

Excavations

- 1. Geotechnical Engineer is to Certify a Site is Safe for Workers When the Slope of the Excavations Exceed 3/4 Horizontal to One Vertical or Excavation Exceeds 48".

- 2. Inspections can Only be Done if Site is Posted as Safe by Professional Engineer.

Foundations

- 1. Pad Footings are Required to be 26"x26"x9" MIN.
- 2. Footings are to Extend 18" Below Grade MIN.

- 3. Foundation Walls of Basement Below Grade and Crawlspace Must be Insulated With R12 to 24" Below Grade.

- 5. Anchor Posts to Footings to Resist Uplift.

Crawlspace

- 1. Provide Crawlspace Access 1'-8"x2'-4", MIN 18" Clearance and Ventilate to 1/500 of Floor Area.

- 2. Ground Cover REQD of 2" Concrete Over 6 mil. UV Vapour Barrier.

Ventilation

- 1. Uniformly Distribute Ventilation to Flat and Vaulted Roofs to 1/150 of Insulated Ceiling Area. Venting is Required to be Two-way.

- 2. MIN 2x2 Cross Purling to Flat, Vaulted Ceilings, and Decks Over Living Areas to Conform to #9.19.1.2(4).

- 3. Provide MIN 2 1/2" Clearance Between Roof Sheathing and Insulation #9.19.1.3. Provide MIN 1" Clearance Between Top of Deck and Roof Joists and Insulation.

- 4. Ventilate Attics to 1/300 of Insulated Ceiling Area.

- 5. Roof Vents Must be Uniformly Distributed With a MIN of 25% @ Base and 25% in Roof Top.

- 6. Provide Weather Stripped Attic Access of 1'-8"x2'-4"

- 7. Submit Mechanical Ventilation /Air Conditioning Design and Letter of Supervision by Prof. Engineer, Certified HRAI or HVAC Technician at Frame and Final Inspection.

- 8. Continuous or Intermittent Exhaust Fans are Required to All Bathrooms and Kitchens as per #9.32.3.3.

Insulation

- 1. Insulation Where Subject to Mechanical Damage is to be Covered as per #9.25.2.3(7) With Drywall or Equivalent (E.G. Crawl Storage Areas).

- 2. MIN Insulation - R22 for Walls, R31 for Flat or Vaulted Ceilings, and R50 for Attic Spaces.

- 3. Ceiling and Walls to Have 6 mil. UV Poly. Vapour Barrier Fully Caulked as per #9.25.

- 4. R12 Rigid Insulation Required Around unheated Slabs on Grade; 20" Vertical or Horizontal From Bottom Edge of Slab.

- 5. R12.5 Rigid Insulation Required Under Entire Slab Area for Slabs With Radiant Heating.

Stairs

- 1. Straight Stair - Rise: MIN (125mm) 4.921", MAX (200mm) 7.674"; (255mm) Run: 10.039"

- 2. All Treads to Have a 1" Nosing.

- 3. MIN Headroom is 6.56" From a Line Through Nosing, Measured Vertically.

- 4. Handrail to be Between 32" and 38" From a Line Measured Vertically Through Nosing.

- 5. Winders to Conform to 9.8.4.5.

- 6. Primary Stair MIN Width 34".

- 7. Curved Stairs and Stairs 43" in Width or Greater Require 2 Handrails.

- 8. Handrail REQD. on Interior Stairs With Three or More Risers and Exterior Stairs With Four or More Risers.

- 9. Handrail as a Guard is to be Between 36" and 38".

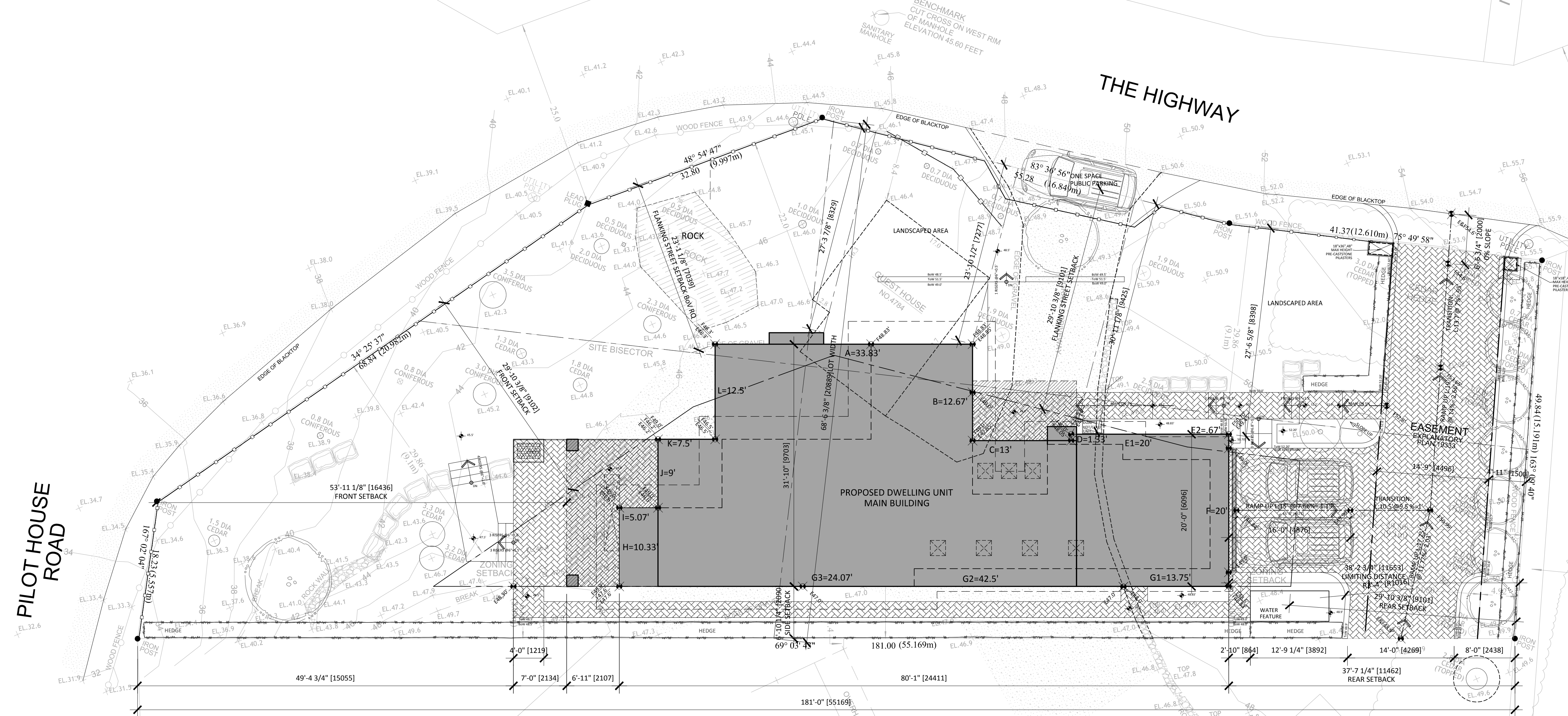
Chimney and Fireplace

- 1. MIN 2" Clearance Between Chimney and Combustible Framing.

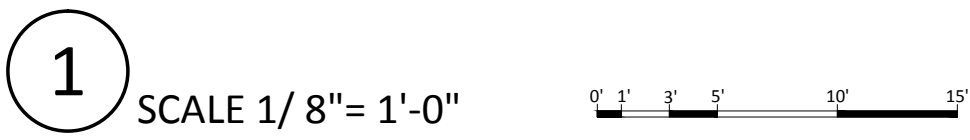
- 2. MIN 4" Clearance Between Fireplace and Combustible Framing.

- 3. Masonry Fireplace Hearths Must Conform to #9.22.5.1.

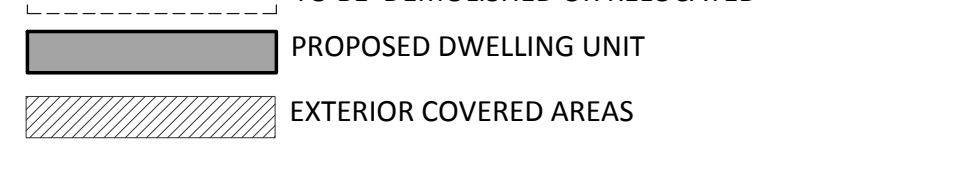
- 4. C.O. Detectors Required as per #9.32.4.2.



- 1. No Member Facilitating Climbing Permitted From 4" to 36" Above the Floor or Walking Surface (in all Guards).
- 2. Waterproof Wallboard Required as Tile Base Around Tubs and Showers.
- 3. MAX 4" Opening in all Stair, Deck and Balcony Guards (Interior and Exterior).
- 4. All Glass Guards to Have Top Cap Unless Approved by Profess. Engineer.
- 5. Provide 8" Clearance Between Grade and Siding.
- 6. Damp-Proofing for Slabs, Including Crawlspace, are to be 6 mil. UV Poly. Vapour Barrier.
- 7. Furnace and Laundry Room Door Width of 2'-8" min.
- 8. N.R.P. Hinges Required for Out-swing Exterior Doors.
- 9. One Hardwired Smoke Alarm Required per Floor, all Smoke Alarms to be interconnected.
- 10. Smoke Alarms Required on Every Floor Level Differing by 36" and Within 5 Meters of Bedroom Doors and 15 Meters of Each Other.
- 11. A 5 LB. A.B.C. Dry Chemical Fire Extinguisher is Required Near the Kitchen.
- 12. Provide Flashing Between Horizontal Intersections of Differing Wall Finishes.
- 13. Flashing to Slope Away From Building.
- 14. Secure Hot Water Tanks to Prevent Overturning.
- 15. Exterior air barrier system; Sheathing membrane tape and sealed at all joints.
- 16. Provide Masonry / Veneer Wall Flashing Ties and Weep Holes as per #9.20.
- 17. Gas-fired condensing combo boiler for space heating and DHW. In-Floor radiant system. AFUE=95%. Central AC cooling system. SEER=14.
- 18. Service Water Heating
- 19. Gas-fired condensing combo boiler for space heating and DHW. EF=0.79.
- 20. Ventilation
- 21. HRV system with 65% efficiency @0degC.



- 1.- KEEP ALL RETAINING WALL FOOTINGS WITH IN THE PROPERTY LINE



FIRE MITIGATION EXTERIOR MATERIAL:

- SOFFIT: METAL IS NON-COMBUSTIBLE MATERIAL.
- WINDOWS AND PATIO DOORS: ALUMINUM FRAMES DOUBLE GLAZING MINIMUM.
- LIMESTONE, METAL PANELS HARDI PLANK AND WOOD-LOOKING METAL SIDING ARE NON COMBUSTIBLE.
- 3mm, NON-COMBUSTIBLE WIRE MESH GRILLS OVER VENTS.
- LEAF GUARDS OVER GUTTERS.
- LIGHT CONCRETE PAVERS OVER FLAT ROOF FOR PROTECTION.
- CHIMNEY CAPS METAL FLASHED.

GENERAL NOTES:

- 1.- Minimum construction standards shall conform to BC Building Code 2018 and other applicable codes.
- 2.- The contractor shall be responsible to arrange and pay for all permits, fees and licenses necessary to complete the work.
- 3.- Flood test all waterproof membranes on roofs and decks.
- 4.- Provide waterproof membrane on 3/8" cement board to walls and ceiling of shower and tub surrounds.
- 5.- Provide water resistant GWB in washrooms.
- 6.- All discrepancies to be brought to the attention of the consultants.
- 7.- Dimensions: Outside dimensions are taken to the exterior face of sheathing. Inside dimensions are to centerline of wall. Doors and Windows are dimensioned to the centerline of opening.
- 8.- All fasteners on the exterior face to be stainless steel or hot dipped galvanized.
- 9.- All Roof shall be installed to RCABC standards.
- 10.- Building is sprinklered throughout.
- 11.- Hard wired interconnected smoke alarms(including battery backup) are required in every sleeping room.
- 12.- Smoke alarm/CO detectors (including battery backup) are required on every floor in the hallway not more than 5M away from any bedroom door.

GRADE CALCULATIONS

Table with columns: Average Grade, Elev 1, Elev 2, Length, average. Rows A through L.

PROJECT SUMMARY:

LEGAL DESCRIPTION: TOPOGRAPHIC PLAN OF LOT 23, BLOCK 2, DISTRICT LOT 8111, N.W.D., PLAN 967 P.I.D. 002-453-223

PROPERTY ADDRESS: 4798 THE HIGHWAY, DISTRICT OF WEST VANCOUVER, B.C.

ZONING: RS-3 LOT AREA= 9,435.5 sq. ft. = 876.60 m2

LOT SET BACKS: FRONT: 9.10 m = 29.86' FLANKING STREET SIDE: LOT WIDTH: 20.89 m = 68.55' 10% OF WIDTH, MIN 1.52 m MAX 3.0m COMBINE SIDE YARD 25% OF WIDTH 1.5m MIN 4.57m MAX. REAR: 9.10 m = 29.86'

LOT COVERAGE: 2,8630.29 sq. ft. = 266.00 m2 PROPOSED: 2,685.35 sq. ft. = 249.47 m2

FAR: 0.3 2,860.65 sq ft = 262.97 m2

BUILD AREA: MAIN FLOOR: 1,484.45 sq ft = 137.90 m2 UPPER FLOOR : 1,344.75 sq ft = 124.93 m2 TOTAL : 2,829.20 sq ft = 262.83 m2

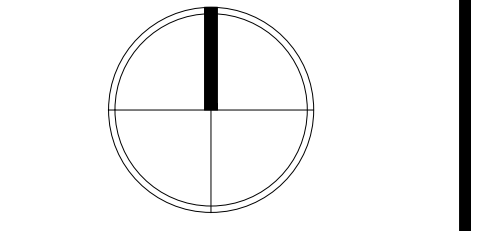
MAIN BUILDING HIGH MAX. TO FLAT :7.62 m=25' PROPOSED: 7.16 m=23.49'

CONTACT: DESIGN MARQUE CONSULTING LTD. Contact: MARQUE THOMPSON 1765 Bellevue Ave. West Vancouver, BC V7V 1A8 Phone: 604 925 1401 marquer@designmarque.com

- DRAWING LIST: A-01 SITE PLAN A-02 MAIN FLOOR PLAN A-03 UPPER FLOOR PLAN A-04 ROOF PLAN A-05 ELEVATIONS A-06 ELEVATIONS A-07 SECTIONS & DETAILS A-08 SECTIONS & DETAILS

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GEOGRAPHIC NORTH



PROJECT NORTH

Table with columns: No., Date, Revision. Row 1: 1, Jul 24 2024, Issued for Revised DP.

Table with columns: No., Date, Issues. Row 1: 3, Aug 02 2024, Issued for Revised DP.



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1765 Bellevue Ave. West Vancouver, B.C. V7V 1A8

Project:

Saniuk Residence

4798 The Highway West Vancouver, B.C.

Drawing Title:

SITE PLAN

Drawn: Job No: L.G.

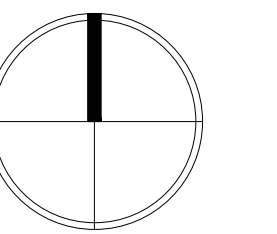
Checked: M.T. Date: November 2022

Scale: 1/8" = 1'-0"

Drawing No: A-01

Plot Size: 36" x 24"

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No.	Date	Revision
1	Jul 24 2024	Driveway has been revised. 3 Trees on the south-east side have been removed.

No.	Date	Issues:
3	Aug 02 2024	Issued for Revised DP
2	Jul 21 2023	Issued for DP
1	Jul 18 2023	Issued for Consultants



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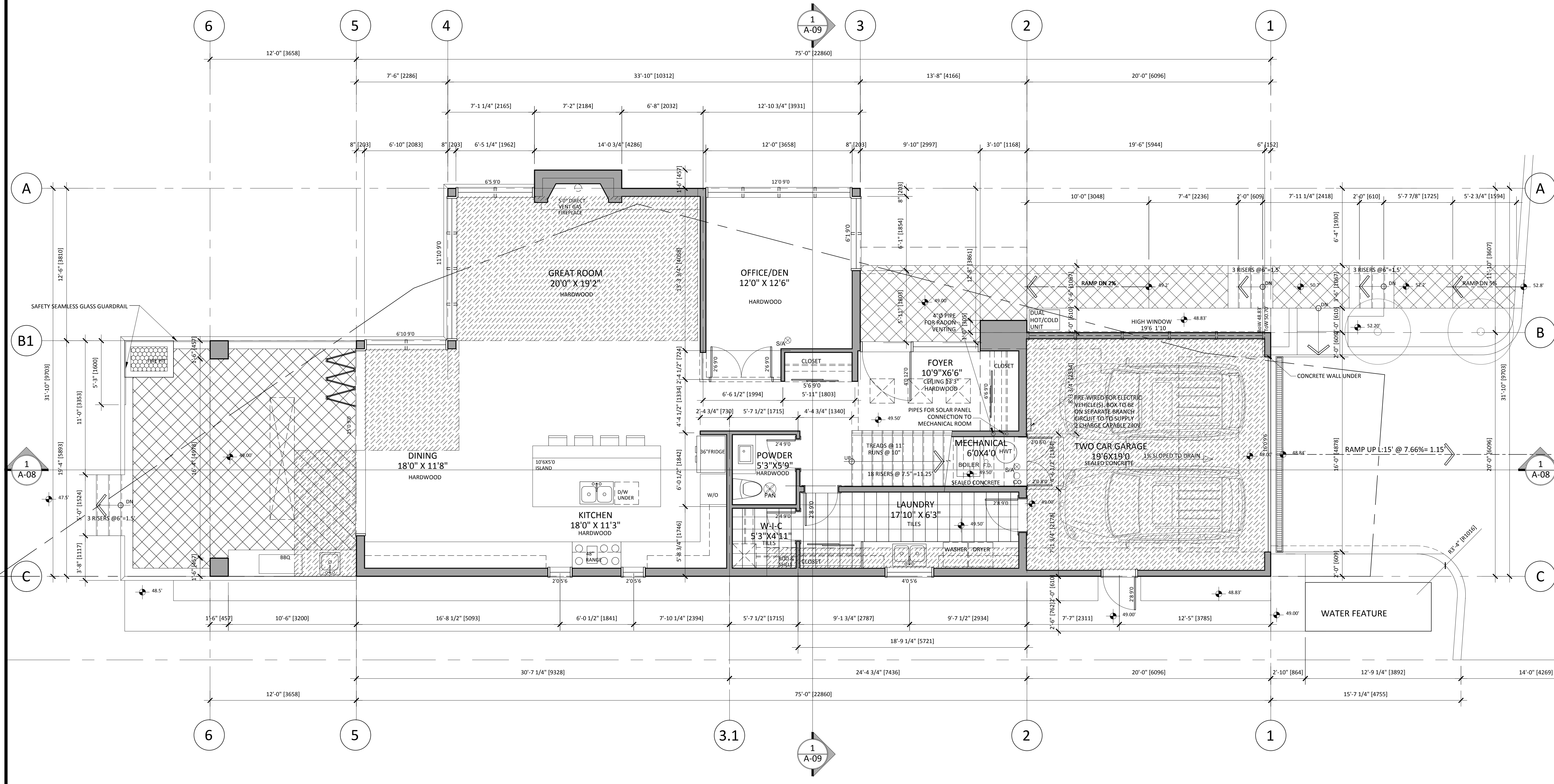
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 West Vancouver, B.C. V7V 1A8

Project:
Saniuk Residence
 4798 The Highway
 West Vancouver, B.C.

Drawing Title:

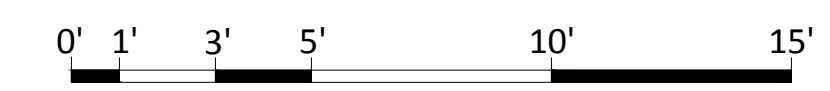
MAIN FLOOR PLAN

Drawn: L.G.	Job No:
Checked: M.T.	Date: November 2022
Scale: 1/4" = 1'-0"	Drawing No: A-02
Plot Size: 36"x 24"	



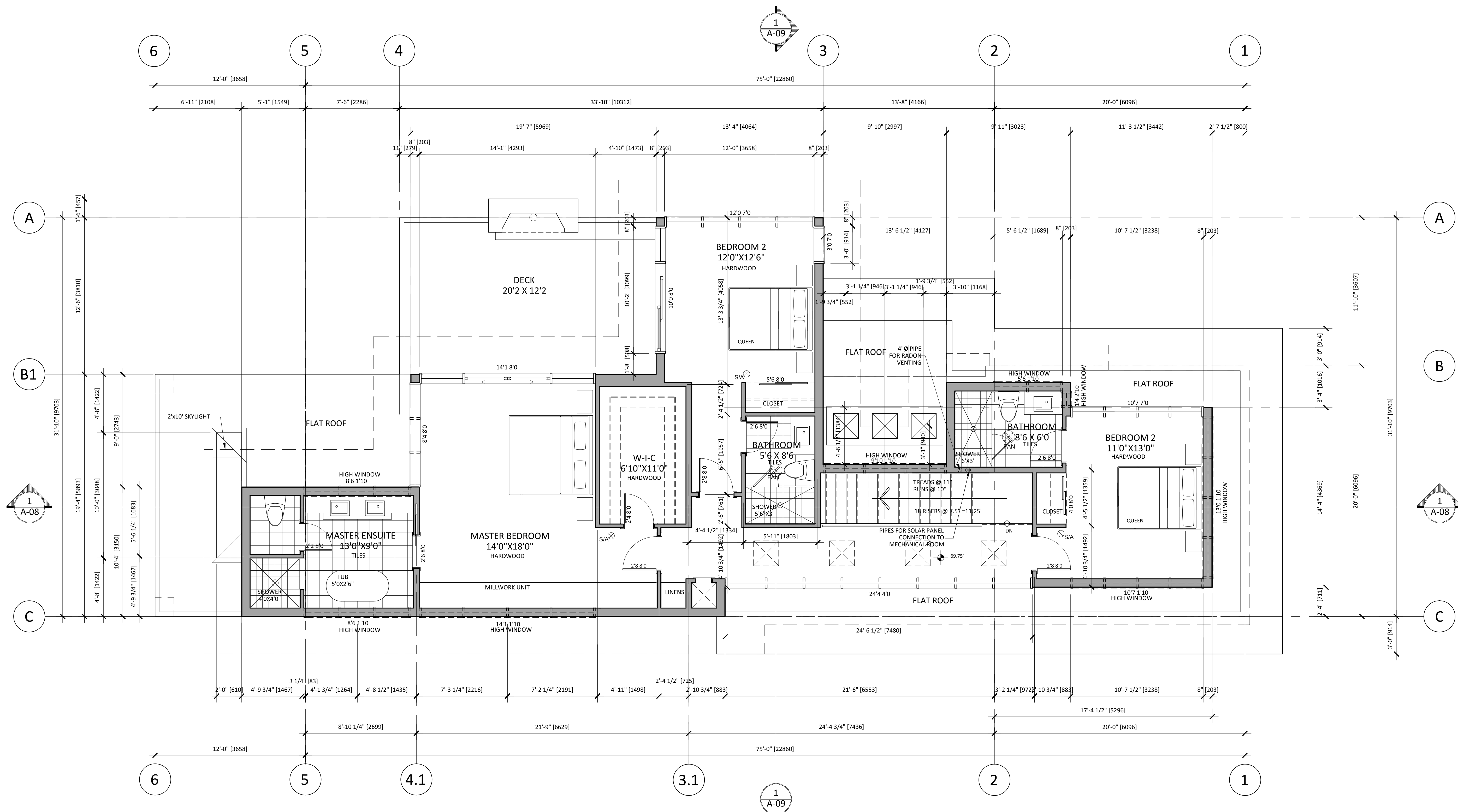
1 MAIN FLOOR PLAN
 SCALE 1/4" = 1'-0"
 RESIDENCE 1,484.45 SQ. FT. = 137.90 m2
 GARAGE 400.00 SQ. FT. = 37.16 m2
 MAIN FLOOR TOTAL AREA: 1,884.45 SQ. FT. = 175.06 m2

DENOTES BATT INSULATION R-31 ABOVE



NOTE:
 ALL DRAWINGS ARE DESIGNED TO BCBC 2024

NOTE:
 ALL ROOF, FLOOR AND WALL ASSEMBLIES;
 WINDOWS, GLASS DOORS AND DOORS
 TO COMPLY WITH 9.36 BCBC 2024 ENERGY EFFICIENCY



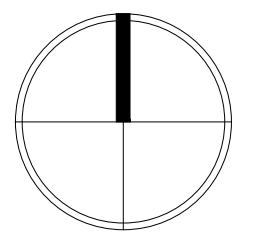
1 UPPER FLOOR PLAN
 SCALE 1/4" = 1'-0"
 RESIDENCE 1,344.75 SQ. FT. = 124.93 m²



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No.	Date	Issues:
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2	Jul 21 2023	Issued for DP
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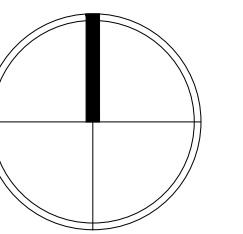
1765 Bellevue Ave.
 West Vancouver, B.C. V7V 1A8

Project:
Saniuk Residence
 4798 The Highway
 West Vancouver, B.C.

Drawing Title:

Drawn: L.G.	Job No:
Checked: M.T.	Date: November 2022
Scale: 1/4" = 1'-0"	Drawing No: A-03
Plot Size: 36" x 24"	

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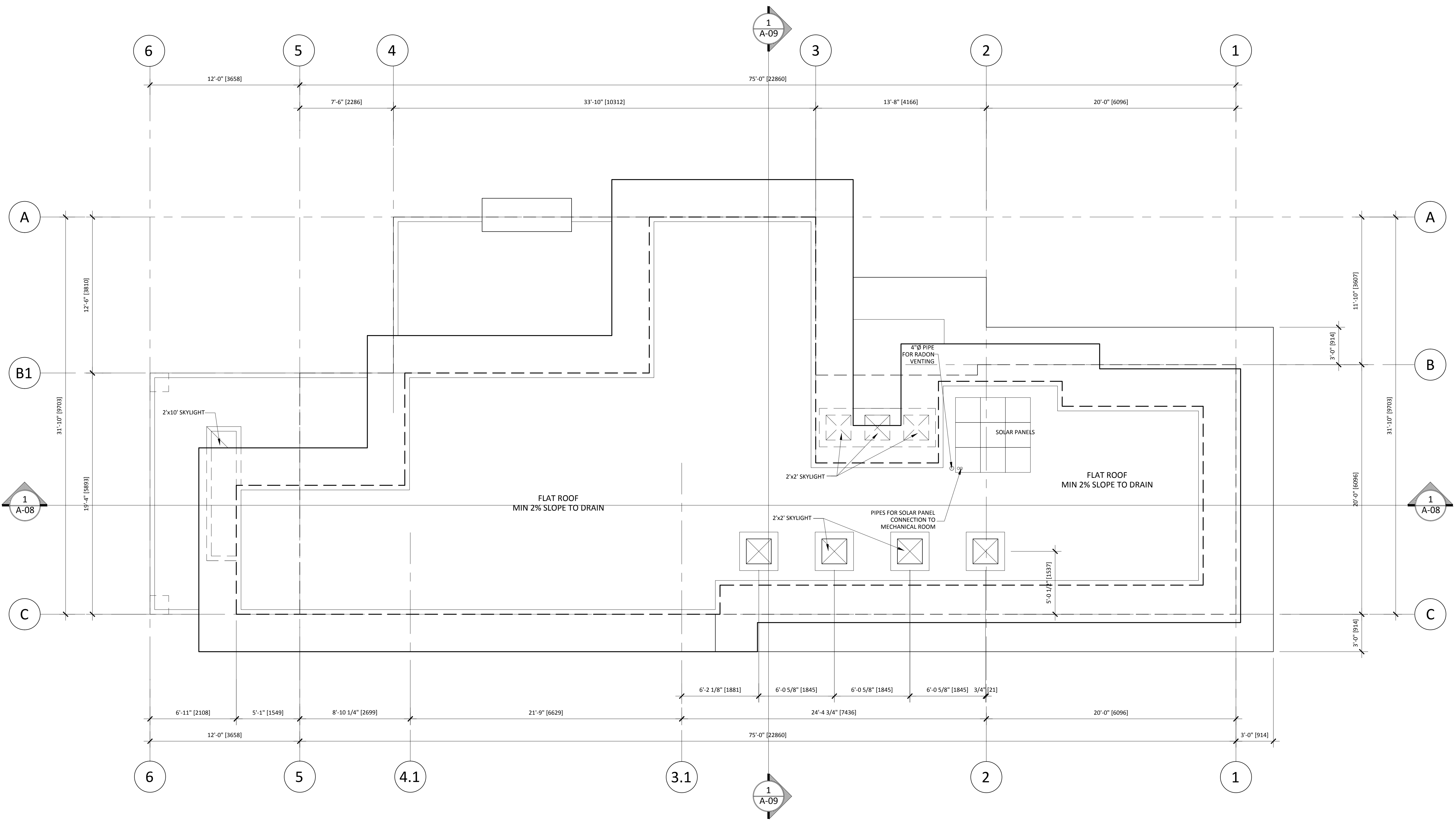
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Project:
Saniuk Residence
 4798 The Highway
 West Vancouver, B.C.

Drawing Title:
ROOF PLAN

Drawn: L.G.	Job No:
Checked: M.T.	Date: November 2022
Scale: 1/4" = 1'-0"	Drawing No: A-04
Plot Size: 36"x 24"	



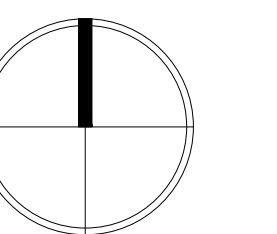
1 ROOF PLAN
 SCALE 1/4" = 1'-0"



NOTE:
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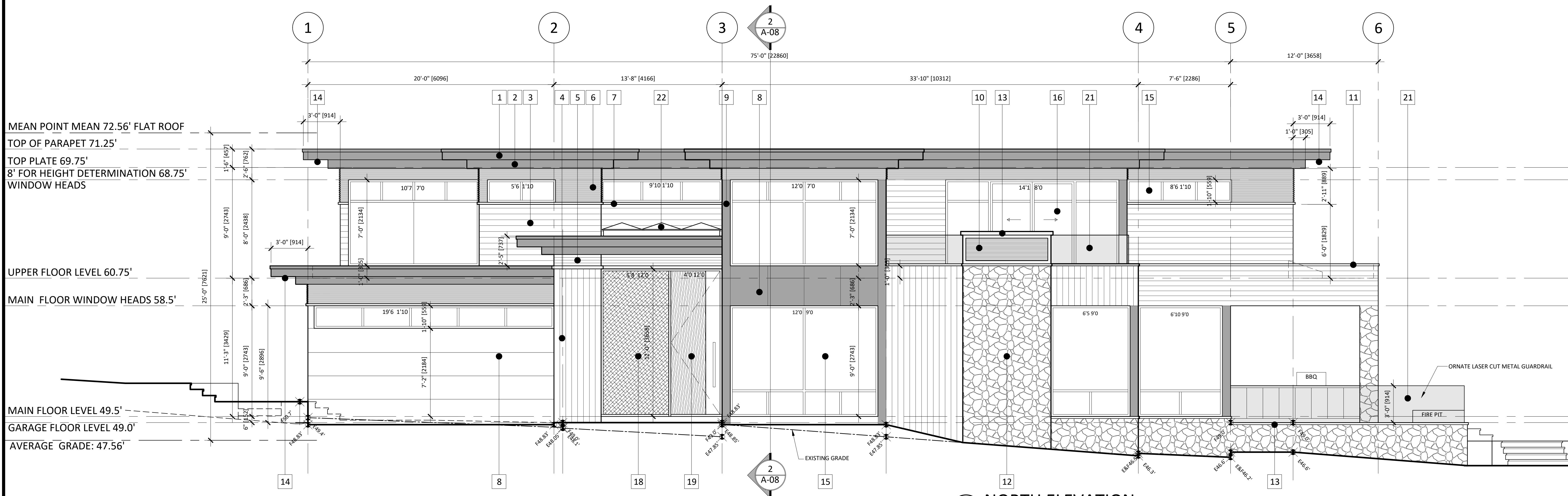
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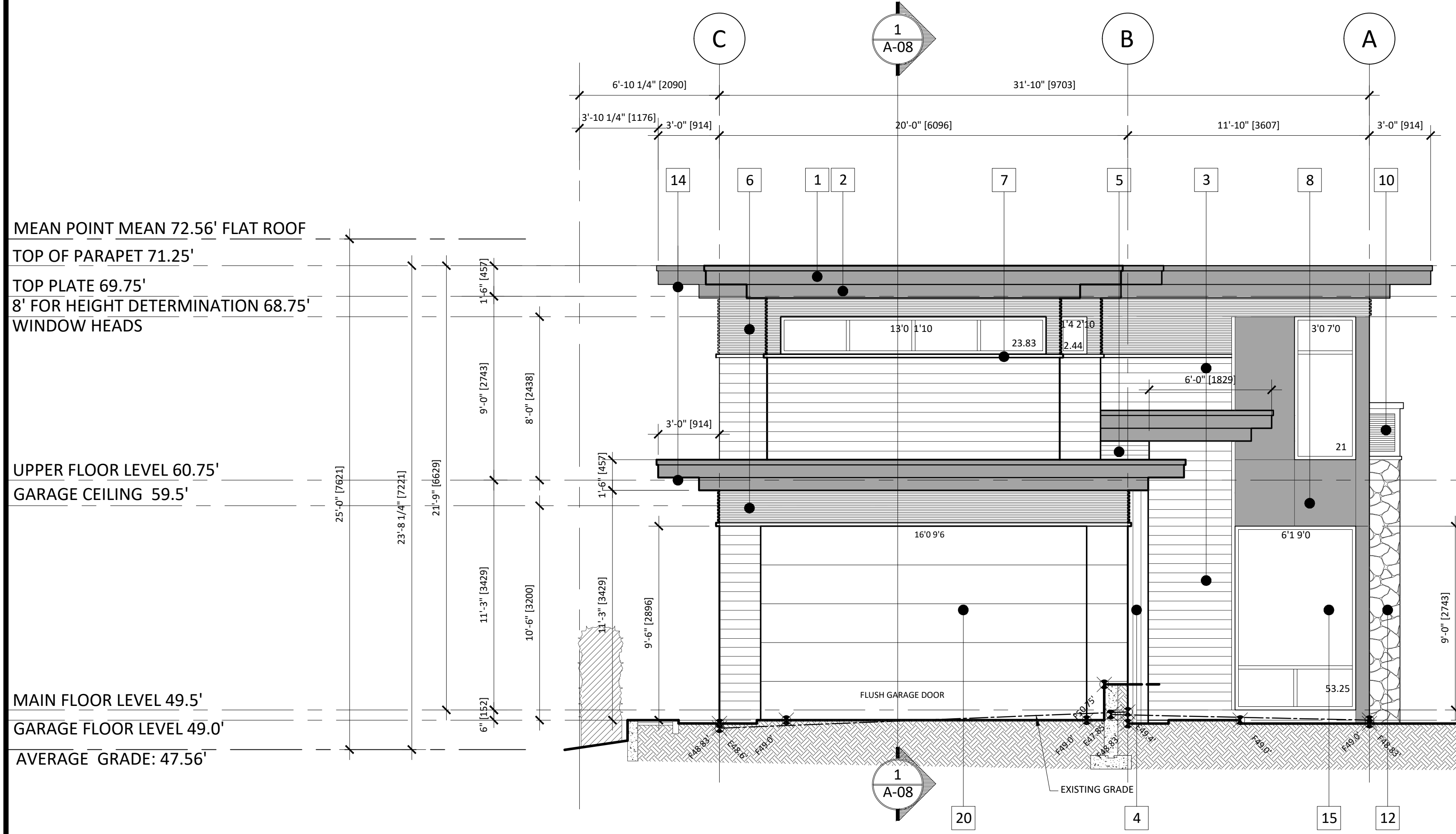
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No.	Date	Issues:



1 NORTH ELEVATION
 SCALE 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE 1/4" = 1'-0"

BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
MAIN BUILDING TABLE: 3.2.3.1.D

SPATIAL SEPARATION EAST WALL
 LIMITING DISTANCE: 38.22 ft = 11.65 m
 EXPOSED BUILDING FACE: 684.50 sq ft = 63.59 m²
 ALLOWED AREA OF UNPROTECTED OPENINGS: 100.0% = 63.59 m²
 PROPOSED AREA OF UNPROTECTED OPENINGS: 100.52sq ft 9.33m² = 14.68%

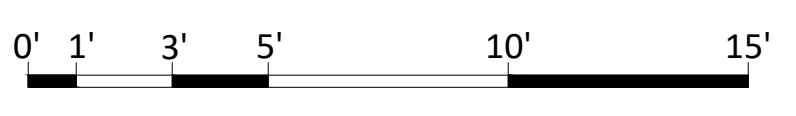
FIRE MITIGATION EXTERIOR MATERIAL:

- SOFFIT: METAL IS NON-COMBUSTIBLE MATERIAL.
- WINDOWS AND PATIO DOORS: ALUMINUM FRAMES DOUBLE GLAZING MINIMUM.
- LIMESTONE, METAL PANELS HARDI PLANK AND WOOD-LOOKING METAL SIDING ARE NON-COMBUSTIBLE.
- 3mm, NON-COMBUSTIBLE WIRE MESH GRILLS OVER VENTS.
- LEAF GUARDS OVER GUTTERS.
- LIGHT CONCRETE PAVERS OVER FLAT ROOF FOR PROTECTION.
- CHIMNEY CAPS METAL FLASHED.

NOTE:
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NOTE:
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 WINDOWS, GLASS DOORS AND DOORS
 TO COMPLY WITH 9.36 BCBC 2024 ENERGY EFFICIENCY

- EXTERIOR FINISH MATERIALS**
- METAL CLADDED 10.5" WOOD FASCIA WITH METAL FLASHING
 - METAL CLADDED 8.5" WOOD FASCIA
 - HORIZONTAL HARDI PLANK SIDING ± 6" EXPOSURE
 - VERTICAL HARDI PLANK SIDING ± 6" EXPOSURE
 - VERTICAL WOOD-LOOKING METAL SIDING ± 3" EXPOSURE
 - 1" X 1" METAL TRIM
 - 2" X 2" METAL TRIM
 - ORNATE LASER CUT METAL PANELS
 - METAL CLADDING CORNER
 - METAL LOUVER
 - METAL FLASHING
 - STONE VENEER
 - PRE-CAST STONE CAP
 - WOOD-LOOKING METAL SOFFIT W/ CONTINUOUS VENT UNDER
 - THERMALLY BROKEN DOUBLE GLAZED LOW E WITH ALUMINUM FRAME, WINDOW
 - THERMALLY BROKEN DOUBLE GLAZED LOW E WITH ALUMINUM FRAME, SLIDING DOORS
 - THERMALLY BROKEN DOUBLE GLAZED LOW E WITH ALUMINUM FRAME, FOLDING DOORS
 - DECORATIVE METAL SCREEN
 - INSULATED SOLID WOOD FRONT DOOR SPECS & COLOR T.B.C
 - ORNATE LASER CUT METAL PANELS FLUSH O/H INSULATED GARAGE DOOR
 - ORNATE LASER CUT METAL GUARDRAIL
 - SKYLIGHT



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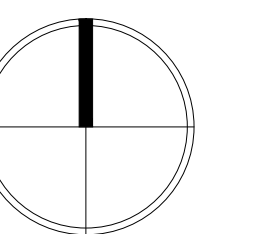
Project:
Saniuk Residence
 4798 The Highway
 West Vancouver, B.C.

Drawing Title:

ELEVATIONS

Drawn:	L.G.	Job No:	
Checked:	M.T.	Date:	November 2022
Scale:	1/4" = 1'-0"	Drawing No.:	A-05
Plot Size:	36" x 24"		

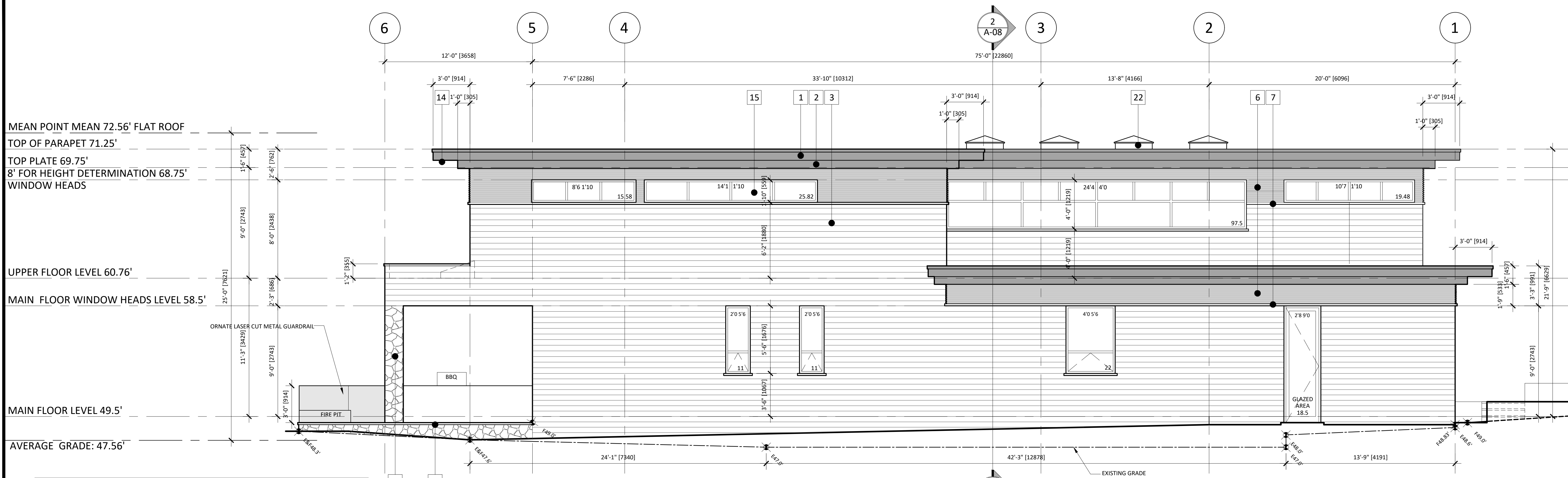
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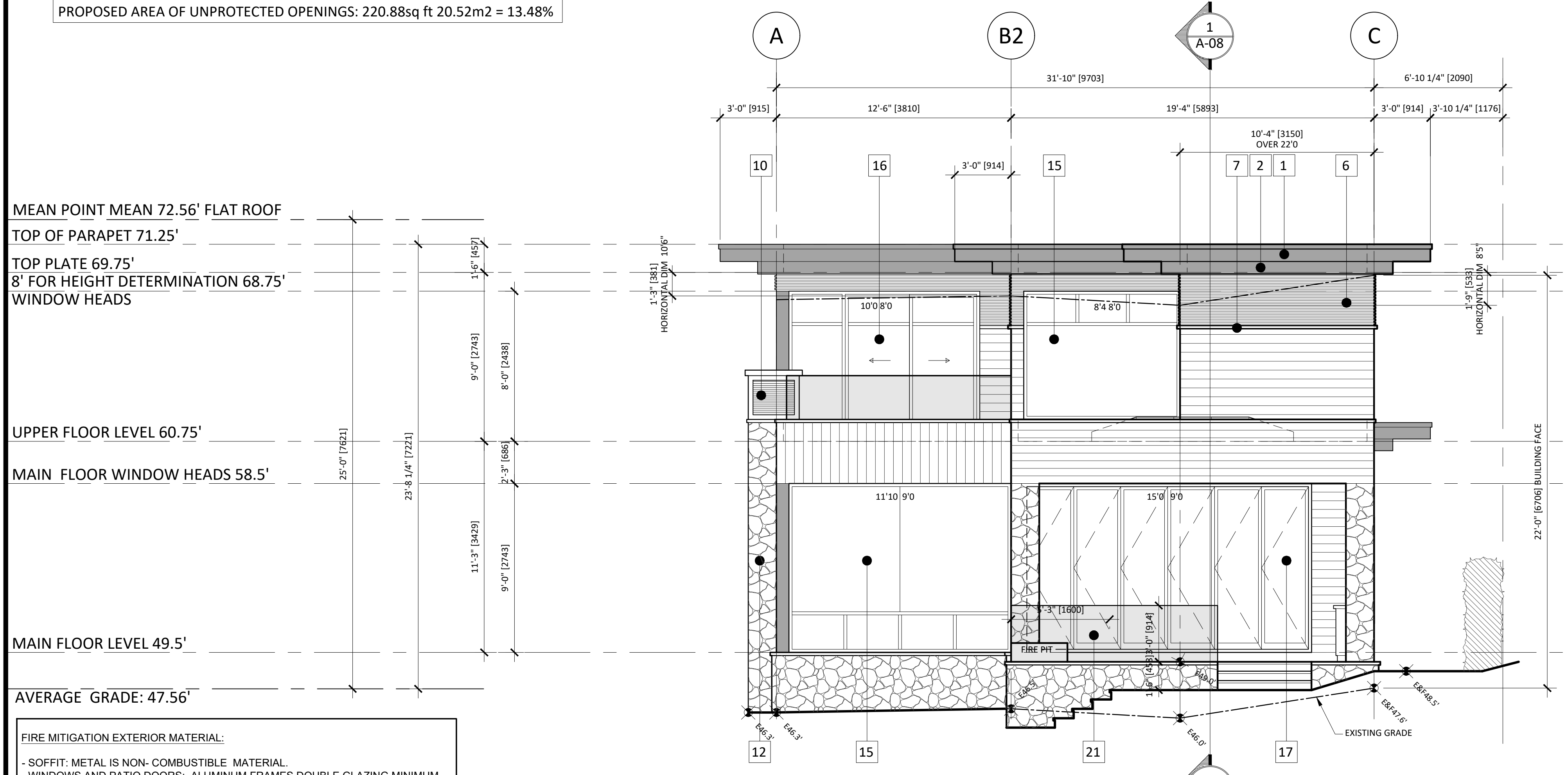


1 SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
 MAIN BUILDING TABLE: 3.2.3.1.D
 SPATIAL SEPARATION SOUTH WALL
 LIMITING DISTANCE: 6.86 ft = 2.09 m
 EXPOSED BUILDING FACE: 1,638.20 sq ft = 152.19 m²
 ALLOWED AREA OF UNPROTECTED OPENINGS: 16.0% = 24.35 m²
 PROPOSED AREA OF UNPROTECTED OPENINGS: 220.88sq ft 20.52m² = 13.48%

HIGHEST BUILDING FACE SUMMARY
 EAST SIDE FACE:

LENGTH OF FACE	31.83'
LENGTH OVER 22' LINE	10.33'
LENGTH UNDER 22' LINE	21.50'
CONFORMING PERCENTAGE	67.55%



2 WEST ELEVATION
 SCALE 1/4" = 1'-0"

- EXTERIOR FINISH MATERIALS**
- METAL CLADDED 10.5" WOOD FASCIA WITH METAL FLASHING
 - METAL CLADDED 8.5" WOOD FASCIA
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 - SKYLIGHT

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 WINDOWS, GLASS DOORS AND DOORS
 TO COMPLY WITH 9.36 BCBC 2024 ENERGY EFFICIENCY



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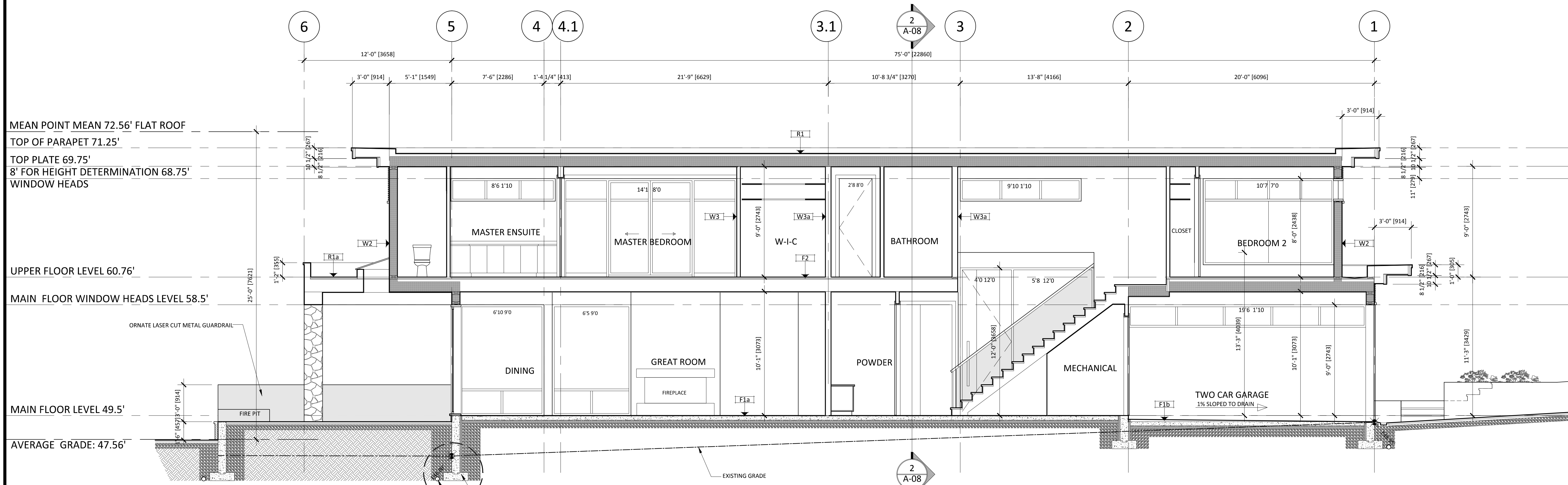
1765 Bellevue Ave.
 West Vancouver, B.C. V7V 1A8

Project:
Saniuk Residence
 4798 The Highway
 West Vancouver, B.C.

Drawing Title:

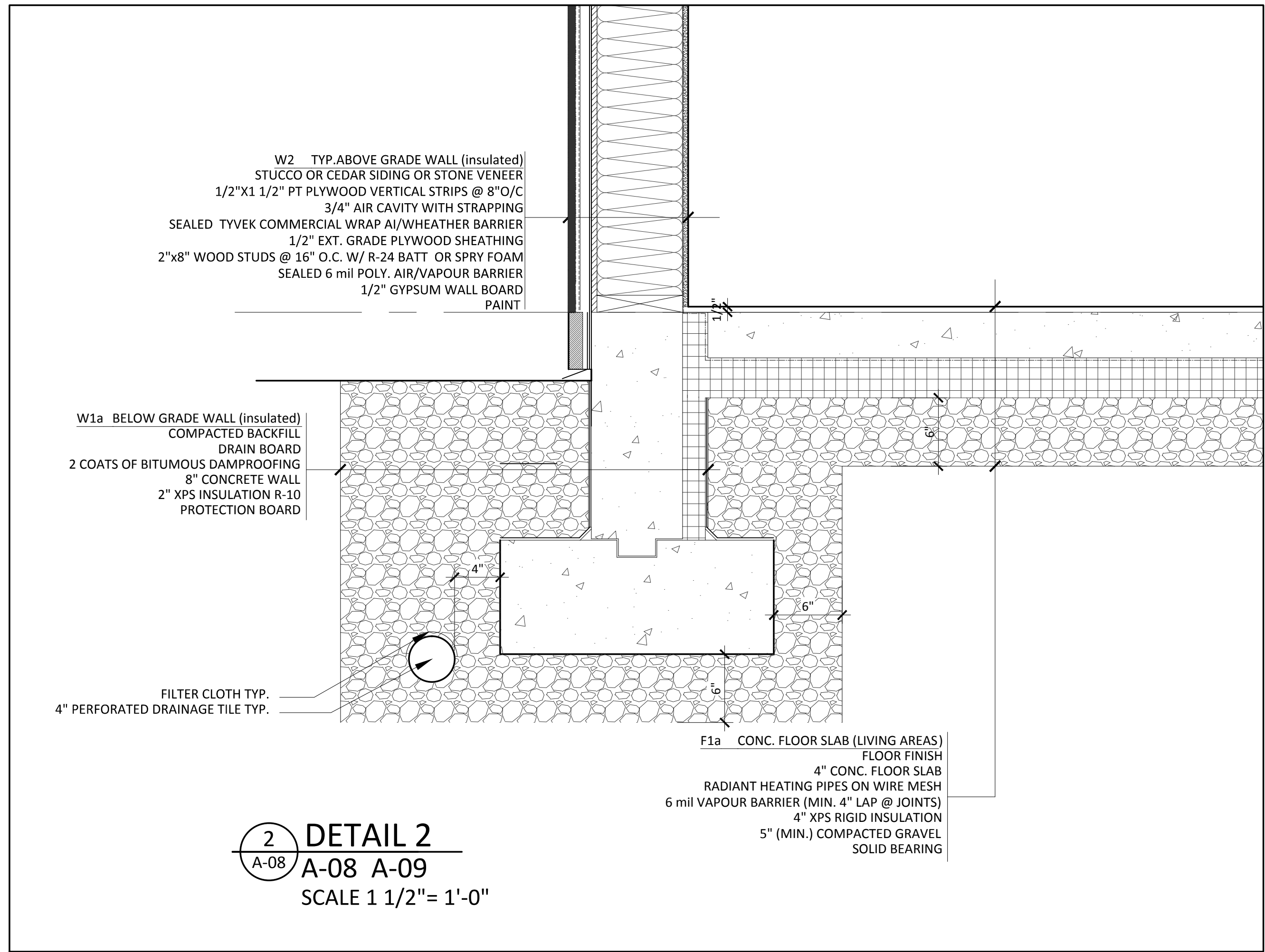
ELEVATIONS

Drawn:	Job No:
L.G.	
Checked:	Date:
M.T.	November 2022
Scale:	Drawing No:
1/4" = 1'-0"	A-06
Plot Size:	
36" x 24"	



SECTION 1
A-02 A-03 A-04
SCALE 1/4" = 1'-0"

CONSTRUCTION ASSEMBLIES	
R1 FLAT ROOF (insulated) SBS TWO PLY TORCH ON MEMBRANE WATERPROOF MEMBRANE 1/2" T&G PLYWOOD SHEATHING W/ H-CLIPS STRAPPING TO MAKE MIN 1.5% SLOPE TO DRAIN 11 7/8" TJ @ 16" O.C. AS PER STRUCTURAL DWGS. R-31 BATT INSULATION TO FULLY INFILL CAVITY 6 mil VAPOUR BARRIER 1/2" GYPSUM BOARD PAINT	F2a DECK FLOOR (OVER OUTDOOR SPACE) 3/4" SLATE PAVERS ON PEDESTALS (FOR LEVELING) 2-PLY TORCH-ON MEMBRANE 1/2" T&G PLYWOOD SHEATHING W/ H-CLIPS PURLINS (1% SLOPED TO DRAIN MINIMUM) 11 7/8" TJ @ 16" O.C. AS PER STRUCTURAL DWGS. 1/2" WOOD LOOKING METAL SOFFIT W/ CONTINUOUS VENT
R1a FLAT ROOF (non-insulated) SBS TWO PLY TORCH ON MEMBRANE WATERPROOF MEMBRANE 1/2" T&G PLYWOOD SHEATHING W/ H-CLIPS STRAPPING TO MAKE MIN 1% SLOPE TO DRAIN 11 7/8" TJ @ 16" O.C. AS PER STRUCTURAL DWGS. 1/2" WOOD LOOKING METAL SOFFIT W/ CONTINUOUS VENT	W1 8" FOUNDATION WALL COMPACTED BACKFILL DRAINAGE MAT SELF ADHERED MEMBRANE 8" CONCRETE WALL
F1a CONC. SLAB ON GRADE 4" CONC. FLOOR SLAB 5" (MIN.) COMPACTED GRAVEL SOLID BEARING	W1a BELOW GRADE WALL (insulated) COMPACTED BACKFILL DRAIN BOARD 2 COATS OF BITUMINOUS DAMPROOFING 8" CONCRETE WALL 2" XPS INSULATION R-10 PROTECTION BOARD
F1b CONC. SLAB ON GRADE (GARAGE) CONCRETE TOPPING TO MAKE 1% SLOPE TO DRAIN 4" CONC. FLOOR SLAB 6 mil VAPOUR BARRIER (MIN. 4" LAP @ JOINTS) 3" R-12 EPS INSULATION 5" (MIN.) COMPACTED GRAVEL SOLID BEARING	W2 TYP. ABOVE GRADE WALL (insulated) STUCCO, CEDAR SIDING OR STONE VENEER THERMALLY BROKEN CLIPS @ 24" O.C. VERTICAL SPACING 3/4" AIR CAVITY SEALED TYVEK COMMERCIAL WRAP AIR/MOISTURE BARRIER 1/2" EXT. GRADE PLYWOOD SHEATHING 2"x8" WOOD STUDS @ 24" O.C. W/ R-28 HD BATT SEALED 6 mil POLY. AIR/VAPOUR BARRIER 1/2" GYPSUM WALL BOARD PAINT
F2 WOOD FLOOR (HEATED) FLOOR FINISH 1 1/2" LIGHTWEIGHT CONC. TOPPING RADIANT HEATING PIPES ON WIRE MESH 5/8" T&G PLYWOOD SUBFLOOR 11 7/8" TJ FLOOR JOISTS @ 16" O.C. AS PER STRUCTURAL DWGS. 1/2" GYPSUM WALL BOARD PAINT	W3 TYP. INTERIOR WALL (2x4) PAINT 1/2" GYPSUM BOARD 2"x4" WOOD STUDS @ 16" O.C. ACOUSTIC BATT INSULATION (OPTIONAL) 1/2" GYPSUM WALL BOARD PAINT
	W3a TYP. INTERIOR WALL (2x6) PAINT 1/2" GYPSUM BOARD 2"x6" WOOD STUDS @ 16" O.C. ACOUSTIC BATT INSULATION (OPTIONAL) 1/2" GYPSUM WALL BOARD PAINT
	W3b TYP. INTERIOR WALL (2x8) (INTERIOR GARAGE WALL) PAINT 1/2" GYPSUM BOARD 2"x8" WOOD STUDS @ 16" O.C. W/ R-31 BATT OR SPRAY FOAM 1/2" GYPSUM WALL BOARD PAINT



DETAIL 2
A-08 A-09
SCALE 1 1/2" = 1'-0"

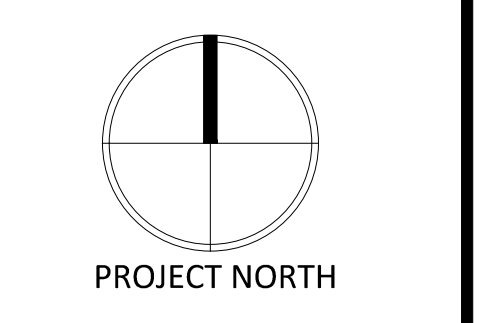
FENESTRATION (WINDOW) AND DOOR TO HAVE AN OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GRATER THAN THE VALUES LISTED IN TABLE 9.36.2.7.A (CBC LATEST REVISION) FOR THE APPLICABLE HEATING DEGREE-DAY CATEGORY. CLIMATE ZONE 485 MAXIMUM U-VALUE TO BE 1.80	
DOOR TO UNCONDITIONED GARAGE FROM DWELLING	USI 2.6 (U-0.46)
ATTIC ACCESS HATCH	RSI 2.6 (R-14.76)
FRONT DOORS	USI 2.6 (U-0.46)
GLASS BLOCKS	USI 2.3 (U-0.51)
OVERHEAD GARAGE DOOR (WHEN GARAGE IS CONDITIONED)	RSI 1.1 (R-6.245)

ALL WINDOWS, GLASS DOORS AND DOORS TO COMPLY WITH 9.36 BCBC 2018 ENERGY EFFICIENCY TABLE 9.36.2.7.A	
TECHNICAL SPECIFICATIONS FOR FENESTRATION: WINDOWS AND GLASS DOORS INCLUDING FRAMES	
MATERIALS: HIGH IMPACT PVC, MITERED AND QUAD, HEAT WELDED. GLAZE 3.1 mm / Lo e2-270 / 13.0 ARGON. PROTECTIVE WINDOW FILM BOTH SIDES. SPACER STAINLESS STEEL - CARDINAL XL EDGE (SS) MAXIMUM USI 1.22 OR LOWER SHGC 0.25 or higher JELD-WEN, OASIS OR SIMILAR	
TECHNICAL SPECIFICATIONS FOR FENESTRATION: INSULATED DOORS INCLUDING FRAMES	
MATERIALS: FIBERGLASS REINFORCED FACING. POLYURETHANE CORE. INTERNAL BLOCKING FOR HARDWARE ATTACHMENT. WEATHER SEAL SECURELY ATTACHED TO BOTTOM. WOOD FRAME. R-4.8 OR HIGHER, INSULATED CORE MASONITE OR SIMILAR	

NOTE:	
ALL ROOF, FLOOR AND WALL ASSEMBLIES; WINDOWS, GLASS DOORS AND DOORS TO COMPLY WITH 9.36 BCBC 2024 ENERGY EFFICIENCY	

NOTE:	
DRAWINGS DONE TO BCBC 2028	

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No.	Date	Revision
1	Jul 24 2024	Drawings has been revised. 3 Trees on the south-east side have been removed.
3	Aug 02 2024	Issued for Revised DP
2	Jul 21 2023	Issued for DP
1	Jul 18 2023	Issued for Consultants
No.	Date	Issues:



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Drawing Title:

SECTION & DETAIL

Drawn: J.G. Job No:

Checked: M.T. Date: November 2022

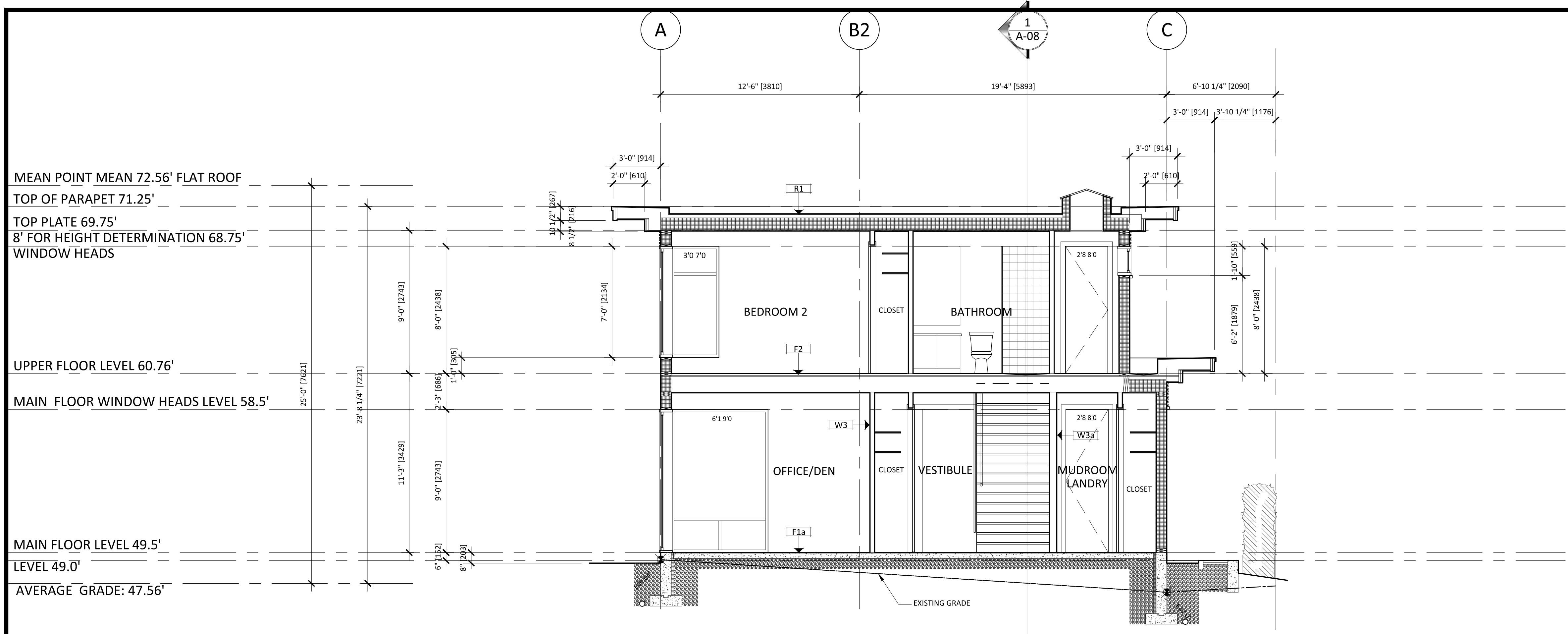
Scale: 1/4" = 1'-0"
Plot Size: 36"x 24"

Drawing No:
A-07

MEAN POINT MEAN 72.56' FLAT ROOF
 TOP OF PARAPET 71.25'
 TOP PLATE 69.75'
 8' FOR HEIGHT DETERMINATION 68.75'
 WINDOW HEADS

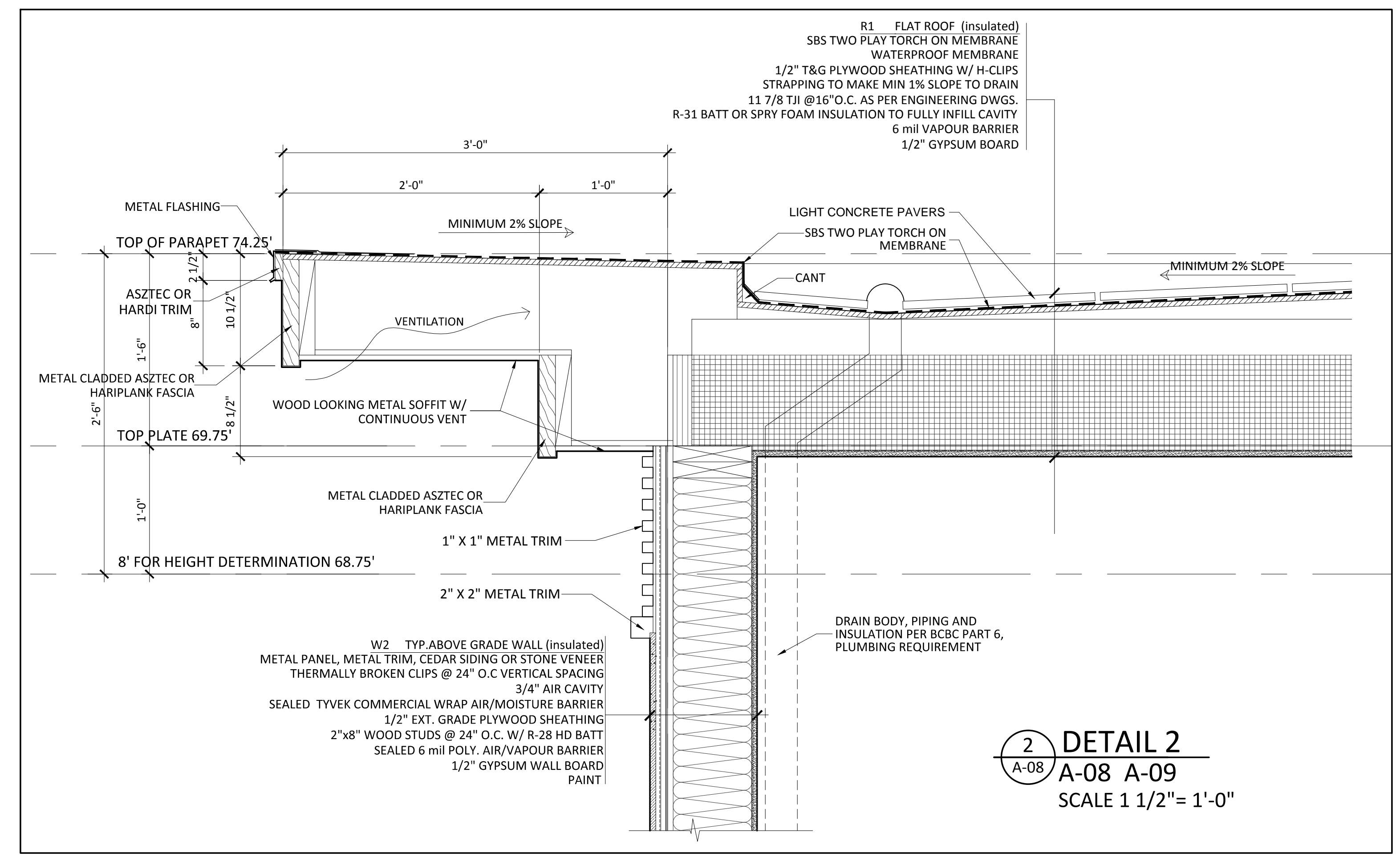
UPPER FLOOR LEVEL 60.76'
 MAIN FLOOR WINDOW HEADS LEVEL 58.5'

MAIN FLOOR LEVEL 49.5'
 LEVEL 49.0'
 AVERAGE GRADE: 47.56'

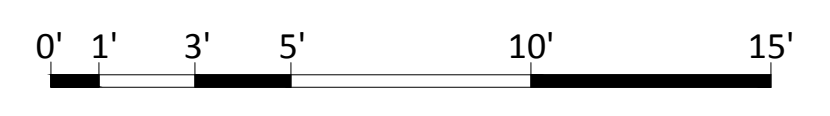


SECTION
 1 A-02 A-03 A-04
 SCALE 1/4" = 1'-0"

CONSTRUCTION ASSEMBLIES	
R1 FLAT ROOF (insulated) 3/4" SLATE PAVERS ON PEDESTALS (FOR LEVELING) 3/8" TORCH-ON MEMBRANE WATERPROOF MEMBRANE 1/2" T&G PLYWOOD SHEATHING W/ H-CLIPS STRAPPING TO MAKE MIN 1.5% SLOPE TO DRAIN 11 7/8 TJI @ 16" O.C. AS PER ENGINEERING DWGS. R-31 BATT INSULATION TO FULLY INFILL CAVITY 6 mil VAPOUR BARRIER 1/2" GYPSUM BOARD PAINT	F2a DECK FLOOR (OVER OUTDOOR SPACE) 3/4" SLATE PAVERS ON PEDESTALS (FOR LEVELING) 2-PLY TORCH-ON MEMBRANE 1/2" T&G PLYWOOD SHEATHING W/ H-CLIPS PURLINS (1% SLOPED TO DRAIN MINIMUM) 11 7/8 TJI @ 16" O.C. AS PER STRUCTURAL DWGS. 1/2" WOOD LOOKING METAL SOFFIT W/ CONTINUOUS VENT
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F1a CONC. FLOOR SLAB (LIVING AREAS) FLOOR FINISH 4" CONC. FLOOR SLAB RADIANT HEATING PIPES ON WIRE MESH 6 mil VAPOUR BARRIER (MIN. 4" LAP @ JOINTS) 3" R-12 EPS INSULATION 5" (MIN.) COMPACTED GRAVEL SOLID BEARING	W2 TYP. ABOVE GRADE WALL (insulated) METAL PANEL, METAL TRIM, CEDAR SIDING OR STONE VENEER THERMALLY BROKEN CLIPS @ 24" O.C. VERTICAL SPACING 3/4" AIR CAVITY SEALED TYVEK COMMERCIAL WRAP AIR/MOISTURE BARRIER 1/2" EXT. GRADE PLYWOOD SHEATHING 2"x8" WOOD STUDS @ 24" O.C. W/ R-28 HD BATT SEALED 6 mil POLY. AIR/VAPOUR BARRIER 1/2" GYPSUM WALL BOARD PAINT
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DETAIL 2
 A-08 A-09
 SCALE 1 1/2" = 1'-0"



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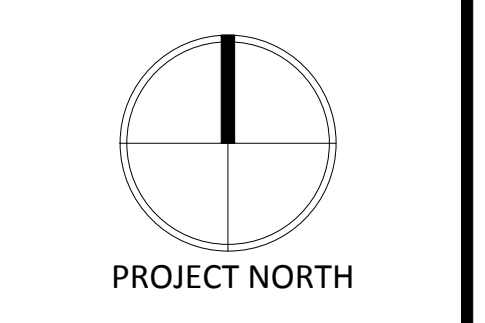
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NOTE:
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 DRAWINGS DONE TO BCBC 2028

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 SECTIONS

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