

2 FENCE ELEVATION WEST SIDE

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No.	Date	Revision
1	Dec 21 2017	Added Exisit. Garage A-02.1
2	Dec 21 2017	Extend of Addition & renovation indicated on Plans, Elevations and Sections
3	Jan 15 2018	Picture window North Elevation Coach House changed
4	Jan 15 2018	Existing fences added to site plan
5	April 12 2018	Proposed coach house profile added to existing garage plan. Main house porch stone veneer to remain, upper part stone veneer changed to cedar single siding on elevations. Site Plan gray shade indicate only proposed coach house addition and renovations.
6	June 06 2018	Existing cedar tree added to Site Plan as per Arborist report. (tree 1)
7	June 06 2018	Existing cedar tree side setback increased from 8' to 10'. Hard surface on front set back reduced.

PROJECT SUMMARY:
LEGAL DESCRIPTION:
 LOT F, BLOCK 2, DISTRICT LOT 811, GROUP ONE, NEW WESTMINSTER DISTRICT PLAN 17778
 P.I.D. 007-256-108
PROPERTY ADDRESS:
 4730 THE HIGHWAY, WEST VANCOUVER B.C.
ZONING: RS3
LOT SIZE: 24,690.82 sq. ft. = 2,293.70 m2
LOT SET BACKS:
 FRONT : 9.10 m = 30'-0"
 SIDE: 10% OF WIDTH(96.68') = 9.66' = 2.94 m
 COMBINE SIDE YARD 25% OF SITE WIDTH = 4.57m MAX. 1.5m MIN. = 24.97' = 7.61m
 REAR: 9.10 m = 30'-0"
LOT COVERAGE: 30% 7,407.24 sq. ft. = 688.13 m2
EXISTING MAIN HOUSE & GARAGE: 3,632.63sq ft = 337.47 m2
COACH HOUSE ADDITION (DIFFERENCE BETWEEN GARAGE & COACH HOUSE):
 134.82 sq. ft. = 12.52 m2
TOTAL: 3,767.45 sq ft = 350.0 m2 15.26%
FRONT YARD HARD SURFACE:
 TOTAL SET BACK AREA 2,931.21 sq ft = 272.31 m2
 50% = 1,465.60 sq ft = 136.15 m2
 PROPOSED: 1,211.56 sq ft = 112.55 m2 41.33%
FAR: 0.35 8,641.79 sq ft = 802.82 m2
EXISTING BUILD AREA MAIN HOUSE:
 EXISTING BASEMENT: 1,679.5sq ft = 156.02m2 FOR FAR COUNT 1/3: 560.00 sq ft = 52.00 m2
 EXISTING MAIN FLOOR 2,809.70 sq ft = 44.7 sq ft + 77.63 sq ft = 2,842.63 sq ft = 261.02 m2
 EXISTING UPPER FLOOR 1,391.80 sq ft = 129.29 m2
TOTAL 4,794.43 sq ft = 442.31m2
ACCESSORY BUILDING:
 EXISTING GARAGE TO BE REPLACE WITH COACH HOUSE 543.90 sq ft = 50.52 m2
PROPOSED COACH HOUSE AREA:
 MAIN FLOOR 678.72 sq. ft. = 63.05 m2
 UPPER FLOOR (60% OF MAIN FLOOR) 406.75 sq. ft. = 37.78 m2
TOTAL 1,085.47 sq. ft. = 100.83 m2
FRONT SETBACK EXISTING TO BE RETAINED 11.60' = 3.53m
SIDE WEST SETBACK EXISTING TO BE RETAINED 8.00' = 3.43m
DISTANCE FROM MAIN BUILDING REQUIRED 4.9 m PROPOSED: 49.96' = 15.23 m
HIGH M.A. ROOF ALLOWED & PROPOSED 24.0' = 6.4m

GRADE CALCULATIONS

COACHHOUSE	Elev 1			Natural Grade	Elev 2				
	Spot	Length	Average		Spot	Length	Average		
A1	97.1	37	97.25	98.50	A	36	96.68	24	1920.00
A2	96.3	96.3	96.3	102.70					
A3	96.3	96.3	96.3	48.25					
B1	96.3	96.3	3.17	305.27	B	96.6	96.7	3.17	305.70
C1	96.3	96.3	12.34	1100.02	C	96.7	96.6	12.34	1102.60
D1	98	98	0.5	40.00	D	96.6	97.7	15.66	1521.87
E1	96.5	96.5	15.36	1462.34					
F1	96.5	96.5	12.34	1191.04	E	97.7	97	12.34	1201.34
G1	96.5	96.5	3.17	305.30	F	97	96.9	3.17	307.29
H1	98	98	0.5	40.00	G	96.4	96.7	24	1926.00
I1	96.3	96.3	19.5	1877.86					
J1	96.3	96.3	4.5	438.35	H	96.7	95.65	4.5	430.54
K1	96.3	96.3	3.5	337.05	I	95.65	95.6	3.5	334.69
L1	96.3	96	20	2211.45	J	95.6	95.9	20	2202.25
M1	96.5	96.5	3.5	337.05	K	95.9	95.95	3.5	335.74
N1	96.5	96.5	4.5	438.35	L	95.95	96	4.5	431.89
			125.68	12211.79		96.37		125.68	12128.49

EXISTING FENCE

EXISTING FENCE

EXISTING FENCE

EXISTING FENCE

EXISTING FENCE

EXISTING FENCE

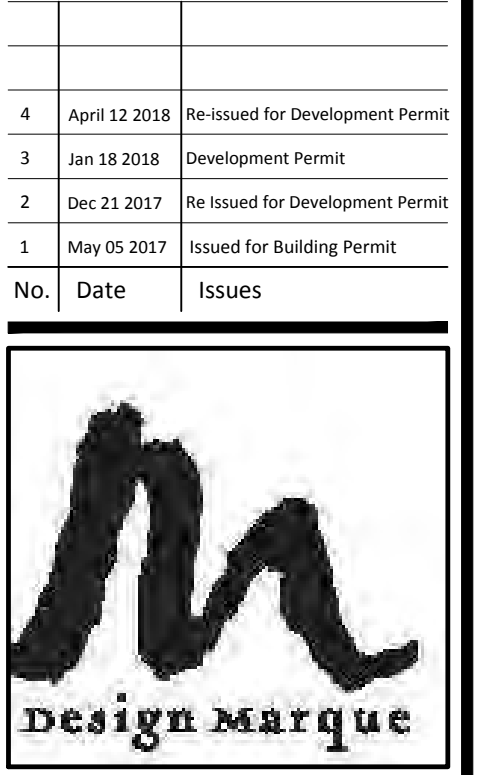
CONTACT:
 DESIGN MARQUE CONSULTING LTD.
 Contact: MARQUE THOMPSON
 235 17th ST.
 West Vancouver, BC V7V 4T1
 Phone: 604 925 1401
 marque@designmarque.com

DRAWING LIST:
 A-01 SITE PLAN
 A-02 COACH HOUSE FLOOR PLANS
 A-03 COACH HOUSE ELEVATIONS
 A-04 RESIDENCE MAIN FLOOR PLAN
 A-05 RESIDENCE UPPER FLOOR PLAN
 A-06 RESIDENCE ELEVATIONS
 A-07 RESIDENCE ELEVATIONS
 A-08 RESIDENCE SECTION

1 SITE PLAN
 SCALE 1/8" = 1'-0"

- [Hatched] TO BE DEMOLISHED OR REMOVED
- [Solid Gray] TO BE ADDED
- [Dashed Line] EXISTING WOOD FENCE
- [Dotted Line] EXISTING CHAINLINK FENCE
- [Thin Solid Line] EXISTING METAL HANDRAIL
- [Thick Solid Line] EXTEND OF THE PROPOSED COACH HOUSE, ADDITION AND RENOVATION

NOTES:
 1.- KEEP ALL RETAINING WALL FOOTINGS WITH IN THE PROPERTY LINE.



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 www.designmarque.com

235 17th St.
 West Vancouver, B.C. V7V 4T1

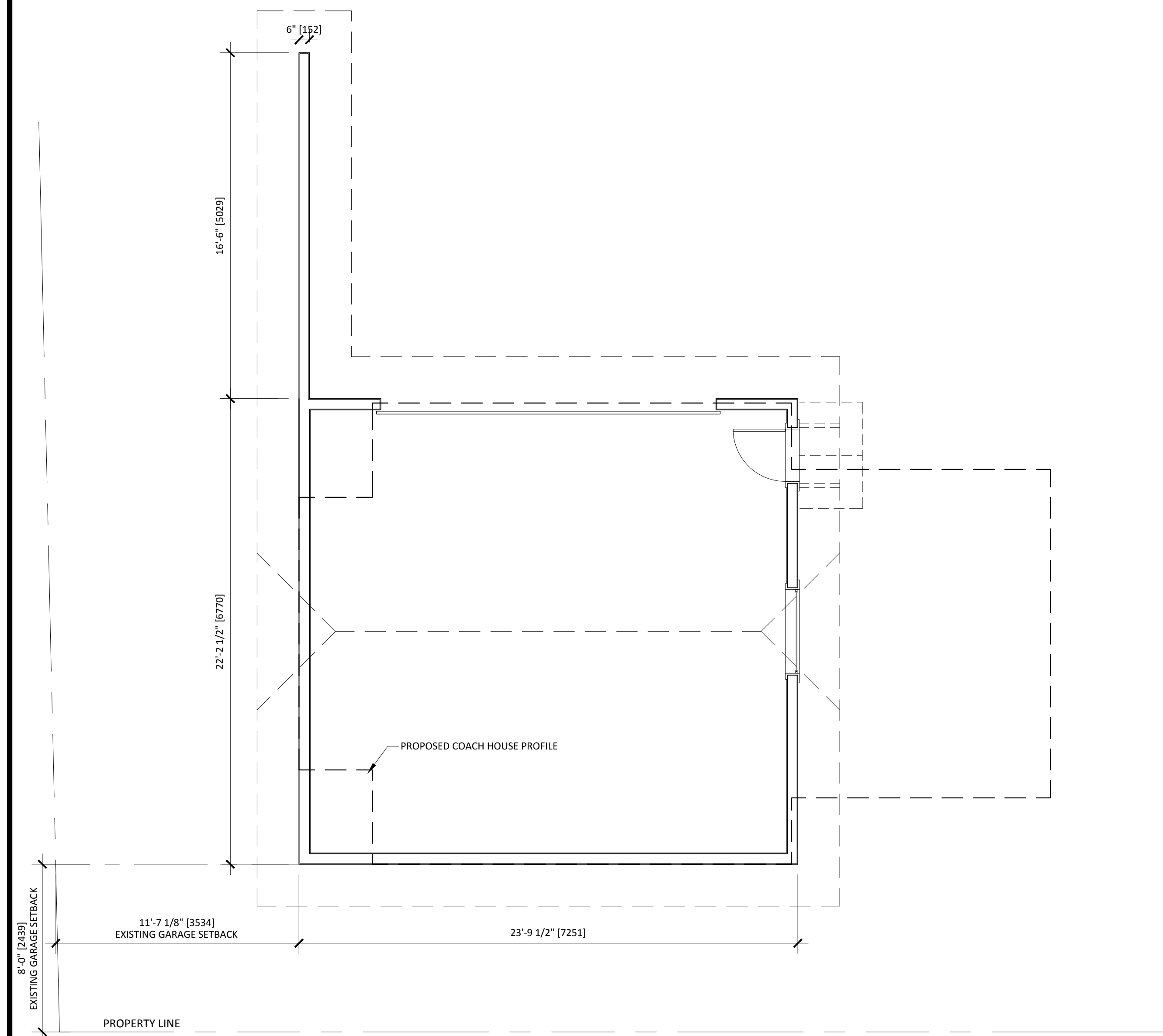
Coach House Addition & Main House Renovations
 Linda Annable

4730 The Highway
 West Vancouver, B.C.

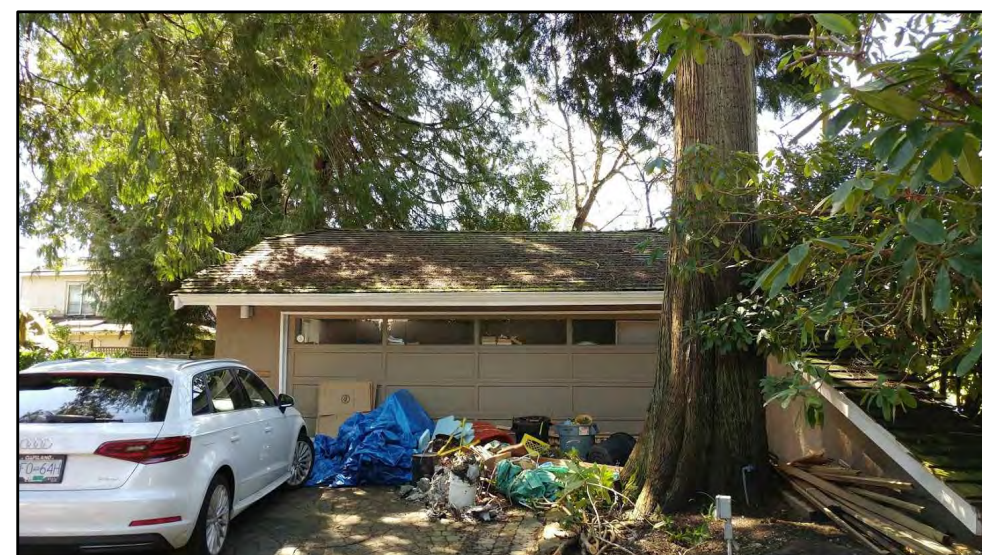
Drawing Title:

SITE PLAN

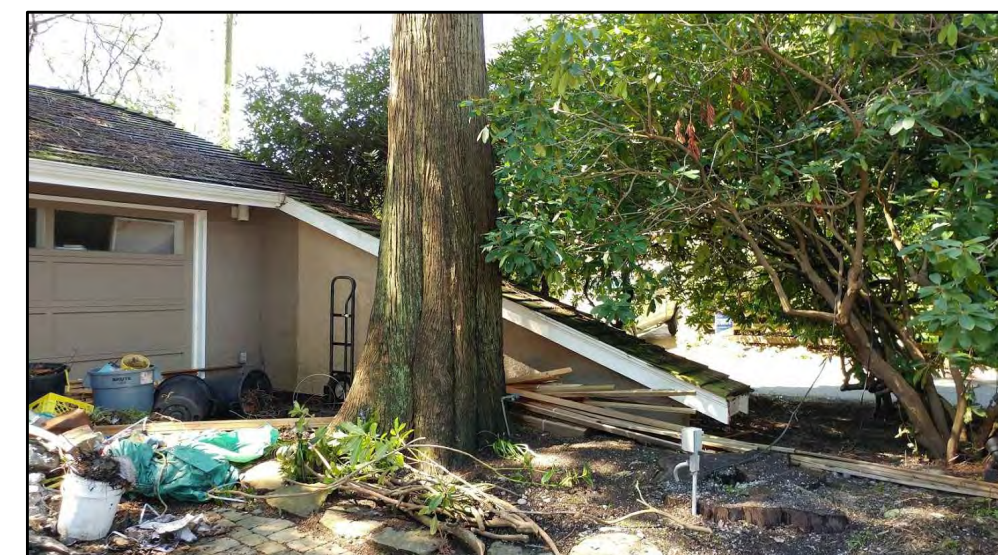
Drawn: L.G.	Job No:
Checked: M.T.	Date: March 2017
Scale: 1/8" = 1'-0"	Drawing No:
PLOT SIZE 36"x26"	A-01



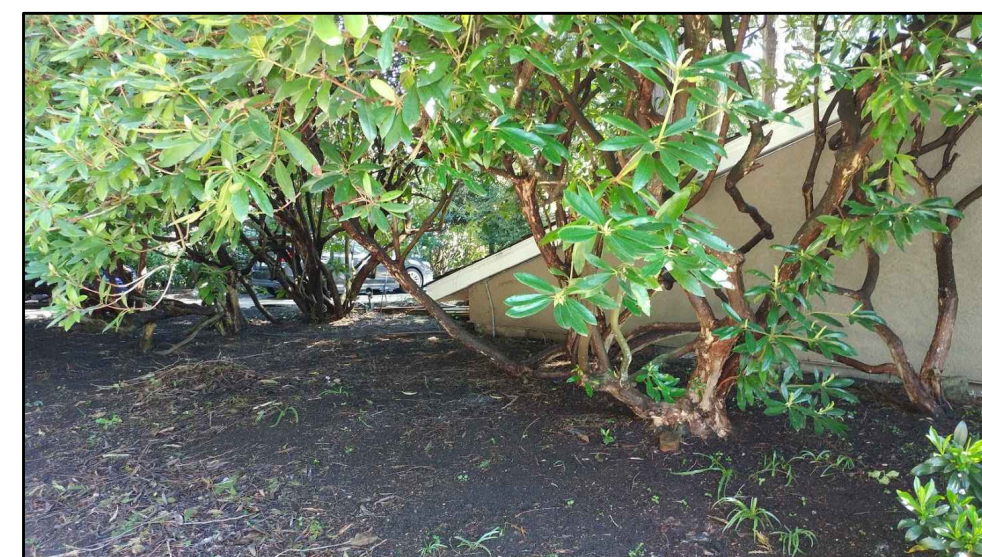
1 GARAGE FLOOR PLAN AREA 528.36 sq. ft. =49.08 m2
SCALE 1/4" = 1'-0"



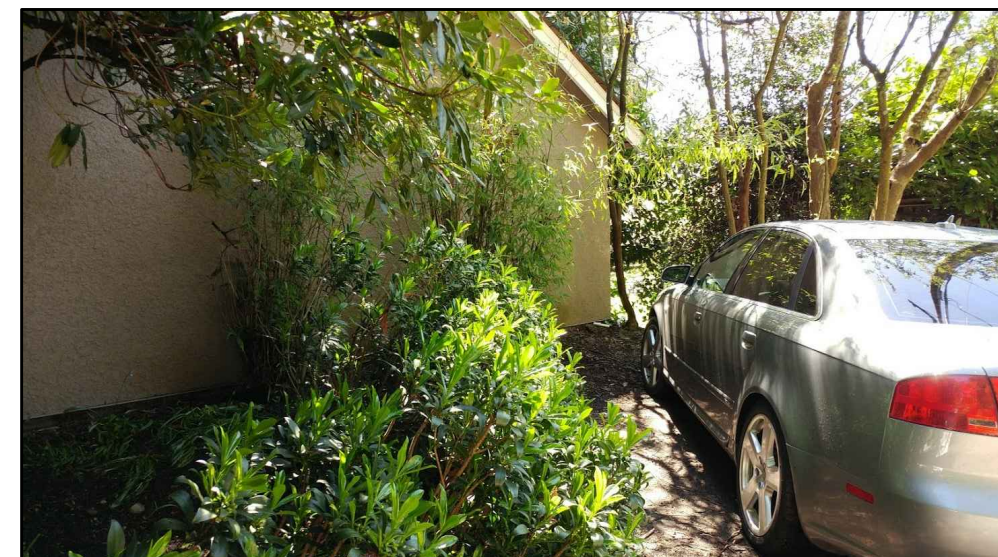
NORTH WALL



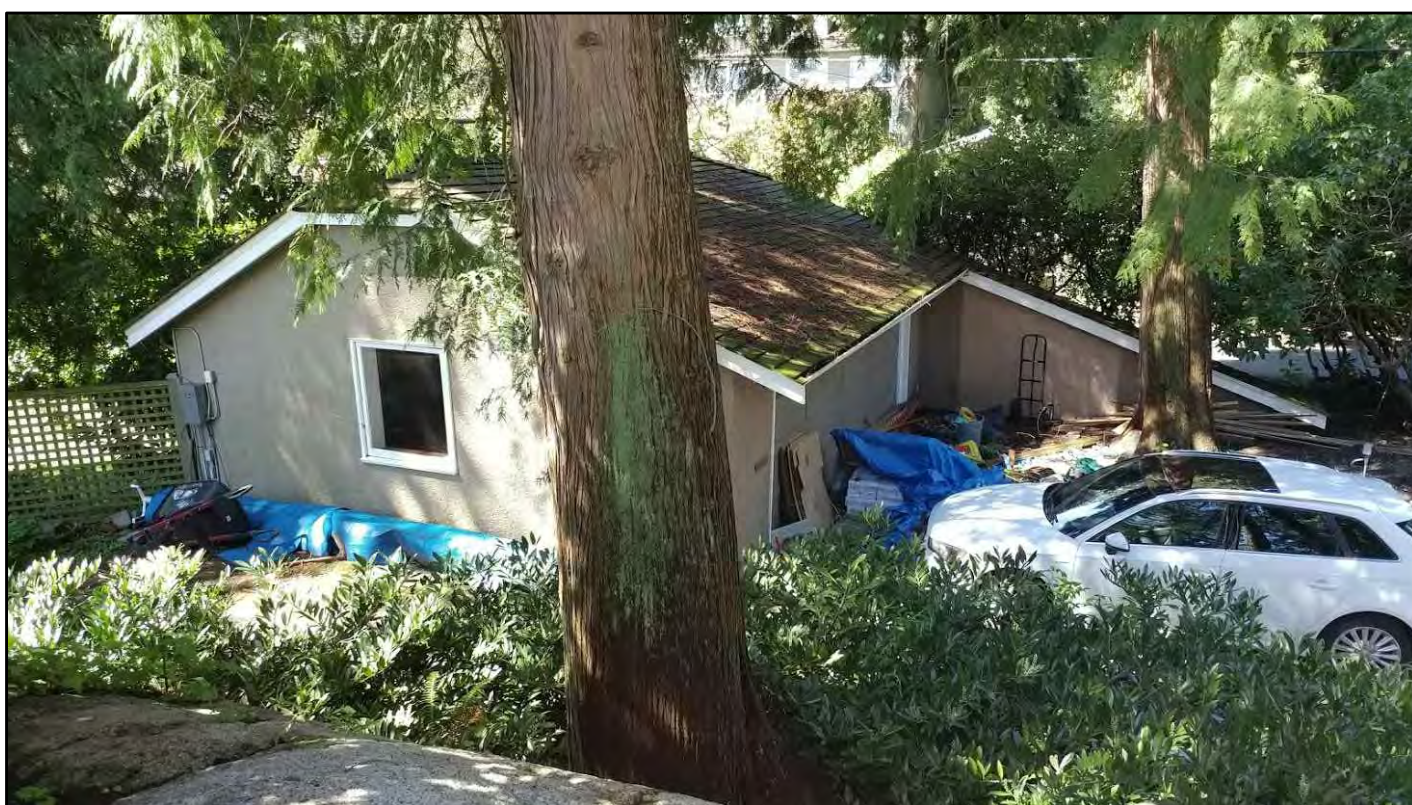
NORTH-WEST VIEW



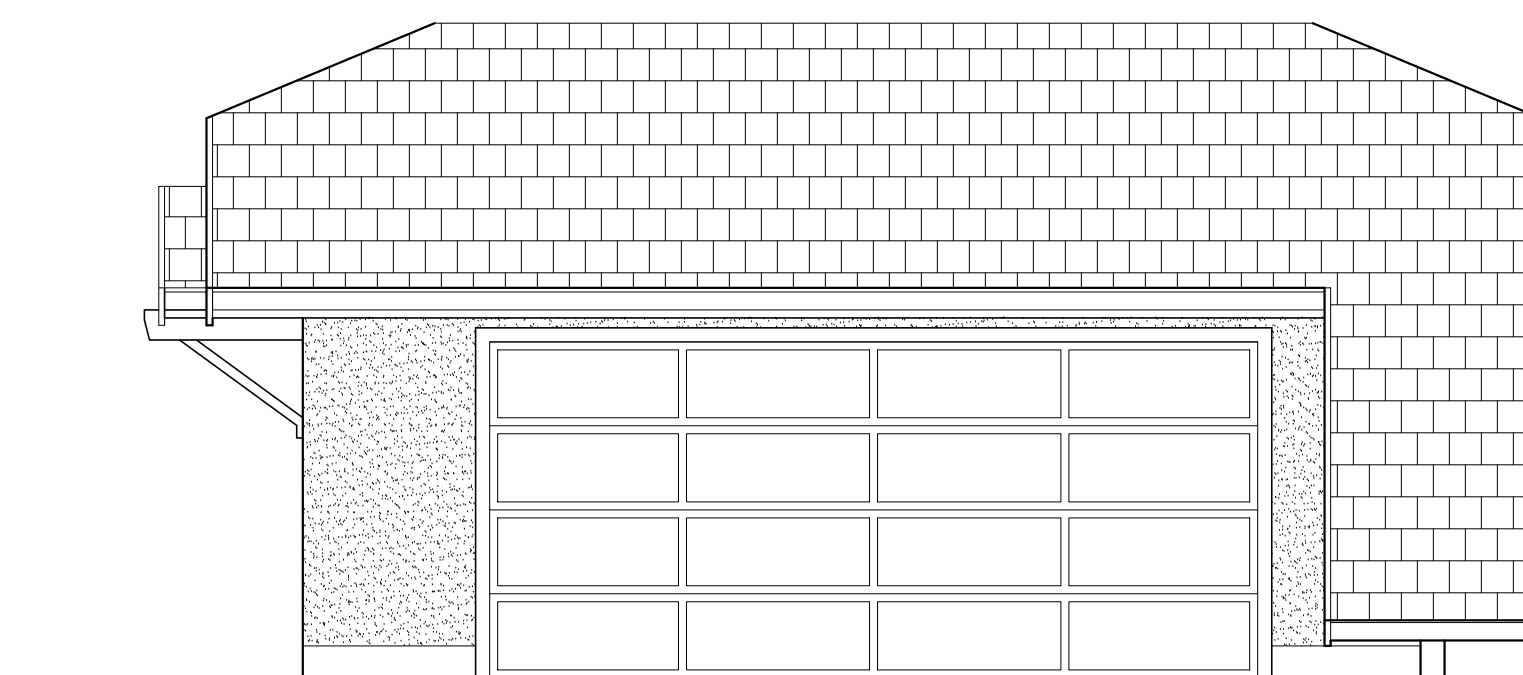
WEST WALL NORTH



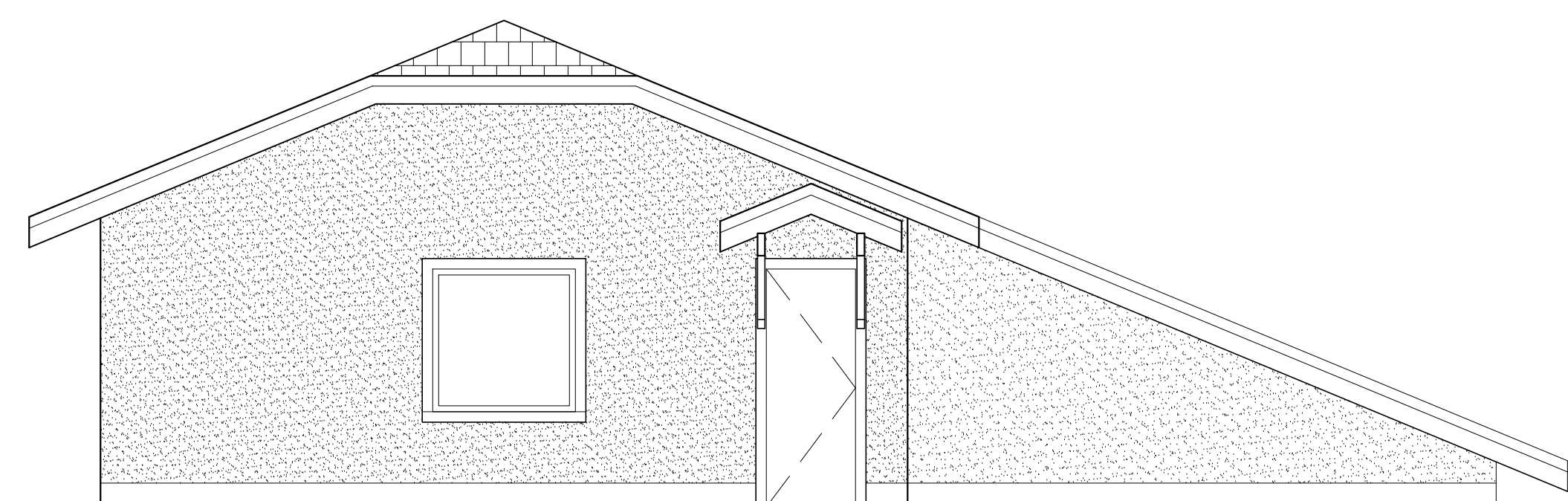
WEST WALL SOUTH



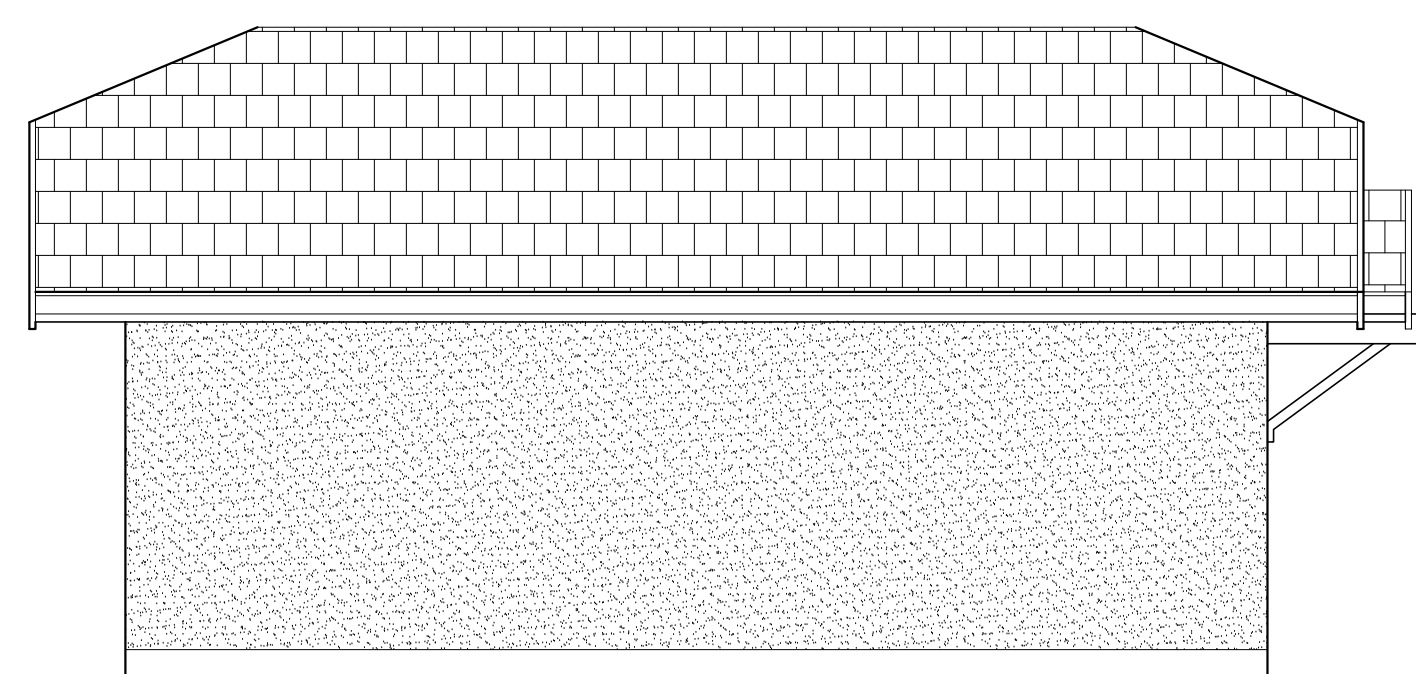
NORTH-EAST VIEW



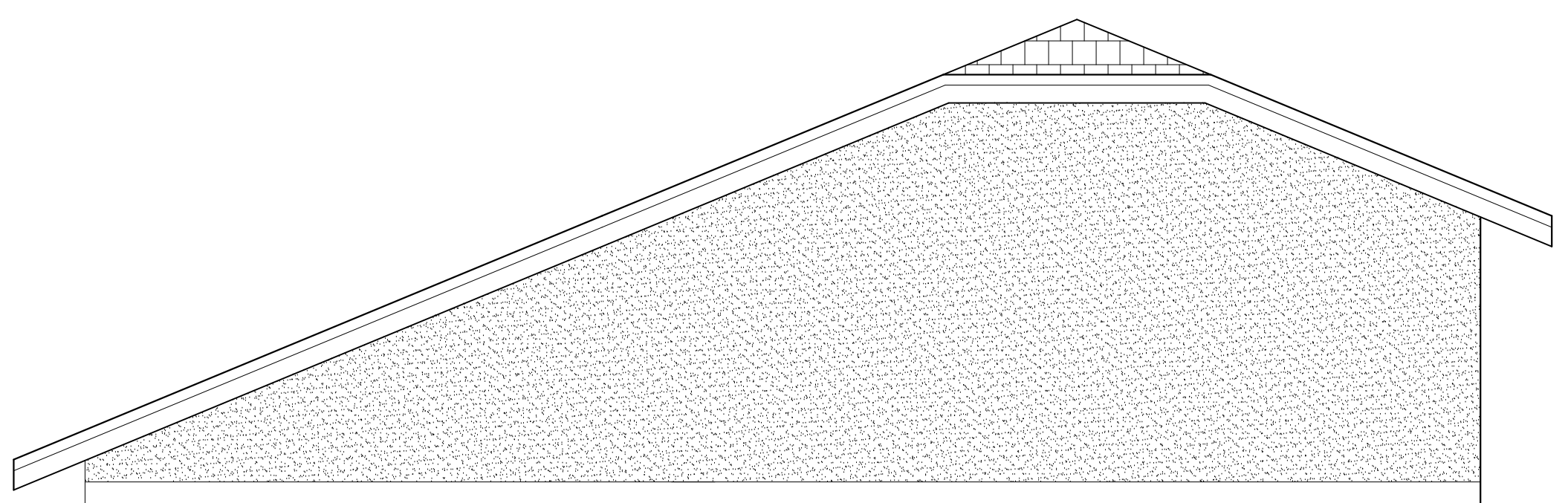
2 NORTH ELEVATION



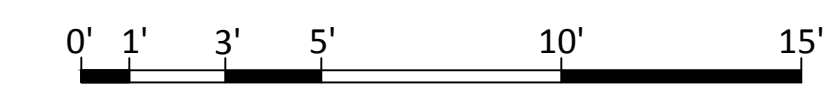
3 EAST ELEVATION



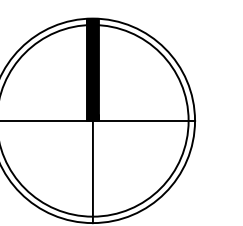
4 SOUTH ELEVATION



5 WEST ELEVATION



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No.	Date	Issues
4	April 12 2018	Re-issued for Development Permit
3	Jan 18 2018	Development Permit
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1	May 05 2017	Issued for Building Permit



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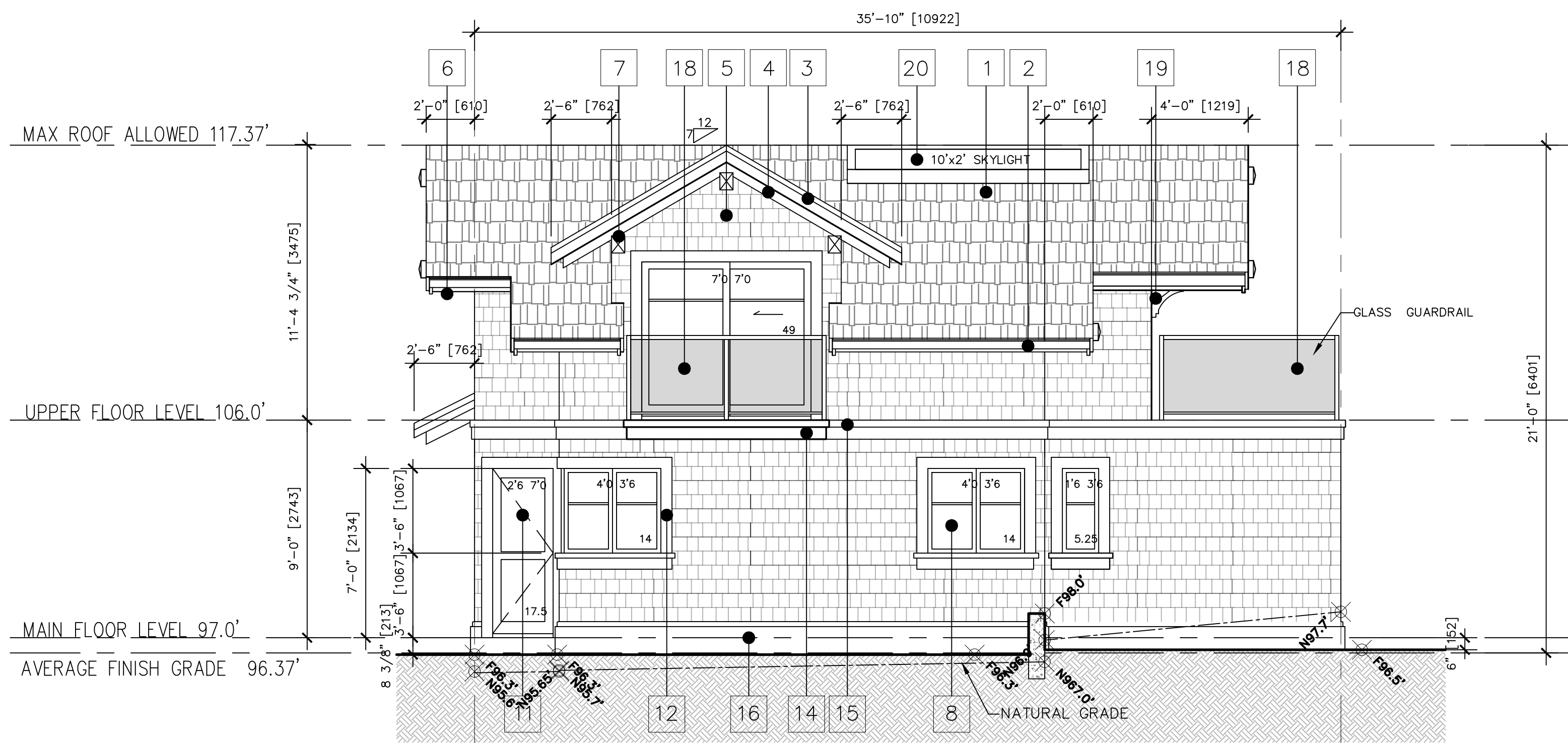
Project:
Coach House Addition & Main House Renovations
Linda Annable

4730 The Highway
West Vancouver, B.C.

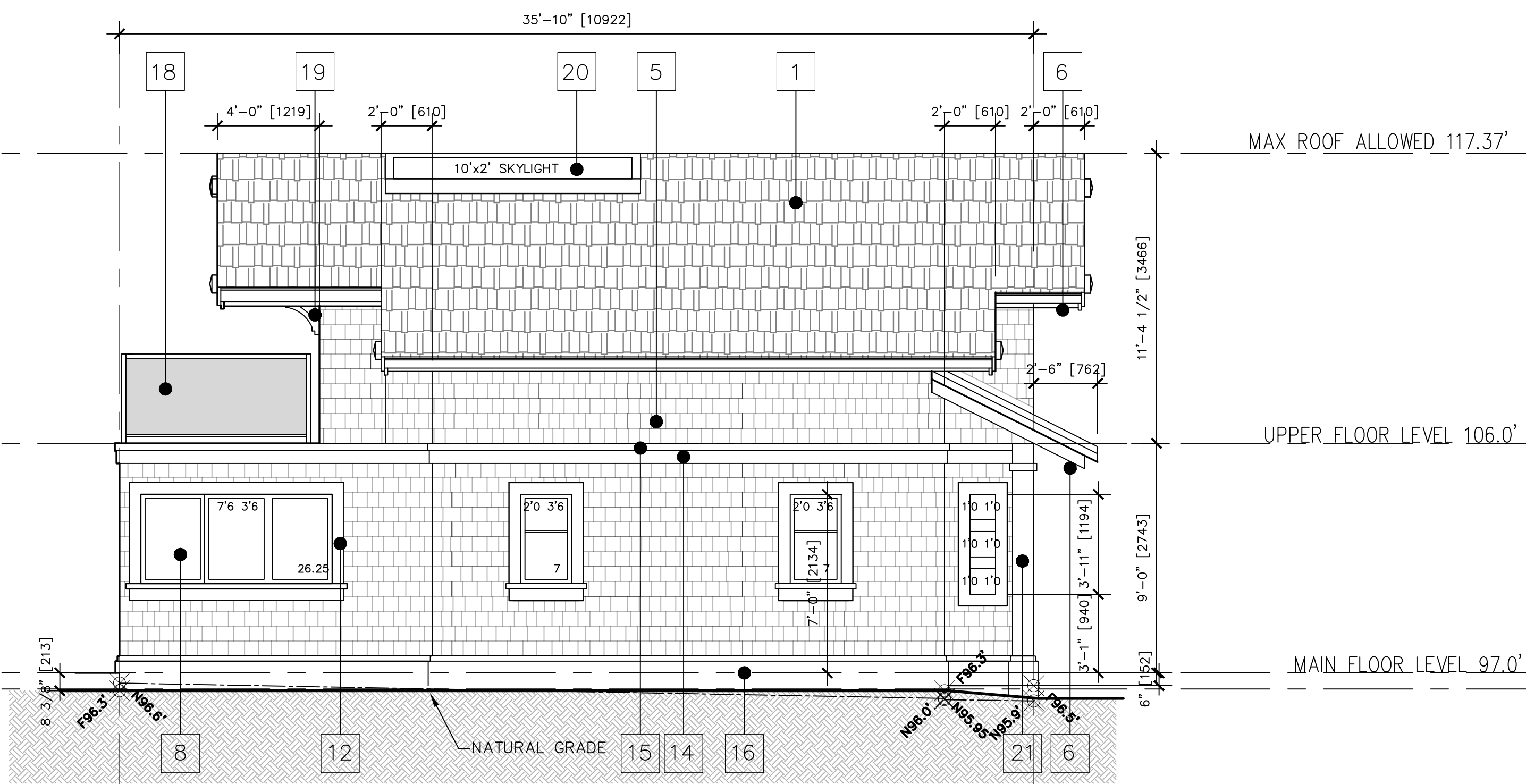
Drawing Title:

EXISTING GARAGE

Drawn:	L.G.	Job No:	
Checked:	M.T.	Date:	March 2017
Scale:		Drawing No:	A-02.1
PLOT SIZE:	36"X26"		



1 SOUTH ELEVATION COACH HOUSE



2 NORTH ELEVATION COACH HOUSE

EXTERIOR FINISH MATERIALS

- | | |
|--|---|
| 1 CEDAR ROOF SHINGLES | 11 INSULATED EXTERIOR DOOR SPEC. & COLOR: T.B.C. |
| 2 METAL FLASHING & ALUMINIUM GUTTERS | 12 1"x 6" CEDAR WINDOW & DOOR TRIM PAINTED, COLOR: T.B.C. |
| 3 METAL FLASHING OVER 1"x8" FASCIA SPEC. & COLOR: T.B.C. | 13 |
| 4 2x12 CROWN SPEC. & COLOR: T.B.C. | 14 1"x 10" CEDAR MID-BAND PAINTED, COLOR: T.B.C. |
| 5 6" EXPOSURE CEDAR SHINGLES MITERED CORNERS | 15 METAL FLASHING OVER 1"x 4" CEDAR TRIM PAINTED, COLOR: T.B.C. |
| 6 T&G WOOD SOFFIT W/ CONTINUOUS VENT UNDER | 16 CAST STONE BASE |
| 7 6"x 9" WOOD BEAM SPEC. & COLOR: T.B.C. | 17 VENTILATION LOUVER |
| 8 THERMALLY BROKEN DOUBLE GLAZED LOW E WOOD WINDOW | 18 METAL RAILING WITH SAFETY GLASS GUARD |
| 9 THERMALLY BROKEN DOUBLE GLAZED LOW E WOOD FRENCH DOOR | 19 WOOD BRACKET PAINTED, COLOR: T.B.C. |
| 10 MAIN ENTRANCE WOOD AND GLASS DOOR SPEC. & COLOR: T.B.C. | 20 RIDGE SKYLIGHT |
| | 21 CAST STONE COLUMN |

OCCUPANCY GROUP C (BUILDING IS SPRINKLERED)
TABLE 3.2.3.1.D
SPATIAL SEPARATION SOUTH WALL COACH HOUSE:
LIMITING DISTANCE: 8.0 ft = 2.43 m
EXPOSED BUILDING FACE: 478.75 sq ft = 45.40 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 26% = 11.8 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 90.75 sq ft 8.43 m² = 18.57 %

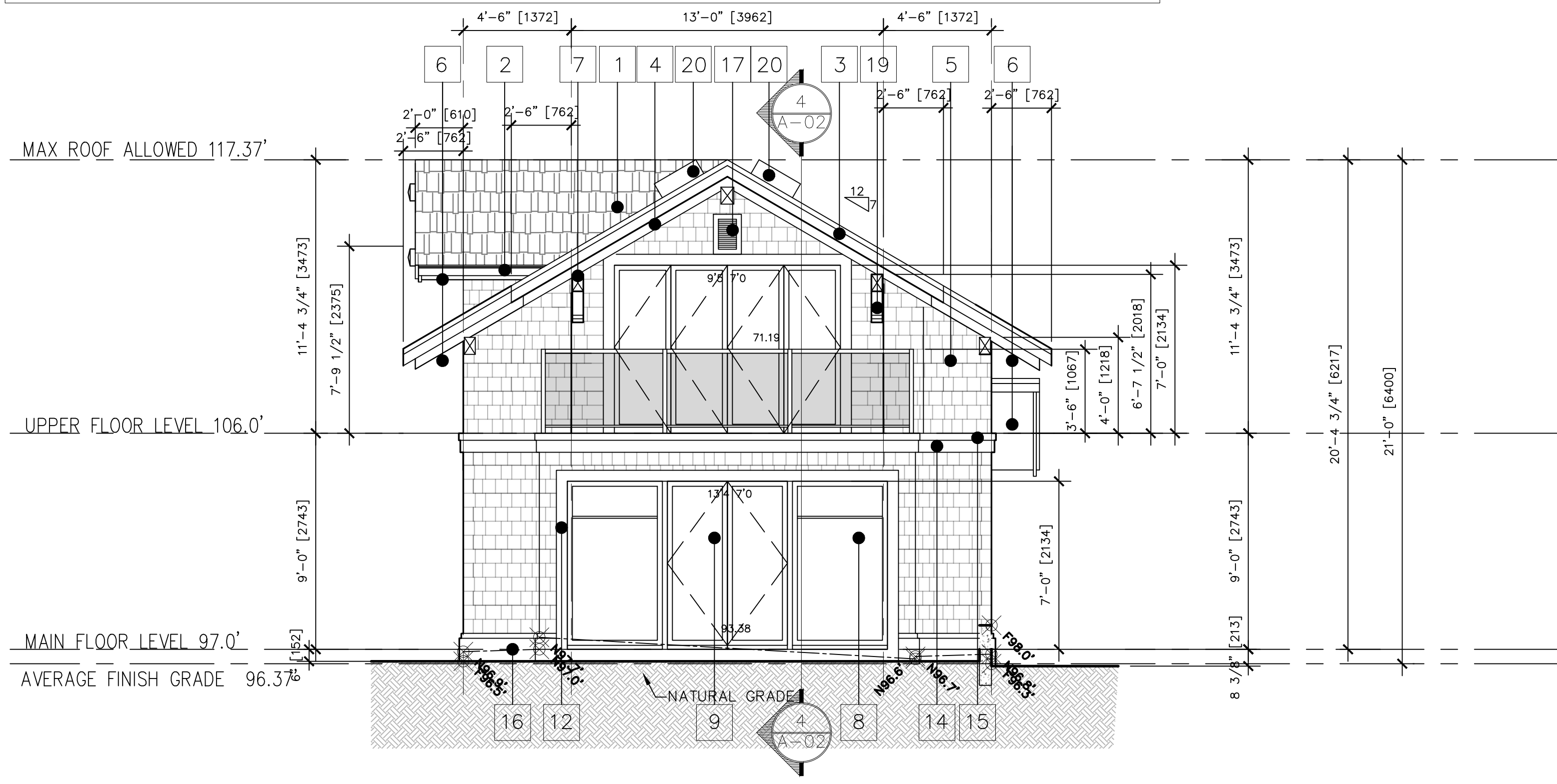
OCCUPANCY GROUP C (BUILDING IS SPRINKLERED)
TABLE 3.2.3.1.D
SPATIAL SEPARATION EAST WALL COACH HOUSE:
LIMITING DISTANCE: 49.67 ft = 15.14 m
EXPOSED BUILDING FACE: 361.63 sq ft = 33.59 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 33.59 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 164.57 sq ft 15.28 m² = 45.51 %

OCCUPANCY GROUP C (BUILDING IS SPRINKLERED)
TABLE 3.2.3.1.D
SPATIAL SEPARATION NORTH WALL COACH HOUSE:
LIMITING DISTANCE: 66.2 ft = 20.18 m
EXPOSED BUILDING FACE: 491.55 sq ft = 45.66 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 45.66 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 43.25 sq ft 4.01 m² = 8.8 %

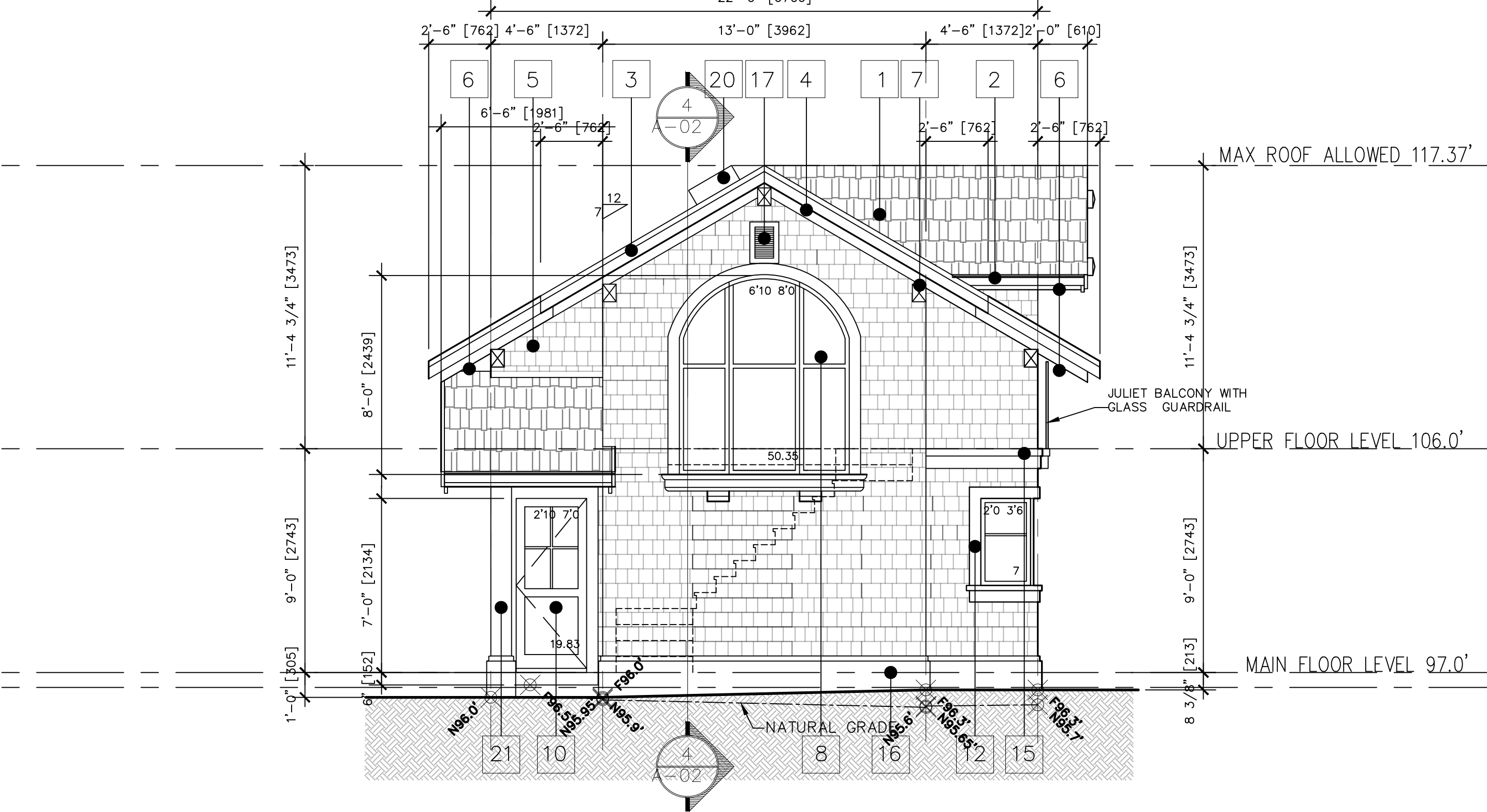
OCCUPANCY GROUP C (BUILDING IS SPRINKLERED)
TABLE 3.2.3.1.D
SPATIAL SEPARATION WEST WALL COACH HOUSE:
LIMITING DISTANCE: 11.58 ft = 3.53 m
EXPOSED BUILDING FACE: 356.13 sq ft = 33.08 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 52% = 17.2 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 77.18 sq ft 7.17 m² = 21.67 %

NOTE:
ALL ROOF, FLOOR AND WALL ASSEMBLIES;
WINDOWS, GLASS DOORS AND DOORS
TO COMPLY WITH 9.36 BCBC 2012 ENERGY
EFFICIENCY.

NOTE:
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3 EAST ELEVATION COACH HOUSE



4 WEST ELEVATION COACH HOUSE

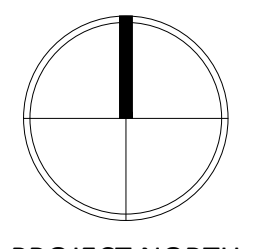
2018.09.13 RE-ISSUE FOR BP - A-02 & A-03 ONLY
PROJECT:
COACH HOUSE ADDITION
4730 THE HIGHWAY,
WEST VANCOUVER, BC
LINDA ANNABLE RESIDENCE
DRAWING TITLE:
COACH HOUSE - EXTERIOR ELEVATIONS
DATE: SEPT 13, 2018
SCALE: AS SHOWN
DRAWN BY: JH / LM
DRAWING NO.:

A-03

NOTE:
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Project:

Coach House Addition & Main House Renovations
Linda Annable

4730 The Highway
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Drawing Title:

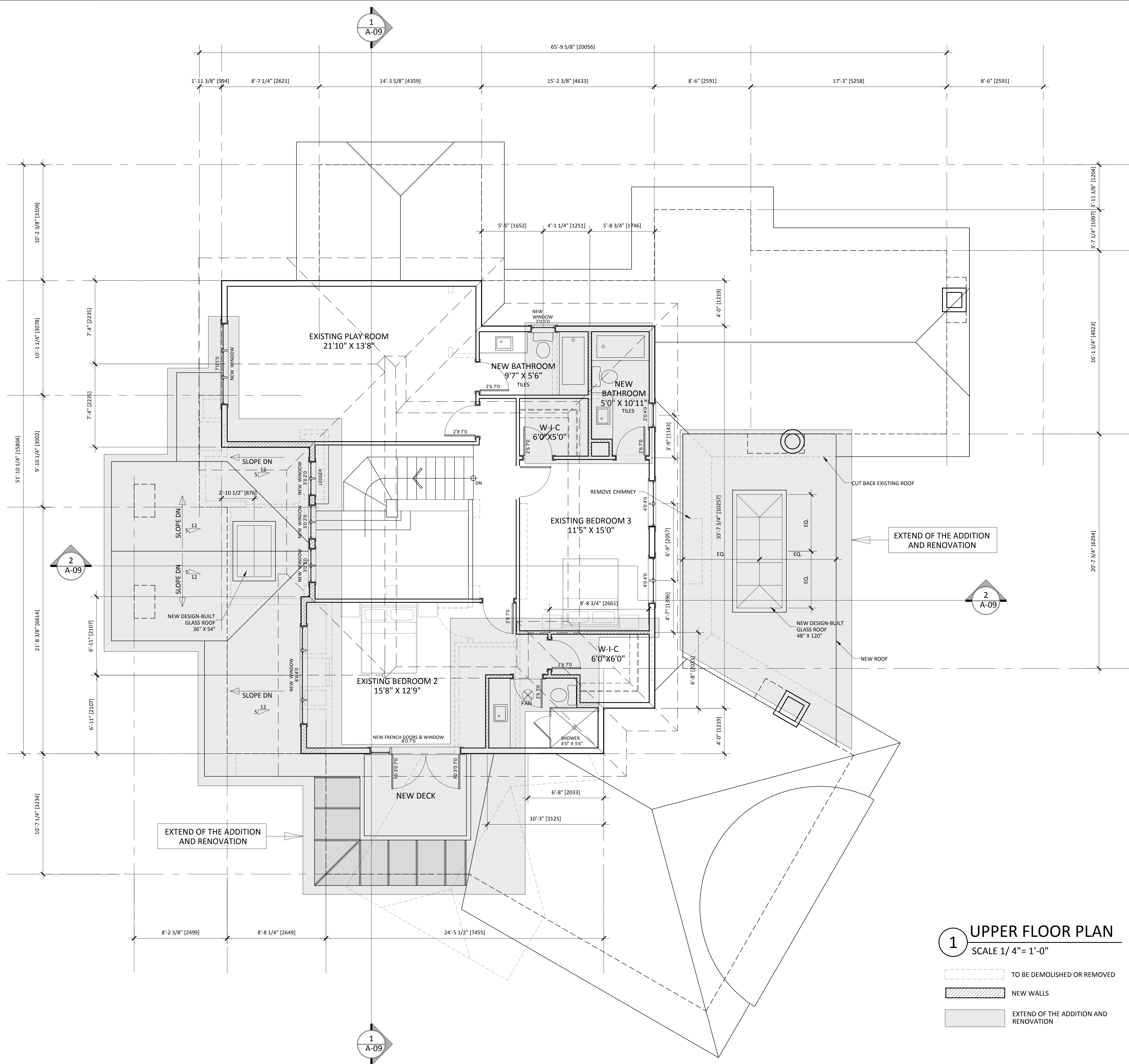
UPPER FLOOR PLAN

Drawn: L.G. Job No:

Checked: M.T. Date: March 2017

Scale: 1/4" = 1'-0" Drawing No:

PLOT SIZE 36"X26" **A-05**



1 UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

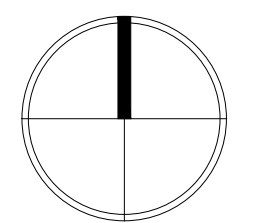
- TO BE DEMOLISHED OR REMOVED
- NEW WALLS
- EXTEND OF THE ADDITION AND RENOVATION



NOTE:
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& Main House
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Drawing Title:

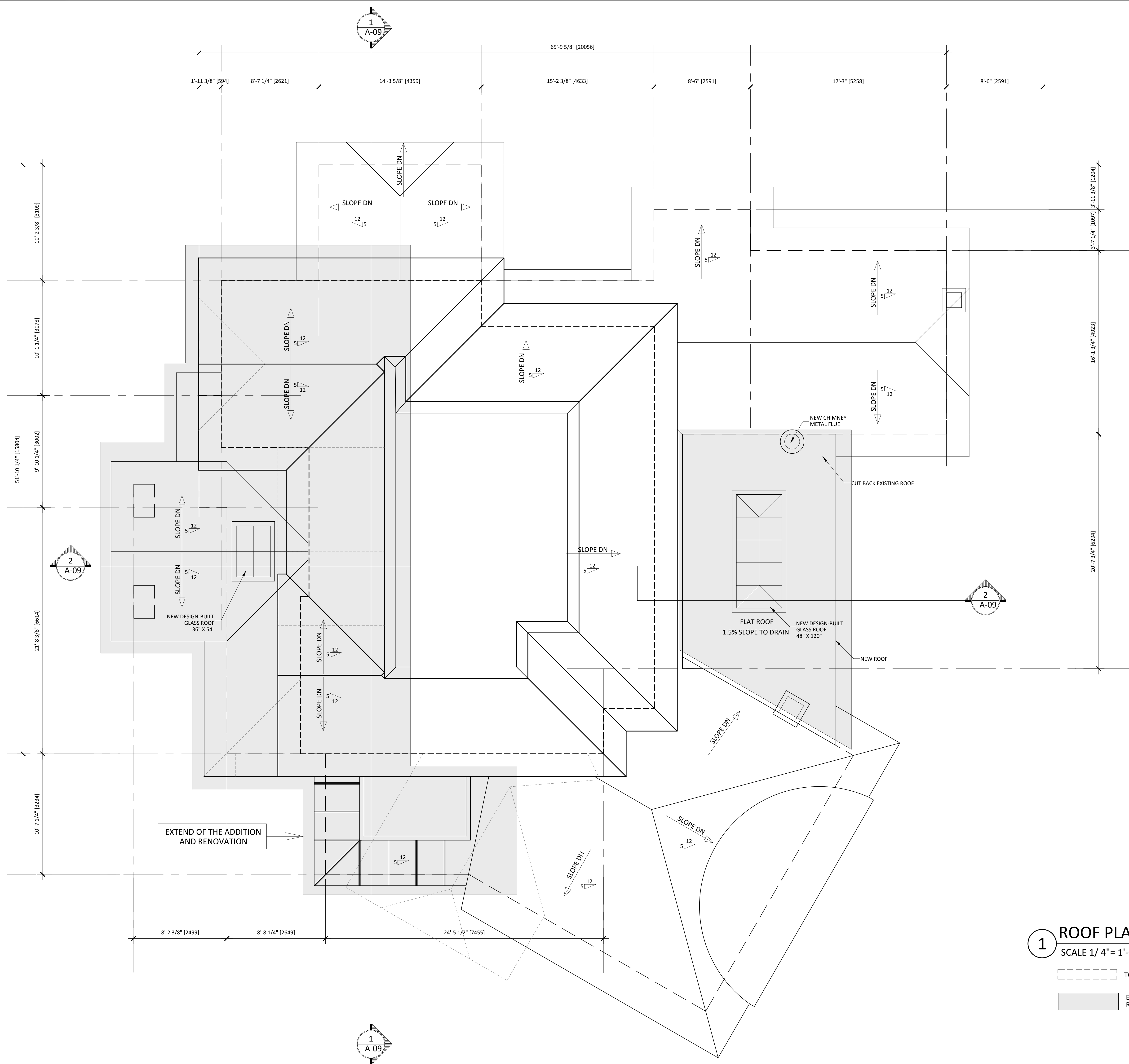
ROOF PLAN

Drawn: L.G. Job No:

Checked: M.T. Date: March 2017

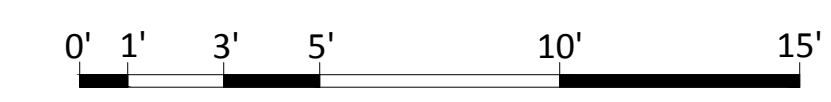
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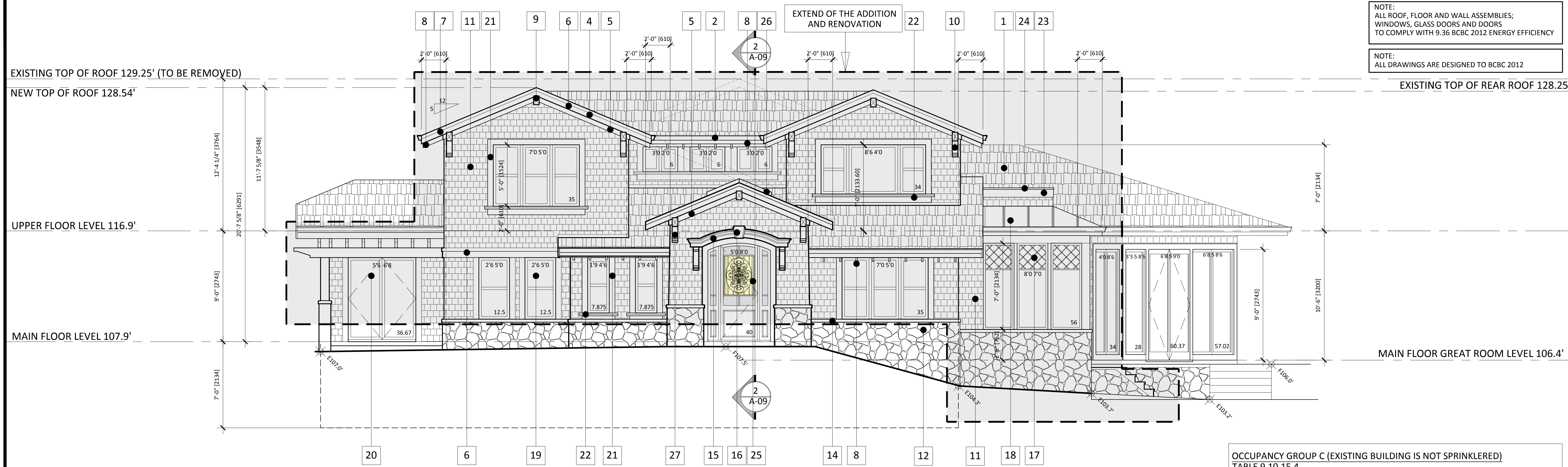
PLOT SIZE 36"X26" A-06



1 ROOF PLAN
SCALE 1/4" = 1'-0"

- TO BE DEMOLISHED OR REMOVED
- EXTEND OF THE ADDITION AND RENOVATION

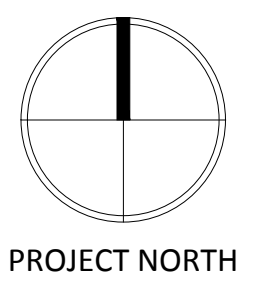




NOTE:
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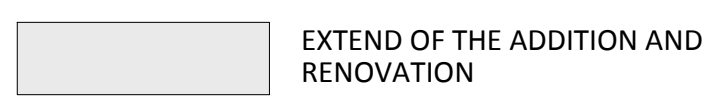


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- | | | |
|--|--|--|
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| 2 METAL FLASHING & ALUMINUM GUTTERS | 11 6" EXPOSURE CEDAR SHINGLES MITERED CORNERS | 20 THERMALLY BROKEN DOUBLE GLAZED LOW E WOOD FRENCH DOOR |
| 3 2"x 15" FASCIA COLOR T.B.C. | 12 BEDROCK 2" STONE VENEER - SQUAMISH BROME OR SIMILAR SPEC. & COLOR: T.B.C. | 21 2"x 6" CEDAR WINDOW & DOOR TRIM, SPEC & COLOR T.B.C. |
| 4 METAL FLASHING OVER 1x8 FASCIA SPEC. & COLOR: T.B.C. | 13 STUCCO SPEC. & COLOR T.B.C. | 22 CEDAR WINDOW SILL PAINTED, COLOR T.B.C. |
| 5 2x12 CROWN SPEC. & COLOR: T.B.C. | 14 CAST STONE SILL PATTERSON WHITTAKER CA2196 2.25"x3" | 23 2"x 8" CEDAR BAND COLOR T.B.C. |
| 6 METAL FLASHING OVER 1"x 4" CEDAR TRIM PAINTED, COLOR: T.B.C. | 15 CAST STONE HEAD PATTERSON WHITTAKER HEAD15 (5.75"x8.8") | 24 2"x 10" CEDAR BALCONY SILL, COLOR T.B.C. |
| 7 T&G WOOD SOFFIT W/ CONTINUOUS VENT UNDER | 16 CAST STONE KEYSTONE PATTERSON WHITTAKER CA2072 | 25 MAIN ENTRANCE WOOD AND GLASS DOOR SPEC. & COLOR: T.B.C. |
| 8 FALSE WOOD TALES | 17 DECORATIVE WOOD LATTICE | 26 SKYLIGHT |
| 9 6"x9" WOOD BEAM SPEC. & COLOR: T.B.C. | 18 METAL ROOF SPEC & COLOR T.B.C. | 27 CAST STONE BRACKET PATTERSON WHITTAKER CA2365 (1 "X22 1/2") |

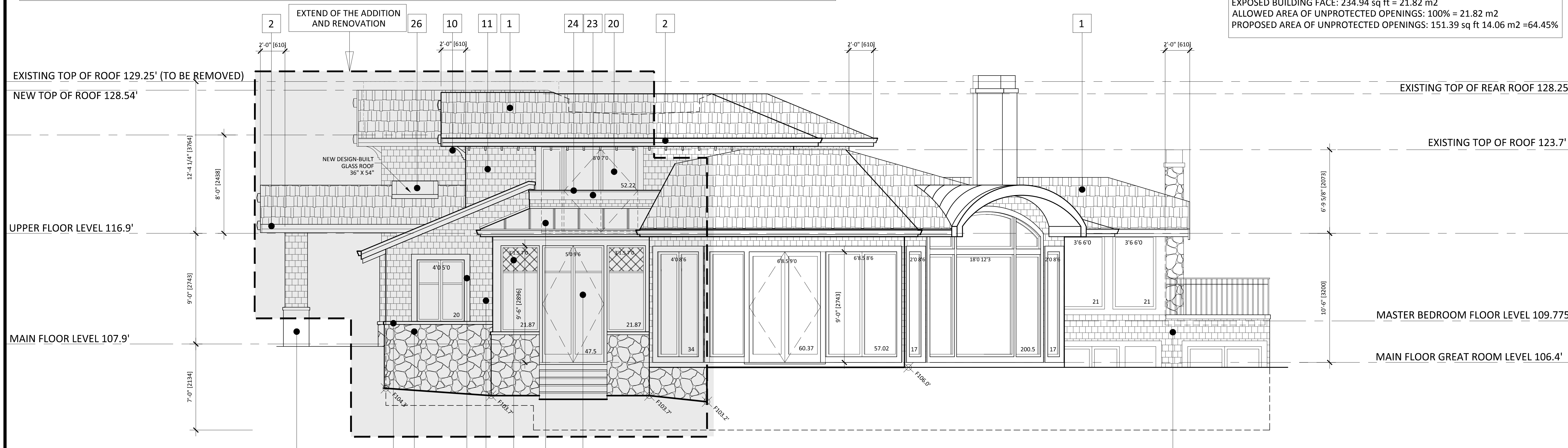
1 WEST ELEVATION
SCALE 1/4" = 1'-0"



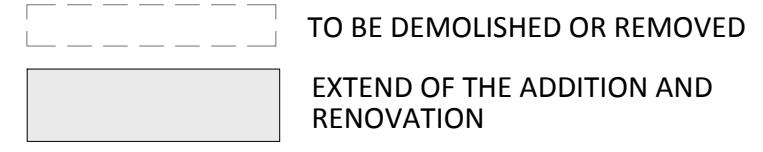
OCCUPANCY GROUP C (EXISTING BUILDING IS NOT SPRINKLERED)
TABLE 9.10.15.4
SPATIAL SEPARATION WEST WALL HOUSE:
LIMITING DISTANCE: 49.67 ft = 15.14 m
EXPOSED BUILDING FACE: 976.47 sq ft = 90.71 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 90.71 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 295.42 sq ft 27.44 m² = 30.25 %

OCCUPANCY GROUP C (EXISTING BUILDING IS NOT SPRINKLERED)
TABLE 9.10.15.4
SPATIAL SEPARATION SOUTH WALL HOUSE:
LIMITING DISTANCE: 34.21 ft = 10.43 m
EXPOSED BUILDING FACE: 248.0 sq ft = 53.63 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 85% = 45.58 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 163.46 sq ft 15.18 m² = 28.31%

OCCUPANCY GROUP C (EXISTING BUILDING IS NOT SPRINKLERED)
TABLE 9.10.15.4
SPATIAL SEPARATION SOUTH-WEST WALL HOUSE:
LIMITING DISTANCE: 34.28 ft = 10.45 m
EXPOSED BUILDING FACE: 234.94 sq ft = 21.82 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 21.82 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 151.39 sq ft 14.06 m² = 64.45%



2 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



PHONE: 604.925.4101
CELL: 604.788.5555
FAX: 604.925.4103
E-MAIL: marque@designmarque.com
www.designmarque.com

235 17th St.
West Vancouver, B.C. V7V 4T1

Project:

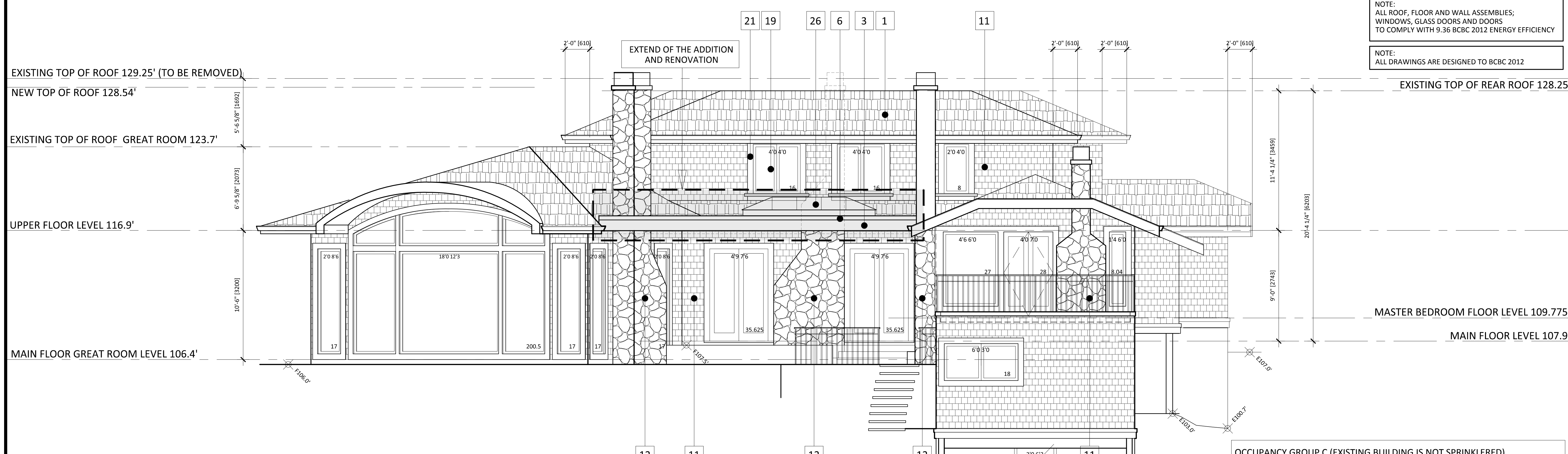
Coach House Addition & Main House Renovations
Linda Annable

4730 The Highway
West Vancouver, B.C.

Drawing Title:

WEST & SOUTH ELEVATIONS

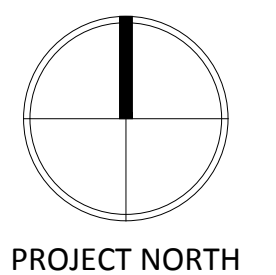
Drawn: L.G.	Job No:
Checked: M.T.	Date: March 2017
Scale: 1/4" = 1'-0"	Drawing No: A-07
PLOT SIZE 36"x26"	



NOTE:
ALL ROOF, FLOOR AND WALL ASSEMBLIES;
WINDOWS, GLASS DOORS AND DOORS
TO COMPLY WITH 9.36 BCBC 2012 ENERGY EFFICIENCY

NOTE:
ALL DRAWINGS ARE DESIGNED TO BCBC 2012

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Written dimension shall have precedence over scaled dimensions.
Contractors/Builders shall verify and be responsible for all dimensions and conditions on the job-site.
Designer shall be informed of any variations from the dimensions and conditions shown on the drawings.



No.	Date	Revision
1	Dec 21 2017	Added Exisit. Garage A-02.1
2	Dec 21 2017	Extend of Addition & renovation indicated on Plans, Elevations and Sections
3	Jan 15 2018	Picture window North Elevation Coach house changed
4	Jan 15 2018	Existing fences added to site plan
5	April 12 2018	Proposed coach house profile added to existing garage plan. Main house porch stone veneer to remain, upper part stone veneer changed to cedar single siding on elevations. Site Plan gray shade indicate only proposed coach house, addition and renovations.

EXTERIOR FINISH MATERIALS

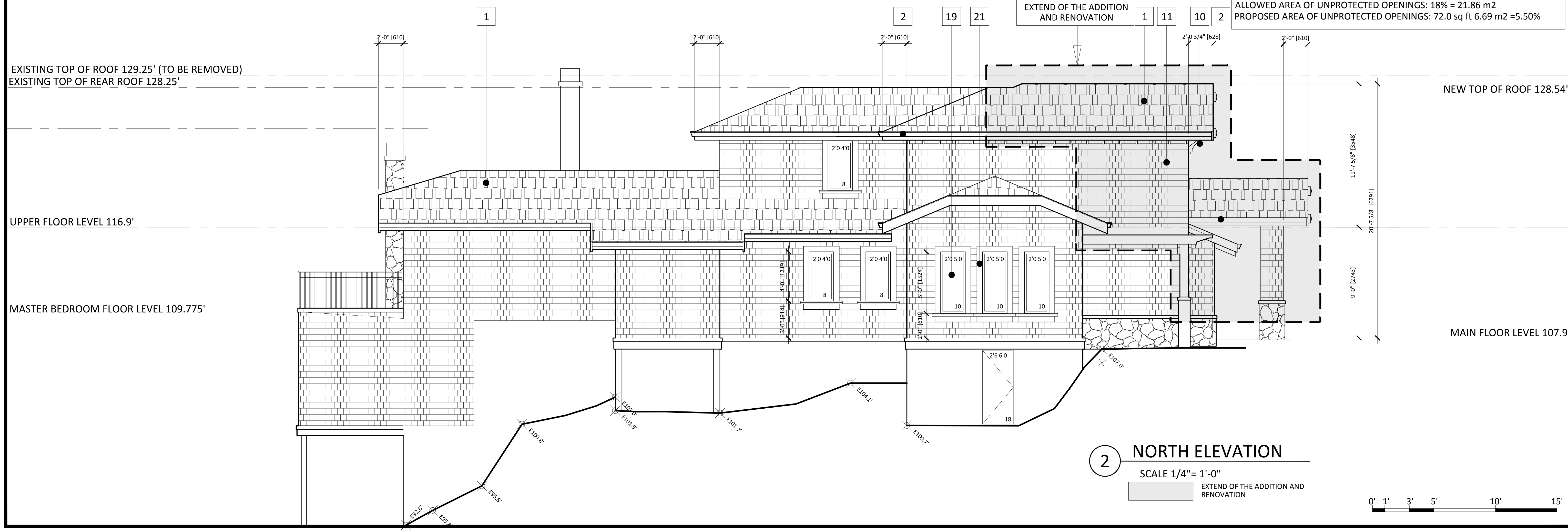
- | | | |
|--|--|--|
| 1 CEDAR ROOF SHINGLES | 10 6x16 WOOD BRACKET SPEC. & COLOR T.B.C. | 19 THERMALLY BROKEN DOUBLE GLAZED LOW E WOOD WINDOW |
| 2 METAL FLASHING & ALUMINUM GUTTERS | 11 6" EXPOSURE CEDAR SHINGLES MITERED CORNERS | 20 THERMALLY BROKEN DOUBLE GLAZED LOW E WOOD FRENCH DOOR |
| 3 2"x 15" FASCIA COLOR T.B.C. | 12 BEDROCK 2" STONE VENEER - SQUAMISH BROME OR SIMILAR SPEC. & COLOR: T.B.C. | 21 2"x 6" CEDAR WINDOW & DOOR TRIM, SPEC & COLOR T.B.C. |
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OCCUPANCY GROUP C (EXISTING BUILDING IS NOT SPRINKLERED)
TABLE 9.10.15.4
SPATIAL SEPARATION EAST WALL HOUSE:
LIMITING DISTANCE: 44.52 ft = 13.57 m
EXPOSED BUILDING FACE: 907.97 sq ft = 84.35 m2
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 84.35 m2
PROPOSED AREA OF UNPROTECTED OPENINGS: 211.04 sq ft 19.60 m2 =23.24%

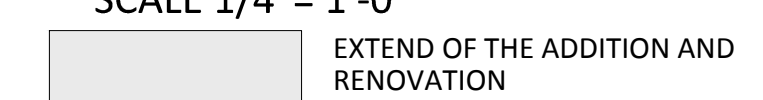
OCCUPANCY GROUP C (EXISTING BUILDING IS NOT SPRINKLERED)
TABLE 9.10.15.4
SPATIAL SEPARATION SOUTH EAST WALL HOUSE:
LIMITING DISTANCE: 52.00 ft = 15.85 m
EXPOSED BUILDING FACE: 318.22 sq ft = 29.56 m2
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 29.56 m2
PROPOSED AREA OF UNPROTECTED OPENINGS: 234.5 sq ft 21.78 m2 =73.7%

OCCUPANCY GROUP C (EXISTING BUILDING IS NOT SPRINKLERED)
TABLE 9.10.15.4
SPATIAL SEPARATION NORTH WALL HOUSE:
LIMITING DISTANCE: 14.57 ft = 4.44 m
EXPOSED BUILDING FACE: 1307.25 sq ft = 121.44 m2
ALLOWED AREA OF UNPROTECTED OPENINGS: 18% = 21.86 m2
PROPOSED AREA OF UNPROTECTED OPENINGS: 72.0 sq ft 6.69 m2 =5.50%

1 EAST ELEVATION
SCALE 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE 1/4" = 1'-0"



No.	Date	Issues
4	April 12 2018	Re-issued for Development Permit
3	Jan 18 2018	Development Permit
2	Dec 21 2017	Re-issued for Development Permit
1	May 05 2017	Issued for Building Permit



PHONE: 604.925.4101
CELL: 604.788.5555
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Project:

Coach House Addition & Main House Renovations
Linda Annable

4730 The Highway
West Vancouver, B.C.

Drawing Title:

EAST & NORTH ELEVATIONS

Drawn: L.G. Job No:

Checked: M.T. Date: March 2017

Scale: 1/4" = 1'-0" Drawing No:

PLOT SIZE 36"x26" **A-08**



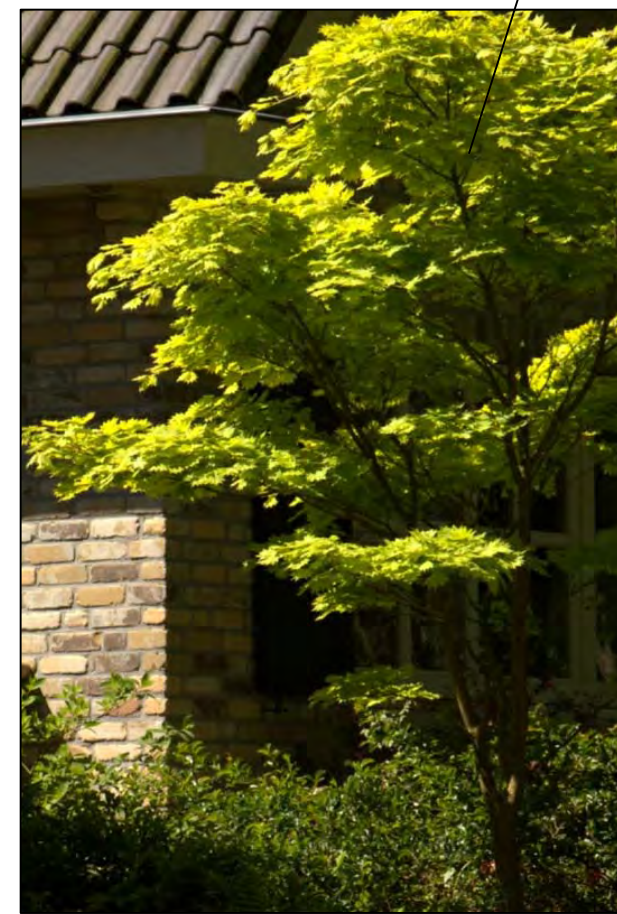
(TA) TAXUS REPANDENS EVERY 3' O.C.



FENCE OPTIONS



(P) PACHYSANDRA TERMINALIS EVERY 1.5' O.C.



(AC) ACER SHIRASAWANUM 'AUREUM'

THE HIGHWAY



TO BE DEMOLISHED OR REMOVED
 TO BE ADDED



PROJECT NORTH

1 LANDSCAPE PLAN
 SCALE 1/8" = 1'-0"

- PLANTING LEGEND**
- (RH) EXISTING RHODODENDRONS
 - (P) PACHYSANDRA TERMINALIS EVERY 1.5' O.C.
 - (TA) TAXUS REPANDENS EVERY 3' O.C.
 - (AC) ACER SHIRASAWANUM 'AUREUM'

- NOTES:**
1. UTILIZE EXISTING ROADSIDE RHODODENDRON
 2. MAINTAIN NEIGHBOURHOOD RUSTIC FEEL

4730 THE HIGHWAY WV LANDSCAPE PLAN

LANDSCAPING CLARIFICATION: CONTACT DONNA BEGG VIA DESIGN MARQUE

DRAWN BY: D.B.
 SCALE: 1/8" = 1'-0"
 JUNE 13, 2017