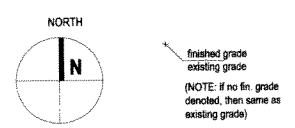


1 SITE PLAN
1/8" = 1' - 0"



drawing list (architectural)

A0.0	Site Plan, Gen. Notes, Project Data
A1.0	Main floor - existing
A1.1	Upper floor - existing
A1.2	Roof - existing
A1.3	Main floor - proposed
A1.4	Upper floor - proposed
A1.5	Roof - proposed
A1.6	Main floor RCP - proposed
A2.0	Sections
A3.0	Elevations
A4.0	Interior elevations

general notes

Division 1 - General Requirements

- Contractor is to check and verify all drawings, dimensions, and elevations before commencing work. Report any discrepancies immediately to the Designer. The Contractor shall co-ordinate the work of all trades to avoid delays.
- All overall exterior dimensions to be taken to face of exterior finish which equals face of concrete unless noted otherwise - All interior dimensions shall be taken to face of stud or face of plywood sheathing where applicable.
- Architectural drawings are not to be scaled.
- Construction methods are to conform to those prescribed by the British Columbia Building Code (latest edition).
- Survey information (including legal description, dimensions, roads, easements, site services, grades, etc.) shall be supplied by the Owner, and the Designer does not warrant the accuracy or completeness of this information.
- All materials are to be used in strict accordance with the manufacturer's recommendations.
- All site measurements, setbacks, etc. shall be approved by local municipal authorities prior to commencing construction.
- Guardsails and handrails shall conform to local building bylaws and British Columbia Building Bylaw (latest edition).
- Adequate heat and weather protection shall be provided to ensure that all materials are installed and completed under manufacturer's recommended conditions.
- The Contractor shall take all necessary precautions to ensure public safety during construction as specified by the current edition of the Canadian Construction Safety Code, and local bylaws as applicable.
- The Contractor shall obtain and pay for all permits required for performance of the work. Obtain and submit all certificate and approvals required to permit occupancy of the project by the Owner.
- All construction and related debris shall be removed from the site daily as it occurs; do not allow accumulation.
- No certificate given, payment made, partial or full use of the work shall be construed as an acceptance of defective work by the Owner.

Division 2 - Site Works

- Provide temporary drainage to keep the site and work free from water, and reinstale the site upon completion.
- Existing trees to be retained shall be protected during construction as per local By-Law. Trees damaged during construction shall be replaced with equal size and type.

Division 3 - Concrete

- Allow for reinforced openings in concrete work for services as required.
- See Structural for specifications.

Division 5 - Metals

- Exposed sheet metal flashing shall be 24 gauge unless otherwise indicated.
- Flashing shall be installed to protect from moisture penetration on all horizontal and oblique change of plane or material on exterior.
- Flashings shall be installed over all exterior openings, complete with drip line.

Division 6 - Wood & Plastics

- Wood members in contact with concrete shall be protected by an approved dampcourse.
- Sill plates shall be anchored to foundations (see structural).
- Flush framed wood members shall be connected with galvanized metal framing anchors to suit design loads. (see structural)
- Double joints shall be installed as indicated and under bathtubs, heavy appliances, appliances subject to vibration, and partitions parallel to direction of joint.
- Joints spanning more than 7'-0" shall have cross-briding of tightly fitted 2x2 blocking or solid blocking to the same depth as the joints at midpoint or located as shown.
- Lintels shall be 2 @ 2x10 with 1/2" plywood centre filler unless noted otherwise.
- Exterior walls finished with vertical siding shall be mitered at 45 (lap joint).
- Plumbing walls shall be 2x6 at 16" o.c.
- Roof trusses shall be designed by registered structural engineer and shall be C.S.A. approved - shop drawings should be submitted for review by Batterby Howel prior to fabrication.
- Applicable design loads shall be determined by a registered professional engineer.
- All exposed exterior wood (except cedar) shall be pressure treated.
- Wood blocking to be provided (as required) in walls and ceilings for support of cabinets, handrails, guardsails, stair treads, artwork, towel bars, etc. - designer to review before boarding.
- All exterior fasteners including nails shall be hot dip galvanized or stainless steel.

Division 7 - Thermal and Moisture Protection

- Weather Barrier shall conform to the British Columbia Building Code, (latest edition).
- Weather Barrier shall be lapped at joints a minimum of 6". When a joint is horizontal or oblique, the lower sheet shall be installed first so that the upper sheet covers the top of the lower.
- Flail and slick membrane shall be tightly installed around all openings starting at the bottom, sides next, and finishing at the top such that each layer overlaps the layer below. Prepare and prime all materials prior to installation as per manufacturer's recommendations.
- Paintable caulking shall be installed around all exterior openings or penetrations. Use galvanized metal or vinyl siluxco slope to form caulking joints when exterior is shouced.
- All vapour barriers shall be continuous, joints shall be lapped a minimum of 16" and caulked to tape. Vapour barrier to be 6 mil. (minimum) and shall be inspected prior to application of drywall.
- Under slab moisture barrier shall be 6 mil. poly with minimum 24" lapped joints.
- All exterior decks shall drain entirely to approved drains, and overflow scouppers. All flat roofs shall be sloped a minimum of 1/4" per foot and have drains and overflow scouppers. - See drawings for details.

Division 8 - Doors and Windows

- Windows and sliding glass shall be identified with CMHC acceptance numbers.
- Windows shall be wood unless noted otherwise.
- Glazing within 12" of the floor, in a door, sidelight, shower door, in skylights, and glazed canopies shall be laminated safety glass.
- All glazing shall be double glazed with min. 1/2" air space unless otherwise noted.
- Glazing weights shall conform to the B.C. Building Code.

Division 9 - Finishes

- Interior floor finishes shall be carpet on approved underlay, tile, or hardwood flooring unless otherwise noted - see plans.
- Carpet, underlay vinyl tiles, and linoleum shall be identified with CMHC acceptance numbers.
- All wood siding, etc. shall be finished as noted with minimum two coats prior to installation on all surfaces including saw cut ends and ribs. one finish coat following installation.
- Interior surfaces receiving paint shall be sanded or primed, followed by a full two coat application as per manufacturers recommendations and shall conform to the standards contained in the Master Painters Institute Architectural Painting Specification Manual, (latest edition), to the highest noted standard.
- All gypsum board to be moisture resistant gypsum boards (unless otherwise noted) in utility and bathrooms.
- Kitchens, bathrooms, laundry areas shall receive oil-based alkyl finish on walls and ceilings.
- All bed areas to be backed with "Denshield" or equal.

Division 10 - Mechanical

- Mechanical ventilation to conform to British Columbia Building Code.
- Dryer, range, exhaust vent outlets shall be located on the roof or as noted on drawings. All exterior vent hoods to be painted-out to match surrounding exterior finish unless noted otherwise. All exterior vent hoods to be painted-out to match surrounding exterior finish unless noted otherwise. All locations to be confirmed w/ designer on site prior to installation.
- Enclosed roof and attic spaces shall be vented in accordance with CAN5-A93 and shall be no less than 1/150 of insulated ceiling area.
- Natural ventilation of enclosed, unheated crawl spaces shall be evenly distributed at intervals of 0.1 sq. m. / 50 sq.m. of space no less than 1/500 in accordance with British Columbia Building Code.
- Purging installations shall be in accordance with British Columbia Building Code and all other applicable codes and local bylaws.
- The design and installation of the heating system shall be in accordance with the British Columbia Building Code (latest edition) and ASHRAE standards, whichever is most restrictive.
- Sprinklering shall conform to current edition of NFPA 13D.
- Install metal fireplaces and chimneys in strict conformance with manufacturer's recommendations and to the approval of the Fire Marshall as in accordance to British Columbia Building Code (latest edition). All components including fire stopping barriers shall conform to section 910.15.3. and be CSA and ULD approved.

Division 16 - Electrical

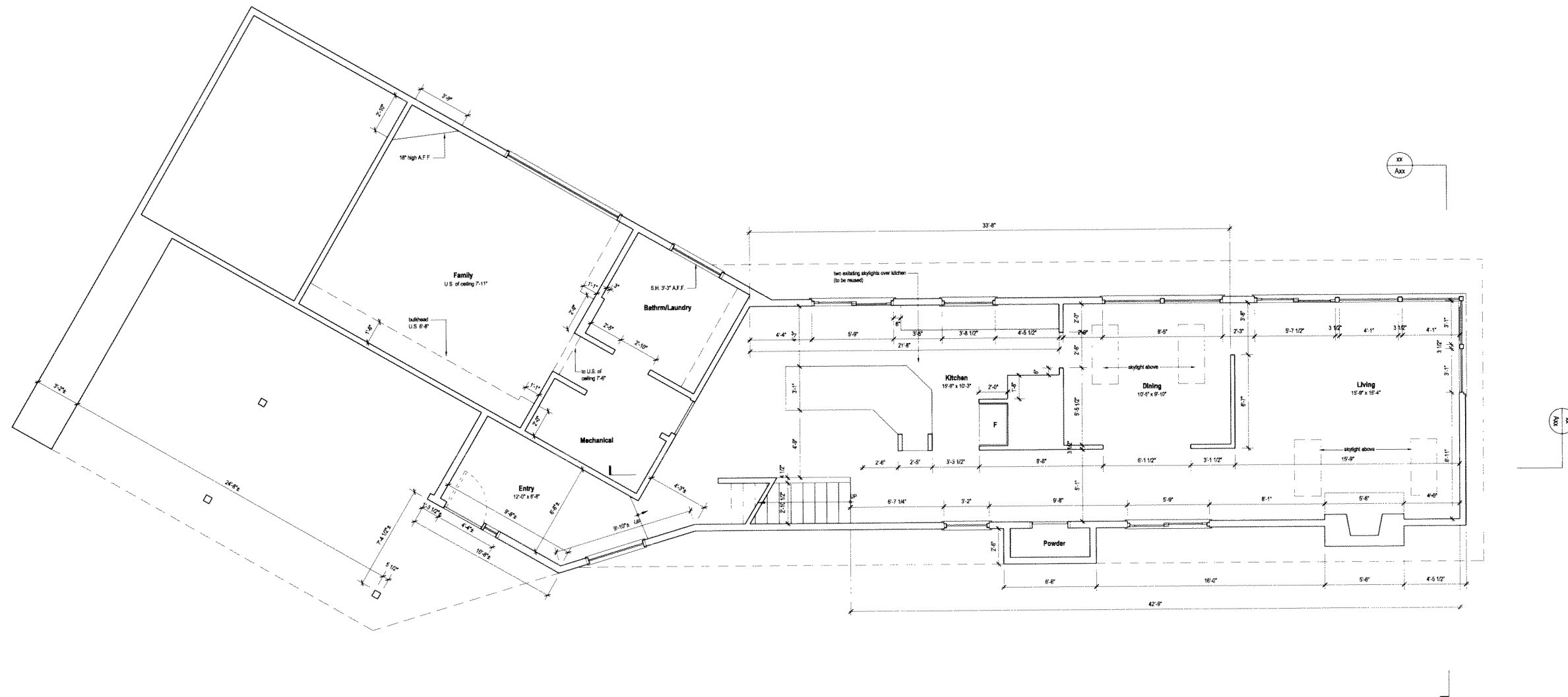
- The electrical installations shall be in accordance with the British Columbia Building Code (latest edition) and all other applicable codes and local by-laws.
- Smoke alarms and heat detectors shall be installed in accordance with Applicable local By-law and standards.
- Switches shall be mounted a 3'-4" to LUS switch and all duplex receptacles to be located in the baseboard typically unless otherwise noted. Thermostats shall be mounted at 3'-4" to LUS. Wall mounted light fixtures shall be mounted as noted on interior elevations. Electrical devices occurring on the same wall shall be aligned vertically whenever possible.
- Provide approved firestopping at all penetrations through rated assemblies.

project data

Legal Description	Lot 3, Block 1, D.L. 811, Plan VAP67, Group 1 P.I.D 015-048-691
Civic Address	4727 Piccadilly South, West Vancouver, B.C.
Building Area	Existing/Required Proposed 2779.2 sq.ft. 2742.9 sq. ft.
Height	- unchanged
Side Yard Setback (east)	- unchanged
Side Yard Setback (west)	- unchanged
Rear Yard Setback (north)	- unchanged
Front Yard Setback (south)	- unchanged

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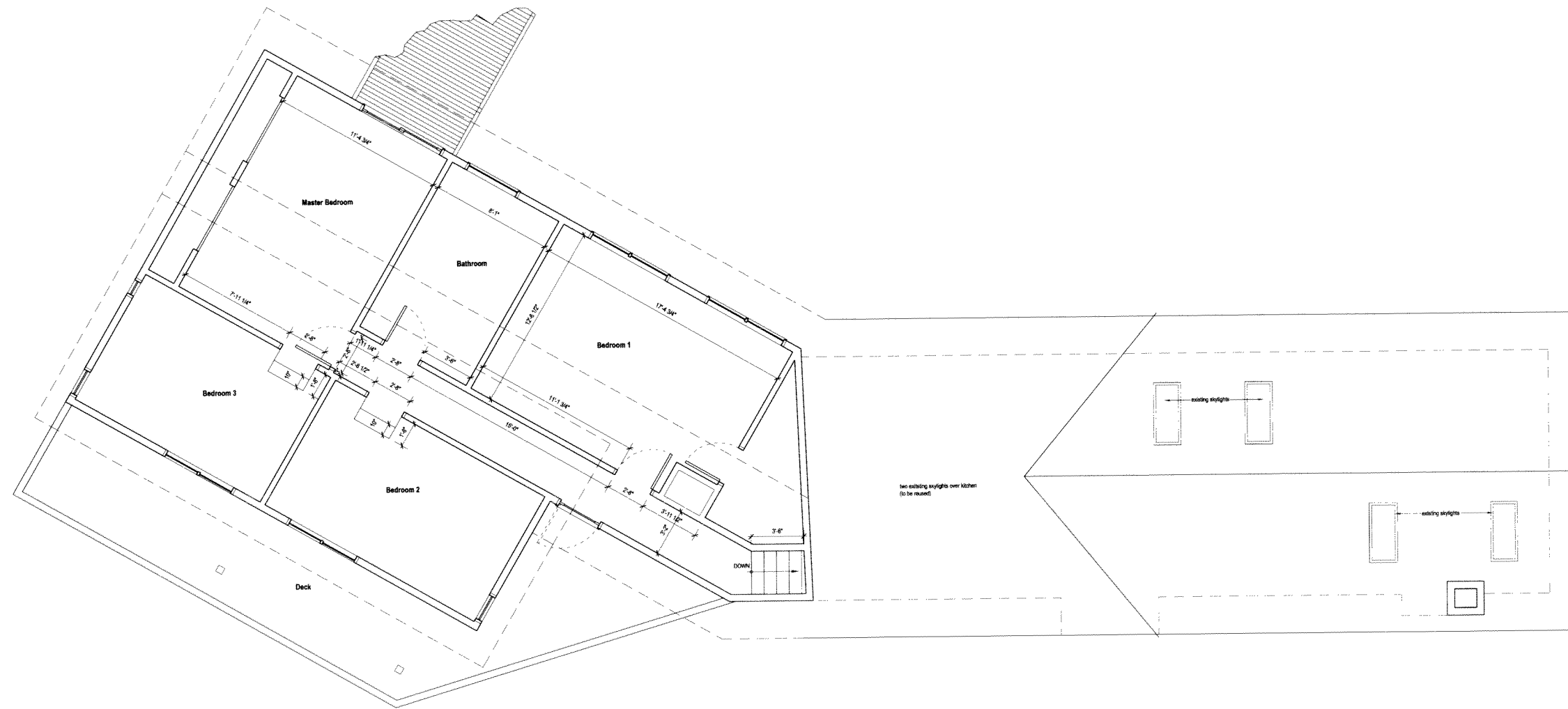
Pankratz Residence
4727 Piccadilly South West Vancouver



1 MAIN FLOOR PLAN (existing)
1/4" = 1' - 0"

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4727 Pricadilly South West Vancouver

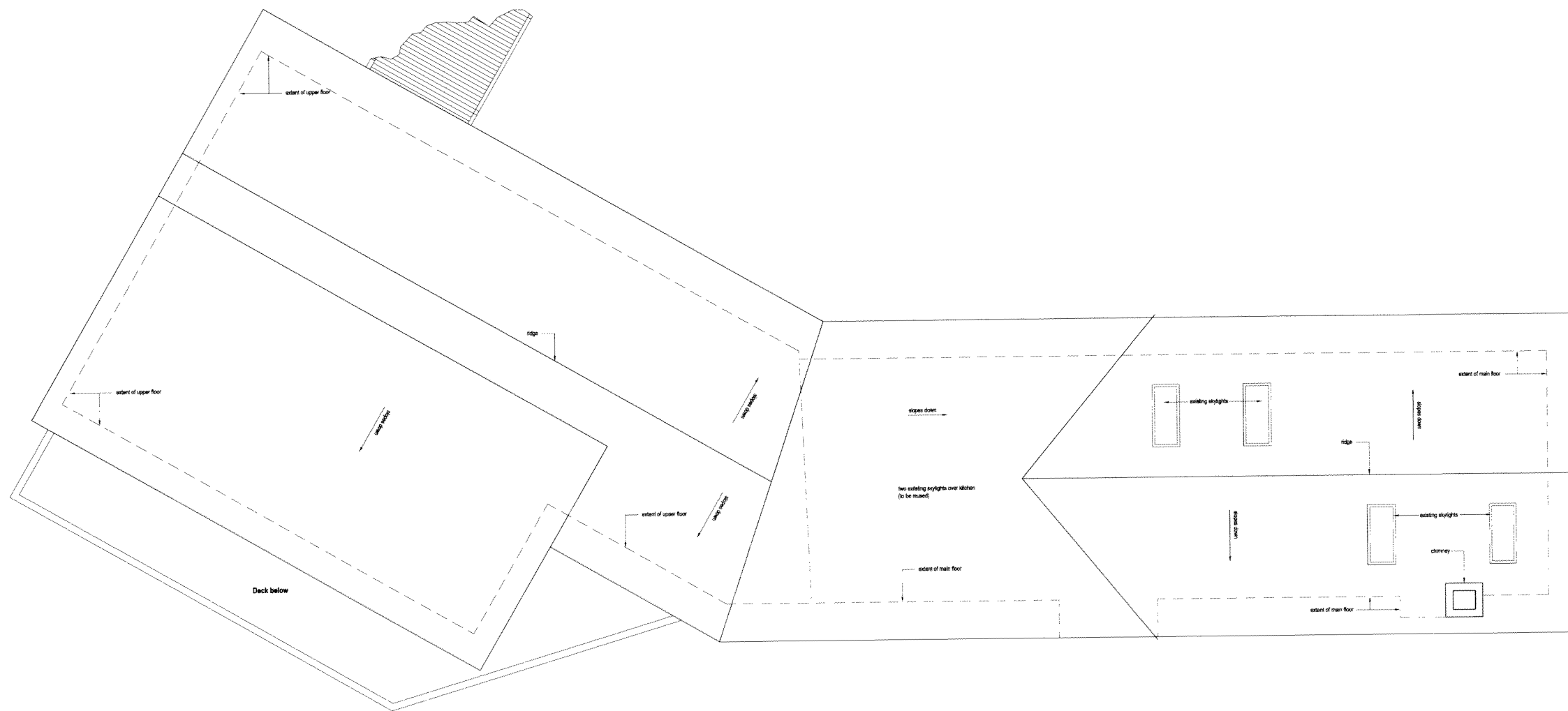


1
UPPER FLOOR PLAN (existing)
1/4" = 1' - 0"

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4727 Piccadilly South West Vancouver

UPPER FLOOR PLAN (existing)
A1.1

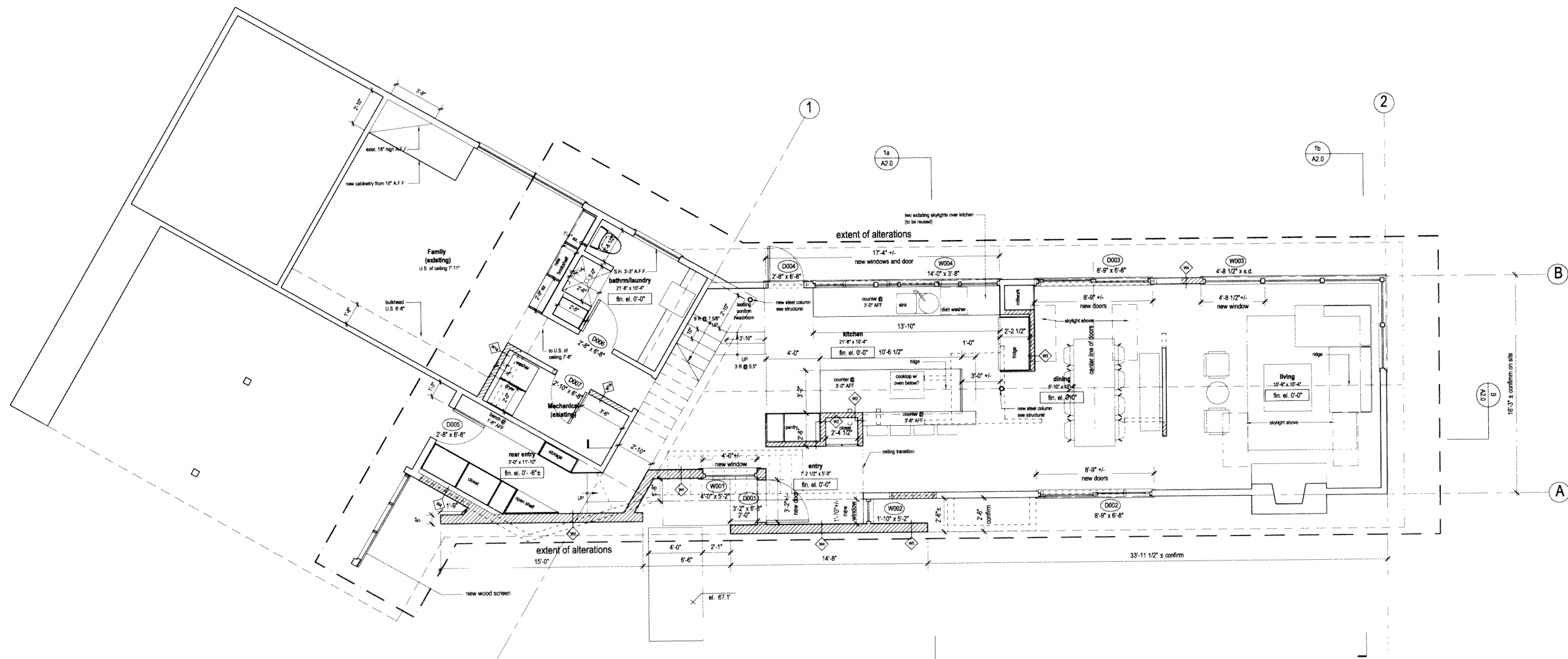


1 ROOF PLAN (existing)
1/4" = 1' - 0"

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ROOF PLAN (existing)
A1.2



WALL TYPE SCHEDULE

- W1** Typical New Interior Wall (2 x 4)
1/2" GWB - pfd
2x4 wood studs @ 16" o.c. max. (see structural)
1/2" GWB - pfd
- W1a** same as W1, but with acoustic ball insulation @ cavity
- W1b** same as W1, but with demarshield and tile
- W2** Typical New Interior Wall (2 x 4)
1/2" GWB - pfd
2x6 wood studs @ 16" o.c. max. (see structural)
1/2" GWB - pfd
- W2a** same as W2, but with acoustic ball insulation in cavity
- W2b** same as W2, but with demarshield and tile
- W3** Typical New Interior Shear Wall (2 x 4)
1/2" GWB - pfd (water resistant or demarshield where applicable)
1/2" plywood sheathing (see structural)
2x4 wood studs @ 16" o.c. max. (see structural)
1/2" plywood sheathing (see structural)
1/2" GWB - pfd
- W3a** Typical New Interior Shear Wall (2 x 4)
same as W3 but with 2x6 w/ plywood to one side of wall (see struct.)
and acoustic ball insulation in cavity
- W4** Typical New Exterior Wall (2x6)
See elevation for cladding spec.
1 x 2 strapping
Typical commercial grade air/vapour barrier
1/2" plywood sheathing
2x6 wood studs @ 16" o.c. max. (see structural)
R22 insulation batt insulation
5 mil poly vapour barrier
1/2" GWB - pfd
- W5** Typical Exterior Rainscreen Fin-wall
See elevation for cladding spec.
1 x 2 strapping
Typical commercial grade air/vapour barrier
1/2" P.T. plywood sheathing (see structural)
5 1/2" P.T. studs ripped down to sill @ 16" o.c. (see structural)
1/2" P.T. plywood sheathing (see structural)
Typical commercial grade air/vapour barrier
See elevation for cladding spec.

NOTE: all walls surrounding bathrooms, laundry, mechanical to have ball insulation to assist in soundproofing, typically.

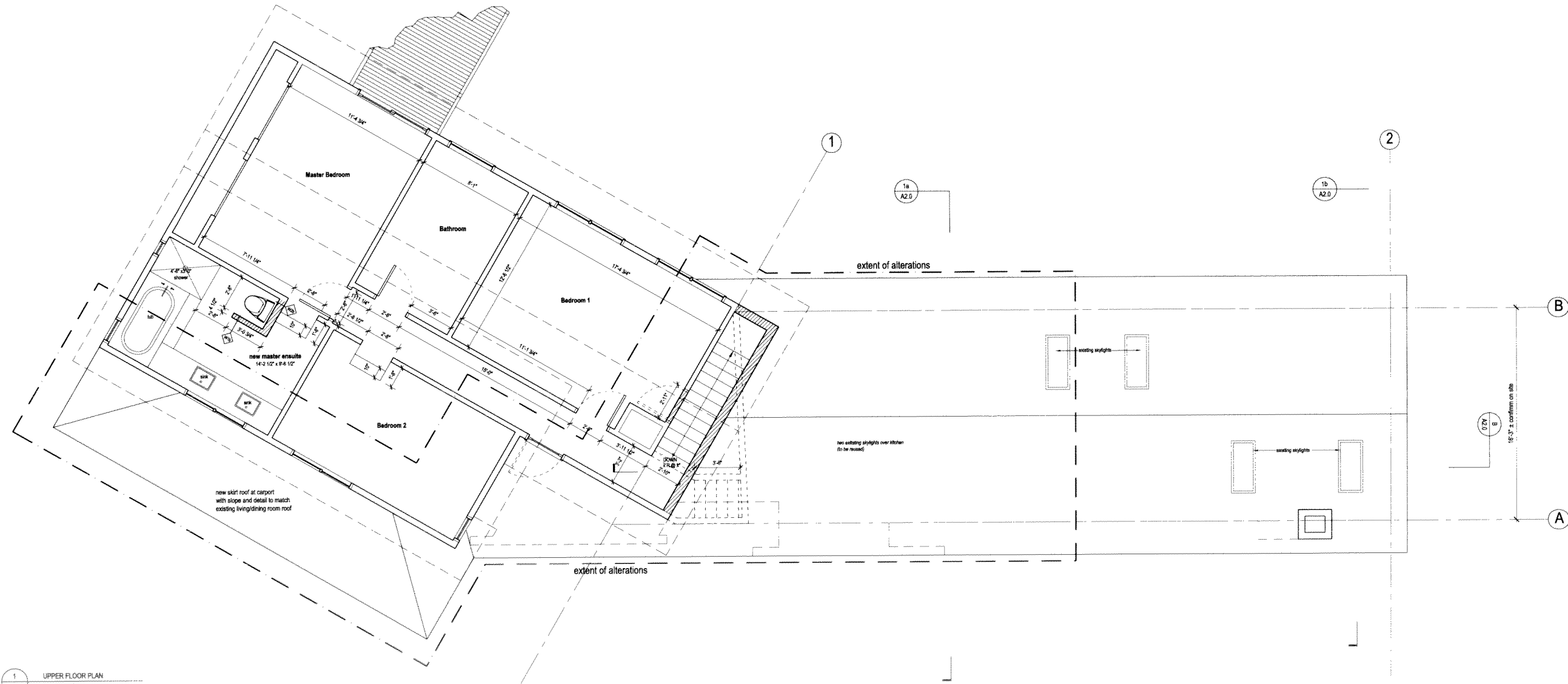
KEY

- existing walls to be removed
- existing walls to be kept
- /// new walls

1 MAIN FLOOR PLAN
1/4" = 1' - 0"

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1 UPPER FLOOR PLAN
1/4" = 1' - 0"

WALL TYPE SCHEDULE

W1	Typical New Interior Wall (2 x 4) 1/2" GWB - pfd 2x4 wood studs @ 16" o.c. max. (see structural) 1/2" GWB - pfd
W1a	same as W1, but with acoustic batt insulation @ cavity
W1b	same as W1, but with denahield and tie
W2	Typical New Interior Wall (2 x 6) 1/2" GWB - pfd 2x6 wood studs @ 16" o.c. max. (see structural) 1/2" GWB - pfd
W2a	same as W2, but with acoustic batt insulation in cavity
W2b	same as W2, but with denahield and tie
W3	Typical New Interior Shear Wall (2 x 4) 1/2" GWB - pfd (water resistant or denahield where applicable) 1/2" plywood sheathing (see structural) 2x4 wood studs @ 16" o.c. max. (see structural) 1/2" plywood sheathing (see structural) 1/2" GWB - pfd
W3a	Typical New Interior Shear Wall (2 x 6) same as W3 but with 2x6 w/ plywood to one side of wall (see struct.) and acoustic batt insulation in cavity
W4	Typical New Exterior Wall (2x6) See elevation for cladding spec. 1 x 2 strapping Tyvek commercial grade air/moisture barrier 1/2" plywood sheathing 2x6 wood studs @ 16" o.c. max. (see structural) R22 insulation batt insulation 6 mil poly vapour barrier 1/2" GWB - pfd
W5	Typical Exterior Rainscreen Fin-wall See elevation for cladding spec. 1 x 2 strapping Tyvek commercial grade air/moisture barrier 1/2" P.T. plywood sheathing (see structural) 5 1/2" P.T. studs ripped down to suit @ 16" o.c. (see structural) 1/2" P.T. plywood sheathing (see structural) Tyvek commercial grade air/moisture barrier See elevation for cladding spec.

NOTE: all walls surrounding bathrooms, laundry, mechanical to have batt insulation to assist in soundproofing, typically.

KEY

	existing walls to be removed
	existing walls to be kept
	new walls

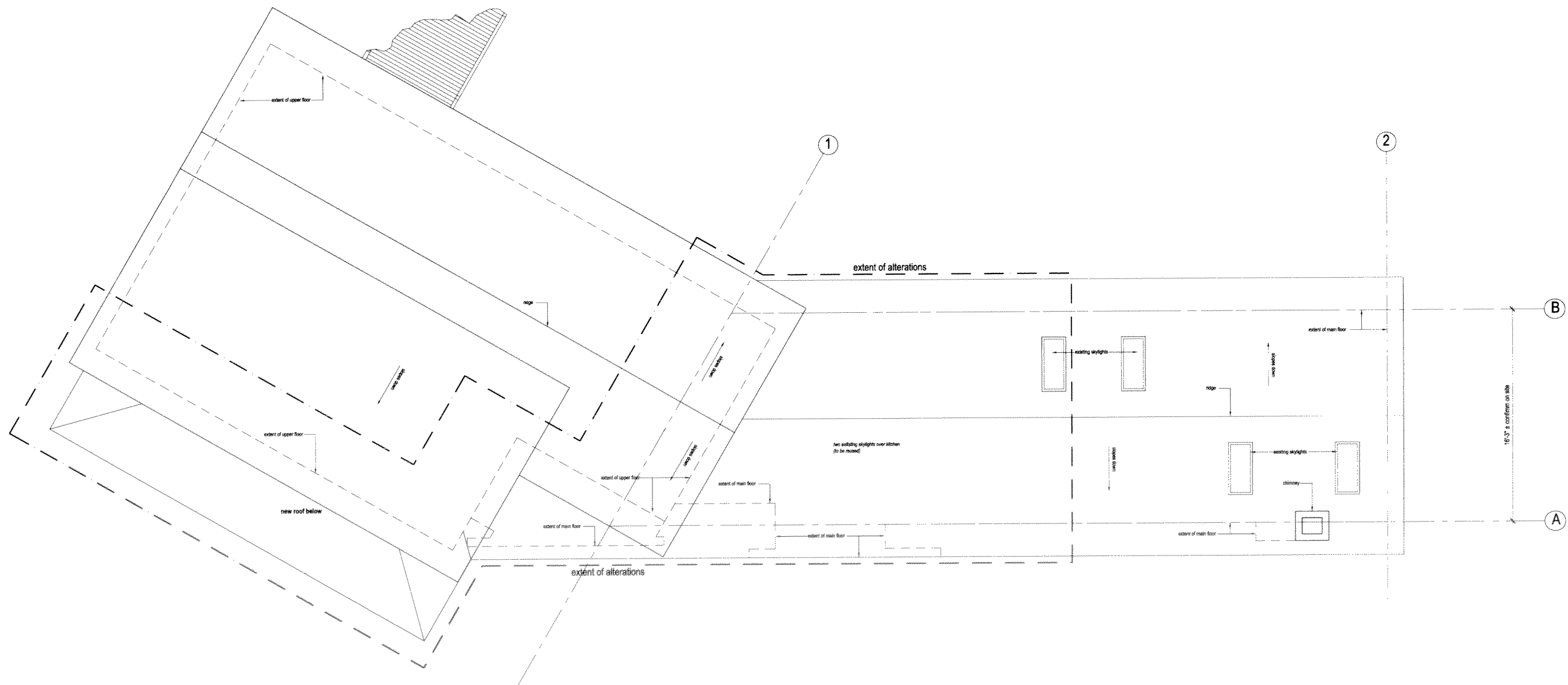
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UPPER FLOOR PLAN

A1.4

December 04, 2011



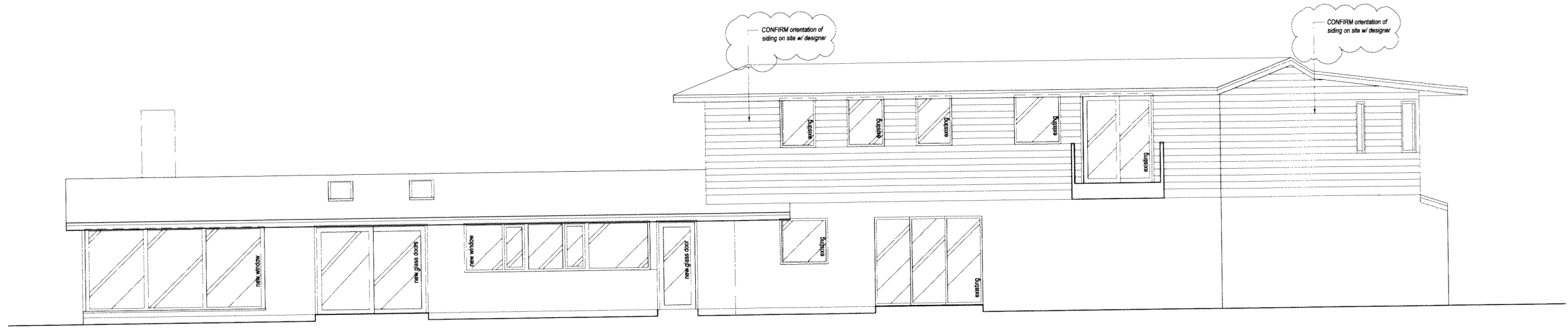
1 ROOF PLAN
1/4" = 1' - 0"

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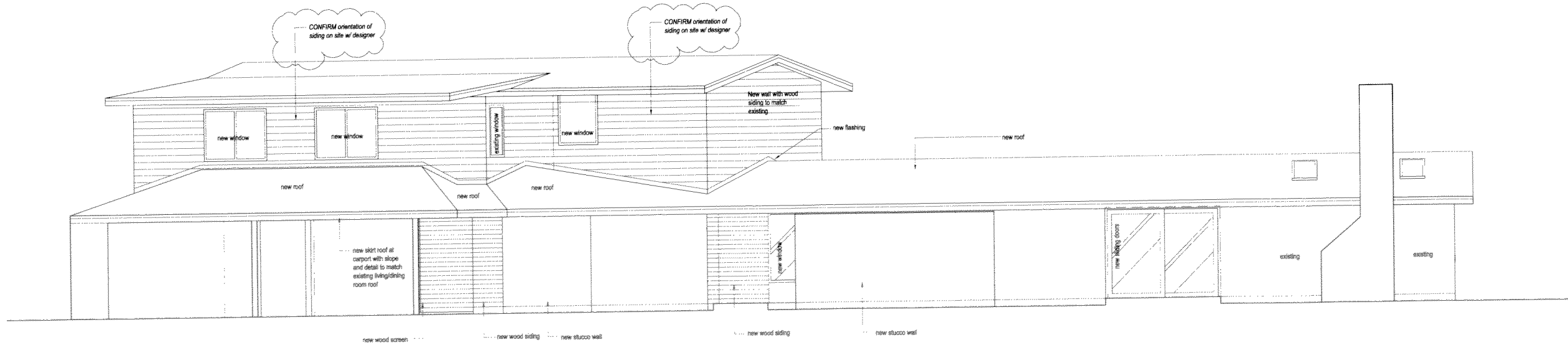
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ROOF PLAN
A1.5

December 04, 2011



1 BACK ELEVATION
1/4" = 1'-0"



2 FRONT ELEVATION
1/4" = 1'-0"

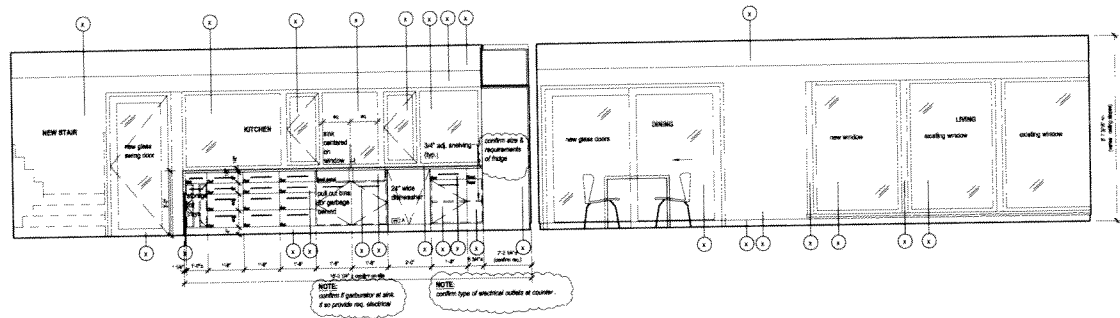
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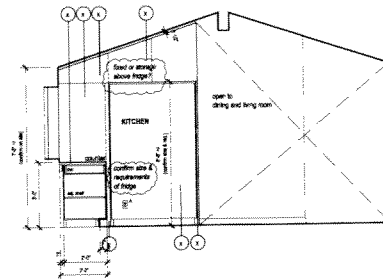
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Elevations
A3.0

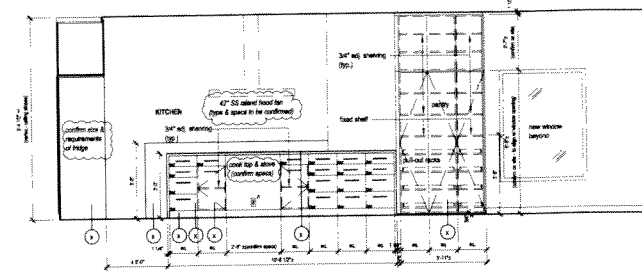
December 04, 2011



1 KITCHEN/DINING/LIVING looking xx
3/8" = 1' - 0"



2 KITCHEN looking xx
3/8" = 1' - 0"

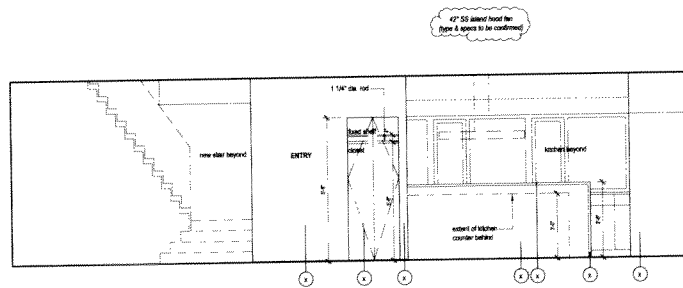


3 KITCHEN looking xx
3/8" = 1' - 0"

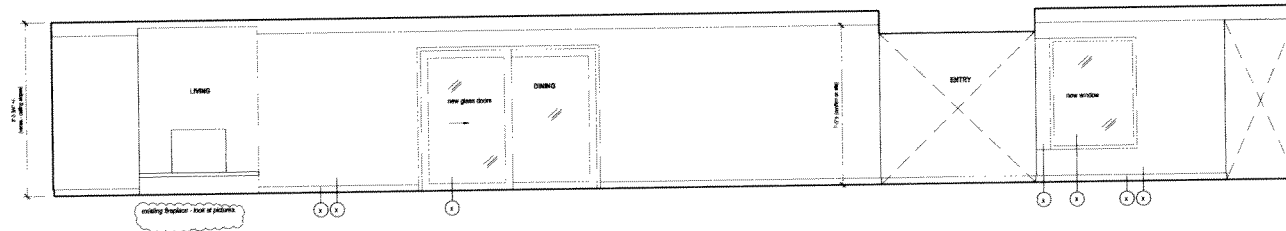
NEEDS TO BE REVISED

- 1 solid core paint grade door
- 2 hollow core paint grade door
- 3 plastic laminate cabinetry
- 4 wood veneer cabinetry
- 5 matte lacquer finish cabinetry
- 6 plastic laminate countertop
- 7 stone countertop (varies - see finish spec.)
- 8 gypsum wallboard w/ painted finish
- 9 painted MDF trim or panels (see detail)
- 10 painted MDF flush baseboards (see detail)
- 11 glass mosaic tile
- 12 ceramic tile
- 13 mirror
- 14 stainless steel cabinet
- 15 stainless steel cabinet
- 16 stainless steel cabinet
- 17 stainless steel cabinet
- 18 stainless steel cabinet
- 19 stainless steel cabinet
- 20 stainless steel cabinet

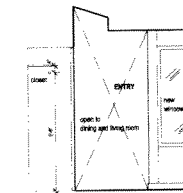
NOTE: see door schedule and finish schedule & outline millwork specifications for further information



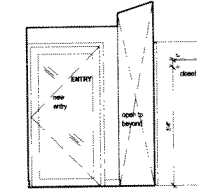
4 ENTRY looking xx
3/8" = 1' - 0"



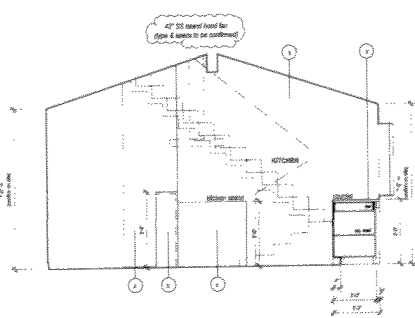
5 LIVING/DINING/ENTRY looking xx
3/8" = 1' - 0"



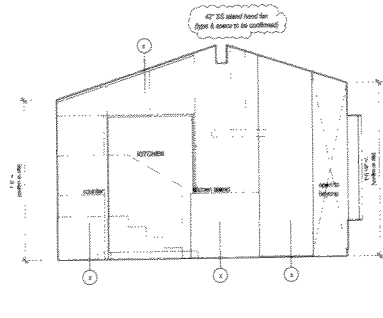
6 ENTRY looking xx
3/8" = 1' - 0"



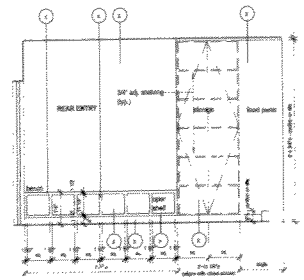
7 ENTRY looking xx
3/8" = 1' - 0"



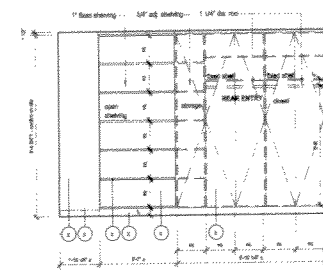
8 KITCHEN looking xx
3/8" = 1' - 0"



9 KITCHEN looking xx
3/8" = 1' - 0"



10 REAR ENTRY looking xx
3/8" = 1' - 0"



11 REAR ENTRY looking xx
3/8" = 1' - 0"

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march 5, 2012

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Interior Elevations

A4.0

January 29, 2012