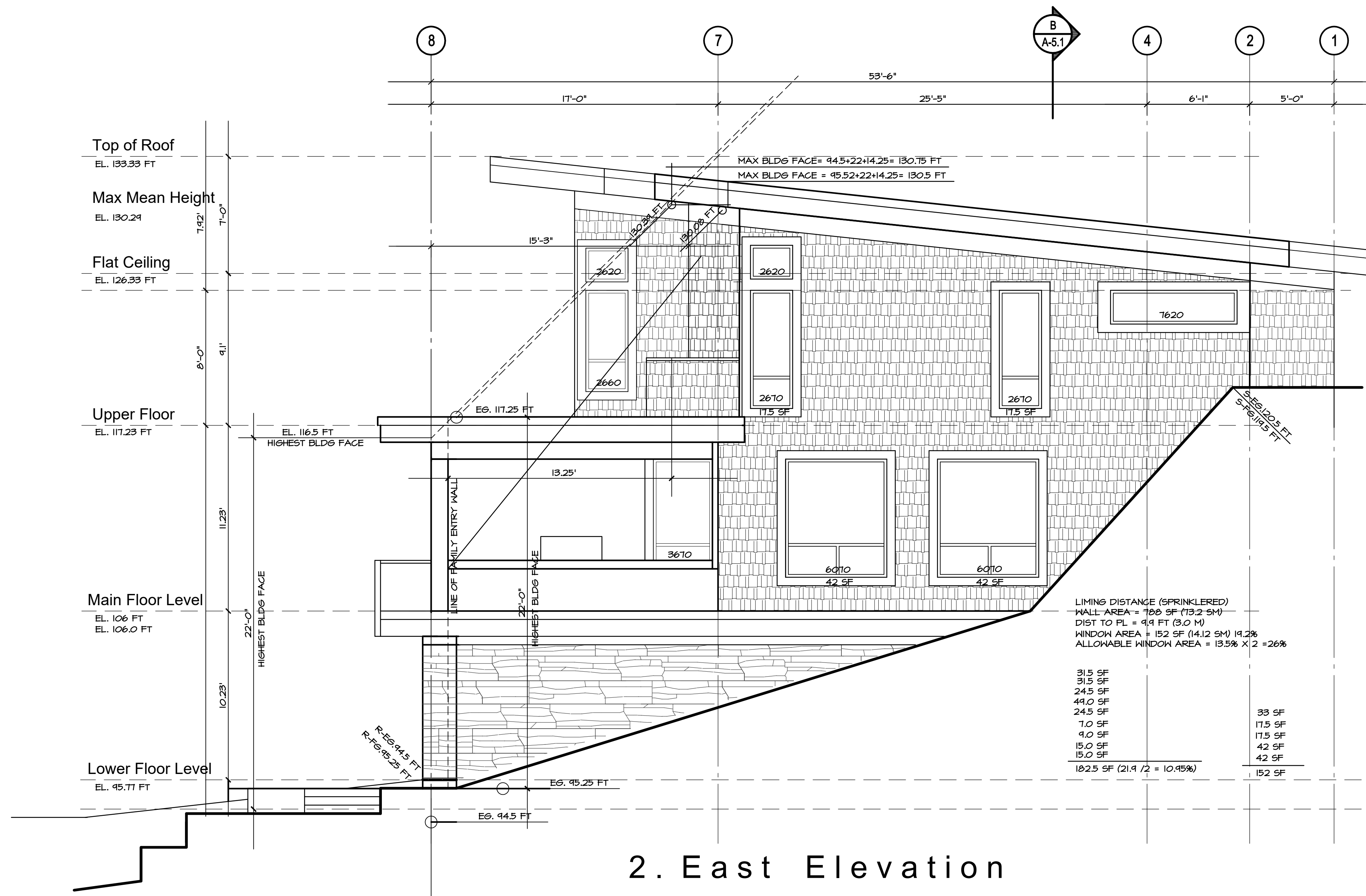


A-4.0

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy



**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

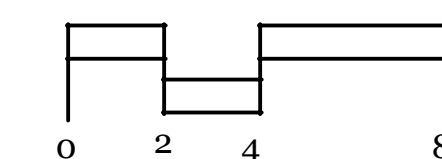
Elevation

**Exterior Finish Legend**

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD		Powercoated Aluminum and Glass	Window Trims	1 X 6 Hardie - Smooth

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

Elevation

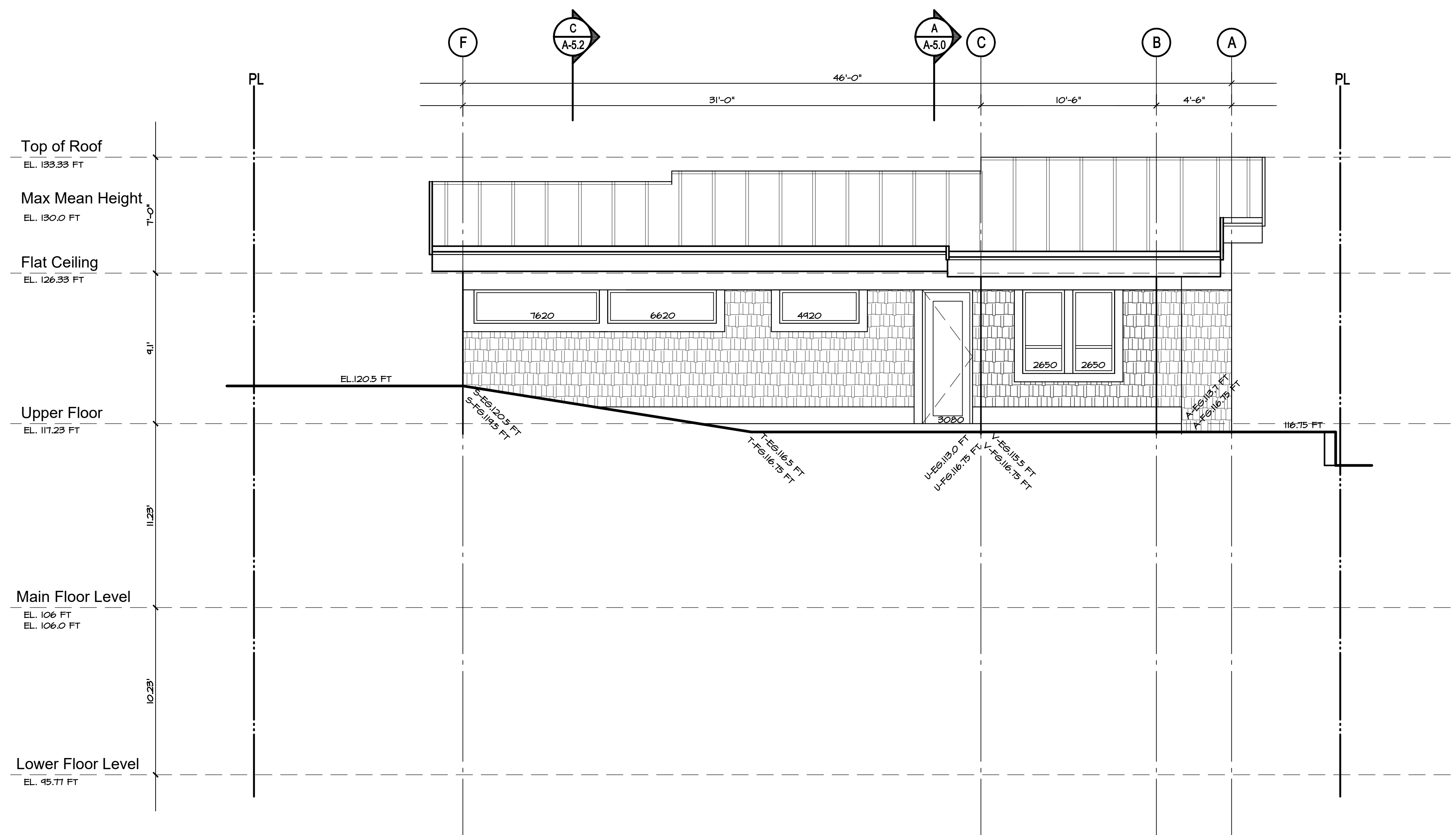


A-4.1

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy



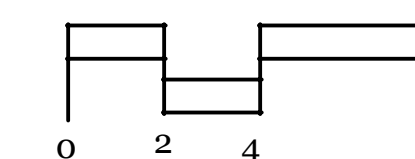
### 3. North Elevation

#### Exterior Finish Legend

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD		Powercoated Aluminum and Glass	Window Trims	1 X 6 Hardie - Smooth

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

# Elevation



# A-4.2

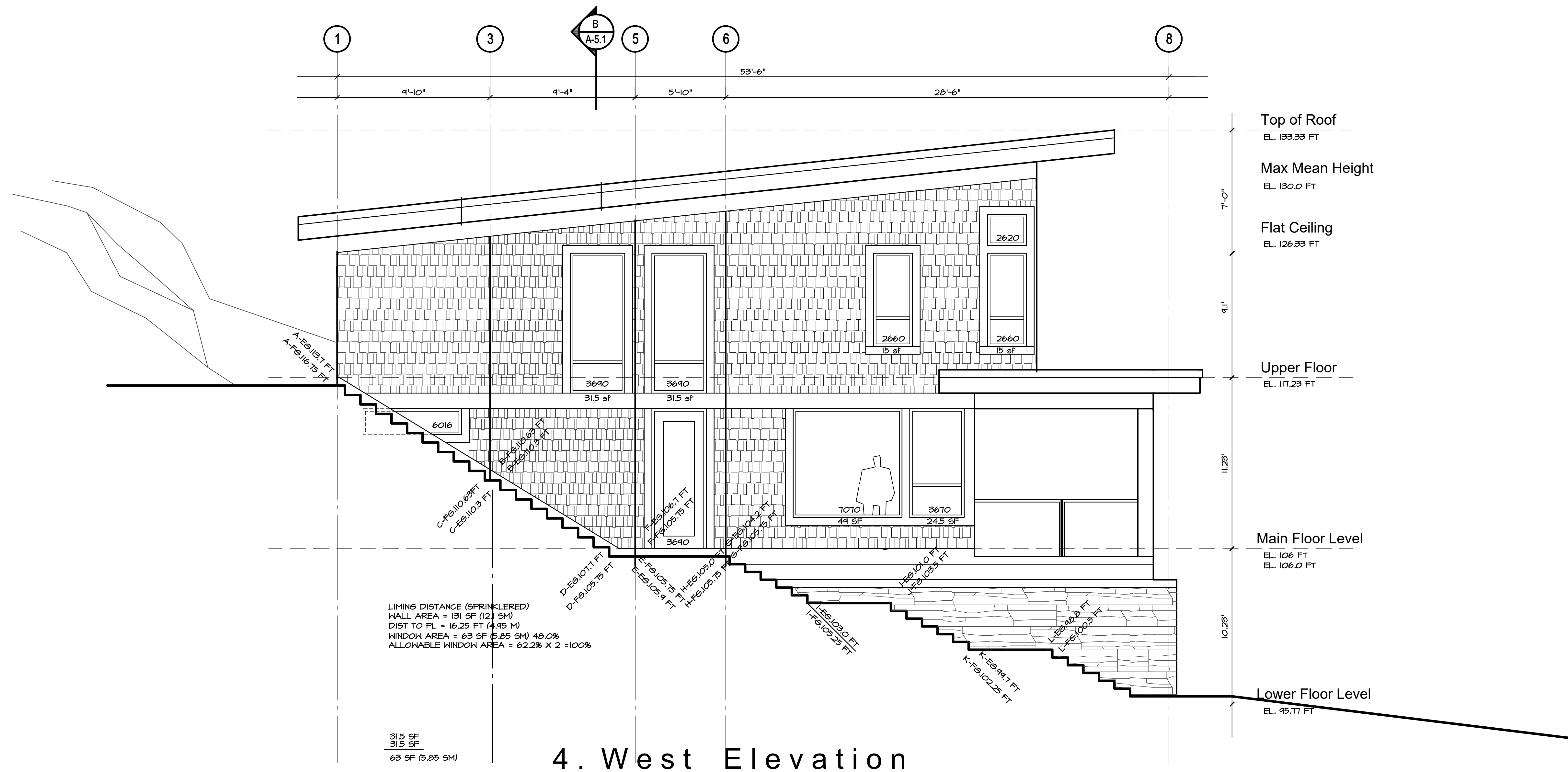
October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Elevation



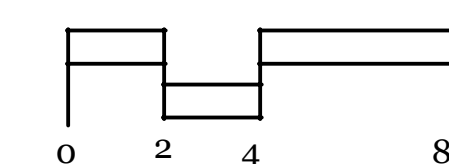
4. West Elevation

**Exterior Finish Legend**

Roof	Tar and Gravel	Windows	Double Glazing Set in Aluminum Frames - True divided lites Operable and Fixed Sashes to be same dimension and rails with substantial section. Casement Openers	Cross Cavity Flashing	Pre-finished Metal
Eave Fascias	Aluminum Gutter on 2 x 10 Fasciaboard	Balcony Railings	Powercoated Aluminum and Glass	Soffits	1x4 Stained "Fine Line" Stained
Wall	Cedar "Fine Line" 4" siding - TBD			Window Trims	1 X 6 Hardie - Smooth

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

Elevation



A-4.3

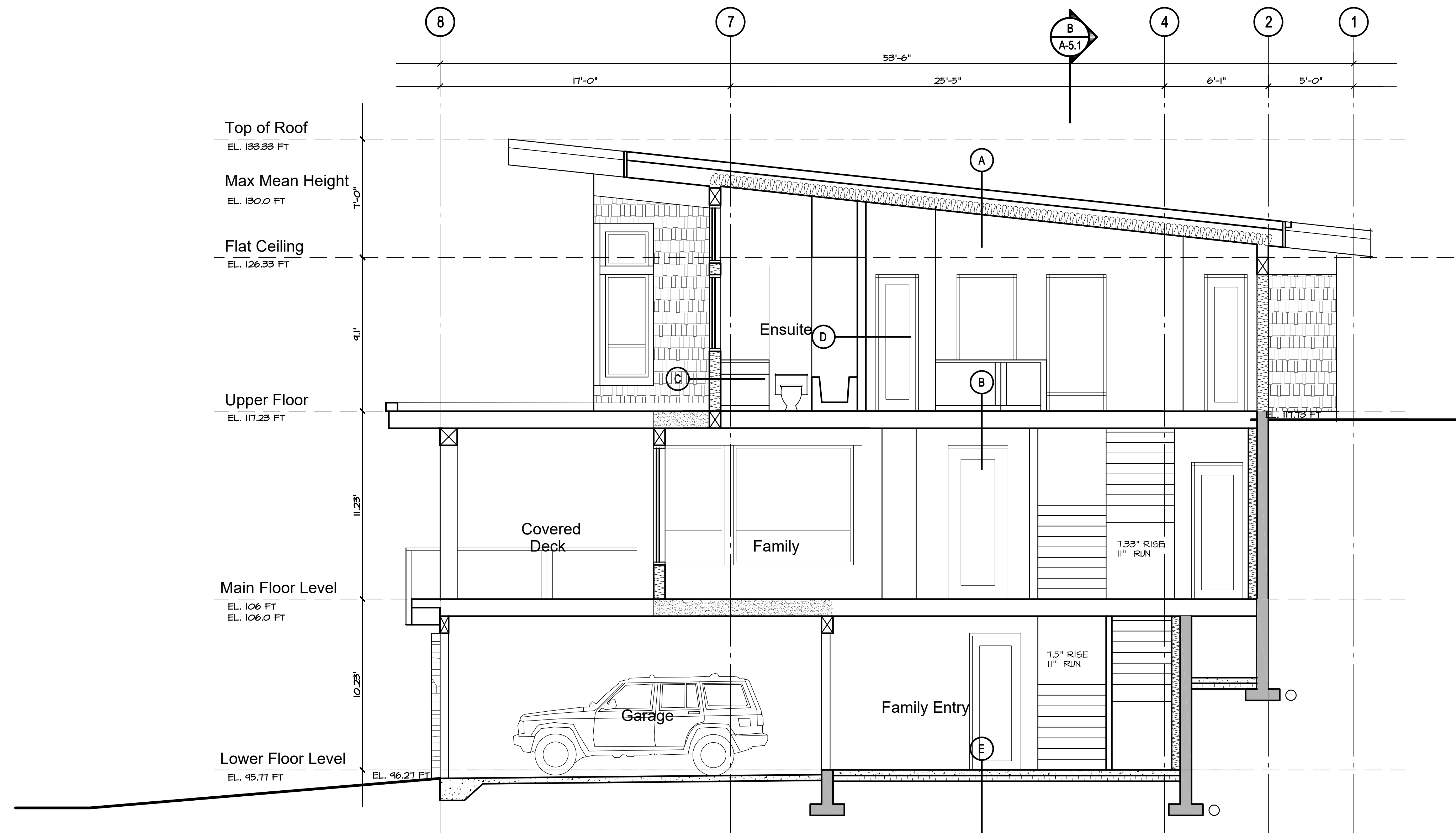
October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

Section A



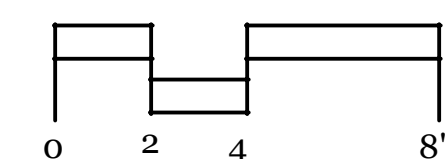
Section A

**Assembly Legend**

- A. STANDING SEAM ROOF - CASCADIA WATERPROOF MEMBRANE ON SHEATHING, AS PER STRUCTURAL 2X4 STRAPPING ON TJI ROOF JOISTS AT 24" O.C. R-40 BATT. INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 1/2" DRYWALL
- B. FLOOR FINISH ON RADIANT FLOORING - LIGHT WEIGHT 1.5" GYPCRETE ON 5/8" T & G PLYWOOD SHEATHING, NAILED AND GLUED TJI FLOOR FRAMING PER STRUCTURAL 1/2" DRYWALL (NO DRYWALL BETWEEN CRAWLSPACE AND MAIN FLOOR)
- C. HORIZONTAL SIDING RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION) TYVEK COMMERCIAL WRAP, INSTALLED AS A AIR BARRIER SYSTEM 1/2" PLYWOOD SHEATHING 2X8 STUDS @ 24" O.C. AS PER STRUCTURAL R20 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER 1/2" GYPSUM BOARD
- D. INTERIOR PARTITION WALL 1/2" GYPSUM BOARD BOTH SIDES OF 2X4 STUDS UNLESS NOTED ON DRAWINGS BY STRUCTURAL OR PLUMBING WALLS SHOWN IN PLAN.
- E. FLOOR FINISH ON 4" CONCRETE SLAB ON GRADE 4" XPS R 20 RIGID INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 6" COMPACTED GRAVEL BASE
- F. FOUNDATION WALL ASSEMBLY DIMPLEBOARD DRAINAGE MAT 2 COATS DAMP PROOFING 8" CONCRETE 2" XPS RIGID INSULATION 2X4 @ 24" O.C. W/ R14 BATT INSULATION 1/2" GNB
- G. CANTILEVERED SPACE R-40 BATT. INSULATION FINE-LINE HEMLOCK SOFFIT W/ VENT STRIPS

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

Section

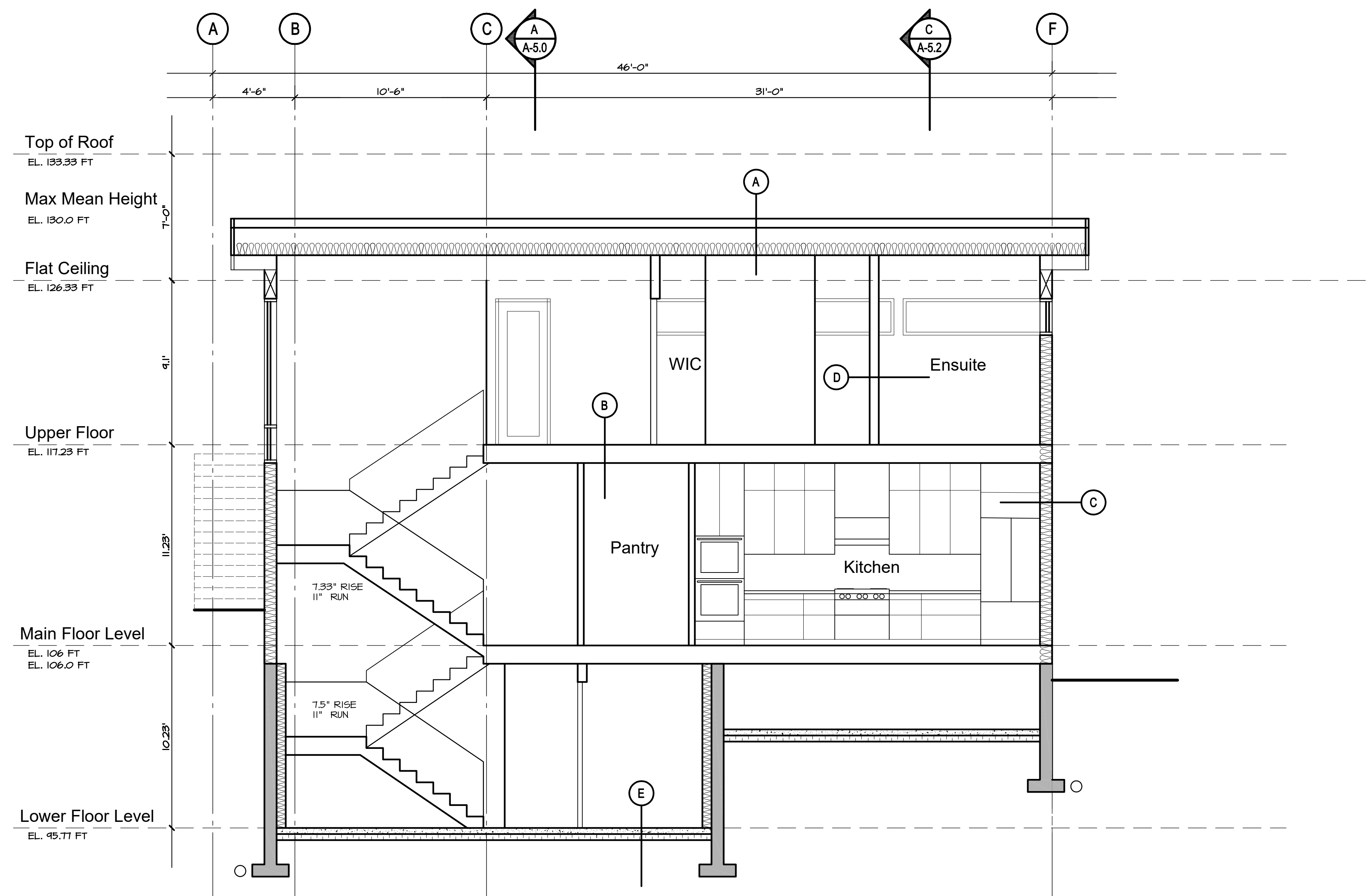


A-5.0

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy



Section B

New Residence  
4841 The Dale  
West Vancouver, British Columbia

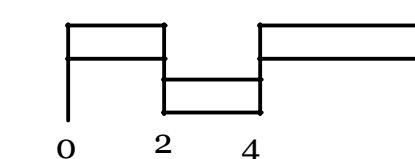
Section B

Assembly Legend

- A. STANDING SEAM ROOF - CASCADIA WATERPROOF MEMBRANE ON SHEATHING, AS PER STRUCTURAL 2X4 STRAFFING ON TJI ROOF JOISTS AT 24" O.C. R-40 BATT. INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 1/2" DRYWALL
- B. FLOOR FINISH ON RADIANT FLOORING - LIGHT WEIGHT 1.5" GYPCRETE ON 5/8" T & G PLYWOOD SHEATHING, NAILED AND GLUED TJI FLOOR FRAMING PER STRUCTURAL 1/2" DRYWALL (NO DRYWALL BETWEEN CRAWLSPACE AND MAIN FLOOR)
- C. HORIZONTAL SIDING RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION) TYVEK COMMERCIAL WRAP, INSTALLED AS A AIR BARRIER SYSTEM 1/2" PLYWOOD SHEATHING 2X8 STUDS @ 24" O.C., AS PER STRUCTURAL R28 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER. 1/2" GYPSUM BOARD
- D. INTERIOR PARTITION WALL 1/2" GYPSUM BOARD BOTH SIDES OF 2X4 STUDS UNLESS NOTED ON DRAWINGS BY STRUCTURAL OR PLUMBING WALLS SHOWN IN PLAN.
- E. FLOOR FINISH ON 4" CONCRETE SLAB ON GRADE 4" XPS R 20 RIGID INSULATION 6 MIL U.V. POLY VAPOUR BARRIER 6" COMPACTED GRAVEL BASE
- F. FOUNDATION WALL ASSEMBLY DIMPLEBOARD DRAINAGE MAT 2 COATS DAMP PROOFING 8" CONCRETE 2" XPS RIGID INSULATION 2X4 @ 24" O.C. W/ R14 BATT INSULATION 1/2" GNB
- G. CANTILEVERED SPACE R-40 BATT. INSULATION FINE-LINE HEMLOCK SOFFIT W/ VENT STRIPS

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

Section

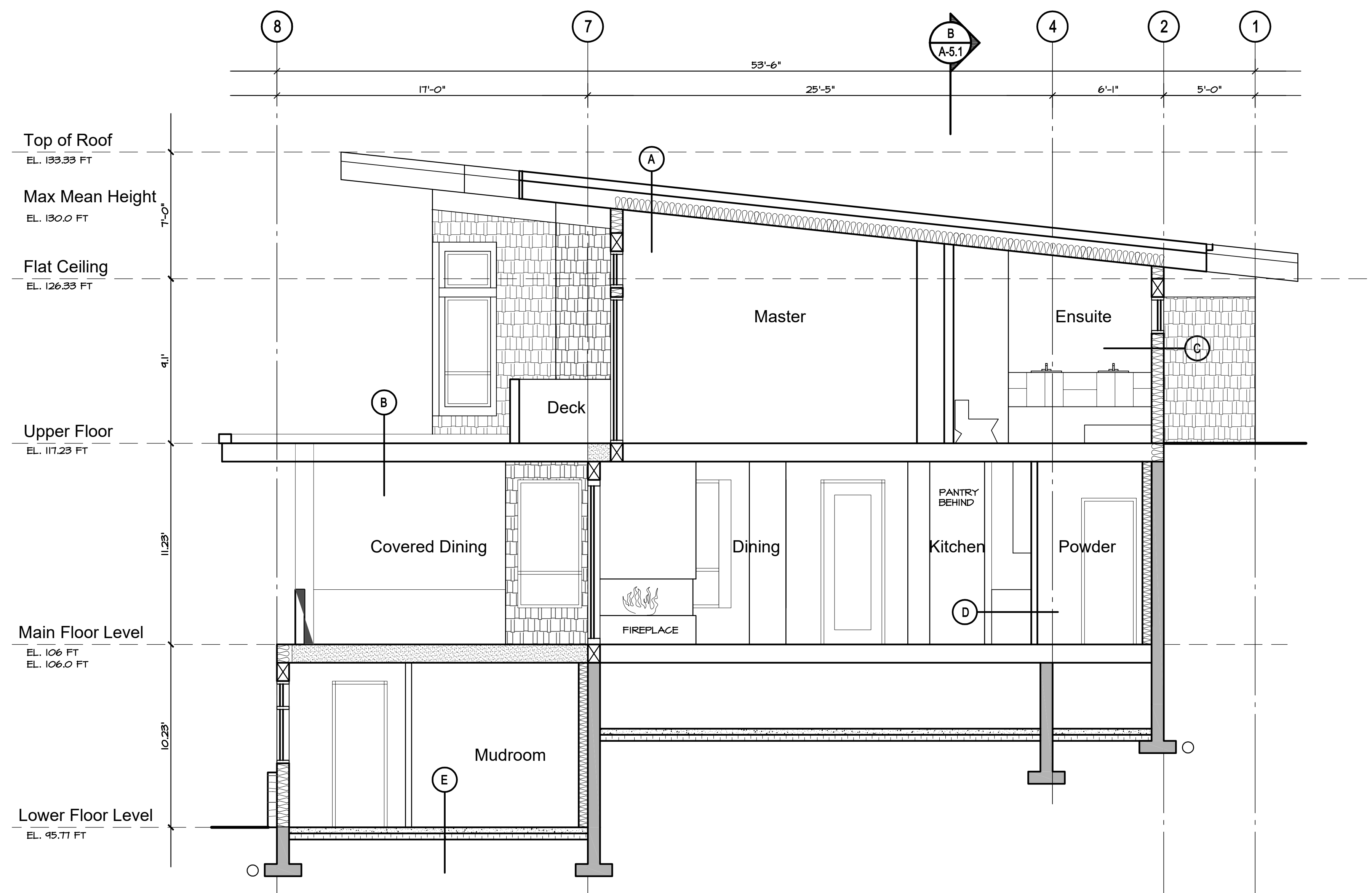


A-5.1

October 23, 2019  
Issued for Lower Caulfield  
Design Panel

June 18, 2021  
Issued to Consultants

July 12, 2021  
Revisions to Capture Energy



Section C

**New Residence**  
**4841 The Dale**  
West Vancouver, British Columbia

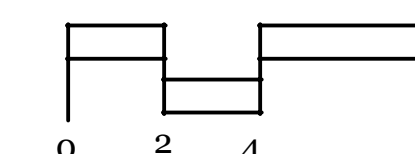
Section C

**Assembly Legend**

- A. STANDING SEAM ROOF - CASCADIA**  
WATERPROOF MEMBRANE ON SHEATHING, AS PER STRUCTURAL  
2X4 STRAPPING ON TJI ROOF JOISTS AT 24" O.C.  
R-40 BATT. INSULATION  
6 MIL U.V. POLY VAPOUR BARRIER  
1/2" DRYWALL
- B. FLOOR FINISH ON**  
RADIANT FLOORING - LIGHT WEIGHT 1.5" GYPCRETE ON 5/8" T & G PLYWOOD SHEATHING, NAILED AND GLUED  
TJI FLOOR FRAMING PER STRUCTURAL  
1/2" DRYWALL (NO DRYWALL BETWEEN CRAWLSPACE AND MAIN FLOOR)
- C. HORIZONTAL SIDING**  
RAINSCREEN AS PER CONSULTANT APPROVED DETAILS (PROVIDE MOCKUP ON SITE PRIOR TO PROCEEDING WITH INSTALLATION)  
TYVEK COMMERCIAL WRAP, INSTALLED AS A AIR BARRIER SYSTEM  
1/2" PLYWOOD SHEATHING  
2X8 STUDS @ 24" O.C. AS PER STRUCTURAL  
R20 BATT INSULATION AND 6 MIL PLY VAPOUR BARRIER  
1.2" GYPSUM BOARD
- D. INTERIOR PARTITION WALL**  
1/2" GYPSUM BOARD BOTH SIDES OF 2X4 STUDS UNLESS NOTED ON DRAWINGS BY STRUCTURAL OR PLUMBING WALLS SHOWN IN PLAN.
- E. FLOOR FINISH ON**  
4" CONCRETE SLAB ON GRADE  
4" XPS R 20 RIGID INSULATION  
6 MIL U.V. POLY VAPOUR BARRIER  
6" COMPACTED GRAVEL BASE
- F. FOUNDATION WALL ASSEMBLY**  
DIMPLEBOARD DRAINAGE MAT  
2 COATS DAMP PROOFING  
8" CONCRETE  
2" XPS RIGID INSULATION  
2X4 @ 24" O.C. W/ R14 BATT INSULATION  
1/2" GNB
- G. CANTILEVERED SPACE**  
R-40 BATT. INSULATION  
FINE-LINE HEKLOCK SOFFIT  
W/ VENT STRIPS

Contract  
Drawn  
Checked  
Date JULY 12, 2021  
Scale 1/4" = 1'-0"  
Sheet Number

Section



A-5.2