



District of West Vancouver

**Official Community Plan Bylaw No. 4985, 2018,
Amendment Bylaw No. 5292, 2024**
(Lots C and D Daffodil Drive)

Effective Date:

**Official Community Plan Bylaw No. 4985, 2018,
Amendment Bylaw No. 5292, 2024**

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District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024

A bylaw to amend the Official Community Plan to allow for a housing development to address the missing middle within a development permit area.

Previous Amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5135, 5128, 5172, 5321, and 5222.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the redevelopment of lands at Lots C and D Daffodil Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5292, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Schedule ii Area-Specific Policies & Guidelines

- 3.1 Schedule ii Area-Specific Policies & Guidelines to Official Community Plan Bylaw No. 4985, 2018 is amended as follows:
 - 3.1.1 By amending the key map of Residential Area Delegations by adding “Ground-Oriented Infill Housing” to the map legend and

identifying the location of the Development Permit Area on the map.

3.1.2 By adding “Policy BF-B16” as follows:

(a) “Promote the siting and design of ground-oriented infill housing in West Vancouver that integrates with the neighbourhood context and meets a high quality of building and landscape design to create an attractive, residential streetscape.”

3.1.3 By adding “Policy BF-B16.1” as follows:

(a) “The lots shown on map BF-B16 that are bounded by Daffodil Drive and Westport Road may be considered for rezoning to enable ground-oriented infill housing types that may include single family dwellings, duplexes, townhouses, rowhouses, and/or combinations thereof to address the missing middle.”

3.1.4 By adding “Ground-Oriented Infill Housing Development Permit Area Designation BF-B16” as illustrated by the map in **Schedule A** attached to this bylaw.

Part 4 Adds Development Permit Guidelines for Ground-Oriented Infill Housing

4.1 Schedule ii Area Specific Policies & Guidelines to the Official Community Plan Bylaw No. 4985, 2018 is further amended as follows:

4.1.1 By adding “Guidelines BF-B16” for ground-oriented infill housing, as described in **Schedule B** as attached to this bylaw.

Part 5 Table of Contents

5.1 Schedule ii to the Official Community Plan Bylaw No. 4985, 2018 is further amended by including “BF-B16 Ground-Oriented Infill Housing” in sequential order in the table of contents for Area-Specific Policies & Guidelines.

Schedules

Schedule A – Development Permit Area Designation BF-B16

Schedule B – Built Form Guidelines BF-B16

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on
March 11, 2024

PUBLICATION OF NOTICE OF PUBLIC HEARING on March 27 and
April 3, 2024

PUBLIC HEARING HELD on April 8, 2024

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on
April 22, 2024

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on
April 22, 2024

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date].

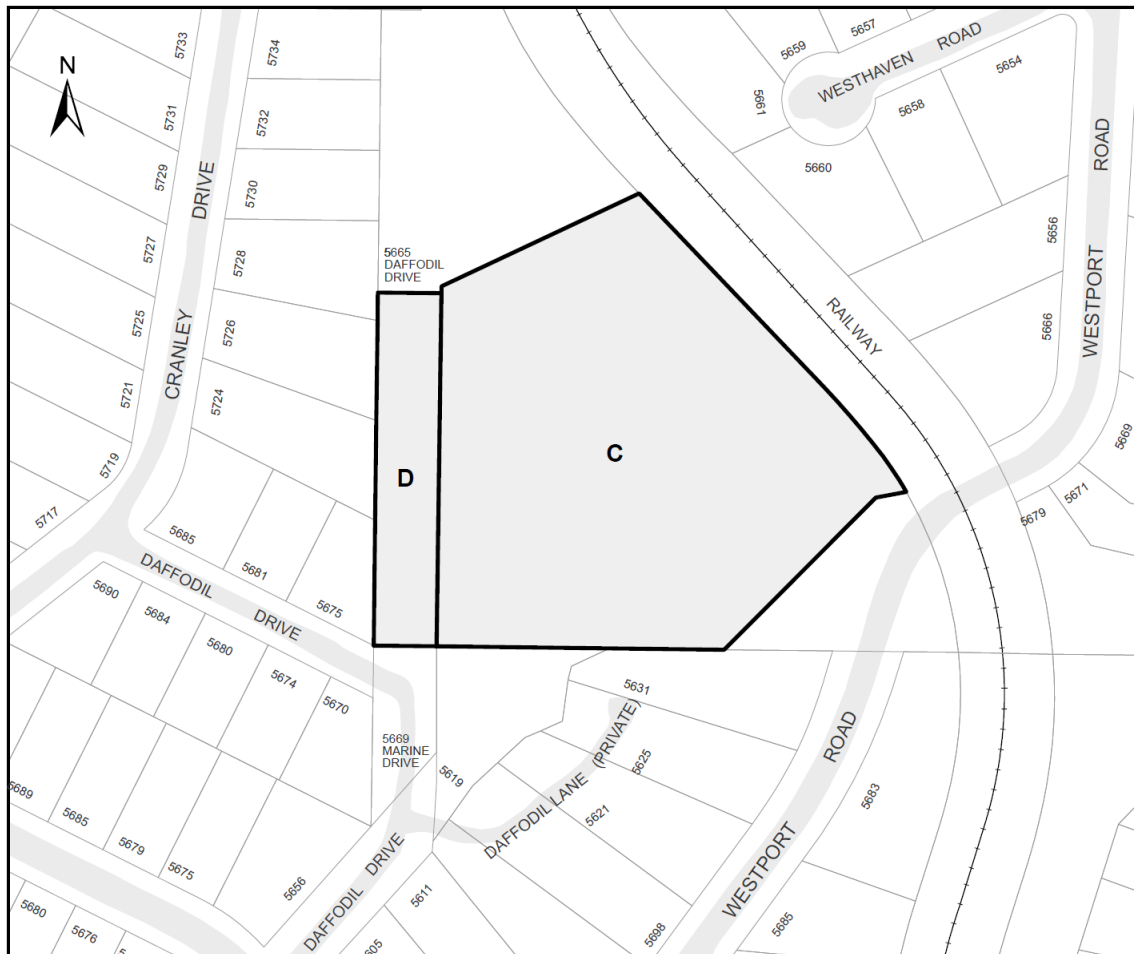
Mayor

Corporate Officer

Schedule A – Development Permit Designation BF-B16

Amendment to Official Community Plan Bylaw No. 4985, 2018, Schedule A, Schedule ii, Area-Specific Policies & Guidelines.

The area shown shaded on the map below is designated as the Development Permit Area BF-B16.



Category:	Local Government Act s. 488(1)(e), (h), (i), and (j)
Conditions:	The Development Permit Area designation is warranted to provide for the compatibility of ground-oriented infill housing units to address the missing middle.
Objectives:	<ul style="list-style-type: none"> • To integrate intensive residential development with existing site features, and the built form and character of the surrounding area; • To promote a high standard of design, construction and landscaping; and • To promote energy and water conservation and the reduction of greenhouse gas emissions.
Guidelines Schedule:	Guidelines BF-B16 shall apply.

<p>Exemption: Development may be exempt from the requirement for a Development Permit if the proposal:</p>	<ul style="list-style-type: none">i. is for the construction or renovation of or small addition to a dwelling unit; orii. is for a renovation or small addition that is considered to have no material change to the external appearance of the premises, meets all the requirements of the Zoning Bylaw, and conforms to Guidelines BF-B16.
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Schedule B – Built Form Guidelines BF-B16

I. CONTEXT AND CHARACTER

- a. New development should respect the pattern, scale, and height of existing buildings, and the established landscape character of the neighbourhood.

II. BUILDING DESIGN

- a. Buildings and structures should demonstrate variety in terms of form and character, architecture massing and roof forms while maintaining a cohesive approach to the overall design.
- b. Roof forms should be designed to reduce the appearance of height, such as varied forms, large overhangs, or integrated with roof slope.
- c. Finishing materials should be varied and of natural materials to provide interest and texture.
- d. Creating a single ‘building wall’ along property lines should be avoided through a combination of design, setbacks, heights measured from grade, and the retention of mature trees and landscaping where possible.
- e. Balconies and decks should be screened and located to provide privacy and minimize overlook onto neighbouring properties.
- f. Design strategies and building details such as natural cross-ventilation, energy efficient fixtures and high-performance materials should be used to create buildings that meet or exceed District sustainability targets.
- g. All dwelling units should have access to adequate indoor storage areas, including convenient and secure bicycle storage.

III. LANDSCAPE DESIGN

- a. Each unit should be provided with private outdoor space.
- b. Common private gathering areas should be connected to the neighbourhood and encourage socializing through the installation of landscape features such as gardening boxes, garden furniture or other common outdoor amenities or activities.
- c. Exposed concrete walls or parkades should be faced with natural stone to blend them into the landscape.
- d. The area between a public street and private space should be designed as a transitional area that is visually interesting to pedestrians while clearly privately owned rather than walled or fenced off from public view.

- e. Plant materials should create a lush natural garden environment with some ornamental character, however, should promote sustainability overall through the use of native and drought tolerant plants and the integration of storm water management strategies such as a rain garden.
- f. The landscape design should enhance the neighbourhood, compliment the development and reduce the apparent mass of buildings.
- g. Healthy trees and landscaping should be retained and protected where appropriate. Opportunities for transplanting existing landscaping materials and integrating them into the new design is encouraged.
- h. Special attention should be taken along property lines where possible to address screening and maximize tree retention between adjacent properties. Additional screening and landscaping should be supplemented where required to provide additional privacy to adjacent residents.
- i. Glare and light spill of exterior or ground level lighting to surrounding properties should be minimized.

IV. CIRCULATION AND PARKING

- a. All required parking shall be located within attached garages designed to have a minimal presence on the streetscape.
- b. Street-oriented units should have principal pedestrian access from the street.
- c. Interior-oriented units should have principal pedestrian access from a shared connection through the site to the street.
- d. Areas for the storage of garbage and recycling should be located and screened to minimize their visibility from the street.

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District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5293, 2024**
(Lots C and D Daffodil Drive)

Effective Date:

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024

A bylaw to rezone property at Lots C and D Daffodil Drive for a housing development to address the missing middle.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5155, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, 5201, 5230, 5081, and 5223.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5293, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds the CD84 Zone & Rezones the Site

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones) is hereby amended by adding Section

684 as the CD84 - Comprehensive Development Zone 84 (Lots C and D Daffodil Drive), as set out in **Schedule A** attached to this bylaw.

- 3.2 The Lands shown shaded on the map attached as **Schedule B** to this bylaw are rezoned from RS10 – Single Family Dwelling Zone 10 to Comprehensive Development Zone 84 (Lots C and D Daffodil Drive), as set out in **Schedule A** attached to this bylaw.

Part 4 Amends the Table of Contents

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly.

Part 5 Amends the Zoning Maps

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2 Zoning Maps is hereby amended by changing the zoning of the Lands as shown shaded on the map in Schedule B attached to this bylaw,

FROM: RS10 – Single Family Dwelling Zone 10

TO: CD84 – Comprehensive Development Zone 84 (Lots C and D Daffodil Drive)

Schedules

Schedule A – CD84 – Comprehensive Development Zone 84 (Lots C and D Daffodil Drive)

Schedule B – Amendment to Zoning Maps

READ A FIRST TIME on March 11, 2024

PUBLICATION OF NOTICE OF PUBLIC HEARING on March 27 and
April 3, 2024

PUBLIC HEARING HELD on April 8, 2024

READ A SECOND TIME on April 22, 2024

READ A THIRD TIME on April 22, 2024

ADOPTED by the Council on [Date].

Mayor

Corporate Officer

Schedule A – CD84 – Comprehensive Development Zone 84 (Lots C and D Daffodil Drive)

684 CD84 (Lots C and D Daffodil Drive)

AMENDING
BYLAW

SECTION REGULATION

684.01 Permitted Uses

- (1) accessory buildings and uses
- (2) child care
- (3) community care
- (4) ground-oriented dwellings
- (5) home based businesses

684.02 Floor Area Ratio

- (1) Maximum: 0.38 FAR
- (2) For the purposes of calculating FAR the site size is 18,030 square metres prior to any required dedications

684.03 Conditions of Use

- (1) Maximum number of units: 36
- (2) Land in the CD84 zone may be consolidated but must not be subdivided unless the owner registers a covenant under section 219 of the *Land Title Act* allocating the total number of dwelling units permitted in the zone among the parcels to be created by the subdivision.

684.04 Setbacks

Minimum:

- (1) Minimum for all buildings:
 - (i) North / West: 4.5 m
 - (ii) North / East: 4.5 m
 - (iii) South / East: 6 m
 - (iv) South: 6 m
 - (v) West: 6 m

684.05 Building Height

(1) Maximum: 9.1 metres

684.06 Number of Storeys

(1) Maximum: 2 + basement

684.07 Site Coverage

(1) Maximum: 21%

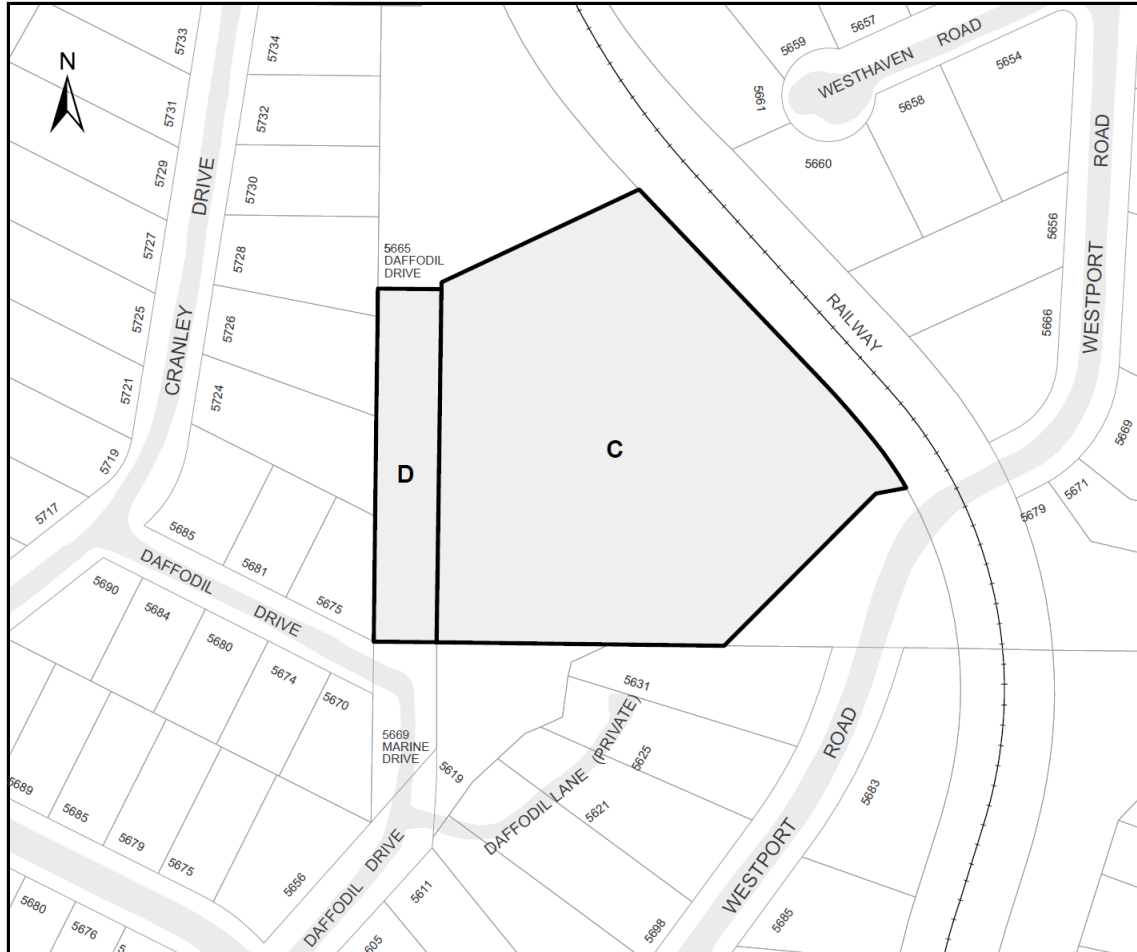
684.08 Off-Street Parking

(1) Parking shall be in accordance with Section 144 of this bylaw

Schedule B – Amendment to Zoning Maps

Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

Sketch plan showing the area to be rezoned for CD84:





District of West Vancouver

Proposed
Development Permit No. 21-131

CURRENT OWNER: STIRLING PACIFIC DEVELOPMENTS

THIS DEVELOPMENT PERMIT APPLIES TO: Lots C and D, Daffodil Drive

CIVIC ADDRESS: Unassigned

LEGAL DESCRIPTION: 010-068-775
LOT C (REFERENCE PLAN 3355), GROUP 1 NEW
WESTMINSTER DISTRICT EXCEPT PART IN REFERENCE
PLAN 11716 DISTRICT LOT 1374

AND

015-934-586
LOT D (REFERENCE PLAN 3355) DISTRICT LOT 1374
GROUP 1 NEW WESTMINSTER DISTRICT

(the 'LANDS')

1.0 This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as the:
 - a. Ground-Oriented Infill Housing Development Permit Area to promote the siting and design of ground-oriented infill housing in West Vancouver that integrates with the neighbourhood context and meets a high quality of building and landscape design to create an attractive, residential streetscape subject to Guidelines BF-B16 specified in the Official Community Plan; and
 - b. Sites with Difficult Terrain Development Permit Area to guide development that avoids hazardous conditions, ensures greater environmental compatibility of development on sloping sites, protects the natural environment on difficult terrain, and minimizes site disturbance and blasting during construction subject to Guidelines NE-6 in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

2.0 The following requirements and conditions shall apply to the Lands:

- 2.1 Building, structures, on-site parking, driveways, and site development shall take place in accordance with the attached **Schedules A**.
- 2.2 Servicing and site layout for subdivision shall generally take place in accordance with **Schedules A and B**.
- 2.3 Buildings shall be sited and road access designed to accommodate fire fighting vehicles and equipment.
- 2.4 Sprinklers must be installed in all areas as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.
- 2.5 On-site landscaping shall be installed at the cost of the Owner in accordance with the attached **Schedule B**.
- 2.6 Sustainability measures and commitments shall take place in accordance with the attached **Schedules A and B**.
- 2.7 All balconies decks and patios are to remain fully open and unenclosed and the weather wall must remain intact.
- 2.8 Where provided for on **Schedule A**, balconies, decks and patios may be provided with external glass weather protection devices, but in any case, the weather wall must remain intact.

3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:

- 3.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.
- 3.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.
- 3.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
- 3.4 Provide an assessment from a qualified geotechnical engineer on the rockfall hazard and slope stability of cut slopes, recommendations for permanent and temporary slope batters, potential blasting requirements, retaining walls, fill placement, compaction, and pavement recommendations. Assessment shall also consider hazards associated with rockfall from excavation or existing sources that may be increased as a result of construction activities or naturally including changes in groundwater, erosion, freeze-thaw, weathering, root growth or leverage of roots moving in high winds, and tree removal.

4.0 Prior to Building Permit issuance:

- 4.1 Provide engineering civil drawings detailing works, and enter into a Works and Servicing agreement, including but not limited to:
 - (a) storm water management measures;

- (b) site service connections;
- (c) new boulevard plan along the frontage of the site including curbs, sidewalk, lighting, and grading plan;
- (d) repaving along the frontage of the Lands,
- (e) signalization of the pedestrian crossing at Marine Drive & Cranley Drive
- (f) on and off site utility upgrades (water, storm and sanitary) as required for this development,

which must be submitted for acceptance, and security provided for the due and property completion of the engineering works, all to the satisfaction of the District's Manager of Land Development.

- 4.2 Register a right-of-way permitting public pedestrian access over, through, and on the lands. Specifications for delivery of the public pathway design/improvements to be confirmed subject to satisfaction of condition 4.1.
- 4.3 Register a right-of-way permitting access and utility services to 5665 Daffodil Lane through the lands to be confirmed subject to satisfaction of condition 4.1.

5.0 Prior to Occupancy Permit issuance:

- 5.1 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

6.0 Security for Landscaping

- 6.1 Prior to building permit issuance, security for the due and proper completion of the landscaping set forth in section 2.0 of this Development Permit (the "Landscaping Works") shall be provided in the amount of \$250,000.00 (the "Landscape Deposit") to the District in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union.
- 6.2 Release of the Landscape Deposit:
 - (a) Following installation of the Landscaping Works and upon receipt of a certified letter or report by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects to the District stating that:
 - a. the Landscaping Works have been installed substantially in accordance with **Schedule B**; and
 - b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:
 - i. any adjustments to retaining walls,
 - ii. changes to the mixture or sizes of any plant materials or trees,

- iii. completion of any off-site or boulevard works,
- iv. any areas that received alternative treatment,
- v. any paving changes, or
- vi. any other additional or omitted plantings or alterations,

together with a clear rationale and explanation thereof and stating

- c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,
- d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and
- e. notwithstanding outstanding works in 5.2(a)(d) above, that the Landscaping Works are complete,

then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

- (b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

6.3 Additional Landscape Security

- (a) No occupancy shall be issued nor will any other final approvals be given for any individual building site identified as a "Parcel" on attached **Schedule A**, until:
 - a. all of the Landscaping Works are completed, or
 - b. the Owner provides security in addition to and separate from the Landscape Deposit, and in the amount of 110% of the value of the uncompleted Landscaping Works for that specific Parcel only (the "Additional Security Deposit") for the due and proper completion of the uncompleted or deficient Landscape Works for that specific Parcel only, as determined and certified by the consultant of record; and
 - c. the Additional Security Deposit will be released upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects following certification that all of the Landscaping Works on the Parcel have been completed.

7.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [INSERT DATE] .

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 7.0 THIS PERMIT IS ISSUED ON [INSERT DATE] .
(Report to Council dated February 28, 2024 eDoc#5605748)

Schedules:

- A. Architectural Plans
- B. Landscape Plans
- C. Geotechnical Report

AQUILA

DAFFODIL DRIVE, WEST VANCOUVER, BC



These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Planning Aug 31, 2021
ERC Public Comment Response MAY 12, 2023
01-02-03 Revisions JUL 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
COVER SHEET

PROJECT#	SHEET
8000	
SCALE	MTE
DATE	MAY 12, 2023

A0.00

Aquila Lower Road View



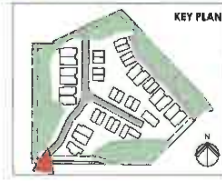
These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for CP/Planning Aug 21, 2021
DRD Public Comment Revisions MAY 13, 2022
01, 02, 03 Revisions JUL 31, 2022



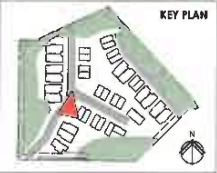
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
R1



PROJECT	800	SHEET
SCALE	1/8"=1'-0"	A1.09
DATE	MAY 13, 2022	

Aquila left view



These plans remain the ownership of Sterling Pacific

REVISIONS
Based for DP/Resolving Aug 31, 2021
DRC/Public Comment Review MAY 12, 2022
G1, G2, G3 Revisions MAY 15, 2022



PROJECT
AQUILA
AFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
R2

PROJECT#	800	SHEET	A1.10
SCALE	1/8"=1'-0"		
DATE	MAY 12, 2022		

Aquila right view



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REVISIONS
 Revis for CP Rezoning Aug. 31, 2021
 GRD/PUBIC Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 R3



PROJECT#	8030	SHEET	A1.11
SCALE	1/8"=1'-0"		
DATE	MAY 12, 2022		

Aquila Upper Road View



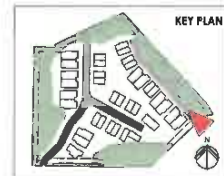
These plans remain the ownership of Sterling Pacific

REVISIONS
 Build for DP/Marketing Aug 31, 2021
 DR/ Public Comment Response MAY 12, 2022
 DL, CL, O3 Revisions JULY 31, 2022



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 R4



PROJECT#	8030	SHEET	A1.12
SCALE	1/8"=1'-0"		
DATE	MAY 12, 2022		

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ownership of Seering Pacific



View from 5726 Cranley
With Existing Trees



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

PROJECT#	1000	ENJECT
YEAR		
DATE	07-19	



These plans remain the
ownership of Sterling Pacific



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING



From from 5726 Cranley
With Proposed Trees

PROJECT	1009	SHEET
DATE		
SCALE	1/8" = 1'-0"	
FILE		



These plans remain the
ownership of Sterling Pacific



PROJECT:
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

Singular View of Home
Facing Cranley



DRAWING	
PROJECT 2009	SHEET
DATE	NO. OF SHEETS
DATE	NO. OF SHEETS



These plans remain the
ownership of Sterling Pacific



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING



View From North-West Corner

PROJECT 1009	SHEET
DATE	

These plans remain the
ownership of Sterling Pacific



Internal Streetscape of Homes

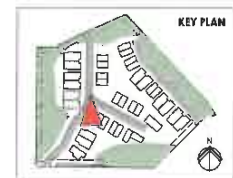


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

PROJECT 1009	SHEET
SCALE	
DATE	11-11-11

Overlook Analysis



These plans remain the ownership of Sterling Pacific

REVISED
Issued for DP/Ratifying Aug. 31, 2021
DRP Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
R5

PROJECT#	6000	SHEET	A1.13
SCALE	1/8" = 1'-0"		
DATE	MAY 12, 2023		

Scale Model

To View, please email info@Aquilaliving.com
Located at #10 636 Clyde Ave West Vancouver



These plans remain the ownership of Sterling Pacific

REVISIONS
Revised for SP/Planning Aug. 31, 2021
ORIG Public Comment Response MAY 12, 2022
01, 02, 03 Revisions JUL 21, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

R6

PROJECT#	SHEET
8000	A1.14
SCALE	1/8" = 1' - 0"
DATE	MAY 12, 2022

Scale Model

To View, please email info@Aquilaliving.com
Located at #10 636 Clyde Ave West Vancouver



These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DR/Planning Aug. 31, 2021
DR/2D Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 04, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
R7

PROJECT#	SHEET
800	A1.15
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

Scale Model

To View, please email info@Aquilaliving.com
Located at #10 636 Clyde Ave West Vancouver



These plans remain the ownership of Sterling Pacific

REVISIONS	
based for DR/Reporting	Aug 31, 2021
DRG Public Comment Revisions	MAY 12, 2022
01, 02, 03 Revisions	JULY 24, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING

R8

PROJECT#	SHEET
8030	A1.16
SCALE	
1/8" = 1'-0"	
DATE	MAY 12, 2022



DESIGN RATIONALE

Housing and Liveability

A variety of 3 & 4 bedroom homes are being proposed ranging from 2170 to 4030 square feet to accommodate diverse housing needs and preferences. To ensure that the homes can indeed be used to age in place a number of homes have been designed to accommodate an elevator. All the homes have open concept main living areas with expansive glazing to allow for as much natural light as possible. In addition, due to the meticulous terracing of the site the views from all homes will not be impeded by homes across the street.

As Aquila is in a community with so many natural amenities (beaches, forests, lakes) the ability for all homes to have a connection with the outdoors was paramount. Accordingly, all homes have large decks and numerous indoor/outdoor connections that link the homes to their surroundings. The site is located near bus and bike routes for easy car-free commuting. Numerous natural amenities such as White Lake, Eagle Harbour Beach and Seaview Trail are all located within an easy walk.

Aquila will be developed in accordance with West Van's Sustainable Building Policy. Sustainable design is obtained through providing a variety of housing choices near public transit, amenities and services. The compact design of the duplex and single-family homes allow for a more sustainable development than the approved 10 lot mega home subdivision. Aquila maintains environmental protection measures through tree protection, parkland dedication and enhancing existing watercourses and wetland.

The developer of Aquila, Sterling Pacific Developments, is a leader in developing energy efficient homes utilizing the latest technology and reducing the carbon footprint of its homes. It recently developed the first duplex in West Vancouver utilizing an air to water heat pump that was not heated using Fossil Fuel.

The homes of Aquila will be developed to a Step 5 energy code and will consume 70% less GHG's per year compared to the 10 home development. (9.7 tonne GHG decrease)

Architectural Style

As Aquila is a unique large undeveloped site, we strove to ensure that the architectural style would also be unique. This goal of uniqueness combined with the homes being geared towards a broad range of owners from young families to empty nesters and everything in between, meant that the one style fit all approach was not something we wanted to explore. Thus, we have created 7 different architectural styles and floorplans. Furthermore, due to site characteristics these home styles have been further tweaked and refined to fit seamlessly on each property. While all of the homes are unique, they do share common design features, materials and colours. This has been done so they all complement one another resulting in a cohesive development.

West Vancouver is well known for its Westcoast Modern architecture. Our designs and plans pull from these timeless and classic styles through the use of natural materials and simple lines. Each home incorporates low pitched roofs with deep eaves combined with soaring vertical planes reminiscent of west coast rock faces. Blending into the natural landscape, the exterior elevations include exposed beams, rather than, clerestory windows and stone siding scaled down in the massing to fit into the natural forest setting. The interior spaces are open plan in the design and incorporate the classic simple lines also found in mid-century approach modern architecture that is as relevant today as it was 60 years ago.

An example of an inspiration taken from the west coast architecture movement is the small roof accentuating the entry of the B units. This was inspired by the roof on the Woyal-Bowie's Building designed by Fred Hoffmaworth and Barry Downs. Another example is the slatted wooden screen which has been used to provide privacy to the master bath on the "D" units but also to provide a dramatic architectural element as seen on some of the current westcoast architecture modern designs.

The exterior material palette includes a combination of wood, stone and concrete. These materials have been used in different locations on the homes to ensure the design is not repetitive. In addition, the wood used is a mixture of bevel siding, board and batten and shake all used in a way to compliment the westcoast design aesthetic but functioning to create a cohesive community.

All of the finishes as well as the colours have been chosen to allow the homes to blend into the environment and not stand out. This is also why the larger facades on some of the homes have been finished in a consistent material and colour rather than using a variety of materials.

Eagle Harbour is a community that has a mixture of architectural styles with everything from Lewis port and beams to suburban split levels. Aquila's 7 distinct architectural styles will blend seamlessly into the neighbourhood. It should be noted that the homes will be developed utilizing non-combustible materials so where we have slated wood siding it will be fibre cement siding developed by Fisher Coatings in Squamish whereby it has a wood grain and stain to mimic real wood siding. This siding is not only non-combustible but it has much less impact on the environment and it also has a much longer life span than conventional stains and paints.

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REVISIONS	
NOVED for DP/REZ/PP/NG	AUG 31, 2021
DRCU Public Comment Response	MAY 12, 2022
01, 02, 03 Response	JULY 31, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
DESIGN RATIONALE

PROJECT	SHEET
4800	A0.02
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2022
	.1



DESIGN RATIONALE

Location, Transportation, and Community Context

Aquila is a unique site in that it encompasses over 194,000 square feet and is one of the largest sites in West Vancouver below the Highway that has yet to be developed. The site is in the Eagle Harbour neighbourhood which is comprised of an eclectic mix of varying styles of single-family homes. The site is located near Caulfield Shopping Center along with Gleneagles and Eagle Harbour Elementary and Rockridge High School. In addition, the Gleneagles community center and golf course, numerous marinas and a plethora of outdoor amenities including beaches and hiking trails are in close proximity. Finally, the site is along the Marine Drive transit/cycling corridor, making it easily accessible via public transit and bicycle.

Recently the site was approved to be subdivided into 10 large single-family home lots to accommodate a subdivision of what are commonly referred to as monster homes. However, since this was done West Vancouver residents and council, through the new Official Community Plan (OCP), have stated that they do not want more monster homes but rather want more diverse housing options particularly those in the "missing middle" segment: homes for young families, empty nesters, and essential service providers which have an increasing demand for accessibility, close proximity to community amenities and at a price point lower than what is and has been available in West Vancouver.

Aquila's design reflects the importance of these factors along with the OCP as well as the context of incorporating a design that seamlessly transitions into the existing single-family neighbourhood.

Site Development

Aquila's site is in a location where it has large degrees of separation from the surrounding homes by natural boundaries and buffers which will not only be maintained but enhanced by the development. Eagle Creek on the south which will be protected by a 15-meter setback, on the east by a forested ravine backing onto Westport Road, on the north by Canadian National Railway along with a tree buffer separating it from Aquila and along the western boundary by an environmental protection area of over 25 meters wide. This environmental area will be improved by removing the invasive plants and developing fish spawning ponds along with permanent protection through an environmental protection covenant.

The site is currently accessed from Daffodil Dr on the south and Westport Rd on the north. One can currently travel through the site exiting on Daffodil Dr or Westport Rd. In designing Aquila one of the key site development objectives was to ensure that the roads would not become feeder roads for the Eagle Harbour neighbourhood and its popular beaches and marinas. That is allowing vehicles to travel through Aquila would not only be detrimental to developing a strong neighbour feel for Aquila but it would also be detrimental to the existing Eagle Harbour neighbourhood by significantly increasing the traffic going through it thus aquila has been developed using a road system of cul-de-sacs.

A public walkway has been provided through the property so that the residents of the Westport Road neighbourhood will have easier access to public transportation on the Marine Dr transit corridor as well as the parks and beaches of Eagle Harbour. In addition, Eagle Harbour residents will be able to walk to some of West Van's most coveted lakes and trails on Black Mountain.

As Aquila slopes from the north (Westport Rd) to the south (Daffodil Dr) the roads have been developed utilizing the natural terrain and therefore have been done in such a way to allow homes on one side of the road to drop below the road and on the other side to be built above the road. This way the site can have a much more open feel with building massing being developed to minimize the overall look as the homes are built "into" the natural topography and to allow natural light to flow to all homes.

Building Form and Placement

In developing the building form for Aquila, unlike so many recent multifamily developments, the goal has not been to maximize density and the number of units but rather to create a development that is transitional between what West Van residents expect in the OCP and the surrounding single-family homes. That is, no large buildings are proposed, rather a development that weaves into the existing neighbourhood context by creating buildings similar in scale and massing to the existing homes. To accomplish this a mixture of 17 semi-detached buildings and 2 single family homes have been used.

The Floor Area Ratio (FAR) of the approved 10 lot subdivision is 35% and the proposed FSR for Aquila is 37.8%. A mere 2.8% greater.

Ensuring that these homes can be integrated onto the site in a sensitive way ensuring openness and natural light is paramount and without infringing on the environmental and natural buffers. In fact the greenbelt in Aquila has been enlarged by 9,230 sqft when compared to the 10 lot subdivision.

Positioning the buildings on the site has also been done to ensure that there are outdoor amenity areas where the residents of aquila and the surrounding community can enjoy. This further creates a connection between Aquila and its neighbours

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REVISIONS	
Build for DP/Resolving	Aug 31, 2021
SRD Public Consult Reviews	MAY 12, 2023
G1, G2, G3 Reviews	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
DESIGN RATIONALE

PROJECT#	SHEET
#9020	A0.02
SCALE	NTS
DATE	MAY 12, 2023

OFFICIAL COMMUNITY PLAN

2.1 Existing Neighbourhoods

2.1 In recognition of the very limited availability of housing forms such as duplex, triplex, and townhomes, the development seeks to increase the variety of housing options available in West Vancouver. A variety of single family and duplex homes are provided with a mix of 3 to 4 bedrooms ranging from 2,170 SF to 4,073 SF in size. The proposal regenerates the single-family neighbourhood with "missing middle" housing options orientated around thoughtful site and landscape design encouraging opportunities for social interaction and connectedness within the community.

2.1.4 Increase "missing middle" housing options with ground oriented multi-family on appropriate sites along the marine drive transit corridor by:

2.1.4

a. The proposals close proximity to the Eagle Harbour Elementary School and the existing commercial use along Marine Drive make it an ideal site for expanding the "missing middle" housing options with ground-oriented multi-family housing. (Refer to Map 2. Marine Drive Transit Corridor).

b. Homes are oriented in relation to the steep slope of the site as well as the surrounding creeks and wetlands. Access is provided both off Daffodil Drive and Westport Road creating 2 separate access points and reducing the traffic to the adjacent streets. A traffic study has been completed and provided with the submission. The two sections are linked together through pedestrian paths both for the proposed community and the neighbourhood.

c. The proposed height of the duplexes are kept to a maximum of three storeys with careful terracing to the faces fronting the public realm. The majority of the homes appear as a single storey from the street.

2.1.6 Prioritize community use and/or housing objectives when considering redevelopment proposals of institutional, public assembly or community sites, district-wide that provide an existing community or public use function by:

2.1.6

b. The development seeks to provide the neighbourhood with walking paths linking Daffodil Drive and Westport Road. These trails also provide the community with a connection to the surrounding creek and wetlands on the site.

2.1.7 Consider proposals within neighbourhoods for site-specific zoning changes that are not otherwise supported by policies in this plan only in limited circumstances by:

2.1.7

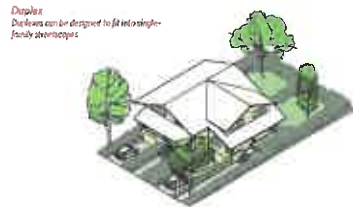
- a. Public open house and community outreach has been completed prior to submission.
- b. The proposed site is separated from the neighbouring single family context buy a surrounding greenbelt which will be retained. On the North side of the site are the existing CPR tracks.
- c. A traffic study has been completed and provided to demonstrate the minimal impact to local traffic.
- d. The proposed height of the duplexes are kept to a maximum of three storeys with careful terracing to the faces fronting the public realm. The majority of the homes appear as a single storey from the street.
- e. Eagle Harbour is a family oriented neighbourhood where close proximity to schools and recreational facilities is important. Aquila will add to the community feel by adding a public walking paths within the development to further connect the neighbouring homes to the property.
- f. Feedback from the public was considered and implemented in the proposal.



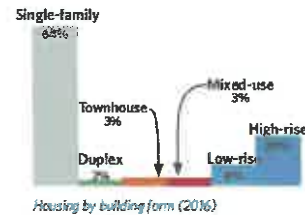
Retained Greenbelt Surrounding the Site



MAP 2. MARINE DRIVE TRANSIT CORRIDOR



DISTRICT OF WEST VANCOUVER OFFICIAL COMMUNITY PLAN 25



How these housing actions support overall community objectives.

Well-designed neighbourhoods with diverse housing can improve accessibility and create opportunities for social interaction and connectivity. Proactive housing policies can help meet the needs of changing demographics across all age groups within the community.

Housing that is well connected to transit, jobs, services and amenities with various mobility and the use of active transport modes, and spaces that are safe and easy to use and encourage walking and cycling are ideal.

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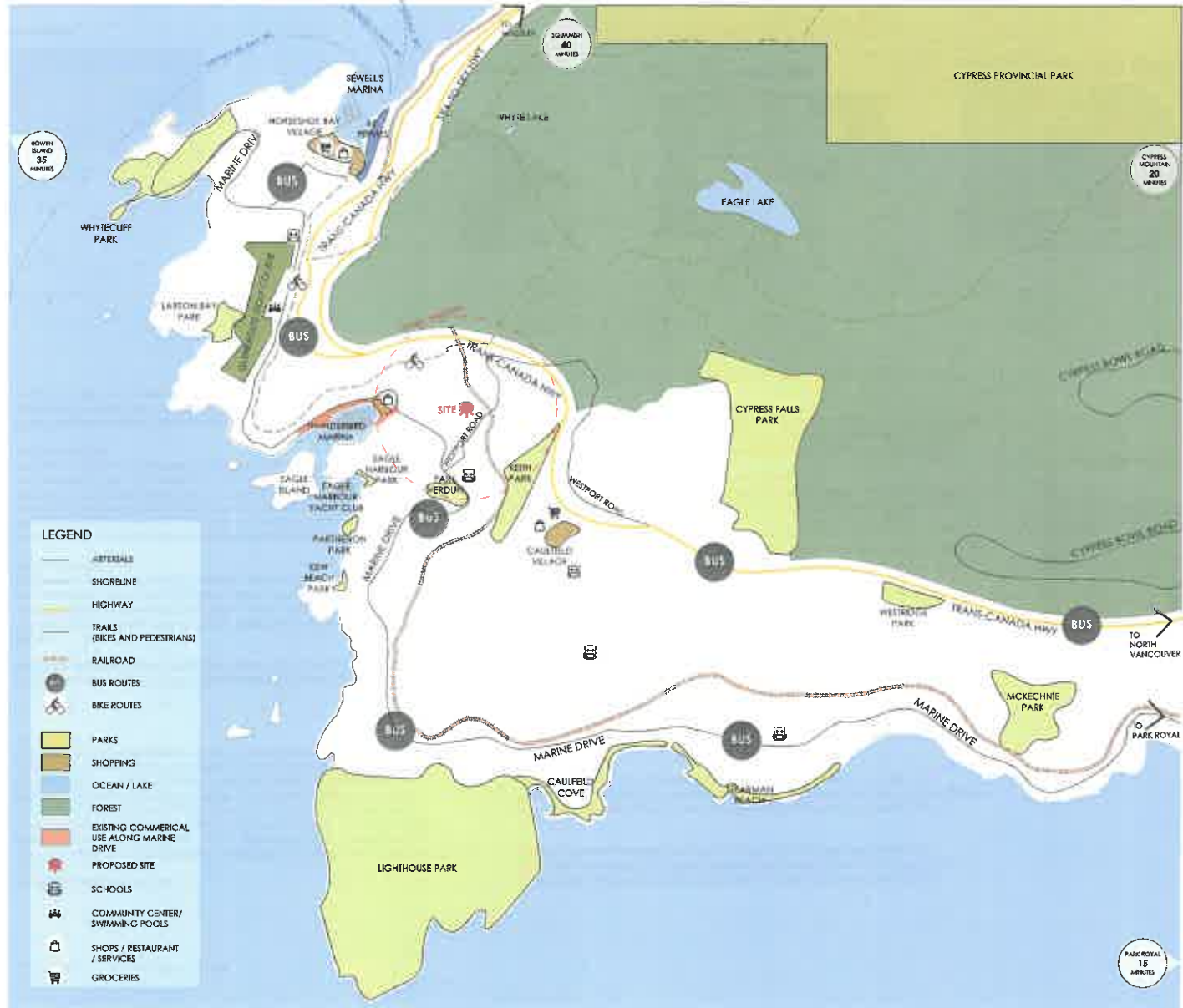
REVISIONS	
Issued for OPA/Reconing	Aug 31, 2021
DRCP Public Comment Response	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
OFFICIAL COMMUNITY PLAN COMPLIANCE

PROJECT#	SHEET
88030	A0.03
SCALE	NTS
DATE	MAY 12, 2023



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REVISIONS	
Revised for DP Planning	Aug 31, 2021
DRG Public Comment Revisions	MAY 12, 2023
D1, D2, D3 Revisions	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
CONTEXT AND ANALYSIS

PROJECT #	SHEET
#8030	A0.04
SCALE	NTS
DATE	MAY 12, 2023





LEGEND

- BUS STOP
- SHOPS/ RESTAURANTS / SERVICES
- BIKE ROUTES

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REVISIONS

Issued for DP/Re zoning	Aug 31, 2021
DRCP Public Comment Response	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING

AERIAL

PROJECT#	SHEET
SCALE	#020
DATE	NTS
	A0.05
	MAY 12, 2023



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REVISION B
 Issued for DR/Reviewing Aug 31, 2024
 DR/ Public Comment Review MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
CONTEXT PLAN

PROJECT#	SHEET
SCALE	#800
DATE	MAY 12, 2023
	A0.06

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Ⓐ VIEW OF DAFFODIL DRIVE



Ⓑ VIEW OF SITE FROM WESTPORT



REVISION 8
Based for EPP/Responing Aug 31, 2021
CBC/ Public Comment Reviews MAY 17, 2023
01, 02, 03 Reviews JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**EXISTING
STREETSCAPES**

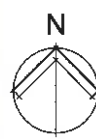
PROJECT#	88070	SHEET
SCALE	HTS	A0.07
DATE	MAY 12, 2023	



© VIEW OF DAFFODIL DR. STREETSCAPE



© DAFFODIL LANE STREETSCAPE



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REVISIONS	
Issued for DP/Recording	Aug 31, 2021
DRC/Public Comment Revisions	MAY 12, 2023
Q1, Q2, Q3 Revisions	JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, B.C.

DRAWING
EXISTING STREETSCAPES

PROJECT#	SHEET
#8038	A0.08
SCALE	HTS
DATE	MAY 12, 2023

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REVISIONS
Issued for OPI/Severing Aug. 31, 2021
DRS/Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



VIEW ALONG ROAD A
3D MASSING



VIEW ALONG ROAD A
3D MASSING

VIEW ALONG ROAD B
3D MASSING

VIEW ALONG ROAD C
3D MASSING



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
3D MASSING

PROJECT#	8020	SHEET
SCALE	1/8" = 1'	A0.09
DATE	MAY 12, 2023	



5611 DAFFODIL DRIVE



5675 DAFFODIL DRIVE



5619 DAFFODIL DRIVE



5685 WESPORT ROAD



5730 CRANLEY DRIVE



5605 DAFFODIL DRIVE



5736 CRANLEY DRIVE



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REVISIONS	
Issued for DR/Reviewing	Aug 31, 2023
DRC Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**CONTEXT
PHOTOS**

PROJECTA	SHEET
4900	
SCALE	A0.10
DATE	MAY 12, 2023



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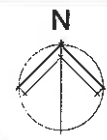
REVISIONS
 Moved for DP/Reboring Aug 23, 2021
 DRP Public Consultation Review MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 PRECEDENT
 PHOTOS

PROJECT#	#9000	SHEET A0.11
SCALE	NTS	
DATE	MAY 12, 2023	



These plans remain the ownership of Sterling Pacific

REVISIONS	
Based for CP Planning	Aug 31, 2024
DCD Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023



JUNE - 10:00 AM



JUNE - 12:00 PM



JUNE - 2:00 PM



JUNE - 4:00 PM



MARCH/SEPTEMBER - 10:00 AM



MARCH/SEPTEMBER - 12:00 PM



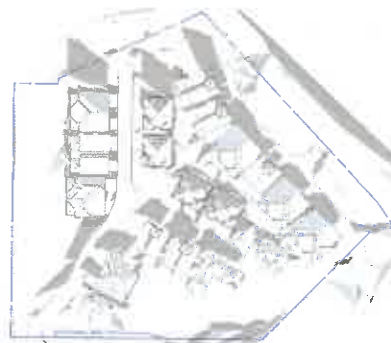
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MARCH/SEPTEMBER - 4:00 PM



DECEMBER - 10:00 AM



DECEMBER - 12:00 PM



DECEMBER - 2:00 PM



DECEMBER - 4:00 PM



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**SHADOW
ANALYSIS**

PROJECT#	SHEET
9030	A0.12
SCALE	
DATE	

MAY 12, 2023



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24-114 (2)18
 Issued for Reviewing
 DCI Public Comment Review
 61, 62, 63, 64, 65
 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
**OVERALL SITE
 PLAN**

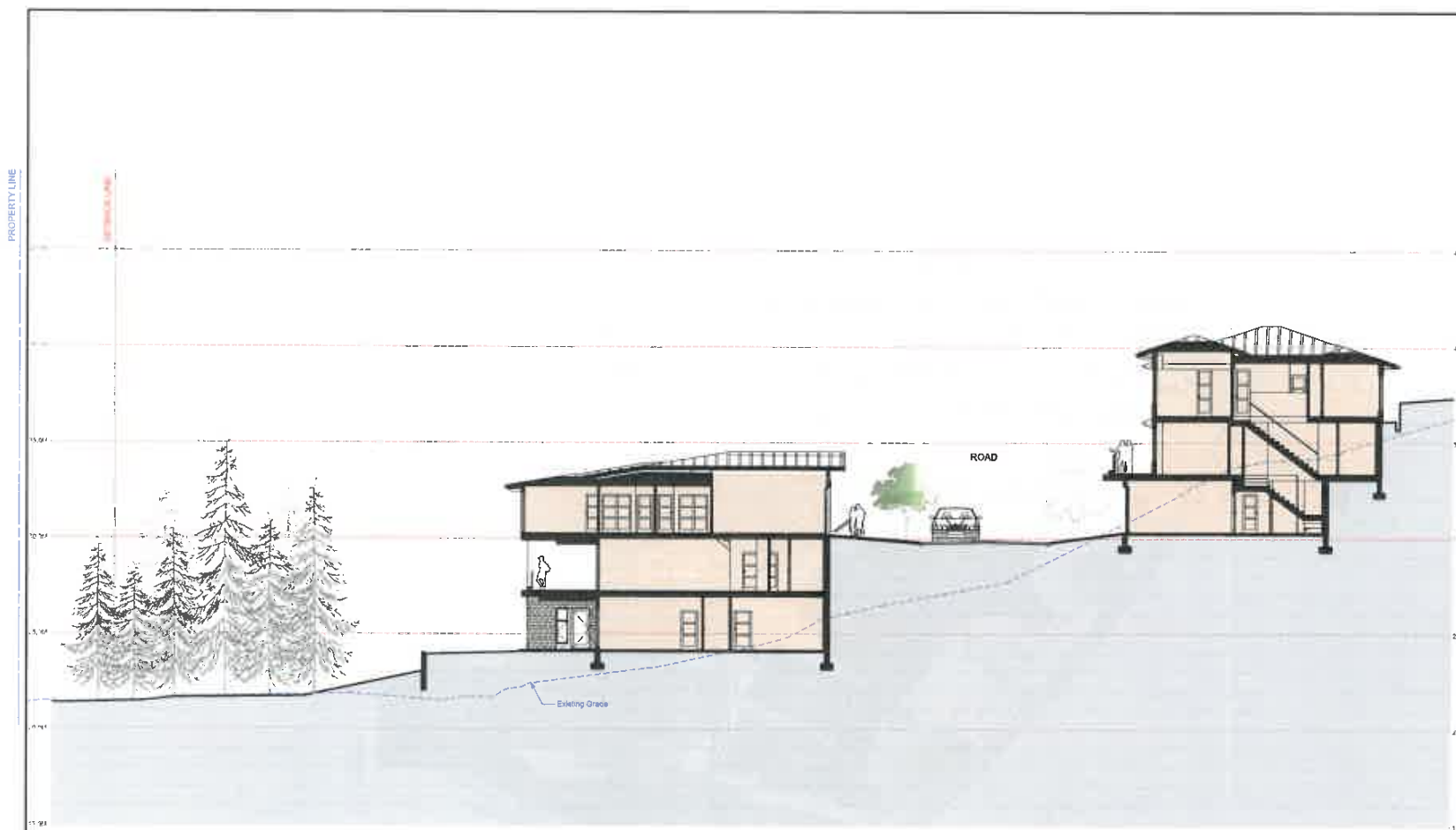
LEGEND
 COVERED PARKING

 10 VISITOR PARKING

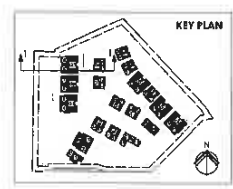
PROJECT	800	SHEET	
SCALE	1/8" = 1'-0"	A1.00	
DATE	OCT 1, 2020		

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REVISIONS
Issued for DR/Expiring Aug 31, 2021
DR/ Public Comment Revisions MAY 12, 2023
G1, G2, G3 Revisions JULY 31, 2023



1 SECTION G3 (8) & D4 (11)
Scale: 1/8" = 1'-0"



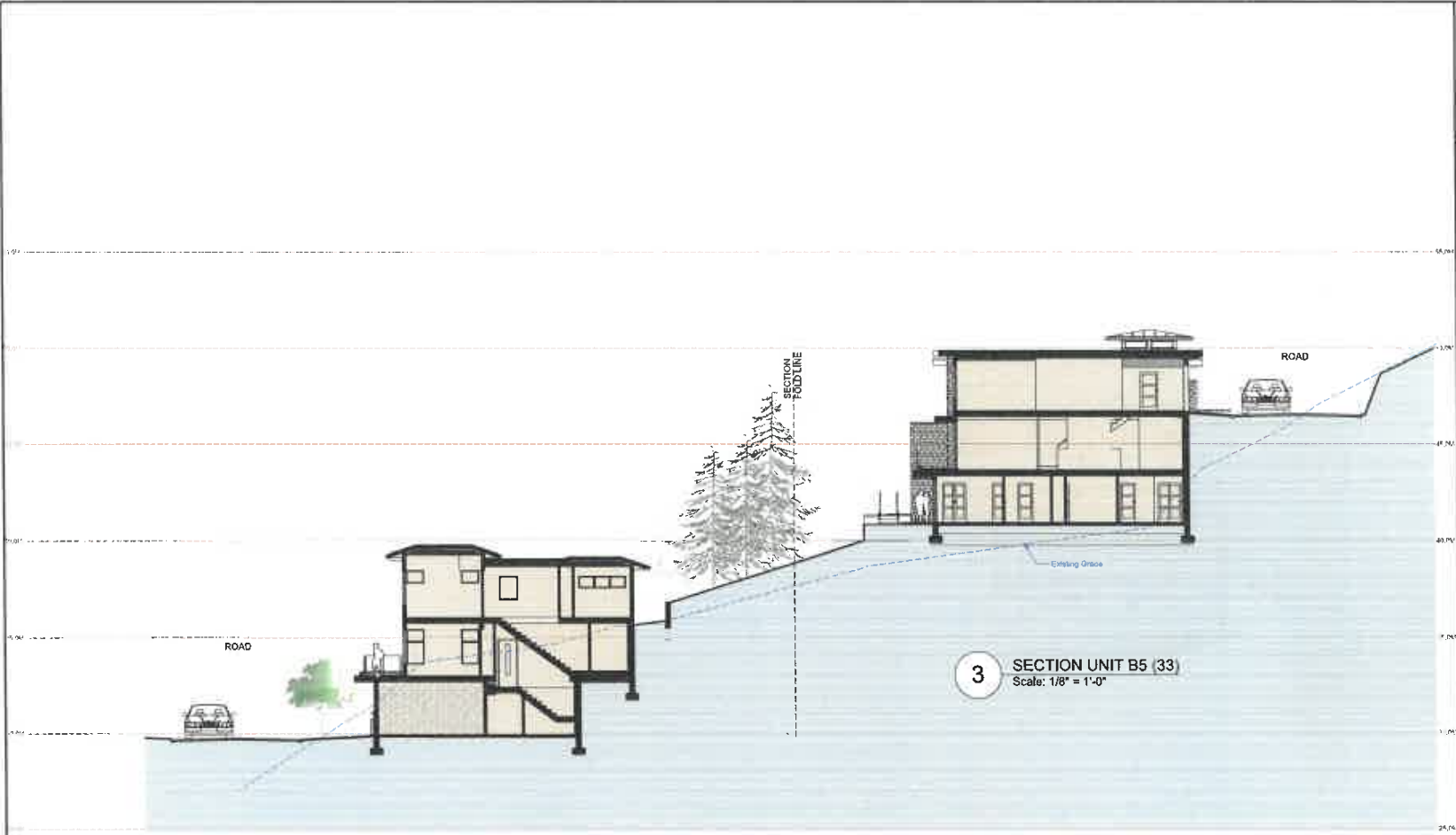
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SITE SECTIONS

PROJECT#	8000	SHEET	A1.02
SCALE	1/8"=1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CP/Planning Aug 31, 2021
 DRD Public Comment Revisions MAY 12, 2022
 DR, DR, DR Revisions JULY 31, 2022



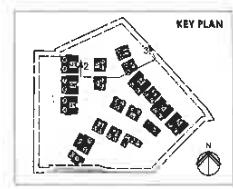
2 SECTION UNIT D3 (12)
 Scale: 1/8" = 1'-0"

3 SECTION UNIT B5 (33)
 Scale: 1/8" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

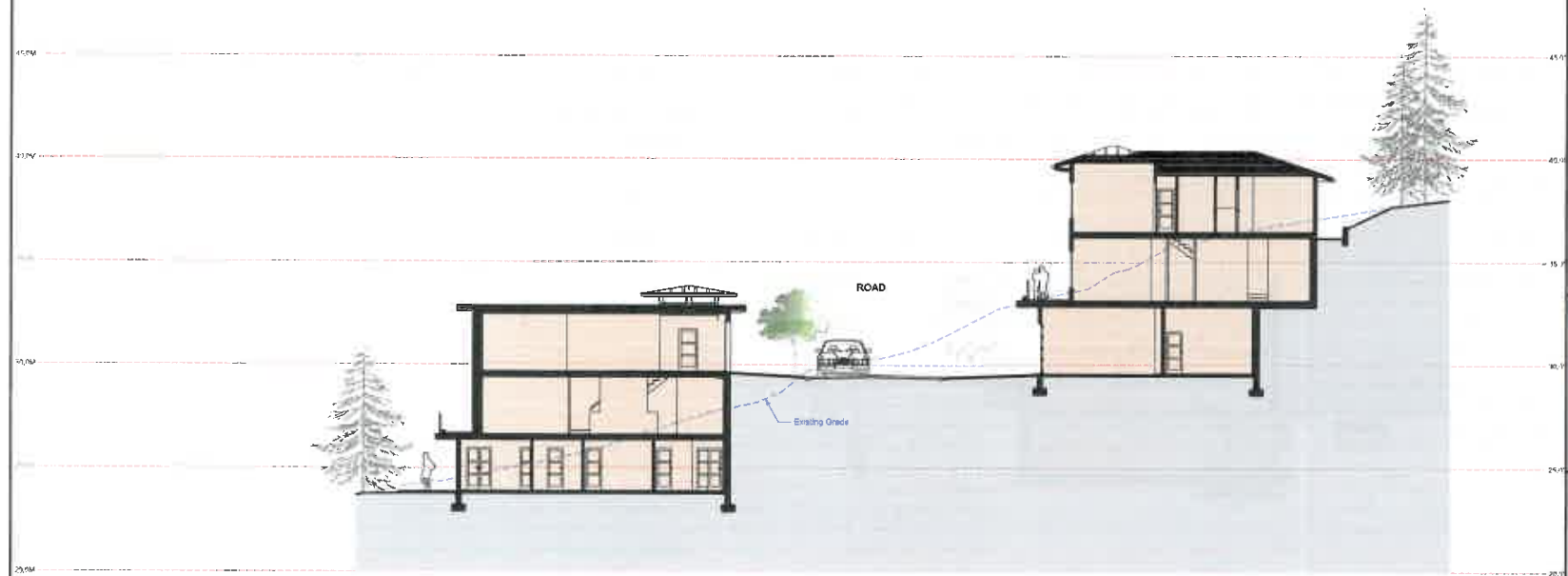
DRAWING
SITE SECTIONS



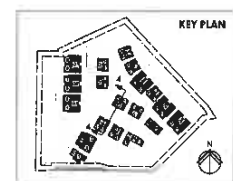
PROJECT#	NO.	SHEET
		A1.03
SCALE	1/8"=1'-0"	
DATE	MAY 12, 2022	

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REVISIONS	DATE
Revised for DP/Permitting	Aug 31, 2021
DRG/ PUBLIC Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



4 SECTION UNIT B3 (15) & D2 (20)
Scale: 1/8" = 1'-0"



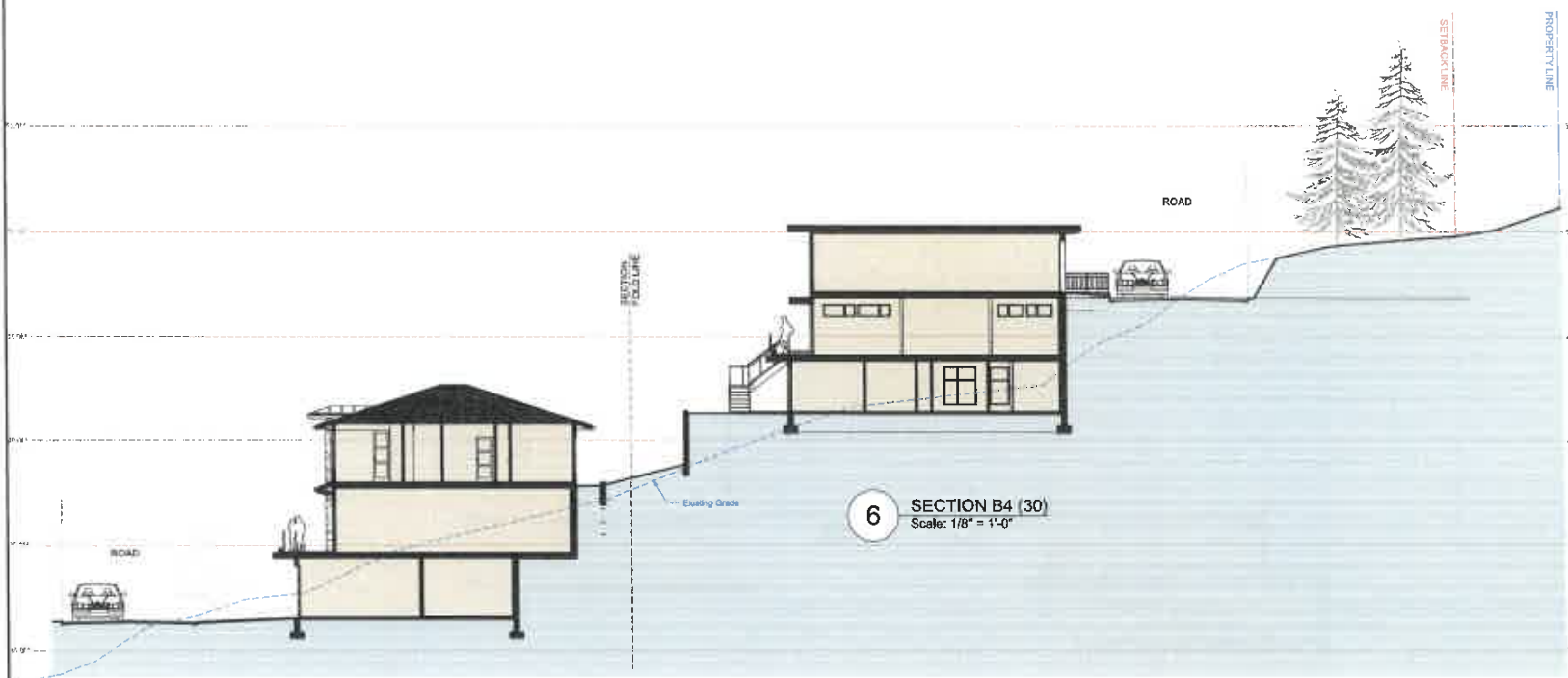
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SITE SECTIONS

PROJECT#	000	SHEET
SCALE	1/8" = 1'-0"	A1.04
DATE	MAY 12, 2023	

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REVISIONS
 Issued for DP/Re zoning Aug. 31, 2023
 DEC/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



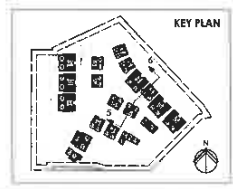
5 SECTION UNIT D1 (22)
 Scale: 1/8" = 1'-0"

6 SECTION B4 (30)
 Scale: 1/8" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

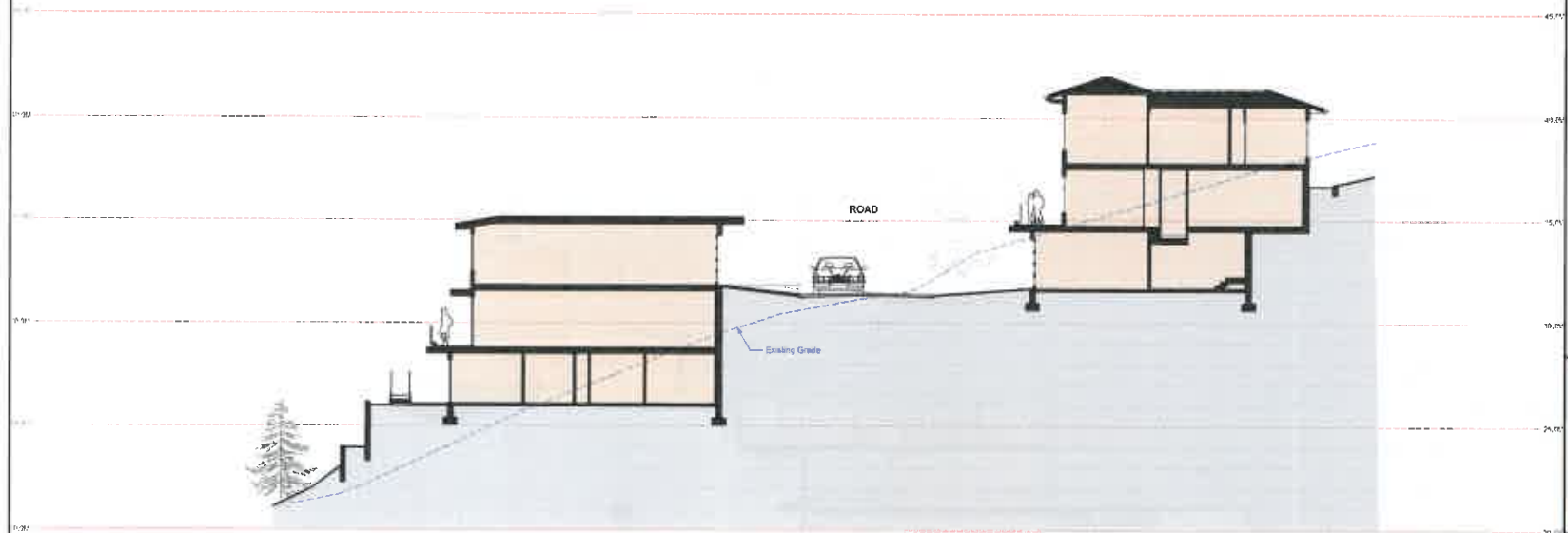
DRAWING
 SITE SECTIONS



PROJECT#	8000	SHEET	A1.05
SCALE	1/8" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DPA/Permitting	Aug 31, 2021
DRP/PA/PC Comment Revisions	MAY 13, 2023
01, 02, 03 Revisions	MAY 31, 2023

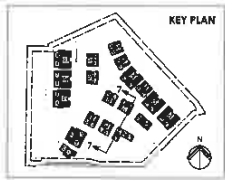


7 SECTION UNIT B1 (18) & D1 (23)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

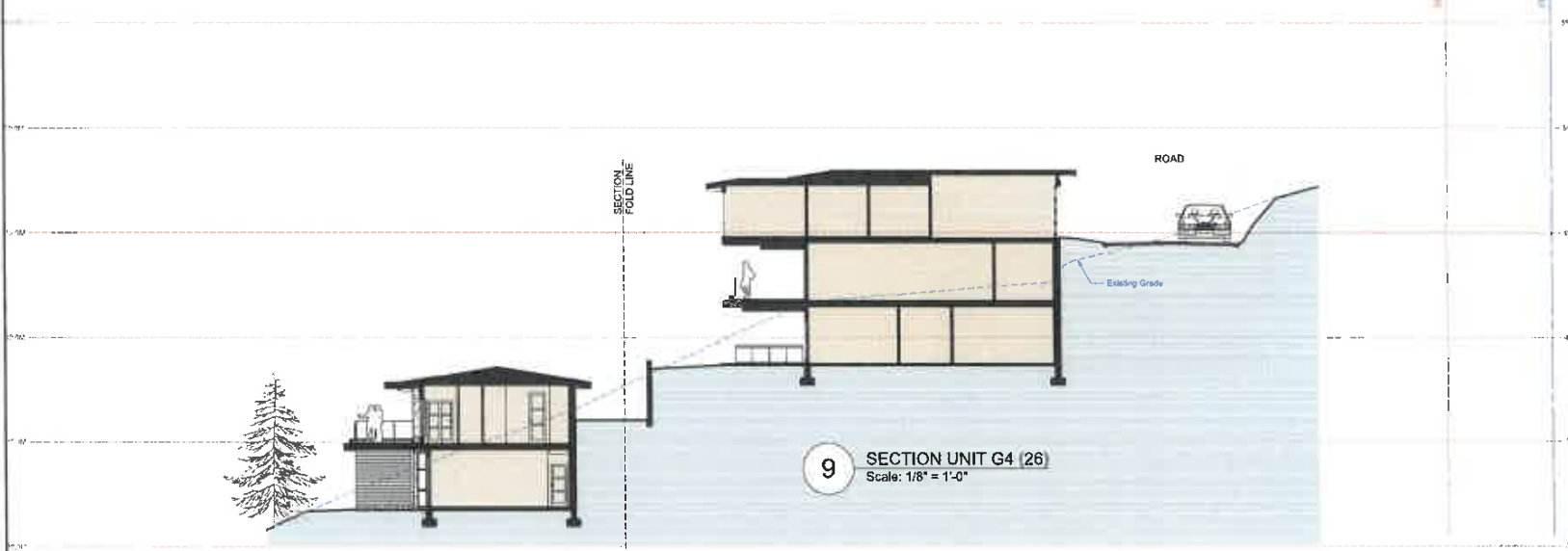
DRAWING
SITE SECTIONS



PROJECT#	SHEET
2021	A1.06
SCALE	1/8" = 1'-0"
DATE	MAY 13, 2023

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REVISIONS
REVISED FOR 07/REVISIONING AUG. 31, 2021
DRGZ PLAN: Detailed Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2023



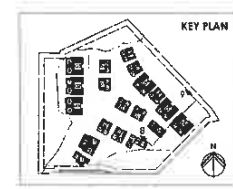
8 SECTION UNIT E (24)
Scale: 1/8" = 1'-0"

9 SECTION UNIT G4 (26)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SITE SECTIONS



PROJECT	8000	SHEET
SCALE	1/8" = 1'-0"	A1.07
DATE	MAY 12, 2023	

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REVISIONS	
Issued for DP/Revising	AUG 31, 2021
DRSD Public Comment Revisions	MAY 13, 2023
11, 02, 03 Revisions	JUL 31, 2023

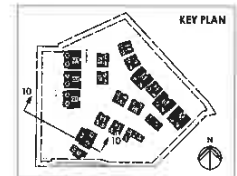


10 Section Unit F2 (10)
Scale: 1/8" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

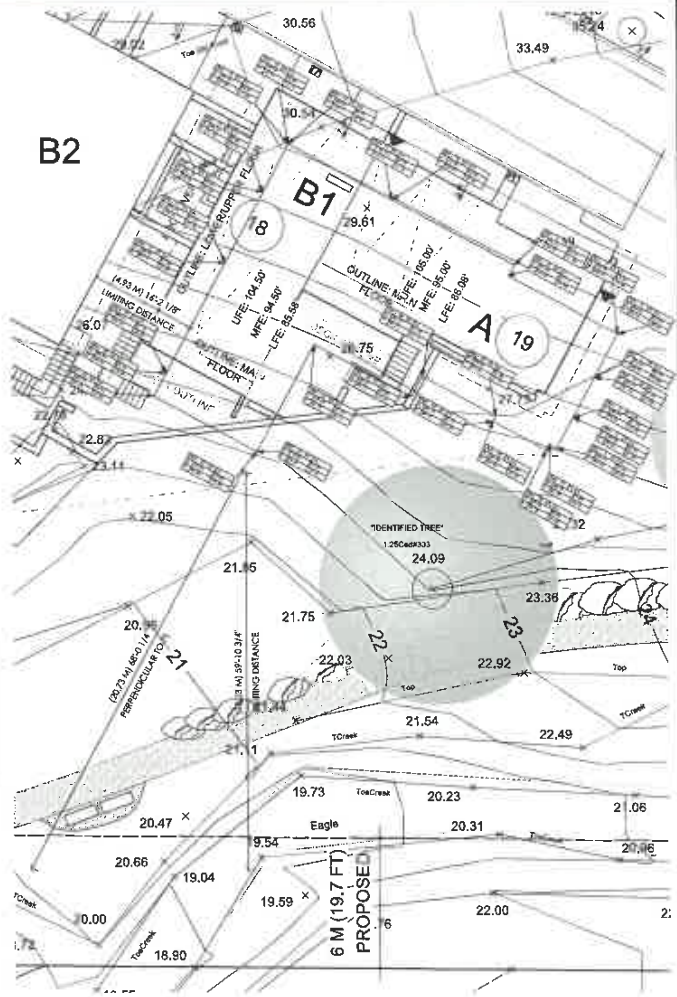
DRAWING
SITE SECTIONS



PROJECT#	SHEET
8030	A1.08
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

I - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Ref #	Elevation	Elevation	Distance	x	Distance
#1	#2	F1	F2			
1	84.74	2	80.55	43.80		448.84
2	80.55	3	80.55	0.00		0.00
3	83.43	4	83.43	87.36	8.00	694.15
4	83.43	5	83.43	83.00	0.00	0.00
5	85.34	6	85.34	90.96	7.00	674.96
6	85.34	7	85.34	86.00	0.00	0.00
7	87.40	8	87.40	97.20	16.80	1987.77
8	88.20	9	88.20	88.24	21.00	2003.24
9	88.20	10	88.20	90.00	0.00	0.00
10	88.20	11	88.20	98.00	8.00	705.52
11	98.20	12	98.20	88.43	17.00	1734.87
12	98.20	13	98.20	88.38	0.00	0.00
13	98.20	14	98.20	88.39	88.39	802.94
14	98.20	15	98.20	97.07		952.00
15	98.20	16	98.20	88.00		880.00
16	98.20	17	98.20	92.99	12.31	1034.78
17	98.20	18	98.20	90.00	0.00	0.00
18	89.25	19	89.25	88.42	1.00	104.00
19	89.25	20	89.25	85.41	5.00	500.00
20	89.25	21	89.25	81.54	9.94	917.19
21	88.74	22	79.03	76.96	17.97	1441.21
22	79.03	23	79.03	79.03	0.00	0.00
23	79.03	24	88.00	83.07	18.00	1547.10
24	88.00	25	88.00	86.1	16.9	1486.71
25	88.00	26	88.00	88.31	2.31	214.47
26	88.71	27	88.71	87.75	12.00	1104.14
27	88.71	28	88.71	83.86	1.00	83.86
28	85.71	29	85.71	85.43	0.00	0.00
29	85.71	30	85.71	86.43	9.1	785.67
30	85.71	31	85.71	86.56	1.00	86.56
31	85.71	1	88.71	88.79	1.21	103.21
Total				203		16084.1
Avg Existing Grade						90.21
Max. Slope						120.58

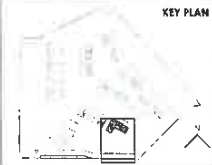
II - AVERAGE FINISHED GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Distance	x	Distance
#1	F1	#2	F2			
1	85	2	88.88	86.84		403.00
2	85	3	81.68	90.32		816.00
3	85	4	95.14	82.50	6.00	647.50
4	85.14	5	86.42	86.78	0.00	0.00
5	85.14	6	99.47	98.12	7.00	798.55
6	85.14	7	104.87	101.59	3.00	300.00
7	104.87	8	104.87	104.87	16.00	1682.88
8	104.87	9	104.87	104.87	1.00	200.00
9	104.87	10	104.87	104.87	21.00	2198.07
10	104.87	11	104.17	104.17	0.00	0.00
11	104.17	12	104.17	104.17	17.00	1840.27
12	104.17	13	99.25	101.88	0.00	0.00
13	99.25	14	81.63	85.27	0.00	0.00
14	81.63	15	81.63	81.63	8.00	731.13
15	81.63	16	89.50	89.61	0.00	0.00
16	89.50	17	89.50	89.50	12.21	1091.00
17	89.50	18	85.30	85.30	19.00	1717.70
18	85.30	19	85.30	85.30	9.00	807.30
19	85.30	20	85.30	85.30	0.00	0.00
20	85.30	21	85.30	85.30	17.9	1508.11
21	85.30	22	86.71	86.71	0.00	0.00
22	85.30	23	85.30	85.30	18.84	1683.27
23	85.30	24	85.71	85.71	19.5	1479.00
24	85.71	25	85.71	85.71	3.00	260.13
25	85.71	26	85.71	85.71	11.00	952.50
26	85.71	27	85.71	85.71	12.04	1038.00
27	85.71	28	85.71	85.71	1.00	85.71
28	85.71	29	85.71	85.71	1.00	85.71
29	85.71	30	85.71	85.71	9.11	791.55
30	85.71	31	85.30	85.30	1.00	85.30
31	85.30	1	85.30	85.30	1.21	103.21
Total				203		18794.04
Avg Finish Grade						82.33
Max. Slope						122.17



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B1 (18)		
Lower	Main	Upper
28.08 m	28.80 m	31.85 m
85.58'	94.50'	104.50'

TOP OF FINISH FLOOR - A (19)		
Lower	Main	Upper
28.24 m	28.96 m	32.00 m
86.08'	95.00'	105.00'



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REVISIONS:
Based on DFF/Revised
DMS/ Public Comment Revisions
09.01.23 Revisions

Aug. 31, 2023
MAY 12, 2023
JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

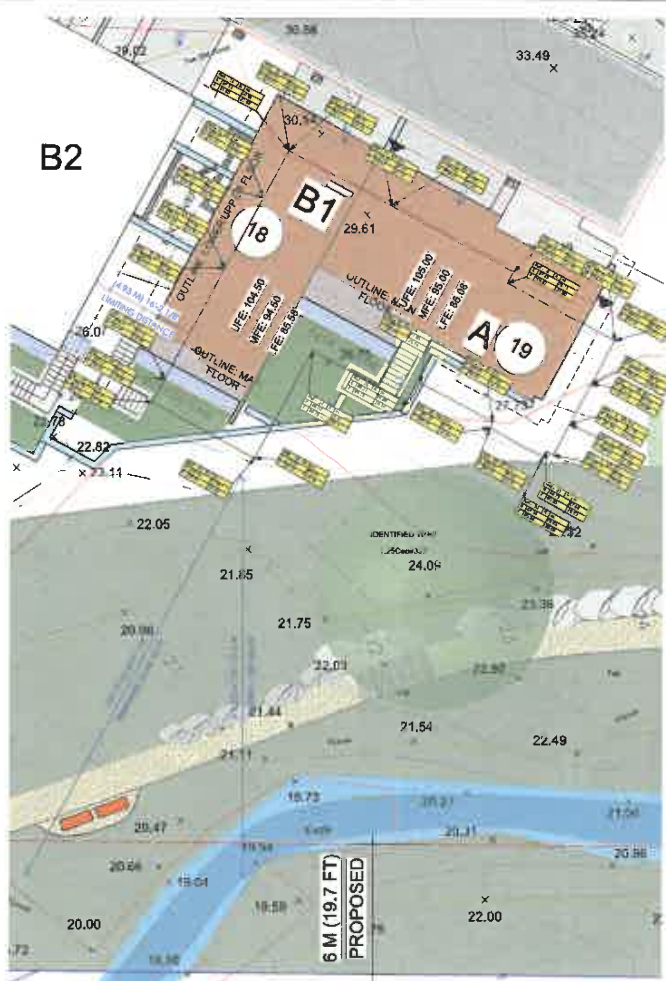
DRAWING
SITE PLAN A / B1

PROJECT # 0000
SCALE 1/8"=1'-0"
DATE MAY 12, 2023

SHEET
AB1-1.01

#1 - AVERAGE EXISTING GRADE CALCULATION					
Ref #	Station	Dist #	Function	Elevation	Distance
1	88.71	2	89.88	89.50	485.54
2	89.86	3	89.55	89.20	5.00
3	90.58	4	91.63	87.26	8.00
4	93.63	5	88.31	90.88	5.00
5	98.30	6	88.31	90.88	7.00
6	98.30	7	89.50	87.26	5.00
7	98.30	8	87.41	87.41	1.64
8	91.49	9	88.31	87.26	5.00
9	98.26	10	88.31	87.26	21.00
10	98.26	11	88.21	88.21	0.00
11	99.20	12	88.56	88.43	17.80
12	98.50	13	88.56	88.56	0.00
13	98.50	14	88.56	88.56	0.00
14	98.50	15	88.56	88.56	0.00
15	93.54	16	88.56	88.56	785.74
16	93.54	17	90.56	82.96	1134.71
17	90.56	18	90.56	82.96	0.00
18	90.56	19	82.41	88.48	19.03
19	82.41	20	82.41	82.41	0.00
20	82.41	21	82.74	81.58	4.00
21	80.71	22	79.62	79.81	17.97
22	79.62	23	79.00	79.00	0.00
23	79.00	24	88.02	81.51	18.46
24	88.02	25	88.21	81.51	156.70
25	88.21	26	89.75	88.31	311.47
26	89.75	27	85.76	82.75	1104.16
27	85.76	28	85.76	85.76	0.00
28	85.76	29	85.30	85.31	0.00
29	85.30	30	86.30	88.81	1.11
30	86.30	31	84.11	86.68	1.00
31	88.72	1	88.71	86.72	1.21
Total					128.06
AVG Existing Grade					86.21
Max. Min. Diff. (m)					128.06

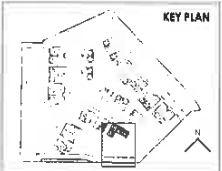
#2 - AVERAGE FINISHED GRADE CALCULATION					
Ref #	Station	Dist #	Function	Elevation	Distance
1	88.71	1	88.58	86.84	452.71
2	89.86	2	89.49	89.20	5.00
3	91.11	3	88.14	89.50	6.00
4	93.41	4	88.42	88.78	5.00
5	98.41	5	88.42	88.41	7.00
6	98.41	6	88.42	88.42	0.00
7	104.81	7	92.47	92.47	38.81
8	104.81	8	92.47	92.47	1.32
9	104.81	9	92.47	92.47	21.00
10	104.81	10	92.47	92.47	0.00
11	104.81	11	92.47	92.47	0.00
12	104.81	12	92.47	92.47	0.00
13	99.51	13	91.63	91.63	0.00
14	99.51	14	91.63	91.63	0.00
15	99.51	15	91.63	91.63	0.00
16	99.51	16	91.63	91.63	0.00
17	99.51	17	89.58	90.81	0.00
18	99.51	18	89.58	90.81	12.21
19	99.51	19	89.58	87.44	0.00
20	99.51	20	89.58	87.44	182.80
21	99.51	21	89.58	86.25	0.00
22	99.51	22	89.58	86.25	348.12
23	99.51	23	89.58	86.25	1506.11
24	99.51	24	86.71	86.72	1862.77
25	99.51	25	86.71	86.72	1113.11
26	99.51	26	86.71	86.72	300.11
27	99.51	27	86.71	86.72	1072.00
28	99.51	28	86.71	86.72	86.72
29	99.51	29	86.71	86.72	0.00
30	99.51	30	86.30	86.30	1.11
31	99.51	31	86.30	86.30	1.00
Total					18784.04
AVG Finished Grade					92.32
Max. Min. Diff. (m)					124.11



SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - B1 (18)		
Lower	Main	Upper
76.88 m	78.80 m	81.86 m
85.58'	84.50'	104.50'

TOP OF FINISH FLOOR - A (19)		
Lower	Main	Upper
26.24 m	28.85 m	32.00 m
86.08'	95.00'	105.00'



These plans remain the ownership of Sterling Pacific

REVISIONS		
Based for DP/Reviewing	Aug 31, 2023	
DWG Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
SITE PLAN A / B1

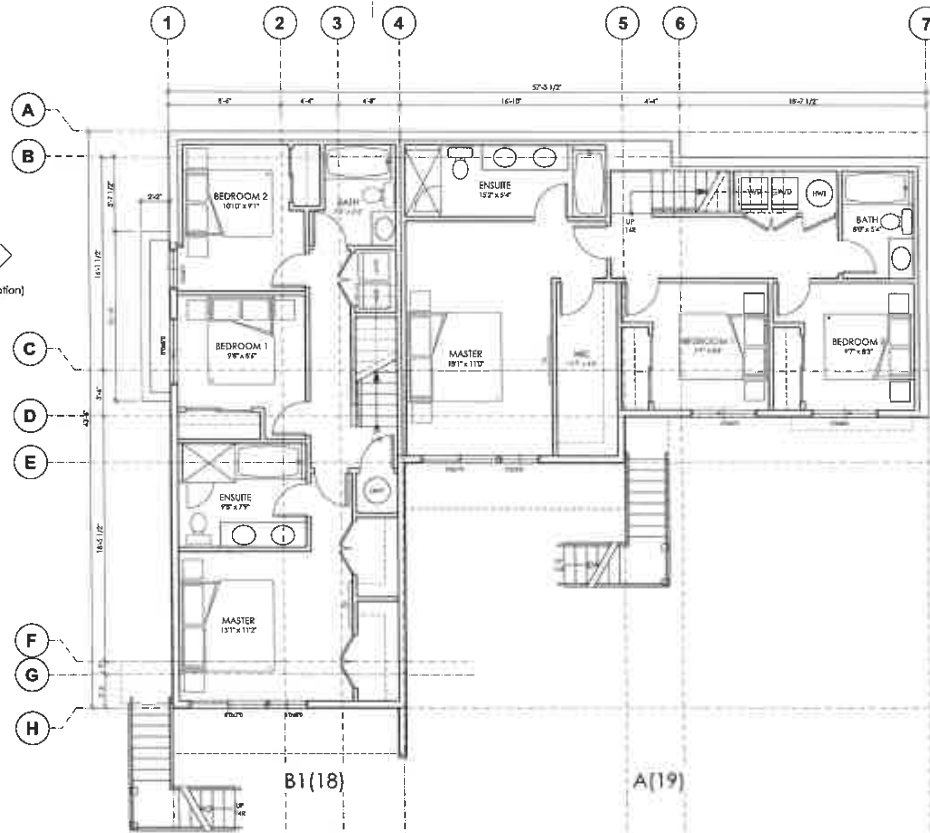
PROJECT	SHEET
9030	AB1-1.01
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

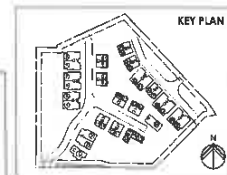
REVISIONS
Issued for DP Reasoning Aug 31, 2021
DP/CP Public Comment Review MAY 12, 2022
01-02, 03 Revisions JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
[90.21' - 85.58' / 94.50' - 85.58'] x 100 = 51.9%
744.3 (gross area) x 51.9% = 396.67 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
[90.21' - 85.08' / 95.00' - 86.08'] x 100 = 57.51%
880.2 (gross area) x 57.51% = 506.20 SF (exemption)



LOWER FLOOR PLAN
UNIT TYPE A / B1



	UNIT 18 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 150 FT	LEVEL 2 150 FT	LEVEL 3 150 FT	
GROSS	746.33	712.93	702.33	2161.59
GARAGE ENCLOSURES	6.00	0.00	441.12	447.12
BASEMENT ENCLOSURES 51.9%	396.72	0.00	0.00	396.72
COVERED BALCONY ENCLOSURES	0.00	0.00	68.85	68.85
NET	343.63	712.93	261.21	1317.77

	UNIT 18 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 150 M	LEVEL 2 150 M	LEVEL 3 150 M	
GROSS	712.04	66.23	673.54	2051.81
GARAGE ENCLOSURES	0.00	0.00	41.04	41.04
BASEMENT ENCLOSURES 51.9%	369.54	0.00	0.00	369.54
COVERED BALCONY ENCLOSURES	0.00	0.00	65.81	65.81
NET	343.54	66.23	246.54	1316.31

	UNIT 19 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 150 FT	LEVEL 2 150 FT	LEVEL 3 150 FT	
GROSS	880.23	775.43	804.43	2460.09
GARAGE ENCLOSURES	0.00	0.00	441.12	441.12
BASEMENT ENCLOSURES 57.51%	506.20	0.00	0.00	506.20
COVERED BALCONY ENCLOSURES	0.00	0.00	68.85	68.85
NET	376.20	775.43	365.93	1517.56

	UNIT 19 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 150 M	LEVEL 2 150 M	LEVEL 3 150 M	
GROSS	838.96	718.54	769.54	2327.04
GARAGE ENCLOSURES	0.00	0.00	41.04	41.04
BASEMENT ENCLOSURES 57.51%	472.54	0.00	0.00	472.54
COVERED BALCONY ENCLOSURES	0.00	0.00	65.81	65.81
NET	342.54	718.54	336.93	1498.01

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
LOWER FLOOR PLAN

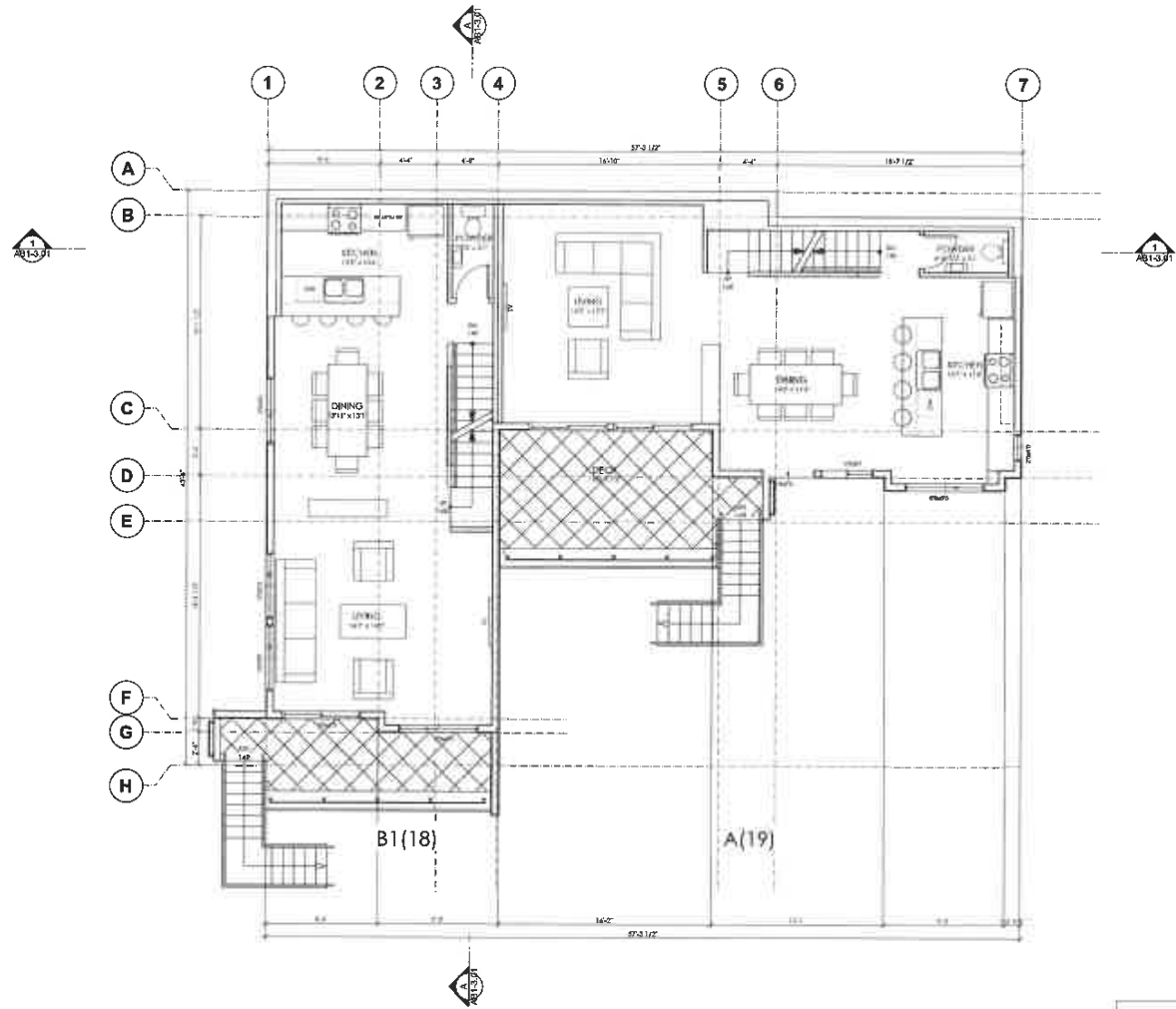
PROJECT# 8000
SCALE 1/4" = 1'-0"
DATE MAY 12, 2023

SHEET
AB1-2.01

These plans remain the ownership of Sterling Pacific

REVISION B
 Issued For CP/Approving
 OBC Public Comment Revisions
 01, 02, 03 Revisions

Aug. 31, 2021
 MAY 12, 2022
 JULY 31, 2023



MAIN FLOOR PLAN
 UNIT TYPE A / B1

UNIT 18 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	764.2 SF	712.9 SF	702.2 SF	2179.3 SF
CARPETS EXCLUSIONS	0.0 SF	0.0 SF	448.2 SF	448.2 SF
BATHROOM EXCLUSIONS 51.30%	292.1 SF	0.0 SF	0.0 SF	292.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	367.8 SF	712.9 SF	251.0 SF	1331.7 SF

UNIT 18 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	71.0 SQ M	66.2 SQ M	65.5 SQ M	202.7 SQ M
CARPETS EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BATHROOM EXCLUSIONS 51.30%	24.9 SQ M	0.0 SQ M	0.0 SQ M	24.9 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	34.2 SQ M	66.2 SQ M	24.5 SQ M	124.9 SQ M

UNIT 19 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	680.2 SF	775.4 SF	805.4 SF	2261.0 SF
CARPETS EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BATHROOM EXCLUSIONS 51.30%	350.0 SF	0.0 SF	0.0 SF	350.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	330.2 SF	775.4 SF	364.0 SF	1469.6 SF

UNIT 19 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	61.8 SQ M	71.8 SQ M	74.9 SQ M	208.5 SQ M
CARPETS EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BATHROOM EXCLUSIONS 51.30%	27.5 SQ M	0.0 SQ M	0.0 SQ M	27.5 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	34.8 SQ M	71.8 SQ M	33.9 SQ M	140.5 SQ M



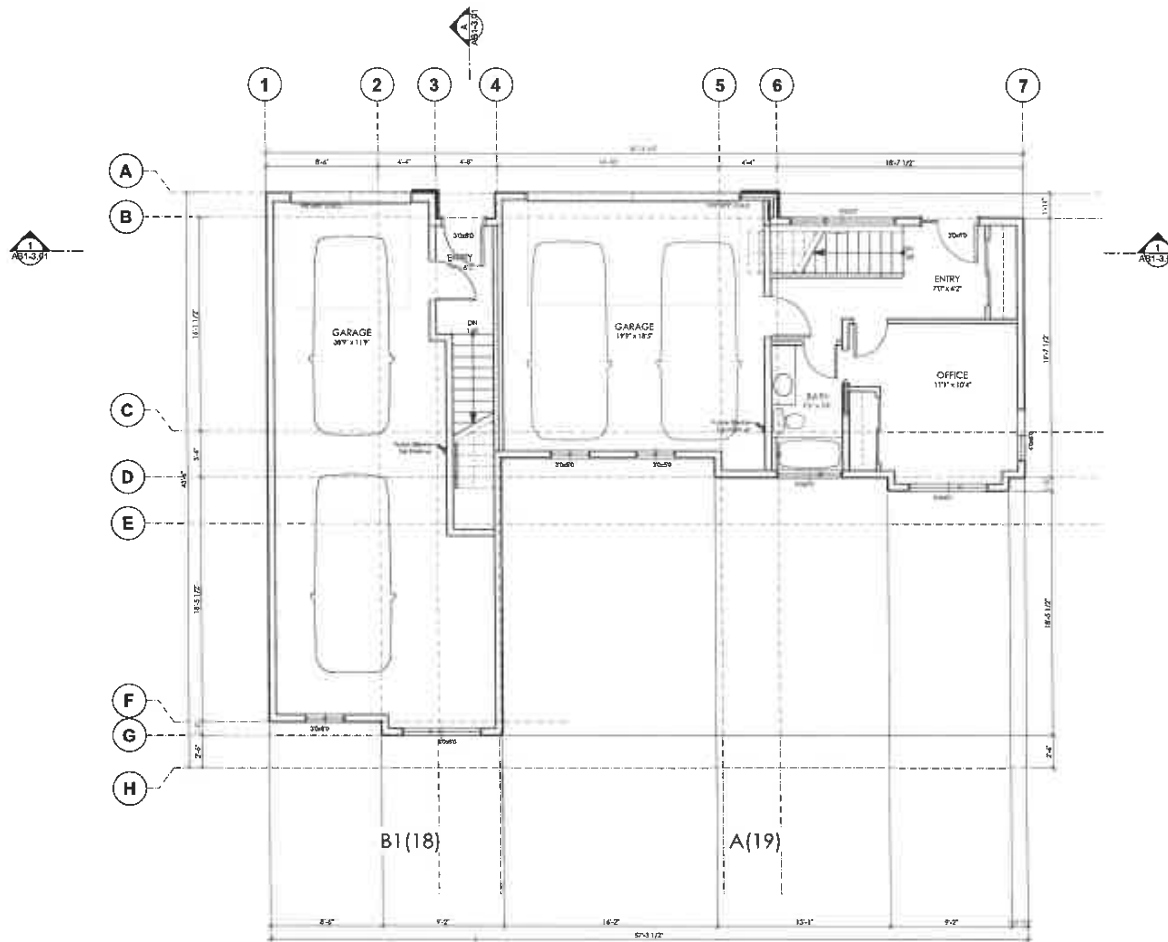
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
MAIN FLOOR PLAN

PROJECT#	600	SHEET	AB1-2.02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2022		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Made for DP/Revised Aug 31, 2021
 DCP/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



UPPER / ENTRY FLOOR PLAN
 UNIT TYPE A / B1



UNIT 18 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	744.3 SF	712.9 SF	703.1 SF	2160.3 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	411.4 SF	411.4 SF
BATHROOM ENCLOSURES & LOSE	316.7 SF	0.0 SF	0.0 SF	316.7 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	347.6 SF	712.9 SF	261.9 SF	1362.4 SF

UNIT 18 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	71.0 SQM	66.2 SQM	65.3 SQM	202.5 SQM
GARAGE ENCLOSURES	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BATHROOM ENCLOSURES & LOSE	298.9 SQM	0.0 SQM	0.0 SQM	298.9 SQM
COVERED BALCONY ENCLOSURES	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	34.2 SQM	66.2 SQM	24.3 SQM	124.7 SQM

UNIT 19 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	600.2 SF	773.4 SF	604.4 SF	1978.0 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	411.4 SF	411.4 SF
BATHROOM ENCLOSURES & LOSE	308.2 SF	0.0 SF	0.0 SF	308.2 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	374.0 SF	773.4 SF	363.0 SF	1510.4 SF

UNIT 19 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	55.8 SQM	71.8 SQM	56.2 SQM	183.8 SQM
GARAGE ENCLOSURES	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BATHROOM ENCLOSURES & LOSE	293.5 SQM	0.0 SQM	0.0 SQM	293.5 SQM
COVERED BALCONY ENCLOSURES	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	34.8 SQM	71.8 SQM	32.3 SQM	138.9 SQM

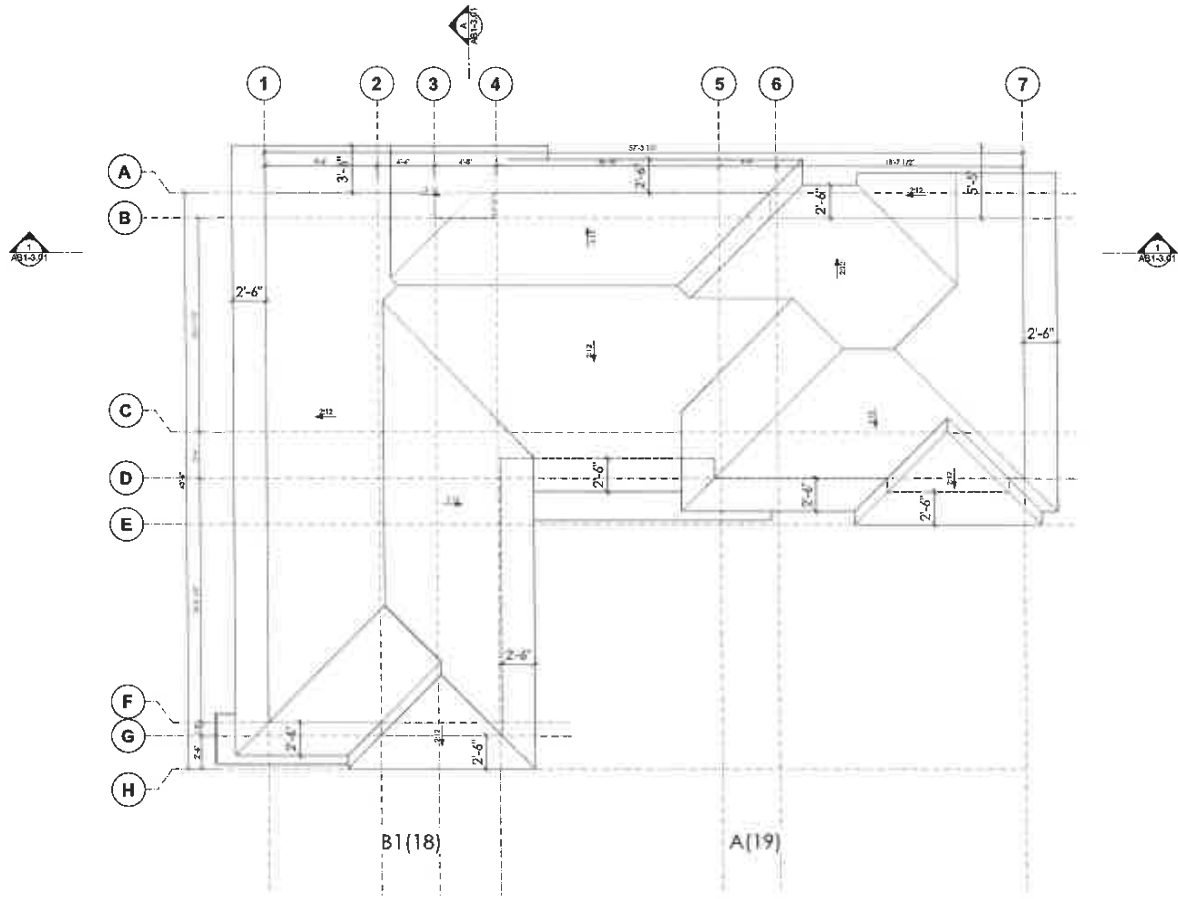
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
UPPER FLOOR PLAN

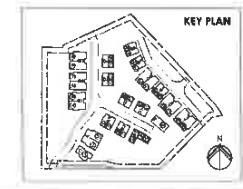
PROJECT# 0070 SHEET
AB1-2.03
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

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REVISIONS
 Issued for DP/Permitting Aug. 31, 2021
 DREC Public Comment Review MAY 12, 2023
 GH, OS, DR Reviewers JULY 31, 2023



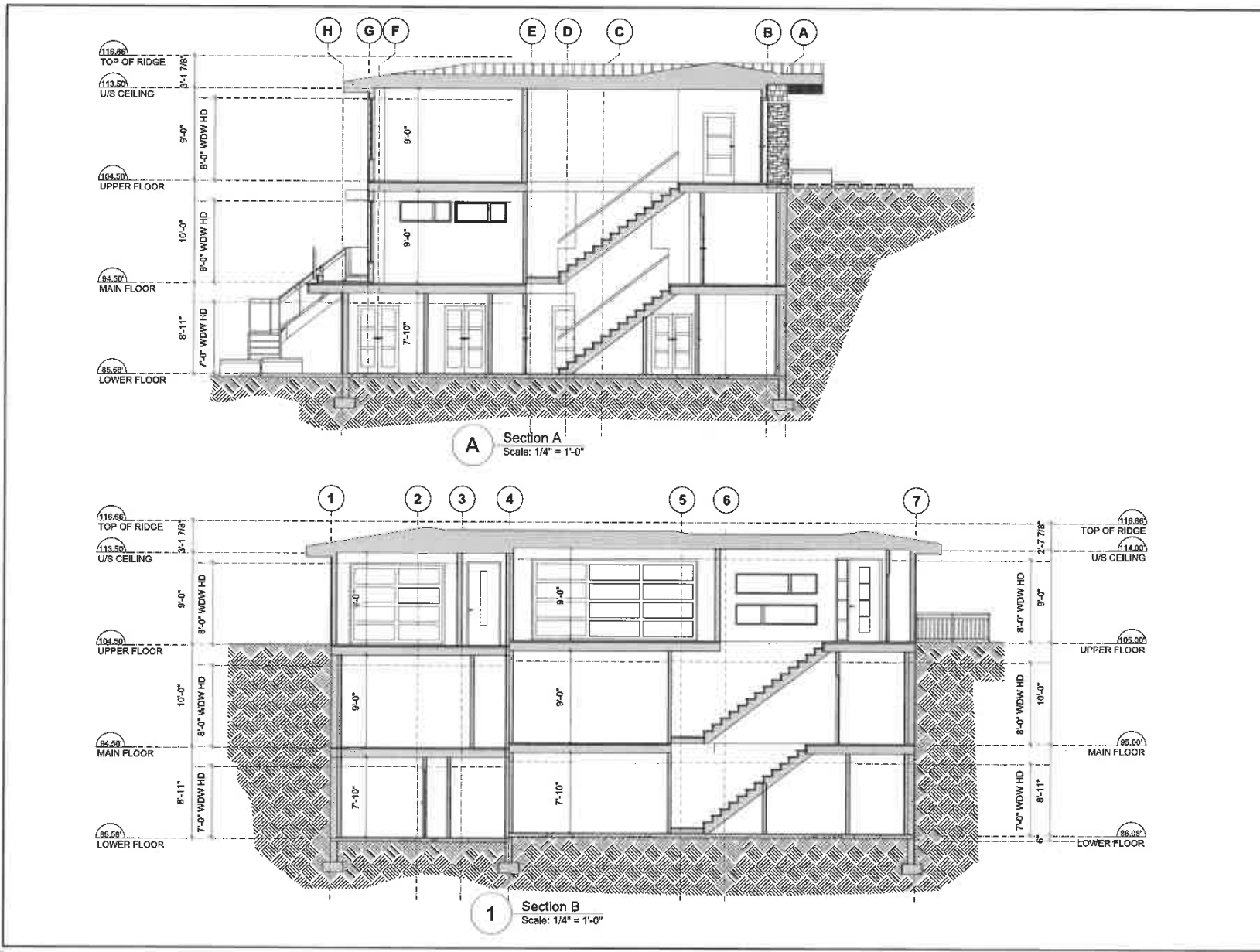
ROOF PLAN
 UNIT TYPE A / B1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
ROOF PLAN

PROJECT	NOO	SHEET
SCALE	1/4" = 1'-0"	AB1-2.04
DATE	MAY 12, 2023	



A Section A
Scale: 1/4" = 1'-0"

1 Section B
Scale: 1/4" = 1'-0"

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REVISION #	DATE
REVISED for EPP/Marketing	Aug 31, 2021
ORIG Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 21, 2023



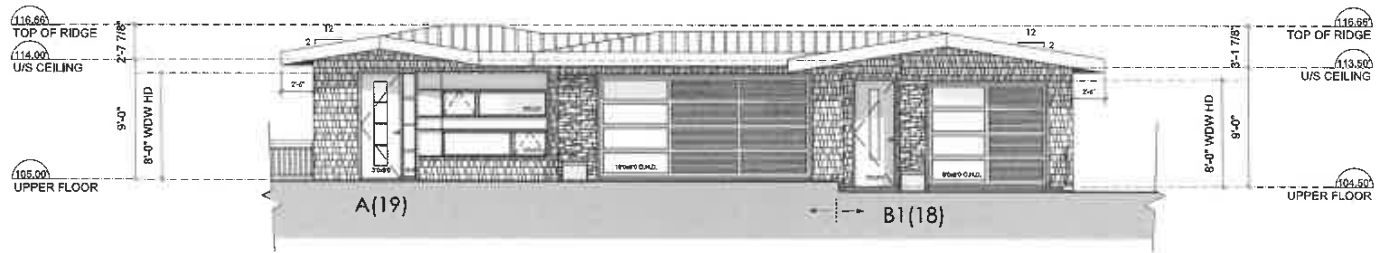
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
SECTIONS

PROJECT #	SHEET #
174*	AB1-3.01
DATE	MAY 12, 2023

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REVISIONS
 Issued for DP/Re zoning Aug 31, 2021
 DRC/ Public Comment Reviews MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



ENTRY ELEVATION
 UNIT TYPE A / B1



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (90.21' - 85.58' / 94.50' - 85.58') x 100 = 51.9%
 764.3 (gross area) x 51.9% = 396.67 SF (exemption)

BACK ELEVATION
 UNIT TYPE A / B1

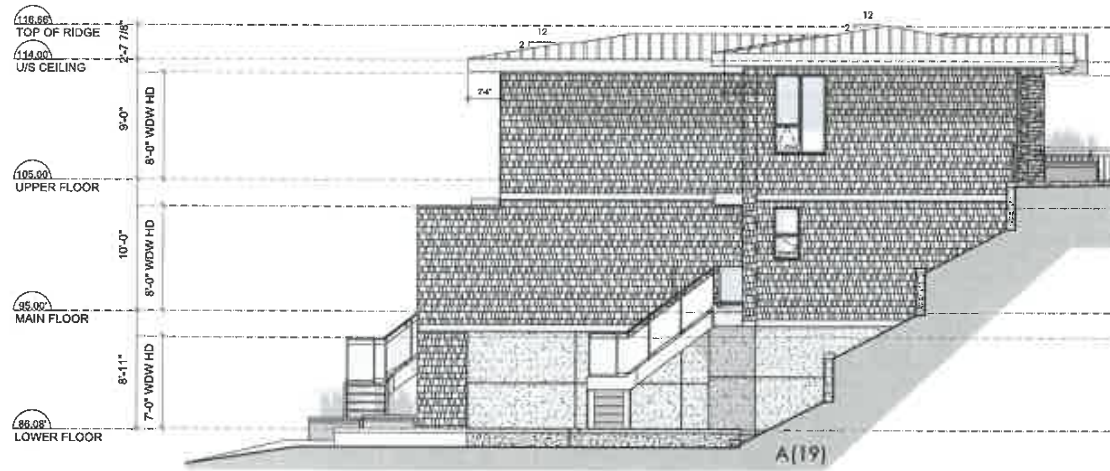
LOWER FLOOR / BASEMENT EXEMPTIONS:
 (90.21' - 85.08' / 95.00' - 86.08') x 100 = 57.51%
 880.2 (gross area) x 57.51% = 506.20 SF (exemption)



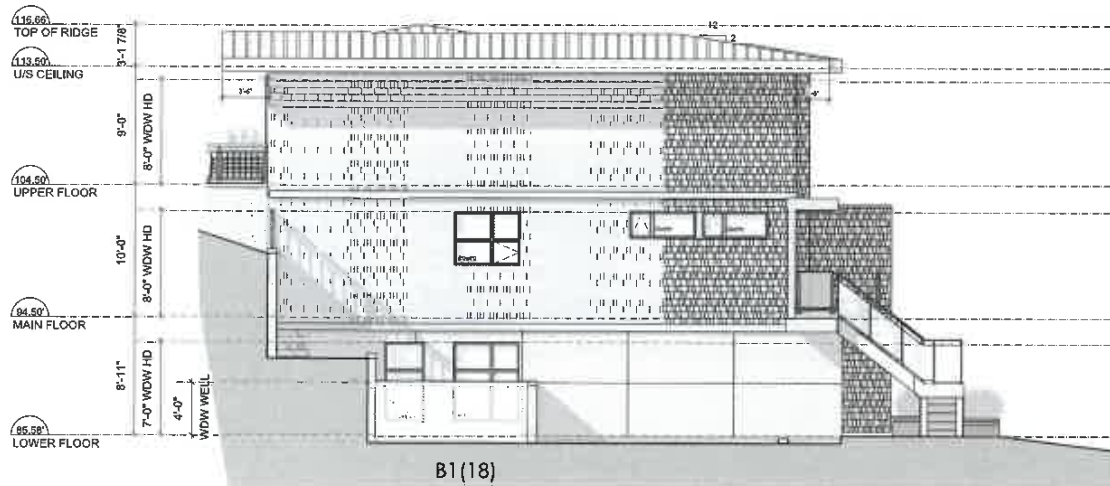
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 ENTRY AND
 BACK
 ELEVATIONS B/W

PROJECT	SHEET
3000	AB1-4.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



LEFT ELEVATION
UNIT TYPE A / B1



RIGHT ELEVATION
UNIT TYPE A / B1

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1152.34 SF (107.06 SM)
 LIVING DISTANCE: 8.07' (2.47 M)
 UNPROTECTED OPENING: 88 SF (8.18 SM)
 PROPOSED OPENING: 7.64%
 REMOVED OPENINGS: 21.48%

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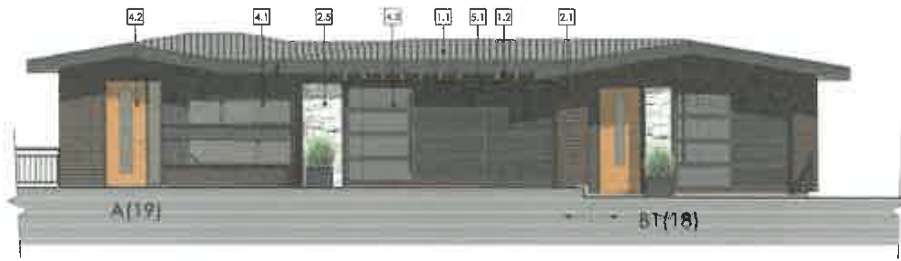
REVISION 3
 Issued for CP/Permitting Aug 31, 2021
 SDC/ Public Comment Revisions MAY 12, 2022
 01, 02, 03 Rev-More JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 LEFT AND RIGHT
 ELEVATIONS B/W

PROJECT#	SHEET
6000	AB1-4.02
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2022



ENTRY ELEVATION
UNIT TYPE A / B1



BACK ELEVATION
UNIT TYPE A / B1



AQUILA EXTENSION MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class 'A' Asphalt Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM - HC - 105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Hardy Panel	Light Gray
2.3	Hardy Panel	Light Gray
2.4	Hardy Panel	Light Gray
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.2	Entry door paint/c/w transom and clear top coat - Special Walnut	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.4	Roofing and gutters system c/w down spout	Charcoal Gray
5.1	Fire resistive treated wood	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Fire resistive treated wood	Charcoal Gray
5.3	Fire resistive treated wood	Charcoal Gray

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REVISIONS
Based on DPA/Revising
D/CJ Public Comment Response
01, 01, 03 Revisions

Aug 31, 2024
MAY 12, 2023
JUL 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

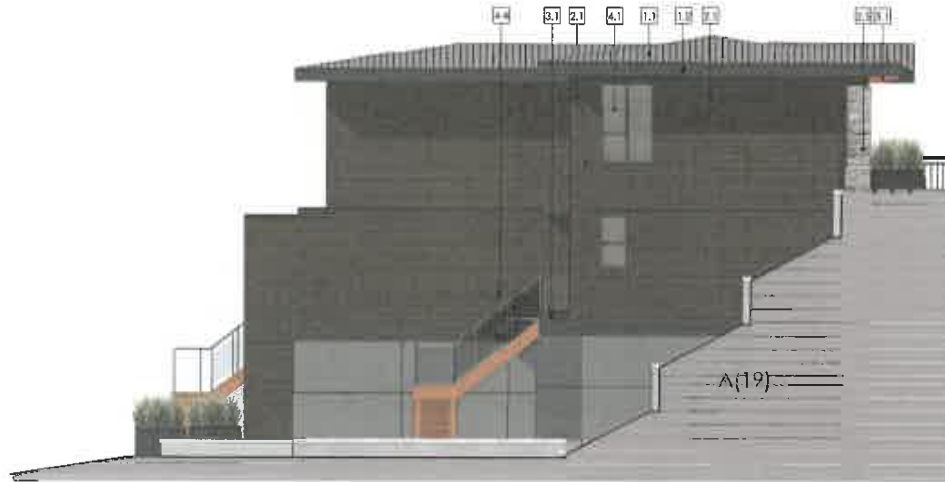
DRAWING
**ENTRY AND
BACK
ELEVATIONS**

PROJECT# 600
SCALE 1/4"=1'-0"
DATE MAY 12, 2023

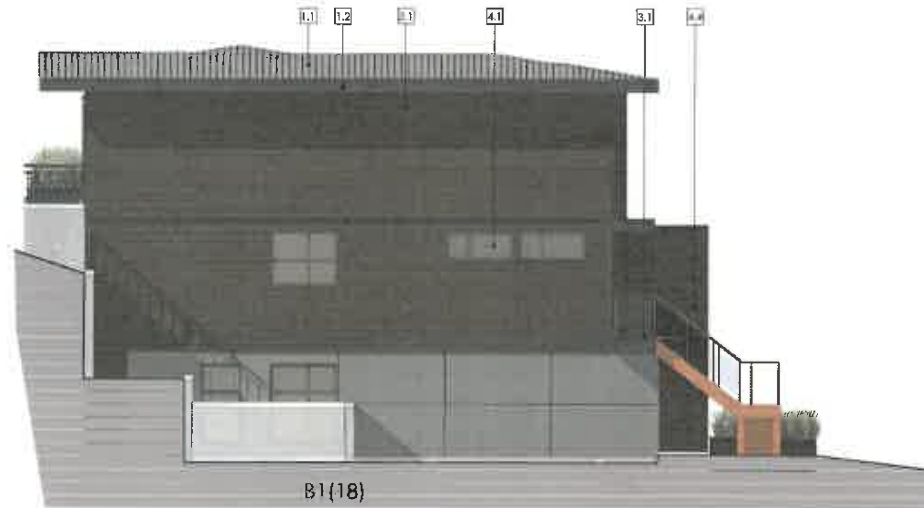
**AB1-
4.03**

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REVISIONS
 Issued for O/P/Planning Aug 31, 2021
 DRCD Public Consultation Review MAY 12, 2022
 01, 02, 03/Revisions JULY 31, 2022



LEFT ELEVATION
 UNIT TYPE A / B1



RIGHT ELEVATION
 UNIT TYPE A / B1

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Color
1.1	"A" Metal Roof	Charcoal Grey
1.2	Cement Soffit	Receptor - BM-HC-108
1.3	Tile	Charcoal Grey
2.1	Wire Cement Shingles	Woodstone Rustic Series Carbon Trill
3.2	Wood	
3.3	Hardy Panel	Light Grey
3.4	Clay Veneer	
3.6	Stone	Receptor - BM-HC-108
3.1	Grey cast concrete	Wrought Iron BM - 2124 - 10
3.2	Black cast concrete	Wrought Iron BM - 2124 - 10
4.1	Charcoal Grey	Charcoal Grey
4.2	Grey door painted with Bonsom and	Stilewood - Old Master Gel Stone c/w
4.3	Clear top coat - Special Water	Charcoal Grey
4.4	Charcoal Grey	Charcoal Grey
4.5	Charcoal Grey	Charcoal Grey
5.1	Re-weather treated wood	Stilewood - Old Master Gel Stone c/w
5.2	Painted metal	Charcoal Grey - Special Water
5.3	Painted metal	Charcoal Grey



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 LEFT AND RIGHT
 ELEVATIONS

PROJECT# 800 SHEET
 SCALE 1/4" = 1'-0" **AB1-**
 DATE MAY 12, 2022 **4.04**



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT TYPE A / B1



BACK ELEVATION - CAMERA VIEW
UNIT TYPE A / B1

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REVISIONS
 Based for DP/Planning AUG 31, 2024
 DRGZ PLAN: Client Review MAY 12, 2023
 01, 02, 03 Revisions JUL 31, 2023



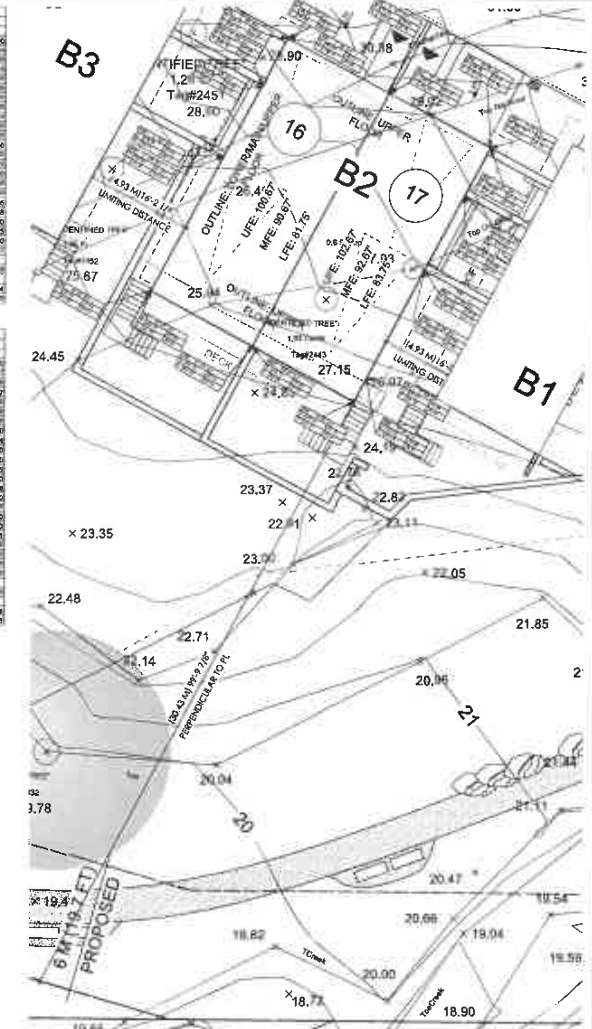
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 FRONT AND
 BACK
 ELEVATIONS -
 CAMERA VIEW

PROJECT#	9000	SHEET	AB1- 4.05
SCALE	1:15		
DATE	MAY 12, 2023		

Ref #	P	E	Elevation	Fin	Distace	Distance
1	81.2	2	85.75	83.42	0.00	0.00
2	85.7	3	85.7	85.7	19.21	19.21
3	85.1	4	85.1	85.1	3.50	0.00
4	86.1	5	86.1	86.1	8.21	207.4
5	86.1	6	86.1	86.1	0.00	0.00
6	86.1	7	86.1	86.1	0.00	0.00
7	86.1	8	86.1	86.1	0.00	0.00
8	86.1	9	86.1	86.1	0.00	0.00
9	86.1	10	86.1	86.1	0.00	0.00
10	86.1	11	86.1	86.1	0.00	0.00
11	86.1	12	86.1	86.1	0.00	0.00
12	86.1	13	86.1	86.1	0.00	0.00
13	86.1	14	86.1	86.1	0.00	0.00
14	87.2	1	87.2	87.2	12.21	1071.0
15	87.2	2	87.2	87.2	0.00	0.00
16	87.2	3	87.2	87.2	0.00	0.00
17	85.3	10	85.3	85.3	0.00	0.00
18	85.3	11	85.3	85.3	0.00	0.00
19	85.2	20	83.25	83.25	17.50	1438.88
20	85.2	21	85.2	85.2	0.00	0.00
21	85.2	22	85.2	85.2	0.00	0.00
22	85.2	23	85.2	85.2	0.00	0.00
23	85.2	24	85.2	85.2	0.00	0.00
Total				197.00		32638.81
Avg Finish Grade						88.14
Max. Rise/Run	29.851					117.0

Ref #	Elevation	Pt	Distace	Distance
1	89.90	2	85.00	9.00
2	88.90	3	84.00	12.21
3	84.00	4	84.00	0.00
4	84.00	5	84.00	0.00
5	84.00	6	84.00	0.00
6	84.00	7	84.00	0.00
7	84.00	8	84.00	0.00
8	84.00	9	84.00	0.00
9	84.00	10	84.00	0.00
10	84.00	11	84.00	0.00
11	84.00	12	84.00	0.00
12	84.00	13	84.00	0.00
13	84.00	14	84.00	0.00
14	84.00	15	84.00	0.00
15	84.00	16	84.00	0.00
16	84.00	17	84.00	0.00
17	84.00	18	84.00	0.00
18	84.00	19	84.00	0.00
19	84.00	20	84.00	0.00
20	84.00	21	84.00	0.00
21	84.00	22	84.00	0.00
22	84.00	23	84.00	0.00
23	84.00	24	84.00	0.00
Total			187.00	14131.0
Avg Existing Grade				86.81
Max. Rise/Run	29.8			119.80



SITE PLAN
SCALE: 1/8"=1'-0"



TOP OF FINISH FLOOR - B2 (16)				TOP OF FINISH FLOOR - B2 (17)			
Lower	Math	Upper	Dist.	Lower	Math	Upper	Dist.
24.82 m	27.84 m	30.58 m	17.60 m	24.82 m	28.25 m	31.28 m	16.53 m
81.70	90.52	100.87	58.17'	83.75	92.87	102.87	54.36'

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REVISIONS
Based on EPR Reviewing August 31, 2021
DRC Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2022



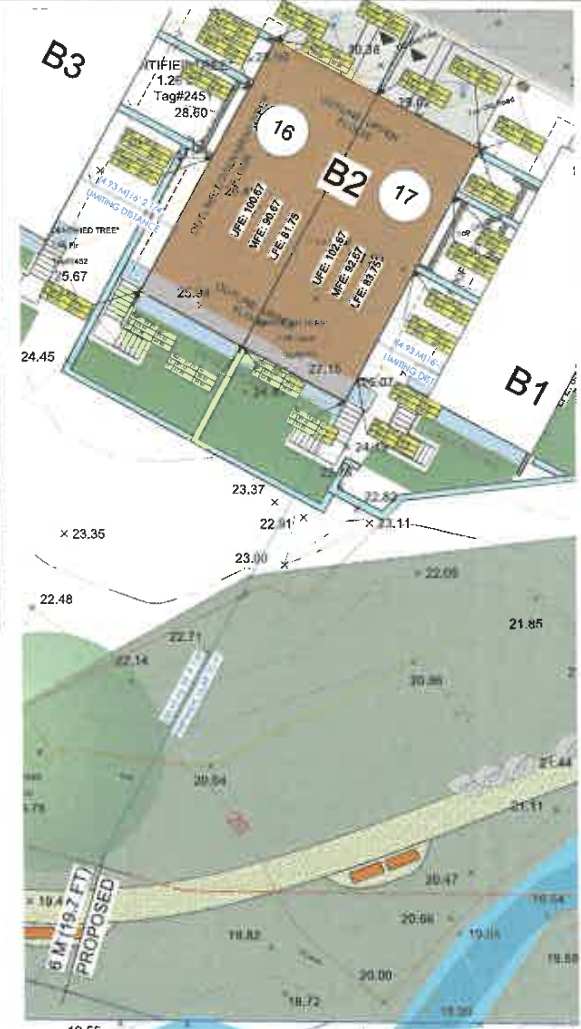
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B2

DRAWING
SITE PLAN

PROJECT# 900
SCALE 1/8"=1'-0"
DATE MAY 12, 2022
AB2-1.01

AVERAGE FINISHED GRADE CALCULATION					
Ref #	Elevation	Ref #	Elevation	Distance	Weighted Distance
1	81.00	2	85.75	83.43	1.00
2	82.75	3	85.75	82.75	12.21
3	82.75	4	84.10	84.10	0.00
4	85.11	5	86.10	86.10	0.21
5	82.11	6	84.06	84.13	0.80
6	84.25	7	100.34	97.20	0.00
7	100.34	8	100.34	100.34	17.50
8	100.34	9	100.34	100.34	0.00
9	100.34	10	100.34	100.34	17.50
10	102.24	11	90.51	100.89	0.00
11	89.51	12	91.83	90.57	0.00
12	91.83	13	91.83	91.83	8.21
13	91.83	14	87.75	88.00	0.00
14	87.75	15	87.75	87.75	10.71
15	87.75	16	85.11	85.11	0.00
16	85.11	17	85.30	85.30	14.20
17	85.30	18	83.25	84.25	0.00
18	83.25	19	83.25	84.25	0.00
19	83.25	20	83.25	83.25	17.50
20	83.25	21	81.42	83.24	0.00
21	81.42	22	81.42	81.42	17.50
22	81.42	23	81.00	81.00	0.00
23	81.00	24	81.00	81.00	1071.5
Total				157.00	13630.00
Avg. Finish Grade					86.74
Max. Imp. Height (F.F.)					111.96

AVERAGE EXISTING GRADE CALCULATION					
Ref #	Elevation	Ref #	Elevation	Distance	Weighted Distance
1	88.00	2	89.00	89.00	1.00
2	88.00	3	94.00	92.00	1123.01
3	94.00	4	94.00	94.00	0.00
4	94.00	5	96.25	95.14	3.21
5	96.25	6	96.25	96.25	0.00
6	96.25	7	95.25	95.25	0.00
7	95.25	8	94.25	94.25	15.83
8	94.25	9	90.00	90.00	0.00
9	90.00	10	88.00	88.00	1290.84
10	88.00	11	86.00	86.00	0.00
11	86.00	12	86.25	86.25	0.00
12	86.25	13	84.25	84.25	8.21
13	84.25	14	84.25	84.25	0.00
14	84.25	15	81.80	81.80	0.00
15	81.80	16	81.80	81.80	1107.71
16	81.80	17	83.25	83.25	0.00
17	83.25	18	83.25	83.25	187.0
18	83.25	19	82.25	83.00	4.00
19	82.25	20	83.25	83.25	17.50
20	83.25	21	83.25	83.25	0.00
21	83.25	22	83.44	83.44	1452.0
22	83.44	23	83.44	83.44	0.00
23	83.44	24	86.00	86.00	2900.0
Total				157.00	14131.00
Avg. Existing Grade					90.01
Max. Imp. Height (F.F.)					118.68



SITE PLAN
SCALE: 1/8"=1'-0"



TOP OF FINISH FLOOR - B2 (16)			TOP OF FINISH FLOOR - B2 (7)		
Corner	Dist.	Upper	Corner	Dist.	Upper
81.75	90.67	100.67	83.75	52.67	100.67

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REVISIONS
 Board: N/D/Resolving
 ORC: PAB: Content Revisions
 D1, D2, D3: Revisions

Aug. 31, 2021
 MAY 12, 2022
 MAY 31, 2022



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
SITE PLAN

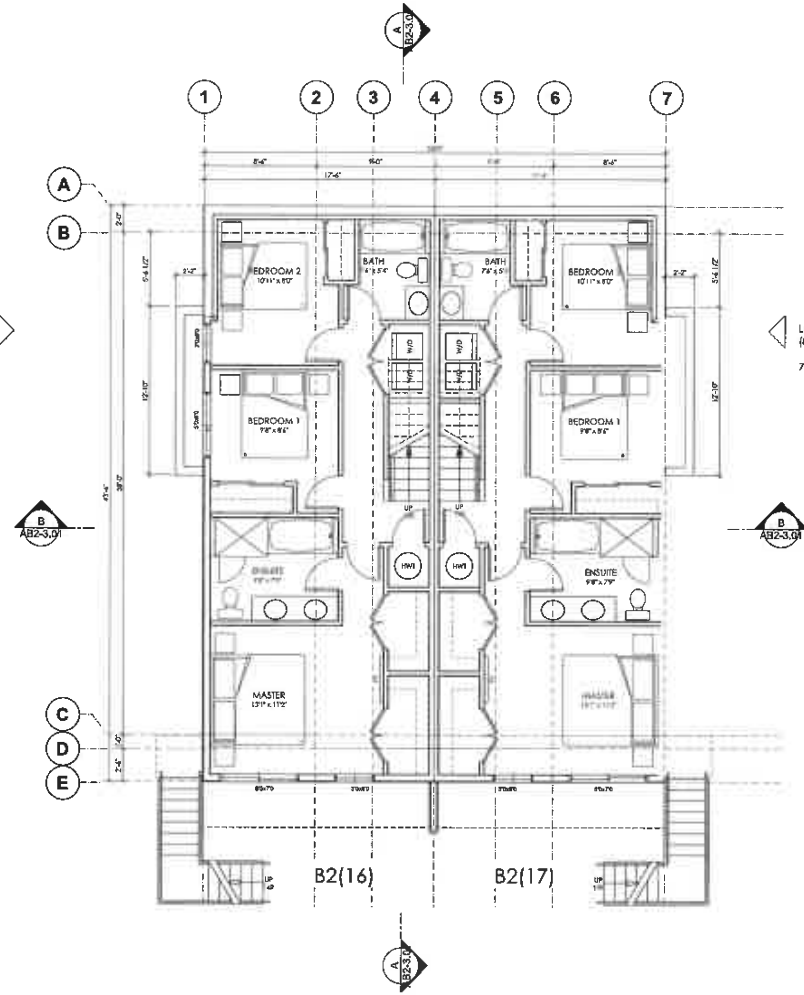
PROJECT# 8020 SHEET
 SCALE 1/8"=1'-0" **AB2-1.01**
 DATE MAX 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CP/Re zoning Aug. 31, 2021
 ERDC Public Comment Revisions MAY 12, 2023
 S1, G2, G3 Revisions JULY 31, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (88.14' x 83.75' / 92.67' x 83.75') x 100 = 49.21%
 761.3 (gross area) x 49.21% = 374.63 SF (exemption)



LOWER FLOOR PLAN
 UNIT B2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

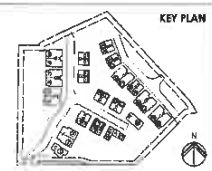
DRAWING
LOWER FLOOR PLAN

UNIT 16 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT			LEVEL 2 SQ FT			LEVEL 4 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 4 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 4 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 4 SQ FT	
GROSS	761.3 SF	799.3 SF	497.3 SF	0.0 SF	0.0 SF	0.0 SF	761.3 SF	799.3 SF	497.3 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	441.3 SF
BASEMENT EXCLUSIONS 100%	761.3 SF	0.0 SF	0.0 SF	761.3 SF	0.0 SF	0.0 SF	761.3 SF	0.0 SF	0.0 SF	1522.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	799.3 SF	256.0 SF	0.0 SF	0.0 SF	0.0 SF	761.3 SF	799.3 SF	256.0 SF	1816.6 SF

UNIT 16 FLOOR AREAS METRIC	LEVEL 1 SQ M			LEVEL 2 SQ M			LEVEL 4 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 4 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 4 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 4 SQ M	
GROSS	70.3 SQ M	73.9 SQ M	45.9 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	73.9 SQ M	45.9 SQ M	200.1 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 100%	70.3 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	0.0 SQ M	0.0 SQ M	140.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	73.9 SQ M	24.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	73.9 SQ M	24.0 SQ M	168.2 SQ M

UNIT 17 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT			LEVEL 2 SQ FT			LEVEL 3 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	761.3 SF	799.3 SF	497.3 SF	0.0 SF	0.0 SF	0.0 SF	761.3 SF	799.3 SF	497.3 SF	2169.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	441.3 SF
BASEMENT EXCLUSIONS 100%	761.3 SF	0.0 SF	0.0 SF	761.3 SF	0.0 SF	0.0 SF	761.3 SF	0.0 SF	0.0 SF	1522.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	799.3 SF	256.0 SF	0.0 SF	0.0 SF	0.0 SF	761.3 SF	799.3 SF	256.0 SF	1816.6 SF

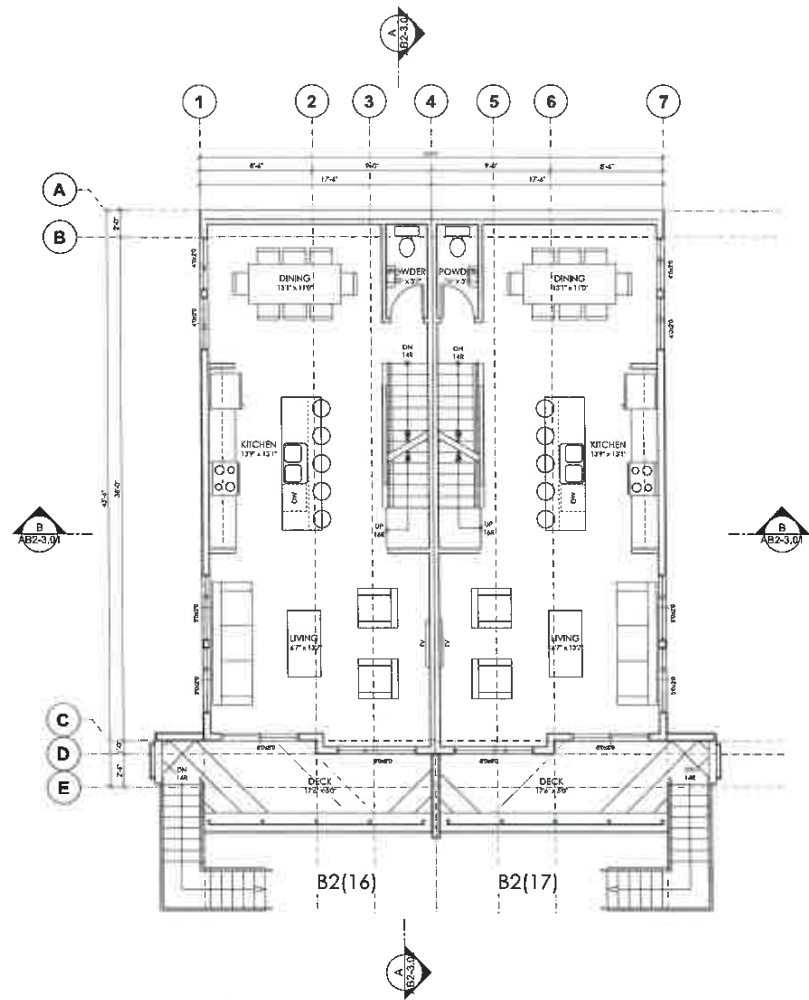
UNIT 17 FLOOR AREAS METRIC	LEVEL 1 SQ M			LEVEL 2 SQ M			LEVEL 3 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	70.3 SQ M	73.9 SQ M	45.9 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	73.9 SQ M	45.9 SQ M	200.1 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 100%	70.3 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	0.0 SQ M	0.0 SQ M	140.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	73.9 SQ M	24.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M	70.3 SQ M	73.9 SQ M	24.0 SQ M	168.2 SQ M



PROJECT# _____ SHEET
 NO. _____
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023 **AB2-2.01**

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REVISIONS		
ISSUED FOR PERMITTING	Aug. 31, 2021	
ENR Public Comment Revisions	MAY 12, 2022	
01-02-03 Revisions	JULY 31, 2022	

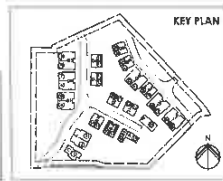


MAIN FLOOR PLAN
UNIT B2



PROJECT
AQUILA
AFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
MAIN FLOOR PLAN



UNIT 16 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	761.2 SF	709.0 SF	499.7 SF	2,969.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.5 SF	441.5 SF
BASEMENT EXCLUSIONS 100%	761.2 SF	0.0 SF	0.0 SF	761.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	709.0 SF	218.2 SF	927.2 SF

UNIT 16 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	70.55M	65.93M	46.05M	282.53M
GARAGE EXCLUSIONS	0.00M	0.00M	41.05M	41.05M
BASEMENT EXCLUSIONS 100%	70.55M	0.00M	0.00M	70.55M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	65.93M	24.05M	90.98M

UNIT 17 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	761.3 SF	709.0 SF	499.7 SF	2,969.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.5 SF	441.5 SF
BASEMENT EXCLUSIONS 100%	761.3 SF	0.0 SF	0.0 SF	761.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	709.0 SF	218.2 SF	927.2 SF

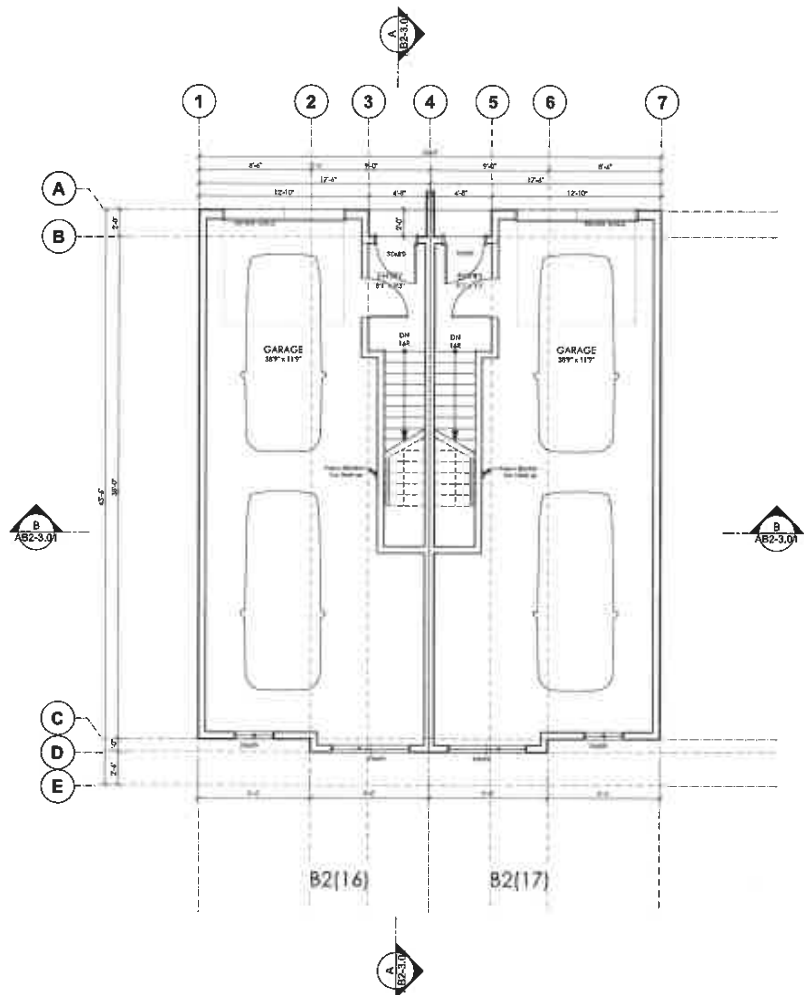
UNIT 17 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	70.55M	65.93M	46.05M	282.53M
GARAGE EXCLUSIONS	0.00M	0.00M	41.05M	41.05M
BASEMENT EXCLUSIONS 100%	70.55M	0.00M	0.00M	70.55M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	65.93M	24.05M	90.98M

PROJECT#	SHEET
6030	AB2-2.02

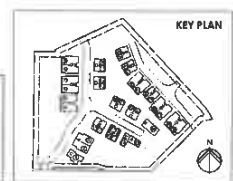
SCALE 1/2" = 1'-0"
DATE MAY 12, 2022

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REVISIONS
 Issued for DP/Reopening Aug 31, 2021
 DR/2 Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JUN 31, 2023



UPPER / ENTRY FLOOR PLAN
 UNIT B2



UNIT 16 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	744.23F	709.03F	692.73F	2146.0F
GARAGE EXCLUSIONS	0.03F	0.03F	441.33F	441.39F
BASEMENT EXCLUSIONS 120K	24.23F	0.03F	0.03F	24.29F
COVERED BALCONY EXCLUSIONS	0.03F	0.03F	0.03F	0.09F
NET	709.03F	709.03F	251.40F	1677.46F

UNIT 16 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75M	65.92M	65.03M	201.68M
GARAGE EXCLUSIONS	0.03M	0.03M	41.03M	41.09M
BASEMENT EXCLUSIONS 120K	2.27M	0.03M	0.03M	2.33M
COVERED BALCONY EXCLUSIONS	0.03M	0.03M	0.03M	0.09M
NET	68.66M	65.86M	24.97M	159.49M

UNIT 17 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	791.23F	709.03F	692.73F	2193.0F
GARAGE EXCLUSIONS	0.03F	0.03F	441.33F	441.39F
BASEMENT EXCLUSIONS 120K	37.43F	0.03F	0.03F	37.49F
COVERED BALCONY EXCLUSIONS	0.03F	0.03F	0.03F	0.09F
NET	753.74F	709.03F	251.37F	1714.14F

UNIT 17 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75M	65.92M	65.03M	201.68M
GARAGE EXCLUSIONS	0.03M	0.03M	41.03M	41.09M
BASEMENT EXCLUSIONS 120K	3.48M	0.03M	0.03M	3.54M
COVERED BALCONY EXCLUSIONS	0.03M	0.03M	0.03M	0.09M
NET	67.23M	65.86M	24.97M	158.06M

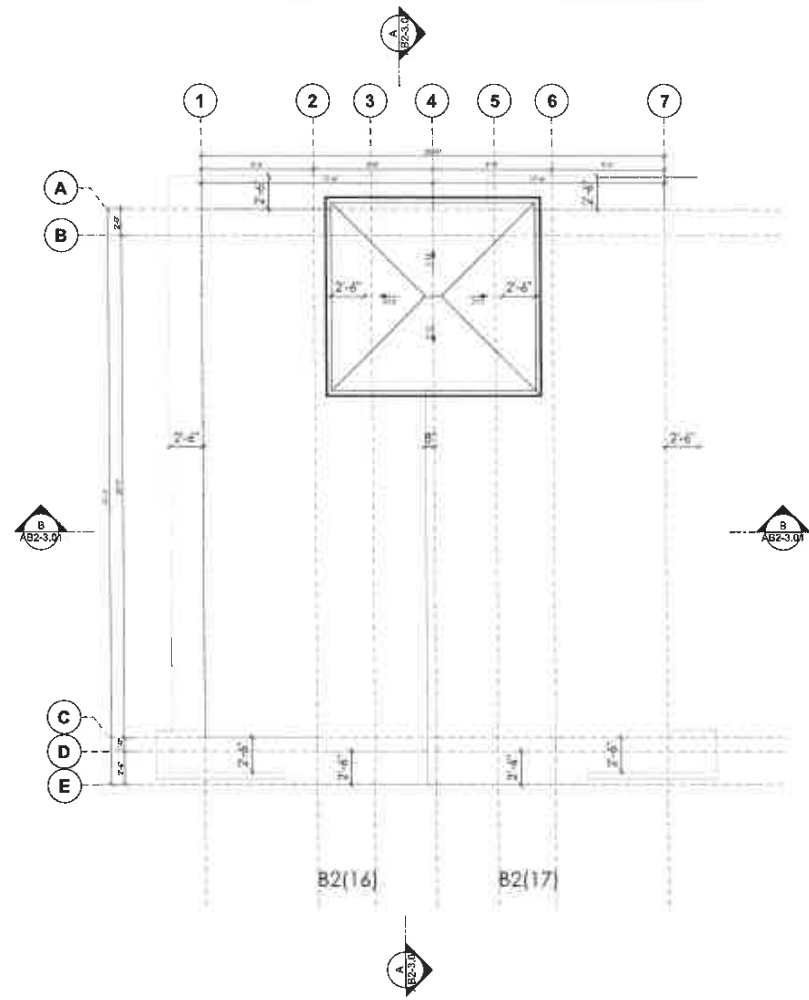
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
 UPPER FLOOR PLAN

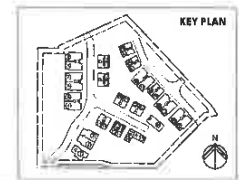
PROJECT 0230 SHEET
 SCALE 1/4" = 1'-0" **AB2-2.03**
 DATE MAY 12, 2023

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REVISIONS
 Issued for DR/Revising Aug 31, 2021
 ERCP Public Comment Revisions MAY 12, 2023
 G1-02, G3 Revisions JULY 31, 2023



ROOF PLAN
 UNIT B2



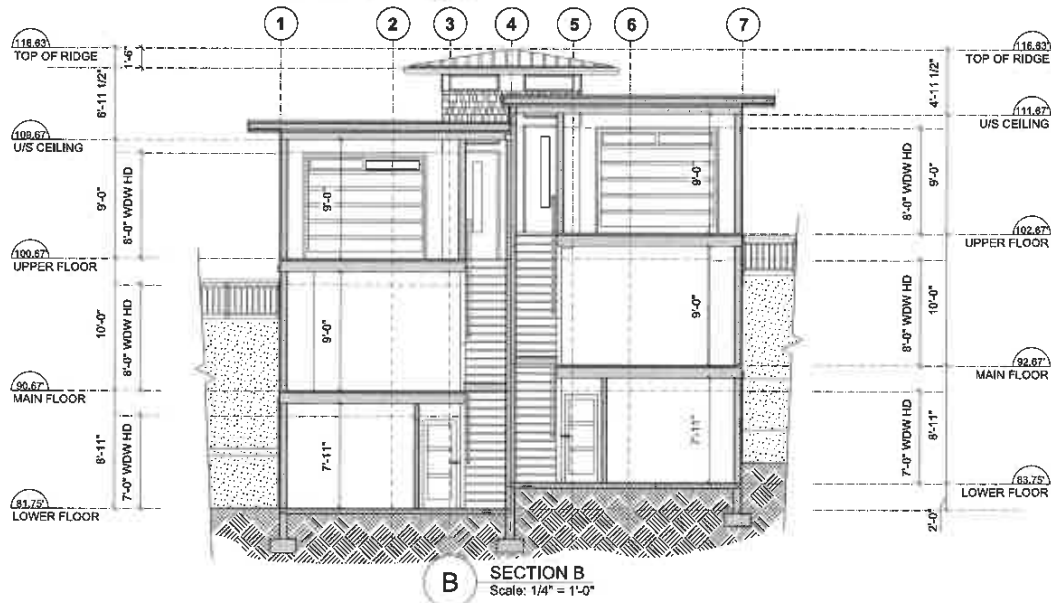
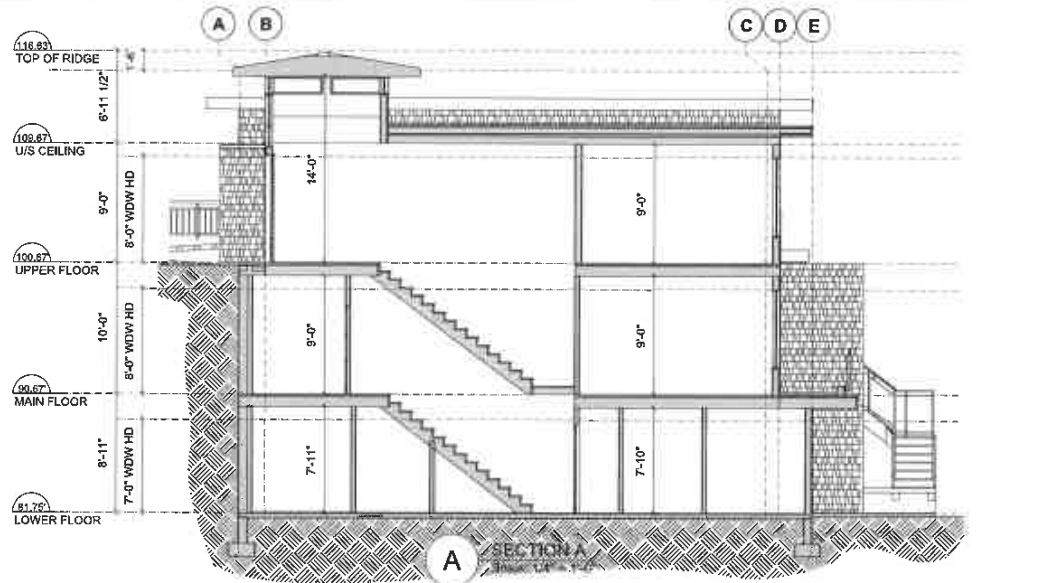
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
 ROOF PLAN

PROJECT	NO.	SHEET
SCALE	1/4" = 1'-0"	AB2-2.04
DATE	JULY 12, 2023	

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REVISIONS
 Issued for DP/Permitting Aug 31, 2021
 DRG/Public Comment Revisions MAY 12, 2022
 61, 02, 03 Revisions JUL 31, 2022



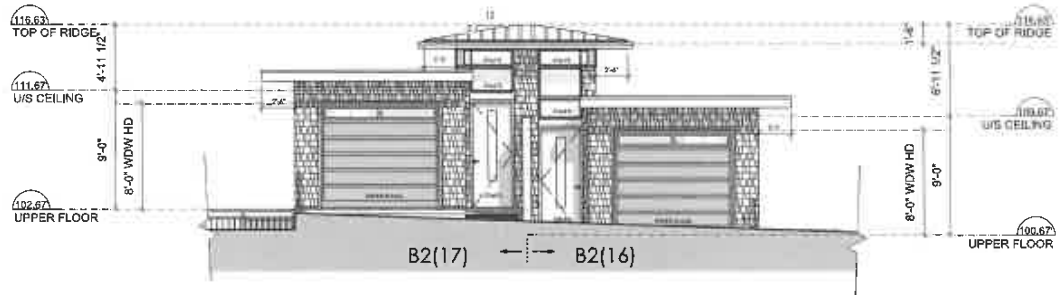
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT 82

DRAWING
 SECTIONS

PROJECT	8000	SHEET	AB2-3.01
SCALE	1/4" = 1'-0"	DATE	
DATE	MAY 31, 2022		

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REVISIONS	
Issued for DPA/Approving	Aug 31, 2021
DRC/Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



ENTRY ELEVATION
UNIT B2



BACK ELEVATION
UNIT B2



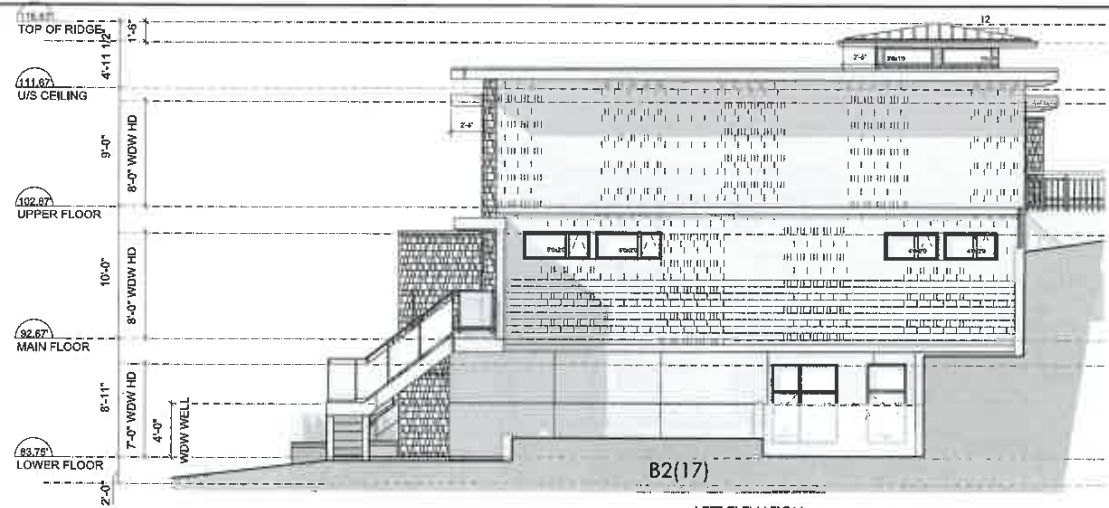
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
**ENTRY AND
BACK
ELEVATIONS B/W**

PROJECT#	SHEET
990	AB2- 4.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

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REVISION 8
 Based for EP/Revised Aug 21, 2021
 DRCP Public Comment Release MAY 12, 2023
 01, 02, 03 Revise JULY 31, 2023

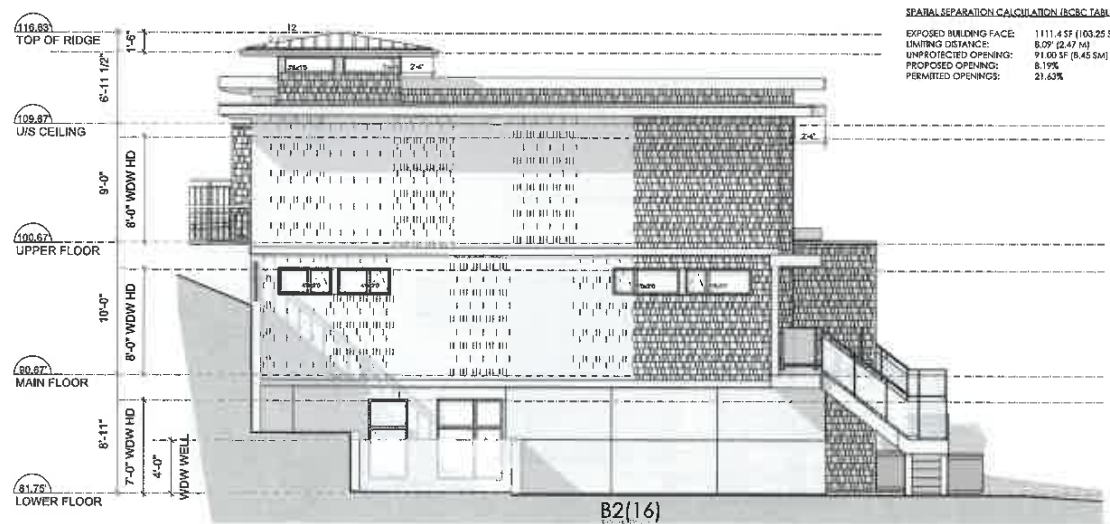


B2(17)

LEFT ELEVATION
 UNIT B2

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1111.4 SF (103.25 SM)
LIMITING DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	8.19%
PERMITTED OPENINGS:	21.63%



B2(16)

RIGHT ELEVATION
 UNIT B2

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

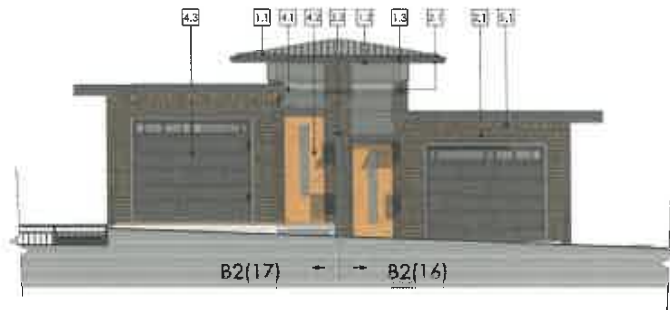
EXPOSED BUILDING FACE:	1173.83 SF (109.05 SM)
LIMITING DISTANCE:	8.09' (2.47 M)
UNPROTECTED OPENING:	91.00 SF (8.45 SM)
PROPOSED OPENING:	7.73%
PERMITTED OPENINGS:	21.4%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
 LEFT AND RIGHT
 ELEVATIONS B/W

PROJECT	020	SHEET	AB2- 4.02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		



ENTRY ELEVATION
UNIT B2



BACK ELEVATION
UNIT B2



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124 - 10

AQUILA

EXTRINSIC MATERIAL SCHEDULE

Item	Material	Colour
1.1	Stone "A" Metal Roof	Charcoal Gr
1.2	Fibre Cement Soffit	Rockport Gr - BM - HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Light steel	
2.3	Hardy Panel	Light metal
2.4	Stone	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray
4.3	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray
4.4	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray
5.1	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray
5.2	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray
5.3	Stilewood - Old Master Gel Stain C/W Clear Top Coat - Special Walnut	Charcoal Gray

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REVISIONS
Issued for DP/Reopening
DPRD Public Comment Response
01. 02. 03 Revisions

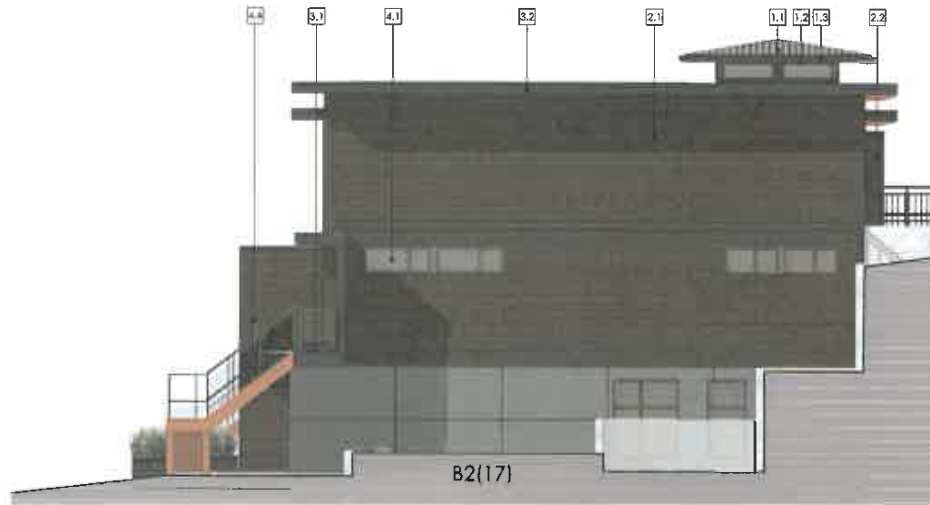
Aug 31, 2021
MAY 12, 2022
JULY 31, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

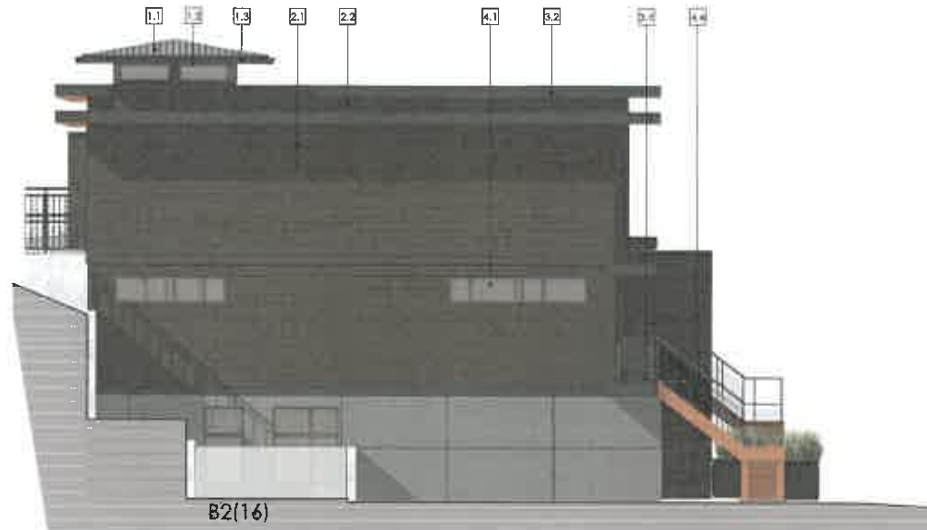
DRAWING
**ENTRY AND
BACK
ELEVATIONS**

PROJECT# 0000
SCALE 1/4" = 1'-0"
DATE MAY 12, 2022
**AB2-
4.03**



B2(17)

LEFT ELEVATION
UNIT B2



B2(16)

RIGHT ELEVATION
UNIT B2

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class 'A' Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Regal - BM-HC-108
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Singles	Woodstone Rustic Series Carbon Iron
2.2	Not used	
2.3	Handy Panel	Light Ink
2.4	Not used	
2.5	Not used	
3.1	Wrought Iron BM - 2124 - 10	
3.2	Wrought Iron BM - 2124 - 10	
4.1	Charcoal Gray	
4.2	Silestone - Old Master Gel Stain c/w clear 100 coat - Special Walnut	
4.3	Charcoal Gray	
4.4	Charcoal Gray	
5.1	Silestone - Old Master Gel Stain c/w clear 100 coat - Special Walnut	
5.2	Charcoal Gray	
5.3	Charcoal Gray	

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REVISION #
 Model for DP/Reviewing Aug. 31, 2021
 DSG/PUBLIC Comment Revisions MAY 12, 2023
 G1, G2, G3 Reviews JULY 31, 2025



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B2

DRAWING
 LEFT AND RIGHT
 ELEVATION

PROJECT	NOID	SHEET
SCALE	1/4" = 1'-0"	AB2-4.04
DATE	MAY 12, 2023	

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REVISIONS
Based for DP/Revising Aug 21, 2021
BID Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B2



BACK ELEVATION - CAMERA VIEW
UNIT B2



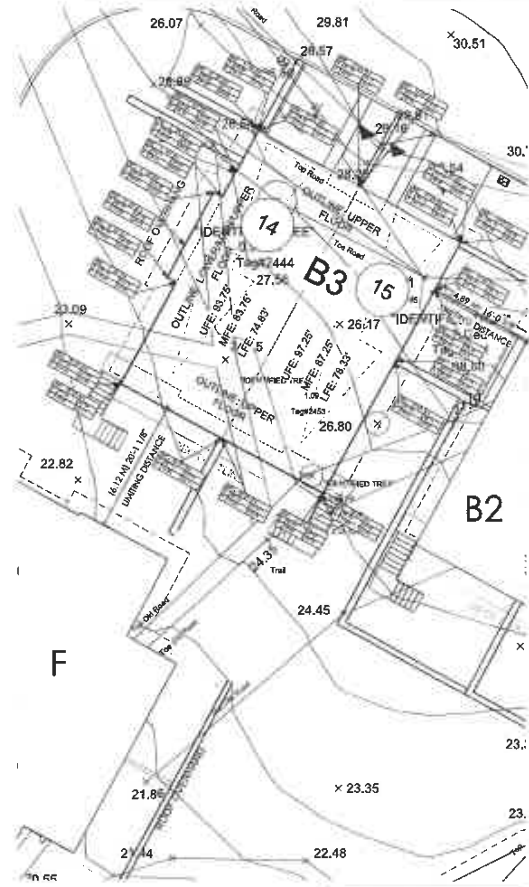
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B2

DRAWING
FRONT AND
BACK
ELEVATION-CAM
ERA VIEW

PROJECT#	SHEET
8000	AB2-
SCALE	N=1:1
DATE	4.05
	MAY 12, 2023

AVERAGE FINISHED GRADE CALCULATION					
#	Elevation	#	Elevation	#	Distance
1	78.24	2	78.24	78	1.00
2	78.24	3	78.53	78.54	453.4
3	78.53	4	78.53	78.53	9.04
4	78.53	5	78.53	78.53	1.00
5	78.53	6	78.53	78.53	4.1
6	78.53	7	78.53	78.53	0.00
7	85.30	8	85.30	85.30	7.21
8	85.30	9	85.30	85.30	0.00
9	80.22	10	80.22	80.22	0.00
10	83.42	11	83.42	83.42	17.50
11	83.42	12	84.50	84.50	0.00
12	80.82	13	84.52	84.52	17.50
13	80.82	14	84.52	84.52	0.00
14	80.82	15	84.52	84.52	0.00
15	84.52	16	84.52	84.52	0.00
16	84.52	17	84.52	84.52	0.00
17	82.20	18	82.20	82.20	12.21
18	82.20	19	75.41	75.41	0.00
19	75.41	20	77.80	77.80	23.06
20	77.80	21	77.80	77.80	0.00
21	78.00	22	78.00	78.00	17.50
22	78.00	23	74.00	74.00	0.00
23	74.00	24	74.00	74.00	12.50
24	74.00	25	74.00	74.00	0.00
25	74.18	1	74.18	74.18	1333.00
Total				160	13188.61
Avg. Existing Grade					82.4
Avg. Finished Grade					82.65

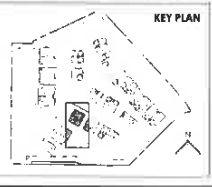
AVERAGE EXISTING GRADE CALCULATION					
#	Elevation	#	Elevation	#	Distance
1	83.24	2	80.81	81	1.00
2	80.81	3	82.56	81	5.00
3	82.56	4	84.26	83.1	9.00
4	84.26	5	84.26	84.26	1.00
5	84.26	6	84.26	84.26	4.1
6	84.26	7	84.26	84.26	0.00
7	84.26	8	84.26	84.26	2.21
8	84.26	9	84.26	84.26	0.00
9	84.26	10	84.26	84.26	0.00
10	84.26	11	81.24	81	17.50
11	81.24	12	81.24	81	0.00
12	81.24	13	84.26	82	17.50
13	84.26	14	84.26	84.26	0.00
14	84.26	15	84.26	84.26	0.00
15	84.26	16	84.26	84.26	0.00
16	84.26	17	82.20	82	0.00
17	82.20	18	82.20	82	0.00
18	82.20	19	82.20	82.20	0.00
19	82.20	20	82.20	82.20	0.00
20	82.20	21	82.20	82.20	0.00
21	82.20	22	80.82	81.1	17.50
22	80.82	23	80.82	80.82	0.00
23	80.82	24	77.80	78.0	17.50
24	77.80	25	77.80	77.80	0.00
25	77.80	1	77.80	77.80	1333.00
Total				160	13648.61
Avg. Existing Grade					82.25
Avg. Finished Grade					82.6



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B3 (14)		
Lower	Mid	Upper
22.81 m	26.03 m	26.58 m
74.67'	83.76'	83.76'

TOP OF FINISH FLOOR - B3 (15)		
Lower	Mid	Upper
23.87 m	26.58 m	26.58 m
78.31'	87.20'	87.20'



These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP Reasoning
 OKD Public Comment Response
 G1, B2, G3 Revisions
 Aug 31, 2021
 MAY 12, 2023
 JUL 24, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
SITE PLAN

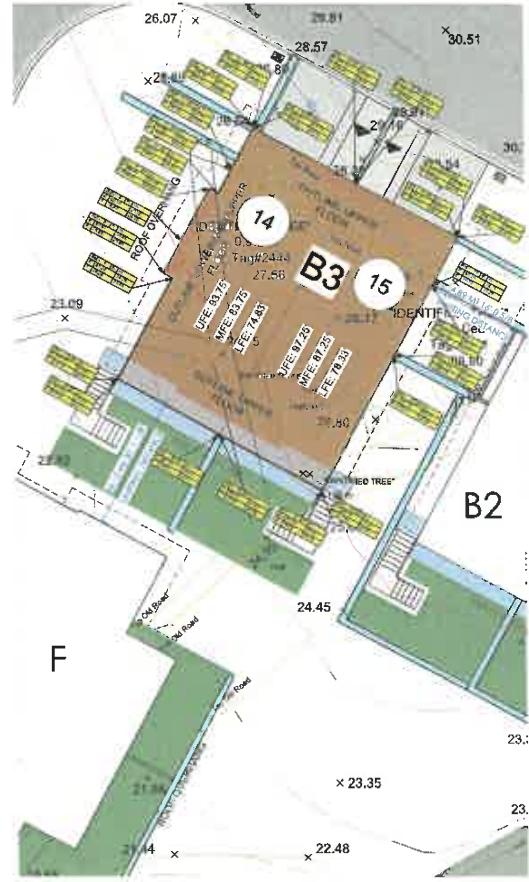
PROJECT#	6030	SHEET	AB3-1.01
SCALE	1/8" = 1'-0"	DATE	
DATE	MAY 12, 2023		

AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation	#	Elevation	Fin. Elevation	Distance	x Distance
1	78.24	2	78.24	78.24	1	177.20
2	78.24	3	78.43	78.34	3	436.48
3	78.83	4	78.83	78.83	8.04	712.76
4	78.83	5	78.28	78.56	1.26	117.30
5	78.28	6	78.9	78.59	4.1	367.23
6	78.43	7	80	79.21	8.04	712.76
7	80.30	8	80	80.15	7.21	644.84
8	80.30	9	80	80	0	0
9	82.29	10	81.4	81.87	0	0
10	83.42	11	83.4	83.4	17.50	1634.5
11	83.42	12	86.45	84.93	19	1710.3
12	86.30	13	85.0	85.65	19	1710.3
13	86.30	14	85.06	85.68	19	1710.3
14	85.06	15	85.19	85.1	0	0
15	88.1	16	86.19	87.15	6.21	552.45
16	88.1	17	83.25	85.68	13	1161.0
17	83.25	18	82.25	82.25	0.21	186.41
18	82.25	19	79.41	80.33	3.09	275.0
19	79.41	20	77.96	78.68	3.09	275.0
20	77.96	21	76	76.98	0.93	82.5
21	76	22	76	76	0	0
22	78.80	23	78	78.4	0	0
23	78.80	24	78.1	78.45	17.50	1562.7
24	78.1	25	78.1	78.1	0	0
25	78.1	1	78.24	78.24	17	1521.3
Total					180	13183.31
Avg. Finish Grade						82.43
Site Height	Fin.					812.26

AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation	#	Elevation	Distance	x Distance	
1	81.24	2	80.81	81.0	1	121.81
2	80.81	3	82	81.4	4	486.24
3	82.08	4	81	81.5	1	762.0
4	84.25	5	84.31	84.28	1	196.4
5	84.31	6	84.1	84.2	1	296.0
6	84.02	7	84.89	84.45	0	0
7	84	8	84.35	84.55	2.1	189.48
8	84.89	9	83.35	84	0.99	89.0
9	84	10	83.19	83.59	0.80	72.0
10	83.82	11	81	82.46	17.50	1611.21
11	81.75	12	81	81.38	0.80	72.0
12	81.75	13	84.14	82.94	17.50	1610.8
13	84.14	14	84.14	84.1	0	0
14	84.14	15	84.14	84.1	0	0
15	84.14	16	83	83.57	8.21	736.8
16	82.36	17	82	82.18	0	0
17	82.36	18	82.7	82.5	12.21	1098.0
18	82.7	19	82	82.35	10	900.0
19	82.7	20	82.24	82.44	23.08	2058.0
20	82.24	21	82.24	82.24	0	0
21	82.24	1	80.81	81.5	17.50	1629.48
22	86.1	2	85.31	85.70	0	0
23	86.1	3	85.31	85.70	0	0
24	77.23	25	77	77.23	0.99	89.0
25	77.23	1	81.24	79	17.50	1562.7
Total					180.00	12946.81
Avg. Existing Grade						82.2
Site Height	Fin.					115.1



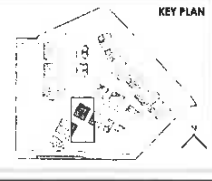
SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B3 (14)

Lower	Main	Upper
22.81	25.58	28.58
24.87	25.79	29.75

TOP OF FINISH FLOOR - B3 (15)

Lower	Main	Upper
23.22	25.99	28.99
25.28	26.20	29.20



These plans remain the ownership of Sterling Pacific

REVISED
Issued for DR/Permitting
DR/2 Public Comment Revisions
01.02.03 (revision)

Aug. 24, 2021
MAY 12, 2023
JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

DRAWING
SITE PLAN

PROJECTS
8030
SCALE
1/8" = 1'-0"
DATE
MAY 12, 2023

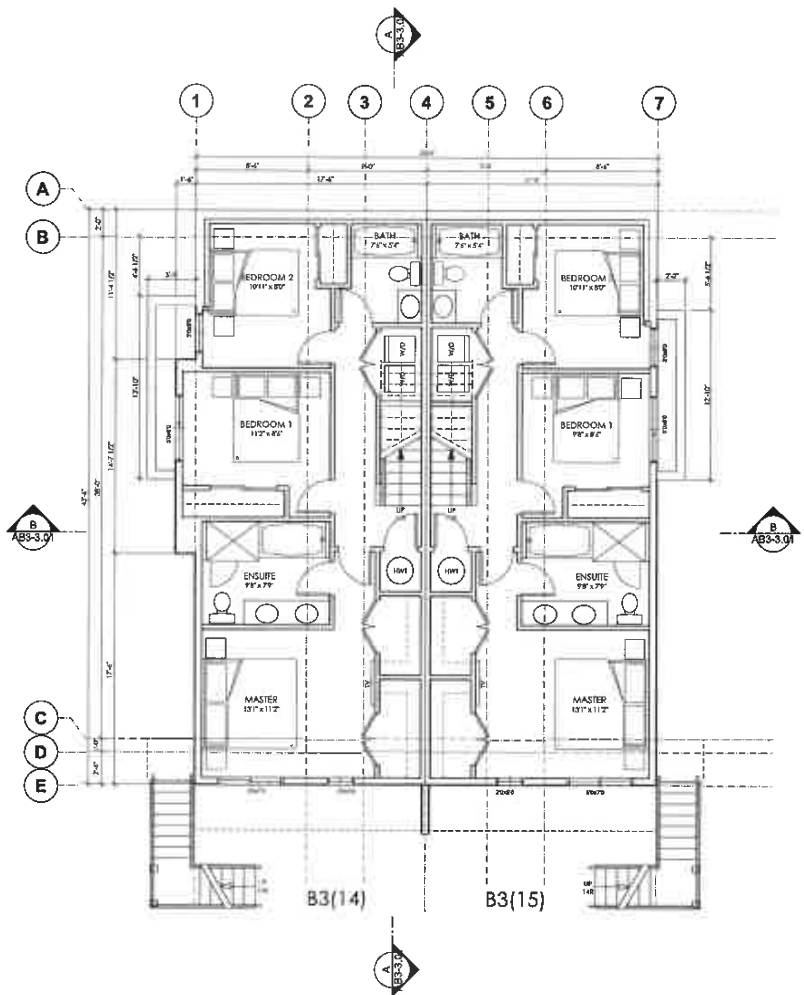
SHEET
AB3-1.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DFR Reviewing Aug 31, 2021
 DRD Public Comment Review MAY 18, 2020
 01.02.03 Revisions JULY 31, 2022

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 [82.43- 78.33' / 87.25'- 78.33'] x 100 = 45.96%
 761.3 (gross area) x 45.96% = 349.89 SF (exemption)

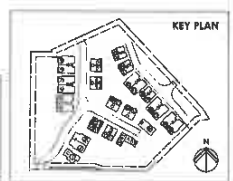


LOWER FLOOR PLAN
 UNIT B3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
LOWER FLOOR PLAN



UNIT 14 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	783.2 SF	790.9 SF	221.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	783.2 SF	0.0 SF	0.0 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF
NET	42.0 SF	790.9 SF	282.2 SF

UNIT 14 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	72.8 SQ M	72.9 SQ M	20.5 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 100%	72.8 SQ M	0.0 SQ M	0.0 SQ M
COVERED HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	4.9 SQ M	72.9 SQ M	26.0 SQ M

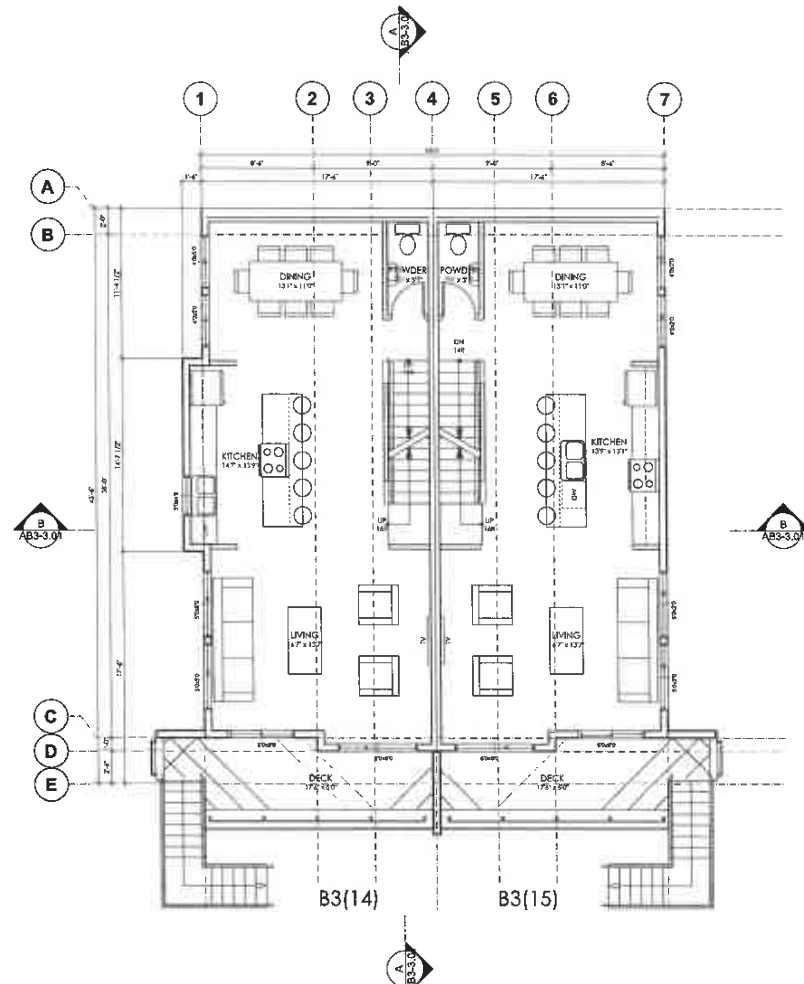
UNIT 15 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	761.2 SF	708.0 SF	499.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF
BASEMENT EXCLUSIONS 100%	761.2 SF	0.0 SF	0.0 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF
NET	417.4 SF	708.0 SF	258.3 SF

UNIT 15 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	70.7 SQ M	65.9 SQ M	46.0 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 100%	70.7 SQ M	0.0 SQ M	0.0 SQ M
COVERED HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	39.2 SQ M	65.9 SQ M	24.0 SQ M

PROJECT SHEET
 8020
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2022
AB3-2.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued For DP/Marketing Aug. 31, 2021
 Dec/ Public Comment Revisions MAY 18, 2022
 O.V. O2, O3 Revisions JULY 31, 2022



MAIN FLOOR PLAN
 UNIT B3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

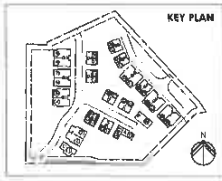
DRAWING
 MAIN FLOOR PLAN

UNIT 14 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	799.2 SF	799.4 SF	799.4 SF	2398.0 SF
CLAMP/REINFORCEMENTS	0.0 SF	0.0 SF	445.4 SF	445.4 SF
BASINMENT EXCLUSIONS 100%	799.2 SF	0.0 SF	0.0 SF	799.2 SF
OVERLAGE HEIGHT INCLUSION	40.0 SF	0.0 SF	0.0 SF	40.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	40.0 SF	799.4 SF	280.0 SF	1084.4 SF

UNIT 14 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.95 M ²	67.95 M ²	67.05 M ²	207.95 M ²
CLAMP/REINFORCEMENTS	0.0 M ²	0.0 M ²	41.05 M ²	41.05 M ²
BASINMENT EXCLUSIONS 100%	72.95 M ²	0.0 M ²	0.0 M ²	72.95 M ²
OVERLAGE HEIGHT INCLUSION	4.0 M ²	0.0 M ²	0.0 M ²	4.0 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
NET	4.0 M ²	67.95 M ²	28.0 M ²	100.0 M ²

UNIT 15 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.2 SF	799.0 SF	679.2 SF	2219.4 SF
CLAMP/REINFORCEMENTS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASINMENT EXCLUSIONS 100%	741.2 SF	0.0 SF	0.0 SF	741.2 SF
OVERLAGE HEIGHT INCLUSION	40.0 SF	0.0 SF	0.0 SF	40.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	40.0 SF	799.0 SF	238.8 SF	1077.8 SF

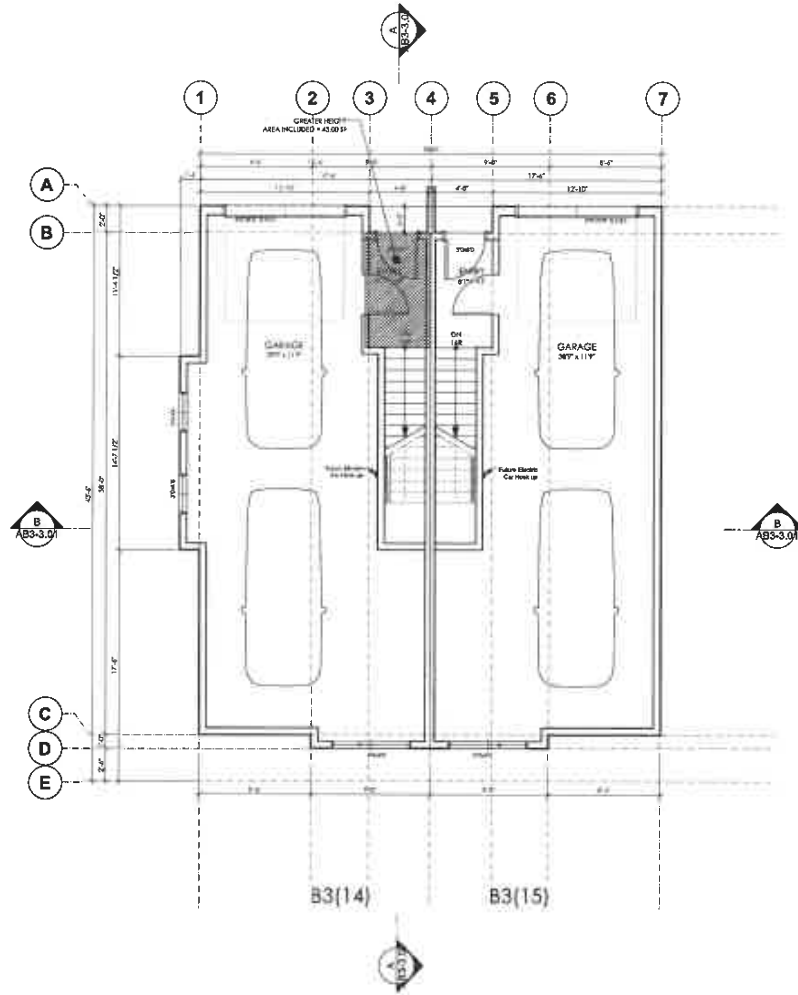
UNIT 15 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.75 M ²	65.95 M ²	55.5 M ²	192.2 M ²
CLAMP/REINFORCEMENTS	0.0 M ²	0.0 M ²	41.0 M ²	41.0 M ²
BASINMENT EXCLUSIONS 100%	70.75 M ²	0.0 M ²	0.0 M ²	70.75 M ²
OVERLAGE HEIGHT INCLUSION	4.0 M ²	0.0 M ²	0.0 M ²	4.0 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	0.0 M ²	0.0 M ²	0.0 M ²
NET	4.0 M ²	65.95 M ²	24.0 M ²	94.0 M ²



PROJECT# 9020 SHEET
 SCALE 1/4"=1'-0" AB3-2.02
 DATE MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for EPP/Working Aug 31, 2021
 DRG/Public Comment Review MAY 12, 2022
 GI, GE, GS Review JULY 21, 2022



UPPER / ENTRY FLOOR PLAN
 UNIT B3

UNIT 14 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	793.2 SF	721.4 SF		1514.6 SF
GARAGE EXCLUSIONS	60.0 SF	0.0 SF	441.4 SF	501.4 SF
BASEMENT EXCLUSIONS 100%	783.2 SF	0.0 SF	0.0 SF	783.2 SF
COVERED WALKWAY INCLUSION	43.0 SF	0.0 SF	0.0 SF	43.0 SF
COVERED WALKWAY EXCLUDING NET	43.0 SF	720.9 SF	280.2 SF	1044.1 SF

UNIT 14 FLOOR AREAS METRIC

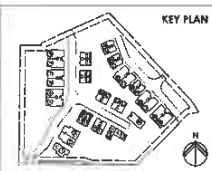
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.9 SQ M	67.0 SQ M		139.9 SQ M
GARAGE EXCLUSIONS	5.5 SQ M	0.0 SQ M	41.0 SQ M	46.5 SQ M
BASEMENT EXCLUSIONS 100%	72.3 SQ M	0.0 SQ M	0.0 SQ M	72.3 SQ M
COVERED WALKWAY INCLUSION	4.0 SQ M	0.0 SQ M	0.0 SQ M	4.0 SQ M
COVERED WALKWAY EXCLUDING NET	4.0 SQ M	67.0 SQ M	26.2 SQ M	97.2 SQ M

UNIT 15 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	742.2 SF	709.0 SF	479.7 SF	1930.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS 45.7%	340.9 SF	0.0 SF	0.0 SF	340.9 SF
COVERED WALKWAY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	441.4 SF	709.0 SF	258.3 SF	1408.7 SF

UNIT 15 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQ M	65.3 SQ M	44.5 SQ M	180.5 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 45.7%	31.5 SQ M	0.0 SQ M	0.0 SQ M	31.5 SQ M
COVERED WALKWAY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	38.2 SQ M	65.3 SQ M	24.5 SQ M	128.0 SQ M



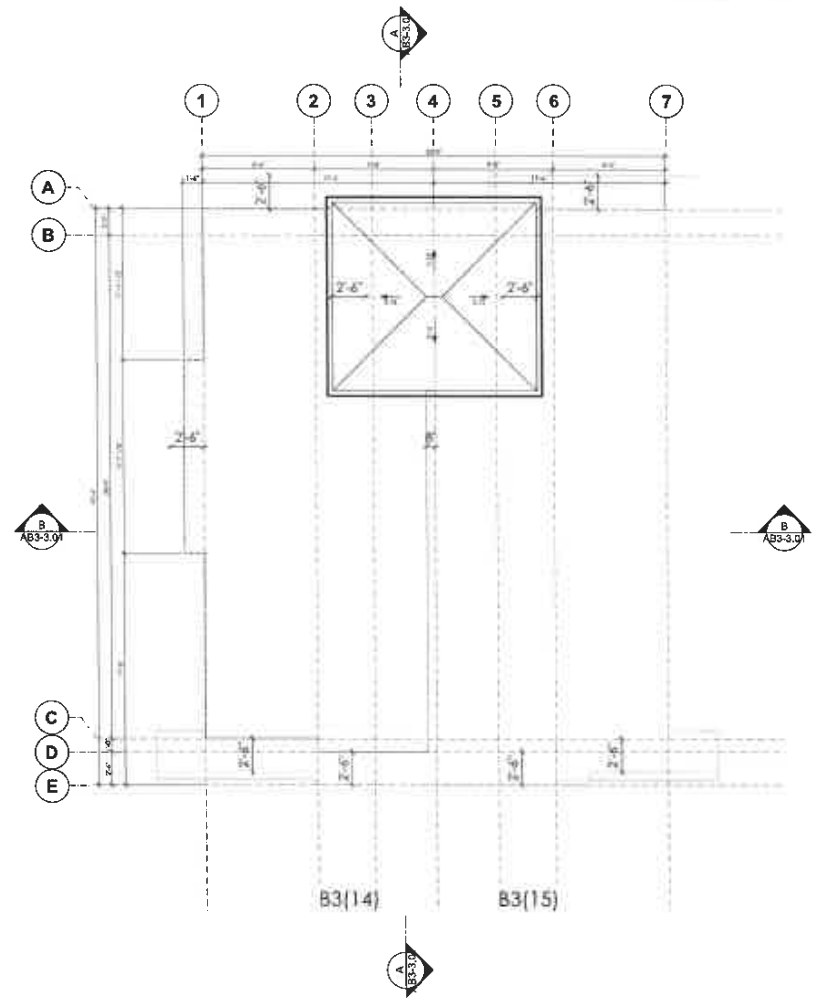
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
 UPPER FLOOR PLAN

PROJECT# 0290 SHEET
 SCALE 1/4" = 1'-0" **AB3-2.03**
 DATE MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Revised Aug. 24, 2021
 DRCP Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



ROOF PLAN
 UNIT B3

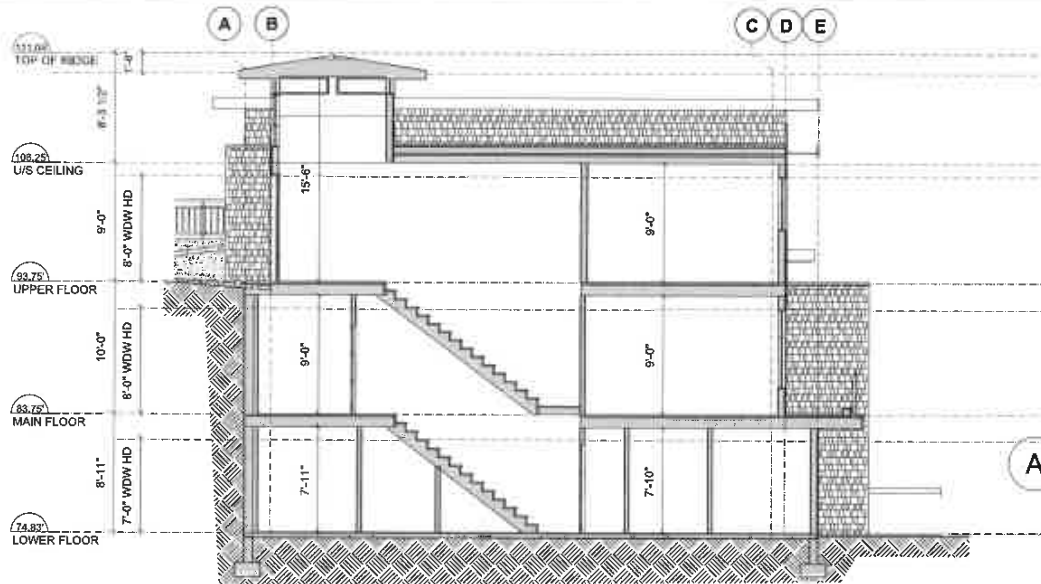


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

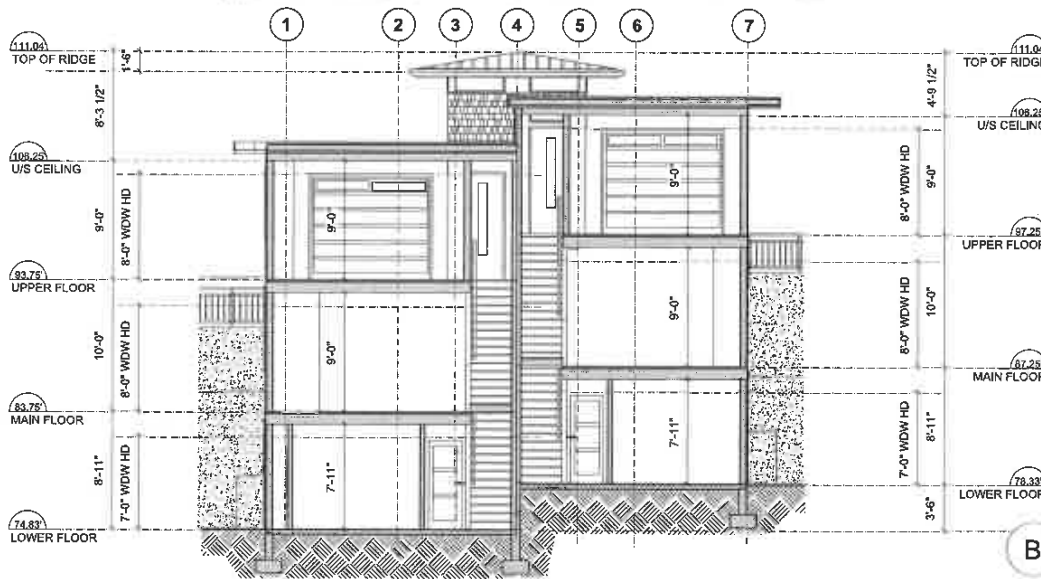
DRAWING
ROOF PLAN



PROJECT#	SHEET
2020	AB3-2.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



A SECTION A
Scale: 1/4" = 1'-0"



B SECTION B
Scale: 1/4" = 1'-0"

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DR/Prepwork	Aug 31, 2021
ORCA Public Comment Revisions	MAY 12, 2022
D1, D2, D3 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B3

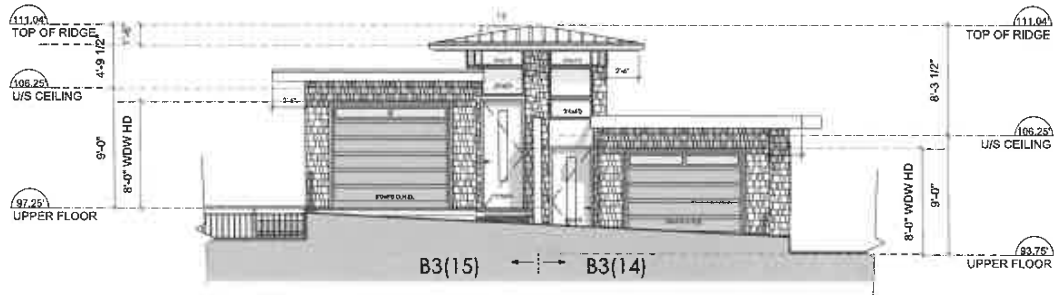
DRAWING
SECTIONS

PROJECT#	NO.	SHEET
		AB3-
SCALE		3.01
DATE	MAY 12, 2022	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Permitting
 DRZ/ Public Comment Revisions
 01, 07, 03 Revisions

Aug. 31, 2024
 MAY 12, 2023
 JULY 31, 2022



ENTRY ELEVATION
 UNIT B3



LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (82.43'-78.33' / 87.25'-78.33') x 100 = 45.96%

761.3 (gross area) x 45.96% = 349.89 SF (exemption)

BACK ELEVATION
 UNIT B3

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1077.03 SF (100.11 SM)
LIMITING DISTANCE:	10.04' (3.06 M)
UNPROTECTED OPENING:	297.0 SF (27.57 SM)
PROPOSED OPENING:	27.56%
PERMITTED OPENING:	26.59%



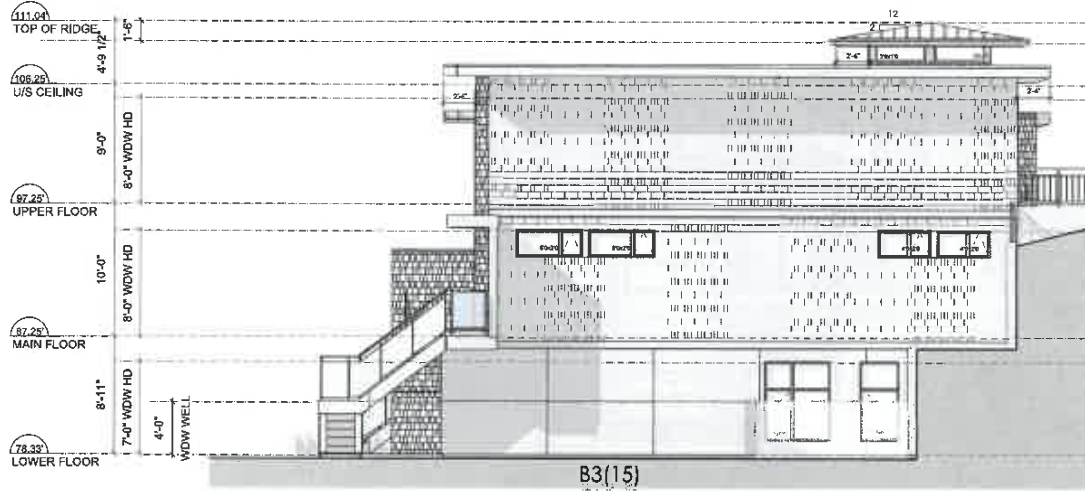
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
 ENTRY AND
 BACK
 ELEVATIONS B/W

PROJECT	8030	SHEET	AB3-4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

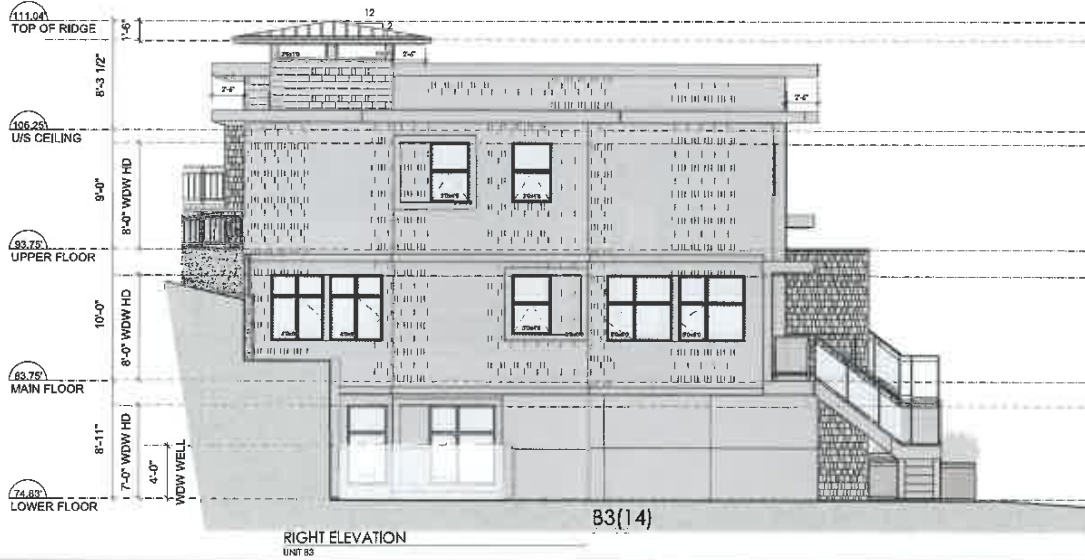
These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Permitting	AUG 31, 2021
CRISP Public Comment Revisions	MAY 12, 2023
CR, CL, DL Revisions	MAY 31, 2023



SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-10)

EXPOSED BUILDING FACE:	1139.68 SF (105.88 SM)
LIMITING DISTANCE:	8.02' (2.44 M)
UNPROTECTED OPENING:	91 SF (8.45 SM)
PROPOSED OPENING:	7.98%
PERMITTED OPENINGS:	21.29%



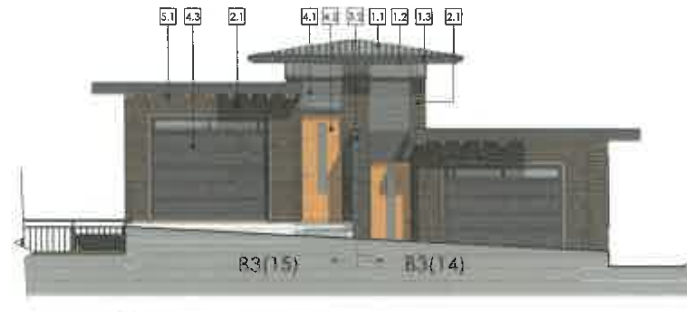
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT B3

DRAWING
 LEFT AND RIGHT
 ELEVATIONS B/W

PROJECT	SHEET
8000	AB3-4.02
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Made For DP/Revising Aug 31, 2023
 DRZ/ Public Comment Revisions MAY 12, 2023
 O.L. O.L. DR Revisions JUL 21, 2023



ENTRY ELEVATION
UNIT B3



BACK ELEVATION
UNIT B3



AQUILA OUTDOOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport - BM-HC-105
1.3	Wreath	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not Used	
2.3	Hardy Panel	Light Mist
2.4	Not Used	
2.5	Stone	Stone
3.1	Wrought Iron Grill, Gate, Pedestal	Wrought Iron BM - 2124-10
3.2	Wrought Iron	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Entry door stained c/w Worsom and	Silewood - Old Master Gel Stain c/w
4.3	Clear Top Coat - Special Walnut	Clear Top Coat - Special Walnut
4.4	Charcoal Gray	Charcoal Gray
4.5	Charcoal Gray	Charcoal Gray
4.6	Charcoal Gray	Charcoal Gray
4.7	Silestone - Old Master Gel Stain c/w	Silestone - Old Master Gel Stain c/w
4.8	Clear Top Coat - Special Walnut	Clear Top Coat - Special Walnut
4.9	Charcoal Gray	Charcoal Gray
4.10	Charcoal Gray	Charcoal Gray



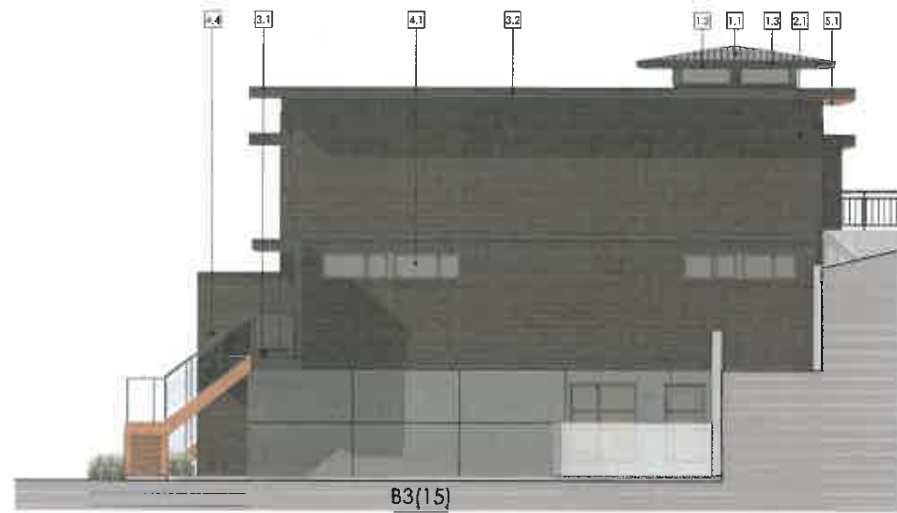
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B3

DRAWING
**ENTRY AND
 BACK
 ELEVATIONS**

PROJECT NO. 2030 SHEET
 SCALE 1/4" = 1'-0" **AB3-
 4.03**
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS		
Based for DCF Rezoning	Aug 31, 2021	
DRCP Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JAN 31, 2023	



B3(15)

LEFT ELEVATION
UNIT B3



B3(14)

RIGHT ELEVATION
UNIT B3

AQUILA EXTERIOR MATERIAL SCHEDULE		
#	Material	Colour
1.1	"A" Metal Roof	Charcoal Grey
1.2	Fire Cement Soffit	Repoint BM-105
1.3	"B"	Charcoal Grey
2.1	Cement Staircase	Woodstone Purto Safer Carbon Ink
2.2	W/Lead	
2.3	Panel	Light Ink
2.4	Hand	
2.5	Stone	Random Granite
3.1	Upper level iron rail	Wrought Iron BM - 2124 - 10
3.2	Lower level iron rail	Wrought Iron BM - 2124 - 10
4.1	Upper level iron rail	Wrought Iron BM - 2124 - 10
4.2	Upper level iron rail	Wrought Iron BM - 2124 - 10
4.3	Upper level iron rail	Wrought Iron BM - 2124 - 10
4.4	Upper level iron rail	Wrought Iron BM - 2124 - 10
5.1	Reactive treated wood	Slipwood - Old Master Oil Stain w/ clear top coat - Special Walnut
5.2	Reactive treated wood	Charcoal Grey
5.3	Reactive treated wood	Charcoal Grey

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT B3

DRAWING
LEFT AND RIGHT
ELEVATIONS

PROJECT	SHEET
800	AB3-4.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Marketing Aug 24, 2021
CIBC/ Public Comment Revisions MAY 12, 2022
01, 07, 08 Revisions JULY 31, 2022



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT 83



BACK ELEVATION - CAMERA VIEW
UNIT 83



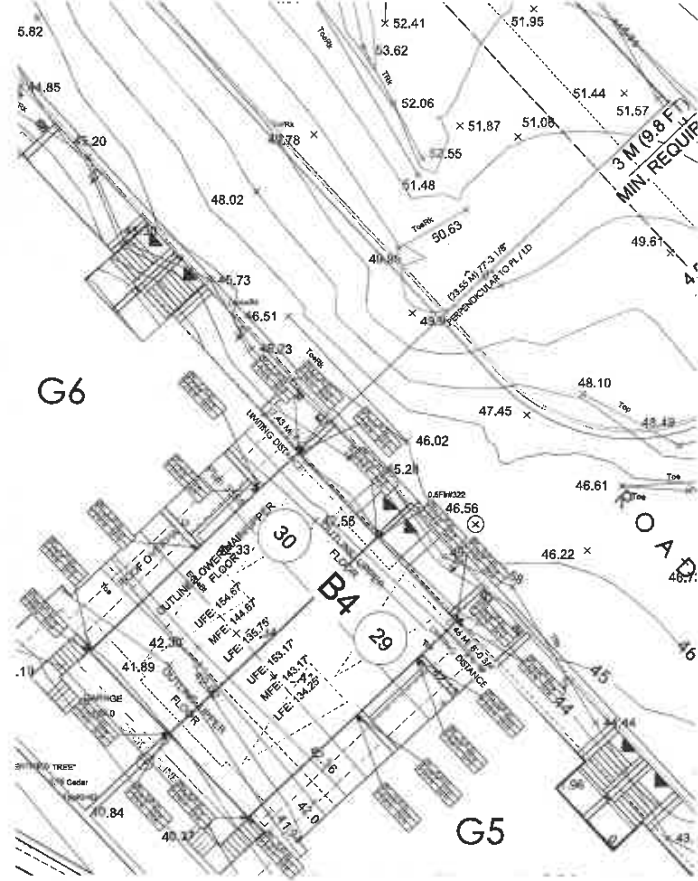
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 83

DRAWING
FRONT AND
BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	SHEET
SCALE	AB3-
DATE	4.05
MAY 12, 2022	

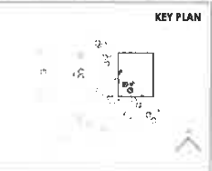
B4 - AVERAGE FINISHED GRADE CALCULATION					
Ref #	Elevation	Ref #	Elevation	Ref #	Distance
1	135.42	2	137.82	134.61	22.76
2	137.82	3	137.82	137	12.51
3	137.82	4	142.88	140.24	8.00
4	142.88	5	145.04	143	8.21
5	145.04	6	152.92	148.98	0.00
6	152.92	7	154.24	153.83	0.00
7	154.24	8	154.24	154.34	17.60
8	154.24	9	152.84	153	0.00
9	152.84	10	142	152.83	17
10	142	11	148.92	150.61	0.00
11	148.92	12	141.04	144.96	0.00
12	141.04	13	138.58	138.96	8.21
13	138.58	14	138.18	138.96	0.00
14	138.18	15	137	138.00	12.5
15	137	16	131.92	134.52	0.00
16	131.92	17	131.20	131.20	22
17	131.20	18	133.88	132.58	0.00
18	133.88	19	133.88	132.58	17
19	133.88	20	135.42	131.01	0.00
20	135.42	21	136.42	135.42	17
21	136.42	22	135.42	135.42	0.00
Total				157	2187.85
Avg. Finished Grade					139.95
Max. Rise (ft) (m)	29.90				9.14

B4 - AVERAGE EXISTING GRADE CALCULATION					
Ref #	Elevation	Ref #	Elevation	Ref #	Distance
1	134.24	2	138.17	136.71	22
2	138.17	3	140.58	136.88	12.51
3	140.58	4	142	140	8.21
4	142	5	145.01	145.01	0.00
5	145.01	6	145.01	145.01	0.00
6	145.01	7	145.01	145.01	0.00
7	145.01	8	142.32	143.87	17
8	142.32	9	142.32	142.32	0.00
9	142.32	10	142.98	142.98	17
10	142.98	11	142.98	142.98	0.00
11	142.98	12	142.98	142.98	0.00
12	142.98	13	140.58	141.77	8.21
13	140.58	14	140.58	140.58	0.00
14	140.58	15	138.33	138.84	12
15	138.33	16	139.33	139.33	0.00
16	139.33	17	139.33	139.33	22.76
17	139.33	18	135.03	137.43	8.21
18	135.03	19	134.48	134.48	17
19	134.48	20	134.48	134	0.00
20	134.48	21	134.28	134.28	17
21	134.28	22	134.28	134.28	0.00
Total				197	2188.76
Avg. Existing Grade					139.95
Max. Rise (ft) (m)	29.90				9.14



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - B4 (30)		
Lower	Width	Height
41.98 m	44.10 m	47.18 m
136.37	144.67	155.67



These plans remain the ownership of Sterling Pacific

REVISIONS		Aug 31, 2021
Based for CP/Repointing		MAY 12, 2023
DRG PUBLIC Comment Response		JULY 31, 2023
01, 02, 03 Partitions		



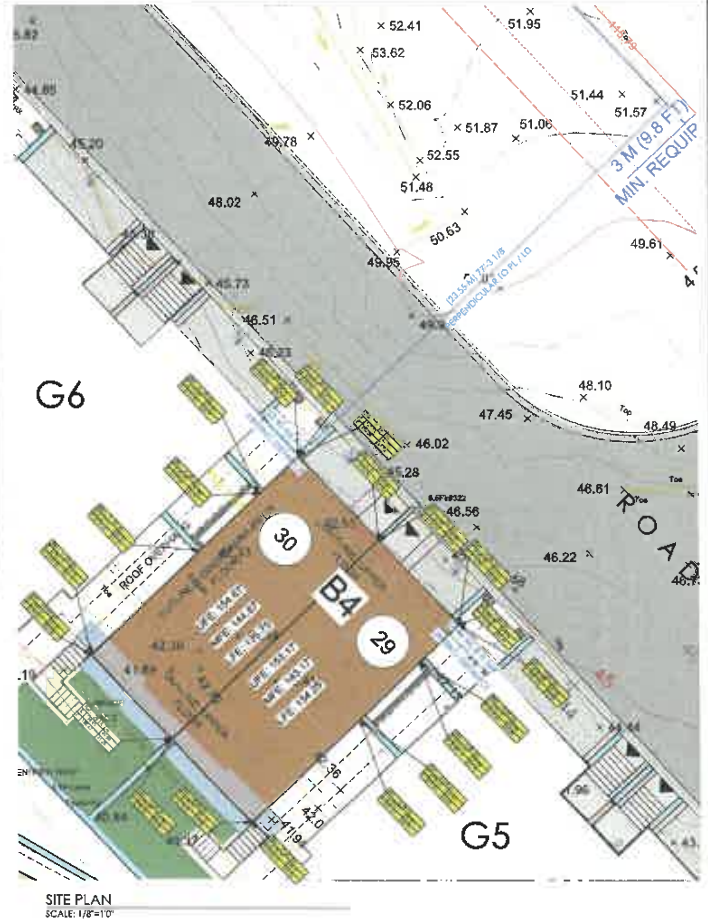
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
SITE PLAN

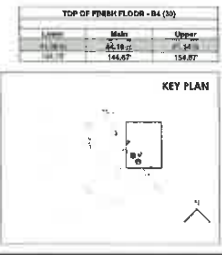
PROJECT#	SHEET
800	AB4-
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023
	1.01

Sta #	Elevation	Sta #	Elevation	Inch	Dist
1	155.42	2	157.85	2.43	311.2
2	157.86	3	157.80	-0.06	172.5
3	157.80	4	142.58	-15.22	191.4
4	142.58	5	144.04	1.46	0.00
5	144.04	6	152.92	8.88	0.00
6	152.92	7	164.54	11.62	0.00
7	164.54	8	154.34	-10.20	270.4
8	154.34	9	150.84	-3.50	0.00
9	150.84	10	152.80	1.96	234.3
10	152.80	11	148.82	-3.98	0.00
11	148.82	12	147.54	-1.28	0.00
12	147.54	13	158.84	11.30	1144.0
13	158.84	14	158.11	-0.73	0.00
14	158.11	15	150.80	-7.31	172.5
15	150.80	16	151.23	0.43	0.00
16	151.23	17	151.23	0.00	258.0
17	151.23	18	152.02	0.79	0.00
18	152.02	19	153.92	1.90	214.0
19	153.92	20	152.82	-1.10	0.00
20	152.82	21	155.42	2.60	205.4
21	155.42	22	155.42	0.00	0.00
Total				167	2197.43
Avg Finish Grade					138.95
Max. Drop (Inch)				26.85	169.85

Sta #	Elevation	Sta #	Elevation	Inch	Dist
1	158.26	2	158.17	-0.09	311.2
2	158.17	3	142.58	-15.59	172.5
3	142.58	4	142.58	0.00	191.4
4	142.58	5	144.04	1.46	0.00
5	144.04	6	152.92	8.88	0.00
6	152.92	7	164.54	11.62	0.00
7	164.54	8	154.34	-10.20	270.4
8	154.34	9	150.84	-3.50	0.00
9	150.84	10	152.80	1.96	234.3
10	152.80	11	148.82	-3.98	0.00
11	148.82	12	147.54	-1.28	0.00
12	147.54	13	158.84	11.30	1144.0
13	158.84	14	158.85	0.01	0.00
14	158.85	15	150.80	-8.05	172.5
15	150.80	16	151.23	0.43	0.00
16	151.23	17	151.23	0.00	258.0
17	151.23	18	152.02	0.79	0.00
18	152.02	19	153.92	1.90	214.0
19	153.92	20	152.82	-1.10	0.00
20	152.82	21	155.42	2.60	205.4
21	155.42	22	155.42	0.00	0.00
Total				167.00	21849.70
Avg Elevation					138.16
Max. Drop (Inch)					166.91



SITE PLAN
SCALE: 1/8"=10'



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REVISIONS	DATE
Issued for DR/Permitting	Aug 31, 2021
DR/2 Public Comment Revisions	MAY 12, 2023
01/02/03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
SITE PLAN

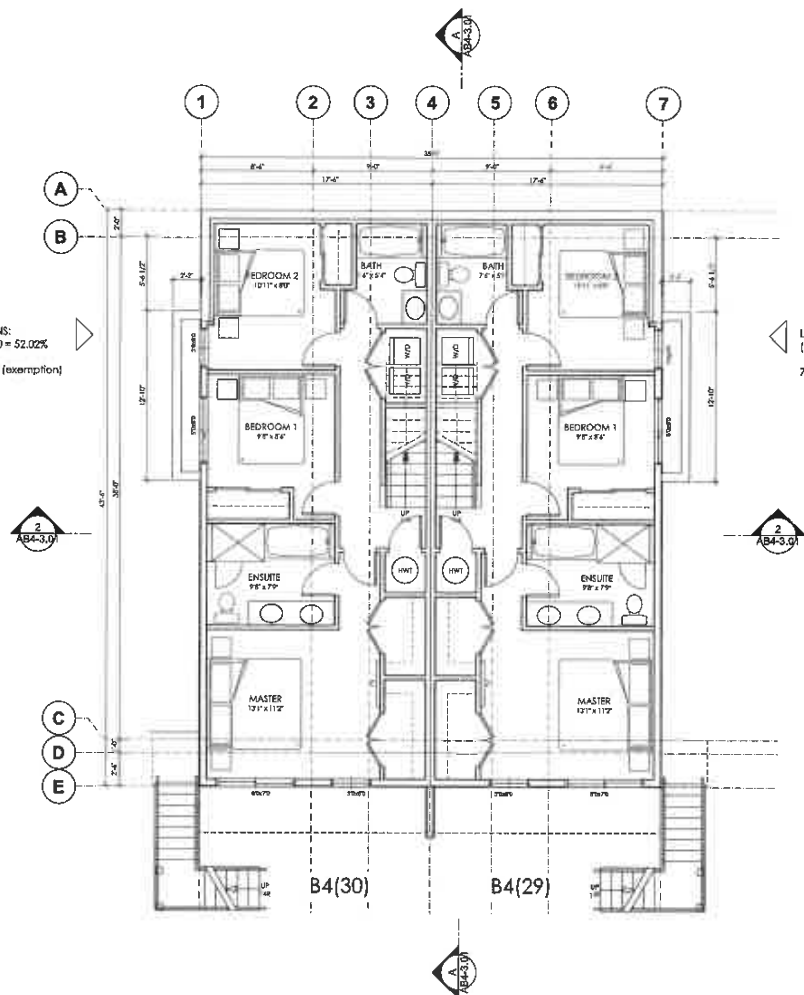
PROJECT#	BHEET
0002	AB4-
SCALE	1/8" = 10'
DATE	MAY 12, 2023
	1.01

These plans remain the ownership of Sterling Pacific

REVISION #
 Issued for DP/Permitting Aug. 31, 2021
 OBC/ Public Comment Revisions MAY 18, 2022
 O1, O2, O3 Revisions JULY 21, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 [138.89' - 134.25' / 143.17' - 134.25'] x 100 = 52.02%
 761.3 (gross area) x 52.02% = 396.03 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 [138.89' - 135.75' / 144.67' - 135.75'] x 100 = 35.20%
 761.3 (gross area) x 35.2% = 267.98 SF (exemption)



LOWER FLOOR PLAN
 UNIT B4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

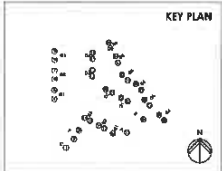
DRAWING
LOWER FLOOR PLAN

UNIT 30 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	499.7 SF	2149.9 SF
CLIMATE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	276.0 SF	0.0 SF	0.0 SF	276.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	265.3 SF	709.0 SF	258.3 SF	1232.6 SF

UNIT 30 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQ M	65.8 SQ M	46.0 SQ M	201.4 SQ M
CLIMATE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS	25.8 SQ M	0.0 SQ M	0.0 SQ M	25.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	22.9 SQ M	65.8 SQ M	24.0 SQ M	112.7 SQ M

UNIT 29 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.3 SF	709.0 SF	499.7 SF	2149.9 SF
CLIMATE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT EXCLUSIONS	246.0 SF	0.0 SF	0.0 SF	246.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	495.3 SF	709.0 SF	258.3 SF	1462.6 SF

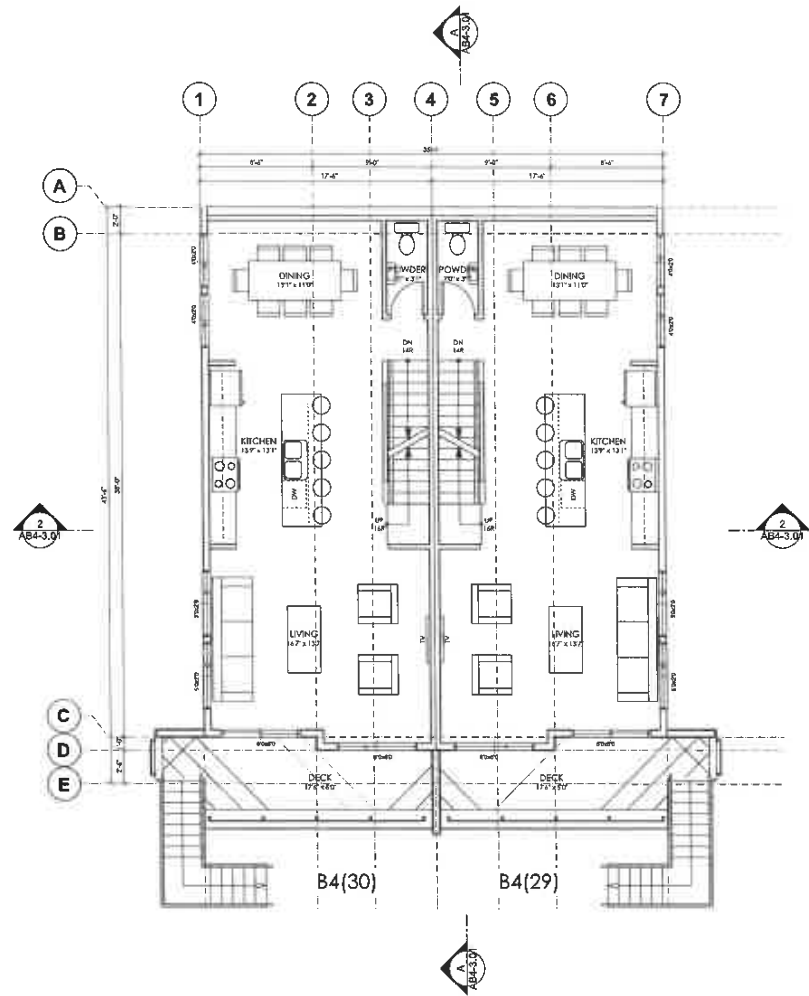
UNIT 29 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQ M	65.8 SQ M	46.0 SQ M	201.4 SQ M
CLIMATE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS	22.8 SQ M	0.0 SQ M	0.0 SQ M	22.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	45.9 SQ M	65.8 SQ M	24.0 SQ M	135.7 SQ M



PROJECT	SHEET
AQUILA	AB4-2.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

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REVISIONS
 Based for O/R/Revised Aug 31, 2021
 DRCD Public Consultation Review MAY 12, 2020
 01, 02, 03 Revisions JUN 13, 2022



MAIN FLOOR PLAN
 UNIT B4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
MAIN FLOOR PLAN

UNIT 30 FLOOR AREAS IMPERIAL

	LEVEL 1 150 FT	LEVEL 1 150 FT	LEVEL 2 150 FT	TOTAL
GROSS	741.5 SF	709.0 SF	499.7 SF	2149.9 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT ENCLOSURES	290.0 SF	0.0 SF	0.0 SF	290.0 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	243.2 SF	709.0 SF	258.3 SF	1382.5 SF

UNIT 30 FLOOR AREAS METRIC

	LEVEL 1 150 M	LEVEL 2 150 M	LEVEL 3 150 M	TOTAL
GROSS	707.8 M	659.0 M	459.0 M	2014.8 M
GARAGE ENCLOSURES	0.0 M	0.0 M	412.8 M	412.8 M
BASEMENT ENCLOSURES	268.5 M	0.0 M	0.0 M	268.5 M
COVERED BALCONY ENCLOSURES	0.0 M	0.0 M	0.0 M	0.0 M
NET	232.7 M	659.0 M	210.5 M	1222.2 M

UNIT 29 FLOOR AREAS IMPERIAL

	LEVEL 1 50 FT	LEVEL 2 10 FT	LEVEL 1 50 FT	TOTAL
GROSS	743.0 SF	709.0 SF	499.7 SF	2149.9 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASEMENT ENCLOSURES	290.0 SF	0.0 SF	0.0 SF	290.0 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	493.3 SF	709.0 SF	258.3 SF	1460.5 SF

UNIT 29 FLOOR AREAS METRIC

	LEVEL 1 50 M	LEVEL 2 10 M	LEVEL 3 50 M	TOTAL
GROSS	707.8 M	659.0 M	459.0 M	2014.8 M
GARAGE ENCLOSURES	0.0 M	0.0 M	412.8 M	412.8 M
BASEMENT ENCLOSURES	268.5 M	0.0 M	0.0 M	268.5 M
COVERED BALCONY ENCLOSURES	0.0 M	0.0 M	0.0 M	0.0 M
NET	232.7 M	659.0 M	210.5 M	1222.2 M

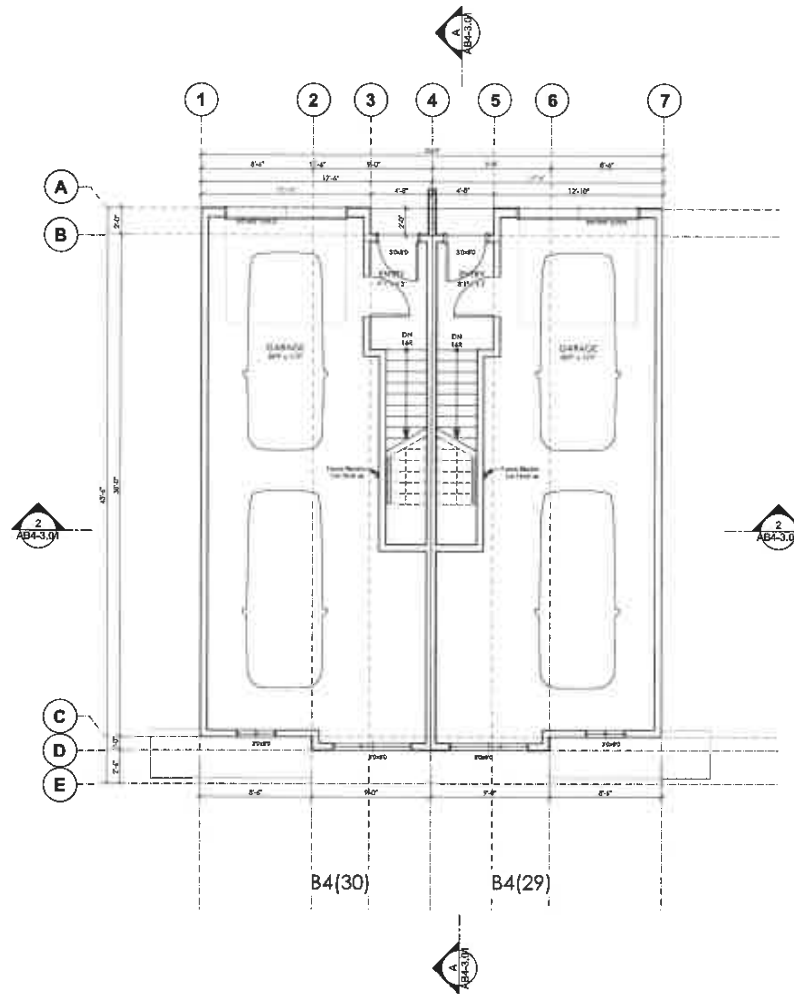


PROJECT	020	SHEET
SCALE	1/4" = 1'-0"	AB4-2.02
DATE	MAY 12, 2022	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CP/Resolving
 DRG/Public Comment Revisions
 G1, G2, G3 Revisions

Aug. 31, 2021
 MAY 12, 2023
 JUL 31, 2023



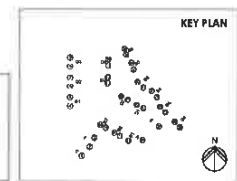
UPPER / ENTRY FLOOR PLAN
 UNIT B4

	UNIT 30 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	761.3 SF	709.0 SF	497.7 SF	2167.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASHERM EXCLUSIONS	376.0 SF	0.0 SF	0.0 SF	376.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	385.3 SF	709.0 SF	258.3 SF	1352.5 SF

	UNIT 30 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	70.7 SQ M	65.9 SQ M	45.8 SQ M	202.4 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.8 SQ M	41.8 SQ M
BASHERM EXCLUSIONS	34.8 SQ M	0.0 SQ M	0.0 SQ M	34.8 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	35.9 SQ M	65.9 SQ M	24.0 SQ M	125.8 SQ M

	UNIT 29 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	761.3 SF	709.0 SF	497.7 SF	2167.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.4 SF	441.4 SF
BASHERM EXCLUSIONS	368.0 SF	0.0 SF	0.0 SF	368.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	493.3 SF	709.0 SF	258.3 SF	1460.6 SF

	UNIT 29 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	70.7 SQ M	65.9 SQ M	45.8 SQ M	202.4 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	41.8 SQ M	41.8 SQ M
BASHERM EXCLUSIONS	34.7 SQ M	0.0 SQ M	0.0 SQ M	34.7 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	45.8 SQ M	65.9 SQ M	24.0 SQ M	135.7 SQ M



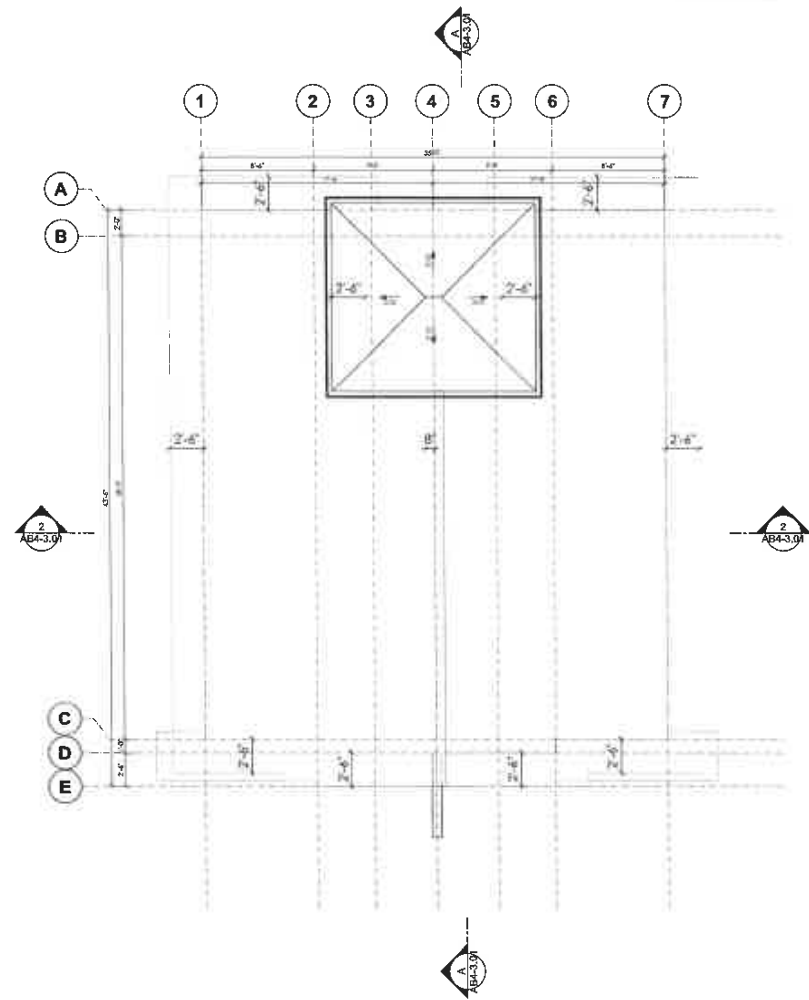
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
 UPPER FLOOR
 PLAN

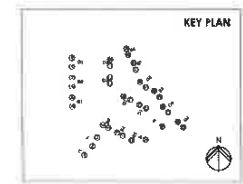
PROJECT#	6200	SHEET	AB4-
SCALE	1/4" = 1'-0"		2.03
DATE	MAY 12, 2023		

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REVISIONS	
Issued for DR/Repeating	Aug 31, 2021
ERC/ Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	Aug 31, 2023



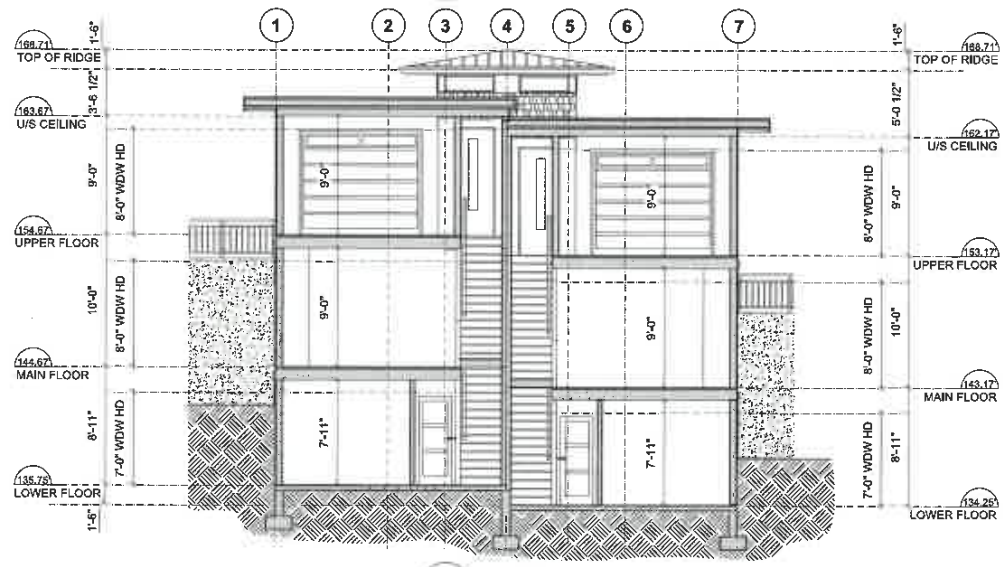
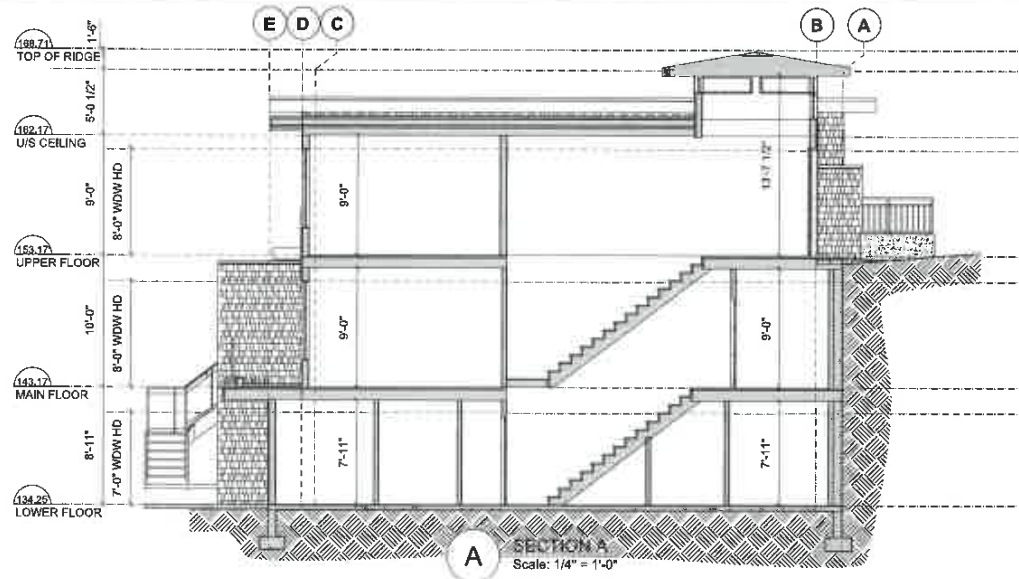
ROOF PLAN
UNIT B4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
ROOF PLAN

PROJECT #	NO.	SHEET
SCALE	1/4" = 1'-0"	AB4-2.04
DATE	MAY 12, 2023	



2 SECTION B
Scale: 1/4" = 1'-0"

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REVISIONS
 Build for DP/Resubmitting
 DP/DP PUBLIC Comment Revisions
 01, 02, 03 Revisions
 Aug 31, 2021
 MAY 12, 2023
 JULY 21, 2023



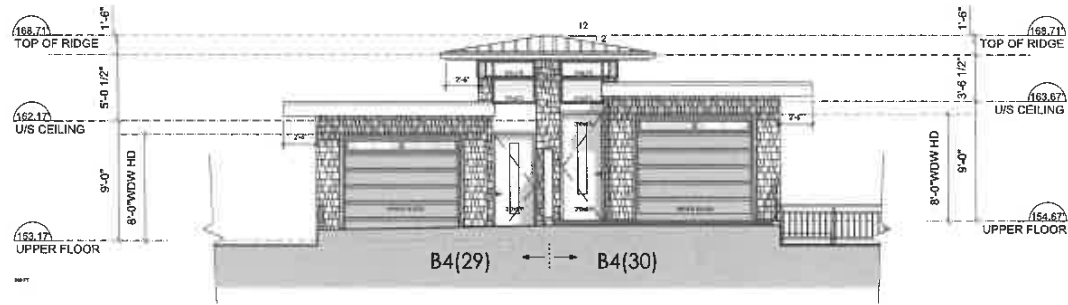
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B4

DRAWING
 SECTIONS

PROJECT	SHEET
8000	AB4-
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	3.01

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Permitting	Aug. 31, 2024
DRCP Public Comment Review	MAY 12, 2023
6/1, 02, 03 Revisions	JULY 31, 2023



ENTRY ELEVATION
UNIT B4



LOWER FLOOR / BASEMENT EXEMPTIONS:
(138.89' - 134.25' / 143.17' - 134.25') x 100 = 52.02%

761.3 [gross area] x 52.02% = 396.03 SF (exemption)

BACK ELEVATION
UNIT B4

LOWER FLOOR / BASEMENT EXEMPTIONS:
(138.89' - 135.75' / 144.47' - 135.75') x 100 = 35.20%

761.3 [gross area] x 35.2% = 267.98 SF (exemption)



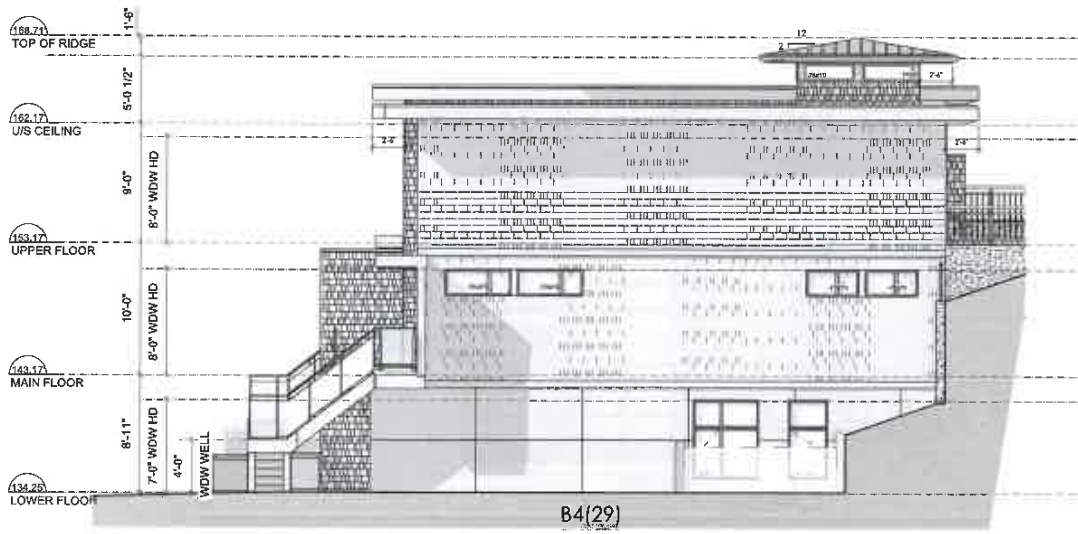
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
**ENTRY & BACK
ELEVATIONS B/W**

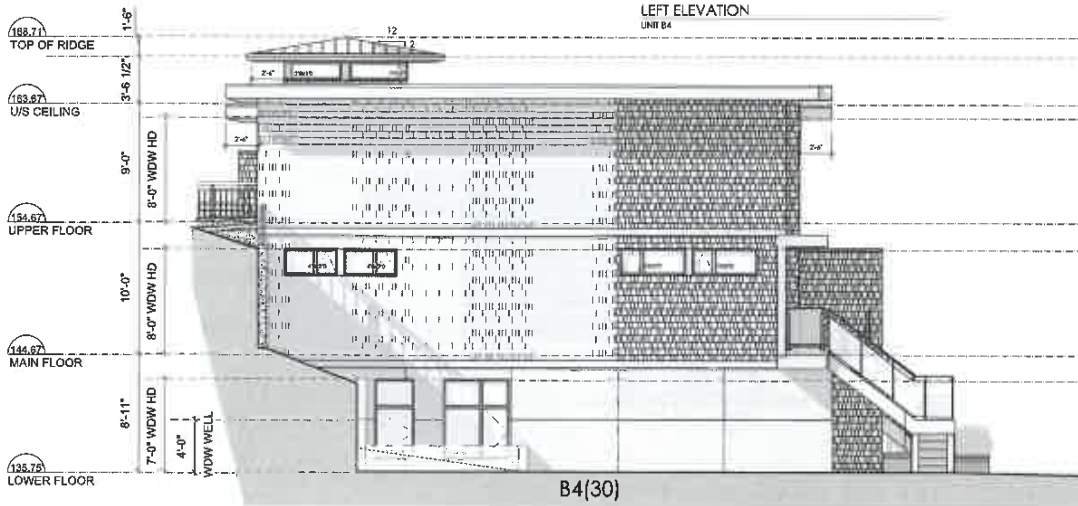
PROJECT	NO.	SHEET
SCALE	1/4" = 1'-0"	AB4-4.01
DATE	MAY 12, 2023	

These plans remain the
ownership of Sterling Pacific

REVISIONS	
Revised for O/P/Feasibility	Aug 31, 2021
DRC/Public Consultation Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



B4(29)
LEFT ELEVATION
UNIT B4



B4(30)
RIGHT ELEVATION
UNIT B4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B4

DRAWING
**LEFT & RIGHT
ELEVATIONS B/W**

PROJECT#	SHEET
8000	AB4-
SCALE	1/4" = 1'-0"
DATE	4.02
	MAY 12, 2023

ENTRY ELEVATION

BACK ELEVATION

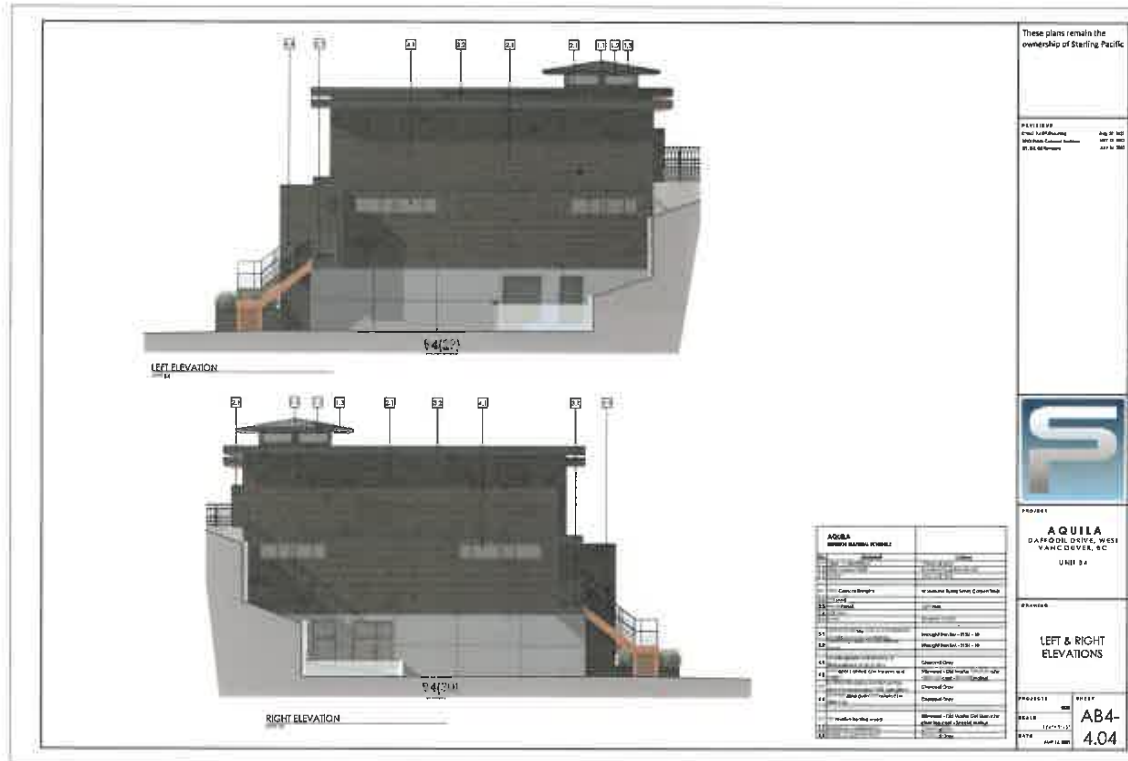
These plans remain the ownership of Sterling Pacific

PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 84

ENTRY & BACK ELEVATIONS

DATE	1997
SCALE	AS SHOWN
DATE	2003



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FRONT ENTRY ELEVATION - CAMERA VIEW



BACK ELEVATION - CAMERA VIEW

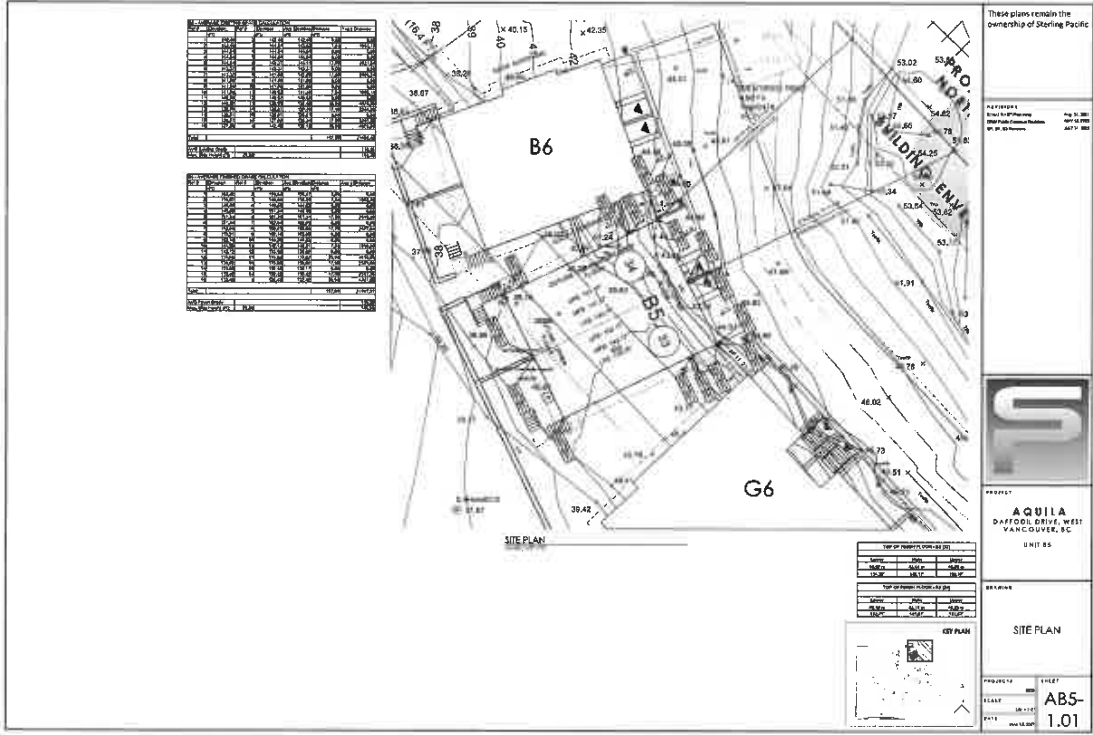
DATE: 01/11/2011
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO: 01-11-001



PROJECT
AQUILA
 21170U DRIVE, WEST
 VANCOUVER, BC
 UNIT 84

DESCRIPTION
 FRONT AND
 BACK
 ELEVATIONS -
 CAMERA VIEW

PROJECT NO	01-11-001
DATE	01/11/2011
SCALE	AS SHOWN
SHEET	AB4-
DATE	01/11/2011
	4.05



Lot	Area (sq. m)	Area (sq. ft)	Volume (cu. m)	Volume (cu. ft)
B6	10,000	11,000	100,000	1,100,000
B5	1,000	1,100	10,000	110,000
G6	500	550	5,000	55,000
Total	11,500	12,600	115,000	1,265,000

Lot	Area (sq. m)	Area (sq. ft)	Volume (cu. m)	Volume (cu. ft)
B6	10,000	11,000	100,000	1,100,000
B5	1,000	1,100	10,000	110,000
G6	500	550	5,000	55,000
Total	11,500	12,600	115,000	1,265,000

These plans remain the ownership of Sterling Pacific

PREPARED BY: Sterling Pacific
 DATE: 2011-11-01
 DRAWN BY: [Name]



PROJECT: AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT: B5

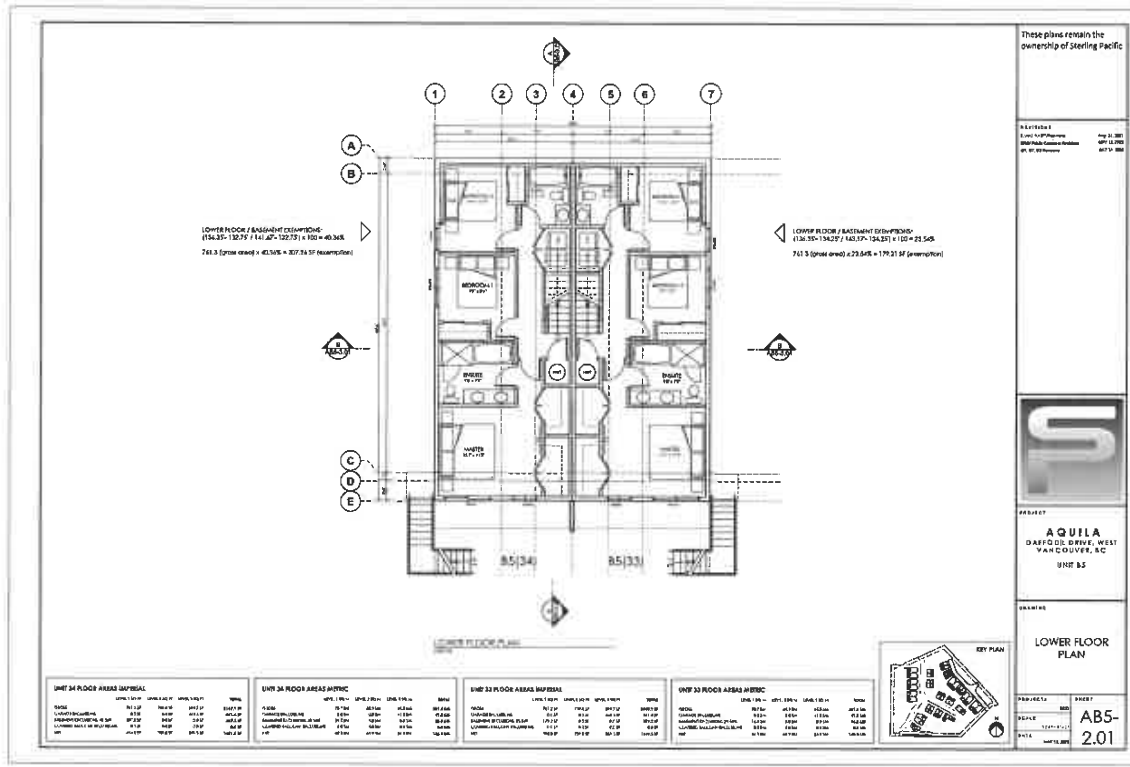
DESCRIPTION: SITE PLAN

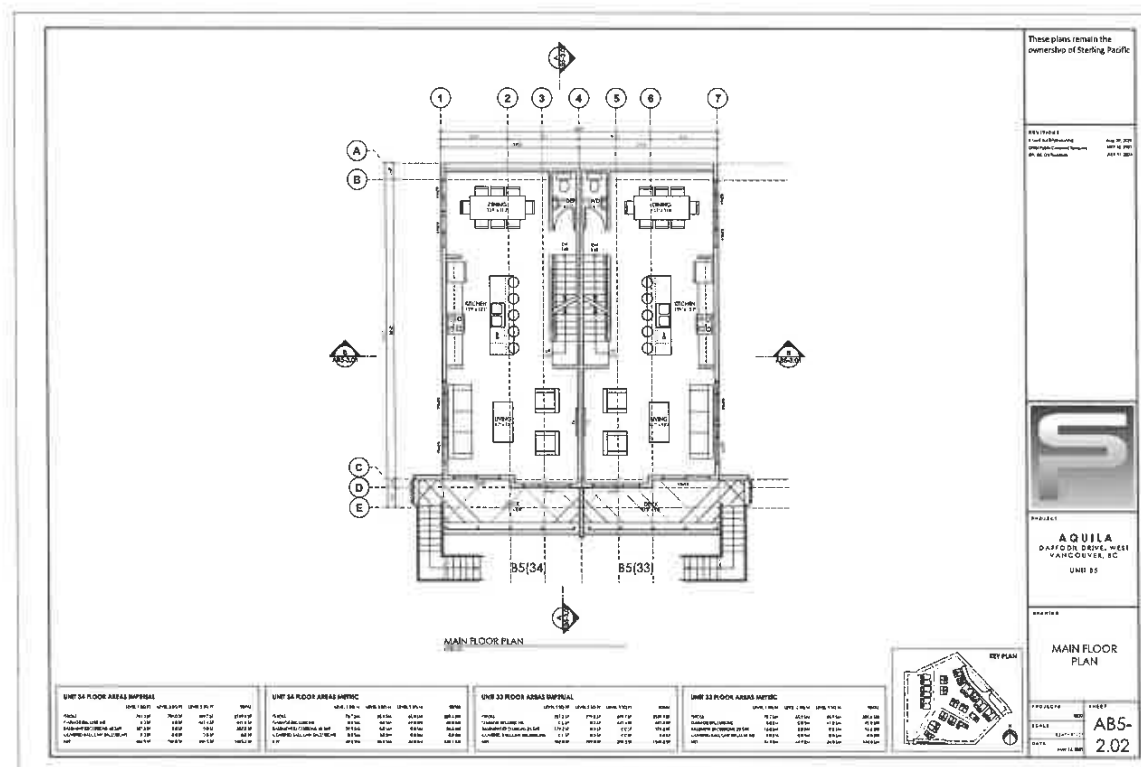
TOP OF FINISHED CONC. (1.00)			
PLAN	1.00	1.00	1.00
SECTION	1.00	1.00	1.00
DATE	1.00	1.00	1.00

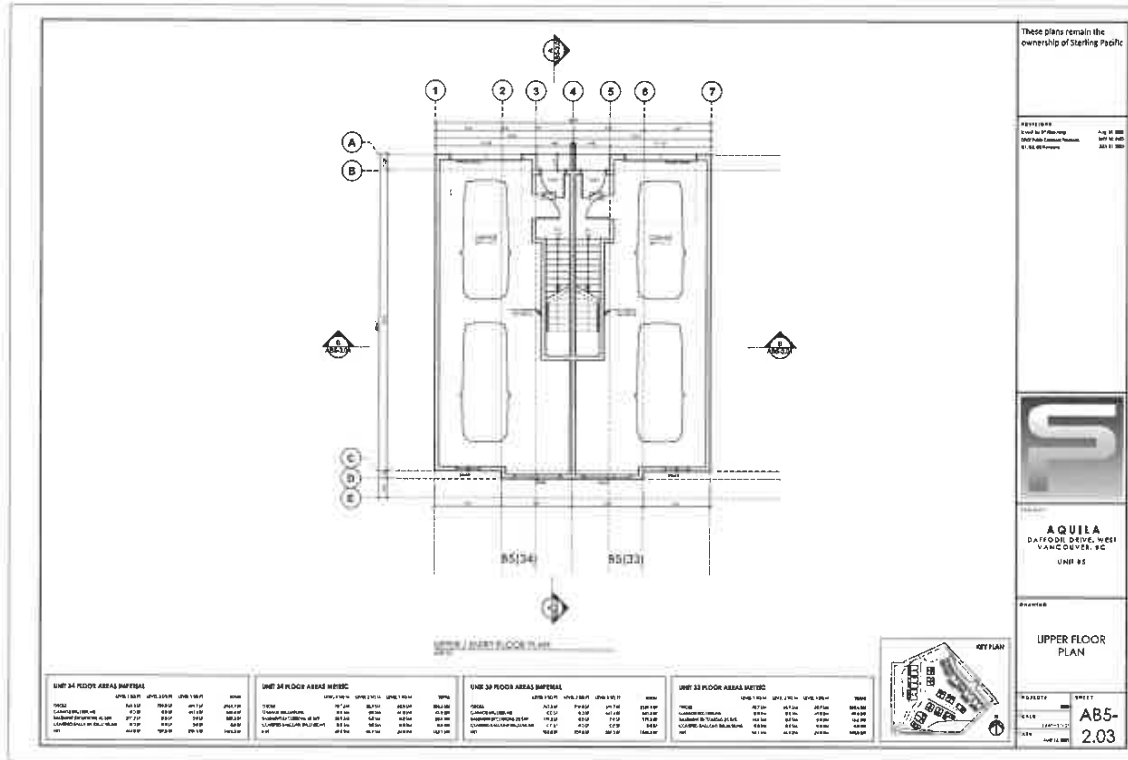


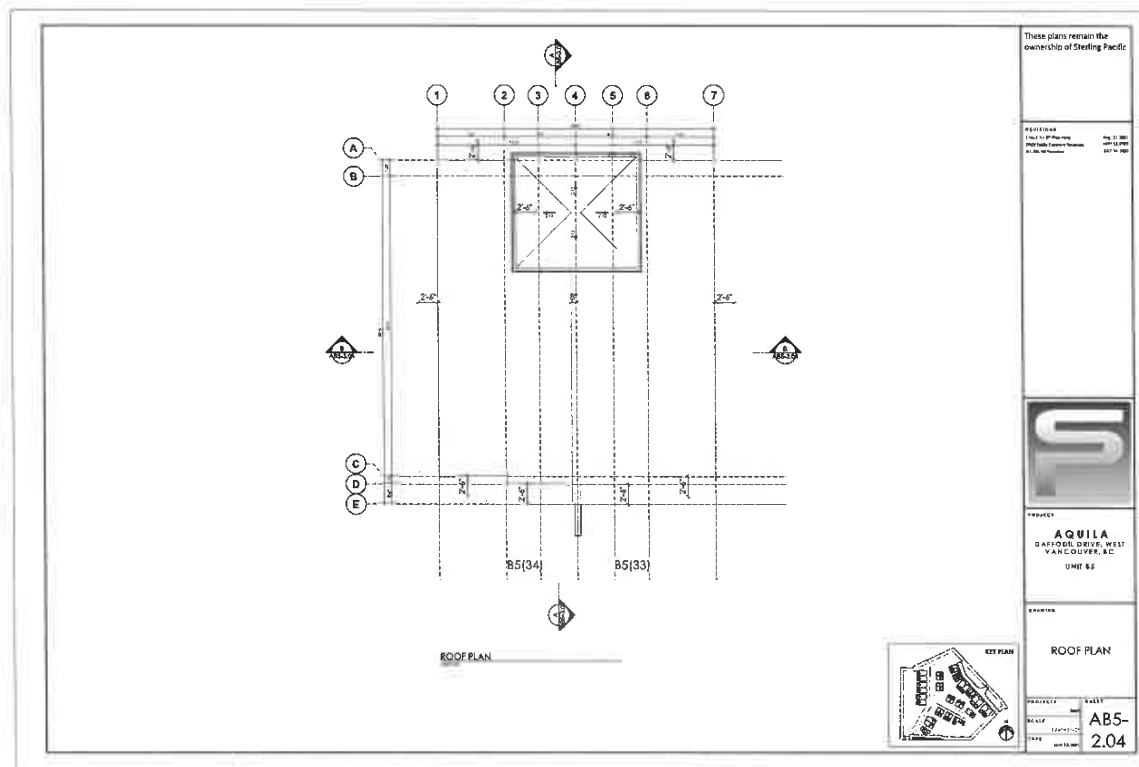
PROJECT NO: ABS-1.01
 DRAWN BY: [Name]

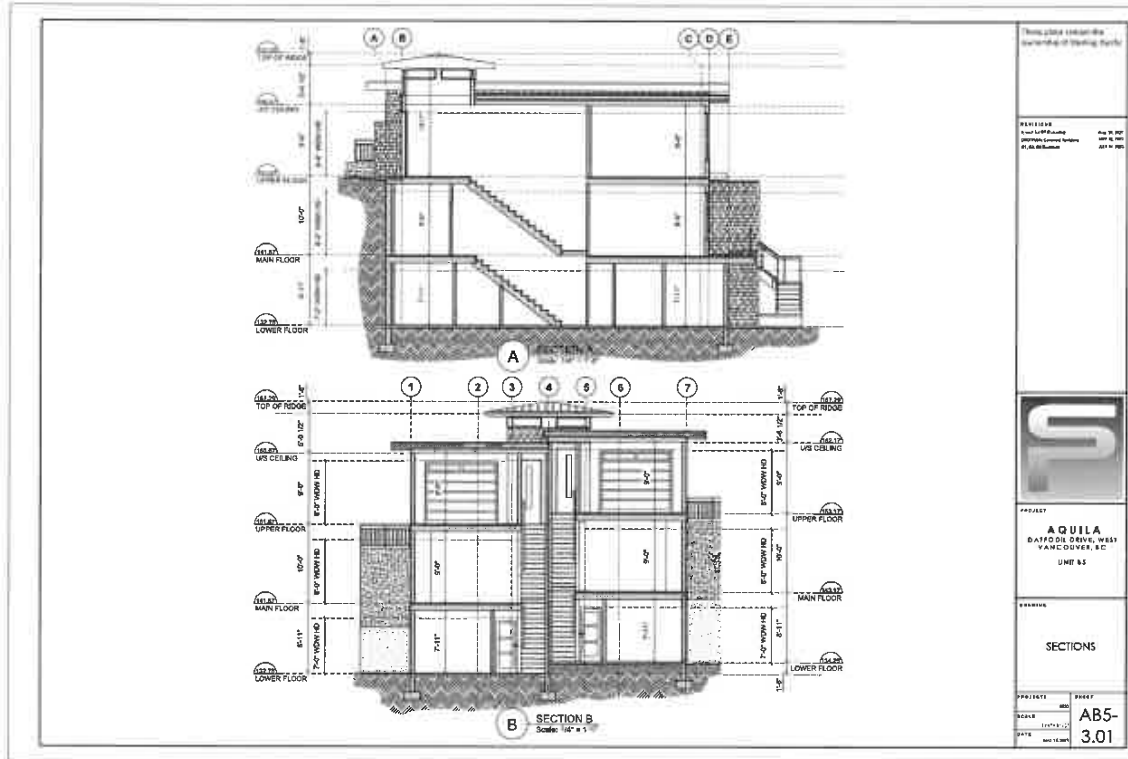






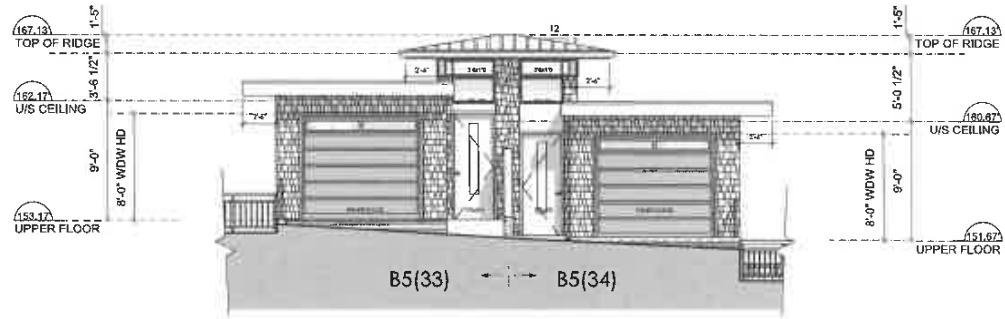






These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Reznick Aug. 31, 2021
 DR/DC Public Comment Reverts MAY 12, 2022
 01-02, 03 Reverts MAY 31, 2022



ENTRY ELEVATION
 UNIT B5

Spatial Separation Calculation (BCRC Table 3.2.3.1-D)

EXPOSED BUILDING FACE:	381.09 SF (35.40 SM)
LIMITING DISTANCE:	33.66' (10.25 M)
UNPROTECTED OPENINGS:	211.28 SF (19.60 SM)
PROPOSED OPENINGS:	65.30%
PERMITTED OPENINGS:	>100%



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.35'- 132.75' / 141.67'- 132.75') x 100 = 40.36%

761.3 (gross area) x 40.36% = 307.26 SF (exemption)

BACK ELEVATION
 UNIT B5

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.35'- 134.25' / 143.17'- 134.25') x 100 = 23.54%

761.3 (gross area) x 23.54% = 179.21 SF (exemption)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B5

DRAWING
 ENTRY & BACK
 ELEVATIONS B/W

PROJECT	NO.	BHEET
SCALE	1/2" = 1'-0"	AB5-4.01
DATE	MAY 12, 2022	

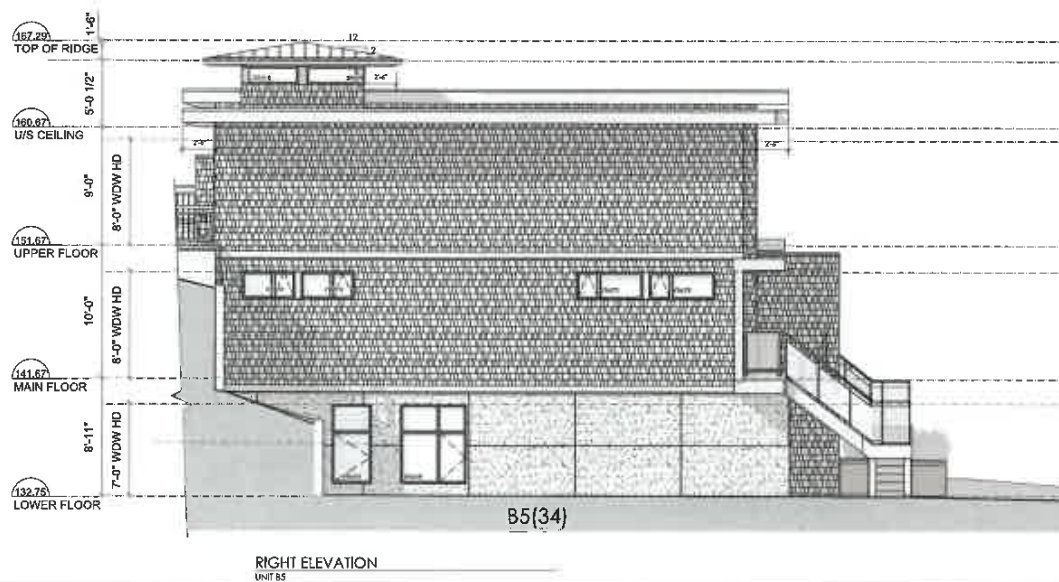
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Revising Aug 31, 2021
 DRG Public Comment Response MAY 12, 2022
 G1, G2, G3 Revise JULY 31, 2023



SPATIAL SEPARATION CALCULATION - IBC/BC TABLE 5.2.3.1-D1

EXPOSED BUILDING FACE: 1126.93 SF (104.70 SM)
 LIMITING DISTANCE: 5.62 (1.71 M)
 UNPROTECTED OPENING: 91 SF (8.45 SM)
 PROPOSED OPENING: 8.06%
 PERMITTED OPENINGS: 17.11%



SPATIAL SEPARATION CALCULATION - IBC/BC TABLE 5.2.3.1-D1

EXPOSED BUILDING FACE: 1155.16 SF (107.32 SM)
 LIMITING DISTANCE: 4.07 (1.22 M)
 UNPROTECTED OPENING: 91 SF (8.45 SM)
 PROPOSED OPENING: 7.86%
 PERMITTED OPENINGS: 14.1%



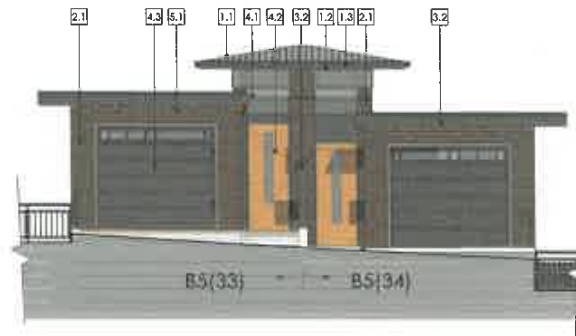
PROJECT

AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B5

DRAWING

LEFT & RIGHT
 ELEVATIONS B/W

PROJECT	SHEET
800	AB5-4.02
SCALE	
DATE	



ENTRY ELEVATION
UNIT B5



BACK ELEVATION
UNIT B5



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Color "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport - BM - HC-105
1.3	Cullter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
3.1	1st Lead	
3.2	Hardy Panel	Light Mist
3.3	2nd Lead	
3.4	3rd Lead	
3.5	Stone	Various Profiles
3.6	Upstand balcony curb of the finished balcony and roof edge	Wrought Iron BM - 2124 - 10
3.7	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Entry door painted c/w Ironwood and clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	1/4" red pine treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Steel (w/ powder coated)	Charcoal Gray

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REVISIONS
Issued for GP/Revised
DRO Public Comment Revisions
G1, G2, G3 Revisions

Aug. 31, 2021
MAY 12, 2023
JULY 31, 2023



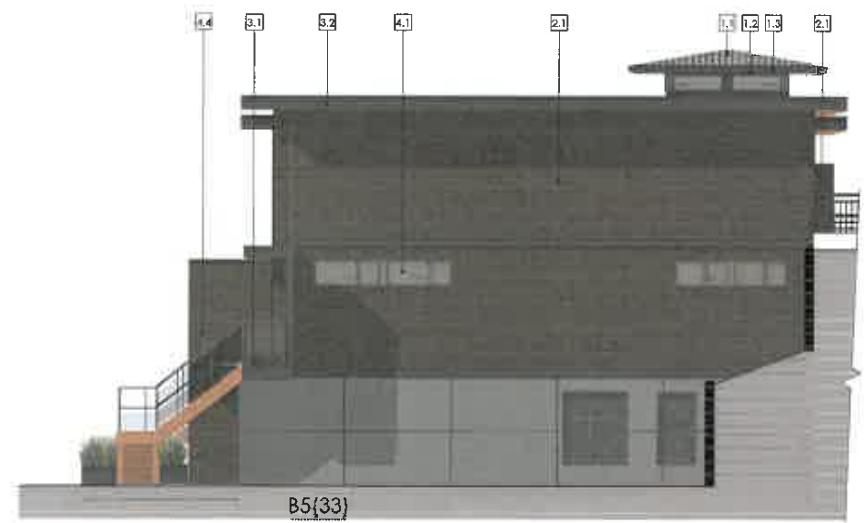
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT B5

DRAWING
**ENTRY & BACK
ELEVATIONS**

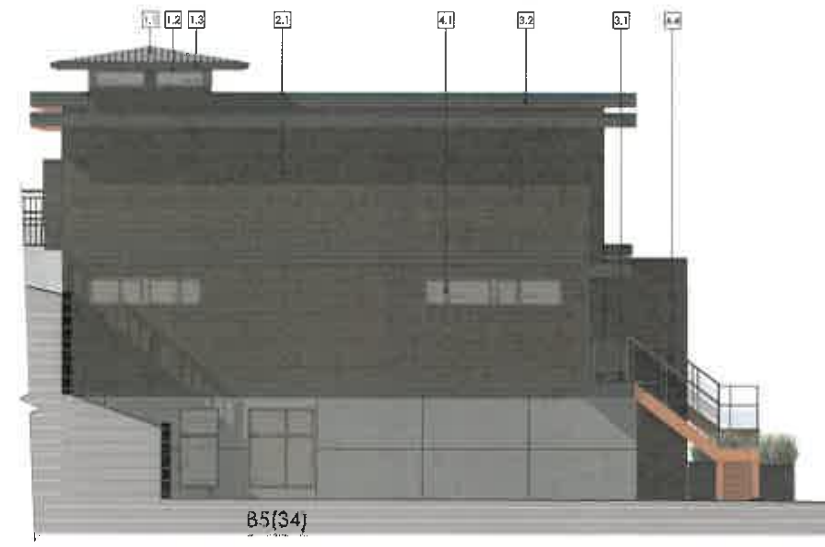
PROJECT# 9030 SHEET
SCALE 1/4" = 1'-0" **AB5-**
DATE MAY 12, 2023 **4.03**

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REVISIONS		
Revised for DR/Marketing	Aug 31, 2021	
DR/ Public Comment Revisions	MAY 12, 2023	
CL 02, 03 Revisions	JAN 24, 2023	



LEFT ELEVATION
UNIT B5



RIGHT ELEVATION
UNIT B5

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Clean "X" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Random Iron 2024 - 10
1.3	Roofline	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trail
2.2	Not Used	
2.3	Hardy Panel	Light Steel
2.4	Not Used	
2.5	None	Random Granite
3.1	Wrought Iron	Wrought Iron 2024 - 10
3.2	Wrought Iron	Wrought Iron 2024 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Slipwood - Old Master Gal Steel c/w	Slipwood - Old Master Gal Steel c/w
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Slipwood - Old Master Gal Steel c/w	Slipwood - Old Master Gal Steel c/w
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B5

DRAWING
**LEFT & RIGHT
ELEVATIONS**

PROJECT#	SHEET
6030	AB5- 4.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT 85



BACK ELEVATION - CAMERA VIEW
UNIT 85

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Planning	Aug 31, 2021
SRD Public Comment Revisions	MAY 12, 2023
01, 02, 03 Revisions	JULY 24, 2023



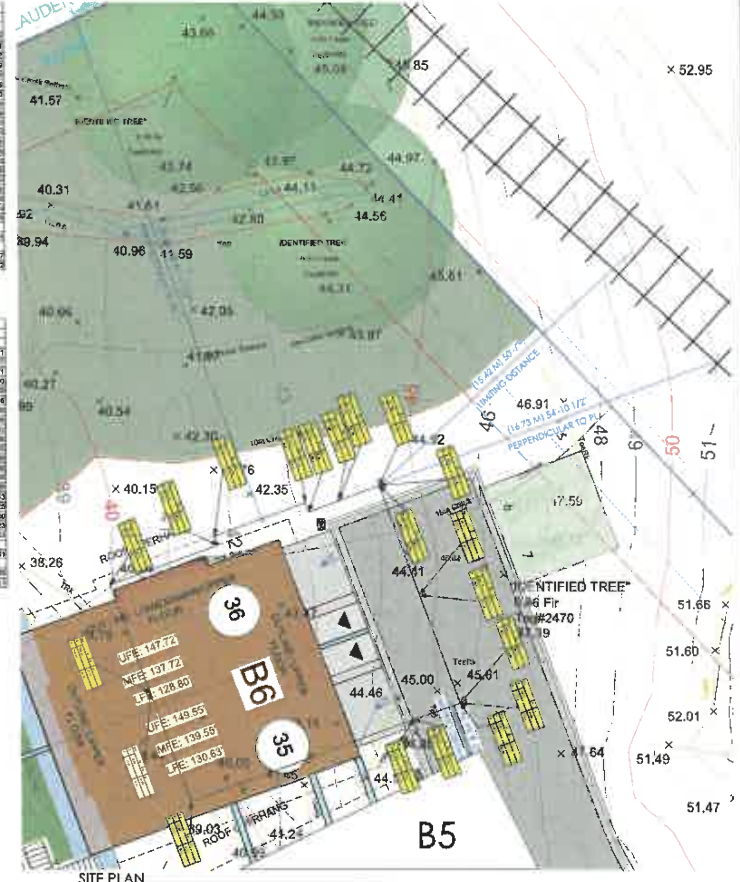
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 85

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET
8030	AB5-
SCALE	NTS
DATE	4.05
JULY 12, 2023	

AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation	Ref #	Elevation	Area x Distance		
1	131.06	2	131.21	1.1	132.25	
2	131.06	3	132.1	14.83	1864.41	
3	136.21	4	138.31	13.2	204.42	
4	136.31	5	137.36	13.1	182.39	
5	137.36	6	137.2	137.20	0.00	
6	137.36	7	138.16	138.53	6.64	1898.88
7	138.16	8	139.34	139.34	0.00	2.00
8	138.16	9	138.56	138.56	0.00	0.00
9	138.16	10	141.11	142.41	17.25	2418.44
10	141.11	11	141.11	141.11	0.00	0.00
11	141.11	12	144.1	142.1	17.50	2826.61
12	144.1	13	144.1	144.1	0.00	0.00
13	144.1	14	144.1	144.1	0.00	0.00
14	144.1	15	144.1	144.1	0.00	0.00
15	139.25	16	139.25	139.25	0.00	0.00
16	139.25	17	139.25	139.25	0.00	0.00
17	126.08	18	126.08	126.08	0.00	0.00
18	122.92	19	122.92	122.92	0.00	0.00
19	122.92	20	122.92	122.92	0.00	0.00
20	122.92	1	131.06	128.52	17.50	2214.11
Total				160.00		21243.11
Avg Existing Grade						132.77
Max. Min. Height Ft.						29.85

AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation	Ref #	Elevation	Area x Distance		
1	128.47	2	128.4	1.1	182.21	
2	128.47	3	128.4	14.83	1879.11	
3	128.47	4	128.4	13.6	182.71	
4	128.47	5	128.4	4.83	620.89	
5	128.47	6	130.1	11.8	0.00	
6	128.47	7	130.1	8.84	894.16	
7	130.1	8	144.1	140.82	0.00	
8	144.1	9	147.2	147.2	0.00	
9	147.2	10	147.2	147.2	17.50	2579.3
10	147.2	11	148.2	148.2	0.00	0.00
11	148.2	12	148.2	148.2	17.50	3811.1
12	148.2	13	148.2	148.2	0.00	0.00
13	148.2	14	148.2	148.2	0.00	0.00
14	148.2	15	138.52	129.1	7.11	1181.88
15	138.52	16	135.1	135.1	35.96	4889.13
16	135.1	17	135.1	135.1	17.50	2380.25
17	135.1	18	128.47	128.47	17.50	2248.23
18	128.47	19	128.47	128.47	17.50	2248.23
19	128.47	20	128.47	128.47	17.50	2248.23
20	128.47	1	128.47	128.47	17.50	2248.23
Total				160.00		21484.91
Avg Finish Grade						134.11
Max. Min. Height Ft.						29.85



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - B6 (B5)		
Lower	Main	Upper
158.87'	158.85'	149.55'

TOP OF FINISH FLOOR - B6 (B6)		
Lower	Main	Upper
158.87'	158.85'	149.55'



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REVISIONS		
Model for DFP/Perching		Aug. 31, 2021
DRC Public Comment Revisions		MAY 12, 2023
01, 02, 03 Revisions		JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT B6

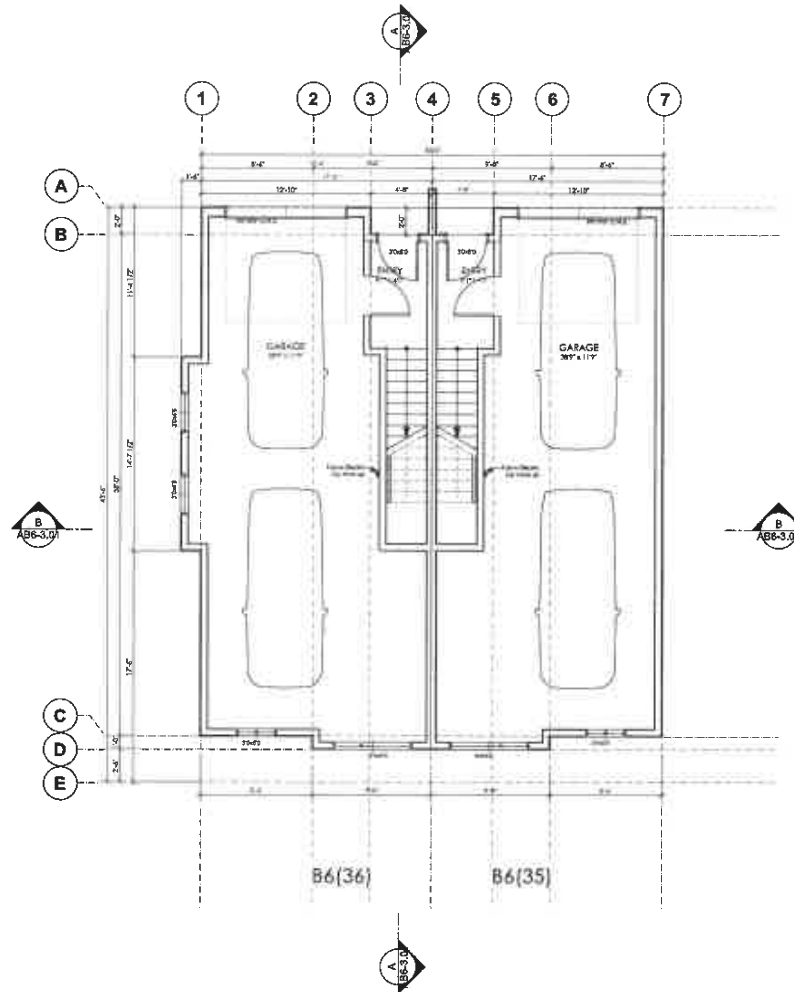
DRAWING
SITE PLAN

PROJECT#	SHEET
AB6-	1.01

SCALE: 1/8" = 10'
DATE: MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Build for CP Rezoning Aug 31, 2021
 DRD Public Comment Revisions MAY 12, 2022
 G1, G2, G3 Revisions JUL 21, 2022



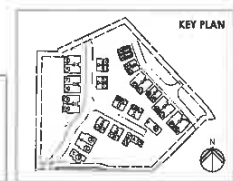
UPPER / ENTRY FLOOR PLAN
 UNIT B6

UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	783.2 SF	770.1 SF	721.4 SF	2274.7 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT ENCLOSURES 44.50%	348.5 SF	0.0 SF	0.0 SF	348.5 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	434.7 SF	770.1 SF	280.1 SF	1484.9 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.8 SQ M	67.5 SQ M	67.0 SQ M	207.3 SQ M
GARAGE ENCLOSURES	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT ENCLOSURES 44.50%	32.4 SQ M	0.0 SQ M	0.0 SQ M	32.4 SQ M
COVERED BALCONY ENCLOSURES	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	40.4 SQ M	67.5 SQ M	26.0 SQ M	134.0 SQ M

UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.2 SF	709.0 SF	697.7 SF	2147.9 SF
GARAGE ENCLOSURES	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT ENCLOSURES 33.79%	189.6 SF	0.0 SF	0.0 SF	189.6 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	551.6 SF	709.0 SF	256.4 SF	1517.0 SF

UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQ M	65.7 SQ M	65.0 SQ M	201.4 SQ M
GARAGE ENCLOSURES	0.0 SQ M	0.0 SQ M	41.0 SQ M	41.0 SQ M
BASEMENT ENCLOSURES 33.79%	17.5 SQ M	0.0 SQ M	0.0 SQ M	17.5 SQ M
COVERED BALCONY ENCLOSURES	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	53.8 SQ M	65.7 SQ M	24.0 SQ M	143.5 SQ M



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 UPPER FLOOR PLAN

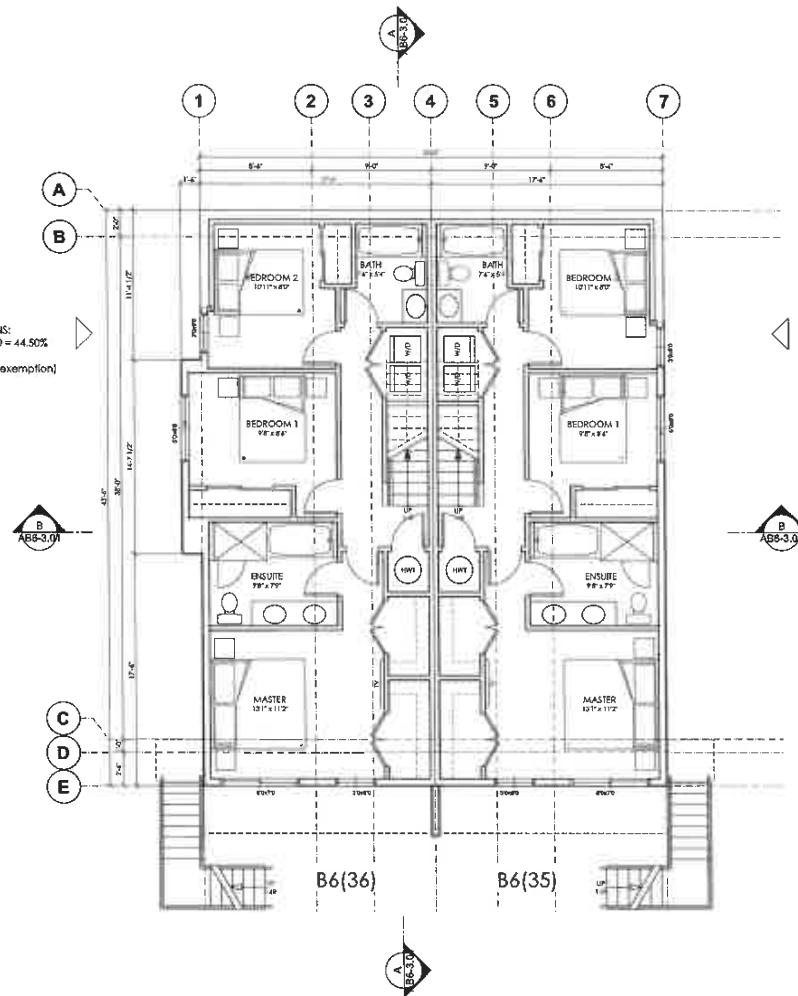
PROJECT # 8000 SHEET
 SCALE 1/4" = 1'-0" **AB6-2.03**
 DATE MAY 12, 2022

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REVISIONS	
Revised for DR/Reviewing	Aug 31, 2021
DRC Public Comment Revisions	MAY 12, 2023
01: 00: 00 Revisions	JUN 26, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(132.77' - 128.80' / 137.72' - 128.80') \times 100 = 44.50\%$
 763.2 (gross area) x 44.5% = 348.52 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(132.77' - 130.63' / 139.55' - 130.63') \times 100 = 23.99\%$
 761.2 (gross area) x 23.99% = 182.61 SF (exemption)



LOWER FLOOR PLAN
 UNIT 36



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 510 FT	LEVEL 2 510 FT	LEVEL 3 510 FT	TOTAL
GROSS	783.25F	720.5F	721.41F	2225.16F
GARAGE EXCLUSIONS	0.05F	0.05F	441.31F	441.41F
BASEMENT EXCLUSIONS ALONG	348.33F	0.05F	0.05F	348.43F
COVERED BALCONY EXCLUSIONS	0.05F	0.05F	0.05F	0.15F
NET	434.77F	720.45F	280.35F	1435.57F

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 510 M	LEVEL 2 510 M	LEVEL 3 510 M	TOTAL
GROSS	773.53M	67.93M	672.23M	2013.69M
GARAGE EXCLUSIONS	0.05M	0.05M	410.52M	410.62M
BASEMENT EXCLUSIONS ALONG	32.43M	0.05M	0.05M	32.53M
COVERED BALCONY EXCLUSIONS	0.05M	0.05M	0.05M	0.15M
NET	40.43M	67.83M	281.53M	1389.79M

UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 510 FT	LEVEL 2 510 FT	LEVEL 3 510 FT	TOTAL
GROSS	741.85F	709.03F	679.35F	2130.23F
GARAGE EXCLUSIONS	0.05F	6.05F	441.31F	447.41F
BASEMENT EXCLUSIONS 25 PPK	182.45F	0.05F	0.05F	182.55F
COVERED BALCONY EXCLUSIONS	0.05F	0.05F	0.05F	0.15F
NET	559.35F	702.93F	238.04F	1500.32F

UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 510 M	LEVEL 2 510 M	LEVEL 3 510 M	TOTAL
GROSS	707.56M	669.23M	659.54M	2036.33M
GARAGE EXCLUSIONS	0.05M	0.05M	410.52M	410.62M
BASEMENT EXCLUSIONS 25 PPK	17.63M	0.05M	0.05M	17.73M
COVERED BALCONY EXCLUSIONS	0.05M	0.05M	0.05M	0.15M
NET	53.83M	669.13M	237.94M	1460.90M

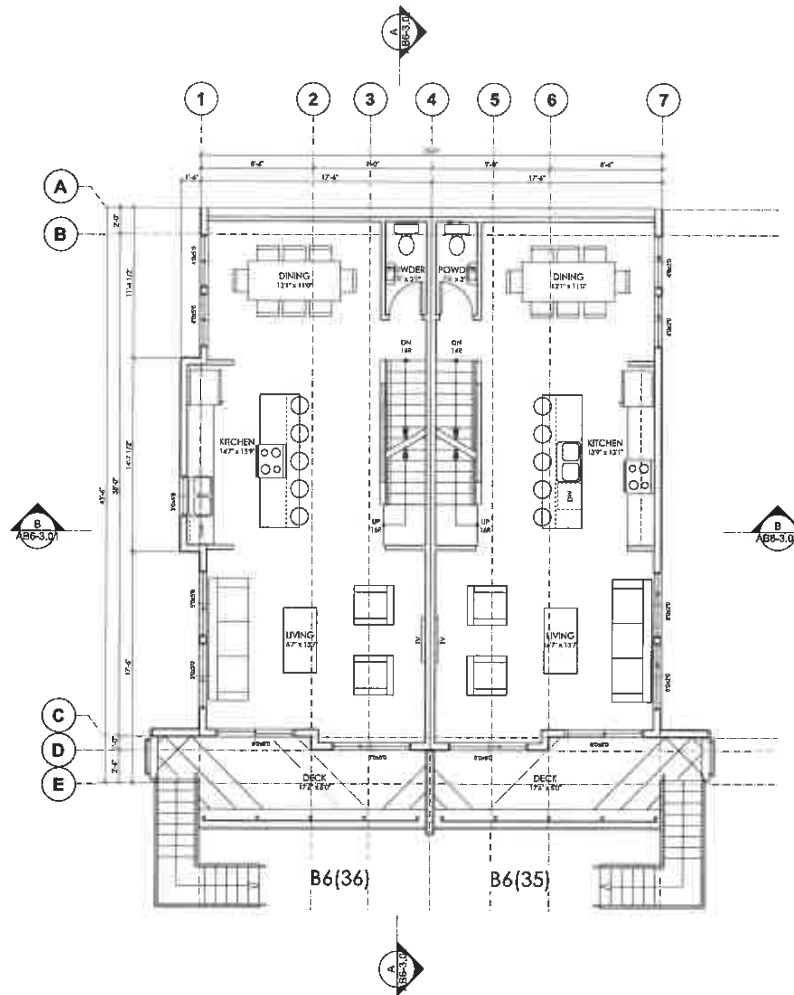
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B 6

DRAWING
LOWER FLOOR PLAN

PROJECT	NO.	SHEET
		AB6-2.01
SCALE	1/4" = 1'-0"	
DATE	MAY 12, 2023	

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REVISIONS
 Issued for CP/Reming Aug. 31, 2021
 SRCP Public Comment Response MAY 12, 2022
 CL, Q2, Q3 Revisions JULY 21, 2023

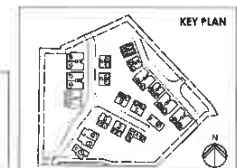


MAIN FLOOR PLAN
 UNIT B6



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
MAIN FLOOR PLAN



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	761.2 SF	790.9 SF	721.6 SF	2273.7 SF
CLEARANCE EXCLUSIONS	0.0 SF	0.0 SF	461.2 SF	461.2 SF
BASEMENT EXCLUSIONS 44.5% COVERED BALCONY EXCLUSIONS	506.1 SF	0.0 SF	0.0 SF	506.1 SF
NET	434.7 SF	790.9 SF	260.3 SF	1485.9 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	72.6 SQM	67.9 SQM	67.0 SQM	207.7 SQM
CLEARANCE EXCLUSIONS	0.0 SQM	0.0 SQM	41.8 SQM	41.8 SQM
BASEMENT EXCLUSIONS 44.5% COVERED BALCONY EXCLUSIONS	30.2 SQM	0.0 SQM	0.0 SQM	30.2 SQM
NET	40.4 SQM	67.9 SQM	26.0 SQM	134.3 SQM

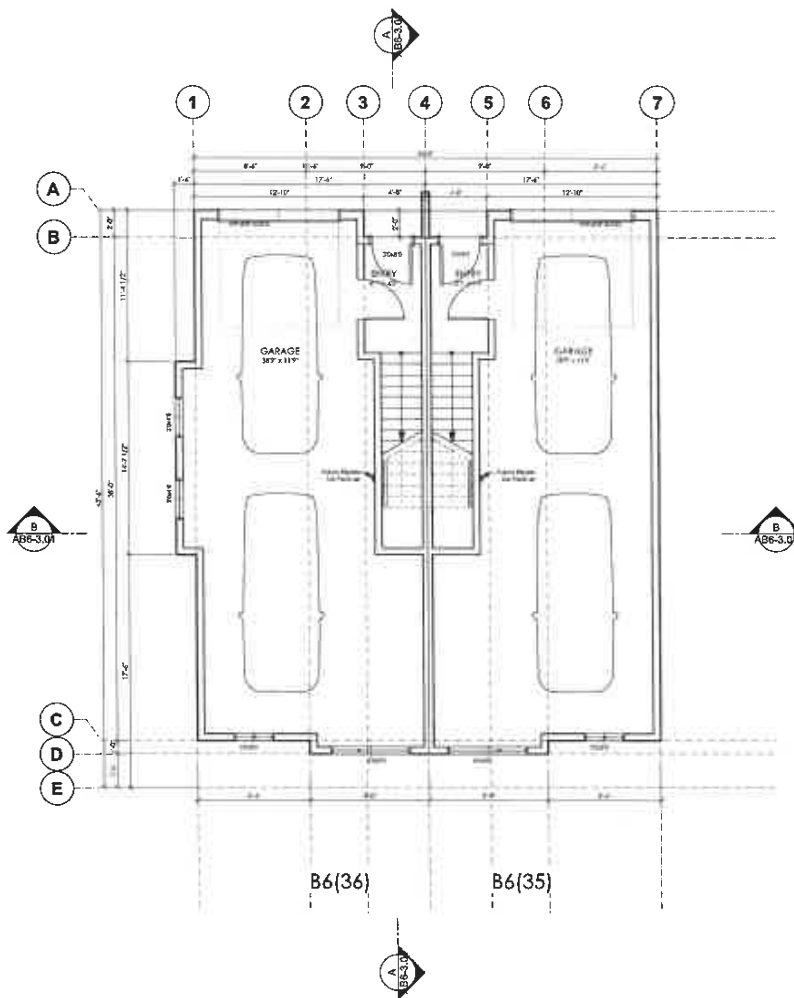
UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	741.2 SF	709.0 SF	699.7 SF	2149.9 SF
CLEARANCE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS 23.9% COVERED BALCONY EXCLUSIONS	160.8 SF	0.0 SF	0.0 SF	160.8 SF
NET	576.4 SF	709.0 SF	258.4 SF	1543.8 SF

UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	70.7 SQM	65.9 SQM	65.0 SQM	201.6 SQM
CLEARANCE EXCLUSIONS	0.0 SQM	0.0 SQM	41.8 SQM	41.8 SQM
BASEMENT EXCLUSIONS 23.9% COVERED BALCONY EXCLUSIONS	17.0 SQM	0.0 SQM	0.0 SQM	17.0 SQM
NET	53.8 SQM	65.9 SQM	24.0 SQM	143.6 SQM

PROJECT	NO.	SHEET
		AB6-2.02
SCALE	1/4" = 1'-0"	
DATE	MAY 12, 2023	

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REVISIONS
 Issued for (P) Reasoning Aug. 31, 2021
 DR02 Public Comment Response MAY 12, 2022
 01, 02, 03 Resubmits JUL 31, 2023

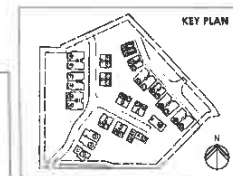


UPPER / ENTRY FLOOR PLAN
 UNIT B6



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 UPPER FLOOR
 PLAN



UNIT 36 FLOOR AREAS IMPERIAL				
	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GROSS	782.5 SF	730.4 SF	721.6 SF	2234.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS AS S/P	248.5 SF	0.0 SF	0.0 SF	248.5 SF
COVERED BALCONY EXCLUSIONS	15.8 SF	0.0 SF	0.0 SF	15.8 SF
NET	454.7 SF	730.4 SF	280.3 SF	1465.4 SF

UNIT 36 FLOOR AREAS METRIC				
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GROSS	72.8 SQM	67.9 SQM	67.0 SQM	207.7 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS AS S/P	22.8 SQM	0.0 SQM	0.0 SQM	22.8 SQM
COVERED BALCONY EXCLUSIONS	1.5 SQM	0.0 SQM	0.0 SQM	1.5 SQM
NET	40.4 SQM	67.9 SQM	26.0 SQM	134.3 SQM

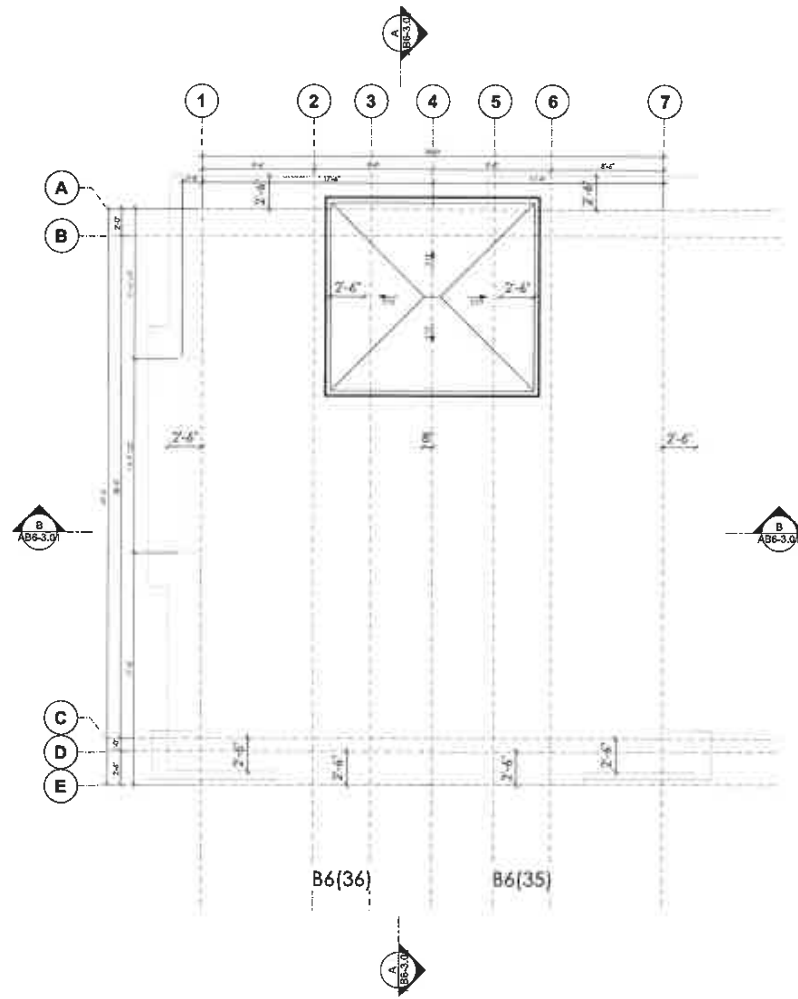
UNIT 35 FLOOR AREAS IMPERIAL				
	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GROSS	741.2 SF	709.0 SF	697.3 SF	2147.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	441.3 SF	441.3 SF
BASEMENT EXCLUSIONS AS S/P	183.6 SF	0.0 SF	0.0 SF	183.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	378.6 SF	709.0 SF	256.0 SF	1343.6 SF

UNIT 35 FLOOR AREAS METRIC				
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GROSS	70.7 SQM	66.0 SQM	65.0 SQM	201.7 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	41.0 SQM	41.0 SQM
BASEMENT EXCLUSIONS AS S/P	17.0 SQM	0.0 SQM	0.0 SQM	17.0 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	33.8 SQM	66.0 SQM	24.0 SQM	123.8 SQM

PROJECT: AQUILA
 SHEET: AB6-2.03
 SCALE: 1/4" = 1'-0"
 DATE: MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
Revised for OPR Reasoning Aug. 31, 2021
DRCA Public Comment Resolutions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



ROOF PLAN
UNIT B6

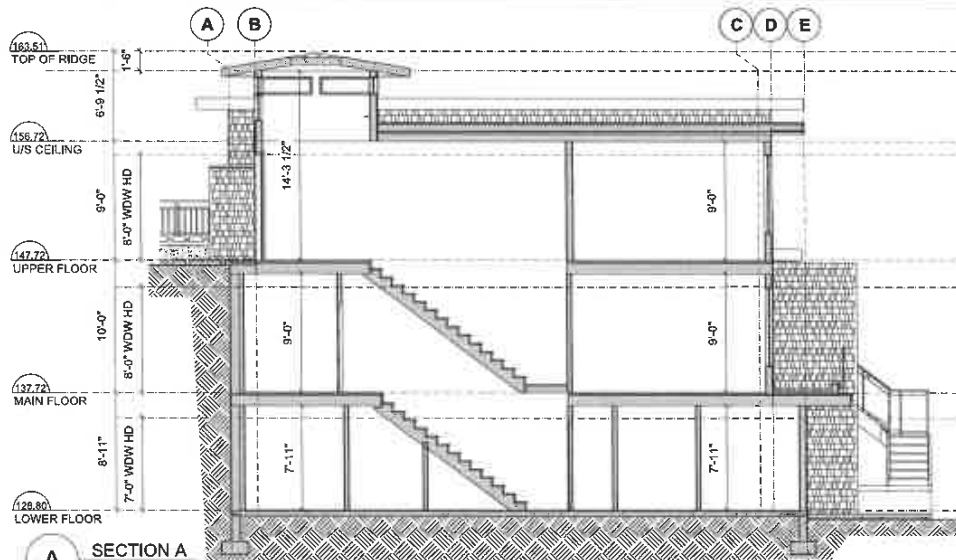


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

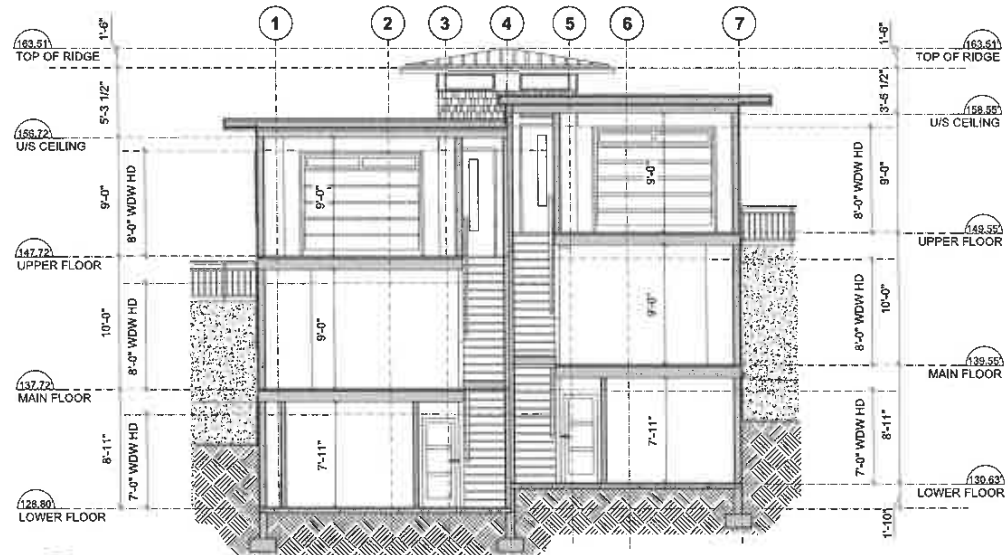
DRAWING
ROOF PLAN



PROJECTS	SHEET
2020	AB6-2.04
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023



A SECTION A
Scale: 1/4" = 1'-0"



B SECTION B
Scale: 1/4" = 1'-0"

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REVISIONS		
Based for DP/Revising	Aug 21, 2021	
DR/ Public Comment Reviews	MAY 12, 2023	
01, 02, 03 Reviews	MAY 31, 2025	



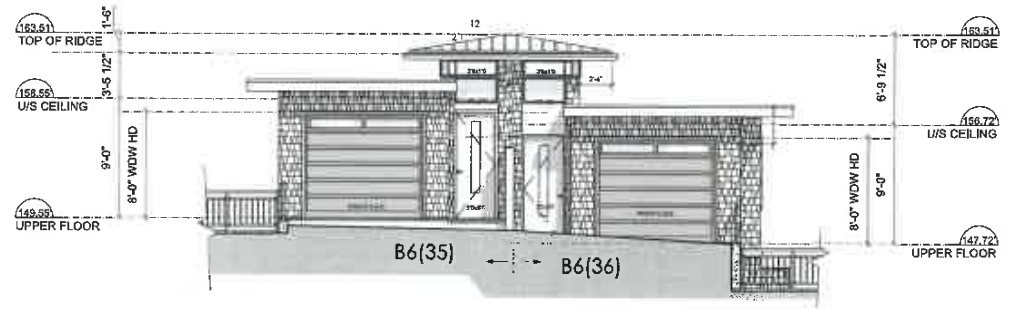
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 86

DRAWING
SECTIONS

PROJECT#	MDG	SHEET
		AB6-
SCALE	1/4" = 1'-0"	3.01
DATE	MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DR/Revising Aug 31, 2021
 CRD Public Comment Response MAY 12, 2023
 01.02.03 Revisions JULY 31, 2023



ENTRY ELEVATION

UNIT B6

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	381.40 SF (35.45 SM)
LIMITING DISTANCE:	25.29' (7.71 M)
UNPROTECTED OPENING:	211.00 SF (19.60 SM)
PROPOSED OPENINGS:	55.50%
PERMITTED OPENINGS:	100%



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (132.77'-128.80' / 137.72'-128.80') x 100 = 44.50%

783.2 (gross area) x 44.5% = 348.52 SF (exemption)

BACK ELEVATION

UNIT B6

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (132.77'-130.63' / 139.55'-130.63') x 100 = 23.99%

761.2 (gross area) x 23.99% = 182.61 SF (exemption)



PROJECT

AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

UNIT B6

DRAWING

**ENTRY & BACK
 ELEVATIONS B/W**

PROJECT#	0000	SHEET	AB6- 4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for OP/Planning Aug. 31, 2021
 DR/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



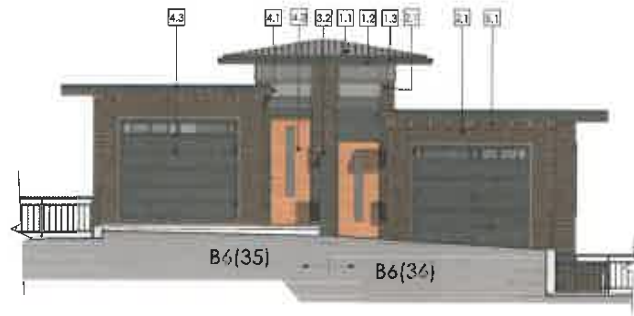
SPATIAL SEPARATION CALCULATION (B/C/E/C TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1120.84 SF (104.13 SM)
 LIMITING DISTANCE: 4' (1.22 M)
 UNPROTECTED OPENING: 91.00 SF (8.45 SM)
 PROPOSED OPENING: 8.12%
 PERMITTED OPENINGS: 14.0%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT B6

DRAWING
 LEFT & RIGHT
 ELEVATIONS B/W

PROJECT#	SHEET
NO.01	AB6-
SCALE	1/4" = 1'-0"
DATE	4.02
	MAY 12, 2023



ENTRY ELEVATION
UNIT 66



BACK ELEVATION
UNIT 66



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Charcoal Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport BM-ND-105
1.3	Walter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Iron Lined	
2.3	Wrought Panel	Light Mill
2.4	Iron Lined	
2.5	Stone	Random Granite
3.1	Wrought Iron BM-2124-10	Wrought Iron BM-2124-10
3.2	Wrought Iron BM-2125-10	Wrought Iron BM-2125-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Silestone - Old Master Gel Stain C/w Clear Top Coat - Special Walnut	Charcoal Gray
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
4.5	Silestone - Old Master Gel Stain C/w Clear Top Coat - Special Walnut	Charcoal Gray
4.6	Charcoal Gray	Charcoal Gray
4.7	Charcoal Gray	Charcoal Gray

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REVISIONS		
Revised for DP/Revising	Aug 31, 2021	
DR/ Public Comment Revisions	MAY 12, 2022	
DR, CR, CS Revisions	MAY 24, 2022	



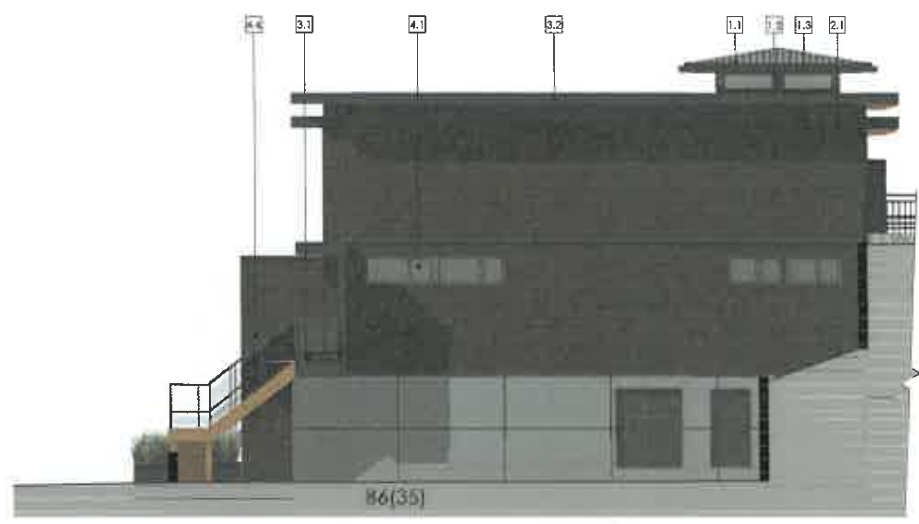
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT 66

DRAWING
**ENTRY & BACK
ELEVATIONS**

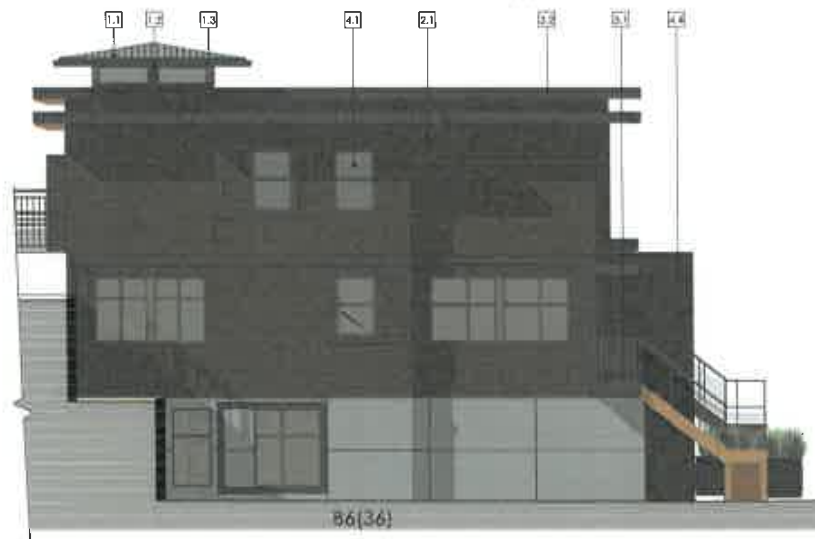
PROJECT#	SHEET
6050	AB6- 4.03
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Perching Aug. 31, 2021
 DRD/Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JUL 21, 2023



LEFT ELEVATION
UNIT 86



RIGHT ELEVATION
UNIT 86

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	"A" Metal Roof	Charcoal Gray
1.2	Flare Cement Soffit	Rockwell Panels BM-HC-103
1.3	Flare	Charcoal Gray
2.1	Flare Cement Sillings	Woodstone Retic Series Carbon Teak
2.2	Not Used	
2.3	Ready Panel	Light metal
2.4	Not Used	
2.5	Flare	Randon Panels
3.1	Flare and Sillings call out panel	Wrought Iron BM - 2124 - 10
3.2	Flare and Sillings call out panel	Wrought Iron BM - 2124 - 10
4.1	Flare and Sillings call out panel	Charcoal Gray
4.2	Flare and Sillings call out panel	Silverwood - Old Master Oil Stain c/w clear top coat - Sparol Walnut
4.3	Flare and Sillings call out panel	Charcoal Gray
4.4	Flare and Sillings call out panel	Charcoal Gray
5.1	Flare and Sillings call out panel	Silverwood - Old Master Oil Stain c/w clear top coat - Sparol Walnut
5.2	Flare and Sillings call out panel	Charcoal Gray
5.3	Flare and Sillings call out panel	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT 86

DRAWING
 LEFT & RIGHT
 ELEVATIONS

PROJECT# 0050 SHEET
 SCALE 1/4" = 1'-0" **AB6-**
 DATE MAY 12, 2022 **4.04**

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FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT B6



BACK ELEVATION - CAMERA VIEW
UNIT B6

REVISIONS
Revised for DP/Reznor Aug 31, 2024
ORCA Public Comment Revisions MAY 12, 2023
G1, G2, G3 Revisions JULY 31, 2023



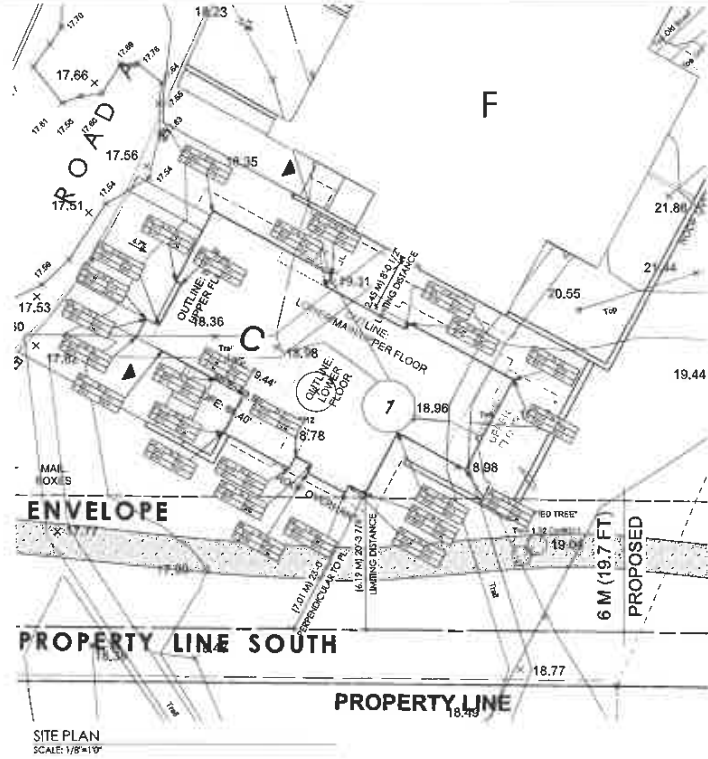
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT B6

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET
2030	AB6-
SCALE	HTL
DATE	4.05
MAY 12, 2023	

- AVERAGE FINISHED GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Distance	x Distance	
1	64.30	2	71.07	67.04	4.1	268.1
2	71.07	3	71.07	71.0	4.1	333.82
3	71.07	4	71.07	71	8	487.1
4	71.07	5	64.00	67.54	0	0
5	64	6	65.17	64.50	13.1	751.84
6	65.17	7	66.17	65.1	2	122.34
7	66.17	8	66.50	66	2.71	177
8	66.50	9	66.60	66.50	1	66.5
9	66.60	1	66.21	65.94	6.43	422.1
10	66.21	11	66.21	66.2	1.03	66.21
11	66.21	1	66	66.41	2.75	182.81
12	66.80	13	66	67	10.42	707.52
13	66.20	14	66	66	13.6	914.5
14	69.20	15	69	69	19.50	1012
15	69.20	16	69	69	0.1	0
16	69.50	17	67	67	17.43	1221.54
17	67.48	18	67	67	1	67
18	67.48	19	68.43	68.4	13.7	920.2
19	68	20	68.43	68.4	2	132
20	68	21	68.07	68.24	29.4	1932
21	68.07	22	68.07	68.07	12.04	780.81
22	68.07	23	68.07	68	1	68.07
23	68.07	24	68.07	68	7.51	476.2
24	68.07	25	68.07	68.1	1	68.07
25	68.07	26	63	64.75	0.00	0
26	63.30	27	63	63	3.20	201.6
27	63.30	1	64	63	0	0
Total				188.57	11148.1	
Avg. Finish Grade					67	
Max. Finish Grade					29.85	97.50

- AVERAGE EXISTING GRADE CALCULATION						
#	Elevation	Ref #	Elevation	Distance	x Distance	
1	58.77	2	58.84	58.84	6.40	422
2	59.84	3	61.37	60.92	2.70	184.2
3	61.30	4	60.66	60.94	6.00	365.3
4	60.66	5	60.66	60.66	0	0
5	60.66	6	60.04	60	13.12	863.60
6	60.04	7	60.5	60	2.06	125.76
7	60.50	8	60	60	2.71	184.21
8	60.88	9	60	60	1.30	80
9	60.83	10	60.6	60	8.42	549.66
10	60.80	11	60.7	60.8	1.1	81.06
11	60.90	12	61	61.3	2.7	187.23
12	61.50	13	61	61.3	10.42	698
13	61.50	14	62.07	61.81	11	718
14	62.07	15	64.50	64	16	990.92
15	64	16	64.50	64	1	64
16	64	17	63.7	64.30	17.83	1144
17	63.69	18	63.7	63.65	1	63.6
18	63.74	19	63.34	63.66	13.76	933.81
19	63.36	20	63.65	63.47	2	125.90
20	63.64	21	63.64	63.64	29.40	1722.78
21	63.64	22	60.34	60.65	12.04	733.33
22	60.34	23	60	60	3	180
23	60.40	24	60.2	60	7.41	454.03
24	60.83	25	60	60	3.21	202
25	60.80	26	60	60	0	0
26	58	27	58.72	58.81	3.2	184
27	58.72	1	58.71	58.7	4.1	253.72
Total				171.04	10899.5	
Avg. Existing Grade					61.74	
Max. Existing Grade					64.5	81.0



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - C (1)		
Lower	Main	Upper
20.84 m	21.18 m	24.21 m
68.40'	69.62'	79.44'



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REVISIONS
Issued for DP/Planning Aug. 24, 2021
DRC/Public Comment Response MAY 12, 2023
G1, G2, G3 Revisions JULY 31, 2023



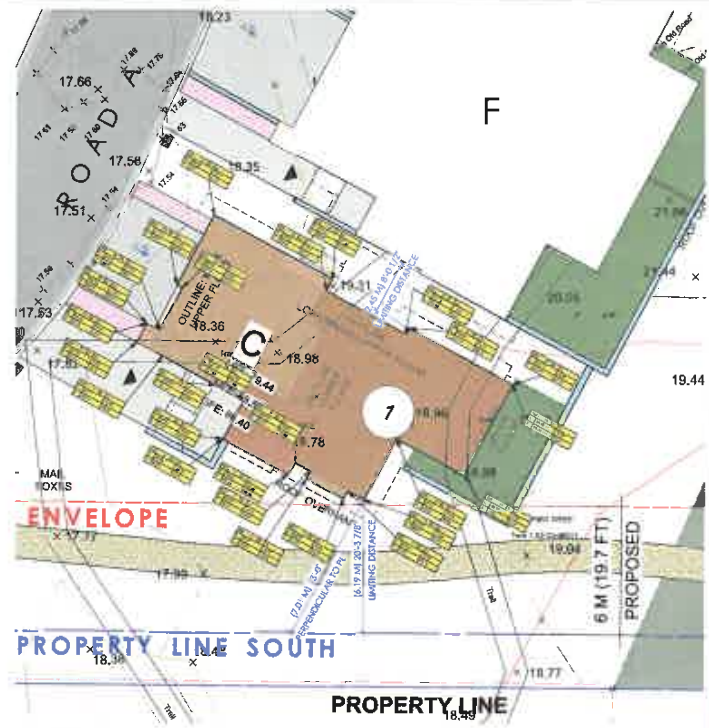
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
SITE PLAN

PROJECT# 0000 SHEET
SCALE 1/8" = 1'-0" **AC-1**
DATE MAY 12, 2023 **.01**

-- AVERAGE FINISHED GRADE CALCULATION						
Sta #	Station	Ref #	Elevation	Area	Distance	% Distance
1	84.00	2	71.0	87.54	4.25	285.1
2	71.07	3	71.0	71.0	4.70	333.84
3	71.07	4	71.07	71.0	6.00	437.84
4	71.07	5	84	87.54	9.00	671.14
5	84.00	6	85	87.54	11.53	871.14
6	85.17	7	85.17	85.17	13.71	1032.14
7	85.17	8	85	85.94	14.71	1122.14
8	85.94	9	85	85.94	14.71	1122.14
9	85.94	10	85.21	85.94	6.41	492.14
10	85.21	11	85.21	85.21	1.81	138.14
11	85.21	12	84.80	84.81	2.71	207.14
12	84.80	13	84.20	84.80	3.41	261.14
13	84.20	14	84.20	84.20	11.61	894.14
14	84.20	15	84.20	84.20	15.00	1152.14
15	84.20	16	84.50	84.50	15.00	1152.14
16	84.50	17	87.48	88.50	17.82	1372.56
17	87.48	18	87.48	87.48	1.00	77.48
18	87.48	19	85.40	86.41	13.75	1054.53
19	85.40	20	85.40	85.40	1.00	77.48
20	85.40	21	85.07	85.07	1.00	77.48
21	85.07	22	85.07	85.07	12.04	932.61
22	85.07	23	85.07	85.07	1.00	77.48
23	85.07	24	85.07	85.07	7.31	572.23
24	85.07	25	85.07	85.07	9.21	722.66
25	85.07	26	83.38	84.18	0.04	3.00
26	83.38	27	83.38	83.38	3.30	257.11
27	83.38	1	84	87.54	4.25	329.61
Total				185.67	1148.71	
Avg Finish Grade					87	
Max. Minus Height	142				29.85	
					87	

-- AVERAGE EXISTING GRADE CALCULATION						
Sta #	Station	Ref #	Elevation	Area	Distance	% Distance
1	80.71	2	86.84	88.98	8.81	662
2	81.30	3	81.30	81.30	4.70	354
3	81.30	4	82.50	85.98	1.00	77
4	82.50	5	82.50	82.50	0.00	0
5	82.50	6	82.50	82.50	11.3	863
6	82.50	7	82.50	82.50	2.00	154
7	82.50	8	80.90	80.90	2.71	207
8	80.90	9	80.90	80.90	1.00	77
9	80.90	10	80.90	80.90	1.00	77
10	80.90	11	80.90	80.90	1.00	77
11	80.90	12	81.0	81.0	2.71	207
12	81.00	13	81.00	81.00	10.00	770
13	81.00	14	82.07	81.81	11.43	894
14	82.07	15	84.50	84.50	15.00	1152
15	84.50	16	84.50	84.50	0.00	0
16	84.50	17	83.66	83.66	17.82	1412
17	83.66	18	83.66	83.66	1.00	77
18	83.66	19	83.66	83.66	13.75	1054
19	83.66	20	83.66	83.66	2.00	154
20	83.66	21	83.66	83.66	20.42	1572
21	83.66	22	83.66	83.66	15.04	1152
22	83.66	23	83.66	83.66	1.00	77
23	83.66	24	83.66	83.66	7.31	572
24	83.66	25	83.66	83.66	9.21	722
25	83.66	26	83.66	83.66	0.00	0
26	83.66	27	83.66	83.66	3.30	257
27	83.66	1	84	87.54	4.25	329
Total				171.04	1086.9	
Avg Existing Grade					81	
Max. Minus Height	142				28.81	
					81	



SITE PLAN
SCALE: 1/8"=1'-0"



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REVISIONS
Issued for DP/Permitting
DRCT Public Comment Revisions
Dr., CE, GE Revisions

Aug 21, 2021
MAY 18, 2022
JULY 21, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

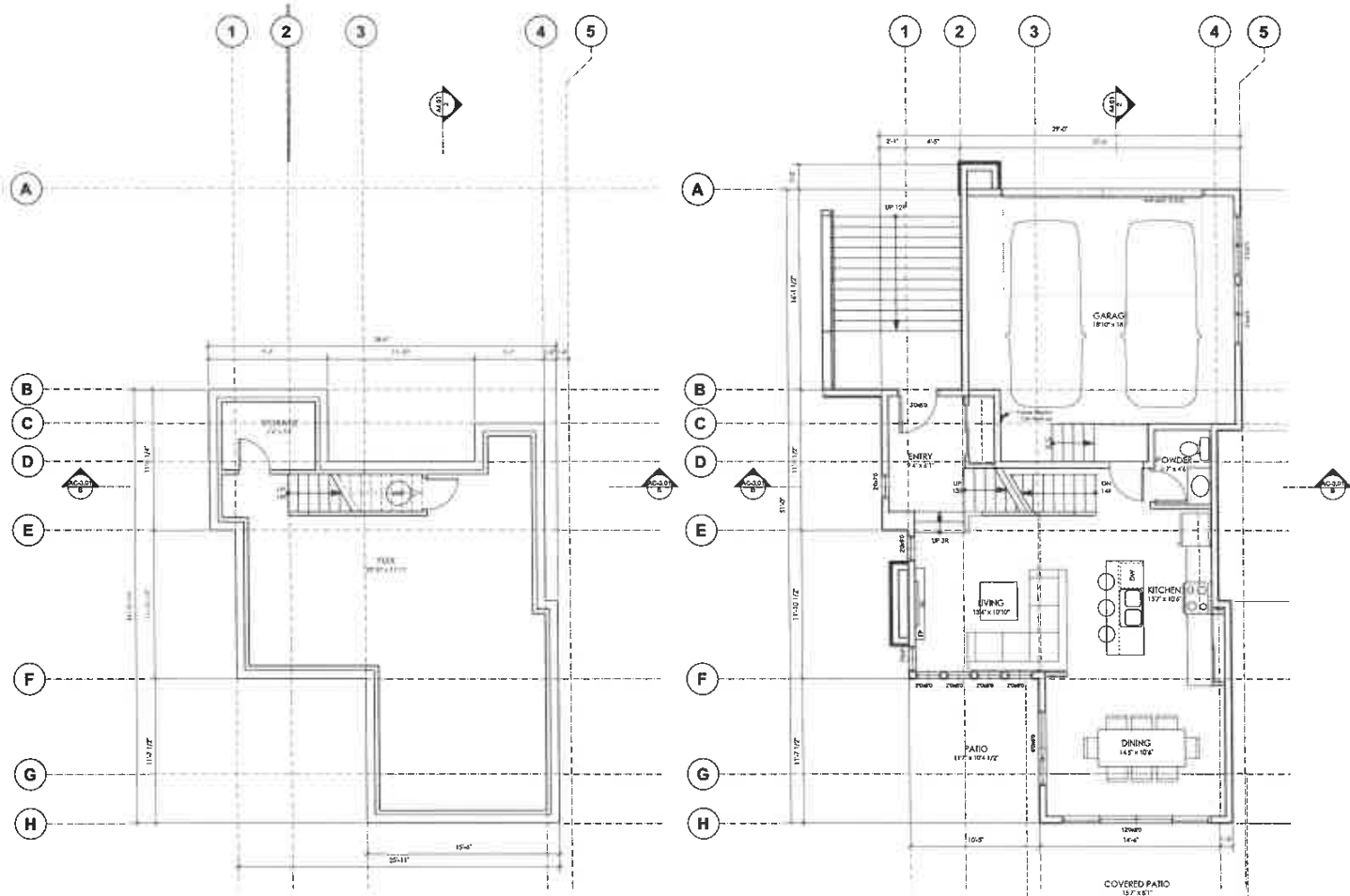
DRAWING
SITE PLAN

PROJECT NO: 600
SCALE: 1/8" = 1'-0"
DATE: MAY 12, 2022

SHEET
AC-1
.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CIP Reviewing Aug 31, 2021
 CIP/PLAB Comment Revisions MAY 12, 2023
 D1, D2, D3 Revisions MAY 31, 2023



BASEMENT EXEMPTIONS:
 $(61.74' - 60.61' / 69.53' - 60.61') \times 100 = 12.67\%$
 $704.9 \text{ (gross area)} \times 12.67\% = 89.3 \text{ SF (exemption)}$

LOWER FLOOR
 UNIT C

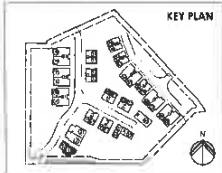
MAIN FLOOR
 UNIT C

UNIT 1 FLOOR AREAS IMPERIAL

	LEVEL 1, 150 PF	LEVEL 2, 150 PF	LEVEL 3, 150 PF	TOTAL
GROSS	704.8 SF	1167.4 SF	1007.1 SF	2879.3 SF
GARAGE EXCLUSIONS	0.0 SF	440.0 SF	0.0 SF	440.0 SF
BASINMENT EXCLUSIONS 12.67%	89.3 SF	0.0 SF	0.0 SF	89.3 SF
COVERED BALCONY EXCLUSIONS	90.8 SF	0.0 SF	0.0 SF	90.8 SF
NET	615.5 SF	727.4 SF	1007.1 SF	2350.0 SF

UNIT 1 FLOOR AREAS METRIC

	LEVEL 1, 150 M	LEVEL 2, 150 M	LEVEL 3, 150 M	TOTAL
GROSS	47.53M	108.15M	95.43M	251.11M
GARAGE EXCLUSIONS	0.00M	41.05M	0.00M	41.05M
BASINMENT EXCLUSIONS 12.67%	8.35M	0.00M	0.00M	8.35M
COVERED BALCONY EXCLUSIONS	6.75M	0.00M	0.00M	6.75M
NET	37.23M	67.10M	95.43M	200.11M



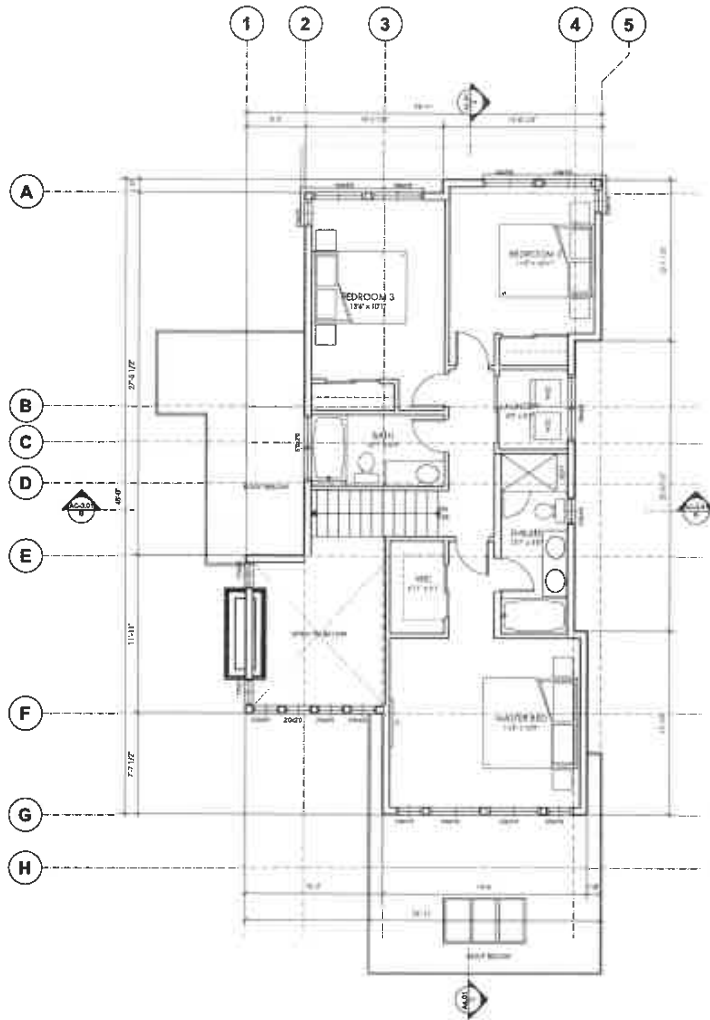
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

LOWER & MAIN
 FLOOR PLANS

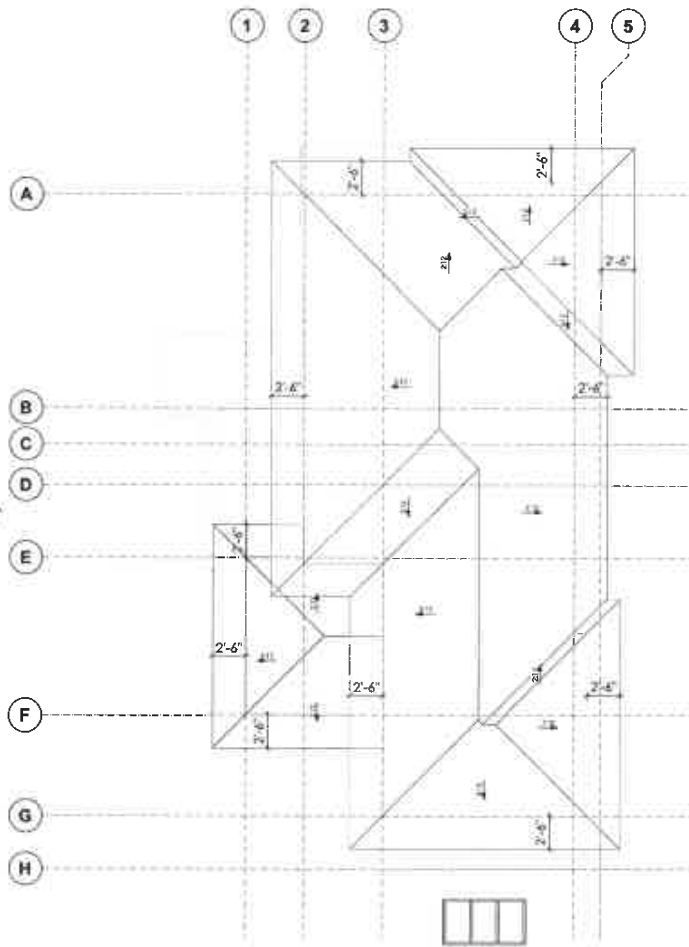
PROJECT# 8020 SHEET
 SCALE 1/4" = 1'-0" **AC-2**
 DATE MAY 12, 2023 **.01**

These plans remain the ownership of Sterling Pacific

REVISIONS
 01:01 for EP/Revising Aug 31, 2021
 01:02 Public Comment Revisions MAY 12, 2023
 02:03 Revisions JULY 31, 2023



UPPER FLOOR
UNIT C



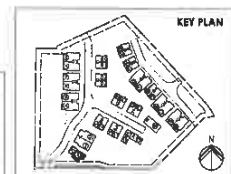
ROOF PLAN
UNIT C

UNIT 1 FLOOR AREAS IMPERIAL

	LEVEL 1 350 FT	LEVEL 2 350 FT	LEVEL 3 350 FT	TOTAL
GROSS	704.9 SF	1142.4 SF	1027.1 SF	2874.4 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 12.0 FT	87.3 SF	0.0 SF	0.0 SF	87.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	615.6 SF	701.4 SF	1027.1 SF	2344.1 SF

UNIT 1 FLOOR AREAS METRIC

	LEVEL 1 10.7 M	LEVEL 2 10.7 M	LEVEL 3 10.7 M	TOTAL
GROSS	65.5 SA	106.3 SA	95.4 SA	267.2 SA
GARAGE EXCLUSIONS	0.0 SA	41.0 SA	0.0 SA	41.0 SA
BASEMENT EXCLUSIONS 12.0 FT	8.1 SA	0.0 SA	0.0 SA	8.1 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	57.3 SA	65.3 SA	95.4 SA	218.0 SA



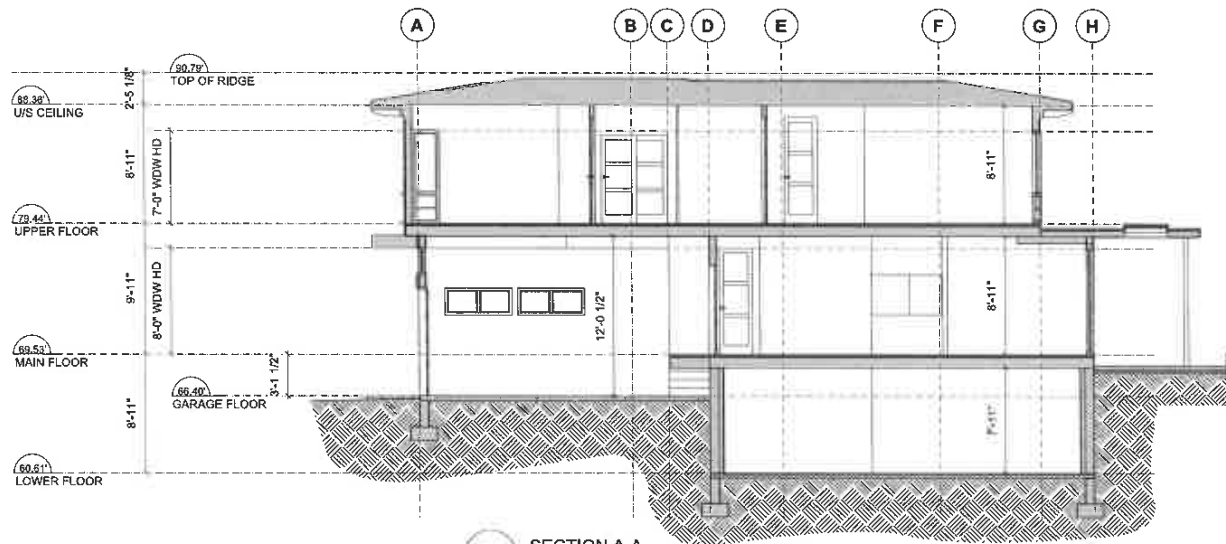
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
 UPPER FLOOR &
 ROOF PLAN

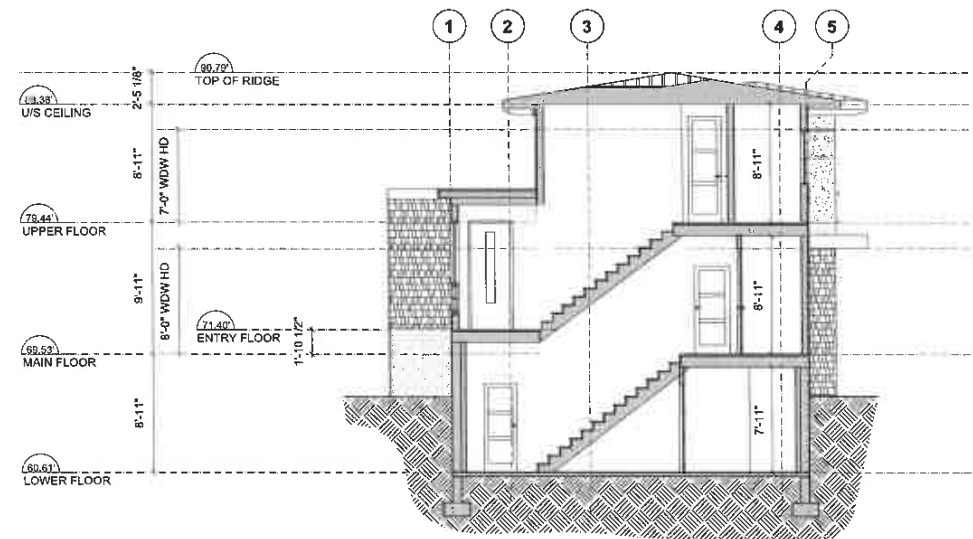
PROJECT# 8020 SHEET
 SCALE 1/4"=1'-0" AC-2
 DATE MAY 12, 2023 .02

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REVISIONS	
Noted for D/P/Placement	Aug 31, 2023
DRG Public Comment Response	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



1 SECTION A-A
Scale: 1/4" = 1'-0"



B SECTION B-B
Scale: 1/4" = 1'-0"



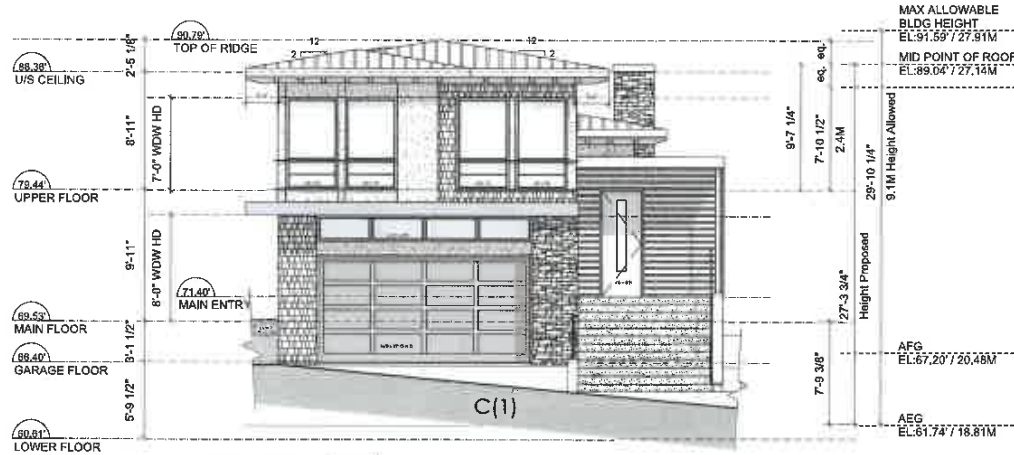
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
SECTIONS

PROJECT#	SHEET
800	AC-3
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	.01

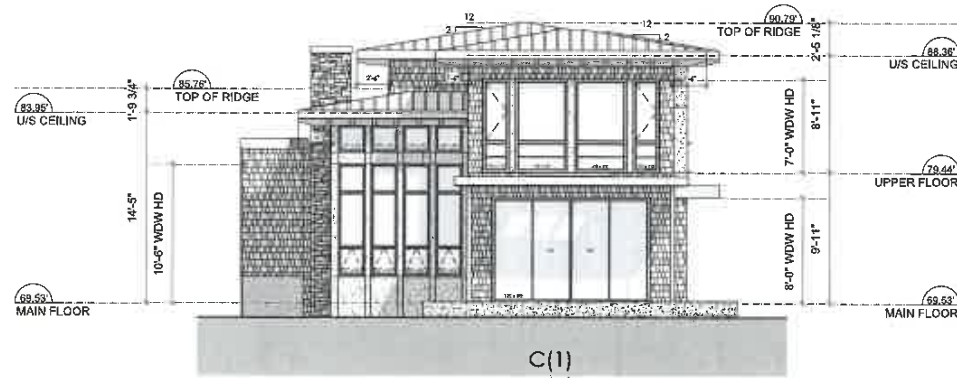
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Rebidding Aug 31, 2021
 ORC Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JUL 21, 2023



FRONT ELEVATION (WEST)
 UNIT C

BASEMENT EXEMPTIONS:
 $(61.74' - 60.61' / 69.53' - 60.61') \times 100 = 12.67\%$
 $704.9 \text{ (gross area)} \times 12.67\% = 89.3 \text{ SF (exemption)}$



BACK ELEVATION (EAST)
 UNIT C



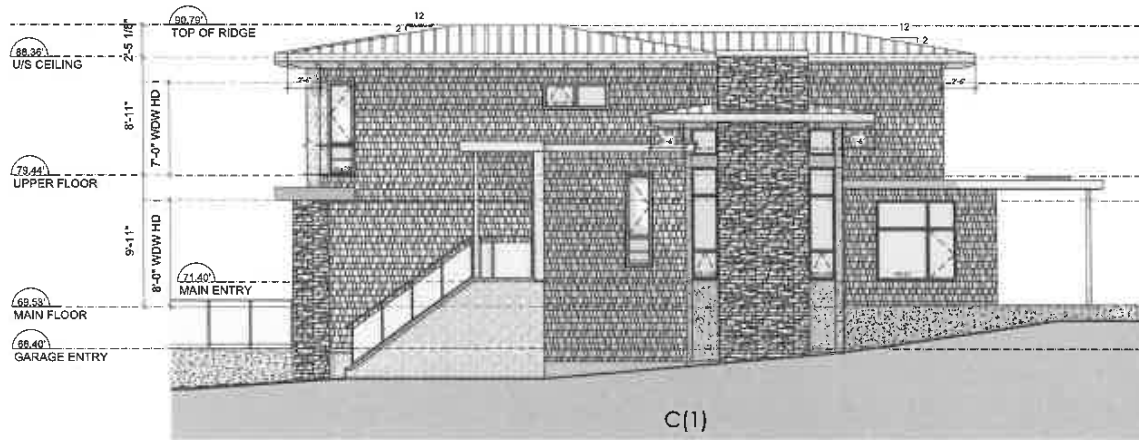
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT#	SHEET
8000	AC-4
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	.01

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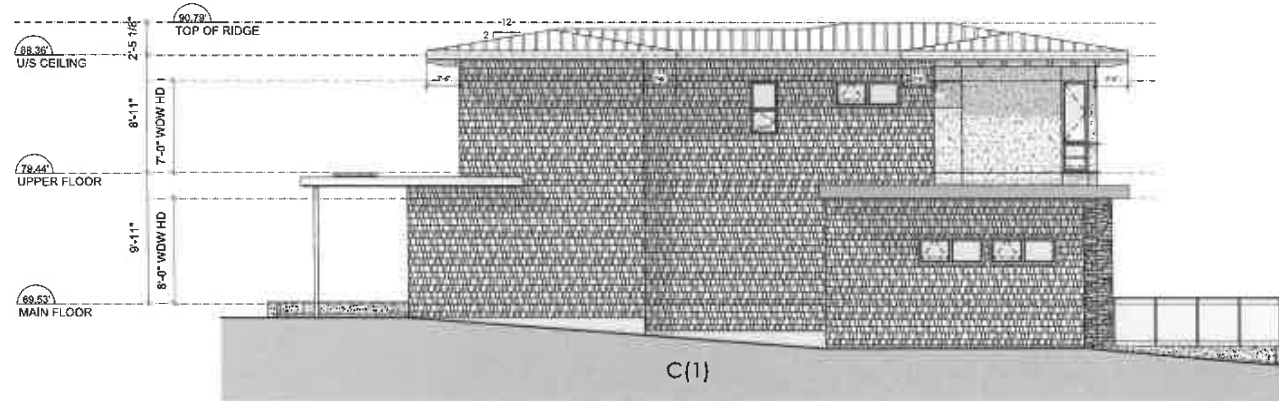
REVISIONS
 Issued for DR/Rezonning Aug 31, 2021
 DR/CP Public Consultation Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



SOUTH ELEVATION
 UNIT C

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1.-D)

EXPOSED BUILDING FACE: 1169.29 SF (107.79 SM)
 LIMITING DISTANCE: 11.5' (3.50 M)
 UNPROTECTED OPENING: 100.17 SF (9.30 SM)
 PROPOSED OPENING: 5.63%
 PERMITTED OPENINGS: 27.65%



NORTH ELEVATION
 UNIT C

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1.-D)

EXPOSED BUILDING FACE: 1046.33 SF (108.81 SM)
 LIMITING DISTANCE: 4.02' (1.23 M)
 UNPROTECTED OPENING: 41.19 SF (12.55 SM)
 PROPOSED OPENING: 3.93%
 PERMITTED OPENINGS: 14.17%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
 SOUTH & NORTH
 ELEVATIONS B/W

PROJECT#	0035	SHEET	AC-4 .02
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

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REVISIONS
 Issued for DP/Permitting Aug 31, 2021
 DP/CP Public Comment Revisions MAY 12, 2022
 DT, CP, DP Revisions JULY 31, 2023



FRONT ELEVATION (WEST)
 UNIT C



BACK ELEVATION (EAST)
 UNIT C



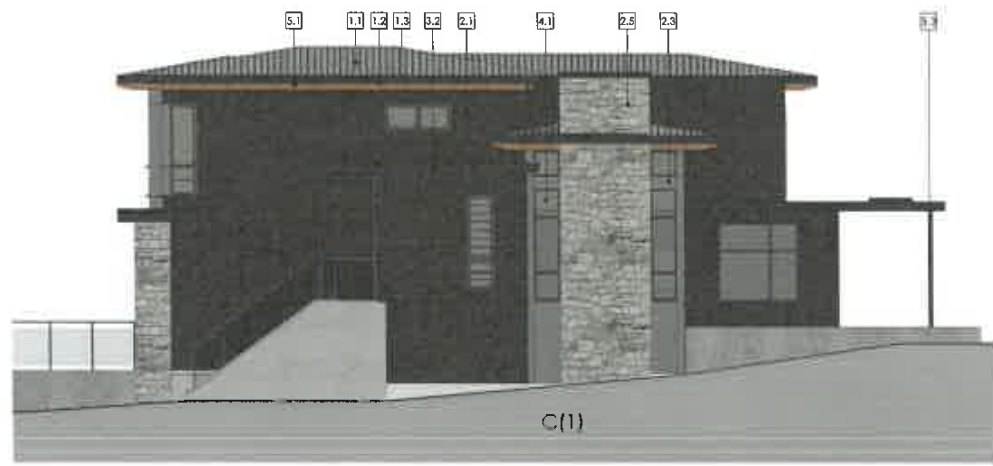
No	Material	Colour
1.1	Asph/Flt Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Charcoal Gray
1.3	Hardy Panel	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Iron Used	Light Gray
2.3	Iron Used	Light Gray
2.4	Iron Used	Light Gray
2.5	Iron Used	Light Gray
4.1	Entry Door	Wrought Iron BM - 2124 - 10
4.2	Window / Fascia / Barge Boards & Upstand	Wrought Iron BM - 2124 - 10
4.3	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.4	Entry door painted w/for exterior and finish	Steelwood - Old Master Gel Stain C/Hw Clear Top Coat - Special Walnut
4.5	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
4.6	Stainless steel quarter system c/hw	Charcoal Gray
5.1	Iron Used	Charcoal Gray
5.2	Iron Used	Charcoal Gray
5.3	Iron Used	Charcoal Gray



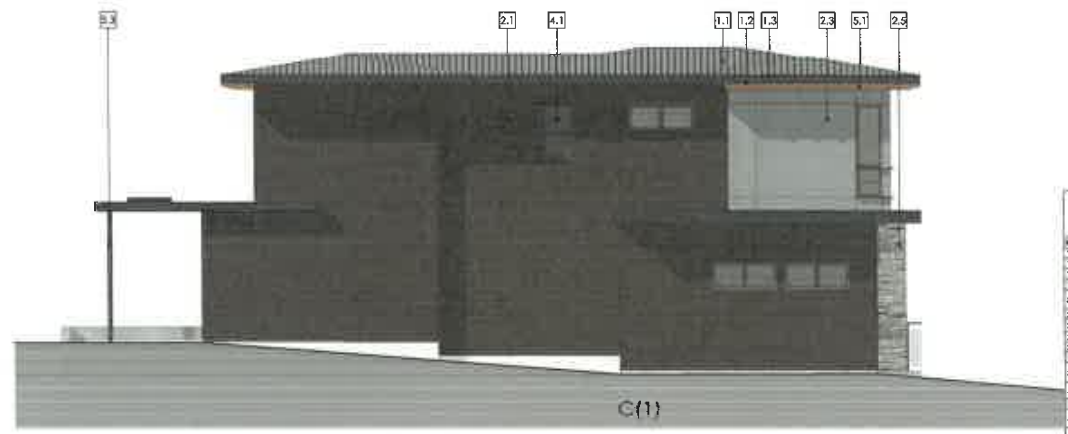
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT C

DRAWING
**FRONT & BACK
 ELEVATIONS**

PROJECT NO 8000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
**AC-4
 .03**



SOUTH ELEVATION
UNIT C



NORTH ELEVATION
UNIT C

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	"A" Water Roof	Charcoal Grey
1.2	Fibre Cement Soffit	Charcoal Grey
1.3	Water	Charcoal Grey
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trail
2.2	Not Used	
2.3	Hardy Panel	Light Mist
2.4	Not Used	
2.5	Stone	Charcoal Grey
3.1	Wrought Iron	Wrought Iron B&A-2124 - 10
3.2	Wrought Iron	Wrought Iron B&A-2124 - 10
4.1	Charcoal Grey	Charcoal Grey
4.2	Stainless Steel	Stainless Steel
4.3	Charcoal Grey	Charcoal Grey
4.4	Charcoal Grey	Charcoal Grey
5.1	Stainless Steel	Stainless Steel
5.2	Charcoal Grey	Charcoal Grey
5.3	Charcoal Grey	Charcoal Grey

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REVISIONS		
Revised for DR/Planning	Aug 31, 2021	
DR/2 Public Comment Revisions	MAY 12, 2022	
G1, G2, G3 Revisions	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
**SOUTH & NORTH
ELEVATIONS**

PROJECT	NO.	SHEET
	8000	AC-4
SCALE	1/2" = 1'-0"	.04
DATE	JULY 12, 2023	

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REVISIONS
Based for DP/Issuance Aug 31, 2021
DP/DP Public Comment Revisions MAY 12, 2023
61, 62, 63 Revisions JULY 31, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT C



SIDE ELEVATION - CAMERA VIEW
UNIT C



BACK ELEVATION - CAMERA VIEW
UNIT C



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT C

DRAWING
FRONT, BACK &
SIDE ELEVATIONS
- CAMERA VIEW

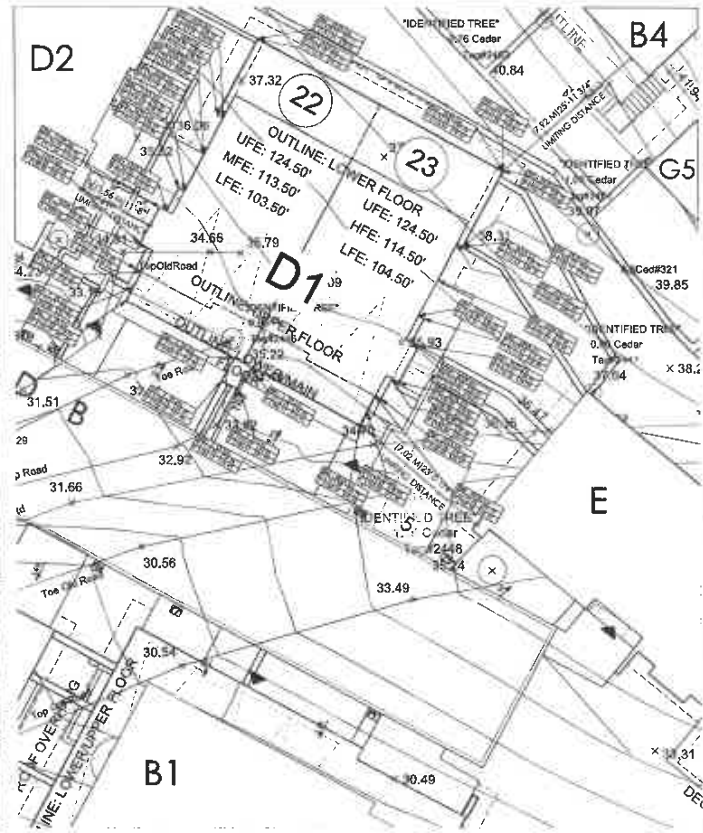
PROJECT#	800	SHEET
SCALE		AC-4
DATE	MAY 12, 2023	.05

I1 - AVERAGE FINISHED GRADE CALCULATION

Station #	Elevation	Station #	Elevation	Station #	Elevation	Station #	Elevation	Distance	Distance
1	104.0	2	104.17	104.32	0	0	416.48		
2	104.1	3	103.17	103.32	1	0	156.6		
3	103.1	4	103.1	103.17	3.96	309.31			
4	103.1	5	103.1	103.1	0	412.96			
5	103.1	6	103.17	103.32	18.50	189.9			
6	103.1	7	103.50	104.34	2.23	243.41			
7	103.1	8	103.50	104.34	2.23	251.37			
8	103.1	9	103.50	104.34	2.23	105			
9	103.1	10	103.50	103.50	3.26	374.74			
10	103.1	11	103.50	103.50	1.1	182.1			
11	103.1	12	112.33	106.42	6.3	692			
12	111	13	112.33	112.33	1.1	122.3			
13	111.2	14	112.33	112.33	4	445			
14	111.3	15	114.33	113.33	1	113.33			
15	111	16	112.33	112.33	2	692.81			
16	111.2	17	111.81	111.47	0	0			
17	111.81	18	111.81	111.81	6.4	423.81			
18	111.81	19	111.81	111.81	1.90	111.81			
19	111.81	20	111.81	111.81	13.80	1430.81			
20	111.81	21	114.49	115	0	0			
21	119.49	22	119.49	119	42.00	8018.1			
22	119.49	23	121.29	120	0	0			
23	121	24	118.11	119	0	0			
24	118.11	25	116.11	116.11	13	1636.4			
25	116.11	26	112.33	112.33	1	112.33			
26	112	27	112.33	112.33	1	112			
27	112.9	28	112.33	114.49	6.1	668.94			
28	112.3	29	112.33	112.33	1.1	702			
29	112.3	30	112.33	112.33	1.1	112.33			
30	111	31	112.33	112.33	1.1	443.33			
31	112	32	111	112.33	1.1	331.99			
32	112	33	106	106	6.3	896.43			
33	106.50	34	106	106	1.1	154.29			
34	106.50	35	106	106	1	378.29			
35	106.50	36	106	106	1	104.99			
36	106.50	37	106.50	106	2.5	284.94			
37	106.50	38	113.84	110.17	2.23	251.37			
38	110.54	39	104.07	104.96	18	2015.3			
Total					159	21106.24			
Avg Finish Grade						111.5			
Max. Min. (Station #)					29.81	141.37			

I2 - AVERAGE EXISTING GRADE CALCULATION

Station #	Elevation	Station #	Elevation	Station #	Elevation	Station #	Elevation	Distance	Distance
1	113	2	111	113	0	0	452.8		
2	112.9	3	112.9	112.9	0	0	333.56		
3	112.9	4	109	111.22	0	0	444.14		
4	109	5	112.28	111.64	2	246			
5	112.28	6	111.20	111.74	16	2097.1			
6	111.20	7	111.61	111.41	2.2	256.91			
7	111.61	8	112.28	111.96	2.8	294			
8	112.28	9	112.27	112.29	1.0	112.3			
9	112	10	113.30	112.44	1.3	426.55			
10	111	11	112.90	112.89	1.7	311.56			
11	111	12	114.25	113.81	0.5	223.10			
12	111	13	114	113.01	1.7	133.35			
13	114	14	115.83	114.89	4	458.96			
14	115.83	15	115	115	3	115.79			
15	115	16	118.21	118	0	118.21			
16	118.21	17	120.53	119	0	0			
17	120.53	18	120.79	120.61	6.1	128.97			
18	120	19	120.62	120.8	1	120.1			
19	120.62	20	121.73	121.1	13	1584			
20	121	21	121.73	121.73	0	0			
21	121	22	121.25	120.40	42	521.3			
22	121	23	121.25	121.25	0	0			
23	121.25	24	127.25	127.25	0	0			
24	127	25	127.2	126.46	11.3	1311.3			
25	126	26	125.7	125.73	0	0			
26	125.73	27	121.84	123	0	131.86			
27	123	28	121	122.83	8.17	126.97			
28	121.50	29	119	120.4	8.28	120.76			
29	119	30	119.63	119.54	1.5	119.54			
30	119.54	31	118.2	118	4	479.95			
31	118	32	116.31	116.27	1.1	136.01			
32	116.31	33	116.50	116.47	0.9	742.1			
33	116.50	34	116.47	116.50	1.1	135			
34	116.47	35	116.40	116.50	1.1	413			
35	116	36	116.40	116.47	1	116.47			
36	116	37	114.63	114.90	2.6	306.35			
37	114.63	38	113.84	114.16	1.1	251.37			
38	113.84	39	113	113.92	18	2103.58			
Total					189.2	22470.1			
Avg Existing Grade						118.72			
Max. Min. (Station #)					29.85	143.50			



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - D1 (1)

Lower	Main	Upper
115.55 m	114.58 m	113.95 m
103.87	113.50	114.50

TOP OF FINISH FLOOR - D1 (2)

Lower	Main	Upper
115.85 m	114.88 m	113.95 m
104.57	114.67	114.50



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PREVIOUS EDITIONS
Issued for CP/Planning
CP/CP Public Comment Revisions
01, 02, 03, 04 Revisions

Aug 31, 2021
MAY 12, 2022
JUL 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D1

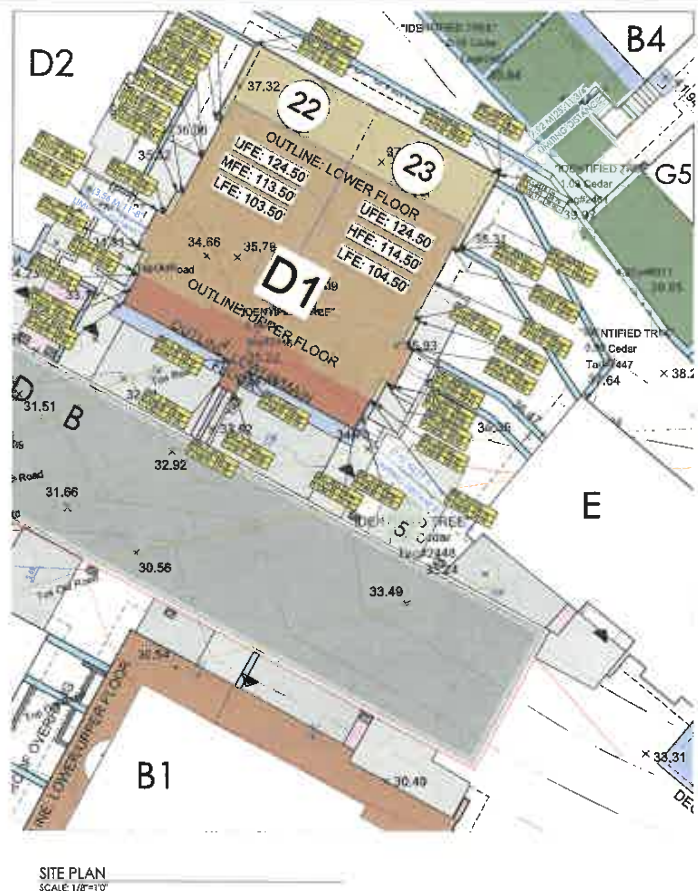
DRAWING
SITE PLAN

PROJECT NO. 0000
SCALE 1/8"=1'-0"
DATE MAY 12, 2023

SHEET
AD1-1.01

D1 - AVERAGE FINISHED GRADE CALCULATION						
Station	Station	Station	Elevation	Dist	A x Distance	
1	104.0	2	104.17	104.1	0.17	416.48
2	104.1	3	103.17	103.27	1.07	6.09
3	103.1	4	103.17	103.17	0.07	206.31
4	103.1	5	103.17	103.1	-0.07	41.68
5	103.1	6	103.17	103.1	-0.07	190.00
6	103.1	7	103.50	104.34	0.84	243.41
7	103.1	8	103.50	103.5	0.4	241.37
8	103.1	9	103.50	103.5	0.4	108.50
9	103.1	10	103.50	103.5	0.4	274.74
10	103.1	11	103.50	103.5	0.4	122.12
11	103.1	12	111.33	108.4	5.37	562.91
12	111.33	13	111.33	111.30	-0.03	190.82
13	111.33	14	111.33	111.30	-0.03	111.31
14	111.33	15	111.33	111.30	-0.03	111.31
15	111.33	16	111.33	111.30	-0.03	895.81
16	111.33	17	111.81	111.47	0.14	893.81
17	111.81	18	111.81	111.81	0.0	111.81
18	111.81	19	111.81	111.81	0.0	109.50
19	111.81	20	111.81	111.81	0.0	109.50
20	111.81	21	116.68	115.56	1.12	562.91
21	116.68	22	116.68	116.68	0.0	6.00
22	116.68	23	116.68	116.70	0.02	6.00
23	116.68	24	116.11	116.70	0.02	155.61
24	116.11	25	116.11	116.11	0.0	155.61
25	116.11	26	112.82	115.37	1.26	6.00
26	112.82	27	112.82	112.82	0.0	112.82
27	112.82	28	112.82	112.82	0.0	886.84
28	112.82	29	112.82	112.82	0.0	100.00
29	112.82	30	112.82	112.82	0.0	112.82
30	112.82	31	112.33	112.33	0.0	446.32
31	112.33	32	112.33	112.33	0.0	33.09
32	112.33	33	106.90	106.90	5.43	860.41
33	106.90	34	106.90	106.90	0.0	124.20
34	106.90	35	106.90	106.90	0.0	278.80
35	106.90	36	106.90	106.90	0.0	106.90
36	106.90	37	106.90	106.90	0.0	204.04
37	106.90	38	113.84	110.11	3.73	871.00
38	113.84	39	113.84	113.84	0.0	2015.0
Total				188		2181
Avg Finish Grade						111.62
Max. Diff. from P.C.						141.37

D1 - AVERAGE EXISTING GRADE CALCULATION						
Station	Station	Station	Elevation	Dist	A x Distance	
1	113	2	113	113	0	452
2	112	3	112	112	0	0
3	112	4	108	111	1	0
4	109	5	112	111.24	1.24	444.14
5	112.28	6	111	111.74	1.28	2087.81
6	111	7	111.81	111.51	2.29	2082.81
7	111.81	8	112.28	111.80	2.6	61.7
8	112.28	9	112.3	112.28	1.3	112.28
9	112.3	10	113	112.24	1.3	600.00
10	113	11	112	112.86	1.3	191
11	112.86	12	114.33	113.61	6.3	370.1
12	114.33	13	114	114.27	1.1	183.36
13	114.27	14	115.84	114.96	1.1	488
14	115.84	15	115	115.78	1.1	115
15	115.78	16	115.83	116.41	6.2	738.81
16	115.83	17	115.83	115.83	0.0	0
17	115.83	18	110.76	110.96	6.1	738.81
18	110.96	19	110.76	110.76	0.0	110
19	110.76	20	110.76	110.76	0.0	110.76
20	110.76	21	110.76	110.76	0.0	0
21	110.76	22	112.28	112.48	4.2	520.0
22	112.48	23	112.28	112.28	0.0	0
23	112.28	24	112.28	112.28	0.0	0
24	112.28	25	112.28	112.28	0.0	0
25	112.28	26	113.79	113.46	5.3	1811.1
26	113.46	27	113.79	113.79	0.0	0
27	113.79	28	113.79	113.79	0.0	113.79
28	113.79	29	113.79	113.79	0.0	113.79
29	113.79	30	113.79	113.79	0.0	113.79
30	113.79	31	118.23	118.90	4.1	812.80
31	118.90	32	118.23	118.27	1.1	138.56
32	118.27	33	118.32	117.42	6.3	742.26
33	117.42	34	118.47	118.50	1.1	133.89
34	118.50	35	115.46	115.06	3.1	115.46
35	115.46	36	118.44	118.47	1.0	118.47
36	118.47	37	114.43	114.04	2.2	398.52
37	114.04	38	113.84	114.14	2.3	264.28
38	113.84	39	113.76	113.82	1.8	2105.98
Total				189.25		22470.86
Avg Existing Grade						118.72
Max. Diff. from P.C.						149.28



TOP OF FINISH FLOOR - D1 (E)		
Station	Station	Elevation
118.50	118.50	118.50
118.50	118.50	118.50

TOP OF FINISH FLOOR - D1 (N)		
Station	Station	Elevation
118.50	118.50	118.50
118.50	118.50	118.50



These plans remain the ownership of Sterling Pacific

REVISIONS
 Work for DP/Rezoning Aug 31, 2021
 D1/D2 Public Comment Revisions MAY 13, 2022
 D1, D2, D3 Revisions JUN 13, 2023



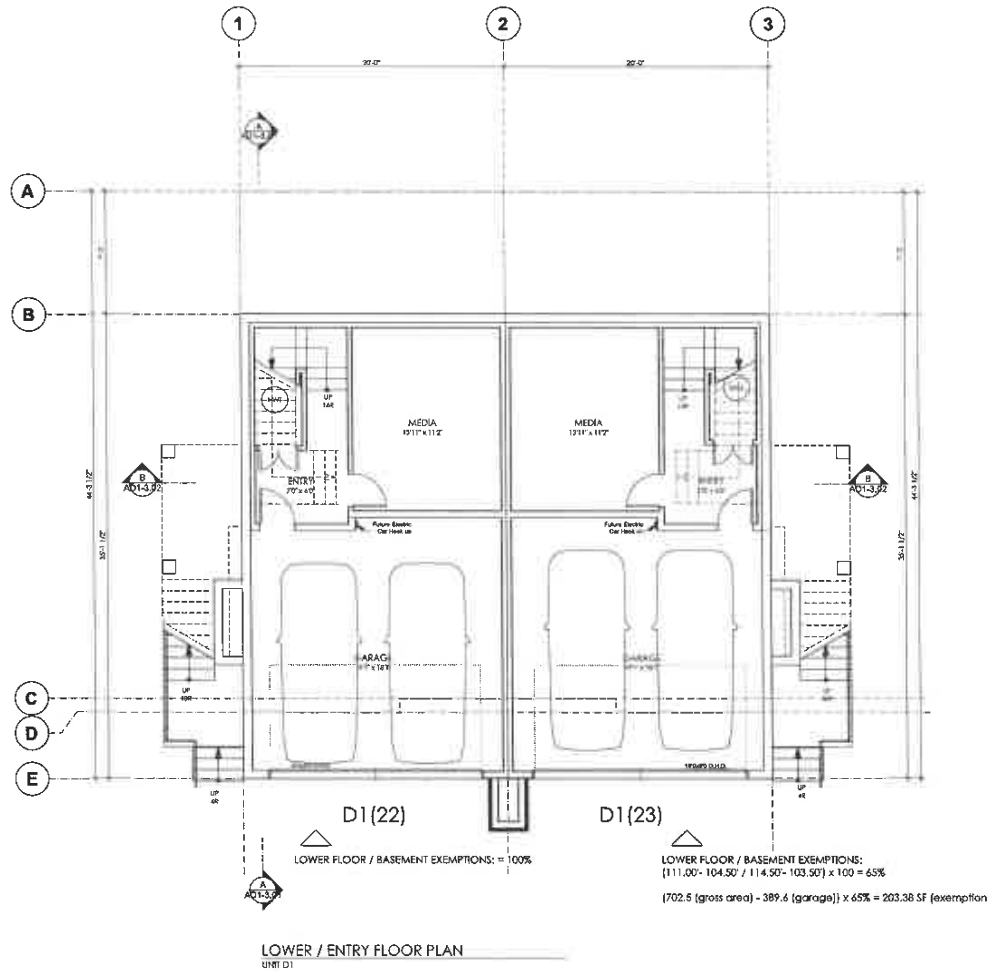
PROJECT
AQUILA
 AFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D1

DRAWING
SITE PLAN

PROJECT# 0030 SHEET
 SCALE 1/8"=1'-0" **AD1-1.01**
 DATE MAY 13, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Reasoning Aug 31, 2021
 DRCP Public Comment Revisions MAY 11, 2020
 D1, D2, D3 Revisions MAY 14, 2020



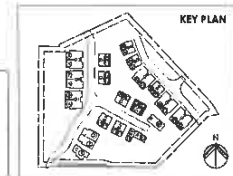
LOWER / ENTRY FLOOR PLAN
 UNIT D1

UNIT 22 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	702.5 SF	791.4 SF	804.6 SF	3298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	372.9 SF	0.0 SF	0.0 SF	372.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.4 SF	804.6 SF	1596.0 SF

UNIT 22 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	45.25M	75.55M	74.75M	293.45M
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASEMENT EXCLUSIONS 100%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	75.55M	74.75M	148.30M

UNIT 23 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	702.5 SF	791.4 SF	804.6 SF	3298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	372.9 SF	0.0 SF	0.0 SF	372.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	129.5 SF	791.4 SF	804.6 SF	1925.5 SF

UNIT 23 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	45.25M	75.55M	74.75M	293.45M
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASEMENT EXCLUSIONS 100%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	10.55M	75.55M	74.75M	158.85M



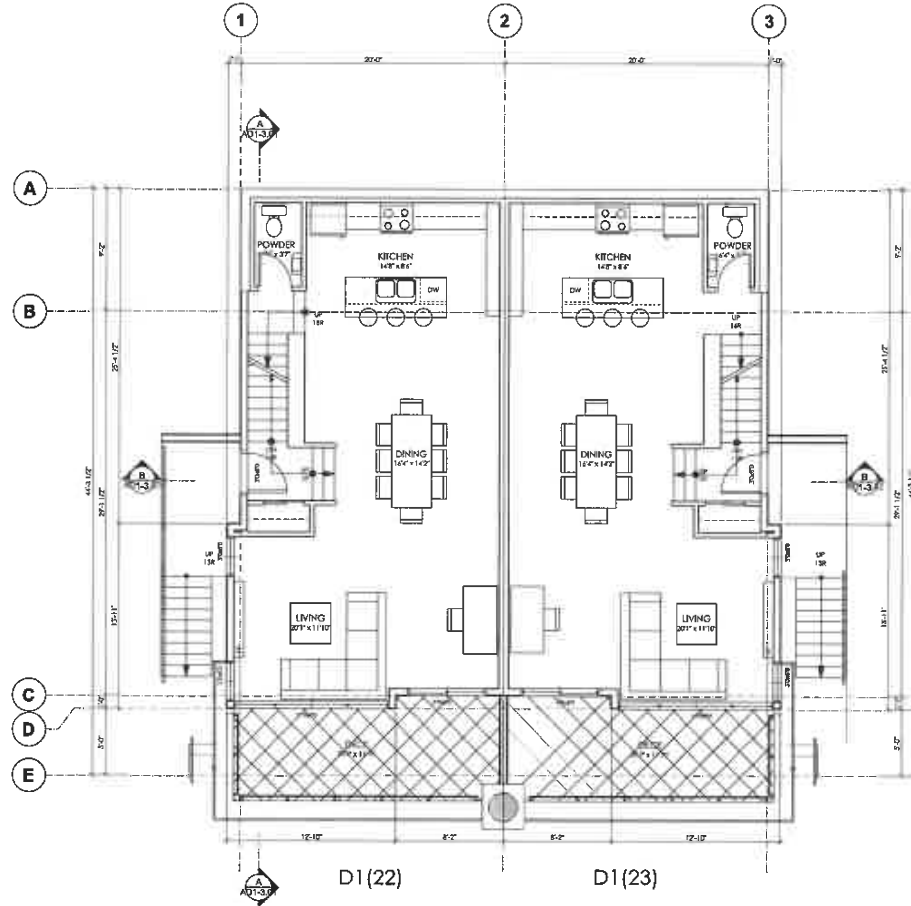
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
LOWER FLOOR PLAN

PROJECT NO. 200
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2021
AD1-2.01

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REVISIONS
 Moved for DPF Reporting Aug 31, 2022
 CRD Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2022

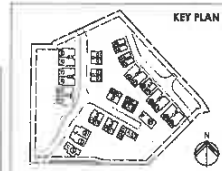


MAIN FLOOR PLAN
 UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
MAIN FLOOR PLAN



UNIT 22 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
	GROSS	722.5 SF	771.4 SF	
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASINMENT EXCLUSIONS 60%	312.5 SF	0.0 SF	0.0 SF	312.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	8.0 SF	8.0 SF
NET	0.0 SF	771.4 SF	804.4 SF	1576.8 SF

UNIT 22 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
	GROSS	65.33M	73.55M	
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASINMENT EXCLUSIONS 60%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.93M	0.93M
NET	0.00M	73.55M	74.75M	148.30M

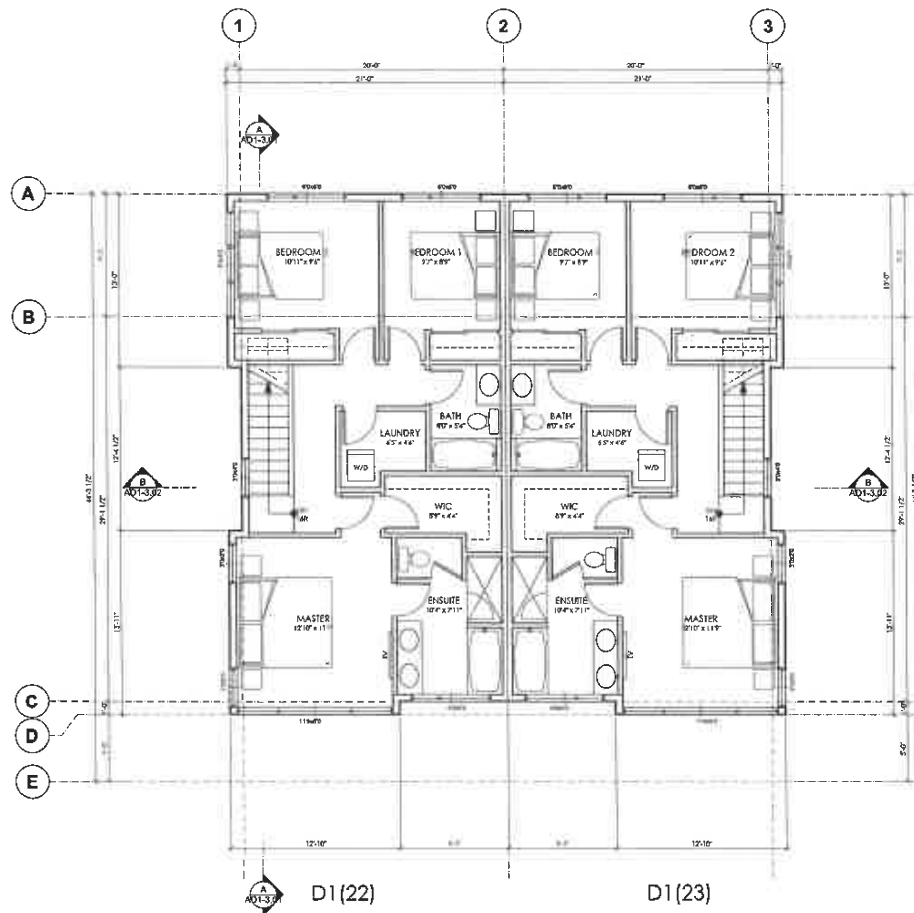
UNIT 23 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
	GROSS	702.5 SF	791.4 SF	
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASINMENT EXCLUSIONS 60%	303.3 SF	0.0 SF	0.0 SF	303.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	8.0 SF	8.0 SF
NET	109.6 SF	791.4 SF	804.4 SF	1705.4 SF

UNIT 23 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
	GROSS	65.33M	73.55M	
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASINMENT EXCLUSIONS 60%	28.00M	0.00M	0.00M	28.00M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.93M	0.93M
NET	10.25M	73.55M	74.75M	158.55M

PROJECT# 8000 SHEET
AD1-2.02
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022

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REVISIONS
 Issued for O/P/Signaling Aug. 31, 2021
 D1/2 Public Comment Revisions MAY 12, 2022
 D1, D2, D3 Revisions JULY 31, 2023



UPPER FLOOR PLAN
 UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

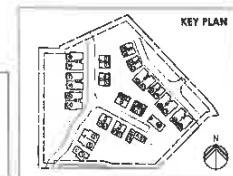
DRAWING
 UPPER FLOOR PLAN

UNIT 22 FLOOR AREAS IMPERIAL	LEVEL			TOTAL
	1.00 FT	2.10 FT	3.30 FT	
GROSS	702.5 SF	771.6 SF	824.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.5 SF	0.0 SF	0.0 SF	389.5 SF
BASEMENT EXCLUSIONS TYP	312.7 SF	0.0 SF	0.0 SF	312.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	313.0 SF	771.6 SF	824.6 SF	1909.2 SF

UNIT 22 FLOOR AREAS METRIC	LEVEL			TOTAL
	1.50 M	2.50 M	3.50 M	
GROSS	65.3 SM	72.5 SM	74.7 SM	212.5 SM
GARAGE EXCLUSIONS	34.2 SM	0.0 SM	0.0 SM	34.2 SM
BASEMENT EXCLUSIONS TYP	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	31.1 SM	72.5 SM	74.7 SM	178.3 SM

UNIT 23 FLOOR AREAS IMPERIAL	LEVEL			TOTAL
	1.00 FT	2.10 FT	3.30 FT	
GROSS	702.5 SF	771.6 SF	824.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.5 SF	0.0 SF	0.0 SF	389.5 SF
BASEMENT EXCLUSIONS TYP	312.7 SF	0.0 SF	0.0 SF	312.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	313.0 SF	771.6 SF	824.6 SF	1909.2 SF

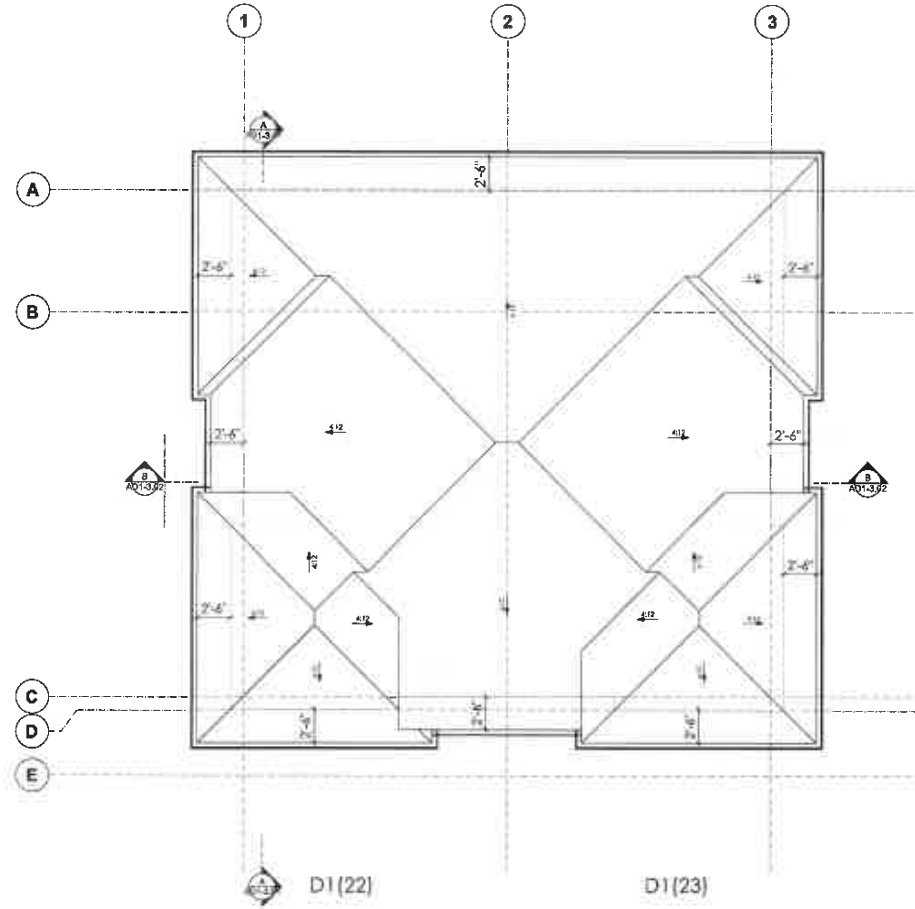
UNIT 23 FLOOR AREAS METRIC	LEVEL			TOTAL
	1.50 M	2.50 M	3.50 M	
GROSS	65.3 SM	72.5 SM	74.7 SM	212.5 SM
GARAGE EXCLUSIONS	34.2 SM	0.0 SM	0.0 SM	34.2 SM
BASEMENT EXCLUSIONS TYP	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	31.1 SM	72.5 SM	74.7 SM	178.3 SM



PROJECT: AQUILA
 SHEET: AD1-2.03
 SCALE: 1/4" = 1'-0"
 DATE: MAY 12, 2022

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REVISIONS
Based for DFR/Revising Aug 31, 2021
DRGJ/Plat: Comment Revisions MAY 12, 2022
D1, G2, G3 Revisions JULY 31, 2022



ROOF PLAN
UNIT D1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT D1

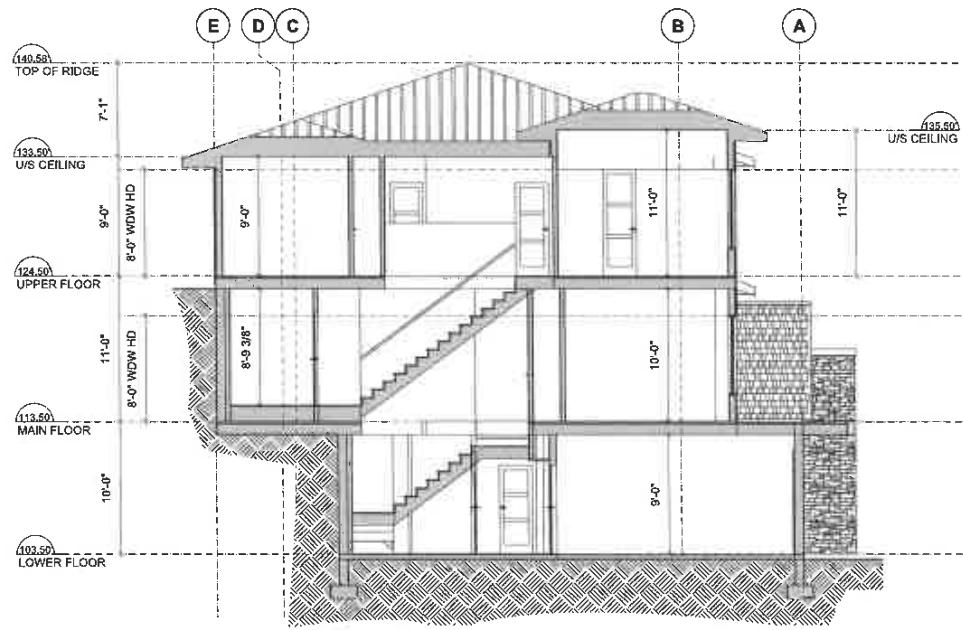
DRAWING
ROOF PLAN



PROJECT#	0020	SHEET	AD1-2.04
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2022		

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REVISIONS
 Issued for DR/Expiring Aug. 31, 2021
 DR/CI Public Consult Revisions MAY 12, 2023
 01, 02, 03 Revisions JUN 31, 2023



A SECTION A
 Scale: 1/4" = 1'-0"



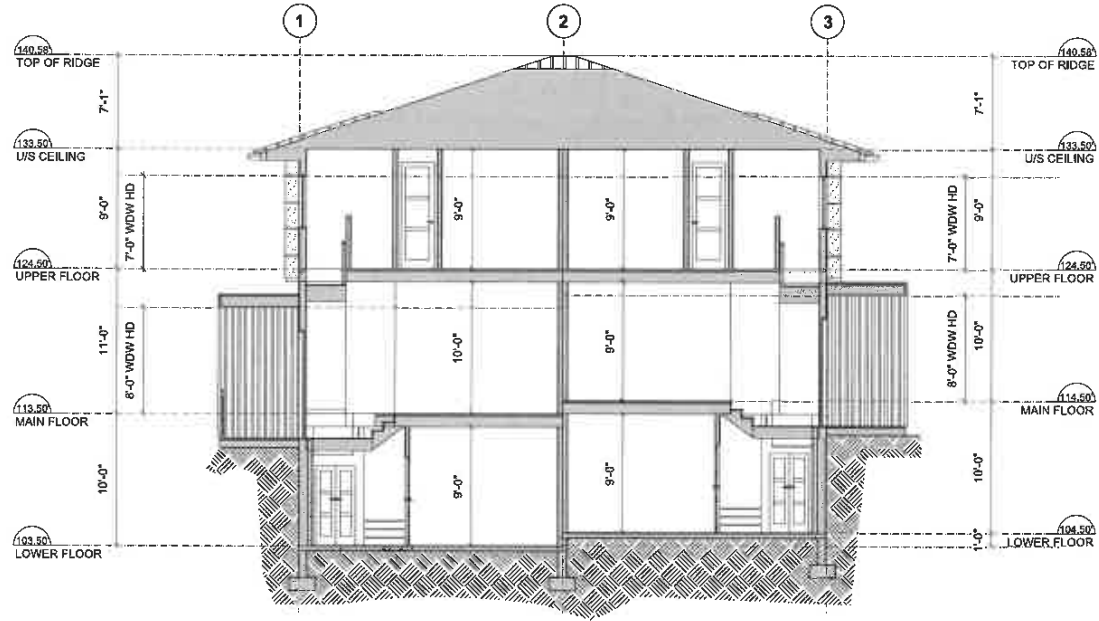
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
 SECTION A-A

PROJECT	SHEET
3006	AD1-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

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REVISIONS	
Issued for DFP/Permitting	Aug 31, 2021
ENRCP Public Comment Revisions	MAY 12, 2022
SI, OS, OS Revisions	JAN 31, 2023



B Section B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT D1

DRAWING
SECTION B-B

PROJECT#	SHEET
8000	AD1-
SCALE	3.02
DATE	MAY 12, 2022

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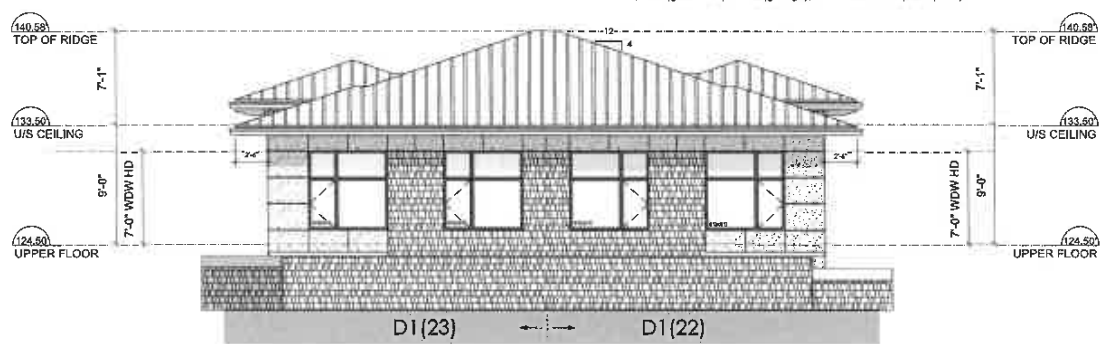
REVISIONS
 Issued for DP/Planning Aug 31, 2021
 DP/Planning Comment Response MAY 12, 2022
 01, 02, 03 Resubmits JUL 31, 2023



FRONT ELEVATION
UNIT 01

LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (111.00'-104.50' / 114.50'-103.50') x 100 = 65%
 (702.5 (gross area) - 389.6 (garage)) x 65% = 203.38 SF (exemption)



BACK ELEVATION
UNIT 01



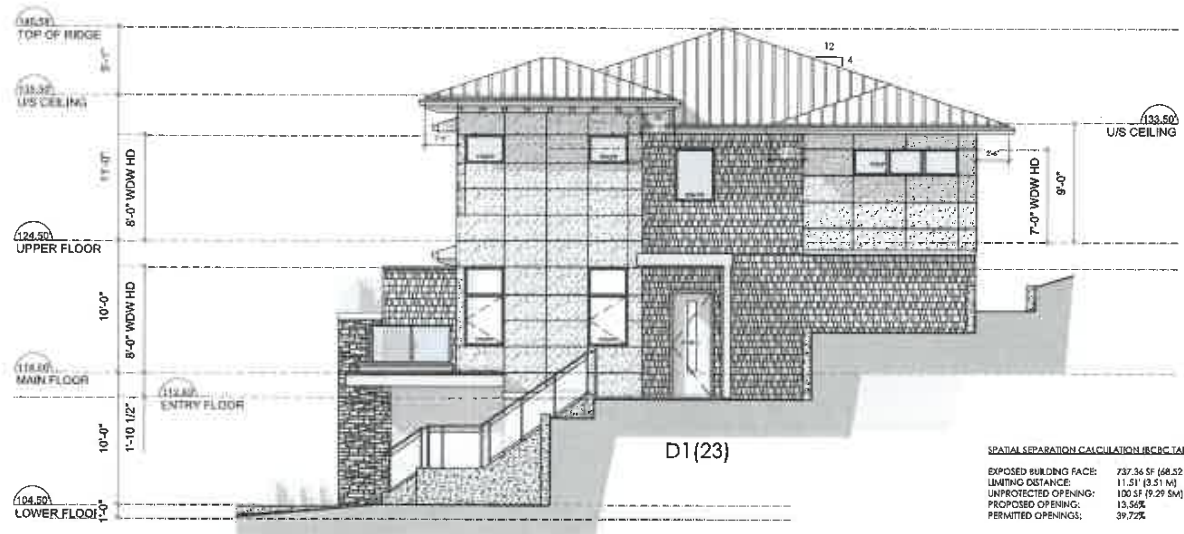
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT 01

DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT#	0030	SHEET	AD1-4.01
SCALE	3/4" = 1'-0"	DATE	
DATE	MAY 12, 2023		

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REVISIONS
 Issued For DFP/Planning Aug 21, 2021
 DPCZ Health Command Reviews MAY 12, 2022
 01, 02, 03 Reviews JULY 31, 2022

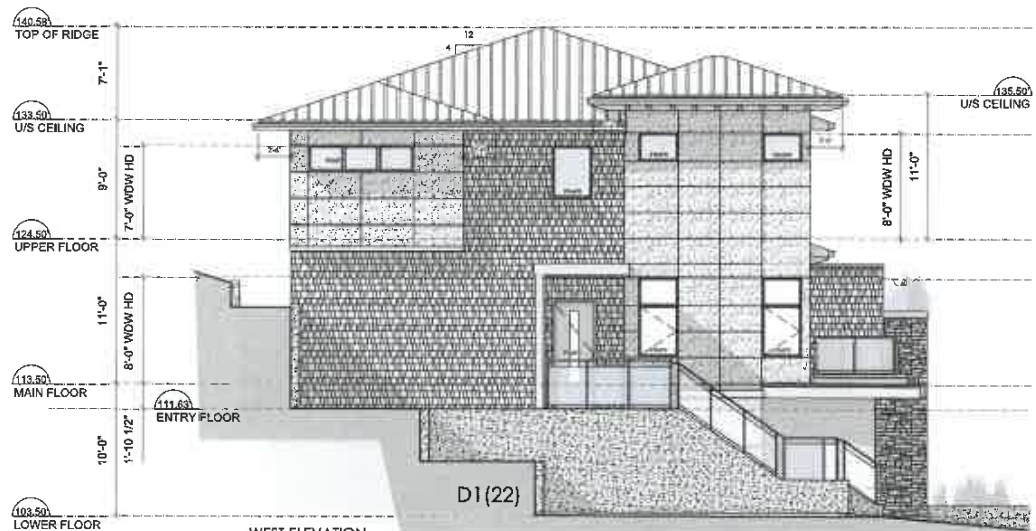


D1(23)

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D1)

EXPOSED BUILDING FACE:	737.36 SF (68.32 SM)
LIMITING DISTANCE:	11.51' (3.51 M)
UNPROTECTED OPENING:	100 SF (9.29 SM)
PROPOSED OPENING:	13.56%
PERMITTED OPENINGS:	39.72%

EAST ELEVATION
UNIT D1



D1(22)

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D1)

EXPOSED BUILDING FACE:	1100.86 SF (102.27 SM)
LIMITING DISTANCE:	5.84' (1.78 M)
UNPROTECTED OPENING:	100 SF (9.29 SM)
PROPOSED OPENING:	9.08%
PERMITTED OPENINGS:	17.47%

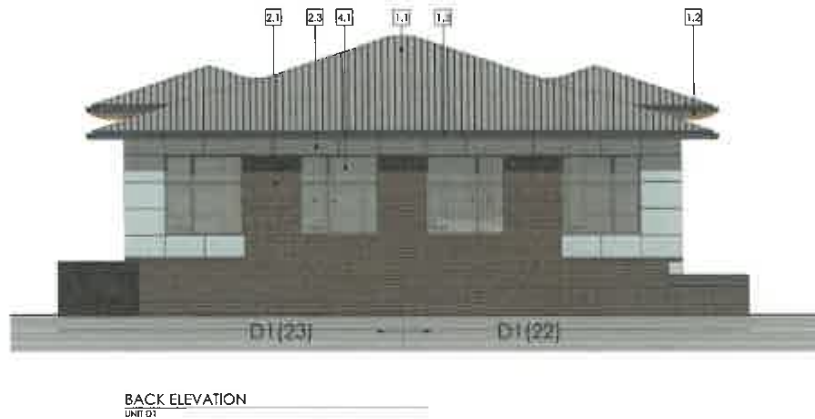
WEST ELEVATION
UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT D1

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT	SHEET
8000	AD1-
SCALE	4.02
DATE	MAY 12, 2022



AQUILA EXTERIOR MATERIAL SCHEDULE	
Material	Colour
1.1 1/2" x 4" Metal Roof	Charcoal Gray
1.2 Fibre Cement Soffit	Roofmate - Blue HC-105
1.3 Gutter	Charcoal Gray
2.1 Fibre Cement Shingles	Woodstone Plastic Series Carbon Trails
2.2 Not used	
2.3 Metal Panel	Light metal
2.4 Not used	
2.5 Stone	Random Granite
3.1 Soffit - Rockport Gray BM - HC - 105	Wrought Iron BM - 2124 - 10
3.2 Balcony - Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1 Fibre Cement Shingles	Charcoal Gray
4.2 Entry door stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3 Window / Fascia / Barge Boards & Upstand - Charcoal Gray	Charcoal Gray
4.4 Soffit - Rockport Gray BM - HC - 105	Charcoal Gray
5.1 Fibre Cement Shingles	Charcoal Gray
5.2 Entry door stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.3 Fibre Cement Shingles	Charcoal Gray

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REVISIONS
 Based for DR/Permitting Aug. 31, 2021
 DR/ Public Comment Review MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



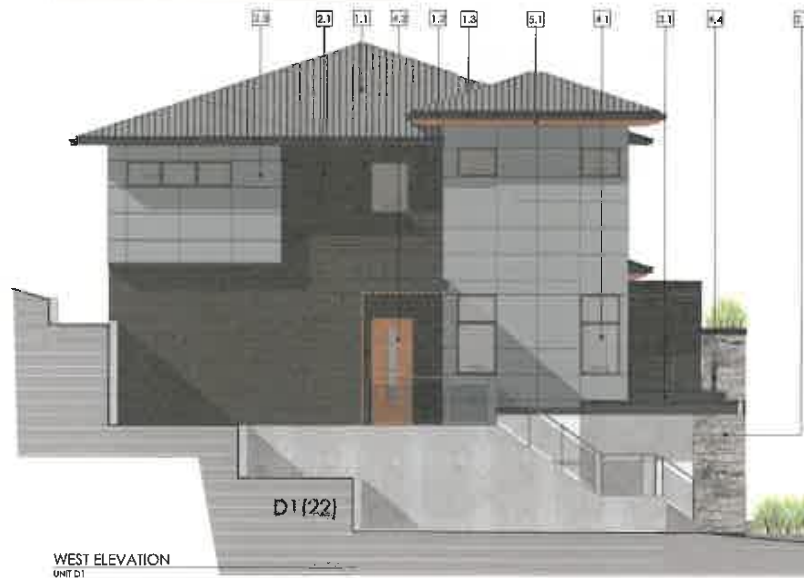
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D1

RAWING
FRONT & BACK ELEVATIONS

PROJECT# 0000 SHEET
 SCALE 1/4" = 1'-0" **AD1-**
 DATE MAY 12, 2023 **4.03**

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REVISIONS
 Based on DDP/Planning Aug 31, 2021
 DRCD Public Comment Revisions MAY 12, 2022
 D1: 02, 03 Revisions JULY 21, 2022



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Grey
1.2	Fibre Cement Soffit	Blackout - BK-10105
1.3	Gutter	Charcoal Grey
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Ink
2.2	Not Used	
2.3	Stony Panel	Light Ink
2.4	Not Used	
2.5	None	Random Granite
3.1	Upper - any colour - pre- cast concrete	Wrought Iron BK-2124 - 10
3.2	Lower - any colour - pre- cast concrete	Wrought Iron BK-2124 - 10
4.1	Interior - any colour - pre- cast concrete	Charcoal Grey
4.2	Shiny door post/step frame and trim	Stainless - Old Master Gel Stain ch slate lap post - Special Walnut
4.3	Interior - any colour - pre- cast concrete	Charcoal Grey
4.4	Location global guardrail system ch slate cap	Charcoal Grey
5.1	Interior - any colour - pre- cast concrete	Stainless - Old Master Gel Stain ch slate lap post - Special Walnut
5.2	Interior - any colour - pre- cast concrete	Charcoal Grey
5.3	Interior - any colour - pre- cast concrete	Charcoal Grey

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT# 8020 SHEET
 SCALE 1/4" = 1'-0" **AD1-
 4.04**
 DATE MAY 12, 2022

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REVISIONS
 Based for DP/Permitting Aug 31, 2021
 DRCA Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions MAY 31, 2022



FRONT ELEVATION - CAMERA VIEW
 UNIT D1



SIDE ELEVATION - CAMERA VIEW
 UNIT D1



BACK ELEVATION - CAMERA VIEW
 UNIT D1



SIDE ELEVATION - CAMERA VIEW
 UNIT D1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D1

DRAWING
 FRONT, BACK
 SIDE ELEVATIONS

PROJECT#	0030	SHEET	AD1-4.05
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2022		

- AVERAGE FINISHED GRADE CALCULATION							
#	Elevation	Ref #	Area	Elevation	Area	Distance	
1	98.17	2	88.1	99.17	4	398.58	
2	99.17	5	98.1	99.17	3	297.51	
3	99.17	8	99.0	99.17	5	495.85	
4	98.87	9	98.8	98.87	6	592.82	
5	98.87	6	98.8	98.87	18	1,779.66	
6	99.87	7	100.78	84.71	5	492.50	
7	100.78	8	100.78	100.78	5	503.90	
8	100.78	9	100.78	100.78	1	117.98	
9	100.78	10	100.78	100.78	1	117.98	
10	100.78	11	108.30	118	6.37	686.84	
11	98.87	12	88.1	130	3.1	324.4	
12	98.87	13	88.1	130	3.1	324.4	
13	98.87	14	88.1	130	3.1	324.4	
14	98.87	15	106.3	106	6.21	669.81	
15	98.87	16	118.3	121.84	3.97	430.5	
16	106.52	17	118	128	6.1	675.71	
17	106.52	18	88.1	130	4.9	528.54	
18	106.52	19	117	115	2.0	213.11	
19	117.4	20	118.3	118.16	13.00	1,443.60	
20	118.3	21	118.3	118.3	42.00	4,965.24	
21	118.3	22	118	118.16	0.00	0	
22	118.3	23	118	118.16	0.00	0	
23	117.4	24	111.81	111.81	5.09	562	
24	111.81	25	107.84	108.83	6.81	736.84	
25	107.84	26	107	107.84	4.81	516.84	
26	107.84	27	107	107.84	1	107.84	
27	107.84	28	107	107.84	5.1	546.84	
28	107.84	29	107.1	108.1	6.1	652.41	
29	107.84	30	107.1	108.1	6.1	652.41	
30	107.84	31	108.1	108.1	1	108.1	
31	108.17	32	108.1	108.17	4.36	470	
32	108.17	33	108.1	108.1	6.1	652.41	
33	108.17	34	107	108.1	6.1	652.41	
34	108.17	35	107	108.1	6.1	652.41	
35	108.17	36	107	108.1	6.1	652.41	
36	108.17	37	107	108.1	6.1	652.41	
37	108.17	38	107	108.1	6.1	652.41	
38	108.17	39	107	108.1	6.1	652.41	
39	108.17	40	107	108.1	6.1	652.41	
40	108.17	41	107	108.1	6.1	652.41	
41	108.17	42	107	108.1	6.1	652.41	
42	108.17	43	107	108.1	6.1	652.41	
43	108.17	44	107	108.1	6.1	652.41	
44	108.17	45	107	108.1	6.1	652.41	
45	108.17	46	107	108.1	6.1	652.41	
46	108.17	47	107	108.1	6.1	652.41	
47	108.17	48	107	108.1	6.1	652.41	
48	108.17	49	107	108.1	6.1	652.41	
49	108.17	50	107	108.1	6.1	652.41	
50	108.17	51	107	108.1	6.1	652.41	
51	108.17	52	107	108.1	6.1	652.41	
52	108.17	53	107	108.1	6.1	652.41	
53	108.17	54	107	108.1	6.1	652.41	
54	108.17	55	107	108.1	6.1	652.41	
55	108.17	56	107	108.1	6.1	652.41	
56	108.17	57	107	108.1	6.1	652.41	
57	108.17	58	107	108.1	6.1	652.41	
58	108.17	59	107	108.1	6.1	652.41	
59	108.17	60	107	108.1	6.1	652.41	
60	108.17	61	107	108.1	6.1	652.41	
61	108.17	62	107	108.1	6.1	652.41	
62	108.17	63	107	108.1	6.1	652.41	
63	108.17	64	107	108.1	6.1	652.41	
64	108.17	65	107	108.1	6.1	652.41	
65	108.17	66	107	108.1	6.1	652.41	
66	108.17	67	107	108.1	6.1	652.41	
67	108.17	68	107	108.1	6.1	652.41	
68	108.17	69	107	108.1	6.1	652.41	
69	108.17	70	107	108.1	6.1	652.41	
70	108.17	71	107	108.1	6.1	652.41	
71	108.17	72	107	108.1	6.1	652.41	
72	108.17	73	107	108.1	6.1	652.41	
73	108.17	74	107	108.1	6.1	652.41	
74	108.17	75	107	108.1	6.1	652.41	
75	108.17	76	107	108.1	6.1	652.41	
76	108.17	77	107	108.1	6.1	652.41	
77	108.17	78	107	108.1	6.1	652.41	
78	108.17	79	107	108.1	6.1	652.41	
79	108.17	80	107	108.1	6.1	652.41	
80	108.17	81	107	108.1	6.1	652.41	
81	108.17	82	107	108.1	6.1	652.41	
82	108.17	83	107	108.1	6.1	652.41	
83	108.17	84	107	108.1	6.1	652.41	
84	108.17	85	107	108.1	6.1	652.41	
85	108.17	86	107	108.1	6.1	652.41	
86	108.17	87	107	108.1	6.1	652.41	
87	108.17	88	107	108.1	6.1	652.41	
88	108.17	89	107	108.1	6.1	652.41	
89	108.17	90	107	108.1	6.1	652.41	
90	108.17	91	107	108.1	6.1	652.41	
91	108.17	92	107	108.1	6.1	652.41	
92	108.17	93	107	108.1	6.1	652.41	
93	108.17	94	107	108.1	6.1	652.41	
94	108.17	95	107	108.1	6.1	652.41	
95	108.17	96	107	108.1	6.1	652.41	
96	108.17	97	107	108.1	6.1	652.41	
97	108.17	98	107	108.1	6.1	652.41	
98	108.17	99	107	108.1	6.1	652.41	
99	108.17	100	107	108.1	6.1	652.41	
100	108.17	101	107	108.1	6.1	652.41	
101	108.17	102	107	108.1	6.1	652.41	
102	108.17	103	107	108.1	6.1	652.41	
103	108.17	104	107	108.1	6.1	652.41	
104	108.17	105	107	108.1	6.1	652.41	
105	108.17	106	107	108.1	6.1	652.41	
106	108.17	107	107	108.1	6.1	652.41	
107	108.17	108	107	108.1	6.1	652.41	
108	108.17	109	107	108.1	6.1	652.41	
109	108.17	110	107	108.1	6.1	652.41	
110	108.17	111	107	108.1	6.1	652.41	
111	108.17	112	107	108.1	6.1	652.41	
112	108.17	113	107	108.1	6.1	652.41	
113	108.17	114	107	108.1	6.1	652.41	
114	108.17	115	107	108.1	6.1	652.41	
115	108.17	116	107	108.1	6.1	652.41	
116	108.17	117	107	108.1	6.1	652.41	
117	108.17	118	107	108.1	6.1	652.41	
118	108.17	119	107	108.1	6.1	652.41	
119	108.17	120	107	108.1	6.1	652.41	
120	108.17	121	107	108.1	6.1	652.41	
121	108.17	122	107	108.1	6.1	652.41	
122	108.17	123	107	108.1	6.1	652.41	
123	108.17	124	107	108.1	6.1	652.41	
124	108.17	125	107	108.1	6.1	652.41	
125	108.17	126	107	108.1	6.1	652.41	
126	108.17	127	107	108.1	6.1	652.41	
127	108.17	128	107	108.1	6.1	652.41	
128	108.17	129	107	108.1	6.1	652.41	
129	108.17	130	107	108.1	6.1	652.41	
130	108.17	131	107	108.1	6.1	652.41	
131	108.17	132	107	108.1	6.1	652.41	
132	108.17	133	107	108.1	6.1	652.41	
133	108.17	134	107	108.1	6.1	652.41	
134	108.17	135	107	108.1	6.1	652.41	
135	108.17	136	107	108.1	6.1	652.41	
136	108.17	137	107	108.1	6.1	652.41	
137	108.17	138	107	108.1	6.1	652.41	
138	108.17	139	107	108.1	6.1	652.41	
139	108.17	140	107	108.1	6.1	652.41	
140	108.17	141	107	108.1	6.1	652.41	
141	108.17	142	107	108.1	6.1	652.41	
142	108.17	143	107	108.1	6.1	652.41	
143	108.17	144	107	108.1	6.1	652.41	
144	108.17	145	107	108.1	6.1	652.41	
145	108.17	146	107	108.1	6.1	652.41	
146	108.17	147	107	108.1	6.1	652.41	
147	108.17	148	107	108.1	6.1	652.41	
148	108.17	149	107	108.1	6.1	652.41	
149	108.17	150	107	108.1	6.1	652.41	
150	108.17	151	107	108.1	6.1	652.41	
151	108.17	152	107	108.1	6.1	652.41	
152	108.17	153	107	108.1	6.1	652.41	
153	108.17	154	107	108.1	6.1	652.41	
154	108.17	155	107	108.1	6.1	652.41	
155	108.17	156	107	108.1	6.1	652.41	
156	108.17	157	107	108.1	6.1	652.41	
157	108.17	158	107	108.1	6.1	652.41	
158	108.17	159	107	108.1	6.1	652.41	
159	108.17	160	107	108.1	6.1	652.41	
160	108.17	161	107	108.1	6.1	652.41	
161	108.17	162	107	108.1	6.1	652.41	
162	108.17	163	107	108.1	6.1	652.41	
163	108.17	164	107	108.1	6.1	652.41	
164	108.17	165	107	108.1	6.1	652.41	
165	108.17	166	107	108.1	6.1	652.41	
166	108.17	167	107	108.1	6.1	652.41	
167	108.17	168	107	108.1	6.1	652.41	
168	108.17	169	107	108.1	6.1	652.41	
169	108.17	170	107	108.1	6.1	652.41	
170	108.17	171	107	108.1	6.1	652.41	
171	108.17	172	107	108.1			

1 - AVERAGE FINISHED GRADE CALCULATION

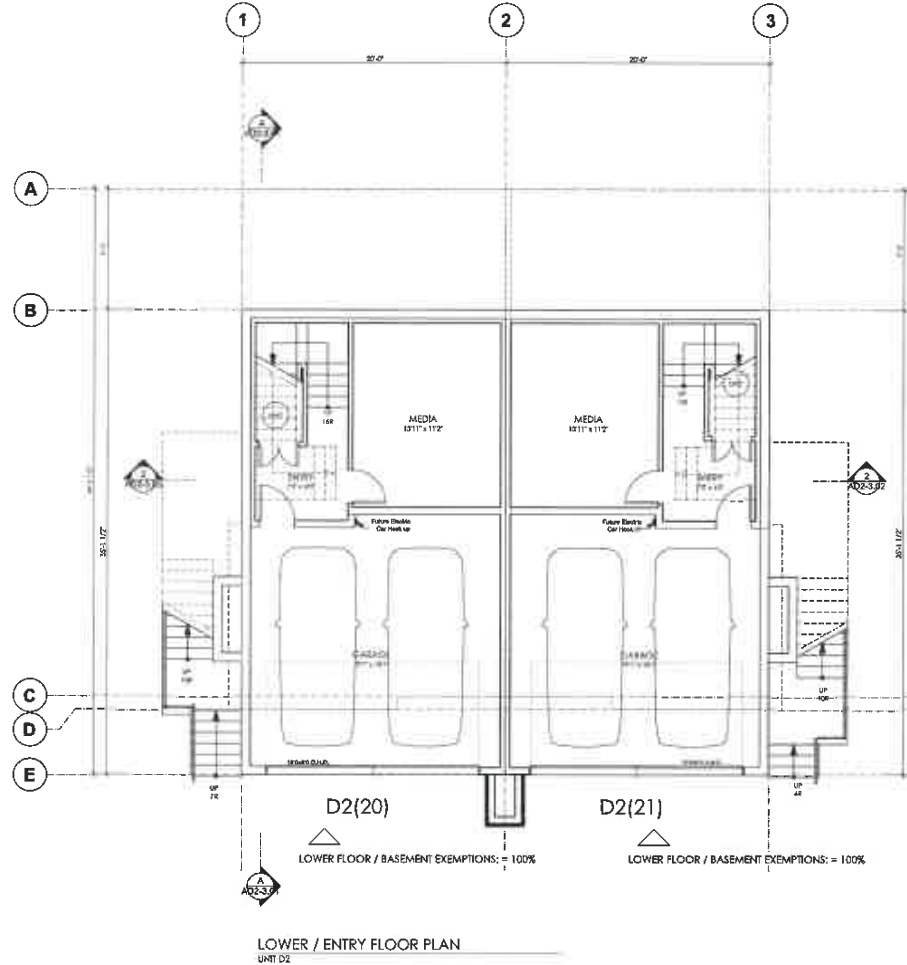
Station #	Elevation	Station #	Elevation	Station #	Elevation	x Distance
1	98.17	2	98.1	98.17	99.17	297.91
2	98.17	4	98.4	98.17	99.0	5.0
3	98.47	4	98.47	98.3	99.0	385.0
4	98.47	6	98.4	98.5	99.2	178.4
5	98.47	8	98.7	98.7	99.2	483.98
6	100.75	10	100.7	100.7	100.7	182.77
7	100.75	12	100.7	100.7	101.1	397.84
8	100.75	14	100.7	100.7	101.5	117.84
9	100.75	16	100.7	100.7	101.9	428.34
10	100.30	18	100.30	100.3	102.3	124.0
11	100.30	20	100.30	100.3	102.7	408.2
12	100.30	22	100.30	100.3	103.1	106.2
13	100.30	24	100.30	100.3	103.5	659.91
14	100.30	26	100.30	100.3	103.9	102.84
15	100.30	28	100.30	100.3	104.3	490.94
16	100.58	30	100.58	100.58	6.3	873.7
17	100.58	32	100.58	100.58	12.7	709.0
18	100.58	34	100.58	100.58	19.1	193.2
19	117.45	36	118.2	118.1	13.08	1535.2
20	118.43	38	118.9	118.9	43.08	4990.94
21	118.43	40	119.3	118.9	0.28	0.0
22	118.43	42	119.7	118.9	0.28	0.0
23	111.40	44	111.81	111.81	9.0	862.44
24	111.81	46	112.24	112.8	0.0	0.0
25	107.84	48	107.9	107.84	6.8	528.34
26	107.84	50	107.9	107.84	1.0	107.84
27	107.84	52	107.9	107.84	2.0	215.68
28	107.84	54	107.9	107.84	3.0	323.52
29	107.84	56	107.9	107.84	4.0	431.36
30	107.84	58	107.9	107.84	5.0	539.20
31	107.84	60	107.9	107.84	6.0	647.04
32	107.84	62	107.9	107.84	7.0	754.88
33	107.84	64	107.9	107.84	8.0	862.72
34	107.84	66	107.9	107.84	9.0	970.56
35	107.84	68	107.9	107.84	10.0	1078.40
36	107.84	70	107.9	107.84	11.0	1186.24
37	107.84	72	107.9	107.84	12.0	1294.08
38	107.84	74	107.9	107.84	13.0	1401.92
39	107.84	76	107.9	107.84	14.0	1509.76
40	107.84	78	107.9	107.84	15.0	1617.60
41	107.84	80	107.9	107.84	16.0	1725.44
42	107.84	82	107.9	107.84	17.0	1833.28
43	107.84	84	107.9	107.84	18.0	1941.12
44	107.84	86	107.9	107.84	19.0	2048.96
45	107.84	88	107.9	107.84	20.0	2156.80
46	107.84	90	107.9	107.84	21.0	2264.64
47	107.84	92	107.9	107.84	22.0	2372.48
48	107.84	94	107.9	107.84	23.0	2480.32
49	107.84	96	107.9	107.84	24.0	2588.16
50	107.84	98	107.9	107.84	25.0	2696.00
51	107.84	100	107.9	107.84	26.0	2803.84
52	107.84	102	107.9	107.84	27.0	2911.68
53	107.84	104	107.9	107.84	28.0	3019.52
54	107.84	106	107.9	107.84	29.0	3127.36
55	107.84	108	107.9	107.84	30.0	3235.20
56	107.84	110	107.9	107.84	31.0	3343.04
57	107.84	112	107.9	107.84	32.0	3450.88
58	107.84	114	107.9	107.84	33.0	3558.72
59	107.84	116	107.9	107.84	34.0	3666.56
60	107.84	118	107.9	107.84	35.0	3774.40
61	107.84	120	107.9	107.84	36.0	3882.24
62	107.84	122	107.9	107.84	37.0	3990.08
63	107.84	124	107.9	107.84	38.0	4097.92
64	107.84	126	107.9	107.84	39.0	4205.76
65	107.84	128	107.9	107.84	40.0	4313.60
66	107.84	130	107.9	107.84	41.0	4421.44
67	107.84	132	107.9	107.84	42.0	4529.28
68	107.84	134	107.9	107.84	43.0	4637.12
69	107.84	136	107.9	107.84	44.0	4744.96
70	107.84	138	107.9	107.84	45.0	4852.80
71	107.84	140	107.9	107.84	46.0	4960.64
72	107.84	142	107.9	107.84	47.0	5068.48
73	107.84	144	107.9	107.84	48.0	5176.32
74	107.84	146	107.9	107.84	49.0	5284.16
75	107.84	148	107.9	107.84	50.0	5392.00
76	107.84	150	107.9	107.84	51.0	5499.84
77	107.84	152	107.9	107.84	52.0	5607.68
78	107.84	154	107.9	107.84	53.0	5715.52
79	107.84	156	107.9	107.84	54.0	5823.36
80	107.84	158	107.9	107.84	55.0	5931.20
81	107.84	160	107.9	107.84	56.0	6039.04
82	107.84	162	107.9	107.84	57.0	6146.88
83	107.84	164	107.9	107.84	58.0	6254.72
84	107.84	166	107.9	107.84	59.0	6362.56
85	107.84	168	107.9	107.84	60.0	6470.40
86	107.84	170	107.9	107.84	61.0	6578.24
87	107.84	172	107.9	107.84	62.0	6686.08
88	107.84	174	107.9	107.84	63.0	6793.92
89	107.84	176	107.9	107.84	64.0	6901.76
90	107.84	178	107.9	107.84	65.0	7009.60
91	107.84	180	107.9	107.84	66.0	7117.44
92	107.84	182	107.9	107.84	67.0	7225.28
93	107.84	184	107.9	107.84	68.0	7333.12
94	107.84	186	107.9	107.84	69.0	7440.96
95	107.84	188	107.9	107.84	70.0	7548.80
96	107.84	190	107.9	107.84	71.0	7656.64
97	107.84	192	107.9	107.84	72.0	7764.48
98	107.84	194	107.9	107.84	73.0	7872.32
99	107.84	196	107.9	107.84	74.0	7980.16
100	107.84	198	107.9	107.84	75.0	8088.00
101	107.84	200	107.9	107.84	76.0	8195.84
102	107.84	202	107.9	107.84	77.0	8303.68
103	107.84	204	107.9	107.84	78.0	8411.52
104	107.84	206	107.9	107.84	79.0	8519.36
105	107.84	208	107.9	107.84	80.0	8627.20
106	107.84	210	107.9	107.84	81.0	8735.04
107	107.84	212	107.9	107.84	82.0	8842.88
108	107.84	214	107.9	107.84	83.0	8950.72
109	107.84	216	107.9	107.84	84.0	9058.56
110	107.84	218	107.9	107.84	85.0	9166.40
111	107.84	220	107.9	107.84	86.0	9274.24
112	107.84	222	107.9	107.84	87.0	9382.08
113	107.84	224	107.9	107.84	88.0	9489.92
114	107.84	226	107.9	107.84	89.0	9597.76
115	107.84	228	107.9	107.84	90.0	9705.60
116	107.84	230	107.9	107.84	91.0	9813.44
117	107.84	232	107.9	107.84	92.0	9921.28
118	107.84	234	107.9	107.84	93.0	10029.12
119	107.84	236	107.9	107.84	94.0	10136.96
120	107.84	238	107.9	107.84	95.0	10244.80
121	107.84	240	107.9	107.84	96.0	10352.64
122	107.84	242	107.9	107.84	97.0	10460.48
123	107.84	244	107.9	107.84	98.0	10568.32
124	107.84	246	107.9	107.84	99.0	10676.16
125	107.84	248	107.9	107.84	100.0	10784.00
Total				192.2	20561	
Avg Finish Grade						107.8

2 - AVERAGE EXISTING GRADE CALCULATION

Station #	Elevation	Station #	Elevation	Station #	Elevation	x Distance
1	110.01	2	108.71	109.7	108.71	437.44
2	108.71	3	108.73	108.73	1.0	328.19
3	108.73	4	108.73	108.73	1.0	330.00
4	108.73	5	108.73	108.73	1.0	437.50
5	108.73	6	108.84	108.78	10.90	2029.90
6	108.84	7	110.33	109.84	5.00	543.96
7	110.33	8	110.33	110.33	1.00	110.33
8	110.33	9	110.89	110.7	2.0	286.40
9	110.89	10	110.89	110.7	1.0	128.7
10	110.89	11	111.62	112.24	6.2	744.4
11	111.62	12	111.96	112.7	1.0	752.7
12	111.96	13	111.87	111.8	1.0	486.0
13	111.87	14	111.87	111.8	1.0	115.7
14	111.87	15	111.87	111.8	1.0	237.96
15	111.87	16	111.87	111.8	1.0	360.1
16	111.87	17	111.87	111.8	1.0	482.2
17	111.87	18	111.87	111.8	1.0	604.3
18	111.87	19	111.87	111.8	1.0	726.4
19	111.87	20	111.87	111.8	1.0	848.5
20	111.87	21	111.87	111.8	1.0	970.6
21	111.87	22	111.87	111.8	1.0	1092.7
22	111.87	23	111.87	111.8	1.0	1214.8
23	111.87	24	111.87	111.8	1.0	1336.9
24	111.87	25	111.87	111.8	1.0	1459.0
25	111.87	26	111.87	111.8	1.0	1581.1
26	111.87	27	111.87	111.8	1.0	1703.2
27	111.87	28	111.87	111.8	1.0	1825.3
28	111.87	29	111.87	111.8	1.0	1947.4
29	111.87	30	111.87	111.8	1.0	2069.5
30	111.87	31	111.87	111.8	1.0	2191.6
31	111.87	32	111.87	111.8	1.0	2313.7
32	111.87	33	111.87	111.8	1.0	2435.8
33	111.87	34	111.87	111.8	1.0	2557.9
34	111.87	35	111.87	111.8	1.0	2680.0
35	111.87	36	111.87	111.8	1.0	2802.1
36	111.87	37	111.87	111.8	1.0	2924.2
37	111.87	38	111.87	111.8	1.0	3046.3
38	111.87	39	111.87	111.8	1.0	3168.4
39	111.87	40	111.87	111.8	1.0	3290.5
40	111.87	41	111.87	111.8	1.0	3412.6
41	111.87	42	111.87	111.8	1.0	3534.7
42	111.87	43	111.87	111.8	1.0	3656.8
43	111.87	44	111.87	111.8	1.0	3778.9
44	111.87	4				

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REVISIONS
 Based for CP/Revised Aug. 31, 2021
 DRD Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
LOWER FLOOR PLAN



UNIT 20 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	792.3 SF	010.5 SF	2310.1 SF
GARAGE EXCLUSIONS	287.6 SF	02.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	210.5 SF	0.0 SF	0.0 SF	210.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	792.3 SF	110.5 SF	1607.8 SF

UNIT 20 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SQ M	74.5 SQ M	7.3 SQ M	214.8 SQ M
GARAGE EXCLUSIONS	26.3 SQ M	0.0 SQ M	0.0 SQ M	36.2 SQ M
BASEMENT EXCLUSIONS 100%	20.1 SQ M	0.0 SQ M	0.0 SQ M	20.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	74.5 SQ M	7.3 SQ M	149.3 SQ M

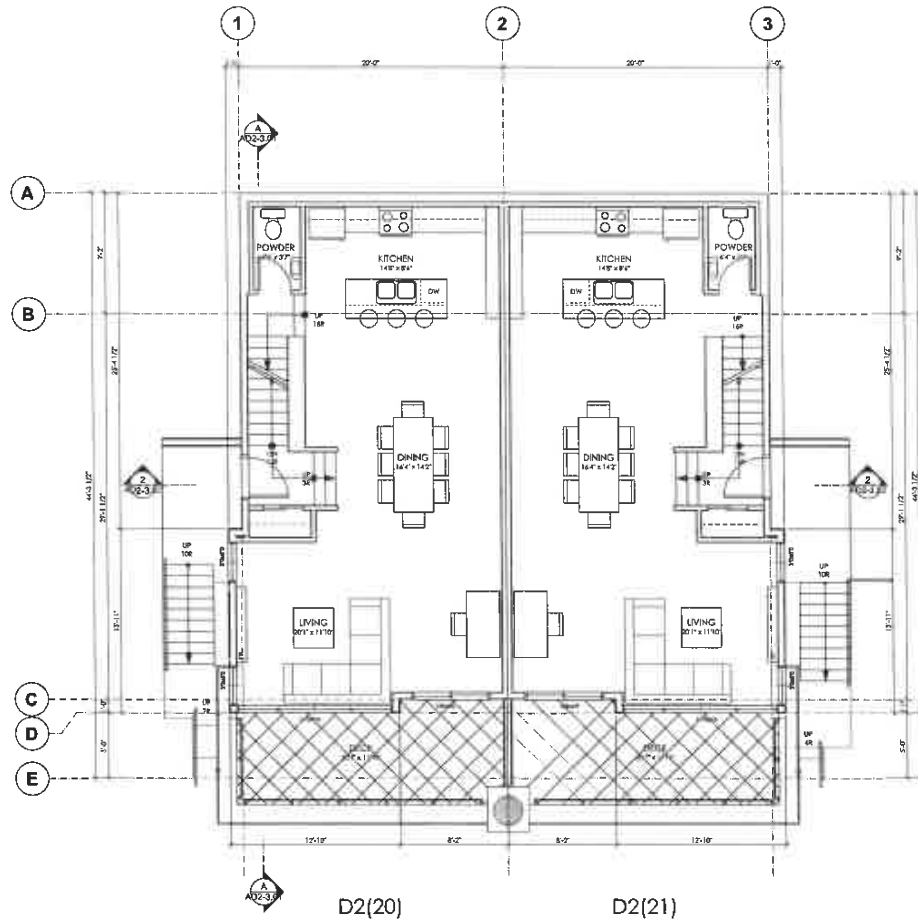
UNIT 21 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.4 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	387.6 SF	0.0 SF	0.0 SF	387.6 SF
BASEMENT EXCLUSIONS 100%	312.5 SF	0.0 SF	0.0 SF	312.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.4 SF	804.6 SF	1596.2 SF

UNIT 21 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SQ M	73.5 SQ M	74.7 SQ M	214.8 SQ M
GARAGE EXCLUSIONS	34.2 SQ M	0.0 SQ M	0.0 SQ M	34.2 SQ M
BASEMENT EXCLUSIONS 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	0.0 SQ M	73.5 SQ M	74.7 SQ M	148.2 SQ M

PROJECT# 8000 SHEET
 SCALE 1/4"=1'-0" AD2-
 DATE MAY 12, 2023 2.01

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REVISIONS		
Issued for DR/Prepping	Aug 31, 2021	
DR/2 Public Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 31, 2023	



MAIN FLOOR PLAN
UNIT D2

UNIT 20 FLOOR AREAS IMPERIAL

	LEVEL 1.00 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GROSS	722.5 SF	797.3 SF	810.3 SF	2320.1 SF
GARAGE ENCLOSURES	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASHEMENT ENCLOSURES 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 20 FLOOR AREAS METRIC

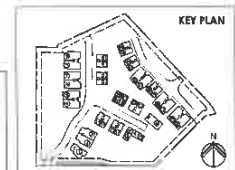
	LEVEL 1.50 M	LEVEL 3.00 M	LEVEL 3.50 M	TOTAL
GROSS	45.25M	74.15M	75.51M	214.45M
GARAGE ENCLOSURES	34.25M	0.00M	0.00M	34.25M
BASHEMENT ENCLOSURES 100%	19.15M	0.00M	0.00M	19.15M
COVERED BALCONY ENCLOSURES	0.00M	0.00M	0.00M	0.00M
NET	0.00M	74.15M	75.51M	149.31M

UNIT 21 FLOOR AREAS IMPERIAL

	LEVEL 1.00 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GROSS	792.5 SF	771.4 SF	804.6 SF	2368.5 SF
GARAGE ENCLOSURES	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASHEMENT ENCLOSURES 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	771.4 SF	804.6 SF	1576.2 SF

UNIT 21 FLOOR AREAS METRIC

	LEVEL 1.50 M	LEVEL 3.00 M	LEVEL 3.50 M	TOTAL
GROSS	45.15M	73.55M	74.75M	213.65M
GARAGE ENCLOSURES	34.25M	0.00M	0.00M	34.25M
BASHEMENT ENCLOSURES 100%	19.15M	0.00M	0.00M	19.15M
COVERED BALCONY ENCLOSURES	0.00M	0.00M	0.00M	0.00M
NET	0.00M	73.55M	74.75M	148.30M



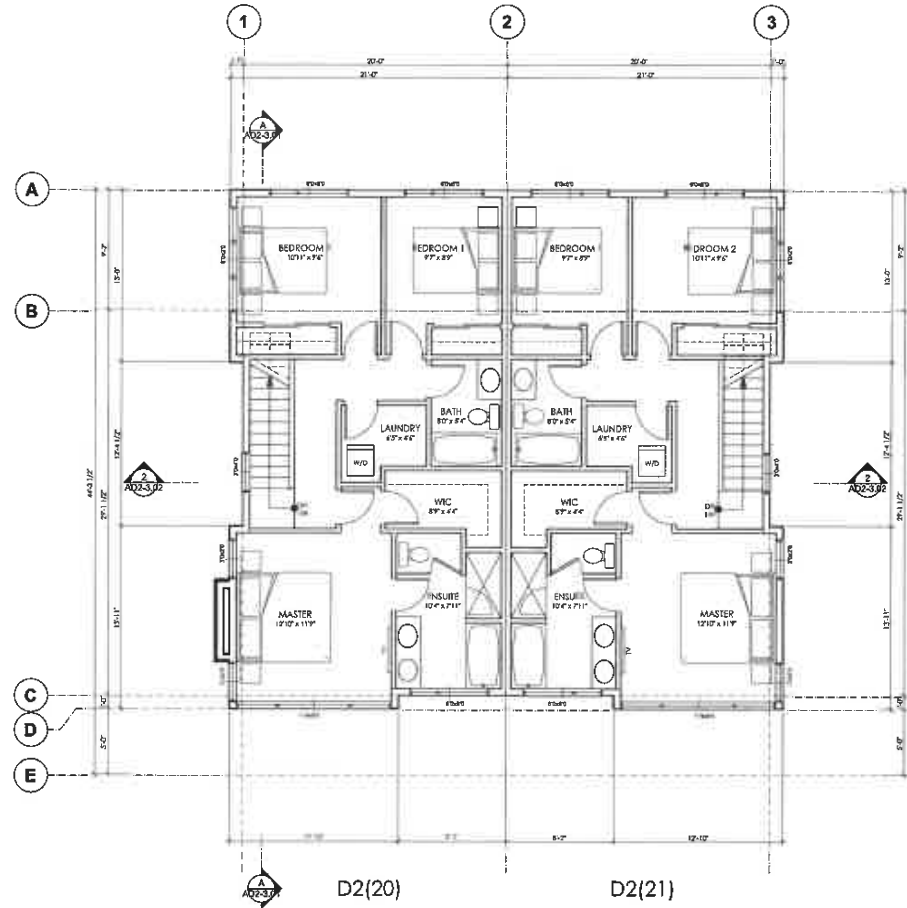
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
MAIN FLOOR PLAN

PROJECT# 0200 SHEET
SCALE 1/4" = 1'-0" AD2-
DATE MAY 12, 2023 2.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Reopening Aug 31, 2021
 ERD Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023



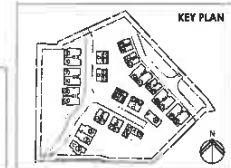
UPPER FLOOR PLAN
 UNIT D2

UNIT 20 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT			LEVEL 2 SQ FT			LEVEL 3 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	702.5 SF	797.5 SF	870.5 SF	2370.5 SF						
GARAGE ENCLOSURE	389.6 SF	0.0 SF	0.0 SF	389.6 SF						
BASEMENT ENCLOSURE 100%	312.8 SF	0.0 SF	0.0 SF	312.8 SF						
COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	6.6 SF	6.6 SF						
NET	0.0 SF	797.5 SF	863.5 SF	1661.0 SF						

UNIT 20 FLOOR AREAS METRIC	LEVEL 1 SQ M			LEVEL 2 SQ M			LEVEL 3 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	65.3 SQ M	74.1 SQ M	75.3 SQ M	214.7 SQ M						
GARAGE ENCLOSURE	36.2 SQ M	0.0 SQ M	0.0 SQ M	36.2 SQ M						
BASEMENT ENCLOSURE 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M						
COVERED BALCONY ENCLOSURE	0.0 SQ M	0.0 SQ M	0.6 SQ M	0.6 SQ M						
NET	0.0 SQ M	74.1 SQ M	75.3 SQ M	149.4 SQ M						

UNIT 21 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT			LEVEL 2 SQ FT			LEVEL 3 SQ FT			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	702.5 SF	791.6 SF	854.6 SF	2348.7 SF						
GARAGE ENCLOSURE	389.6 SF	0.0 SF	0.0 SF	389.6 SF						
BASEMENT ENCLOSURE 100%	312.8 SF	0.0 SF	0.0 SF	312.8 SF						
COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	6.6 SF	6.6 SF						
NET	0.0 SF	791.6 SF	854.6 SF	1546.2 SF						

UNIT 21 FLOOR AREAS METRIC	LEVEL 1 SQ M			LEVEL 2 SQ M			LEVEL 3 SQ M			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	65.3 SQ M	72.8 SQ M	78.7 SQ M	216.8 SQ M						
GARAGE ENCLOSURE	36.2 SQ M	0.0 SQ M	0.0 SQ M	36.2 SQ M						
BASEMENT ENCLOSURE 100%	29.1 SQ M	0.0 SQ M	0.0 SQ M	29.1 SQ M						
COVERED BALCONY ENCLOSURE	0.0 SQ M	0.0 SQ M	0.6 SQ M	0.6 SQ M						
NET	0.0 SQ M	72.8 SQ M	78.7 SQ M	151.5 SQ M						



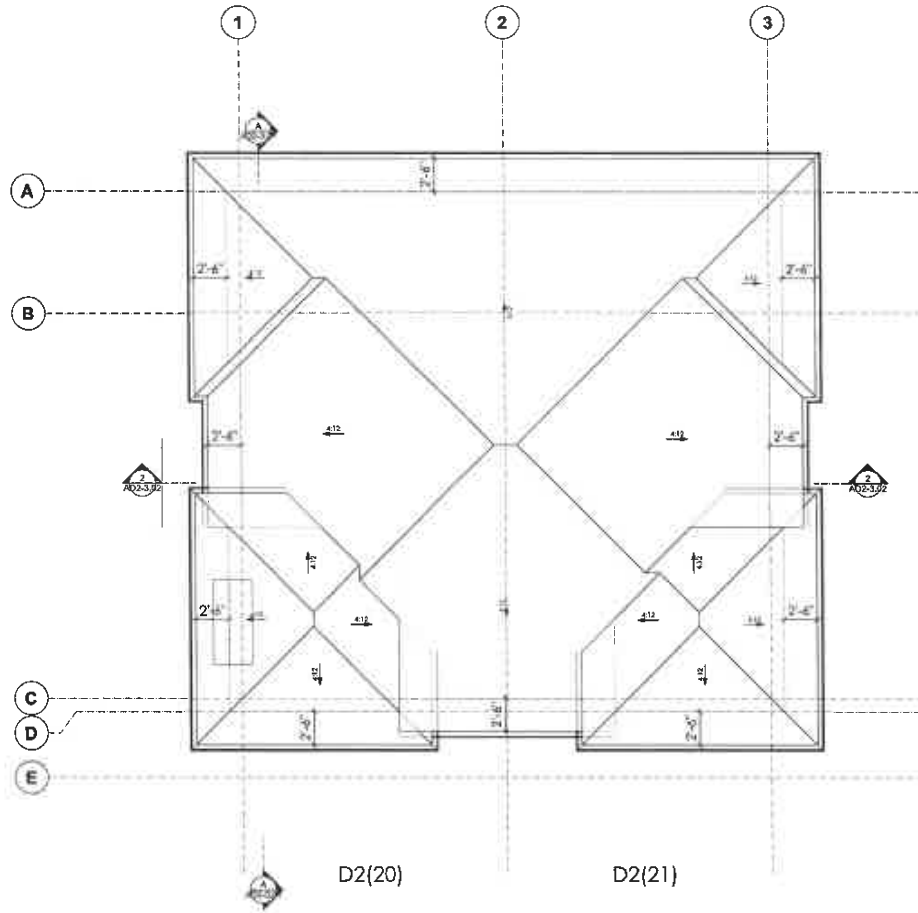
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 UPPER FLOOR PLAN

PROJECT# 800
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AD2-2.03

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REVISIONS
Rev#5 for DP/Revising Aug 31, 2021
DR02 Public Comment Revisions MAY 18, 2023
G1-G3, G3 Revisions JULY 31, 2023

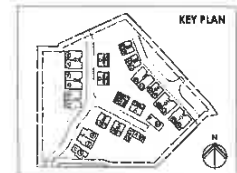


ROOF PLAN
UNIT D2



PROJECT
AQUILA
AFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

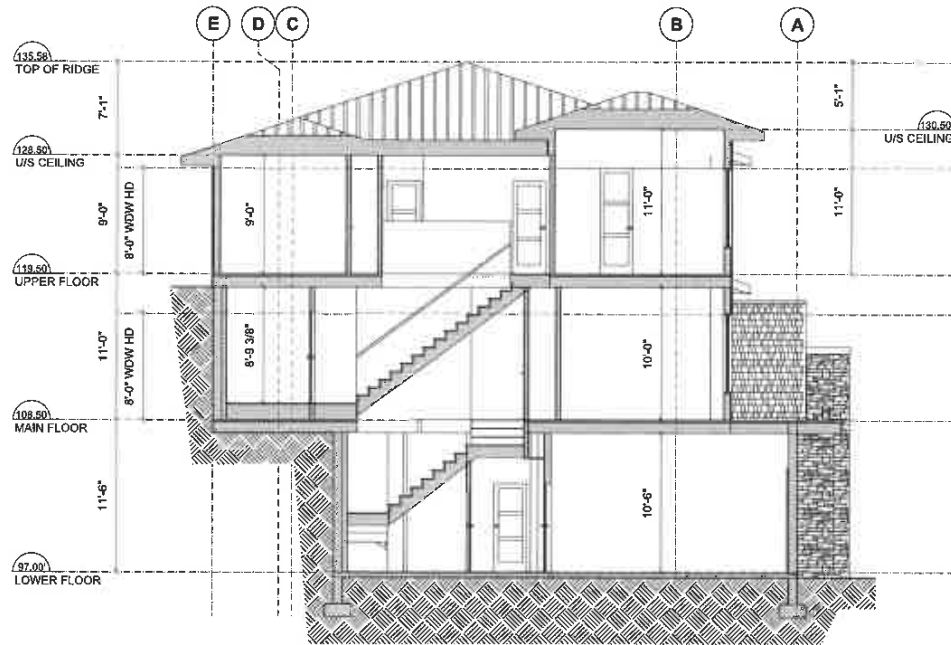
DRAWING
ROOF PLAN



PROJECT	NO.	SHEET
SCALE	1/4" = 1'-0"	AD2-2.04
DATE	MAY 12, 2023	

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REVISIONS
 Issued for DP/Permitting Aug 31, 2021
 DRP/ Public Comment Revisions MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



A SECTION A
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

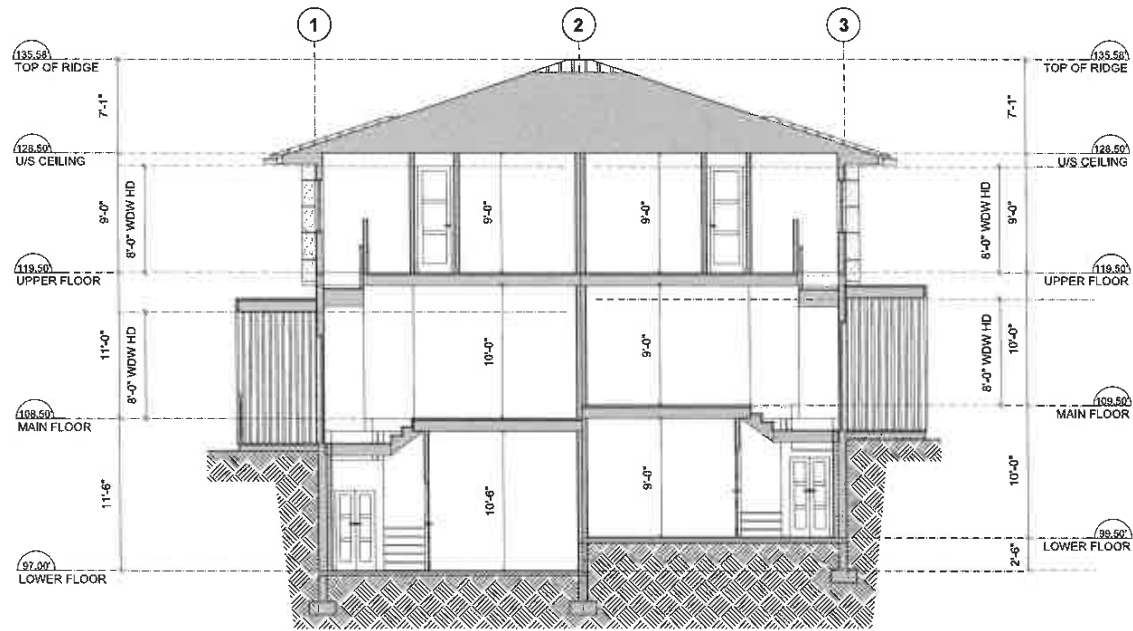
DRAWING
 SECTION A-A

PROJECT#	SHEET
8030	AD2-3.01
SCALE	
DATE	

1/4" = 1'-0"
 MAY 12, 2023

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REVISIONS
 Issued for DP/Receiving Aug 21, 2021
 DRCP Public Comment Revisions MAY 18, 2023
 01-02, 03 Revisions MAY 31, 2023



2 Section B
 Scale: 1/4" = 1'-0"



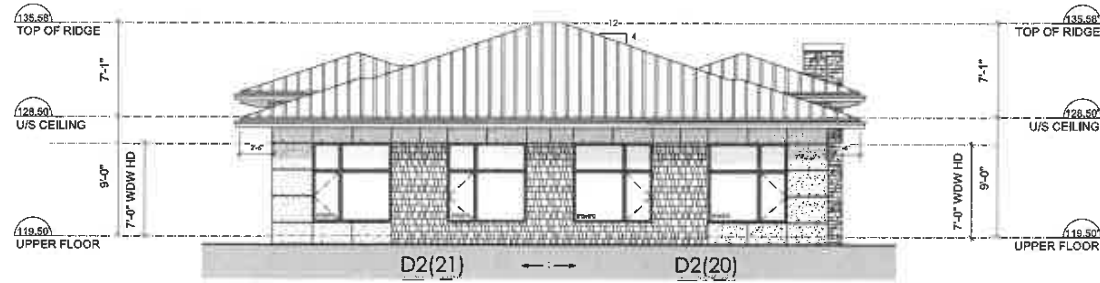
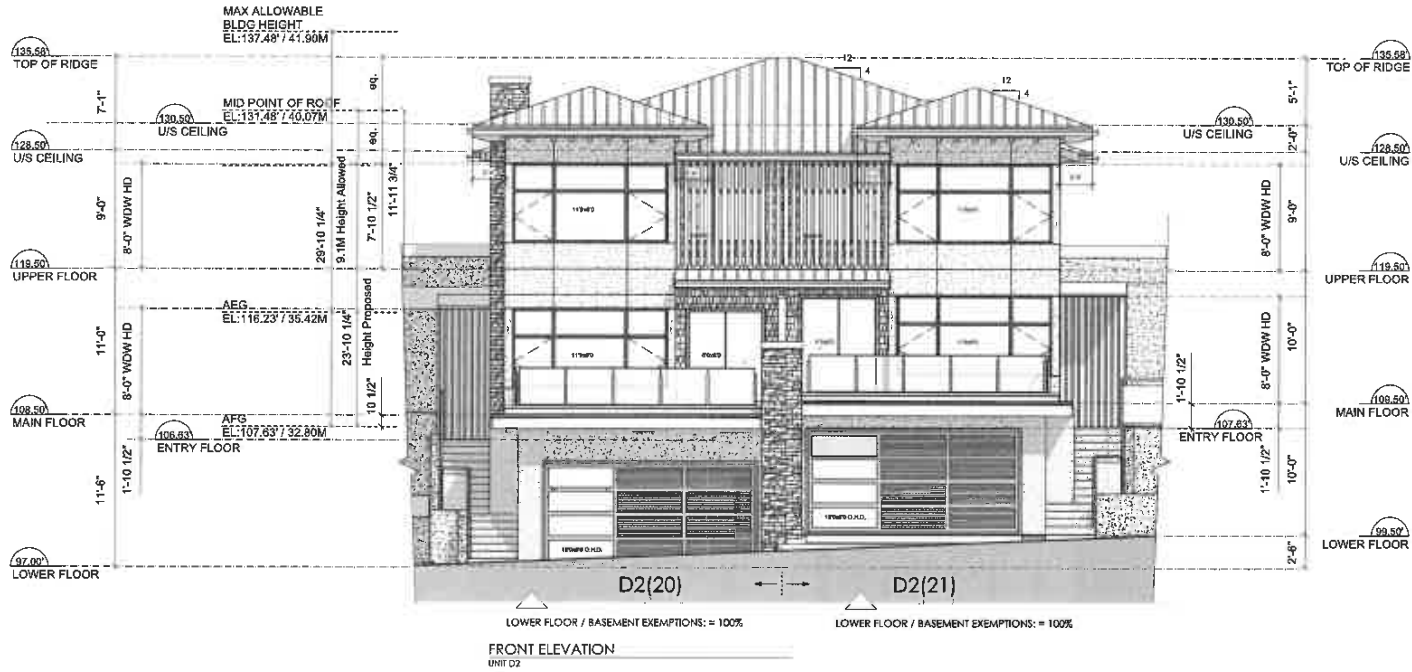
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 SECTION B-B

PROJECT#	SHEET
9000	AD2-
SCALE	1/4" = 1'-0"
DATE	3.02
	MAY 12, 2023

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REVISION 8
 Issued for DP/Revising Aug 31, 2021
 SRD/ Public Comment Revisions MAY 12, 2023
 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-C)

EXPOSED BUILDING FACE:	407.61 SF (37.57 SM)
LANDING DISTANCE:	17.16' (5.22 M)
UNPROTECTED OPENING:	144.00 SF (13.37 SM)
PROPOSED OPENING:	35.33%
PERMITTED OPENINGS:	100%

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 FRONT & BACK
 ELEVATIONS

PROJECT	003	SHEET	AD2-4.01
SCALE	1/4" = 1'-0"	DATE	
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based For DP/Reworking
 DRG Public Comment Revisions
 01, 02, 03 Revisions

Aug 31, 2021
 MAY 12, 2022
 JUL 21, 2023



SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	934.00 SF (86.96 SM)
LIMITING DISTANCE:	5.84' (1.78 M)
UNPROTECTED OPENING:	100.00 SF (9.29 SM)
PROPOSED OPENING:	10.68%
PERMITTED OPENINGS:	17.50%



SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	950.13 SF (88.27 SM)
LIMITING DISTANCE:	13.18' (4.02 M)
UNPROTECTED OPENING:	100.00 SF (9.29 SM)
PROPOSED OPENING:	10.52%
PERMITTED OPENINGS:	39.82%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
 EAST & WEST
 ELEVATIONS

PROJECT#	DRG	SHEET
SCALE	1/4" = 1'-0"	AD2-4.02
DATE	MAY 12, 2023	



FRONT ELEVATION
UNIT D2



BACK ELEVATION
UNIT D2



AQUILA EXTERIOR MATERIAL SCHEDULE			
No.	Material	Colour	
1.1	Charcoal Metal Roof	Charcoal Gray	
1.2	Fibre Cement Soffit	Roceport BM - HC - 105	
1.3	Gutter	Charcoal Gray	
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails	
2.2	Not Used		
2.3	Hardy Panel	Light Iron	
2.4	Not Used		
2.5	Stone	Random Granite	
3.1	Use Wrought Iron BM - 2124-10	Wrought Iron BM - 2124 - 10	
3.2	Use Wrought Iron BM - 2124-10	Wrought Iron BM - 2124 - 10	
4.1	Charcoal Gray	Charcoal Gray	
4.2	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut	
4.3	Charcoal Gray	Charcoal Gray	
4.4	Charcoal Gray	Charcoal Gray	
5.1	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut	Silestone - Old Master Gel Stain c/w clear top coat - Special Walnut	
5.2	Charcoal Gray	Charcoal Gray	
5.3	Charcoal Gray	Charcoal Gray	

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REVISIONS		
Revised For D/P Reviewing	Aug 31, 2024	
DRG/ Public Comment Revisions	MAY 12, 2023	
D1, D2, D3 Revisions	JULY 31, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT	800	SHEET
SCALE	1/4" = 1'-0"	AD2- 4.03
DATE	MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CP/Reviewing Aug. 31, 2021
 DRG Public Comment Review MAY 12, 2022
 01, 02, 03 Revision JULY 21, 2022



AQUILA EXTERIOR MATERIAL SCHEDULE		
Item	Material	Colour
1.1	Clad "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport - 64k-RC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon # 16
2.2	Oil Used	
2.3	Ready Panel	Light Mist
2.4	Painted	
2.5	Stone	Random Granite
3.1	Upstream balcony cast in place concrete	Wrought Iron BM - 2124 - 10
3.2	Downstream balcony cast in place concrete	Wrought Iron BM - 2124 - 10
4.1	Finish of exterior walls & soffits	Charcoal Gray
4.2	Shiny floor painted c/w Ironox and primer	Shelwood - Old Master Gel Coat c/w clear top coat - Special Walnut
4.3	Finish of exterior garage	Charcoal Gray
4.4	High-tech glass quonset system c/w steel cap	Charcoal Gray
5.1	7/8" relative treated wood	Shelwood - Old Master Gel Coat c/w clear top coat - Special Walnut
6.2	Finished metal	Charcoal Gray
6.3	Steel - 1/2" painted iron	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D2

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT # 8030 SHEET
 SCALE 1/4" = 1'-0" **AD2-**
 DATE MAY 12, 2022 **4.04**



FRONT ELEVATION - CAMERA VIEW
UNIT D2



SIDE ELEVATION - CAMERA VIEW
UNIT D2



BACK ELEVATION - CAMERA VIEW
UNIT D2



SIDE ELEVATION - CAMERA VIEW
UNIT D2

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Resuming Aug 31, 2021
RCP Public Comment Revisions MAY 12, 2022
S1, D2, D3 Revisions JUL 29, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D2

DRAWING
FRONT, BACK &
SIDE ELEVATIONS

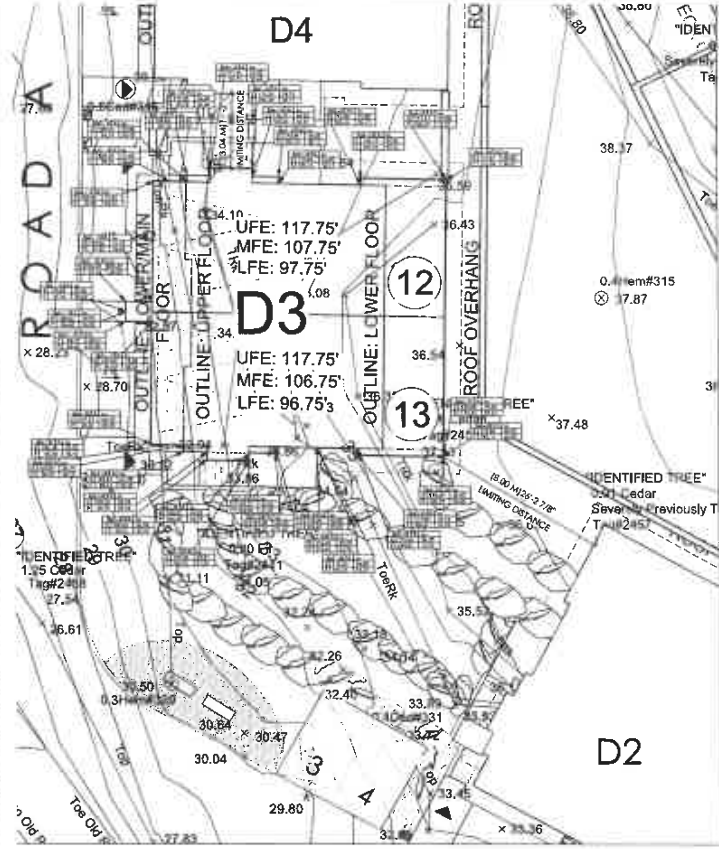
PROJECT#	SHEET
8000	AD2-
SCALE	NTS
DATE	4.05
MAY 12, 2022	

AVERAGE EXISTING GRADE CALCULATION

Sta#	Elevation	Distance	Elevation	Distance	Area
1	101	2	85.1	92.84	422.32
2	99.1	2	100	90.82	149.43
3	100	4	100	100.00	0.00
4	100	4	104	102.33	135.33
5	100.5	6	101	103.00	4.13
6	102.14	6	101	103.00	201.00
7	103.35	8	102.64	105.00	274.1
8	100.04	10	102.00	106.94	128.49
9	100	10	102.00	106.94	0.00
10	100	11	111.10	110.01	386.74
11	111.1	12	111	111.00	136.00
12	111.1	1	112.24	111.09	71.2
13	112.24	14	112.3	112.31	31.0
14	112	1	112	112.00	490.04
15	112	1	113.0	113.00	113.00
16	113.04	1	114	113.77	407.00
17	113.1	1	114	114.52	114.62
18	114	1	117.4	118.51	189.00
19	117.4	1	117.4	117.41	0.00
20	117.4	21	119.8	118	489.7
21	119.8	21	119.8	119	0.00
22	119.8	23	111	119	0.00
23	119.8	24	111	118.8	151.8
24	113.84	25	113.00	113.11	113.11
25	113	26	112.20	112.20	82.1
26	112	26	112.20	112.20	0.00
27	112	27	112.20	112.20	61.3
28	112	28	110	112.20	111.20
29	110	30	110	110.00	110.00
30	110.3	31	106.22	106.20	438.1
31	110	31	106.22	106.22	112.11
32	108	31	106	107.77	84.00
33	108	34	106	106	174.91
34	108	35	105.1	105.1	272.49
35	103.7	35	104	104.21	104.21
36	103.00	35	103	103.31	266.50
37	103	35	100.72	101.54	244.1
38	101.72	35	101.20	101.20	181.20
Total				188	2091.1
Avg Existing Grade					111.20
Max. Min. Height (ft)					140.71

TOP OF FINISH GRADE CALCULATION

Sta#	Elevation	Distance	Elevation	Distance	Area
3	99.42	2	94.4	94	305.88
4	97.42	4	97.42	97.4	144.40
5	97.42	6	97.42	97.4	148.1
6	97.42	6	97.42	97.4	388
7	97.42	8	97.42	97.42	1802.2
8	97.42	8	99.75	99.88	238.56
9	99.75	10	99.75	99.75	257
10	99.75	11	99.75	99.75	354.31
11	99.75	11	99.75	99.75	1134.1
12	99.75	1	100	100.00	953.31
13	100	14	100	100.00	123.1
14	100	1	100	100.00	422
15	100	1	100	100.00	166
16	100.00	17	100	100	1366.1
17	100.00	18	113.53	113.53	190
18	100.00	19	109.8	109.71	1274
19	100.00	20	113.53	113.53	266.50
20	100.00	21	115.2	115.2	488.14
21	115.20	22	118.11	118.62	0.00
22	118.11	23	108.81	114.01	0.00
23	108.81	24	108.81	108.81	1420.00
24	108.81	25	108.81	108.81	108.81
25	108.81	26	108.81	108.81	677.81
26	108.81	27	110	110.00	0.00
27	110	27	104	107.25	0.00
28	104	28	104	104.00	849
29	104	29	104	104.00	198
30	104	31	104.5	104	418
31	104	31	104	104	122.05
32	104	33	98	98	847.00
33	98	34	98.75	98.75	111
34	98	35	98.75	98.75	390.75
35	98	35	98.75	98.75	88.7
36	98	35	98.75	98.75	293.0
37	98.75	35	98	97.09	123.81
38	98	35	98.42	98.42	1783.1
Total				399	18773.71
Avg Finish Grade					106.91
Max. Min. Height (ft)					134.96



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - D3 (ft)

Lower	Mean	Upper
29.79 m	32.84 m	35.89 m
97.72	107.75	117.75

TOP OF FINISH FLOOR - D4 (ft)

Lower	Mean	Upper
29.49 m	32.84 m	35.86 m
96.72	106.75	117.75



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REVISIONS
Issued for DR/Reviewing
DR/2 Public Comment Response
01, 02, 03, 04 Revisions

Aug. 31, 2021
MAY 12, 2021
JULY 31, 2021



AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

PROJECT: 8030
SCALE: 1/8"=1'-0"
DATE: MAY 12, 2021

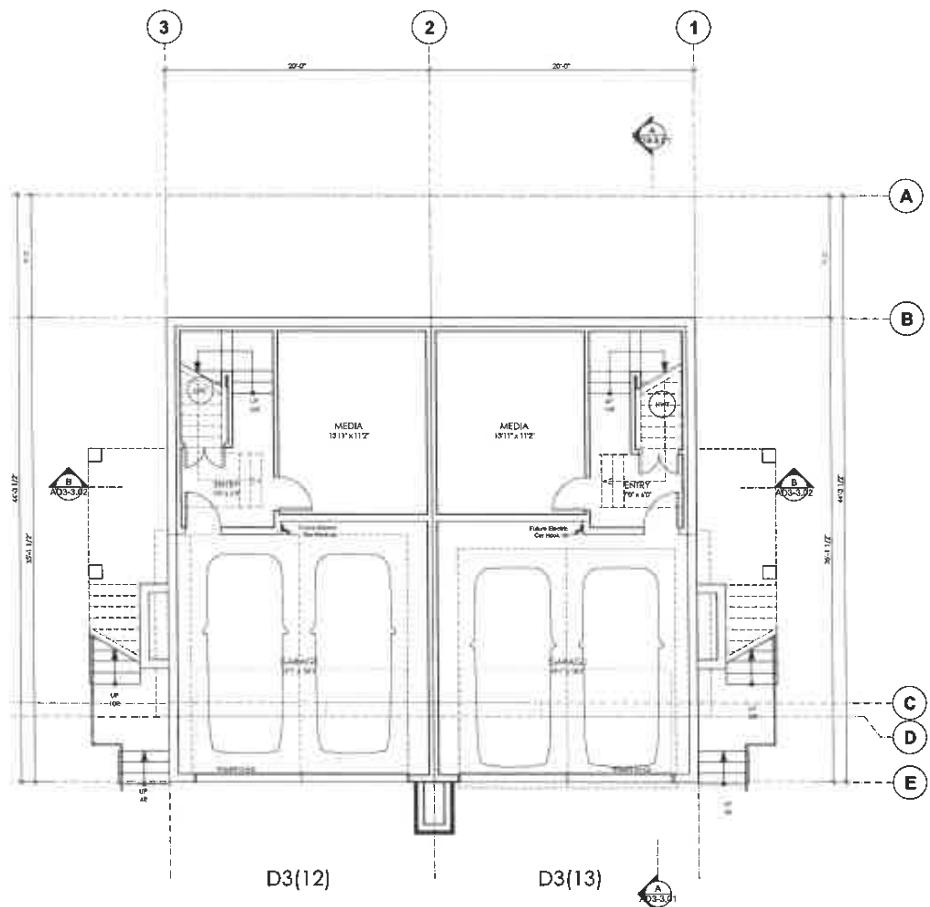
SHEET: AD3-1.01

PROJECT: 8030
SCALE: 1/8"=1'-0"
DATE: MAY 12, 2021

SHEET: AD3-1.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Revising Aug 31, 2021
 DR/CD Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%
 LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER / ENTRY FLOOR PLAN
 UNIT D3

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT D3

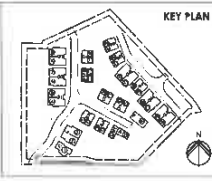
DRAWING
LOWER FLOOR PLAN

UNIT 12 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	702.5 SF	771.6 SF	804.6 SF	2278.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	9.0 SF	0.0 SF	321.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	771.6 SF	804.6 SF	1576.2 SF

UNIT 12 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	65.3 SM	71.5 SM	74.7 SM	211.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.9 SM	0.0 SM	30.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	71.5 SM	74.7 SM	146.2 SM

UNIT 13 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	702.5 SF	777.5 SF	810.5 SF	2290.5 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.5 SF	810.5 SF	1607.4 SF

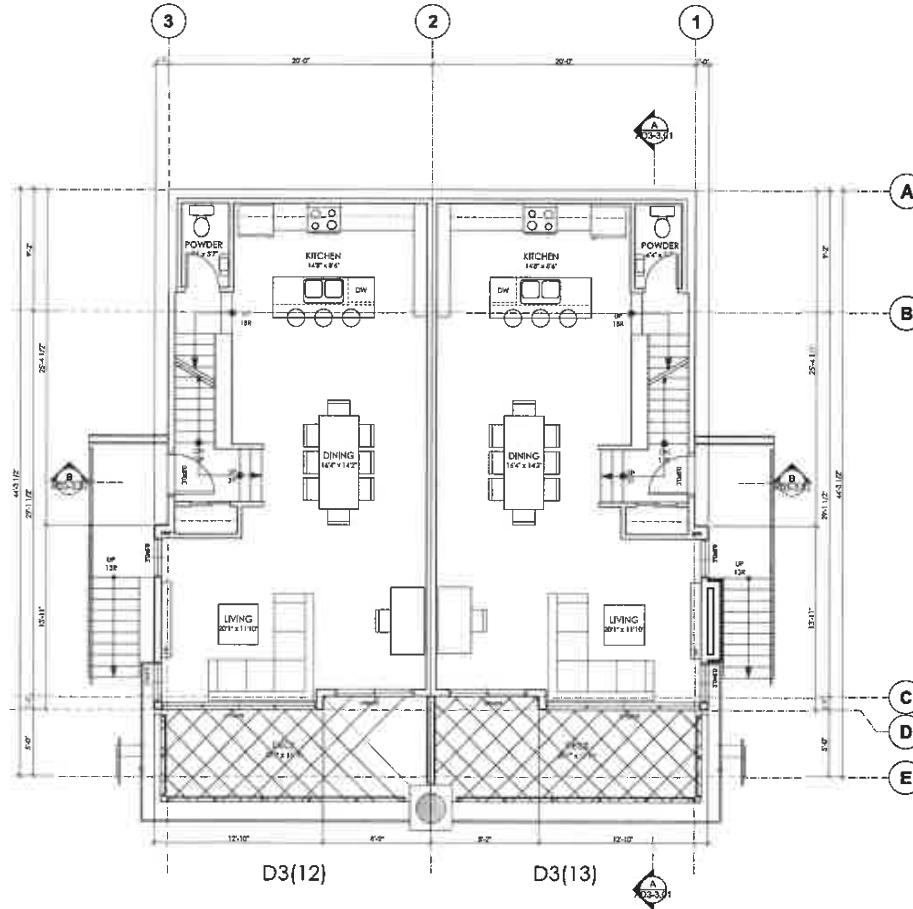
UNIT 13 FLOOR AREAS METRIC				
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.7 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.4 SM



PROJECT: 8030
 SHEET: AD3-2.01
 SCALE: 1/4"=1'-0"
 DATE: MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Model for DP/Rezoning Aug. 31, 2021
 DP/CI Public Comment Revisions MAY 12, 2023
 PL, UT, OS Revisions MAY 31, 2023

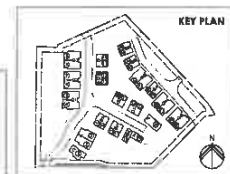


MAIN FLOOR PLAN
 UNIT D3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
MAIN FLOOR PLAN



	UNIT 12 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	
GROSS	702.5 SF	791.4 SF	804.6 SF	2298.7 SF
GARAGE ENCLOSURES	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BATHROOM ENCLOSURES 100%	312.2 SF	0.0 SF	0.0 SF	312.2 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.4 SF	804.6 SF	1592.8 SF

	UNIT 12 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	
GROSS	45.3 5M	73.5 5M	74.7 5M	213.4 5M
GARAGE ENCLOSURES	34.3 5M	0.0 5M	0.0 5M	34.3 5M
BATHROOM ENCLOSURES 100%	29.1 5M	0.0 5M	0.0 5M	29.1 5M
COVERED BALCONY ENCLOSURES	0.0 5M	0.0 5M	0.0 5M	0.0 5M
NET	0.0 5M	73.5 5M	74.7 5M	148.3 5M

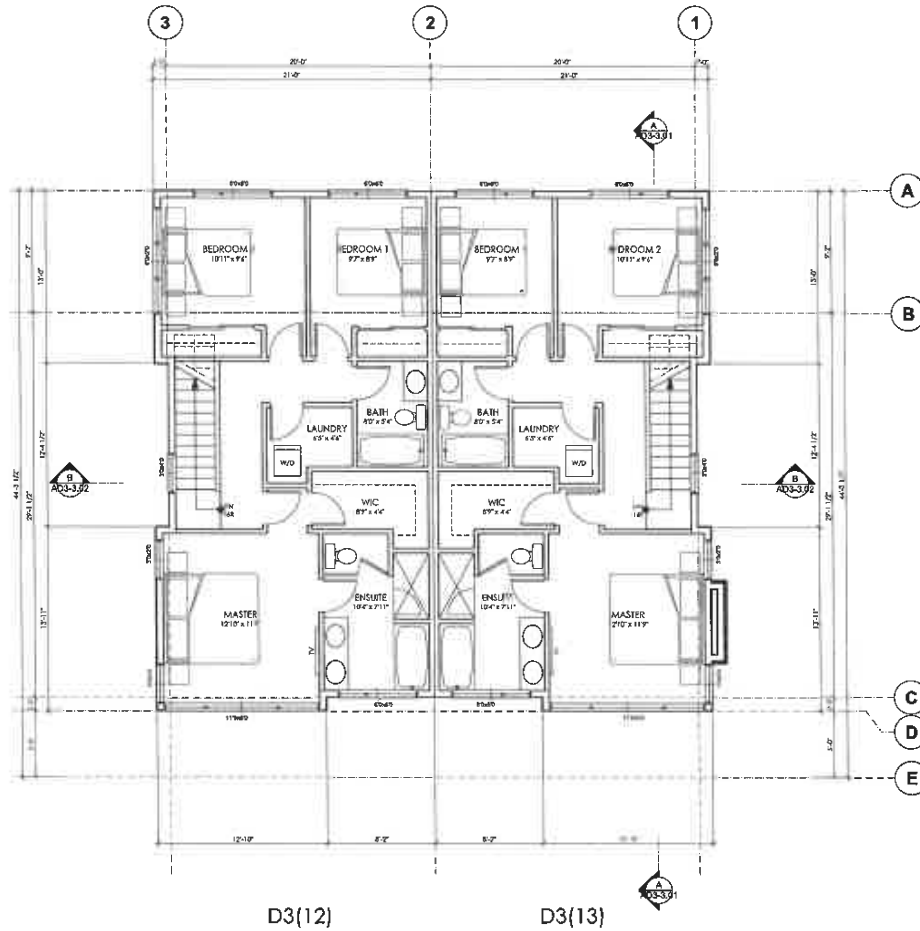
	UNIT 13 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	
GROSS	702.5 SF	797.2 SF	810.3 SF	2309.9 SF
GARAGE ENCLOSURES	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BATHROOM ENCLOSURES 100%	312.2 SF	0.0 SF	0.0 SF	312.2 SF
COVERED BALCONY ENCLOSURES	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.2 SF	810.3 SF	1607.5 SF

	UNIT 13 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	
GROSS	45.3 5M	74.3 5M	75.3 5M	214.8 5M
GARAGE ENCLOSURES	34.2 5M	0.0 5M	0.0 5M	34.2 5M
BATHROOM ENCLOSURES 100%	29.1 5M	0.0 5M	0.0 5M	29.1 5M
COVERED BALCONY ENCLOSURES	0.0 5M	0.0 5M	0.0 5M	0.0 5M
NET	0.0 5M	74.3 5M	75.3 5M	149.6 5M

PROJECT # 800 SHEET
 SCALE 1/4" = 1'-0" **AD3-2.02**
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Noted for GP/Marketing Aug. 31, 2021
 DRG/Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023

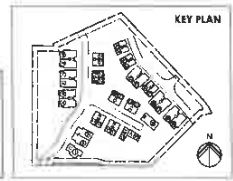


UPPER FLOOR PLAN
 UNIT D3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 UPPER FLOOR PLAN



UNIT 12 FLOOR AREAS IMPERIAL				
	LEVEL 1 550 FT	LEVEL 3 350 FT	LEVEL 3 350 FT	TOTAL
GROSS	702.5 SF	791.4 SF	604.0 SF	2297.9 SF
GARAGE ENCLOSURE	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT ENCLOSURE HOOR	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.4 SF	604.0 SF	1395.4 SF

UNIT 12 FLOOR AREAS METRIC				
	LEVEL 1 500 M	LEVEL 3 350 M	LEVEL 3 350 M	TOTAL
GROSS	483.5M	733.5M	347.5M	2164.5M
GARAGE ENCLOSURE	342.5M	0.0M	0.0M	342.5M
BASEMENT ENCLOSURE HOOR	211.5M	0.0M	0.0M	211.5M
COVERED BALCONY ENCLOSURE	0.0M	0.0M	0.0M	0.0M
NET	0.0M	733.5M	347.5M	1081.0M

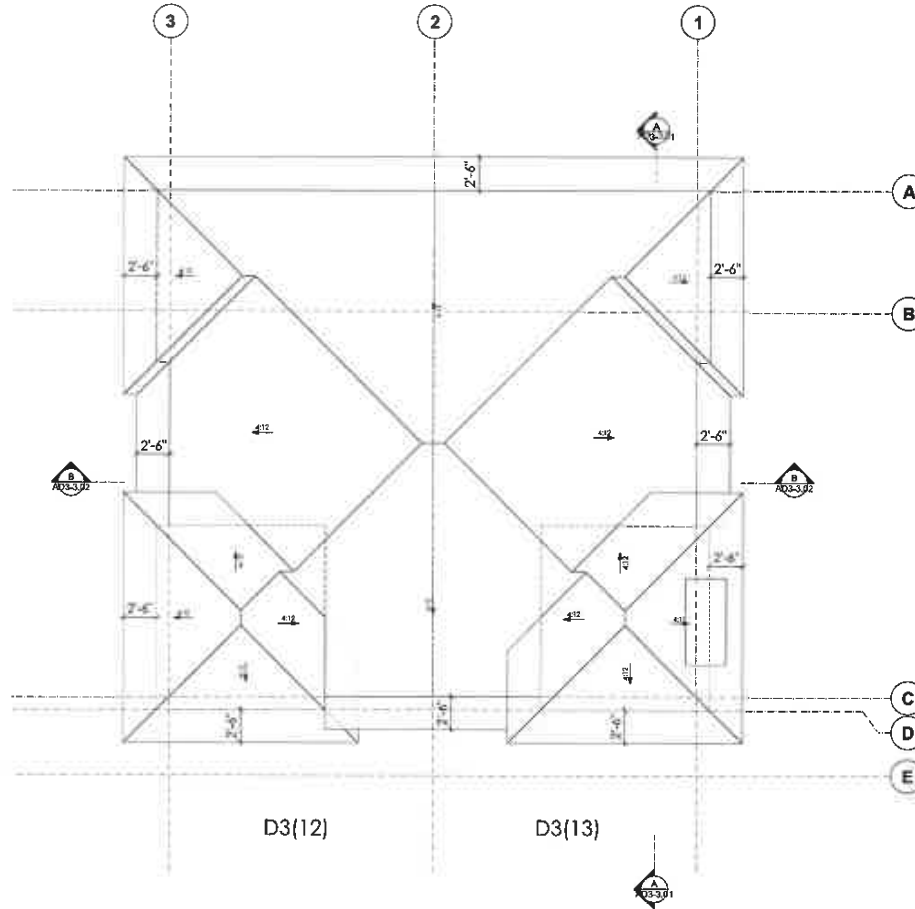
UNIT 13 FLOOR AREAS IMPERIAL				
	LEVEL 1 550 FT	LEVEL 2 50 FT	LEVEL 3 350 FT	TOTAL
GROSS	782.5 SF	797.2 SF	810.3 SF	2390.0 SF
GARAGE ENCLOSURE	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT ENCLOSURE HOOR	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.2 SF	810.3 SF	1607.5 SF

UNIT 13 FLOOR AREAS METRIC				
	LEVEL 1 500 M	LEVEL 2 50 M	LEVEL 3 350 M	TOTAL
GROSS	65.5 M	741.0 M	233.0 M	2169.5 M
GARAGE ENCLOSURE	342.5 M	0.0 M	0.0 M	342.5 M
BASEMENT ENCLOSURE HOOR	211.5 M	0.0 M	0.0 M	211.5 M
COVERED BALCONY ENCLOSURE	0.0 M	0.0 M	0.0 M	0.0 M
NET	0.0 M	741.0 M	233.0 M	1074.0 M

PROJECT# 0030 SHEET
 SCALE 1/4"=1'-0" **AD3-**
 DATE MAY 12, 2023 **2.03**

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REVISIONS
 Based for D/P Reasoning Aug. 31, 2021
 DRCD Public Council Revision MAY 12, 2023
 01, 07, 03 Revisions JULY 31, 2023

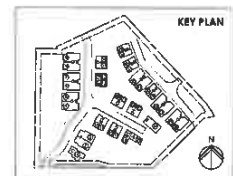


ROOF PLAN
 UNIT D3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

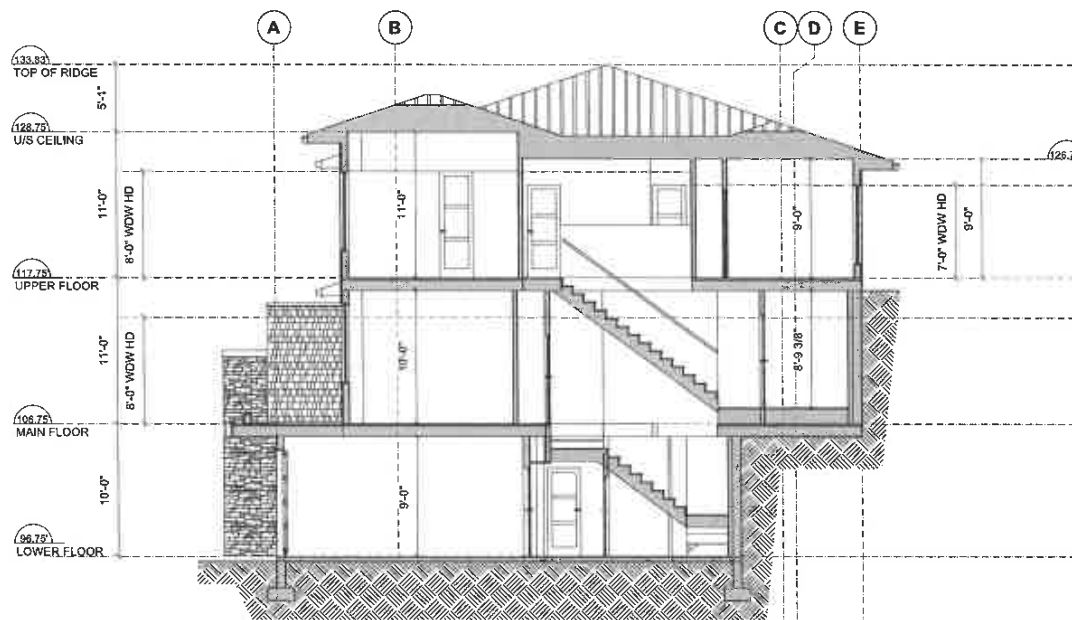
DRAWING
 ROOF PLAN



PROJECT#	800	SHEET	AD3-2.04
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Rebeng Aug 31, 2021
 DRG/PAIS/Carroll/Rebeng MAY 12, 2023
 G1, G2, G3/Rebeng JUL 31, 2023



A SECTION A
 Scale: 1/4" = 1'-0"



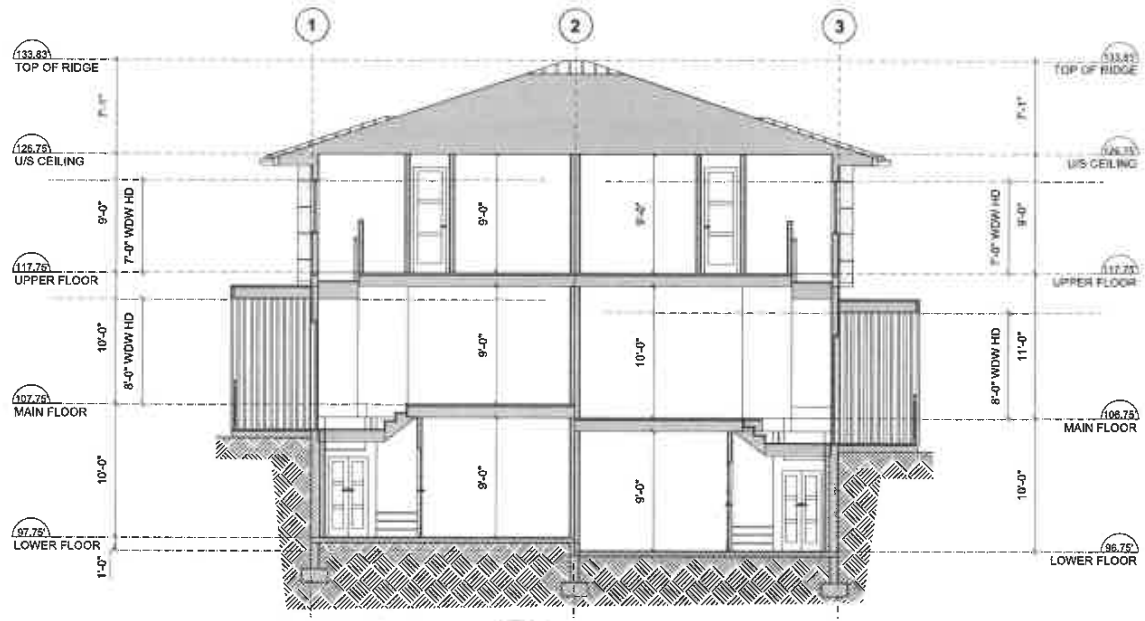
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 SECTION A-A

PROJECT#	800	SHEET	AD3- 3.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

These plans remain the ownership of Sterling Pacific

REV	DESCRIPTION	DATE
1	Issued for O/P/Permitting	AUG 31, 2021
2	ORCA Public Comment Response	MAY 12, 2022
3	Cl. 02, 03 Revisions	JULY 31, 2022



B Section B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT D3

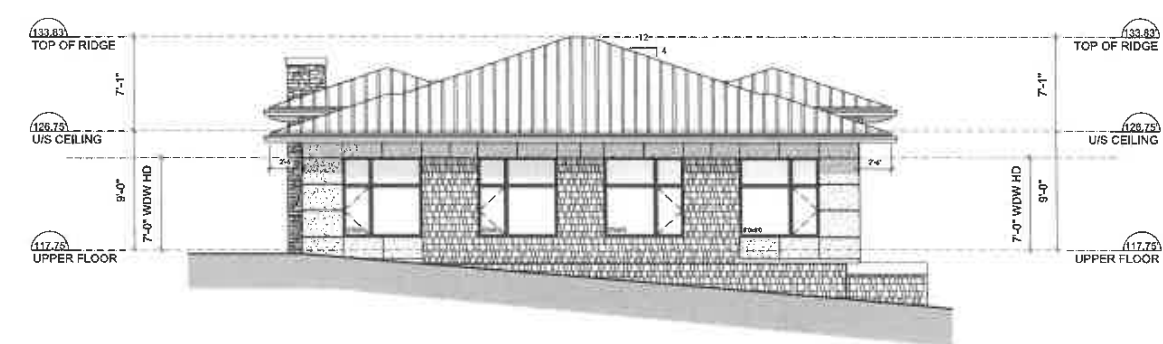
DRAWING
SECTION B-B

PROJECT#	SHEET
8030	AD3-
SCALE 1/4" = 1'-0"	3.02
DATE MAY 12, 2022	



LOWER FLOOR / BASEMENT EXEMPTIONS: = 100% LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

FRONT ELEVATION
UNIT D3



BACK ELEVATION
UNIT D3

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for EPP/Planning	Aug. 31, 2021
ORCA Public Comment Response	MAY 12, 2023
01, 02, 03 Resubmits	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT#	SHEET
8030	AD3-4.01
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

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ownership of Sterling Pacific

REVISIONS
Issued for DP/Permitting Aug 31, 2021
DRCP Public Comment Review MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



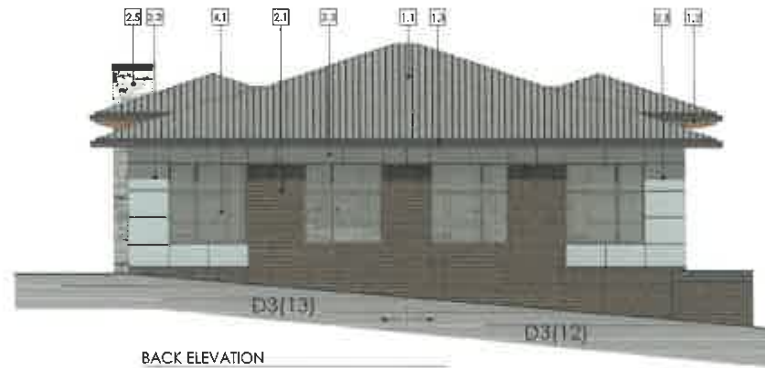
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, B.C.
UNIT D3

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECTA	800	SHEET	AD3- 4.02
SCALE	1/4"=1'-0"	DATE	
DATE	MAY 12, 2023		



FRONT ELEVATION
UNIT D3



BACK ELEVATION
UNIT D3



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Hardy Panel	Charcoal Gray
1.2	Cement Soffit	Rockport Gray BM-HC-105
1.3	Filter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not Used	
2.3	Hardy Panel	Light Mist
2.4	Not Used	
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.2	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stelwood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Stelwood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
4.5	Charcoal Gray	Charcoal Gray
4.6	Charcoal Gray	Charcoal Gray
4.7	Charcoal Gray	Charcoal Gray
4.8	Charcoal Gray	Charcoal Gray
4.9	Charcoal Gray	Charcoal Gray
4.10	Charcoal Gray	Charcoal Gray
4.11	Charcoal Gray	Charcoal Gray
4.12	Charcoal Gray	Charcoal Gray
4.13	Charcoal Gray	Charcoal Gray
4.14	Charcoal Gray	Charcoal Gray
4.15	Charcoal Gray	Charcoal Gray
4.16	Charcoal Gray	Charcoal Gray
4.17	Charcoal Gray	Charcoal Gray
4.18	Charcoal Gray	Charcoal Gray
4.19	Charcoal Gray	Charcoal Gray
4.20	Charcoal Gray	Charcoal Gray
4.21	Charcoal Gray	Charcoal Gray
4.22	Charcoal Gray	Charcoal Gray
4.23	Charcoal Gray	Charcoal Gray
4.24	Charcoal Gray	Charcoal Gray
4.25	Charcoal Gray	Charcoal Gray
4.26	Charcoal Gray	Charcoal Gray
4.27	Charcoal Gray	Charcoal Gray
4.28	Charcoal Gray	Charcoal Gray
4.29	Charcoal Gray	Charcoal Gray
4.30	Charcoal Gray	Charcoal Gray

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REVISIONS
Revised for D3/Removal
DREZ/ Public Comment Revisions
01, 02, 03 Revisions

Aug 31, 2021
MAY 12, 2022
JULY 31, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE MAY 12, 2022

SHEET
**AD3-
4.03**

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REVISIONS
 Issued for DP7/Permitting Aug 31, 2021
 DRG/ Public Comment Reviews MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2022



AQUILA EXTENDED MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Grey
1.2	Flux Cement Soffit	Brushed Metal - BW-105
1.3	Sublet	Charcoal Grey
2.1	Flux Cement Shingles	WoodStone Rustic Slate Carbon Trail
2.2	Not used	
2.3	Body Panel	Light ml
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upper level balcony curb w/ no precast	Wrought Iron BM - 2124 - 10
3.2	Upper level balcony railing w/ no precast	Wrought Iron BM - 2124 - 10
4.1	Stainless steel window frames & sliding door	Charcoal Grey
4.2	Sliding door painted c/w trim and garage	Stainless - Old Master Gal Steel c/w clear top coat - Special Walnut
4.3	Stainless steel garage	Charcoal Grey
4.4	Motion glass guardrail system c/w cap	Charcoal Grey
5.1	Multi-tone treated wood	Stainless - Old Master Gal Steel c/w clear top coat - Special Walnut
5.2	Brushed metal B	Charcoal Grey
5.3	Textured (painted) metal	Charcoal Grey

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT D3

DRAWING
 EAST & WEST
 ELEVATIONS

PROJECT # 800
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
 BHEET
AD3-4.04



FRONT ELEVATION - CAMERA VIEW
UNIT D3



SIDE ELEVATION - CAMERA VIEW
UNIT D3



BACK ELEVATION - CAMERA VIEW
UNIT D3



SIDE ELEVATION - CAMERA VIEW
UNIT D3

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for CP/Resolving Aug. 31, 2021
DRG/ Public Comment Revisions MAY 12, 2022
DT, DT, D3 Revisions JUN 13, 2023



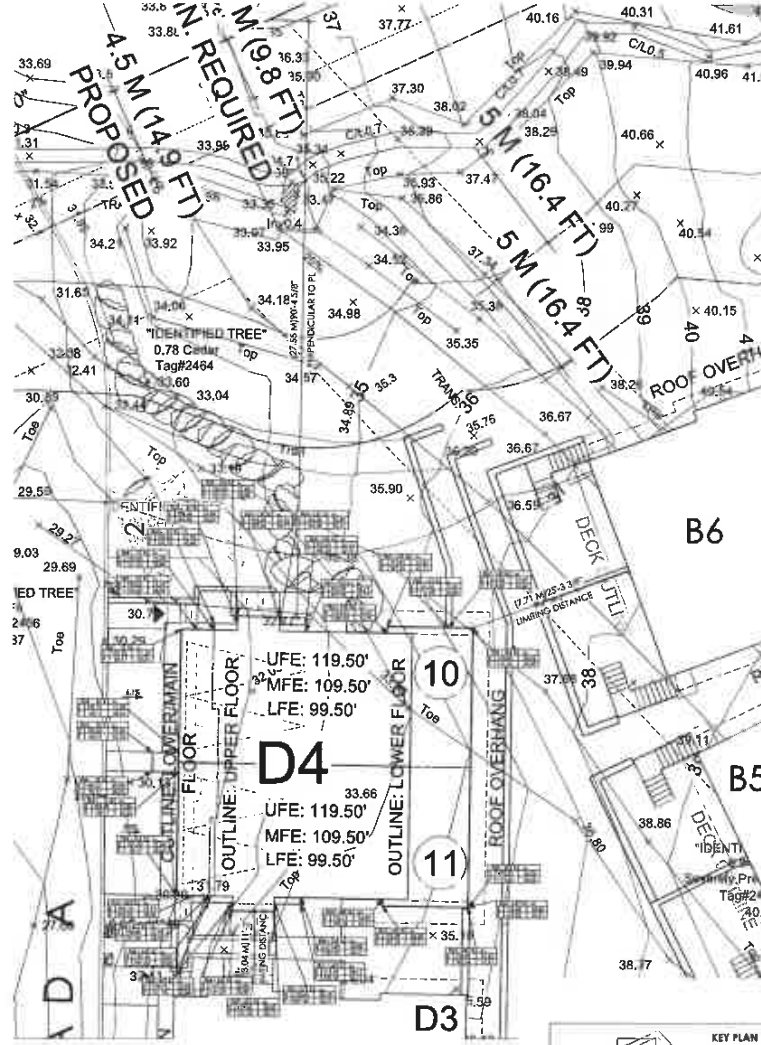
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

DRAWING
FRONT, BACK &
SIDE ELEVATIONS

PROJECT#	8030	SHEET
SCALE	1/4" = 1'-0"	AD3-
DATE	MAY 12, 2022	4.05

AVERAGE EXISTING GRADE CALCULATION						
St. #	Elevation	Ref #	Elevation	Distance	z	Distance
1	101.80	1	100.27	101.1	4.2	456.34
2	100.27	2	100.27	100.24	1	305.71
3	100.26	4	101.73	100.86	4	403.82
4	101.71	5	101.20	100.21	14.50	189.21
5	102.30	6	102.62	102.61	2.42	248.01
6	102.60	7	103.60	102.26	2	266.28
7	103.60	8	103.92	103.92	1	109.90
8	103.92	9	104.54	104.54	1.1	306
9	104.54	10	104.54	104.51	1.1	122.09
10	104.54	11	106.34	105.46	6.1	67.1
11	106.34	12	106.34	106.34	1.1	124.13
12	106.30	13	107.41	106.48	4	427.42
13	107.41	14	107.43	107.2	1	377
14	107.43	15	113.22	111	12.31	1264.61
15	113.22	16	113.34	113.38	1	113.38
16	113.34	17	121.62	117	38.53	1997.27
17	121.62	18	121.62	121.6	0	0.00
18	121.62	19	120.06	120.64	2.1	443.10
19	120.06	20	120.06	120	0.2	6942.16
20	120.06	21	118.62	118	0	0.00
21	118.60	22	118.60	118	0	0.00
22	118	23	118.60	118	0	0.00
23	118	24	114.78	115.1	19.92	149.74
24	114.78	25	113.74	113	1.4	113.9
25	113.74	26	113.84	112	12.38	1380.79
26	113.84	27	113.81	111	1	113.81
27	111.81	28	110.8	111	4	111.8
28	110.8	29	111	110	1.1	129
29	111.05	30	104.4	106	8.5	113.9
30	104.4	31	107.92	108.1	1.47	113.9
31	107.92	32	106.14	106.54	3	174.1
32	106.14	33	104	104.2	1	104
33	104	34	104.1	104	2	228.04
34	104.1	35	102.82	102.82	2.42	244.89
35	102.82	36	101	101	18.50	1684
Total					483.28	21411.8
Avg. Existing Grade					110.44	
Min. Elevation					99.85	

AVERAGE FINISHED GRADE CALCULATION						
St. #	Elevation	Ref #	Elevation	Distance	z	Distance
1	99.17	1	99.17	99.1	4	368.1
2	99.17	2	99.17	99.1	1	297.51
3	99.17	3	99.17	99.17	4	354.64
4	99.17	4	99.17	99.17	10	1044.66
5	99.17	5	101.62	100.34	2	244.85
6	101.60	6	101.60	101.62	1	302.4
7	101.60	7	101.60	101.54	1	101.50
8	101.60	8	101.60	101	1	304.33
9	101.60	9	101.60	101	1.1	118.61
10	101.60	10	102.00	101.4	6	628.20
11	102.00	11	102.00	102	1.1	128.22
12	102.00	12	102.00	102	1.1	128.22
13	102.00	13	102.00	102	1.1	128.22
14	102.00	14	102.00	102	1.1	128.22
15	102.00	15	102.00	102	1.1	128.22
16	102.00	16	102.00	102	1.1	128.22
17	102.00	17	102.00	102.00	8	3702.0
18	102.00	18	102.00	102	0	0
19	102.00	19	102.00	102	0	0
20	102.00	20	102.00	102	0	0
21	102.00	21	102.00	102	0	0
22	102.00	22	102.00	102	0	0
23	102.00	23	102.00	102	0	0
24	102.00	24	102.00	102	0	0
25	102.00	25	102.00	102	0	0
26	102.00	26	102.00	102	0	0
27	102.00	27	102.00	102	0	0
28	102.00	28	102.00	102	0	0
29	102.00	29	102.00	102	0	0
30	102.00	30	102.00	102	0	0
31	102.00	31	102.00	102	0	0
32	102.00	32	102.00	102	0	0
33	102.00	33	102.00	102	0	0
34	102.00	34	102.00	102	0	0
35	102.00	35	102.00	102	0	0
Total					189.20	20067.0
Avg. Finished Grade					102.30	
Min. Elevation					99.85	



SITE PLAN
SCALE: 1/8"=10'

TOP OF FLOOR - 04 (10)			TOP OF FLOOR - 04 (11)		
Lower	Main	Upper	Lower	Main	Upper
30.33 m	33.38 m	36.42 m	30.33 m	33.38 m	36.42 m
99.89'	109.52'	119.92'	99.89'	109.52'	119.92'



These plans remain the ownership of Sterling Pacific

REVISIONS	Issued for DPA/Permitting	AUG 31, 2021
	CRSP Public Comment Revisions	MAY 12, 2023
	01, 02, 03 Revisions	MAY 31, 2025



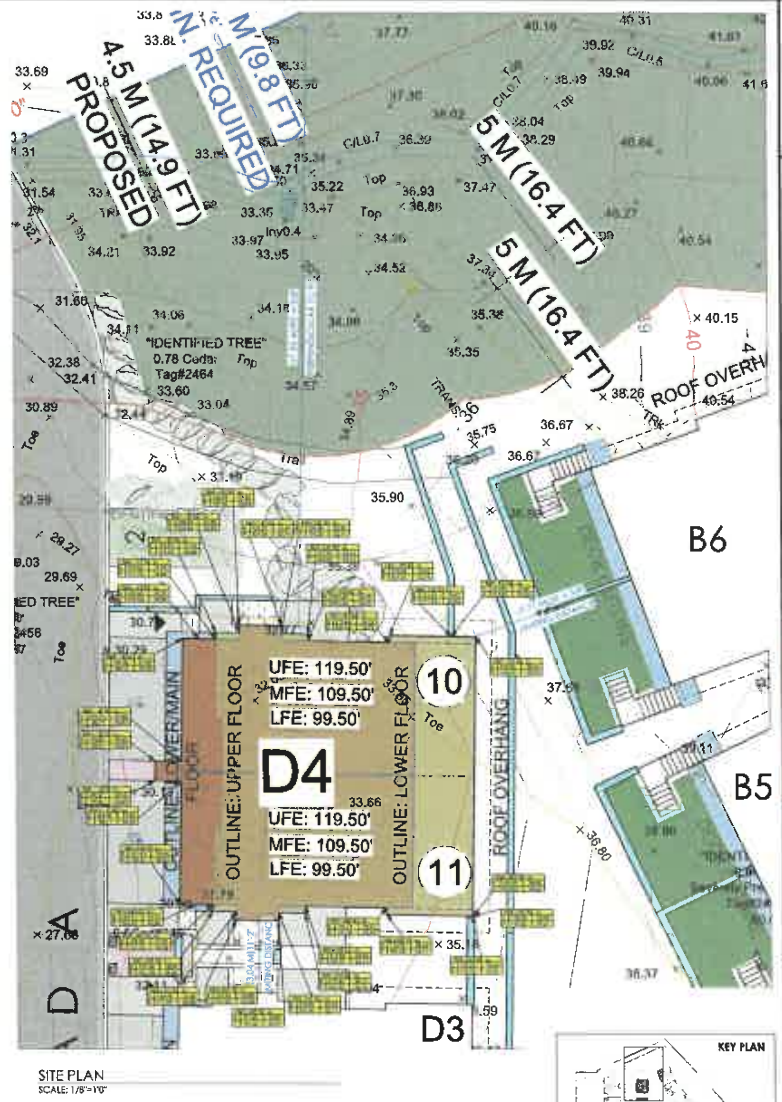
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D4

DRAWING
SITE PLAN

PROJECT#	ANSSET
0500	
SCALE	AD4-1.01
1/8" = 10'	
DATE	MAY 12, 2023

AVERAGE EXISTING GRADE CALCULATION						
Sta	Elevation	Dist	Elevation	Dist	Elevation	Area x Distance
1	121.17	1	102.27	101.00	4.00	285.34
2	106.27	2	100.00	100.00	4.00	260.71
3	106.27	4	101.71	100.00	4.00	405.32
4	121.17	1	102.26	102.27	14.00	1387.11
5	122.35	1	102.42	102.61	2.42	248.91
6	122.65	2	103.00	103.00	1.00	206.74
7	103.80	1	103.00	103.00	1.00	103.80
8	103.80	1	104.84	104.84	2.00	207.60
9	104.54	10	104.54	104.54	1.11	122.54
10	104.54	11	105.00	105.00	6.3	671.25
11	106.36	12	104.00	104.25	1.11	124.00
12	106.36	13	107.41	107.41	4.00	427.22
13	107.41	14	107.00	107.00	1.00	107.41
14	107.25	15	113.22	113.22	12.25	1394.61
15	113.22	16	113.54	113.54	1.00	113.54
16	113.54	17	121.66	121.66	1.00	1216.60
17	121.66	18	121.62	121.62	0.00	0.00
18	121.62	19	120.00	120.00	3.67	443.00
19	120.00	20	120.00	120.00	42.00	5040.00
20	120.00	21	116.80	116.80	0.00	0.00
21	116.80	22	116.80	116.80	0.00	0.00
22	116.80	23	118.00	118.00	0.00	0.00
23	116.80	24	113.76	113.76	13.00	1479.41
24	113.76	25	113.76	113.76	1.00	113.76
25	113.76	26	113.84	113.79	32.36	3696.11
26	113.84	27	113.84	113.84	1.00	113.84
27	113.84	28	111.00	111.00	4.00	446.40
28	111.00	29	111.00	111.00	1.00	111.00
29	111.00	30	108.41	108.41	4.21	448.51
30	108.41	31	107.80	108.11	1.11	118.66
31	107.80	32	108.11	108.11	0.41	474.41
32	108.11	33	104.96	104.96	1.00	104.96
33	104.96	34	104.12	104.12	2.00	208.24
34	104.12	35	101.25	102.24	2.42	242.51
35	101.25	36	101.25	101.25	18.50	1884.11
Total					180.25	20811.81
Avg Existing Grade						116.44
Total Area						29.83

AVERAGE FINISHED GRADE CALCULATION						
Sta	Elevation	Dist	Elevation	Dist	Elevation	Area x Distance
1	99.17	2	99.17	99.17	4.00	396.68
2	99.17	3	98.17	98.17	1.00	98.17
3	99.17	4	98.17	98.17	1.00	98.17
4	99.17	5	99.17	99.17	18.50	1834.11
5	99.17	6	101.00	101.00	2.42	242.51
6	101.00	7	101.00	101.00	2.94	293.91
7	101.00	8	101.00	101.00	1.00	101.00
8	101.00	9	101.00	101.00	0.00	0.00
9	101.00	10	101.00	101.00	1.11	121.66
10	101.00	11	102.26	102.26	4.00	409.04
11	102.26	12	102.26	102.26	1.11	122.54
12	102.26	13	102.26	102.26	1.00	102.26
13	102.26	14	102.26	102.26	1.00	102.26
14	102.26	15	102.26	102.26	1.00	102.26
15	102.26	16	102.26	102.26	1.00	102.26
16	102.26	17	102.26	102.26	1.00	102.26
17	102.26	18	102.26	102.26	1.00	102.26
18	102.26	19	102.26	102.26	1.00	102.26
19	102.26	20	102.26	102.26	1.00	102.26
20	102.26	21	102.26	102.26	1.00	102.26
21	102.26	22	102.26	102.26	1.00	102.26
22	102.26	23	102.26	102.26	1.00	102.26
23	102.26	24	102.26	102.26	1.00	102.26
24	102.26	25	102.26	102.26	1.00	102.26
25	102.26	26	102.26	102.26	1.00	102.26
26	102.26	27	102.26	102.26	1.00	102.26
27	102.26	28	102.26	102.26	1.00	102.26
28	102.26	29	102.26	102.26	1.00	102.26
29	102.26	30	102.26	102.26	1.00	102.26
30	102.26	31	102.26	102.26	1.00	102.26
31	102.26	32	102.26	102.26	1.00	102.26
32	102.26	33	102.26	102.26	1.00	102.26
33	102.26	34	102.26	102.26	1.00	102.26
34	102.26	35	102.26	102.26	1.00	102.26
35	102.26	36	102.26	102.26	1.00	102.26
Total					168.25	20087.81
Avg Finish Grade						108.20
Total Area						29.80



SITE PLAN
SCALE: 1/8" = 1'-0"

TOP OF FINISH FLOOR - D4 (10)			TOP OF FINISH FLOOR - D4 (11)		
Lower	Main	Upper	Lower	Main	Upper
99.50	109.50	119.50	99.50	109.50	119.50

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Issued for DP/Planning	AUG. 31, 2021
DP/CP Public Comment Reviews	MAY 18, 2022
01.02.03 Revisions	JULY 31, 2023



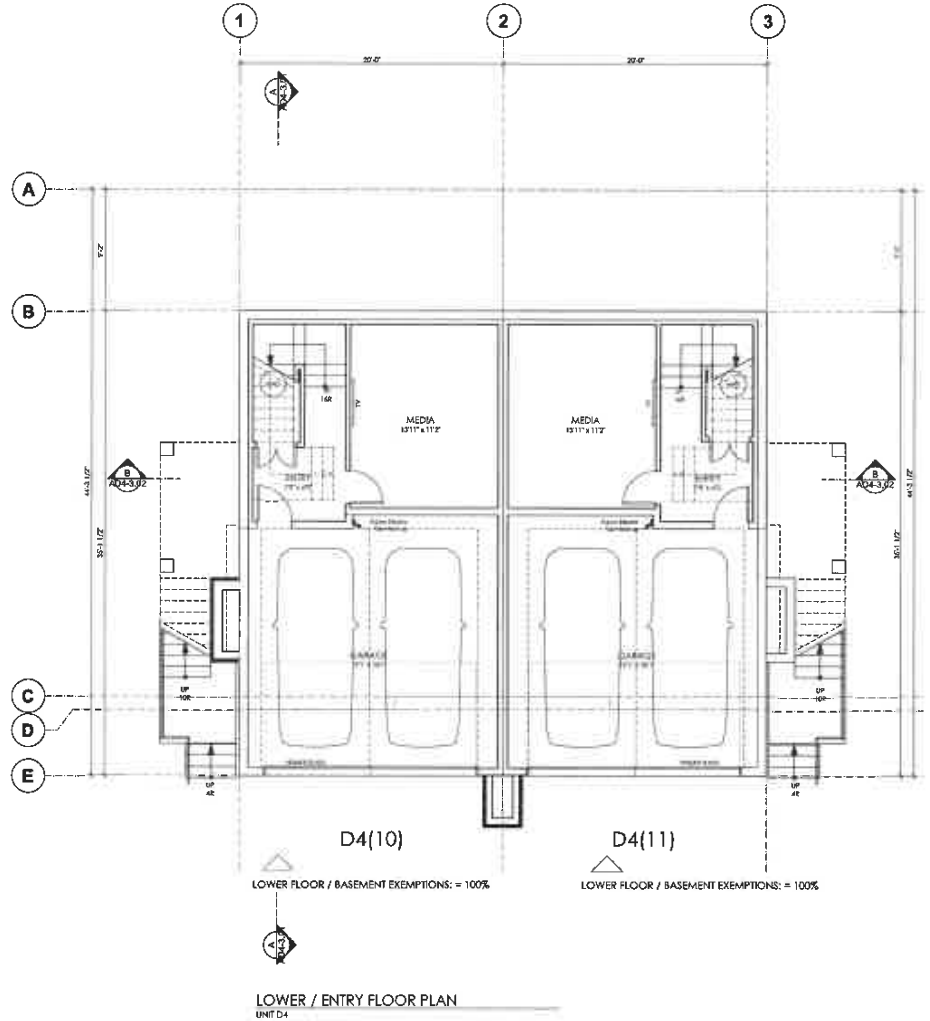
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D4

DRAWING
SITE PLAN

PROJECT	SHEET
AD4-	1.01

These plans remain the ownership of Sterling Pacific

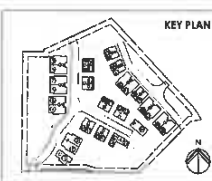
REVISIONS
 Issued for DP/Reaching Aug 31, 2021
 DRC/ Public Comment Revisions MAY 18, 2022
 01, 02, 03 Revisions MAY 24, 2022



LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER / ENTRY FLOOR PLAN
 UNIT D4



	UNIT 10 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	702.5 SF	797.2 SF	810.5 SF	2310.1 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	712.9 SF	0.0 SF	0.0 SF	712.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.2 SF	810.5 SF	1607.8 SF

	UNIT 10 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	65.15M	74.15M	75.35M	214.65M
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASEMENT EXCLUSIONS 100%	79.15M	0.00M	0.00M	79.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	74.15M	75.35M	149.50M

	UNIT 11 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	702.5 SF	791.8 SF	804.6 SF	2298.9 SF
GARAGE EXCLUSIONS	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT EXCLUSIONS 100%	712.9 SF	0.0 SF	0.0 SF	712.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.8 SF	804.6 SF	1596.4 SF

	UNIT 11 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	65.15M	73.85M	74.75M	213.75M
GARAGE EXCLUSIONS	34.25M	0.00M	0.00M	34.25M
BASEMENT EXCLUSIONS 100%	79.15M	0.00M	0.00M	79.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	73.85M	74.75M	148.60M

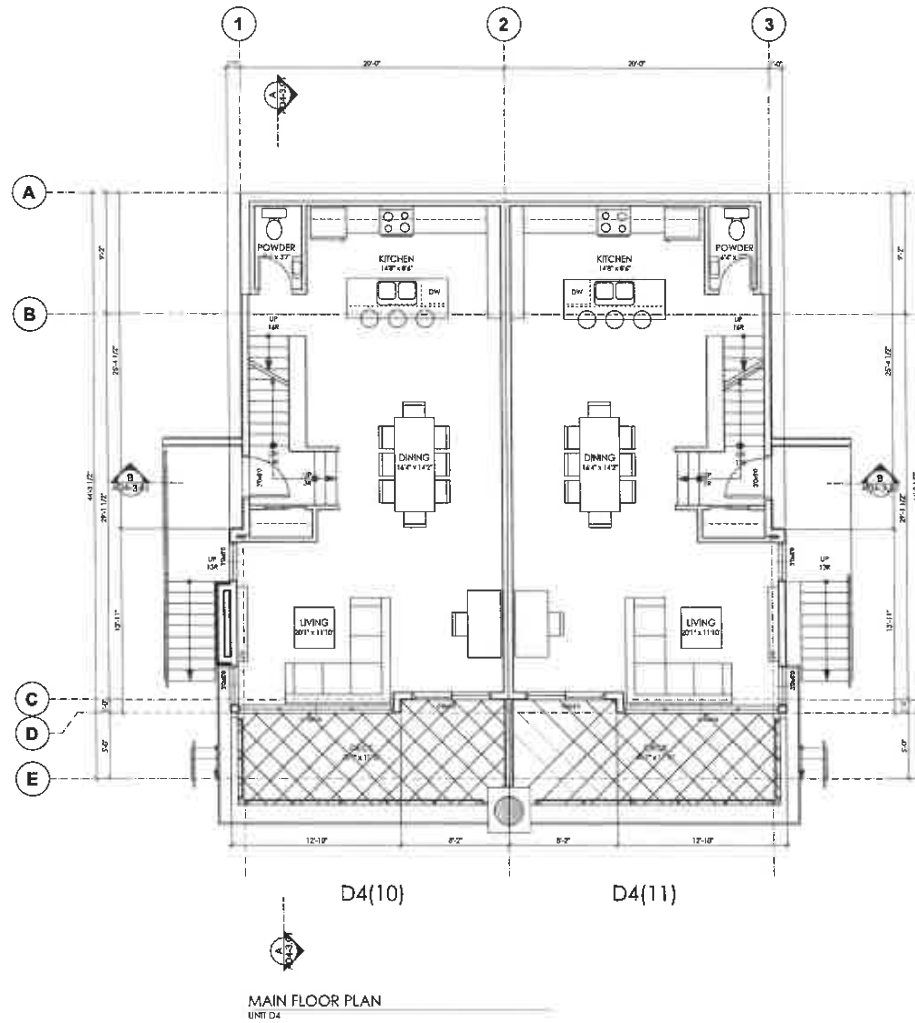
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT D4

DRAWING
LOWER FLOOR PLAN

PROJECT # 6030 SHEET
AD4-2.01
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022

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REVISIONS
 Issued for DP/Marketing Aug. 31, 2021
 DP/D Public Comment Reviews MAY 12, 2022
 01, 02, 03 Reviews JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
MAIN FLOOR PLAN

UNIT 10 FLOOR AREAS IMPERIAL

	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GRDES	702.5 SF	777.2 SF	810.3 SF	2290.0 SF
GARAGE EXCLUSIONS 100%	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.2 SF	810.3 SF	1487.5 SF

UNIT 10 FLOOR AREAS METRIC

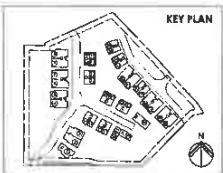
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GRDES	65.25M	71.15M	75.75M	212.15M
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASEMENT EXCLUSIONS 100%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	71.15M	75.75M	146.90M

UNIT 11 FLOOR AREAS IMPERIAL

	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GRDES	702.5 SF	777.2 SF	810.3 SF	2290.0 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	777.2 SF	810.3 SF	1487.5 SF

UNIT 11 FLOOR AREAS METRIC

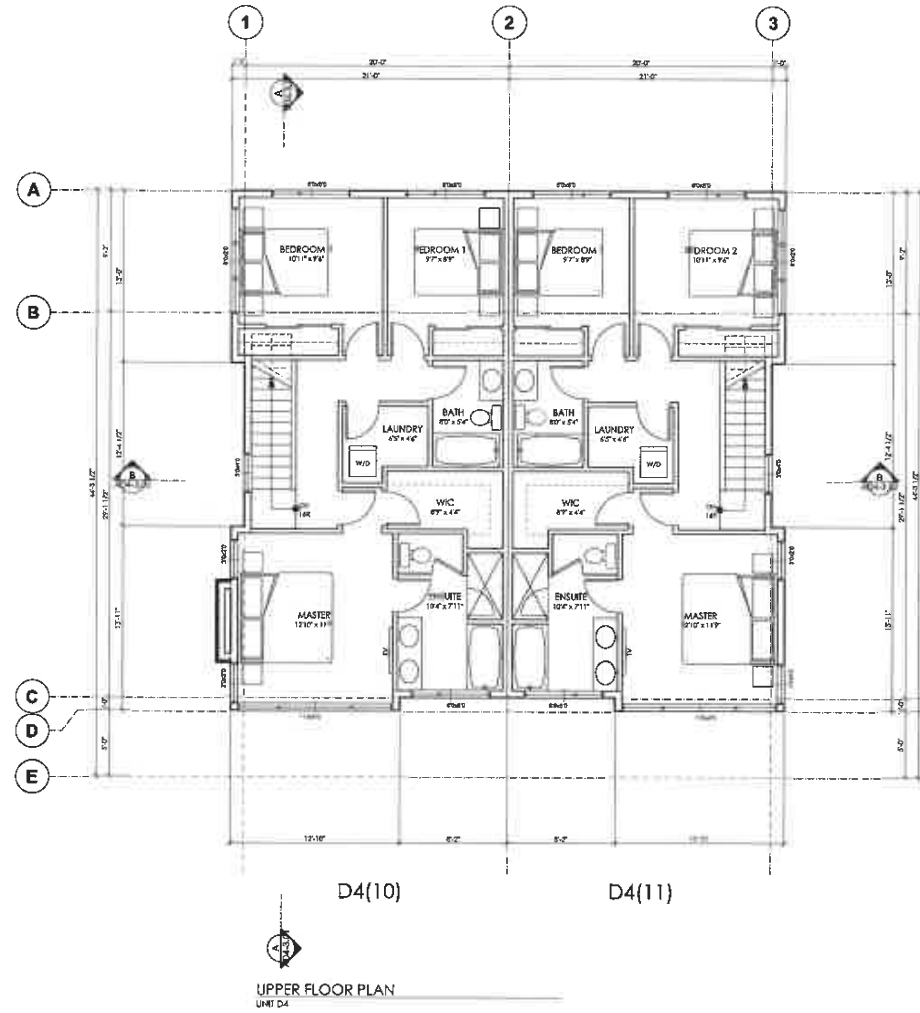
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GRDES	65.25M	71.15M	75.75M	212.15M
GARAGE EXCLUSIONS	36.25M	0.00M	0.00M	36.25M
BASEMENT EXCLUSIONS 100%	29.15M	0.00M	0.00M	29.15M
COVERED BALCONY EXCLUSIONS	0.00M	0.00M	0.00M	0.00M
NET	0.00M	71.15M	75.75M	146.90M



PROJECT NO. 0030
 SHEET
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
AD4-2.02

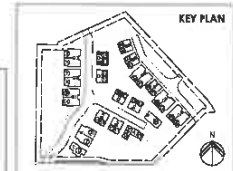
These plans remain the ownership of Sterling Pacific

REVISIONS
 Scaled for DP/Revising Aug 31, 2021
 DRC/Plan/Comment Revisions MAY 12, 2023
 D1, G1, G2 Revisions MAY 14, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D4

DRAWING
UPPER FLOOR PLAN



UNIT 10 FLOOR AREAS IMPERIAL	LEVEL			TOTAL
	LEVEL 1 SO FT	LEVEL 2 SO FT	LEVEL 3 SO FT	
GROSS	702.5 SF	797.5 SF	810.3 SF	2310.3 SF
GARAGE ENCLOSURE	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT ENCLOSURE 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.5 SF	810.3 SF	1607.8 SF

UNIT 10 FLOOR AREAS METRIC	LEVEL			TOTAL
	LEVEL 1 SO M	LEVEL 2 SO M	LEVEL 3 SO M	
GROSS	45.3 SA	74.1 SA	75.1 SA	194.5 SA
GARAGE ENCLOSURE	34.2 SA	0.0 SA	0.0 SA	34.2 SA
BASEMENT ENCLOSURE 100%	29.1 SA	0.0 SA	0.0 SA	29.1 SA
COVERED BALCONY ENCLOSURE	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SA	74.1 SA	75.1 SA	149.2 SA

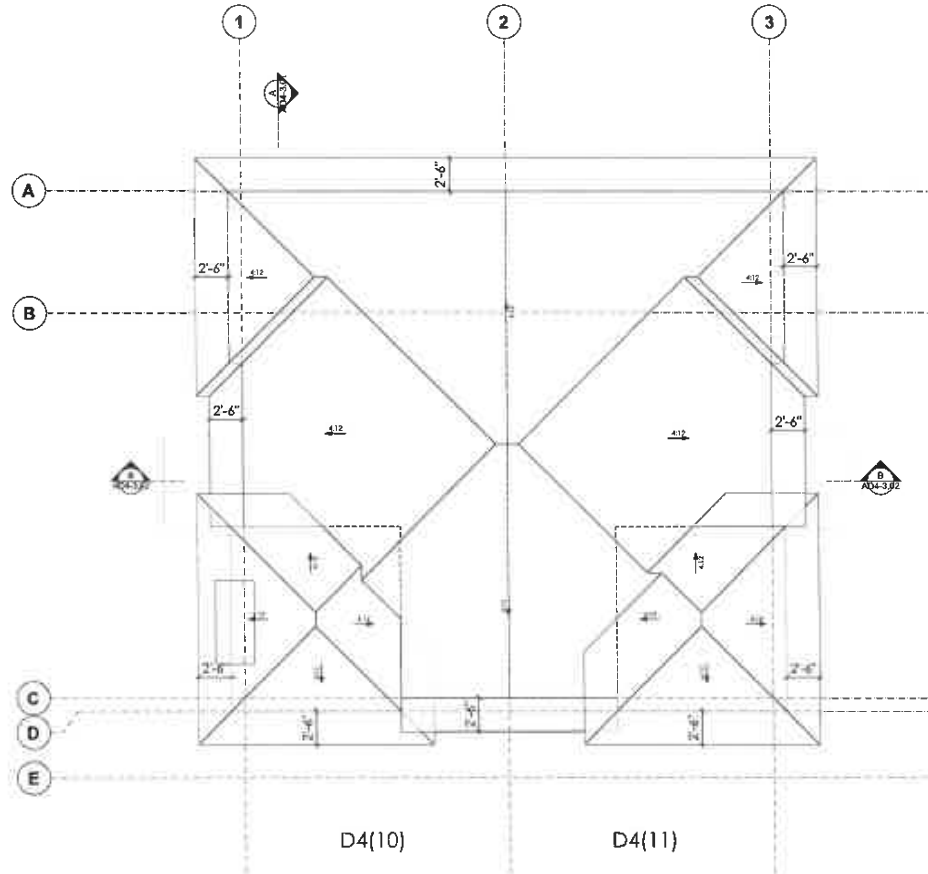
UNIT 11 FLOOR AREAS IMPERIAL	LEVEL			TOTAL
	LEVEL 1 SO FT	LEVEL 2 SO FT	LEVEL 3 SO FT	
GROSS	702.5 SF	797.4 SF	804.4 SF	2304.3 SF
GARAGE ENCLOSURE	389.4 SF	0.0 SF	0.0 SF	389.4 SF
BASEMENT ENCLOSURE 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.4 SF	804.4 SF	1591.8 SF

UNIT 11 FLOOR AREAS METRIC	LEVEL			TOTAL
	LEVEL 1 SO M	LEVEL 2 SO M	LEVEL 3 SO M	
GROSS	45.3 SA	75.5 SA	74.7 SA	195.5 SA
GARAGE ENCLOSURE	34.2 SA	0.0 SA	0.0 SA	34.2 SA
BASEMENT ENCLOSURE 100%	29.1 SA	0.0 SA	0.0 SA	29.1 SA
COVERED BALCONY ENCLOSURE	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SA	75.5 SA	74.7 SA	150.2 SA

PROJECT	800	SHEET	AD4-2.03
SCALE	1/4" = 1'-0"		
DATE	MAY 15, 2023		

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REVISIONS
 Revised for DP Reviewing Aug 31, 2021
 DRCP Public Comment Revisions MAY 12, 2023
 01, 01, 03 Revisions JULY 31, 2023



ROOF PLAN
 UNIT D4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

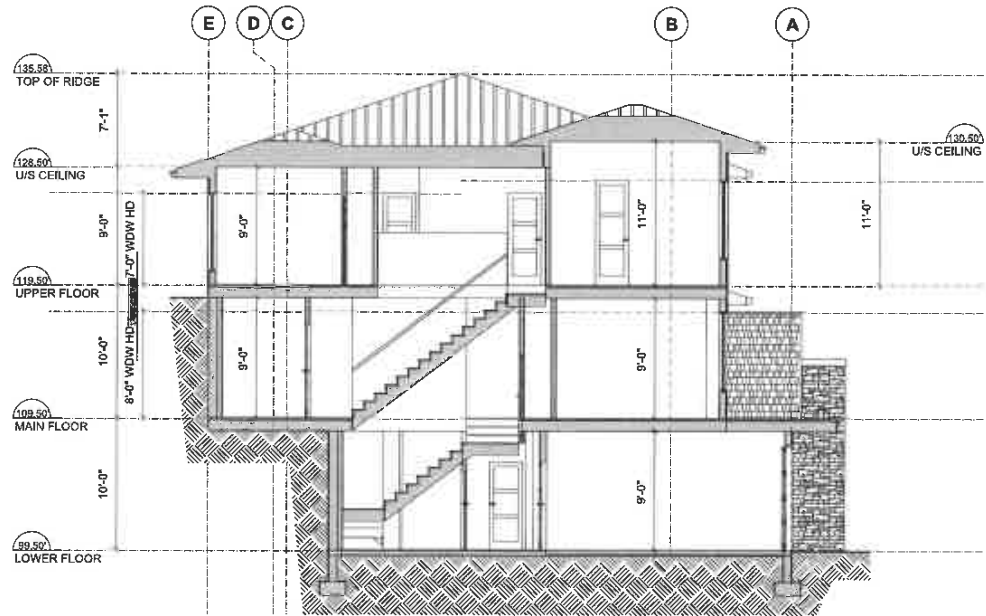
DRAWING
ROOF PLAN



PROJECT#	NOO	AD4- 2.04
SCALE	1/4"=1'-0"	
DATE	MAY 12, 2023	

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REVISIONS	
Issued for DP/Permitting	AUG 21, 2021
DKD Public Comment Response	MAY 12, 2023
01, 03, 04 Revisions	JUL 13, 2023



A SECTION A
Scale: 1/4" = 1'-0"



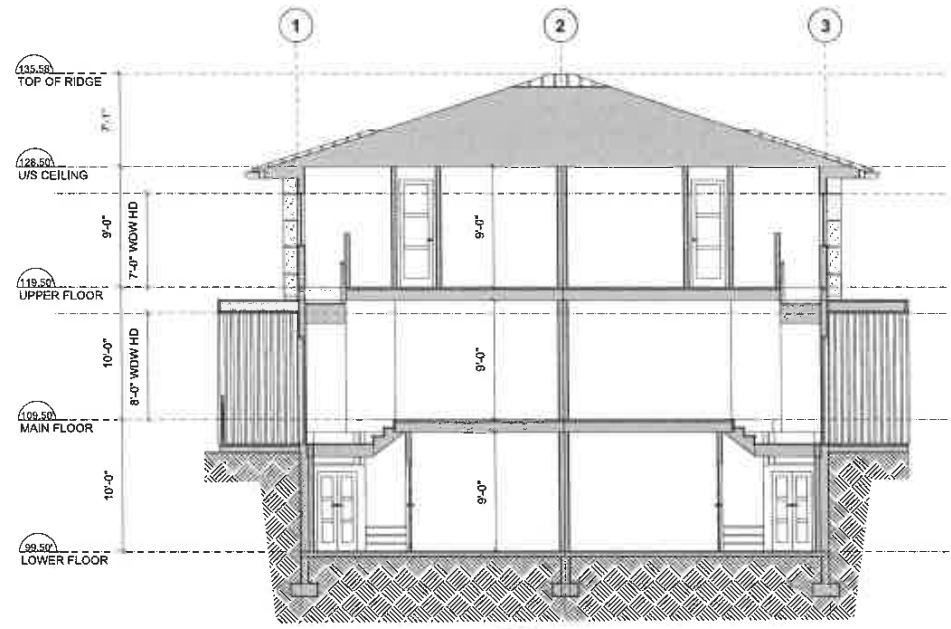
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
SECTION A-A

PROJECT#	SHEET
8000	AD4-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Rev'd for DP/Reviewing Aug 31, 2021
 DRD Public Comment Review MAY 12, 2022
 01, 02, 03 Revisions JAN 21, 2023



B Section B
 Scale: 1/4" = 1'-0"



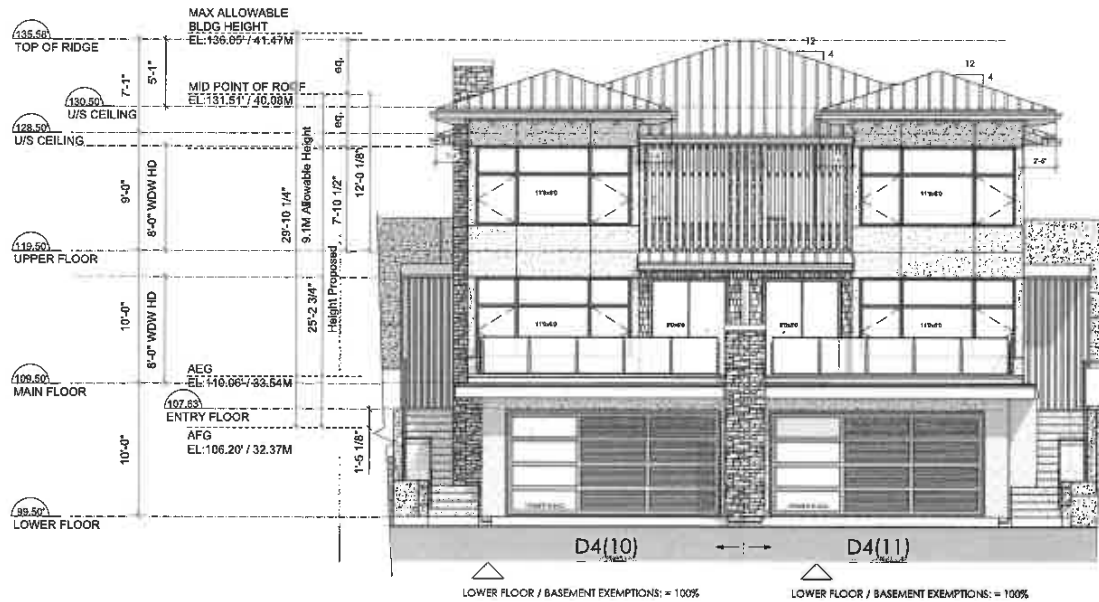
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 SECTION B-B

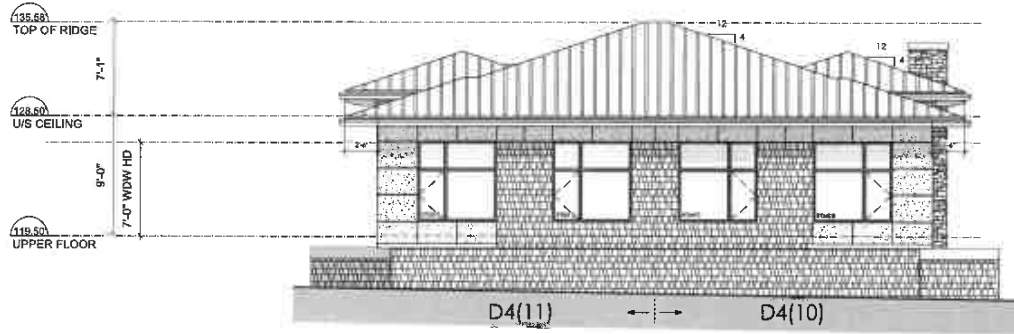
PROJECT	SHEET
NO. 003	AD4-
SCALE 1/4" = 1'-0"	3.02
DATE MAY 12, 2022	

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REVISIONS	
Issued for DP/Permitting	Aug 31, 2021
Client Public Comment Response	MAY 12, 2022
01, 02, 03 Revisions	JUL 31, 2023



FRONT ELEVATION
UNIT D4



BACK ELEVATION
UNIT D4

SPATIAL SEPARATION CALCULATION (BCRC TABLE 2.2.3.1-D)

EXPOSED BUILDING FACE:	559.29 SF (51.96 SMA)
LIMITING DISTANCE:	12.65' (3.84 M)
UNPROTECTED OPENING:	144.00 SF (13.38 SMA)
PROPOSED OPENINGS:	25.75%
PERMITTED OPENINGS:	45.16%

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
FRONT & BACK
ELEVATIONS B/W

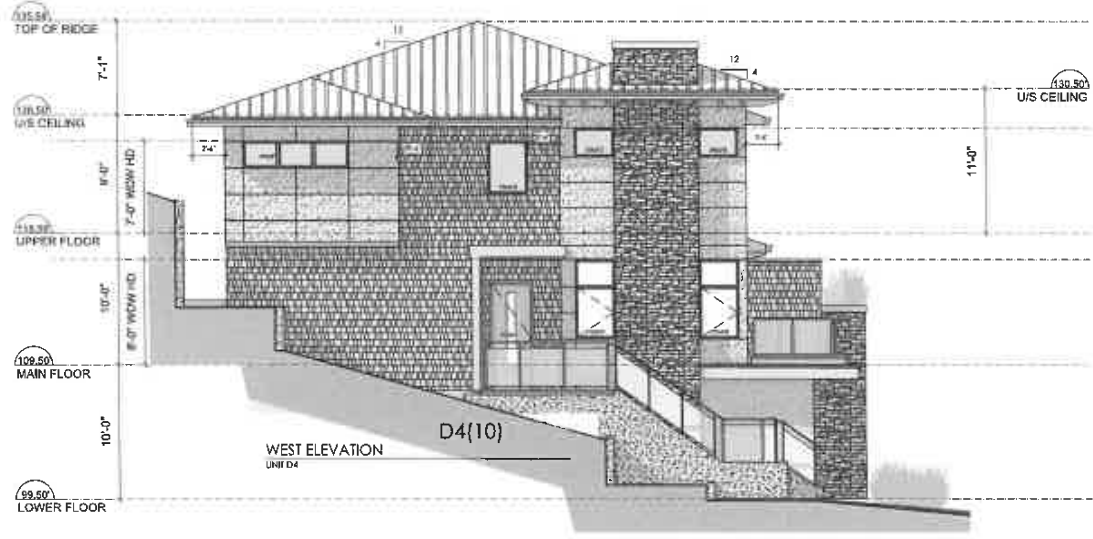
PROJECT#	SHEET
0010	AD4-
SCALE	4.01
DATE	MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for EPR/Reopening Aug 31, 2021
 DRD Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



D4(11)
 EAST ELEVATION
 UNIT D4



WEST ELEVATION
 UNIT D4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT	SHEET
8070	AD4-
SCALE 1/4" = 1'-0"	4.02
DATE MAY 12, 2023	



FRONT ELEVATION
UNIT D4



BACK ELEVATION
UNIT D4



AQUILA EXTERIOR MATERIAL SCHEDULE		
#	Material	Colour
1.1	1/2" Metal Roof	Charcoal Gray
1.2	Cement Soffit	Rockport Gray HC-105
1.3	Tile	Charcoal Gray
2.1	Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	to be used	
2.3	Hardy Panel	Light Mist
2.4	Light Wood	
2.5	Stone	Random Granite
3.1	Upstand on entry door & window	Wrought Iron BM - 2124 - 10
3.2	Barge Boards	Wrought Iron BM - 2124 - 10
4.1	Window Sill	Charcoal Gray
4.2	Entry door panel & window and upstand	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Window / Fascia / Barge Boards	Charcoal Gray
4.4	Roofline glass guardrail system c/w handrail	Charcoal Gray
5.1	Re-tiler treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Painted metal roof	Charcoal Gray
5.3	Steel roof	Charcoal Gray

These plans remain the ownership of Sterling Pacific

REVISION 8
Based for DP/Planning Aug 31, 2021
DR/C Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT # 8030 SHEET
SCALE 1/4" = 1'-0" **AD4-**
DATE JULY 12, 2023 **4.03**

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Permitting Aug 31, 2021
 DRG/Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



AQUILA EXTENSION MATERIAL SCHEDULE		
Item	Material	Colour
1.1	Shale "A" Metal Roof	Charcoal Grey
1.2	Fibre Cement Soffit	Kodiak Grey BM- HC-105
1.3	Trailer	Charcoal Grey
2.1	Fibre Cement Shingle	Woodstone Basic Series Carbon Trail
2.2	Not Used	
2.3	Ready Panel	Light Ash
2.4	Not Used	
2.5	Stone	Random Granite
3.1	Non-Flammable GFRP Composite Panel	Wrought Iron BM- 2124 - 10
3.2	Wrought Iron BM- 2124 - 10	Wrought Iron BM- 2124 - 10
4.1	Charcoal Grey	Charcoal Grey
4.2	Entry floor polished cherry transom and glazing	Stainwood - Old Weather Oak Slain cherry clear top coat - Special Walnut
4.3	Charcoal Grey	Charcoal Grey
4.4	100mm glass guardrail system cherry cap	Charcoal Grey
5.1	Site specific treated wood	Stainwood - Old Weather Oak Slain cherry clear top coat - Special Walnut
5.2	Polished metal	Charcoal Grey
5.3	Stone (granite inlay)	Charcoal Grey

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT NO. 1000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023
 SHEET
**AD4-
 4.04**

These plans remain the ownership of Sterling Pacific



FRONT ELEVATION - CAMERA VIEW
UNIT D4



SIDE ELEVATION - CAMERA VIEW
UNIT D4



BACK ELEVATION - CAMERA VIEW
UNIT D4



SIDE ELEVATION - CAMERA VIEW
UNIT D4

REVISIONS
Issued for DP/Permitting Aug 31, 2021
0817/ Public Comment Revisions MAY 12, 2023
09, 02, 03 Revisions JULY 21, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING

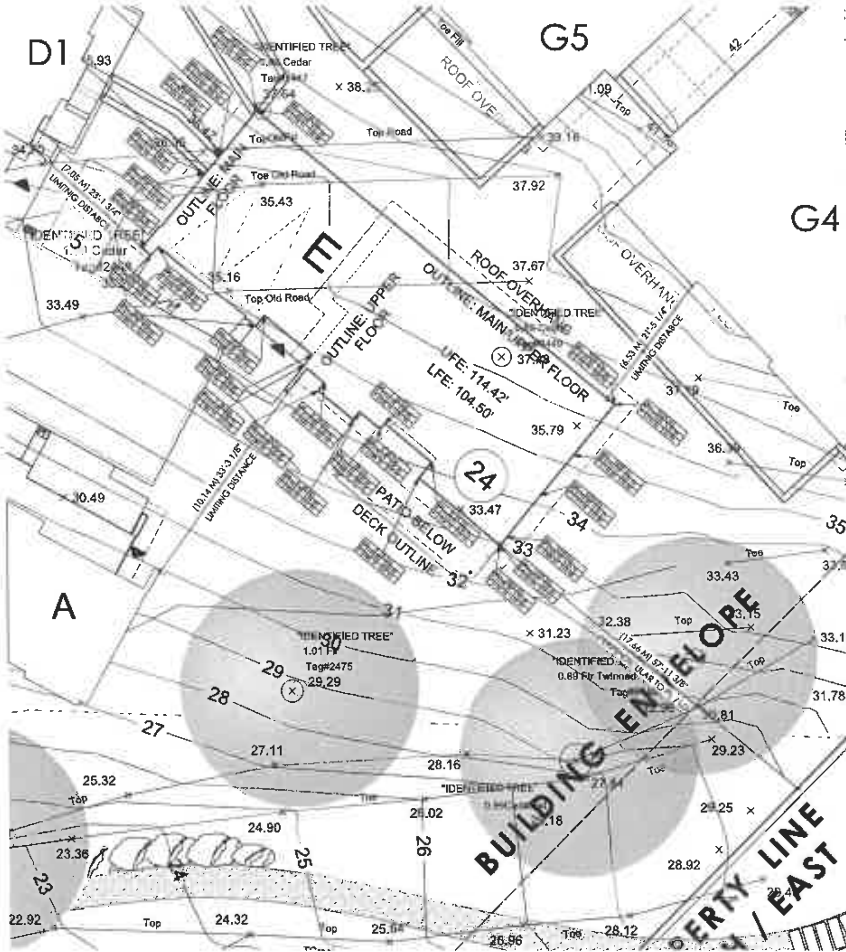
FRONT, BACK &
SIDE ELEVATIONS

PROJECT	SHEET
020	AD4- 4.05
SCALE	
DATE	

MAY 12, 2023

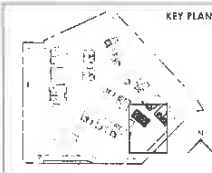
B - AVERAGE FINISHED GRADE CALCULATION				
Station	Elevation	Distance	X	Y
1	104.1	104.16	4.04	421.61
2	104.1	104.16	1.54	166.81
3	104.1	104.16	6.89	711.73
4	104.1	104.16	1.54	166.81
5	104.1	104.16	4.04	421.61
6	104.1	104.16	1.54	166.81
7	104.1	104.16	6.11	632.7
8	104.1	104.16	3.1	321.1
9	104.1	104.16	10.83	1044.1
10	104.1	104.16	0.00	0
11	104.1	104.16	0.00	0
12	104.1	104.16	7.91	888.69
13	104.1	104.16	8.11	878.79
14	104.1	104.16	8.51	1062.25
15	104.1	104.16	0.00	0
16	104.1	104.16	0.00	0
17	104.1	104.16	0.00	0
18	104.1	104.16	0.00	0
19	104.1	104.16	0.00	0
20	104.1	104.16	0.00	0
21	104.1	104.16	3.41	362.63
22	104.1	104.16	0.00	0
23	104.1	104.16	14.77	1546.31
24	104.1	104.16	1.71	182.28
25	104.1	104.16	18.83	1981.8
26	104.1	104.16	2.1	218.09
27	104.1	104.16	8.42	900.27
28	104.1	104.16	2.1	218.09
Total			207.33	22865.64
AVG Finish Grade			183.36	
Fin. Grade	29.86		142.21	

B - AVERAGE EXISTING GRADE CALCULATION				
Station	Elevation	Distance	X	Y
1	113.1	113.23	4.04	420.64
2	113.1	113.23	1.54	174.78
3	113.1	113.23	8.83	773.82
4	113.1	113.23	1.54	174.78
5	113.1	113.23	4.04	420.64
6	113.1	113.23	1.54	174.78
7	113.1	113.23	6.11	632.7
8	113.1	113.23	3.1	321.1
9	113.1	113.23	10.83	1044.1
10	113.1	113.23	0.00	0
11	113.1	113.23	0.00	0
12	113.1	113.23	7.91	888.69
13	113.1	113.23	8.11	878.79
14	113.1	113.23	8.51	1062.25
15	113.1	113.23	0.00	0
16	113.1	113.23	0.00	0
17	113.1	113.23	0.00	0
18	113.1	113.23	0.00	0
19	113.1	113.23	0.00	0
20	113.1	113.23	0.00	0
21	113.1	113.23	3.41	362.63
22	113.1	113.23	0.00	0
23	113.1	113.23	14.77	1546.31
24	113.1	113.23	1.71	182.28
25	113.1	113.23	18.83	1981.8
26	113.1	113.23	2.1	218.09
27	113.1	113.23	8.42	900.27
28	113.1	113.23	2.1	218.09
Total			206.22	24042.73
AVG Existing Grade			114.32	
Existing Grade	26.69		144.77	



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - E (24)	
Units	Value
Feet	114.32
Meters	34.89
Feet	104.92
Meters	31.97



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REVISIONS
 Made for DP/Permitting
 DRCP Public Comment Response
 G1, G2, G3 Response

Aug 23, 2021
 MAY 12, 2023
 JULY 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT E

DRAWING
SITE PLAN

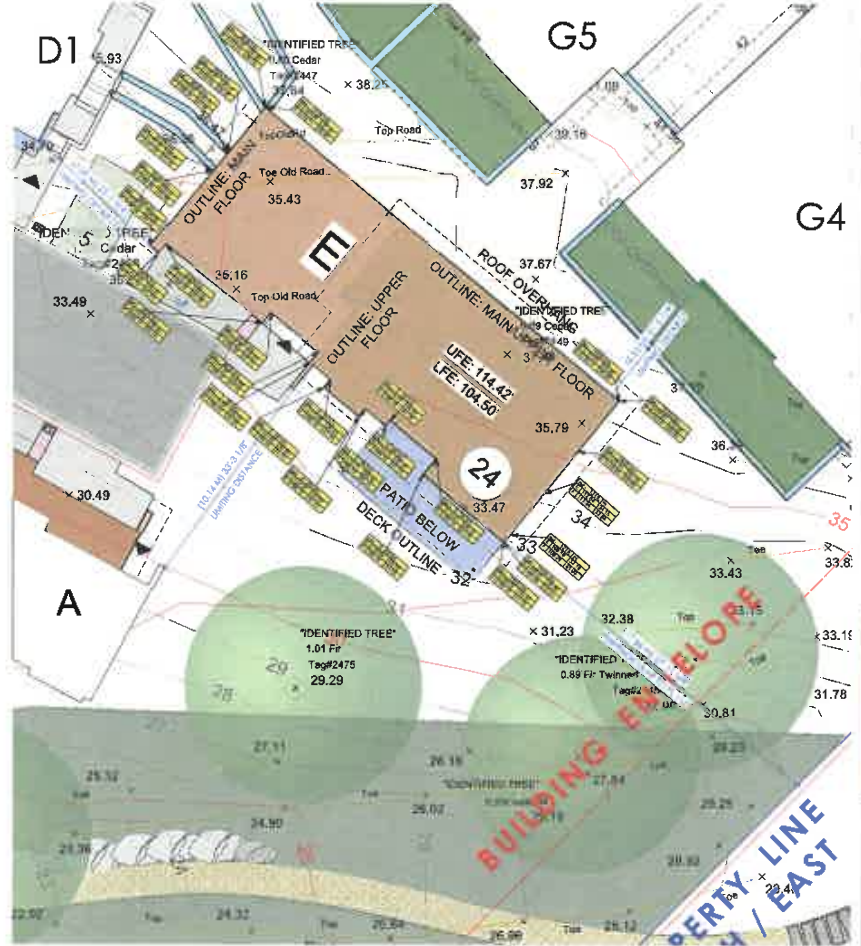
PROJECT	8050	SHEET
SCALE	1/8" = 1'-0"	AE-1.01
DATE	MAY 12, 2023	

AVERAGE FINISHED GRADE CALCULATION

Sta #	Station	Dist #	Elevation	Distance	Area	Volume
1	104.6	1	104.16	0.54	0.29	0.00
2	104.16	2	104.16	0.54	0.29	0.00
3	104.16	3	104.16	0.54	0.29	0.00
4	104.16	4	104.16	0.54	0.29	0.00
5	104.16	5	104.16	0.54	0.29	0.00
6	104.16	6	104.16	0.54	0.29	0.00
7	104.16	7	104.16	0.54	0.29	0.00
8	104.16	8	104.16	0.54	0.29	0.00
9	104.16	9	104.16	0.54	0.29	0.00
10	104.16	10	104.16	0.54	0.29	0.00
11	107.48	11	107.48	0.54	0.29	0.00
12	111.34	12	111.34	0.54	0.29	0.00
13	114.63	13	114.63	0.54	0.29	0.00
14	117.81	14	117.81	0.54	0.29	0.00
15	120.81	15	120.81	0.54	0.29	0.00
16	123.54	16	123.54	0.54	0.29	0.00
17	125.91	17	125.91	0.54	0.29	0.00
18	127.81	18	127.81	0.54	0.29	0.00
19	129.24	19	129.24	0.54	0.29	0.00
20	130.24	20	130.24	0.54	0.29	0.00
21	130.78	21	130.78	0.54	0.29	0.00
22	130.81	22	130.81	0.54	0.29	0.00
23	130.41	23	130.41	0.54	0.29	0.00
24	130.16	24	130.16	0.54	0.29	0.00
25	130.16	25	130.16	0.54	0.29	0.00
26	130.16	26	130.16	0.54	0.29	0.00
27	130.16	27	130.16	0.54	0.29	0.00
28	130.16	28	130.16	0.54	0.29	0.00
29	130.16	29	130.16	0.54	0.29	0.00
30	130.16	30	130.16	0.54	0.29	0.00
Total			207.33			22490.54
Avg. Finish Grade					110	
Min. Elev. at End P					29.85	140.21

AVERAGE EXISTING GRADE CALCULATION

Sta #	Station	Dist #	Elevation	Distance	Area	Volume
1	111.1	1	113.72	0.54	0.29	0.00
2	111.1	2	113.72	0.54	0.29	0.00
3	111.1	3	113.72	0.54	0.29	0.00
4	111.1	4	113.72	0.54	0.29	0.00
5	111.1	5	113.72	0.54	0.29	0.00
6	111.1	6	113.72	0.54	0.29	0.00
7	111.1	7	113.72	0.54	0.29	0.00
8	111.1	8	113.72	0.54	0.29	0.00
9	111.1	9	113.72	0.54	0.29	0.00
10	108.0	10	108.68	0.54	0.29	0.00
11	108.0	11	108.68	0.54	0.29	0.00
12	108.0	12	108.68	0.54	0.29	0.00
13	111.1	13	113.72	0.54	0.29	0.00
14	111.1	14	113.72	0.54	0.29	0.00
15	111.1	15	113.72	0.54	0.29	0.00
16	111.1	16	113.72	0.54	0.29	0.00
17	111.1	17	113.72	0.54	0.29	0.00
18	111.1	18	113.72	0.54	0.29	0.00
19	111.1	19	113.72	0.54	0.29	0.00
20	111.1	20	113.72	0.54	0.29	0.00
21	111.1	21	113.72	0.54	0.29	0.00
22	111.1	22	113.72	0.54	0.29	0.00
23	111.1	23	113.72	0.54	0.29	0.00
24	111.1	24	113.72	0.54	0.29	0.00
25	111.1	25	113.72	0.54	0.29	0.00
26	111.1	26	113.72	0.54	0.29	0.00
27	111.1	27	113.72	0.54	0.29	0.00
28	111.1	28	113.72	0.54	0.29	0.00
29	111.1	29	113.72	0.54	0.29	0.00
30	111.1	30	113.72	0.54	0.29	0.00
Total			209.32			21643.7
Avg. Existing Grade					114	
Min. Elev. at End P					29.85	140.21



SITE PLAN
SCALE 1/8"=1'-0"



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REVISIONS

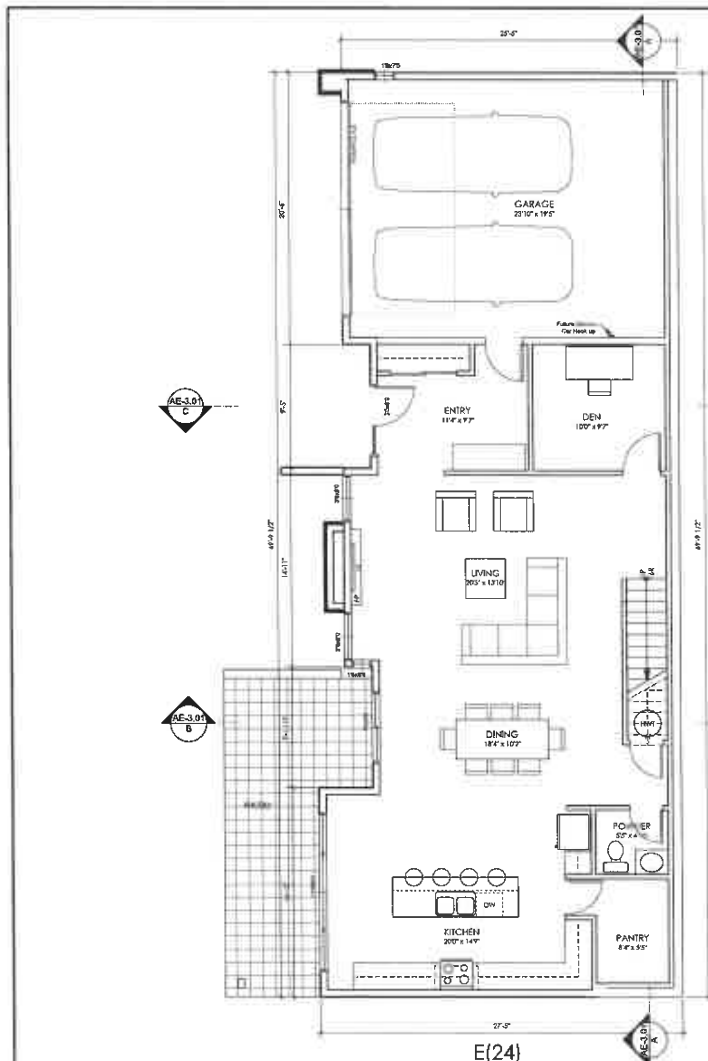
1	Issue for DPF/Planning	Aug 31, 2021
2	2021 Public Comment Revisions	MAY 12, 2023
3	01, 02, 03 Revisions	JULY 31, 2023



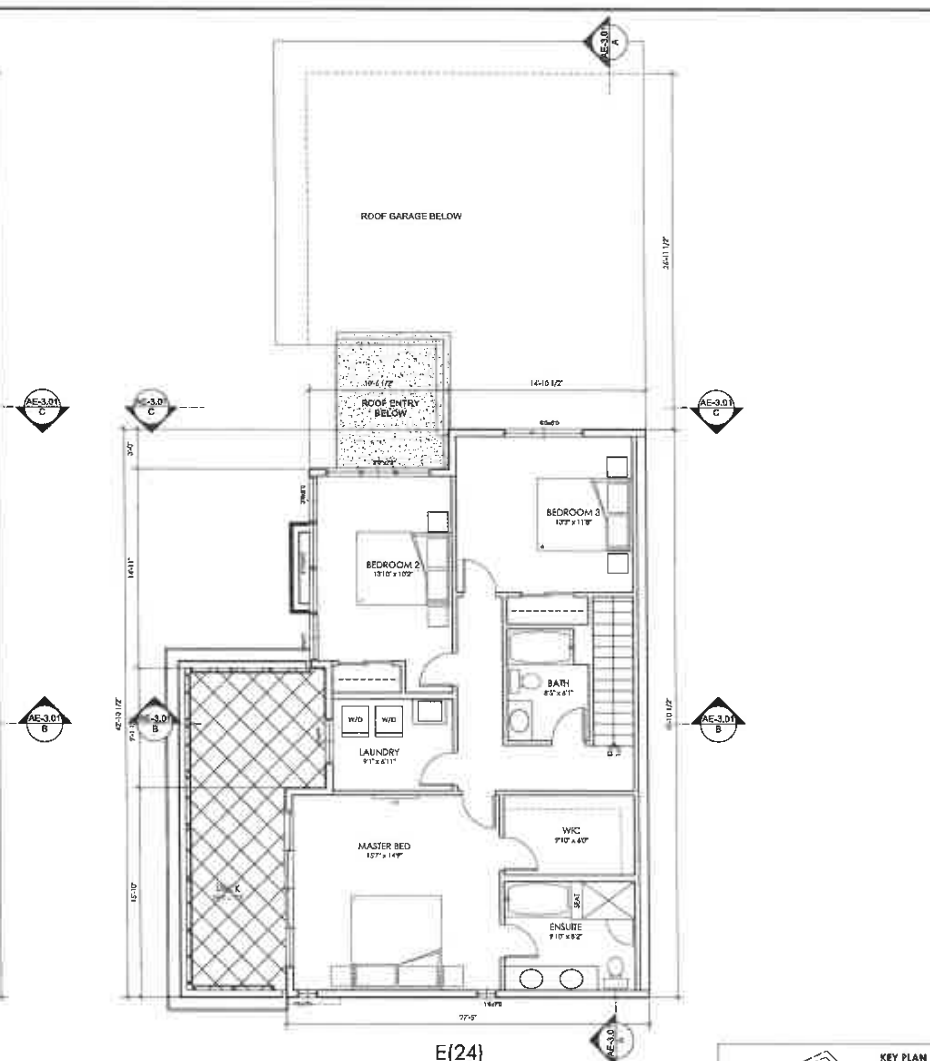
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

DRAWING
SITE PLAN

PROJECT	000	SHEET
SCALE	1/8"=1'-0"	AE-1.
DATE	MAY 12, 2023	01



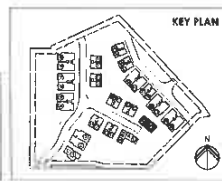
LOWER FLOOR / BASEMENT EXEMPTIONS:
 (110.36' - 104.50' / 114.42' - 104.50') x 100 = 59.07%
 (1775.5 (gross area) - 441.0 (garage)) x 59.07% = 788.29 SF (exemption)
LOWER FLOOR
 UNIT E



UPPER FLOOR
 UNIT E

UNIT 24 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1778.5 SF	1086.5 SF	0.0 SF	2865.0 SF
GARAGE EXCLUSIONS	411.0 SF	0.0 SF	0.0 SF	411.0 SF
BASEMENT EXCLUSIONS 59.07%	788.3 SF	0.0 SF	0.0 SF	788.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	562.2 SF	1086.5 SF	0.0 SF	1648.7 SF

UNIT 24 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	164.9 SQ M	100.1 SQ M	0.0 SQ M	265.0 SQ M
GARAGE EXCLUSIONS	41.0 SQ M	0.0 SQ M	0.0 SQ M	41.0 SQ M
BASEMENT EXCLUSIONS 59.07%	73.3 SQ M	0.0 SQ M	0.0 SQ M	73.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.0 SQ M	0.0 SQ M
NET	50.7 SQ M	101.1 SQ M	0.0 SQ M	151.8 SQ M



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REVISIONS
 Issued for CP Planning: Aug 31, 2021
 DRG Public Comment Revisions: MAY 12, 2023
 01, 02, 03 Revisions: JULY 31, 2023



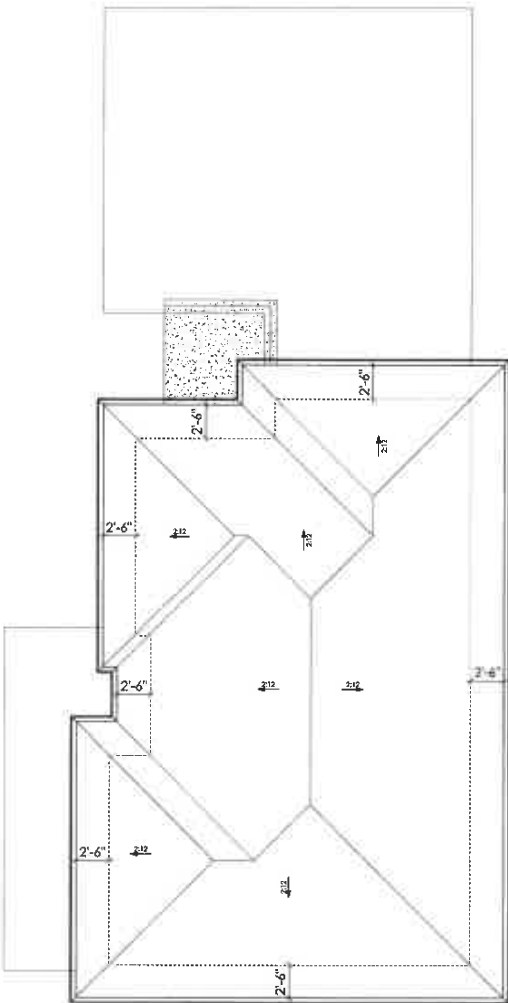
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
BUILDING PLANS

PROJECT# 2020
 SHEET **AE-2.01**
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

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REVISIONS
Issued for DP/Setting Aug 31, 2021
DRG/Princ. Corinne Parsons MAY 12, 2022
DT, DL, DS/Hawesong MAY 21, 2022



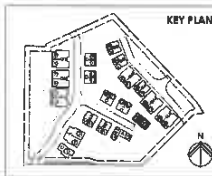
E(24)

ROOF PLAN
UNIT E



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

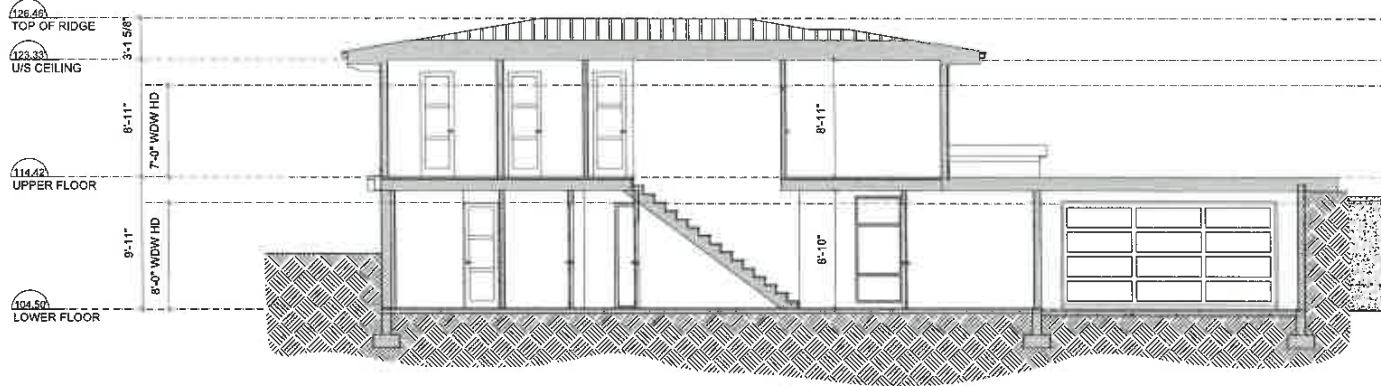
DRAWING
ROOF PLAN



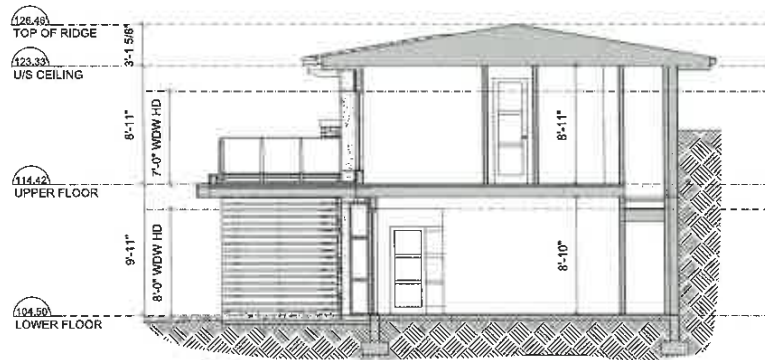
PROJECT	8030	SHEET	AE-2.
SCALE	1/8"=1'-0"		02
DATE	MAY 12, 2022		

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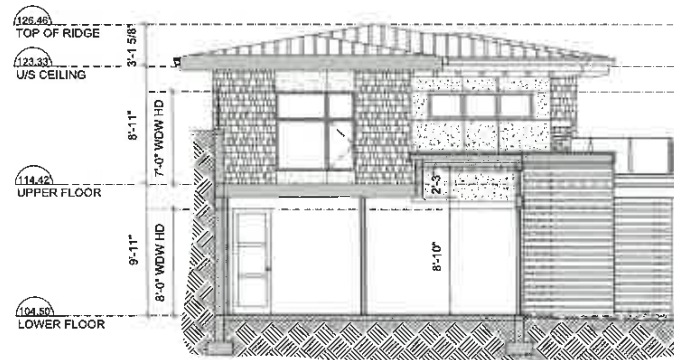
REVISIONS
 Based on DP/Receiving Aug. 31, 2021
 SRC Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions MAY 31, 2023



A Section A
 Scale: 1/4" = 1'-0"



B Section B
 Scale: 1/4" = 1'-0"



C Section C
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 SECTIONS

PROJECT#	REV	SHEET
SCALE	1/4" = 1'-0"	AE-3.
DATE	MAY 12, 2023	01

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REVISIONS
 Issued for O/P/Permitting Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2022
 DT, CT, CS Revisions MAY 31, 2022

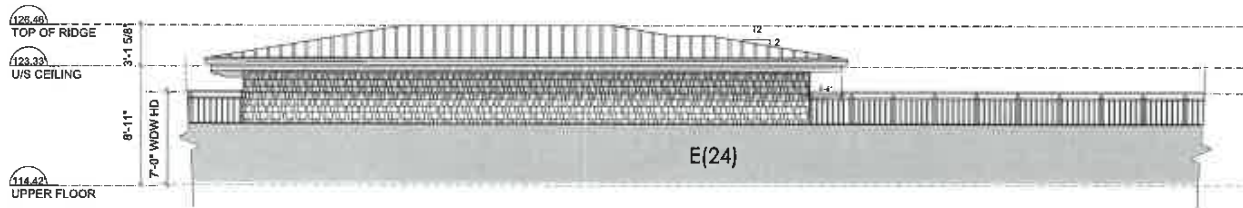


LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(110.36' - 104.50' / 114.42' - 104.50') \times 100 = 59.07\%$
 $(1775.5 \text{ (gross area)} - 441.0 \text{ (garage)}) \times 59.07\% = 788.29 \text{ SF (exemption)}$

SOUTH ELEVATION
 UNIT E

SPATIAL SEPARATION CALCULATION (RCBC TABLE 3.2.3.1.D)

EXPOSED BUILDING FACE:	1130.08 SF (104.99 SM)
LIMITING DISTANCE:	14.43 (5.07 M)
UNPROTECTED OPENING:	509.75 SF (47.36 SM)
PROPOSED OPENING:	45.11%
PERMITTED OPENINGS:	50.22%



NORTH ELEVATION
 UNIT E



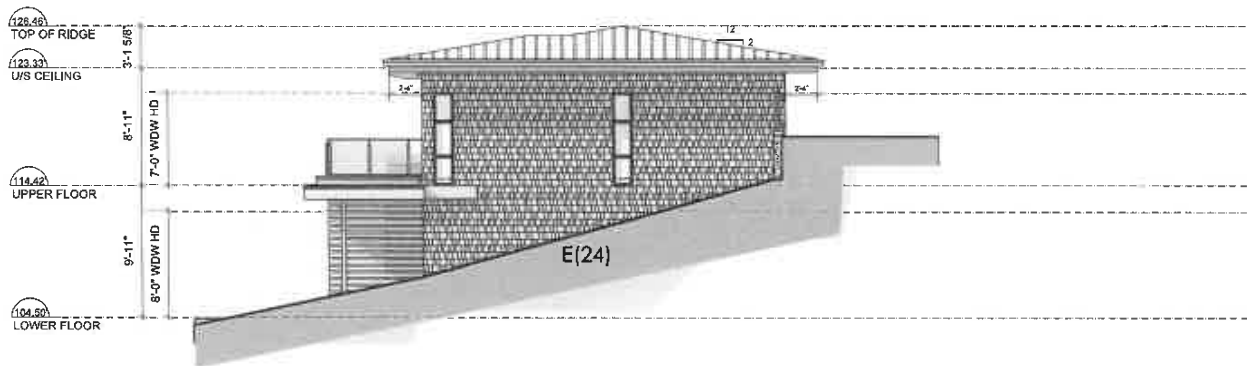
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 SOUTH & NORTH
 ELEVATIONS B/W

PROJECT#	0030	SHEET	AE-4. 01
SCALE	1/4"=1'-0"		
DATE	MAY 12, 2022		

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REVISIONS
 Issued for DP/Response Aug. 31, 2021
 DRG Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 20, 2023



SIDE ELEVATION (EAST)
 UNIT E



SIDE ELEVATION (WEST)
 UNIT E

SEPARATION CALCULATION (REC BC TABLE 2.3.1.01)

EXPOSED BUILDING FACE:	426.07 SF (39.58 SMA)
LIMITING DISTANCE:	11.57' (3.53 M)
UNPROTECTED OPENING:	63.83 SF (5.93 SMA)
PROPOSED OPENING:	14.93%
PERMITTED OPENINGS:	53.16%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT #	0030	SHEET	AE-4. 02
SCALE	1/4" = 1' - 0"		
DATE	MAY 12, 2023		

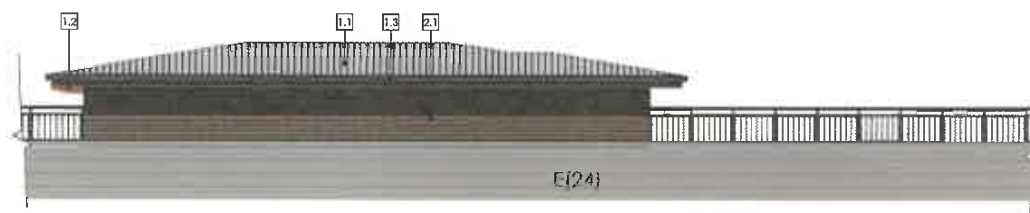
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REVISED
Issued for OPR/Permitting
DRCP/PM/BC Customer Relations
D.L. DE. 02/2023

Aug 31, 2021
MAY 12, 2023
MAY 31, 2023



SOUTH ELEVATION
UNIT E



NORTH ELEVATION
UNIT E



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Iron "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray - HC - 105
1.3	Stytle	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.3	Hardy Panel	Light Mill
2.4	Hardy Panel	Light Mill
2.5	Stone	Random Granite
3.1	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.3	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut	Stilewood - Old Master Gel Stain c/w Clear Top Coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



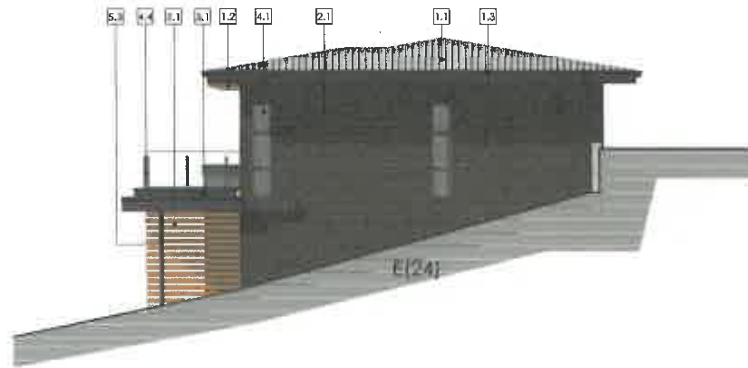
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

DRAWING
**SOUTH & NORTH
ELEVATIONS**

PROJECT# 803
SCALE 1/4" = 1'-0"
DATE MAY 12, 2023
SHEET
**AE-4.
03**

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Planning Aug 31, 2021
 DRG Public Comment Reviews MAY 12, 2022
 01, 02, 03 Reviews JULY 31, 2022



SIDE ELEVATION (EAST)
 UNIT E



SIDE ELEVATION (WEST)
 UNIT E

AQUILA EXTERIOR MATERIAL SCHEDULE		
Item	Material	Colour
1.1	Clay 1/4" metal roof	Charcoal
1.2	Flow Cement Soffit	Recessed - see RCP 05
1.3	Roof	Charcoal Grey
2.1	Flow Cement Shingles	Woodstone Ruffic Series Carbon Edge
2.2	not used	
2.3	Study Panel	Light oak
2.4	not used	
2.5	Stone	Random Granite
3.1	Upper level grey cast concrete	Wrought Iron BM - 2124 - 10
3.2	Lower level grey cast concrete	Wrought Iron BM - 2124 - 10
4.1	Charcoal Grey	Charcoal Grey
4.2	Charcoal Grey	Charcoal Grey
4.3	Charcoal Grey	Charcoal Grey
4.4	Charcoal Grey	Charcoal Grey
4.5	Charcoal Grey	Charcoal Grey
4.6	Charcoal Grey	Charcoal Grey
4.7	Charcoal Grey	Charcoal Grey
4.8	Charcoal Grey	Charcoal Grey
4.9	Charcoal Grey	Charcoal Grey
4.10	Charcoal Grey	Charcoal Grey
4.11	Charcoal Grey	Charcoal Grey
4.12	Charcoal Grey	Charcoal Grey
4.13	Charcoal Grey	Charcoal Grey
4.14	Charcoal Grey	Charcoal Grey
4.15	Charcoal Grey	Charcoal Grey
4.16	Charcoal Grey	Charcoal Grey
4.17	Charcoal Grey	Charcoal Grey
4.18	Charcoal Grey	Charcoal Grey
4.19	Charcoal Grey	Charcoal Grey
4.20	Charcoal Grey	Charcoal Grey
4.21	Charcoal Grey	Charcoal Grey
4.22	Charcoal Grey	Charcoal Grey
4.23	Charcoal Grey	Charcoal Grey
4.24	Charcoal Grey	Charcoal Grey
4.25	Charcoal Grey	Charcoal Grey
4.26	Charcoal Grey	Charcoal Grey
4.27	Charcoal Grey	Charcoal Grey
4.28	Charcoal Grey	Charcoal Grey
4.29	Charcoal Grey	Charcoal Grey
4.30	Charcoal Grey	Charcoal Grey
4.31	Charcoal Grey	Charcoal Grey
4.32	Charcoal Grey	Charcoal Grey
4.33	Charcoal Grey	Charcoal Grey
4.34	Charcoal Grey	Charcoal Grey
4.35	Charcoal Grey	Charcoal Grey
4.36	Charcoal Grey	Charcoal Grey
4.37	Charcoal Grey	Charcoal Grey
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4.39	Charcoal Grey	Charcoal Grey
4.40	Charcoal Grey	Charcoal Grey
4.41	Charcoal Grey	Charcoal Grey
4.42	Charcoal Grey	Charcoal Grey
4.43	Charcoal Grey	Charcoal Grey
4.44	Charcoal Grey	Charcoal Grey
4.45	Charcoal Grey	Charcoal Grey
4.46	Charcoal Grey	Charcoal Grey
4.47	Charcoal Grey	Charcoal Grey
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4.49	Charcoal Grey	Charcoal Grey
4.50	Charcoal Grey	Charcoal Grey
4.51	Charcoal Grey	Charcoal Grey
4.52	Charcoal Grey	Charcoal Grey
4.53	Charcoal Grey	Charcoal Grey
4.54	Charcoal Grey	Charcoal Grey
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4.56	Charcoal Grey	Charcoal Grey
4.57	Charcoal Grey	Charcoal Grey
4.58	Charcoal Grey	Charcoal Grey
4.59	Charcoal Grey	Charcoal Grey
4.60	Charcoal Grey	Charcoal Grey
4.61	Charcoal Grey	Charcoal Grey
4.62	Charcoal Grey	Charcoal Grey
4.63	Charcoal Grey	Charcoal Grey
4.64	Charcoal Grey	Charcoal Grey
4.65	Charcoal Grey	Charcoal Grey
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4.68	Charcoal Grey	Charcoal Grey
4.69	Charcoal Grey	Charcoal Grey
4.70	Charcoal Grey	Charcoal Grey
4.71	Charcoal Grey	Charcoal Grey
4.72	Charcoal Grey	Charcoal Grey
4.73	Charcoal Grey	Charcoal Grey
4.74	Charcoal Grey	Charcoal Grey
4.75	Charcoal Grey	Charcoal Grey
4.76	Charcoal Grey	Charcoal Grey
4.77	Charcoal Grey	Charcoal Grey
4.78	Charcoal Grey	Charcoal Grey
4.79	Charcoal Grey	Charcoal Grey
4.80	Charcoal Grey	Charcoal Grey
4.81	Charcoal Grey	Charcoal Grey
4.82	Charcoal Grey	Charcoal Grey
4.83	Charcoal Grey	Charcoal Grey
4.84	Charcoal Grey	Charcoal Grey
4.85	Charcoal Grey	Charcoal Grey
4.86	Charcoal Grey	Charcoal Grey
4.87	Charcoal Grey	Charcoal Grey
4.88	Charcoal Grey	Charcoal Grey
4.89	Charcoal Grey	Charcoal Grey
4.90	Charcoal Grey	Charcoal Grey
4.91	Charcoal Grey	Charcoal Grey
4.92	Charcoal Grey	Charcoal Grey
4.93	Charcoal Grey	Charcoal Grey
4.94	Charcoal Grey	Charcoal Grey
4.95	Charcoal Grey	Charcoal Grey
4.96	Charcoal Grey	Charcoal Grey
4.97	Charcoal Grey	Charcoal Grey
4.98	Charcoal Grey	Charcoal Grey
4.99	Charcoal Grey	Charcoal Grey
4.100	Charcoal Grey	Charcoal Grey



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT E

DRAWING
 EAST WEST
 ELEVATIONS

PROJECT# 8030 SHEET
 SCALE 1/4"=1'-0" **AE-4.**
 RATE MAY 12, 2023 **04**

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DR/Resolving Aug. 31, 2021
3DCI Public Comment Response MAY 12, 2022
S, O, OS Revisions JULY 31, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT E



SIDE ELEVATION - CAMERA VIEW
UNIT E



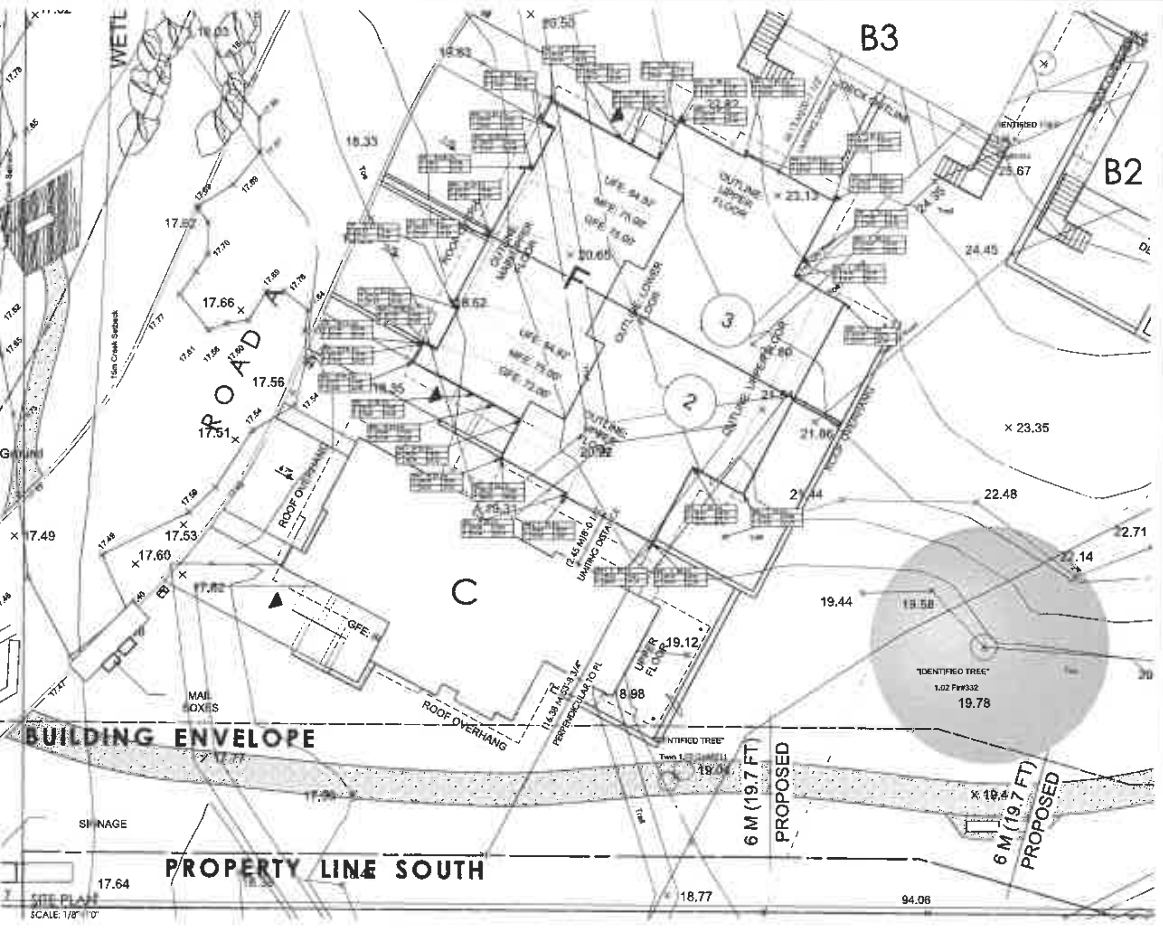
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

DRAWING
FRONT & SIDE
ELEVATIONS -
CAMERA VIEW

PROJECT#	0070	SHEET	
SCALE	N.E.S.	AE-4.	
DATE	MAY 12, 2022	05	

Ref #	Elevation	Ref #	Elevation	Distance	Distance
1	67.47	2	68.52	14.82	1021.41
2	68	3	74.07	22.1	0
3	74.6	4	74.07	14.82	670.71
4	74.6	5	74.07	14.82	644.33
5	74.6	6	74.07	14.82	32.47
6	74.6	7	74.07	14.82	24.9
7	74.6	8	74.07	14.82	112.1
8	74.6	9	74.07	14.82	10.85
9	74.6	10	74.07	14.82	808.37
10	74.6	11	74.07	14.82	0.00
11	74.6	12	74.07	14.82	1125.64
12	74.6	13	74.07	14.82	37.73
13	74.6	14	74.07	14.82	805.18
14	74.6	15	74.07	14.82	0.00
15	74.6	16	74.07	14.82	487.58
16	74.6	17	74.07	14.82	266.56
17	74.6	18	74.07	14.82	128.43
18	74.6	19	74.07	14.82	88
19	74.6	20	74.07	14.82	242.58
20	74.6	21	74.07	14.82	154.9
21	74.6	22	74.07	14.82	538.22
22	74.6	23	74.07	14.82	74.47
23	74.6	24	74.07	14.82	1100.71
24	74.6	25	74.07	14.82	0
25	74.6	26	74.07	14.82	861.09
26	74.6	27	74.07	14.82	74.47
27	74.6	28	74.07	14.82	618.40
28	74.6	29	74.07	14.82	199.28
29	74.6	30	74.07	14.82	758.81
30	74.6	31	74.07	14.82	238.64
31	74.6	32	74.07	14.82	758.81
32	74.6	33	74.07	14.82	248.03
33	74.6	34	74.07	14.82	289
34	74.6	35	74.07	14.82	487.58
35	74.6	36	74.07	14.82	74.47
36	74.6	37	67.47	68.94	758.43
37	67.47	1	67.47	0	33.74
Total				230.17	18997
Avg Finish Grade					73.96
Max. Min Height (F1)					103

Ref #	Elevation	Ref #	Elevation	Distance	Distance
1	62.1	2	62.52	14.82	978.85
2	62.1	3	66	13.00	0
3	66.3	4	66	67.61	377.63
4	66.7	5	62.28	11	32.67
5	66.7	6	74.08	79	221.1
6	74.6	7	74.08	79	643.23
7	74.6	8	74.08	79	2.1
8	74.6	9	74.08	79	171.29
9	74.6	10	74.08	79	0
10	74.6	11	74.08	79	803.92
11	74.6	12	74.08	79	0
12	74.6	13	74.08	79	1127
13	74.6	14	74.08	79	37.26
14	74.6	15	74.08	79	633.32
15	74.6	16	74.08	79	0
16	74.6	17	74.08	79	463.22
17	74.6	18	74.08	79	352.41
18	74.6	19	69.82	70	119.09
19	69.82	20	67.48	66.7	822.07
20	67.48	21	67.48	0	218.1
21	67.48	22	67.48	0	148.5
22	67.48	23	67.48	0	484.33
23	67.48	24	67.48	0	36
24	67.48	25	64.53	64.23	777.81
25	64.53	26	64.53	0	763.29
26	64.53	27	62	62.43	62.43
27	62	28	61.7	61.7	43.47
28	61.7	29	61.66	61.67	136.00
29	61.66	30	61.96	61.5	200.36
30	61.96	31	61.11	61.5	83.18
31	61.11	32	62.50	61	298.1
32	62.50	33	63.96	62.74	306.37
33	63.96	34	64.1	64	418.28
34	64.1	35	64.23	64.2	430.09
35	64.23	36	65.00	64.23	750.1
36	65.00	37	64.92	64.92	32.46
Total				230.17	18762.4
Avg Existing Grade					69.46
Max. Min Height (F1)					98.33



These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP Reasoning
 DRSP Public Comment Response
 01, 02, 03 Revisions
 Aug 31, 2011
 MAY 12, 2013
 JAN 24, 2013



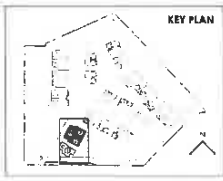
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

DRAWING
SITE PLAN

PROJECT 800
 SCALE 1/8" = 1'-0"
 DATE MAY 12, 2013
 SHEET
AF-1
.01

TOP OF FINISH FLOOR - F (1)		
Garage	Min	Upper
21.66 m	22.58 m	26.86 m
71.00'	74.00'	88.42'

TOP OF FINISH FLOOR - F (2)		
Min	Upper	
22.86 m	23.88 m	28.18 m
75.00'	77.00'	92.42'

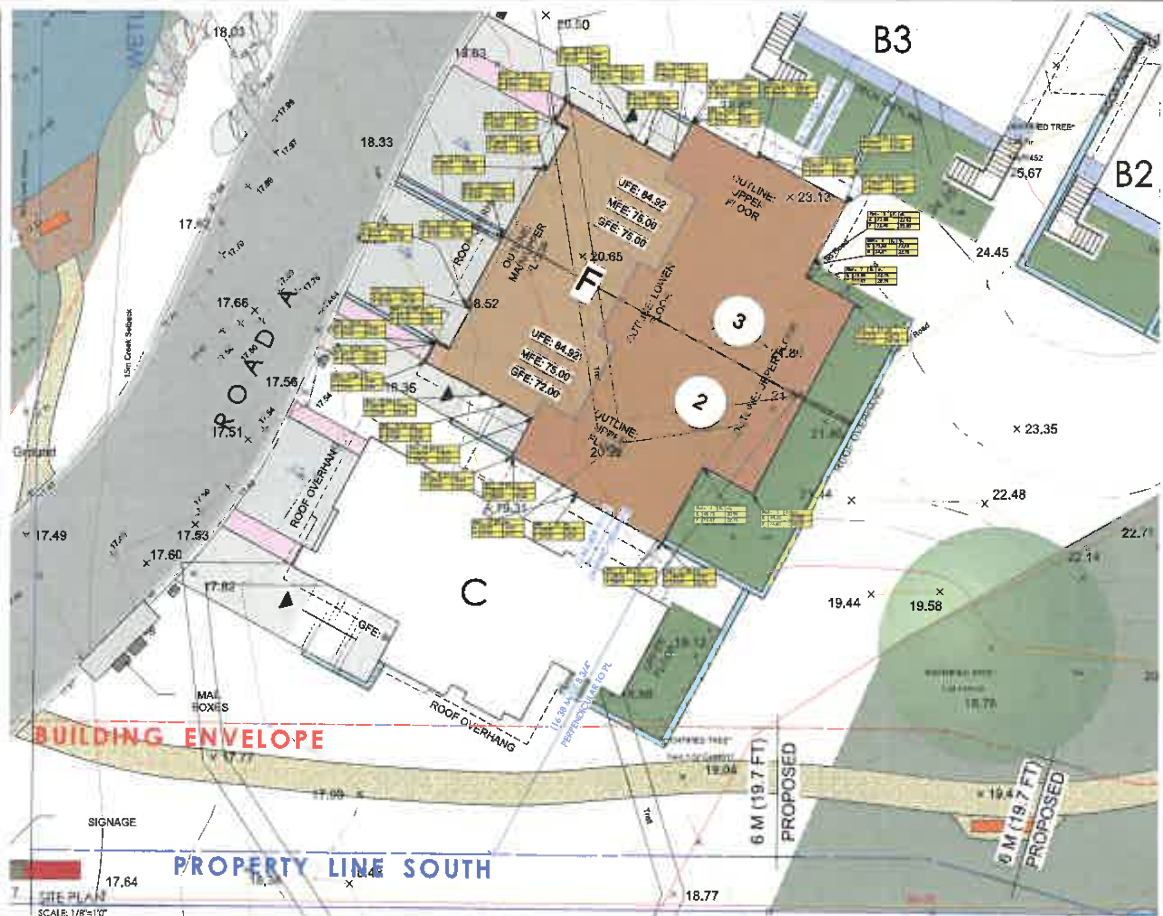


- AVERAGE FINISHED GRADE CALCULATION						
Station	Ref #	Elevation	Distance	Weight	Distance	
1	67.44	2	69.63	48.50	14.11	1821.81
2	69.1	3	74.07	72.10	13.2	878.71
3	74.5	4	74.5	74.07	13.2	644.03
4	74.6	5	74.5	74.07	32.8	2439.24
5	74.8	6	74.8	74.07	3.3	544.33
6	74.8	7	74.8	74.07	2.31	172.16
7	74.5	8	75.46	75.07	0.1	0.1
8	75.1	9	75.46	75.46	10.86	808.87
9	75.1	10	75.46	75.46	0.00	0.00
10	75.1	11	75.46	75.46	0.00	0.00
11	75.4	12	75.46	75.46	14.82	1125.94
12	75.1	13	75.46	75.46	0.56	37.73
13	75.1	14	75.46	75.46	11.33	854.16
14	75.1	15	75.5	76.01	0.00	0.00
15	76.5	16	75.5	76.01	0.56	497.96
16	76.1	17	75.5	76.01	4.16	308.06
17	76.1	18	75.5	75.84	1.1	128.43
18	75.1	19	74.97	74.97	11.97	898.46
19	74.1	20	74.97	74.97	3.25	242.66
20	74.8	21	74.97	74.97	2.2	164.57
21	74.8	22	74.97	74.97	7.21	536.22
22	74.1	23	74.97	74.97	1.00	74.97
23	74.1	24	74.97	74.97	11.88	875.71
24	74.1	25	71.87	73.17	0.00	0.00
25	71.1	26	71.87	71.87	11.88	891.06
26	71.1	27	71.87	71.87	4.00	291.87
27	71.1	28	71.87	71.87	7.21	516.80
28	71.1	29	71.87	71.87	2.21	156.38
29	71.5	30	73.48	73.54	0.00	0.00
30	73.5	31	73.48	73.48	50.30	238.41
31	73.5	32	73.48	73.48	1.00	73.48
32	73.5	33	76.85	76.11	4.1	245.0
33	73.5	34	76.85	76.85	1.00	76.85
34	73.1	35	76.85	76.85	1.00	76.85
35	73.1	36	76.85	76.85	11.33	758.81
36	69.4	37	67.46	67.46	0.1	33.74
37	67.4	38	67.46	67.46	0.1	33.74
Total				250.17	16997	

AVG Finish Grade	73.88
Max. Min. Elevation	29.85
	103.78

- AVERAGE EXISTING GRADE CALCULATION						
Station	Ref #	Elevation	Distance	Weight	Distance	
1	64.1	3	68.32	14.92	878.36	
2	66.1	4	68.32	0.00	0.00	
3	66.1	5	68.32	13.00	877.63	
4	66.1	6	68.32	30.87	2095.02	
5	66.1	7	74.86	74.11	231.1	
6	74.8	8	74.86	74.11	643.20	
7	74.8	9	73.88	74.11	171.48	
8	73.8	10	73.88	0.00	0.00	
9	73.8	11	76.47	76.11	10.88	803.92
10	76.4	12	76.47	76.47	0.00	0.00
11	76.4	13	74.72	75.96	14.92	1132.71
12	74.7	14	74.84	74.11	87.04	643.20
13	74.8	15	72.42	72.83	11.33	833.32
14	72.4	16	72.42	72.42	0.00	0.00
15	72.4	17	71.37	71.36	0.00	0.00
16	71.3	18	71.37	71.36	4.07	291.87
17	71.3	19	73.17	73.17	4.1	291.87
18	71.3	20	73.17	73.17	11.88	875.71
19	71.3	21	69.4	69.4	2.21	156.38
20	69.4	22	69.4	69.4	7.21	516.80
21	69.4	23	69.4	69.4	1.00	76.85
22	69.4	24	69.4	69.4	11.33	758.81
23	69.4	25	69.4	69.4	0.00	0.00
24	69.4	26	69.4	69.4	11.88	875.71
25	69.4	27	69.4	69.4	3.1	228.41
26	69.4	28	69.4	69.4	11.33	758.81
27	69.4	29	69.4	69.4	0.00	0.00
28	69.4	30	69.4	69.4	0.00	0.00
29	69.4	31	69.4	69.4	0.00	0.00
30	69.4	32	69.4	69.4	0.00	0.00
31	69.4	33	69.4	69.4	0.00	0.00
32	69.4	34	69.4	69.4	0.00	0.00
33	69.4	35	69.4	69.4	0.00	0.00
34	69.4	36	69.4	69.4	0.00	0.00
35	69.4	37	69.4	69.4	0.00	0.00
36	69.4	38	69.4	69.4	0.00	0.00
37	69.4	39	69.4	69.4	0.00	0.00
Total				250.17	19194	

AVG Existing Grade	68.48
Max. Min. Elevation	29.85
	103.78



SCALE: 1/8"=10'

TOP OF FINISH FLOOR - F (2)			
Station	Min	Max	Dist
17.51	75.02	75.02	14.92

TOP OF FINISH FLOOR - F (3)			
Station	Min	Max	Dist
17.51	75.02	75.02	14.92



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REVISIONS	Aug 31, 2021
Based on CD/Re zoning	MAY 12, 2020
OND Public Comment Response	JULY 21, 2023
01, 02, 03 Revisions	



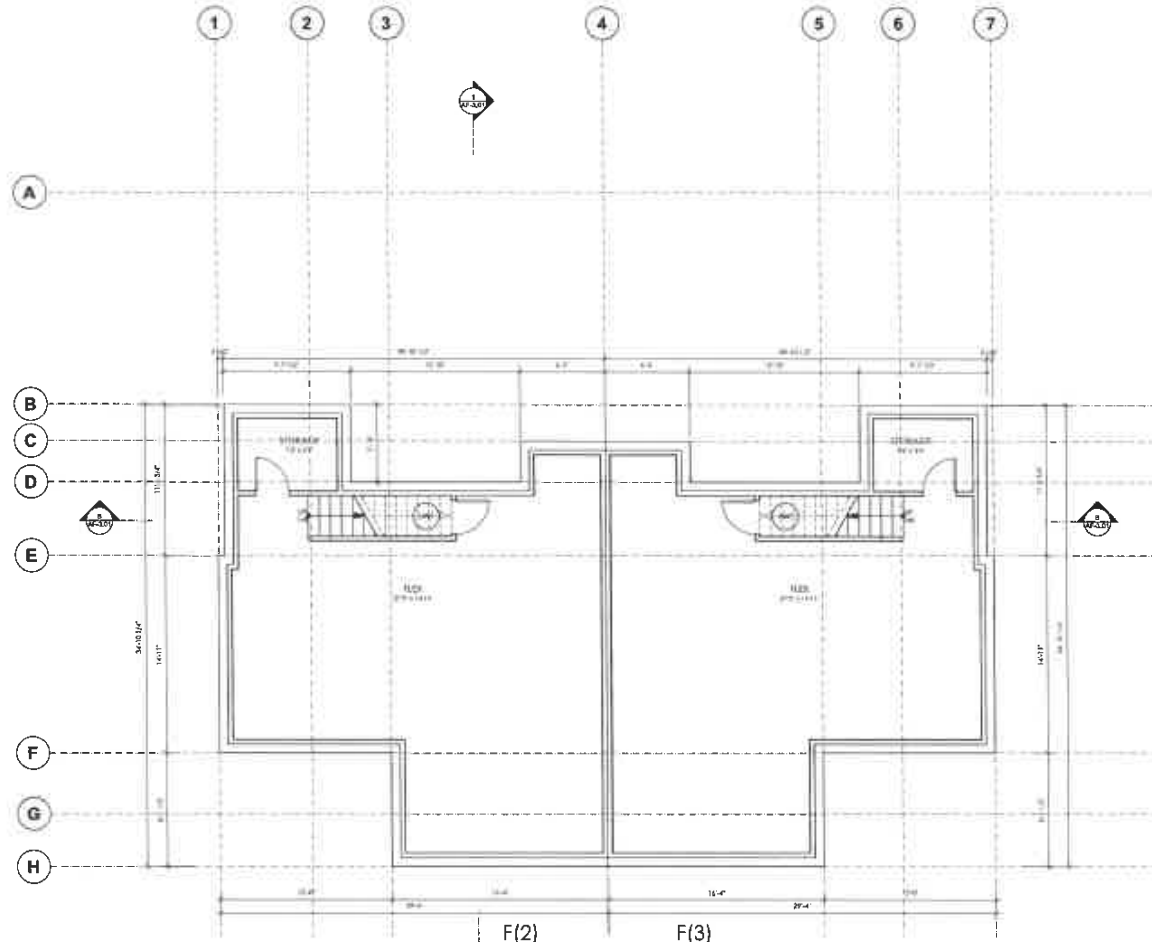
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
SITE PLAN

PROJECT#	2020	SHEET
SCALE	1/8"=10'	AF-1
DATE	MAY 12, 2020	.01

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REVISIONS
 Issued for EPP/Planning Aug 31, 2021
 IBC Public Consultation Review MAY 12, 2023
 IBC, CC, DR Reviews JULY 31, 2023



LOWER FLOOR
UNIT F

BASEMENT EXEMPTIONS:
(65.48'-65.00' / 75.00'-66.08') x 100 = 26.91%
812.7 (gross area) x 26.91% = 218.70 SF (exemption)

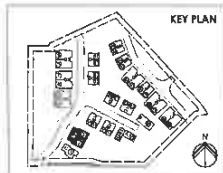
BASEMENT EXEMPTIONS:
(65.48'-65.00' / 75.00'-66.08') x 100 = 26.91%
812.7 (gross area) x 26.91% = 218.70 SF (exemption)

UNIT F 2 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
FINISH	812.7 SF	1363.2 SF	1136.2 SF	2712.1 SF
PORCH EXCLUSIONS	20.2 SF	41.6 SF	60.1 SF	121.9 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	573.8 SF	1221.6 SF	1076.1 SF	2371.5 SF

UNIT F 2 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
FINISH	75.5 SQM	117.4 SQM	105.7 SQM	298.6 SQM
PORCH EXCLUSIONS	0.0 SQM	4.0 SQM	0.0 SQM	4.0 SQM
BASEMENT EXCLUSIONS 26.91%	20.3 SQM	0.0 SQM	0.0 SQM	20.3 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	55.2 SQM	113.4 SQM	105.7 SQM	237.5 SQM

UNIT F 3 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
FINISH	812.7 SF	1265.2 SF	1136.2 SF	2714.1 SF
PORCH EXCLUSIONS	20.2 SF	41.6 SF	60.1 SF	121.9 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	573.8 SF	1223.6 SF	1076.1 SF	2373.5 SF

UNIT F 3 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
FINISH	75.5 SQM	117.4 SQM	105.7 SQM	298.6 SQM
PORCH EXCLUSIONS	0.0 SQM	4.0 SQM	0.0 SQM	4.0 SQM
BASEMENT EXCLUSIONS 26.91%	20.3 SQM	0.0 SQM	0.0 SQM	20.3 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
NET	55.2 SQM	113.4 SQM	105.7 SQM	237.5 SQM



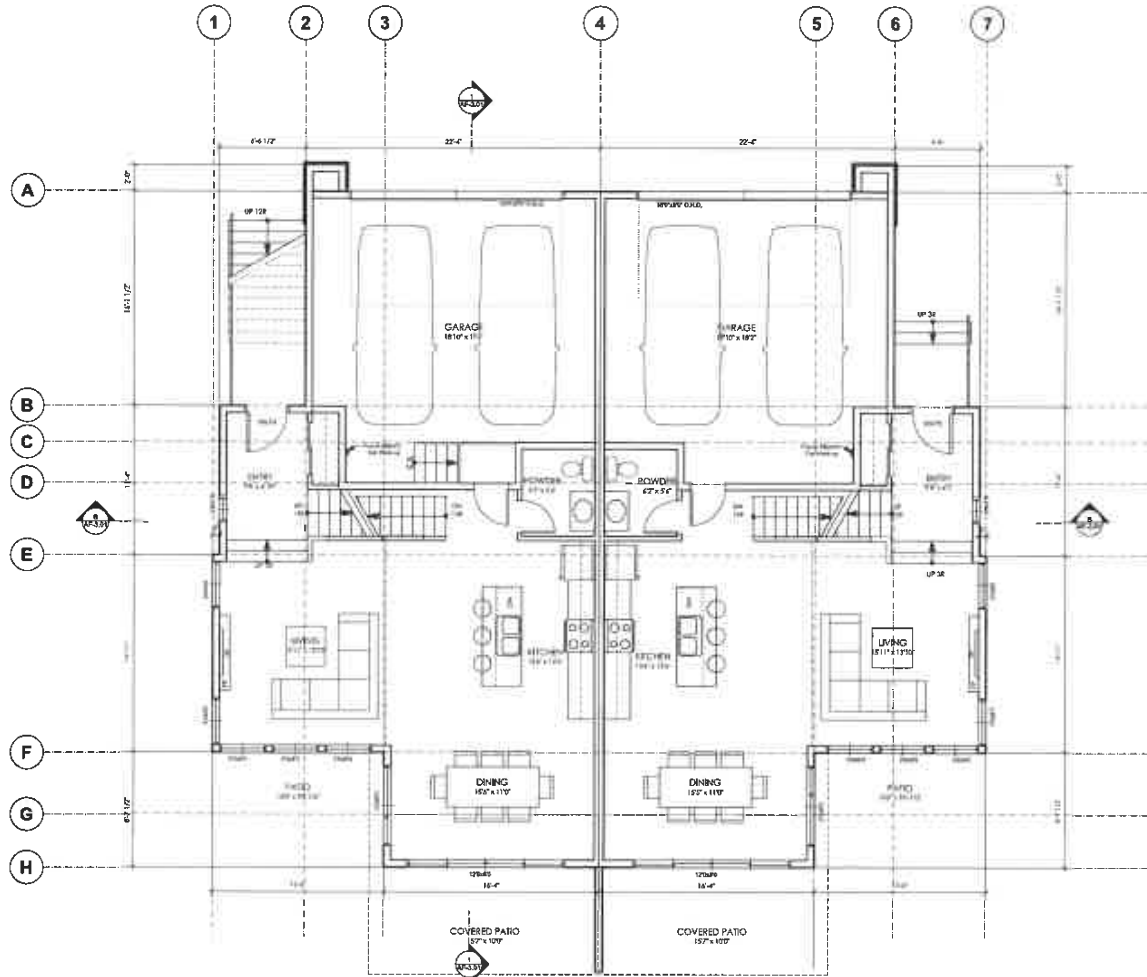
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
LOWER FLOOR

PROJECT 0000 SHEET
 SCALE 1/4" = 1'-0" **AF-2**
 DATE MAY 12, 2023 **.01**

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Authoring Aug 31, 2021
 DRD/ Public Comment Review MAY 12, 2022
 GT, GG, GG Revisions JULY 21, 2023



MAIN FLOOR
UNIT F

F(2) F(3)

UNIT F 2 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	812.7 SF	1288.3 SF	1128.2 SF
PARKING EXCLUSIONS	0.0 SF	441.0 SF	441.0 SF
BATHROOM EXCLUSIONS 32.91%	216.3 SF	0.0 SF	216.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	6.0 SF
NET	596.4 SF	847.3 SF	1136.2 SF

UNIT F 2 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	75.53 SQ M	117.65 SQ M	103.75 SQ M
PARKING EXCLUSIONS	0.0 SQ M	40.93 SQ M	40.93 SQ M
BATHROOM EXCLUSIONS 32.91%	20.33 SQ M	0.0 SQ M	20.33 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.6 SQ M
NET	55.2 SQ M	76.6 SQ M	105.7 SQ M

UNIT 3 FLOOR AREAS IMPERIAL			
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT
GROSS	812.7 SF	1128.3 SF	1128.2 SF
PARKING EXCLUSIONS	0.0 SF	441.0 SF	441.0 SF
BATHROOM EXCLUSIONS 32.91%	216.3 SF	0.0 SF	216.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	6.0 SF
NET	596.4 SF	847.3 SF	1136.2 SF

UNIT 3 FLOOR AREAS METRIC			
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M
GROSS	75.53 SQ M	103.75 SQ M	103.75 SQ M
PARKING EXCLUSIONS	0.0 SQ M	40.93 SQ M	40.93 SQ M
BATHROOM EXCLUSIONS 32.91%	20.33 SQ M	0.0 SQ M	20.33 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	0.0 SQ M	0.6 SQ M
NET	55.2 SQ M	76.6 SQ M	105.7 SQ M



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

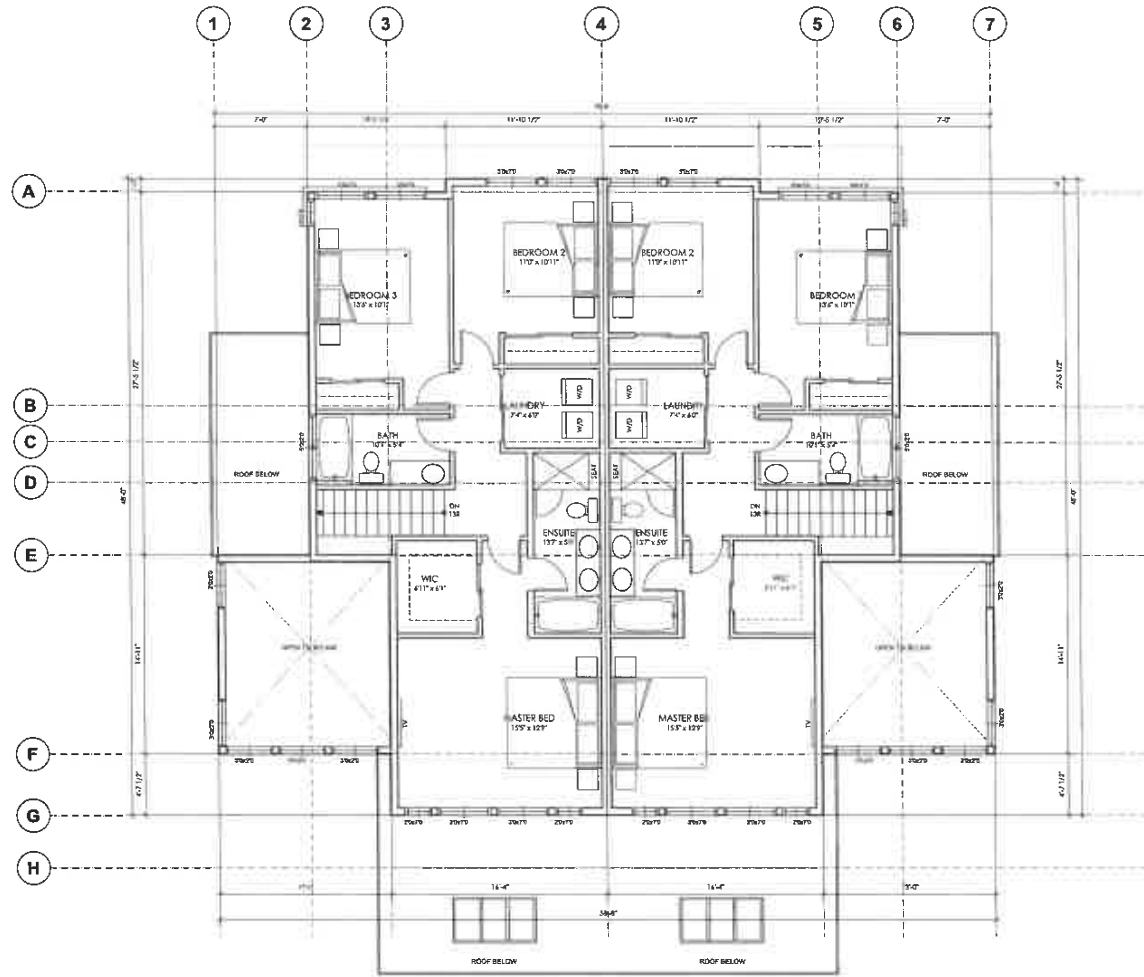
DRAWING
 MAIN LEVEL

PROJECT NO. 0030
 SHEET
AF-2
 .02
 DATE MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISION 3
 Revised for DP/Planning
 DRG2 Public Comment Revisions
 01, 02, 03 Revisions

Aug 31, 2021
 MAY 12, 2023
 JULY 31, 2023



SECOND LEVEL
 UNIT F

F(2)

F(3)

UNIT F2 FLOOR AREAS IMPERIAL

	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GRIDS	912.5 SF	1262.5 SF	1138.2 SF	3214.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 24.91%	216.7 SF	0.0 SF	0.0 SF	216.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	394.0 SF	824.5 SF	1138.2 SF	2356.8 SF

UNIT F2 FLOOR AREAS METRIC

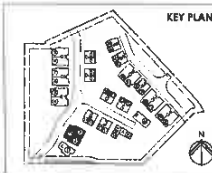
	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GRIDS	79.3 SA	117.5 SA	105.7 SA	297.8 SA
GARAGE EXCLUSIONS	0.0 SA	41.0 SA	0.0 SA	41.0 SA
BASEMENT EXCLUSIONS 24.91%	20.3 SA	0.0 SA	0.0 SA	20.3 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	59.3 SA	76.5 SA	105.7 SA	237.5 SA

UNIT F3 FLOOR AREAS IMPERIAL

	LEVEL 1.50 FT	LEVEL 2.50 FT	LEVEL 3.50 FT	TOTAL
GRIDS	817.7 SF	1262.5 SF	1138.2 SF	3218.5 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 24.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	394.0 SF	824.5 SF	1138.2 SF	2356.8 SF

UNIT F3 FLOOR AREAS METRIC

	LEVEL 1.50 M	LEVEL 2.50 M	LEVEL 3.50 M	TOTAL
GRIDS	76.5 SA	117.5 SA	105.7 SA	299.8 SA
GARAGE EXCLUSIONS	0.0 SA	41.0 SA	0.0 SA	41.0 SA
BASEMENT EXCLUSIONS 24.91%	20.3 SA	0.0 SA	0.0 SA	20.3 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	56.2 SA	76.5 SA	105.7 SA	238.5 SA



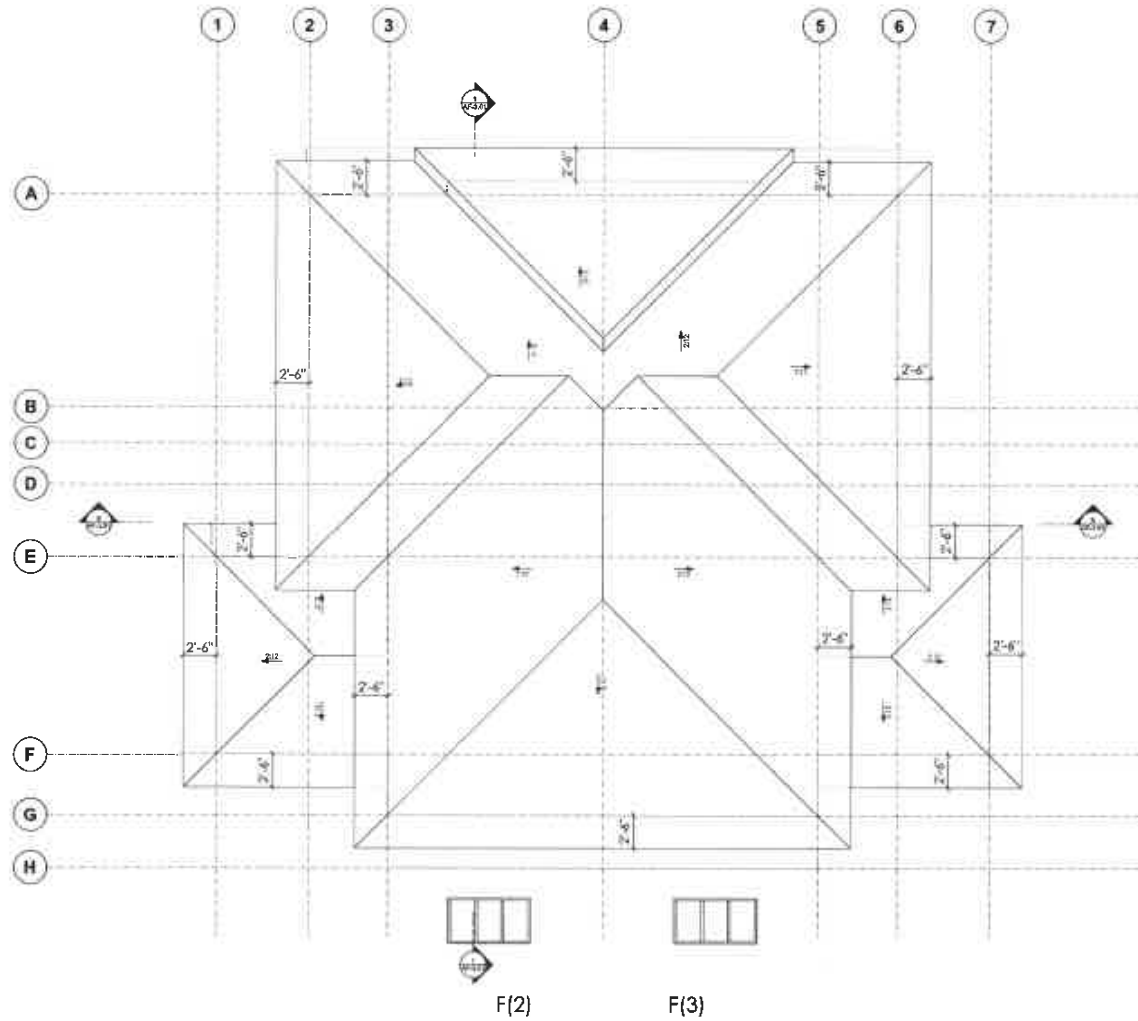
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, B.C.
 UNIT F

DRAWING
 UPPER FLOOR

PROJECT 8020 SHEET
 SCALE 1/4" = 1'-0" **AF-2**
 DATE MAY 12, 2023 **.03**

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DP/Permitting Aug 31, 2021
O&S Public Comment Revisions MAY 12, 2023
O1, O2, O3 Revisions JULY 31, 2023

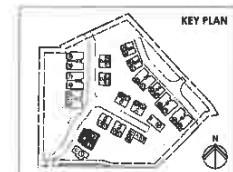


ROOF PLAN
UNIT F

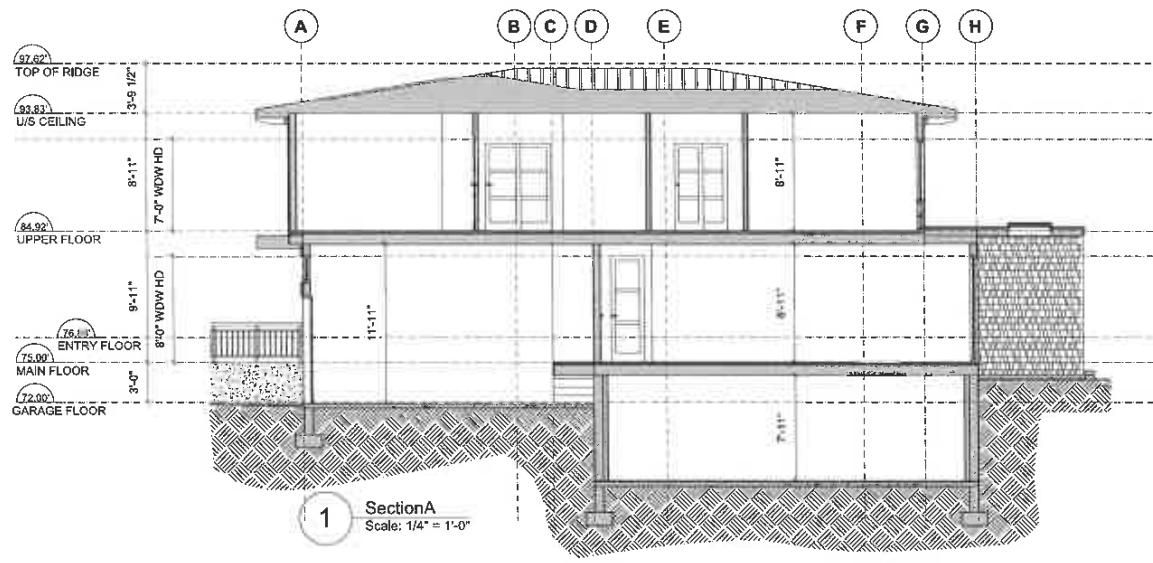


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

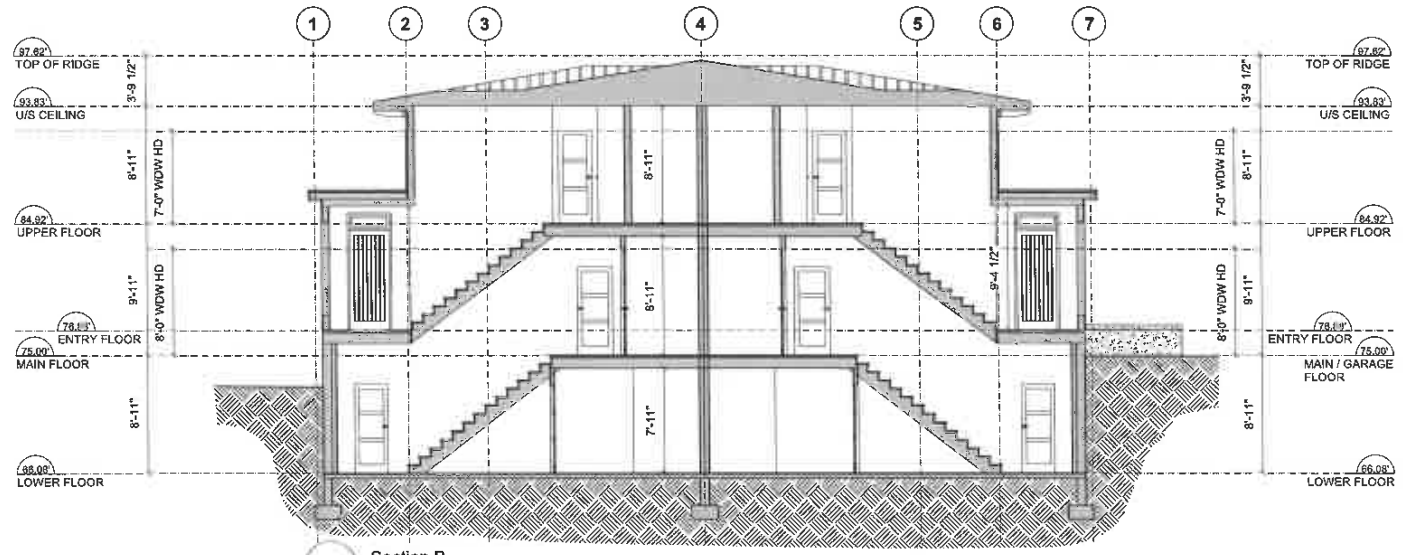
DRAWING
ROOF PLAN



PROJECT#	800	SHEET
SCALE		AF-2
DATE	MAY 12, 2023	.04



1 Section A
Scale: 1/4" = 1'-0"



B Section B
Scale: 1/4" = 1'-0"

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REVISIONS	
Revised for EPP/Sealing	Aug 31, 2021
DRP/ Public Comment Response	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

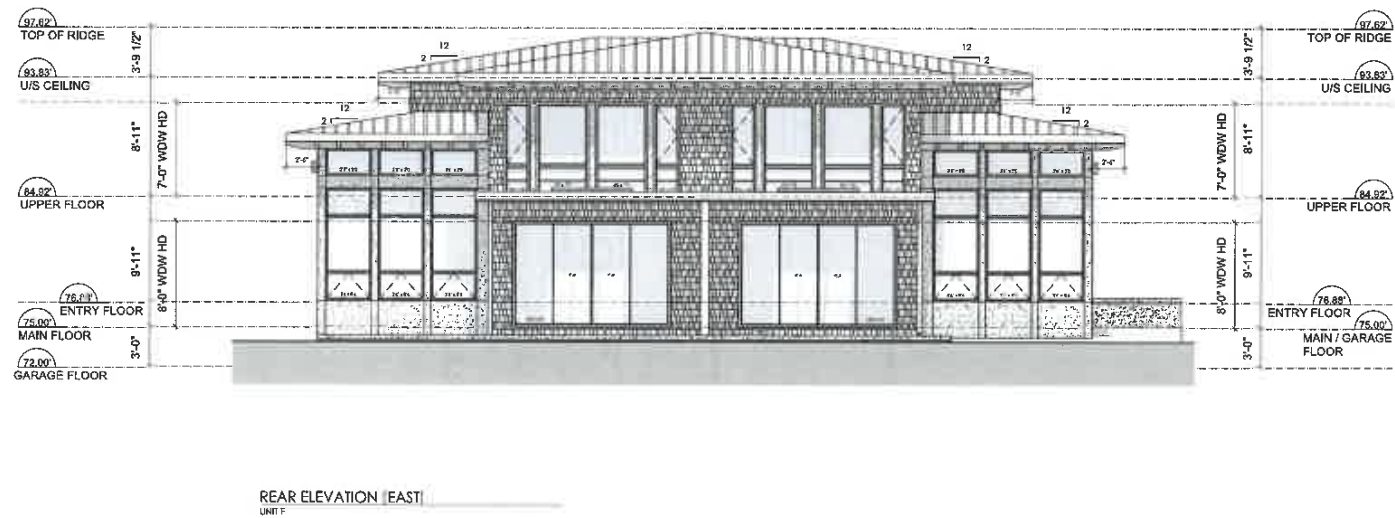
DRAWING
SECTIONS

PROJECT	SHEET
NO. 000	AF-3
SCALE: 1/4" = 1'-0"	.01
DATE: MAY 12, 2023	

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REVISIONS
 Issued for DP/Planning
 (RUC) Public Comment Revisions
 01, 02, 03 Revisions

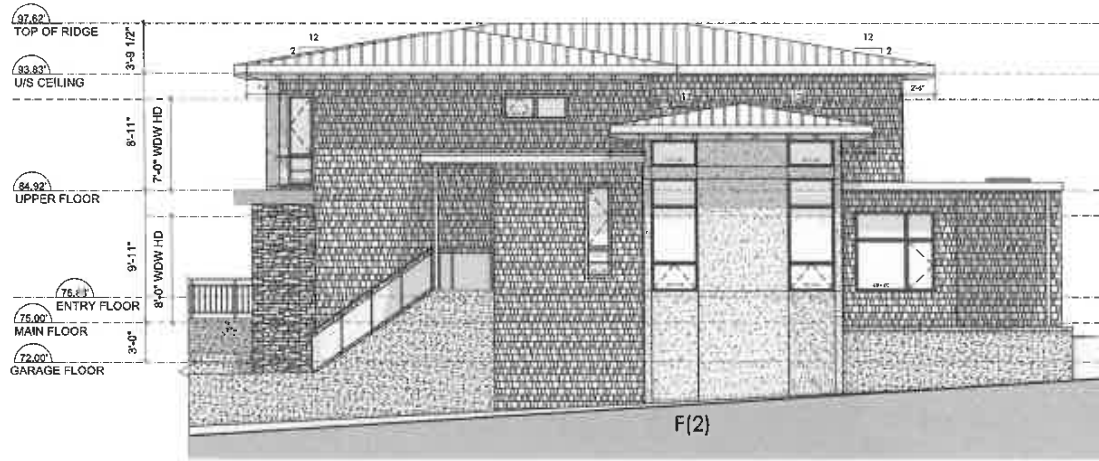
Aug 31, 2021
 MAY 12, 2022
 JUL 31, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

DRAWING
 FRONT & REAR
 ELEVATIONS B/W

PROJECT	020	SHEET	AF-4 .01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2022		

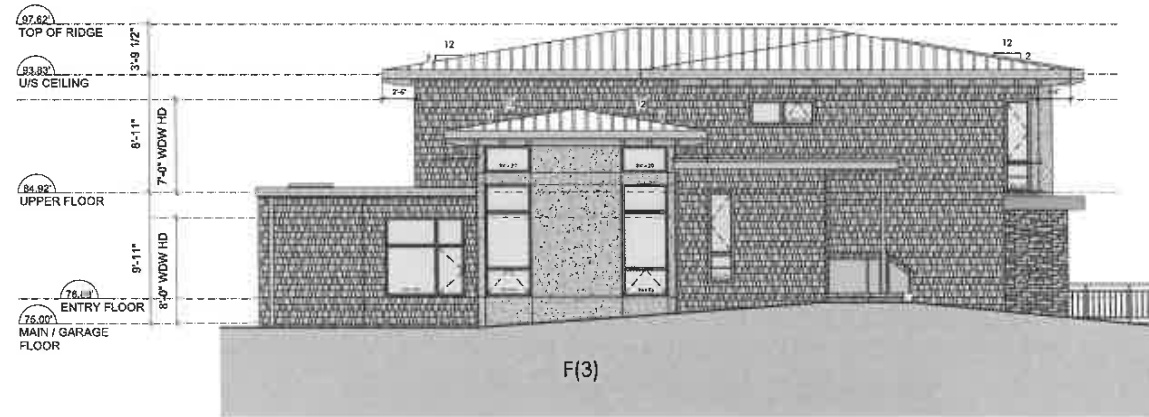


SOUTH ELEVATION

UNIT F

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-01)

EXPOSED BUILDING FACE: 1222.75 SF (113.60 SM)
 LIMITING DISTANCE: 4.02' (1.22 M)
 UNPROTECTED OPENING: 147.50 SF (13.70 SM)
 PROPOSED OPENING: 12.05%
 PERMITTED OPENINGS: 14.05%



NORTH ELEVATION

UNIT F

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-01)

EXPOSED BUILDING FACE: 879.62 SF (81.72 SM)
 LIMITING DISTANCE: 10.00' (3.05 M)
 UNPROTECTED OPENING: 147.50 SF (13.70 SM)
 PROPOSED OPENING: 16.77%
 PERMITTED OPENINGS: 28.90%

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REVISIONS
 Made for DR/Revising Aug 31, 2021
 DR/ Public Comment Revisions MAY 12, 2022
 DT: 02: 00 Revisions JAN 31, 2023

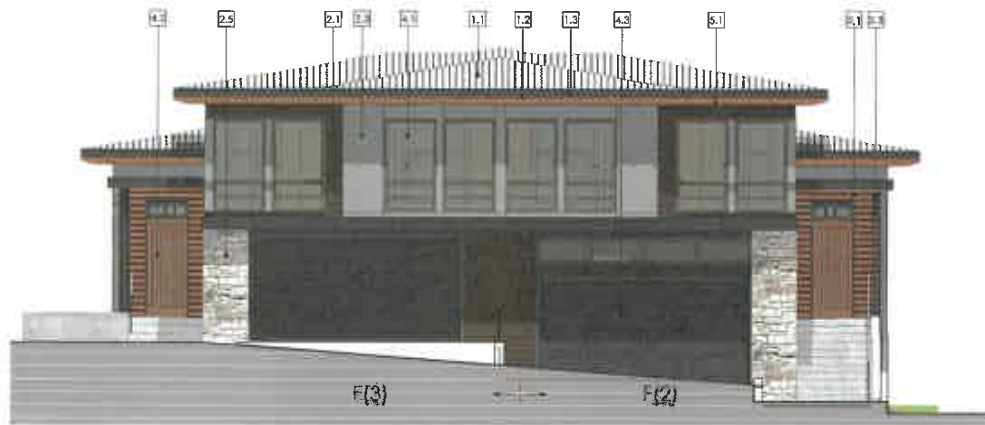


PROJECT
AQUILA
 0 AFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

DRAWING
 SOUTH & NORTH
 ELEVATIONS B/W

PROJECT#	SHEET
8000	AF-4
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

.02



FRONT ELEVATION (WEST)
UNIT F



SOUTH ELEVATION
UNIT F



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN c/w
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA		
EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	1/2" x 4" metal roof	Charcoal Gray
1.2	Fibre Cement Soffit	Charcoal Gray
1.3	Culter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Not Used	
2.3	Hardy Panel	Light Gray
2.4	Not Used	
2.5	None	
3.1	Upper / Lower / Middle / Side / End / Corner / Fascia / Barge Board / Upstand / Soffit / Balcony / Staircase / Decking / Railing / Handrail / Window / Door / Trim / Fascia / Barge Board / Upstand / Soffit / Balcony / Staircase / Decking / Railing / Handrail / Window / Door / Trim	Wrought Iron BM - 2124 - 10
3.2	None	Wrought Iron BM - 2124 - 10
4.1	None	Charcoal Gray
4.2	Entry door painted c/w hardware and finish	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	None	Charcoal Gray
4.4	Roofing glass panel system c/w metal cap	Charcoal Gray
5.1	Old Master Gel Stain wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Unfinished metal trim	Charcoal Gray
5.3	Painted metal trim	Charcoal Gray

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REVISIONS	
Revised for DP/Marketing	Aug. 31, 2021
DSD Public Comment Revisions	MAY 12, 2022
01: 02: 03 Revisions	JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
**FRONT & SOUTH
ELEVATIONS**

PROJECT#	SHEET
8000	AF-4
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023
	.03

These plans remain the ownership of Sterling Pacific

REVISION B
 Issued for CP/Permitting Aug. 31, 2021
 DPC/2 Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2022



BACK ELEVATION (EAST)
 UNIT F



NORTH ELEVATION
 UNIT F

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class 74 Metal Roof	Charcoal Gray
1.2	Rein Cement Soffit	Recessed Gray - HW-105
1.3	Filter	Charcoal Gray
2.1	Rein Cement Shingles	Woodstone Rustic Series Carbon Trails
3.1	1/2" Insul	
3.2	Ready Panel	Light mat
2.4	NSI Insul	
3.5	Stone	Random Granite
3.1	Upper level entry door - 6' x 8' - 10' - 10'	Wrought Iron S&K - 2124 - 10
3.2	Lower level entry door - 6' x 8' - 10' - 10'	Wrought Iron S&K - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stainless Steel	Stainless Steel
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stainless Steel	Stainless Steel
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT F

DRAWING
**BACK & NORTH
 ELEVATIONS**

PROJECT# 2020
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
 SHEET **AF-4**
.04

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FRONT ELEVATION - CAMERA VIEW
UNIT F



BACK ELEVATION - CAMERA VIEW
UNIT F

REVISIONS
Issued For DP/Planning Aug 31, 2021
DRG Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JUL 31, 2023



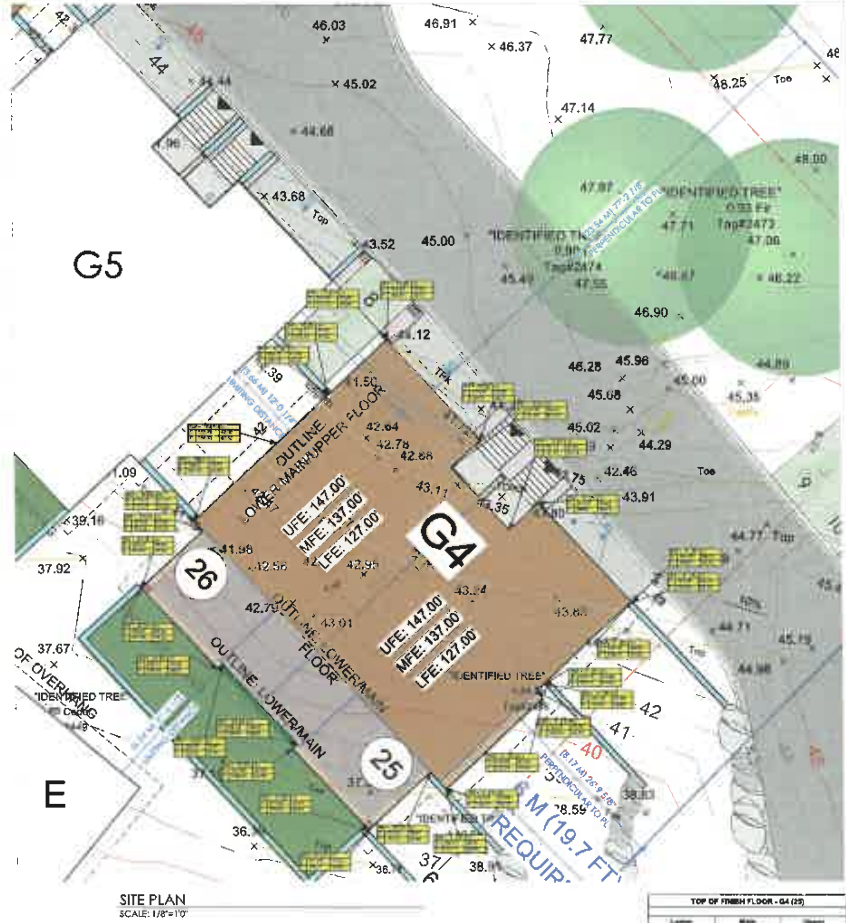
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	SHEET
8000	AF-4
SCALE	N.E.S.
DATE	MAY 12, 2023
	.05

G4 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation	Ref #	Elevation	Ref #	Elevation	x Distance
1	118.11	2	128.67	3	127.1	0
2	132.04	4	129.69	5	127.12	20.1
3	129.56	6	129.56	7	127.1	18
4	129.56	8	129.56	9	127.1	21.1
5	136.56	10	136.15	11	132.27	0
6	136.1	12	136.15	13	141.06	247.9
7	146.4	14	149.67	15	148.54	0
8	146.4	16	149.67	17	146.67	201.9
9	148.8	18	147.87	19	144.37	8
10	148.8	20	147.87	21	141.37	1918
11	141.47	22	146.87	23	144.37	8
12	148.67	24	149.67	25	146.67	20.06
13	148.67	26	147.44	27	148.6	652.1
14	147.44	28	147.43	29	147.39	12.10
15	147.43	30	147.43	31	147.39	1743.21
16	140.76	32	139.33	33	139.56	167
17	139.33	34	137.79	35	138.06	2586.11
18	137.79	36	132.22	37	138.01	0.31
19	132.22	38	132.22	39	132.22	2
20	132.22	40	129.56	41	129.56	1565.4
21	132.22	42	129.56	43	129.56	16.7
22	132.22	44	129.56	45	129.56	1
23	132.22	46	129.56	47	129.56	121.96
24	132.22	48	129.56	49	129.56	2077
25	132.22	50	129.56	51	129.56	136.56
26	132.22	52	129.56	53	129.56	2125.01
27	132.22	54	129.56	55	129.56	0
28	132.22	56	129.56	57	129.56	1915.71
29	132.22	58	129.56	59	129.56	412
30	132.22	60	129.56	61	129.56	3185.6
Total						235.1
AVG Finish Grade						134.1
Max. Min. Length (ft)						184.51

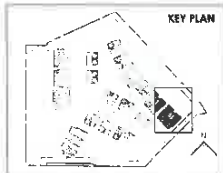
G4 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation	Ref #	Elevation	Ref #	Elevation	x Distance
1	129.75	2	134.7	3	134.7	0
2	124.79	4	134.85	5	129.12	2010.21
3	134.85	6	135.15	7	134	202
4	139.11	8	135.25	9	136.41	204
5	138.78	10	135.76	11	135.76	2964
6	139.1	12	144.25	13	144.25	0
7	144.1	14	144.25	15	144.25	2947
8	144.1	16	144.25	17	144.25	848.45
9	144.7	18	145.72	19	145.29	1803
10	145.1	20	145.07	21	145.42	633.45
11	142.07	22	145.2	23	145.2	2879.51
12	146.05	24	137.86	25	138.35	642
13	137.86	26	141	27	139.85	220.14
14	141.95	28	141.95	29	141.95	274
15	141.95	30	138.15	31	138.07	1682
16	138.15	32	138.15	33	138.15	1460.1
17	138.15	34	137.79	35	137.79	225.14
18	137.79	36	135.1	37	135.1	226.1
19	135.1	38	136.82	39	136.82	17.04
20	136.82	40	137.22	41	137.22	274
21	137	42	139.25	43	139.25	138.8
22	137	44	139.25	45	139.25	128.11
23	137	46	139.25	47	139.25	209.9
24	137	48	139.25	49	139.25	126.6
25	137	50	139.25	51	139.25	2077.05
26	137	52	139.25	53	139.25	0
27	137	54	139.25	55	139.25	1915.71
28	137	56	139.25	57	139.25	434
29	137	58	139.25	59	139.25	3185.6
30	137	60	139.25	61	139.25	134.1
Total						47.18
AVG Existing Grade						134.1
Max. Min. Length (ft)						184.51



SITE PLAN
SCALE: 1/8" = 1'-0"

TOP OF FINISH FLOOR - G4 (25)		
Lower	Main	Upper
42.04	42.78	42.88

TOP OF FINISH FLOOR - G4 (26)		
Lower	Main	Upper
42.56	42.98	42.98



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REVISIONS
Based on DPR Reviewing
DRD Public Comment Reviews
01, 02, 03 Reviews

Aug 31, 2021
MAY 12, 2022
AUG 31, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

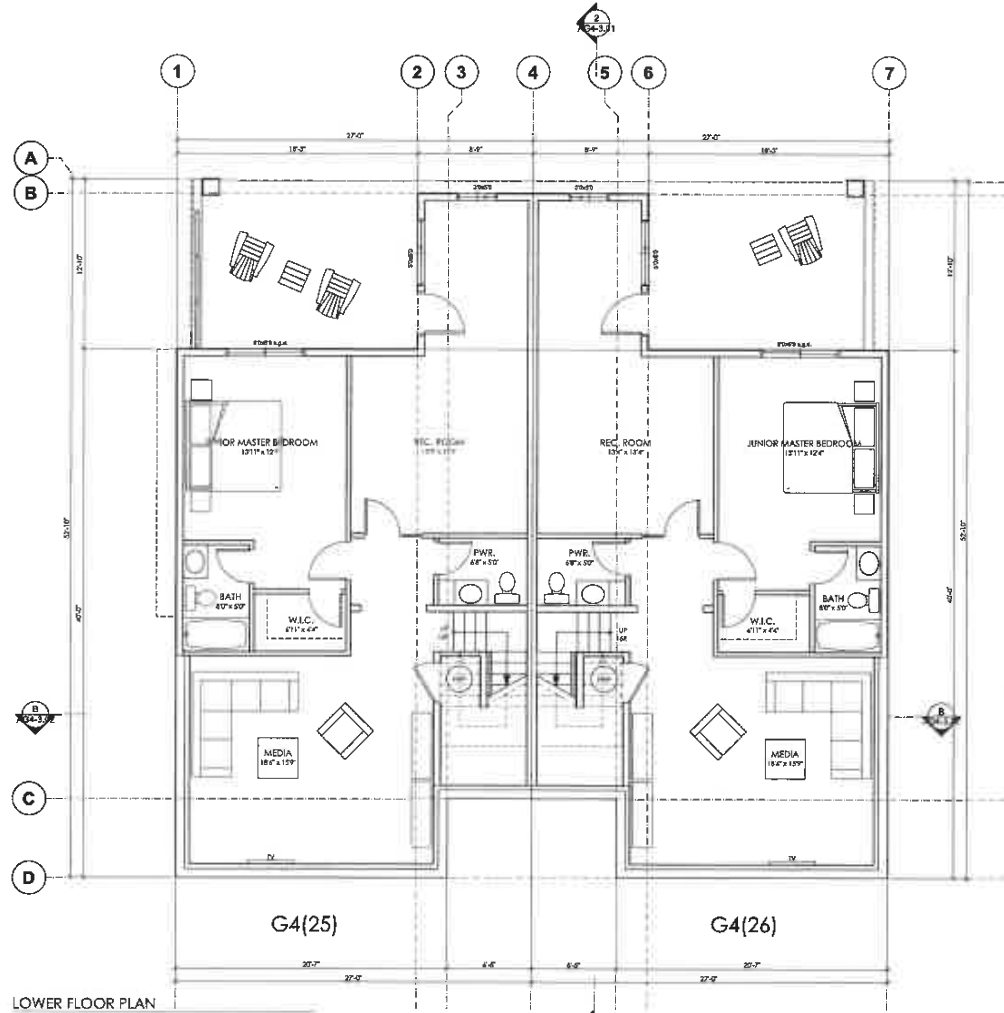
DRAWING
SITE PLAN

PROJECT#	0000
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2022

SHEET
AG4-1.01

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REVISION 8
 Issued for EP/Marketing Aug 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2023
 01, 05, 09 Revisions JULY 21, 2023



LOWER FLOOR PLAN
 UNIT G4

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

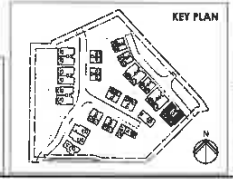
LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

	UNIT 25 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	
GROSS	1145.0 SF	1354.3 SF	1354.3 SF	3719.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	40.8 SF	40.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1354.3 SF	1024.5 SF	2378.8 SF

	UNIT 25 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	
GROSS	106.4 5M	128.8 5M	128.6 5M	263.8 5M
GARAGE EXCLUSIONS	0.0 5M	0.0 5M	37.8 5M	37.8 5M
BASEMENT EXCLUSIONS 100%	106.4 5M	0.0 5M	0.0 5M	106.4 5M
COVERAGE HEIGHT INCLUSION	0.0 5M	0.0 5M	4.4 5M	4.4 5M
COVERED BALCONY EXCLUSIONS	0.0 5M	9.1 5M	0.0 5M	9.1 5M
NET	0.0 5M	117.8 5M	92.4 5M	210.2 5M

	UNIT 24 FLOOR AREAS IMPERIAL			TOTAL
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	
GROSS	1145.0 SF	1354.3 SF	1354.3 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	40.8 SF	40.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1354.3 SF	99.8 SF	2322.8 SF

	UNIT 24 FLOOR AREAS METRIC 100%			TOTAL
	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	
GROSS	106.4 5M	125.8 5M	125.8 5M	258.0 5M
GARAGE EXCLUSIONS	0.0 5M	0.0 5M	37.8 5M	37.8 5M
BASEMENT EXCLUSIONS 100%	106.4 5M	0.0 5M	0.0 5M	106.4 5M
COVERAGE HEIGHT INCLUSION	0.0 5M	0.0 5M	4.4 5M	4.4 5M
COVERED BALCONY EXCLUSIONS	0.0 5M	9.1 5M	0.0 5M	9.1 5M
NET	0.0 5M	116.7 5M	72.4 5M	209.1 5M



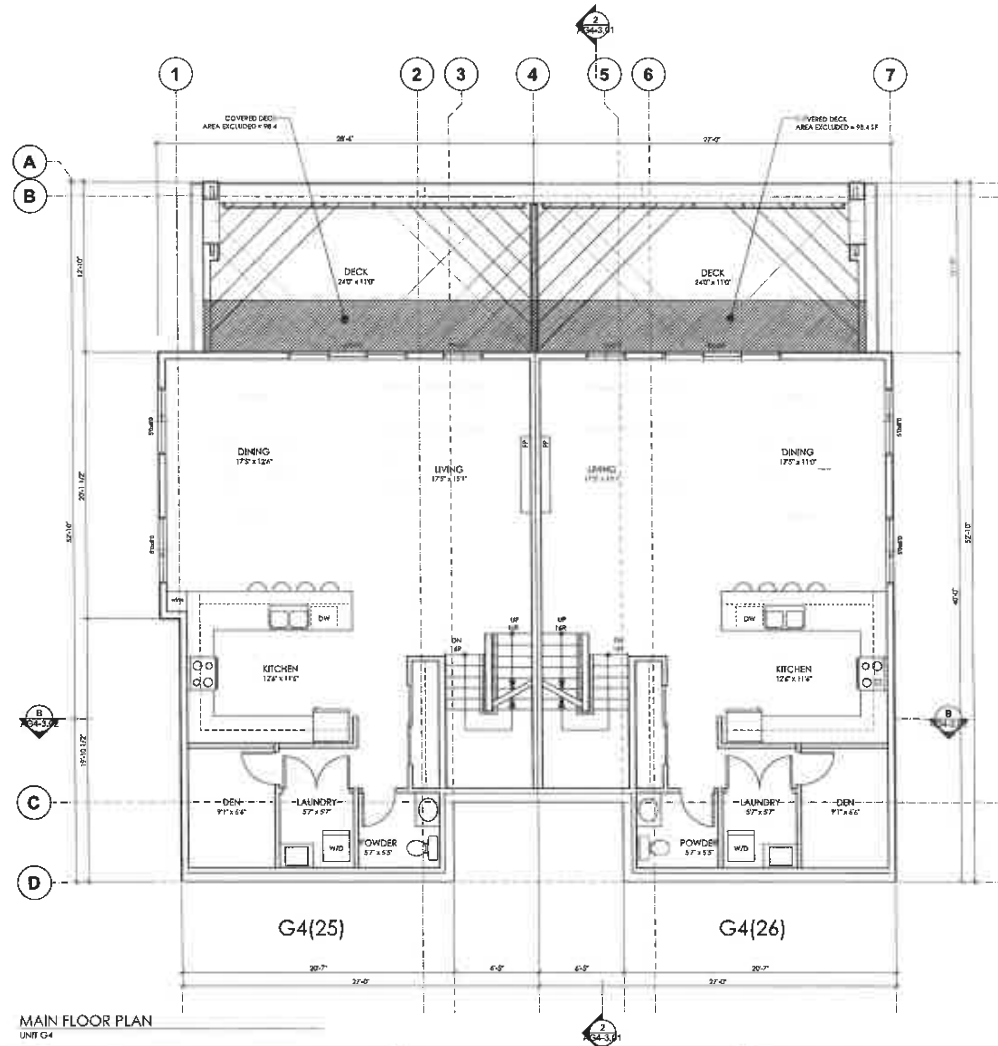
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
 LOWER FLOOR PLAN

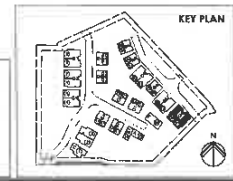
PROJECT# 800 SHEET
 SCALE 1/4" = 1'-0" **AG4-**
 DATE MAY 12, 2023 **2.01**

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REVISIONS
 Model for DP/8820000 Aug 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2022
 DA, G2, G3 Revisions JULY 31, 2022



MAIN FLOOR PLAN
 UNIT G4



UNIT 25 FLOOR AREAS (IMPERIAL)	LEVEL 1 50 FT			LEVEL 2 50 FT			LEVEL 3 50 FT			TOTAL
	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	136.3 SF	0.0 SF	136.3 SF	136.3 SF	0.0 SF	136.3 SF	272.6 SF
BASEMENT EXCLUSIONS 100%	1148.9 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	1148.9 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	0.0 SF	0.0 SF	136.3 SF	0.0 SF	136.3 SF	136.3 SF	0.0 SF	136.3 SF	272.6 SF

UNIT 25 FLOOR AREAS METRIC	LEVEL 1 50 M			LEVEL 2 50 M			LEVEL 3 50 M			TOTAL
	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	
GARAGE EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	126.4 SA	0.0 SA	126.4 SA	126.4 SA	0.0 SA	126.4 SA	252.8 SA
BASEMENT EXCLUSIONS 100%	106.4 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	106.4 SA
COVERED HEIGHT INCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SA	0.0 SA	0.0 SA	126.4 SA	0.0 SA	126.4 SA	126.4 SA	0.0 SA	126.4 SA	252.8 SA

UNIT 26 FLOOR AREAS (IMPERIAL)	LEVEL 1 50 FT			LEVEL 2 50 FT			LEVEL 3 50 FT			TOTAL
	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	406.8 SF	0.0 SF	406.8 SF	406.8 SF	0.0 SF	406.8 SF	813.6 SF
BASEMENT EXCLUSIONS 100%	1148.9 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	1148.9 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	0.0 SF	0.0 SF	406.8 SF	0.0 SF	406.8 SF	406.8 SF	0.0 SF	406.8 SF	813.6 SF

UNIT 26 FLOOR AREAS METRIC 100%	LEVEL 1 50 M			LEVEL 2 50 M			LEVEL 3 50 M			TOTAL
	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	AREA	EXCLUSIONS	NET	
GARAGE EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	373.5 SA	0.0 SA	373.5 SA	373.5 SA	0.0 SA	373.5 SA	747.0 SA
BASEMENT EXCLUSIONS 100%	106.4 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	106.4 SA
COVERED HEIGHT INCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA
COVERED BALCONY EXCLUSIONS	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA	0.0 SA
NET	0.0 SA	0.0 SA	0.0 SA	373.5 SA	0.0 SA	373.5 SA	373.5 SA	0.0 SA	373.5 SA	747.0 SA

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

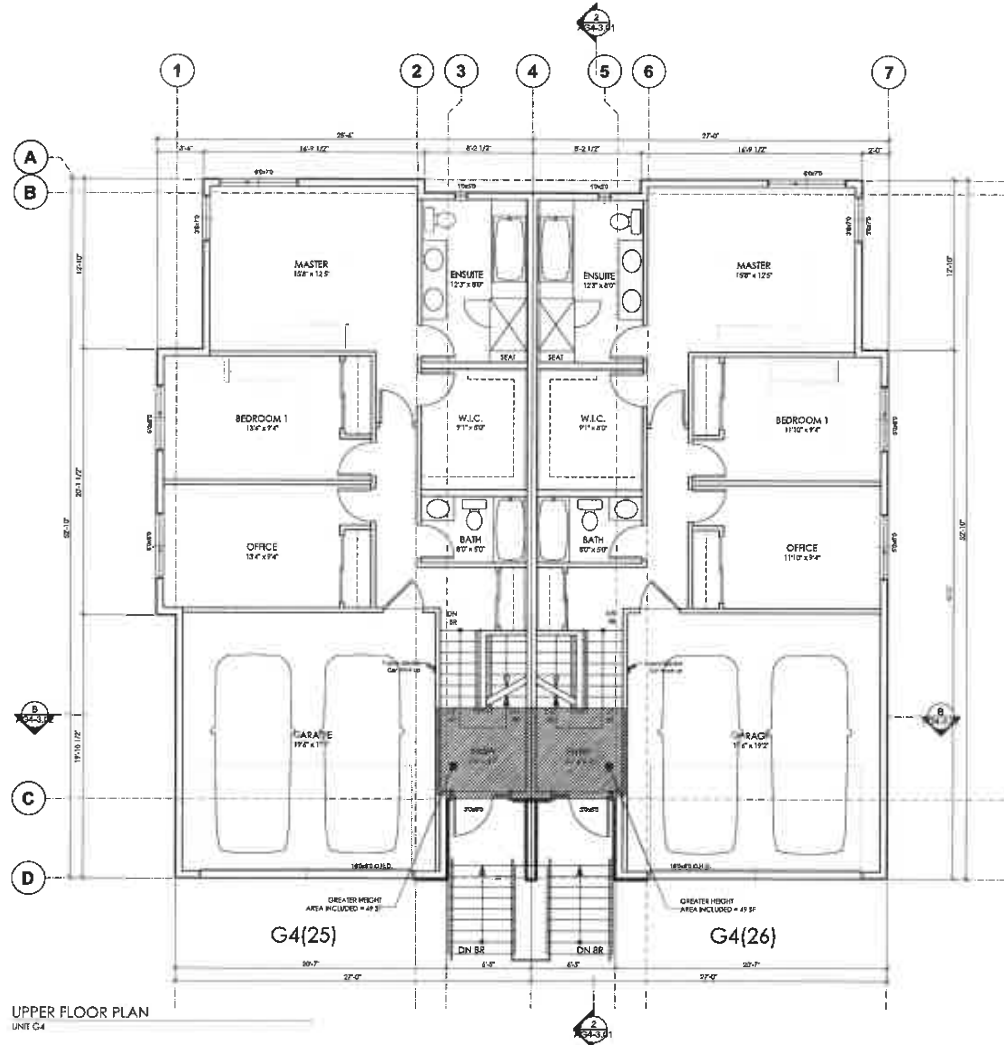
DRAWING
MAIN FLOOR PLAN

PROJECT # 0000
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022
 SHEET
AG4-2.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP/Reviewing
 DRD/Public Comment Response
 01, 02, 03 Revisions

Aug 31, 2021
 MAY 12, 2023
 JUL 31, 2023

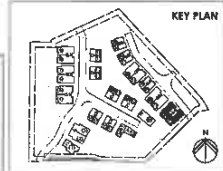


UPPER FLOOR PLAN
 UNIT G4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
 UPPER FLOOR PLAN



UNIT 25 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1364.3 SF	1364.3 SF	3873.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	400.0 SF	400.0 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.1 SF	0.0 SF	98.1 SF
NET	0.0 SF	1265.9 SF	1006.5 SF	2312.4 SF

UNIT 25 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	126.4 SQ M	126.4 SQ M	359.2 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.0 SQ M	37.0 SQ M
BASEMENT EXCLUSIONS 100%	106.4 SQ M	0.0 SQ M	0.0 SQ M	106.4 SQ M
COVERED HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.5 SQ M	4.5 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	119.6 SQ M	95.4 SQ M	215.0 SQ M

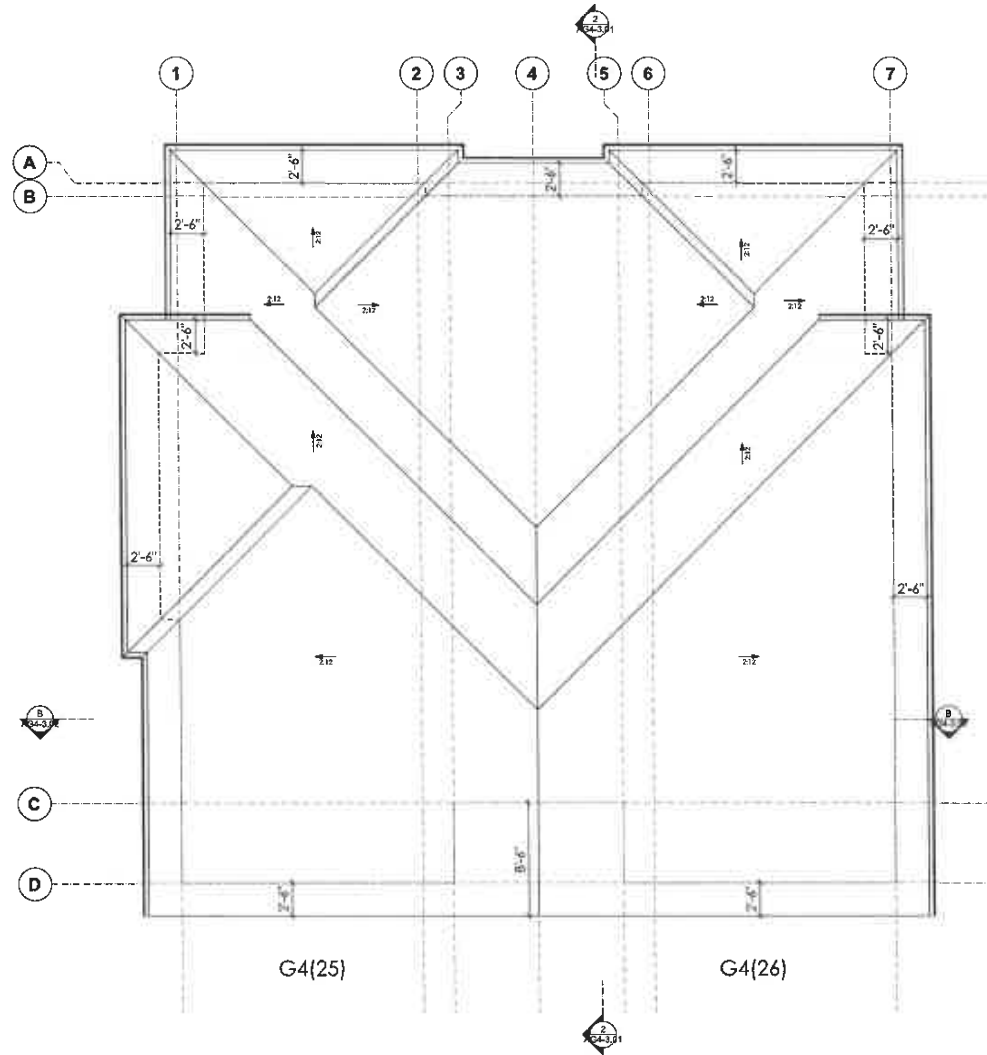
UNIT 26 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	400.0 SF	400.0 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.1 SF	0.0 SF	98.1 SF
NET	0.0 SF	1255.9 SF	954.0 SF	2450.9 SF

UNIT 26 FLOOR AREAS METRIC 100%				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	125.9 SQ M	125.9 SQ M	358.2 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.0 SQ M	37.0 SQ M
BASEMENT EXCLUSIONS 100%	106.4 SQ M	0.0 SQ M	0.0 SQ M	106.4 SQ M
COVERED HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.5 SQ M	4.5 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	116.7 SQ M	92.4 SQ M	209.1 SQ M

PROJECT: 0030
 SHEET: **AG4-2.03**
 SCALE: 1/4" = 1'-0"
 DATE: MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for Preparing AUG 31, 2021
 DRIP Public Comment Revisions JAN 12, 2023
 01, 02, 03 Revisions JAN 31, 2023

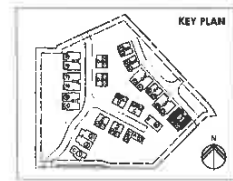


ROOF PLAN
 UNIT G4



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G-4

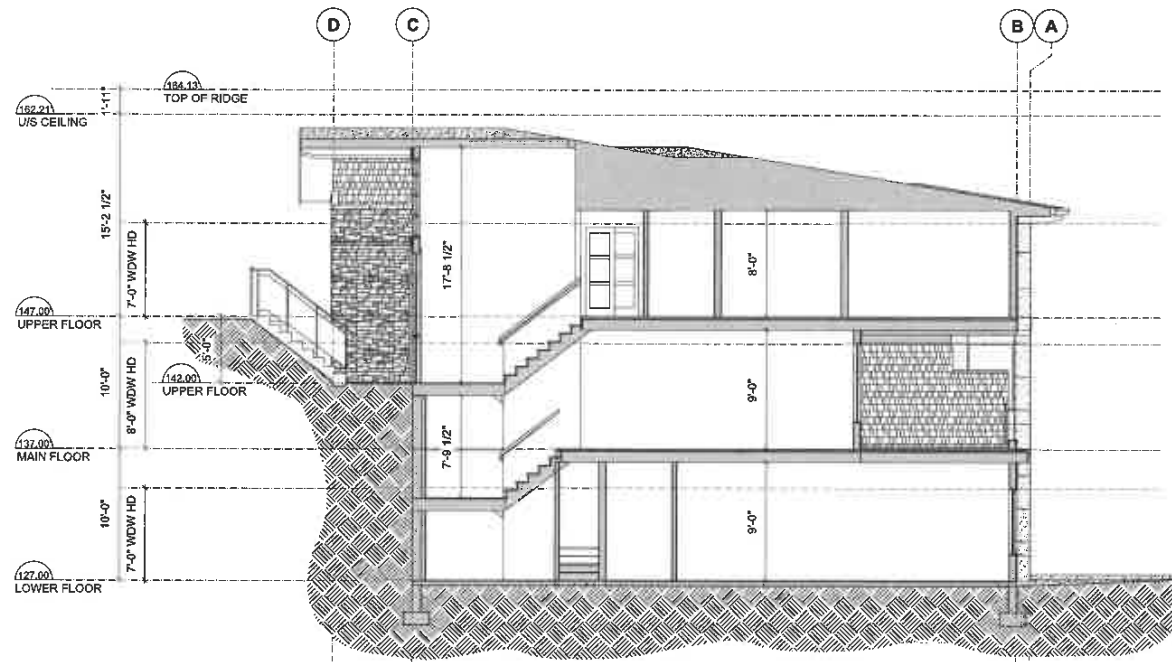
DRAWING
ROOF PLAN



PROJECT# 2021
 SHEET **AG4-2.04**
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP Reasoning Aug 31, 2021
 DRP Public Comment Revisions MAY 12, 2023
 OI, GC, OS Revisions JAN 31, 2023



2 SECTION A-A
 Scale: 1/4" = 1'-0"



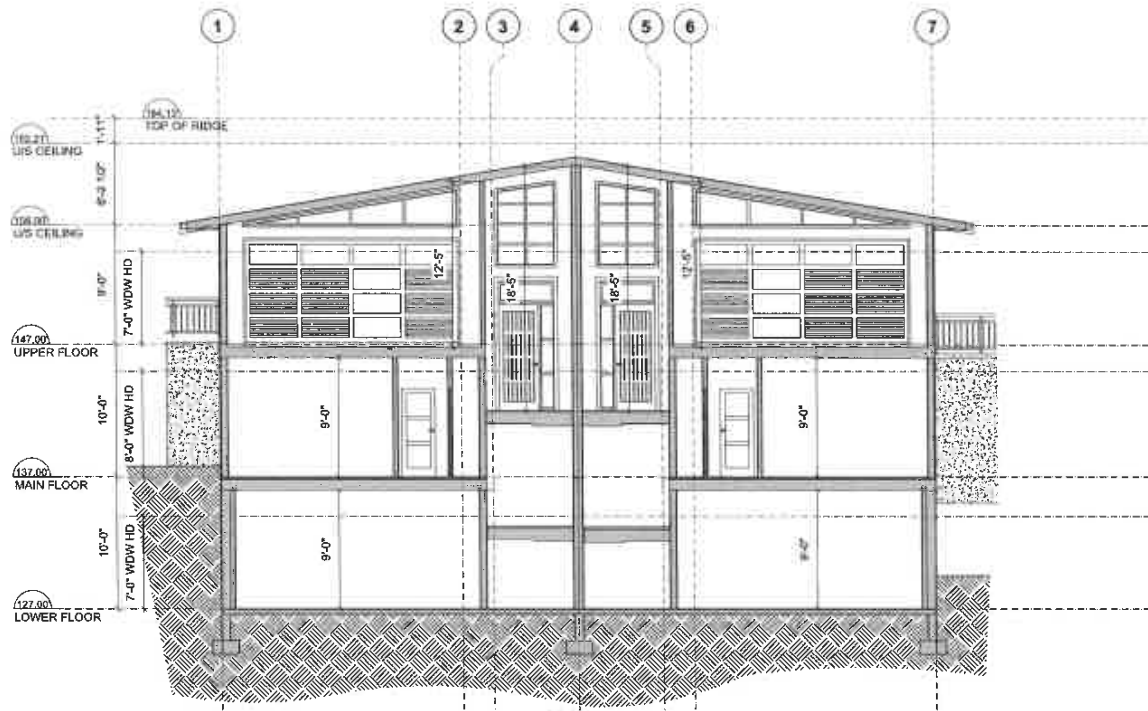
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
 SECTION A-A

PROJECT#	SHEET
0000	AG4-
SCALE	3.01
DATE	MAY 12, 2023

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REVISIONS	
Issued for O.P./Rebidding	Aug 31, 2021
DRD Public Comment Revisions	MAY 12, 2023
01, GC, 03 Revisions	JULY 31, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

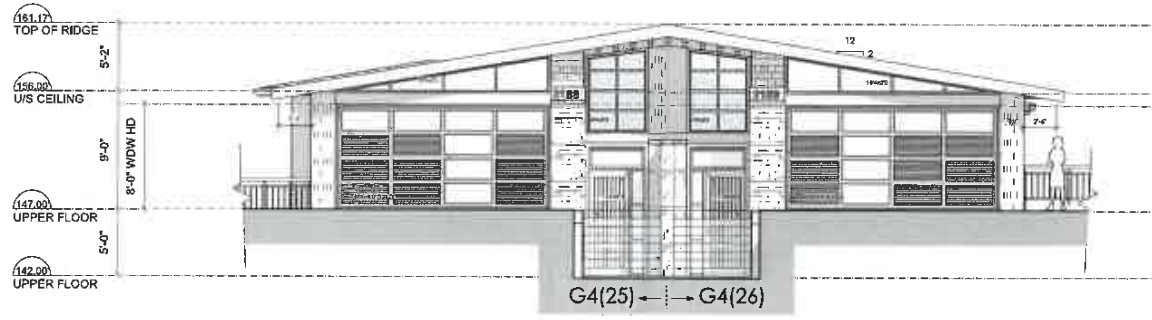
DRAWING
SECTION B-B

PROJECT#	SHEET
8030	AG4-
SCALE 1/4" = 1'-0"	3.02
DATE MAY 12, 2023	

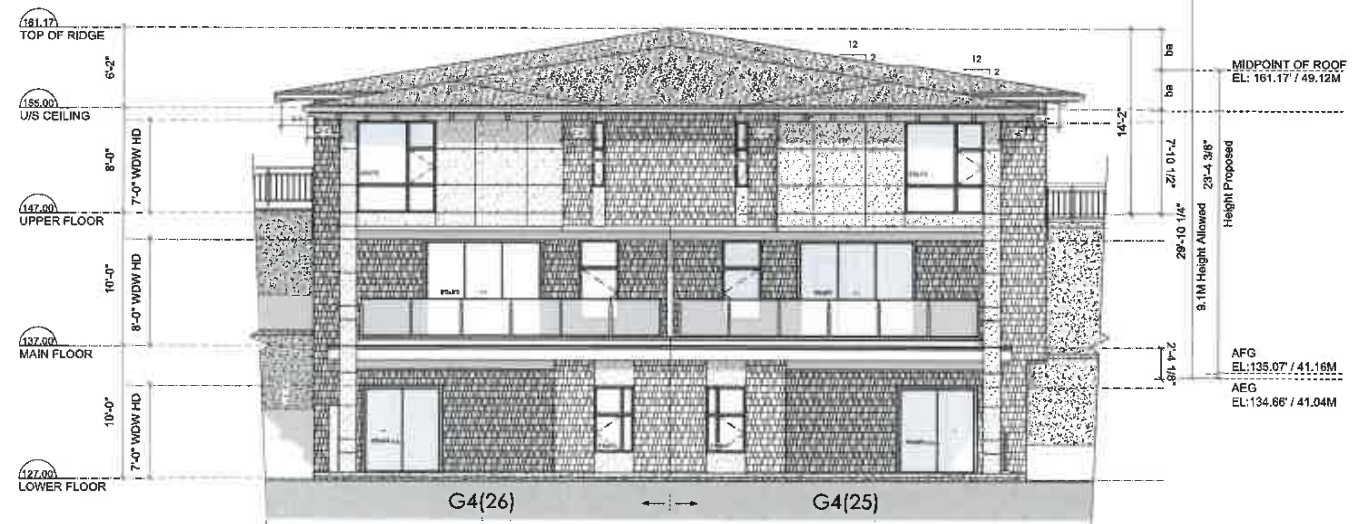
These plans remain the ownership of Sterling Pacific

REVISED FOR
 Issued for DR/Revising
 DR2/Public Comment Revisions
 01, 02, 03 Revisions

Aug 31, 2021
 MAY 12, 2023
 MAY 13, 2023



FRONT / ENTRY ELEVATION
 UNIT G4



BACK ELEVATION
 UNIT G4
 LOWER FLOOR / BASEMENT EXEMPTIONS: 100%
 LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

SPATIAL SEPARATION CALCULATION (IBC/C, TABLE 5.2.3.1.1):
 EXPOSED BUILDING FACE: 1564.84 SF (145.38 SM)
 LIMITING DISTANCE: 10.73' (3.27 M)
 UNPROTECTED OPENING: 384.00 SF (35.67 SM)
 PROPOSED OPENING: 24.54 SF
 PERMITTED OPENINGS: 21.49%

MAX ALLOWABLE
 BLOCC HEIGHT
 EL: 164.51' / 50.14M

MIDPOINT OF ROOF
 EL: 161.17' / 49.12M

Height Proposed
 23'-4 3/8"

29'-10 1/4"

2'-4 1/8"

AFG
 EL: 135.07' / 41.16M

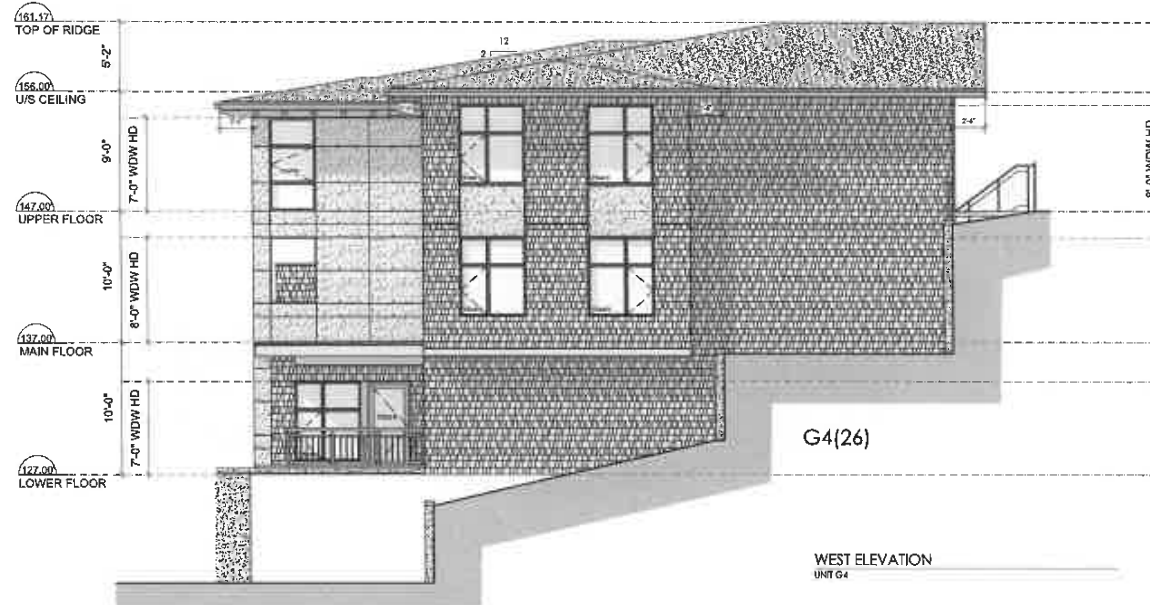
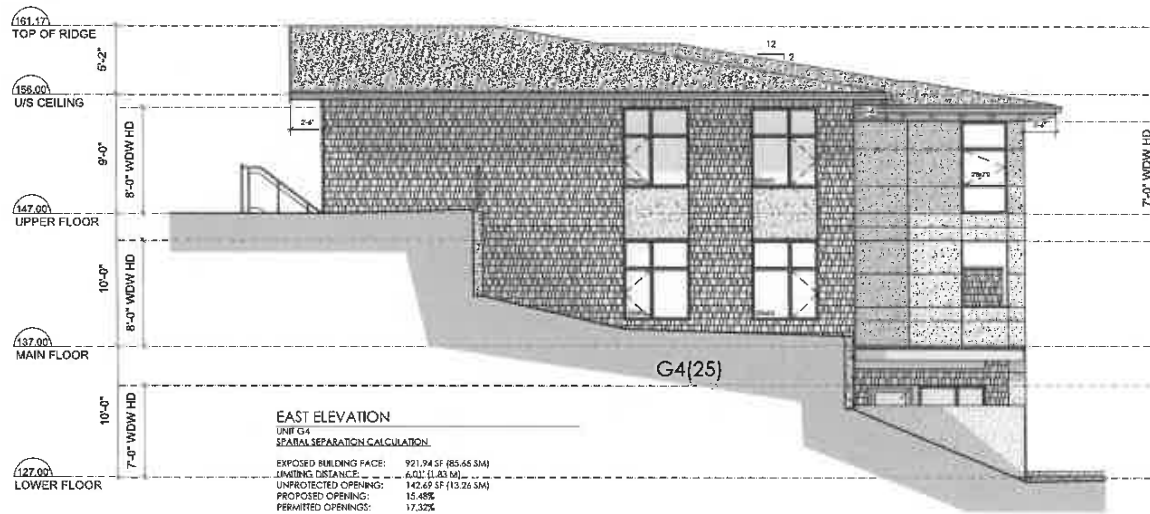
AEG
 EL: 134.86' / 41.04M



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G4

DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT	9000	SHEET	AG4-4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		



These plans remain the ownership of Sterling Pacific

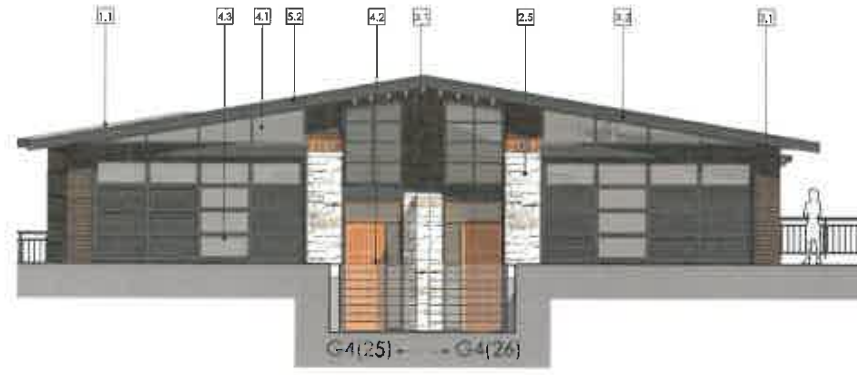
REVISIONS	
ISSUED For DP/Passing	AUG 31, 2021
ORIG Public Comment Review	MAY 12, 2023
G1-G3-03 Revisions	MAY 31, 2023



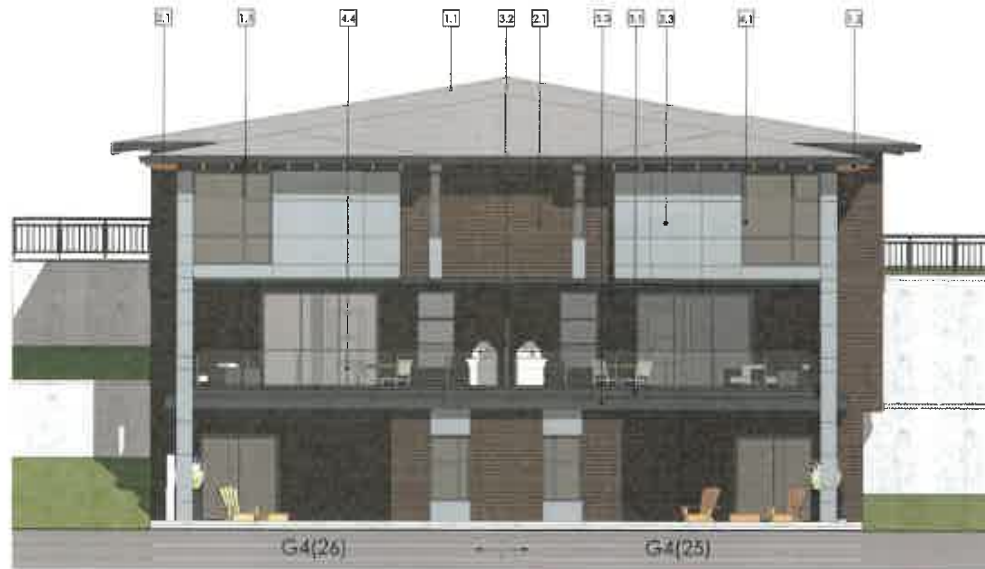
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
EAST & WEST
ELEVATIONS B/W

PROJECT#	SHEET
9300	AG4-
SCALE 1/4" = 1'-0"	4.02
DATE MAY 12, 2023	



FRONT / ENTRY ELEVATION
UNIT G4



BACK ELEVATION
UNIT G4



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA

EXTERIOR MATERIAL SCHEDULE

Item	Material	Colour
1.1	Charcoal Gray	Charcoal Gray
1.3	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
1.3	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
1.3	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	NOT USED	
2.3	Hardy Panel	Light Mist
2.4	NOT USED	
2.5	None	Random Granite
2.6	None	
3.1	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.2	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
3.3	Wrought Iron BM - 2124-10	Wrought Iron BM - 2124-10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

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REVISIONS
Revised for DPR/Marketing Aug 31, 2021
DPRD Public Comment Revisions MAY 12, 2022
01, 02, 03 Revisions JULY 31, 2023



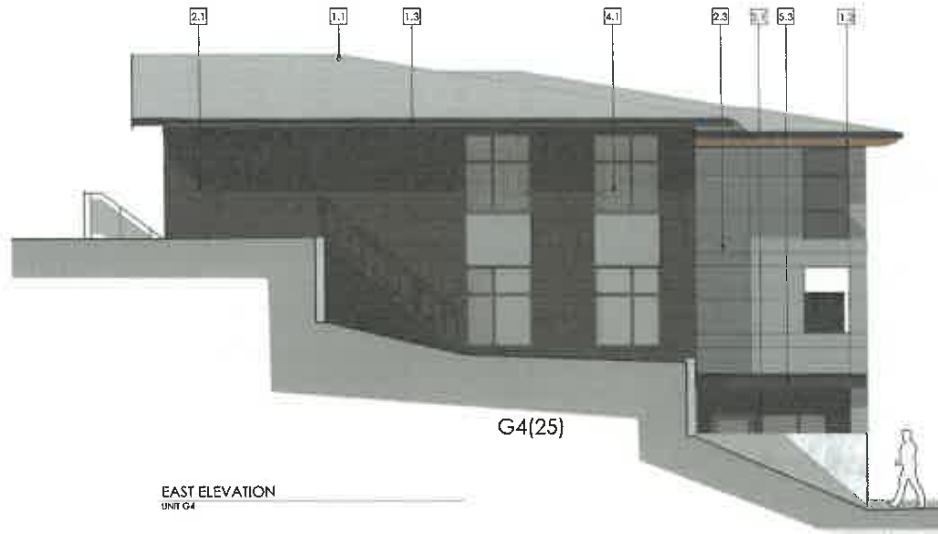
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT# 800 SHEET
SCALE 1/4" = 1'-0" **AG4-**
DATE MAY 12, 2023 **4.03**

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REVISION 8
 Based for DP/Revised Aug 31, 2021
 DRP/ Public Comment Reviews MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



G4(25)

EAST ELEVATION
 UNIT G4



G4(26)

WEST ELEVATION
 UNIT G4

AQUILA EXTERIOR MATERIAL SCHEDULE		
#	Material	Notes
1.1	1/2" x 4" Metal Roof	12 ga galvalume
1.2	1/2" Cement Soffit	1/2" x 4" x 1/2" x 1/2"
1.3	Insulation	1/2" x 4" x 1/2" x 1/2"
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trail
2.2	Not used	
2.3	Heavy Panel	Light rail
2.4	Not used	
2.5	None	None
3.1	1/2" x 4" x 1/2" x 1/2"	Wrought Iron Bar - 2124 - 10
3.2	1/2" x 4" x 1/2" x 1/2"	Wrought Iron Bar - 2124 - 10
4.1	Charcoal Gray	
4.2	Shiny door painted w/ w Ironwood and black	Shinywood - Old Master Gel Stain w/ black top coat - Special Walnut
4.3	Charcoal Gray	
4.4	Charcoal Gray	
5.1	Re treated wood	Shinywood - Old Master Gel Stain w/ clear top coat - Special Walnut
5.2	Charcoal Gray	
5.3	Charcoal Gray	

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G 4

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT# 8000 SHEET
 SCALE 1/4" = 1'-0" **AG4-**
 DATE MAY 12, 2023 **4.04**

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REVISIONS
Based for DP/Reviewing Aug 24, 2023
DRCD Public Comment Revisions MAY 12, 2023
G1, G2, G3 Revisions JULY 21, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G4



BACK ELEVATION - CAMERA VIEW
UNIT G4



BACK ELEVATION - CAMERA VIEW
UNIT G4



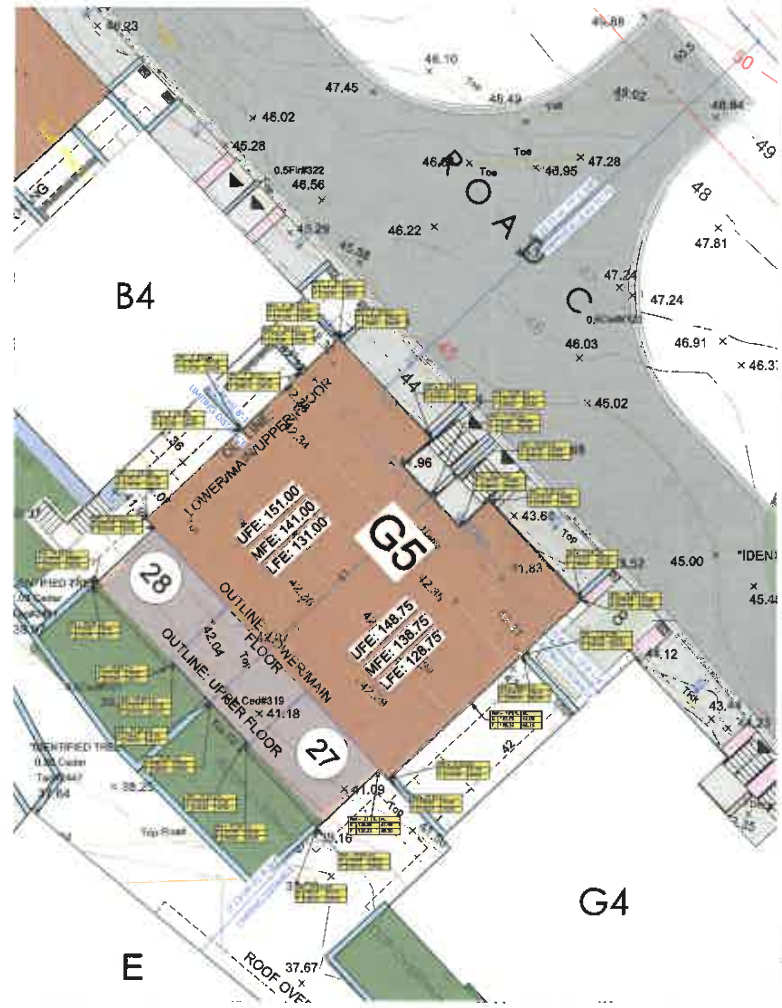
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
FRONT & BACK
ELEVATIONS
-CAMERA VIEW

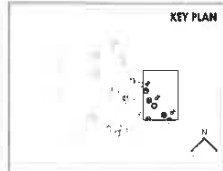
PROJECT#	SHEET
9000	AG4-
SCALE	N3A
DATE	4.05
MAY 12, 2023	

S - AVERAGE FINISH GRADE CALCULATION				
Sta #	Elevation	Dist #	Elevation	+ Distance
1	151.55	2	151.76	0.21
2	152.76	3	151.77	-1.00
3	152.75	4	151.19	-1.56
4	152.10	5	149.25	-2.85
5	149.88	6	141.04	-8.84
6	141.04	7	149.85	8.81
7	149.92	8	150.07	0.15
8	149.71	9	148.97	-0.74
9	150.87	10	145.67	-5.20
10	145.67	11	145.07	-0.60
11	141.87	12	144.86	2.99
12	144	13	144.95	0.95
13	144	14	144.41	-0.59
14	145.11	15	145.41	0.30
15	143.41	16	147.84	4.43
16	147.84	17	147.03	-0.81
17	152.82	18	146.78	-6.04
18	146.78	19	146.53	-0.25
19	147.97	20	147.78	-0.19
20	151.2	21	152.22	1.02
21	152	22	153.00	0.80
22	152	23	152.2	-0.80
23	174.25	24	176.25	2.00
24	148.1	25	125.25	-22.85
25	125.25	26	125.25	0.00
26	125.25	27	125.25	0.00
27	125.25	28	125.25	0.00
28	125.25	29	125.25	0.00
29	125.25	30	125.25	0.00
30	125.25	31	125.25	0.00
31	125.25	32	125.25	0.00
32	125.25	33	125.25	0.00
SUM				211.04
Avg Finish Grade				28.65
Veg. Removal Elev				18

S - AVERAGE FINISH GRADE CALCULATION				
Sta #	Elevation	Dist #	Elevation	+ Distance
1	172.75	2	158.17	-14.58
2	172.75	3	142.48	-30.27
3	142.48	4	141.48	-0.99
4	140.48	5	141.80	1.32
5	141	6	141.80	0.80
6	141	7	141.80	0.80
7	141	8	141.80	0.80
8	141	9	141.80	0.80
9	142.1	10	137.84	-4.26
10	137.84	11	137.80	-0.04
11	137	12	137.80	0.80
12	137	13	137.80	0.80
13	137	14	142.02	4.22
14	142	15	136.84	-5.16
15	136.84	16	136.84	0.00
16	136.84	17	140.78	3.94
17	140.78	18	140.78	0.00
18	140.78	19	137	-3.78
19	137	20	136.66	-0.14
20	136.66	21	136.66	0.00
21	136.66	22	136.41	-0.25
22	136.41	23	136.41	0.00
23	136.41	24	136.41	0.00
24	136.41	25	136.41	0.00
25	136.41	26	136.41	0.00
26	136.41	27	136.41	0.00
27	136.41	28	136.41	0.00
28	136.41	29	136.41	0.00
29	136.41	30	136.41	0.00
30	136.41	31	136.41	0.00
31	136.41	32	136.41	0.00
32	136.41	33	136.41	0.00
Total				226.11
Avg Elevation				137.1
Veg. Removal Elev				18



SITE PLAN
SCALE 1/8"=1'-0"



TOP OF FINISH FLOOR - OF (B)		
Lower	Main	Upper
136.70	136.70	136.70

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REVISIONS		DATE
Issued for DR/Permitting		Aug 31, 2021
DR/PG Public Comment Response		MAY 12, 2022
GV, G2, G3 Revisions		JULY 24, 2022



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G5

DRAWING
SITE PLAN

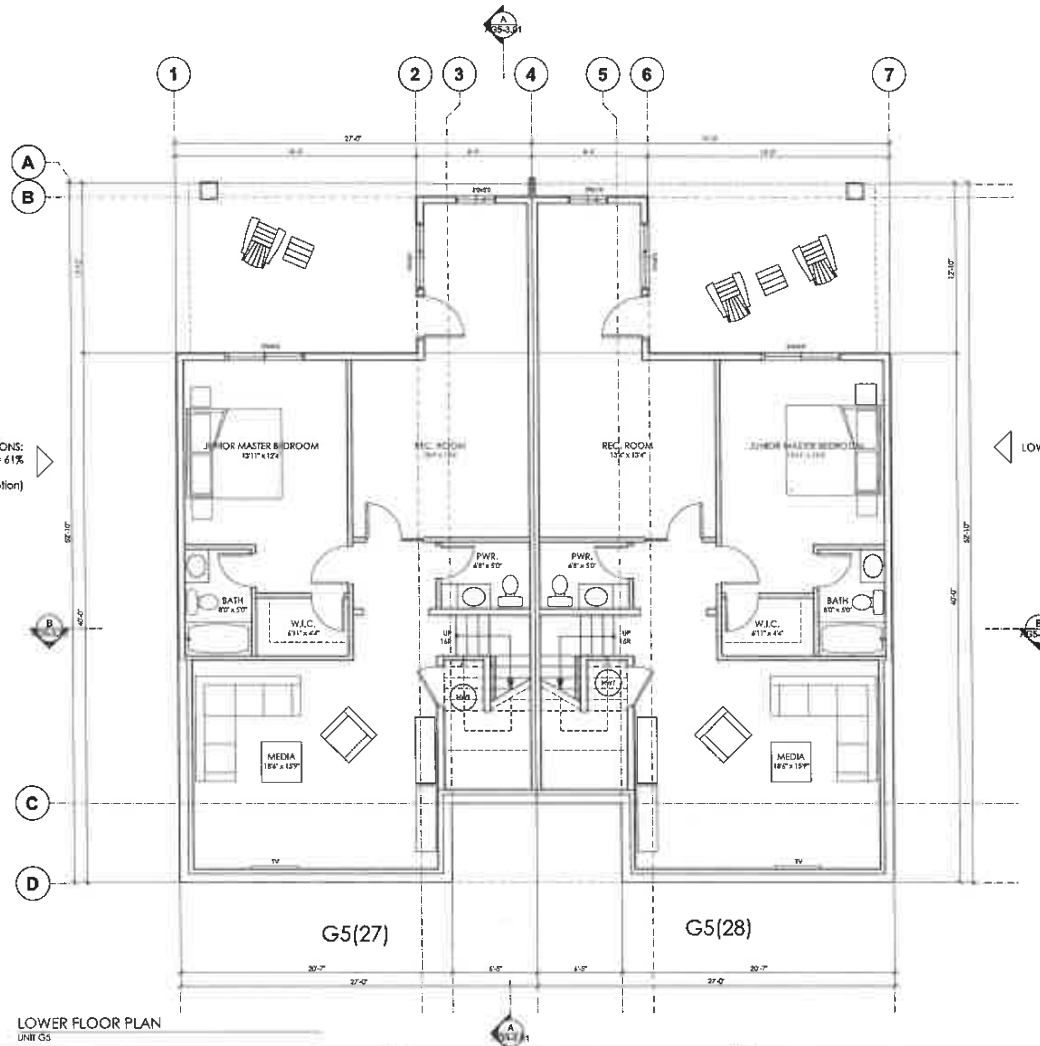
PROJECT#	SHEET
0300	AG5-1.01
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2022

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REVISIONS
 Issued for DP/Permitting Aug 31, 2021
 DMO/ Public Comment Reviews MAY 12, 2022
 GI, D3 Revisions JULY 21, 2022

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (137.10' - 131.00' / 141.00' - 131.00') x 100 = 61%
 1,145 (gross area) x 61% = 698.45 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%



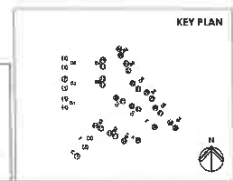
LOWER FLOOR PLAN
 UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
	GROSS	1145.0 SF	1554.1 SF	
GARAGE INCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT INCLUSIONS 10%	498.5 SF	0.0 SF	0.0 SF	498.5 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	37.1 SF	31.1 SF	68.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	86.4 SF	0.0 SF	86.4 SF
NET	446.5 SF	1257.1 SF	768.4 SF	2472.0 SF

UNIT 27 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
	GROSS	106.4 SQ M	155.8 SQ M	
GARAGE INCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT INCLUSIONS 10%	46.1 SQ M	0.0 SQ M	0.0 SQ M	46.1 SQ M
COVERED HEIGHT INCLUSIONS	0.0 SQ M	3.4 SQ M	2.9 SQ M	6.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	8.1 SQ M	0.0 SQ M	8.1 SQ M
NET	41.3 SQ M	112.7 SQ M	71.4 SQ M	245.5 SQ M

UNIT 28 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
	GROSS	1145.0 SF	1554.1 SF	
GARAGE INCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT INCLUSIONS 10%	498.5 SF	0.0 SF	0.0 SF	498.5 SF
COVERED HEIGHT INCLUSIONS	0.0 SF	0.0 SF	49.9 SF	49.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	86.4 SF	0.0 SF	86.4 SF
NET	0.0 SF	1257.1 SF	994.3 SF	2251.4 SF

UNIT 28 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
	GROSS	106.4 SQ M	125.5 SQ M	
GARAGE INCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT INCLUSIONS 10%	46.1 SQ M	0.0 SQ M	0.0 SQ M	46.1 SQ M
COVERED HEIGHT INCLUSIONS	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	8.1 SQ M	0.0 SQ M	8.1 SQ M
NET	0.0 SQ M	114.7 SQ M	72.6 SQ M	207.5 SQ M



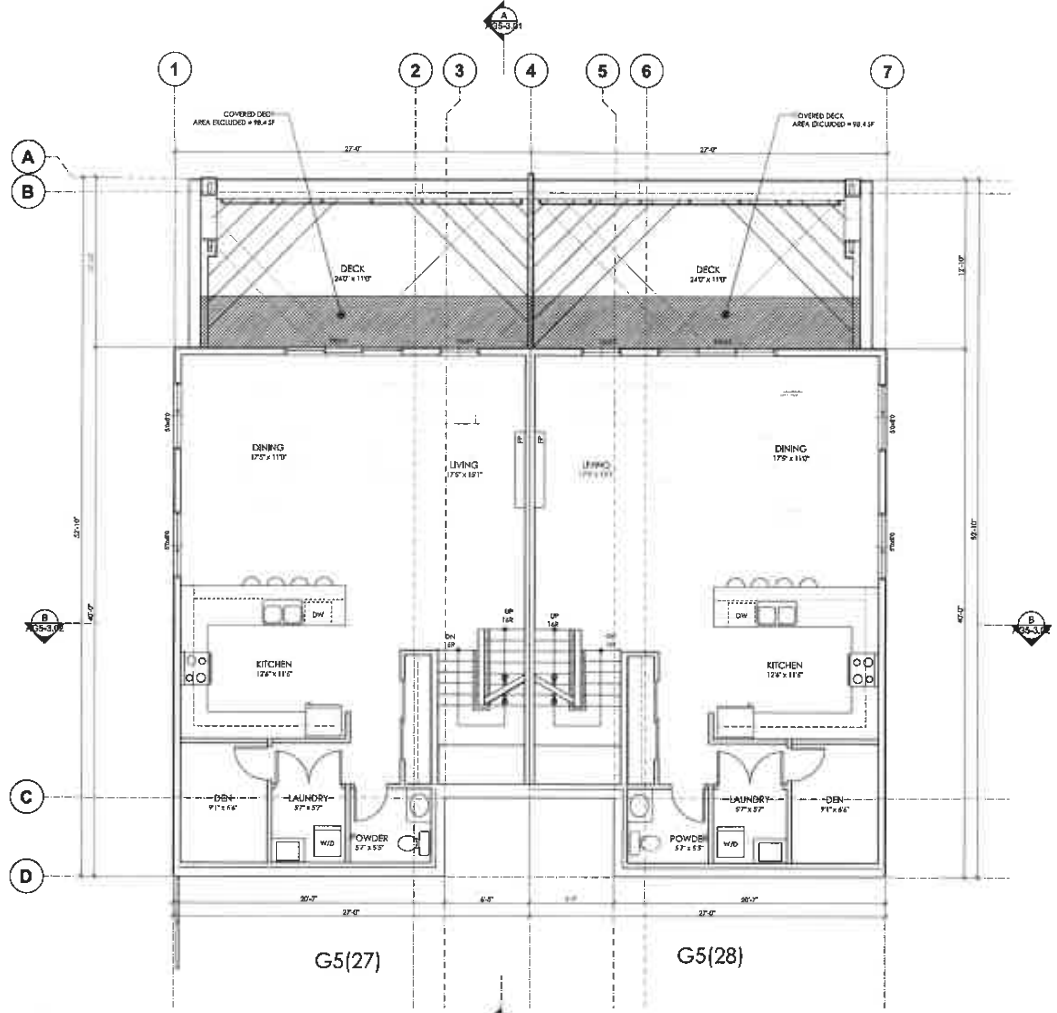
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
LOWER FLOOR PLAN

PROJECT 0030 SHEET
 SCALE 1/4" = 1'-0" **AG5-**
 DATE MAY 12, 2022 **2.01**

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REVISION 3
 Issued for DP/Permitting Aug 31, 2021
 ENR/ Public Comment Response MAY 12, 2022
 01, 02, 03 Revisions JG/FSI, 2022



MAIN FLOOR PLAN
 UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1140.0 SF	1334.1 SF	1254.1 SF	3728.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 61% OVERLAP REPORT INCLUSION	498.5 SF	0.0 SF	0.0 SF	498.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	191.4 SF	0.0 SF	191.4 SF
NET	448.4 SF	1225.7 SF	994.4 SF	2668.7 SF

UNIT 27 FLOOR AREAS METRIC

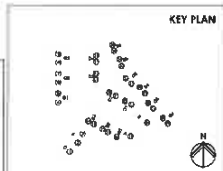
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	104.59M	122.83M	125.85M	353.27M
GARAGE EXCLUSIONS	0.00M	0.00M	37.59M	37.59M
BASEMENT EXCLUSIONS 61% OVERLAP REPORT INCLUSION	44.93M	0.00M	0.00M	44.93M
COVERED BALCONY EXCLUSIONS	0.00M	17.54M	0.00M	17.54M
NET	41.55M	111.73M	91.45M	244.73M

UNIT 28 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1140.0 SF	1354.1 SF	1354.1 SF	3848.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS 100% OVERLAP REPORT INCLUSION	1140.0 SF	0.0 SF	0.0 SF	1140.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	191.4 SF	0.0 SF	191.4 SF
NET	0.0 SF	1255.7 SF	994.3 SF	2250.0 SF

UNIT 28 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	104.59M	125.85M	125.85M	356.29M
GARAGE EXCLUSIONS	0.00M	0.00M	37.59M	37.59M
BASEMENT EXCLUSIONS 100% OVERLAP REPORT INCLUSION	104.59M	0.00M	0.00M	104.59M
COVERED BALCONY EXCLUSIONS	0.00M	17.54M	0.00M	17.54M
NET	0.00M	111.73M	91.45M	203.18M



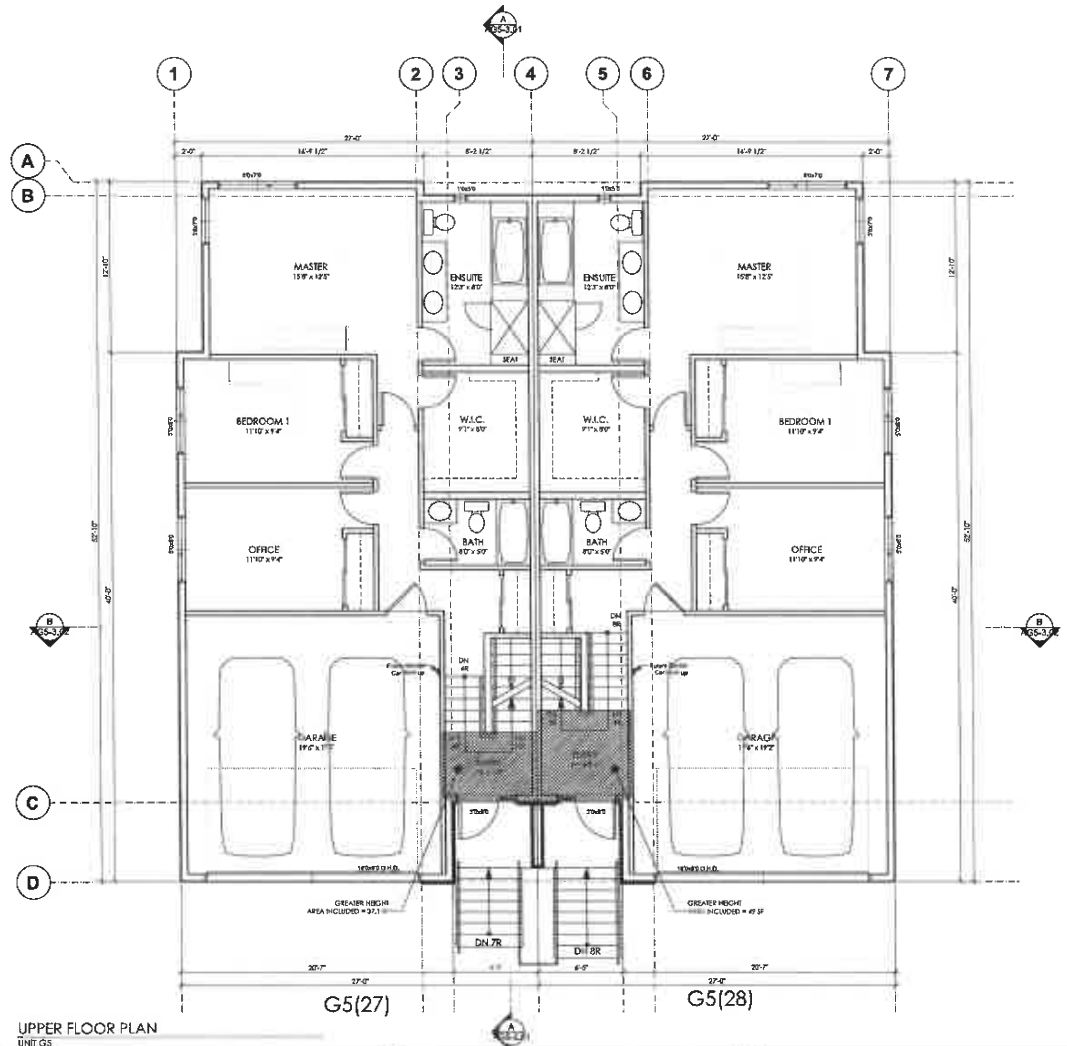
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
MAIN FLOOR PLAN

PROJECT: MTO
 SCALE: 1/4" = 1'-0"
 DATE: MAY 12, 2022
 SHEET: **AG5-2.02**

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based For DFR Reviewing Aug 31, 2021
 DSGZ Public Comment Reviews MAY 12, 2023
 01, 02, 03 Reviews JAN 21, 2023



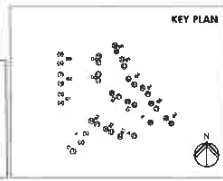
UPPER FLOOR PLAN
 UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL	LEVEL			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	1142.0 SF	1354.1 SF	1354.1 SF	3850.3 SF
CHIMNEY EXCLUSIONS	0.0 SF	0.0 SF	406.5 SF	406.5 SF
BASINMENT EXCLUSIONS 41%	476.5 SF	0.0 SF	0.0 SF	476.5 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	78.4 SF	0.0 SF	78.4 SF
NET	446.1 SF	1255.7 SF	784.4 SF	2486.3 SF

UNIT 27 FLOOR AREAS METRIC	LEVEL			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	106.4 SQ M	125.2 SQ M	125.8 SQ M	357.4 SQ M
CHIMNEY EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.5 SQ M	37.5 SQ M
BASINMENT EXCLUSIONS 41%	44.9 SQ M	0.0 SQ M	0.0 SQ M	44.9 SQ M
OVERAGE HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	3.4 SQ M	3.4 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	41.5 SQ M	116.7 SQ M	91.4 SQ M	209.5 SQ M

UNIT 28 FLOOR AREAS IMPERIAL	LEVEL			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	1142.0 SF	1354.1 SF	1354.1 SF	3850.3 SF
CHIMNEY EXCLUSIONS	0.0 SF	0.0 SF	406.5 SF	406.5 SF
BASINMENT EXCLUSIONS 100%	1146.0 SF	0.0 SF	0.0 SF	1146.0 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	80.4 SF	0.0 SF	80.4 SF
NET	125.5 SF	994.3 SF	332.9 SF	1552.7 SF

UNIT 28 FLOOR AREAS METRIC	LEVEL			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	106.4 SQ M	125.2 SQ M	125.8 SQ M	357.4 SQ M
CHIMNEY EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.5 SQ M	37.5 SQ M
BASINMENT EXCLUSIONS 100%	108.4 SQ M	0.0 SQ M	0.0 SQ M	108.4 SQ M
OVERAGE HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	0.0 SQ M	116.7 SQ M	92.4 SQ M	209.3 SQ M



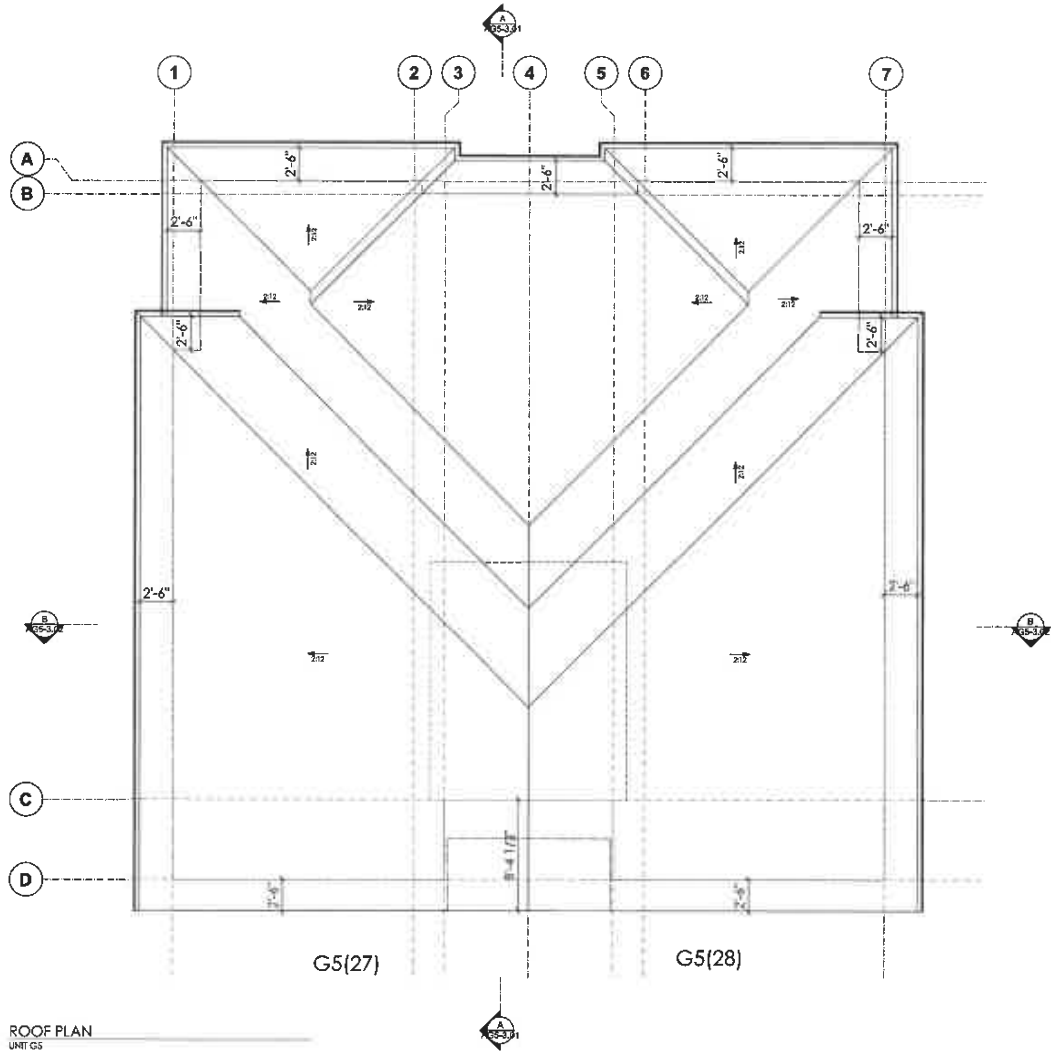
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 UPPER FLOOR PLAN

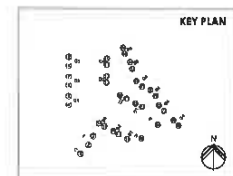
PROJECT# 8000
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2023
AG5-2.03

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued For CP/Reworking Aug 31, 2021
 DREG Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2022



ROOF PLAN
 UNIT G5



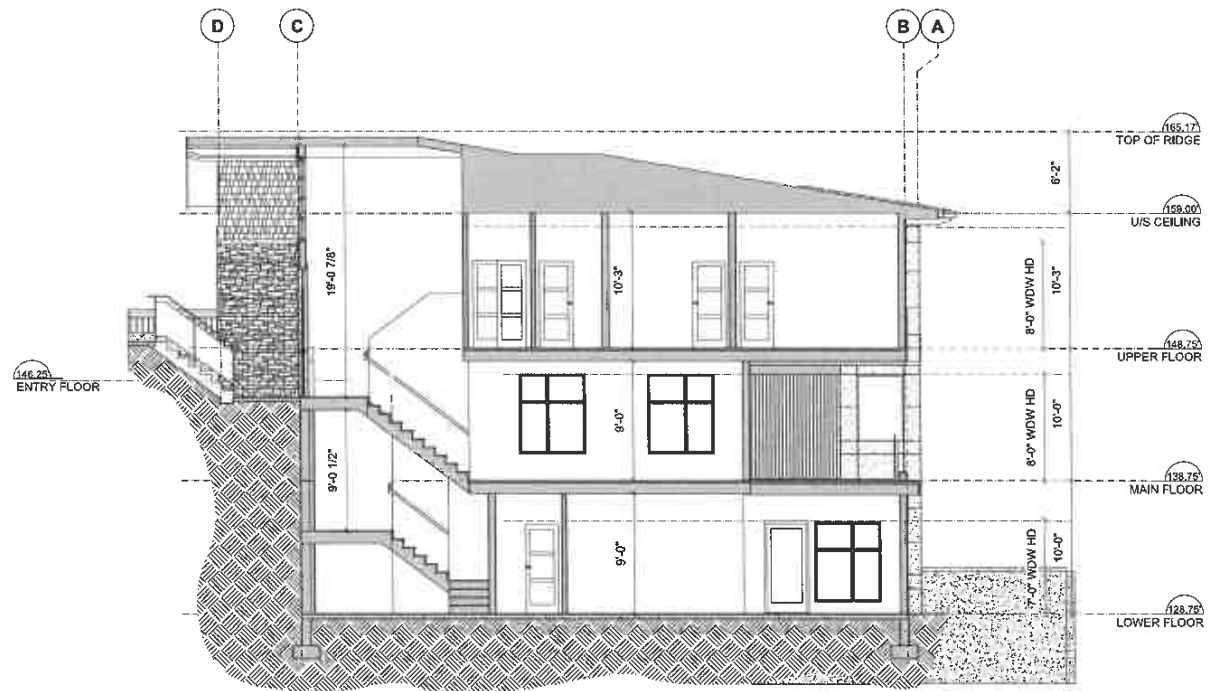
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 ROOF PLAN

PROJECT#	BHEET
800	AG5-
SCALE	2.04
DATE	MAY 12, 2022

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for OP Reviewing Aug 31, 2021
 OPD Public Comment Revisions MAY 13, 2022
 G1, G2, G3 Revisions MAY 31, 2023



A SECTION A-A
 Scale: 1/4" = 1'-0"



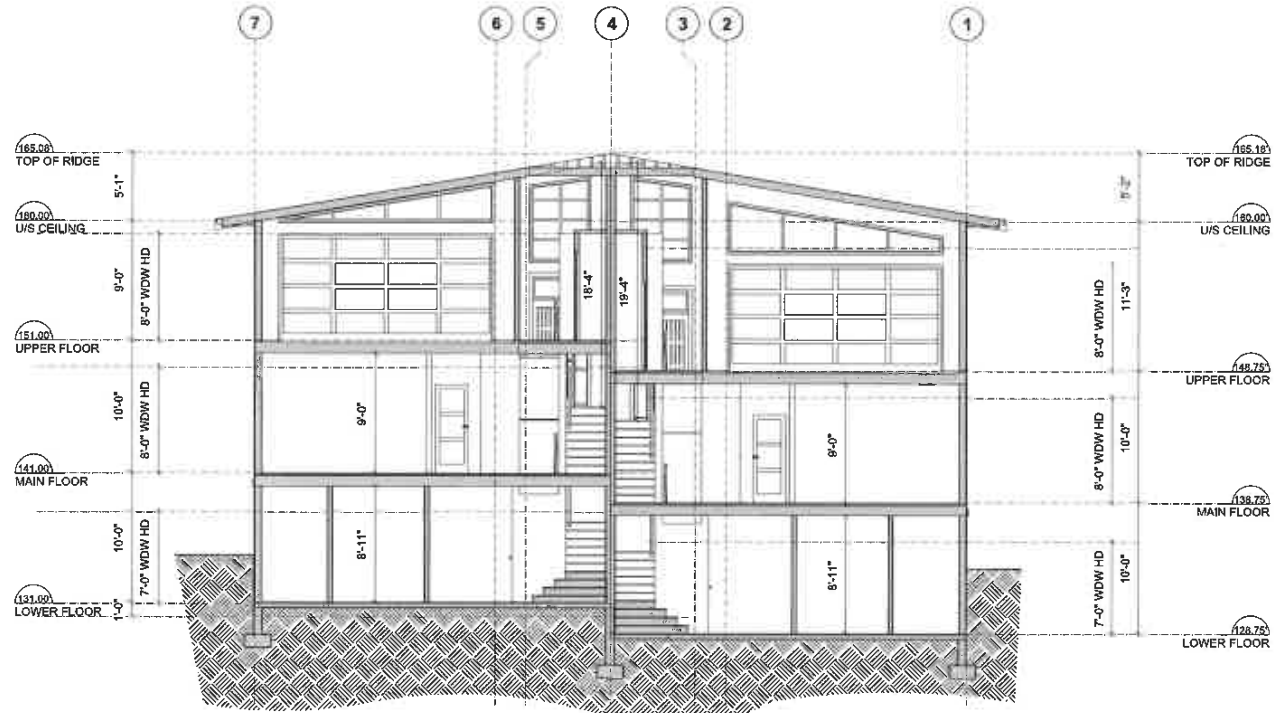
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 SECTION A-A

PROJECT	SHEET
SCALE: 1/4" = 1'-0"	AG5-
DATE: MAY 13, 2023	3.01

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REVISIONS
 Issued for DP/Permitting Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions MAY 31, 2022



B SECTION B-B
 Scale: 1/4" = 1'-0"



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 SECTION B-B

PROJECT	SHEET
800	AG5-
SCALE 1/4" = 1'-0"	3.02
DATE MAY 12, 2022	

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REVISIONS
 Issued for DR/Resolving Aug 31, 2021
 DR/DR Public Comment Resolutions MAY 12, 2022
 G5, G8 Resolving JULY 21, 2022



FRONT / ENTRY ELEVATION
 UNIT G5



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (137.10' - 131.00' / 141.00' - 131.00') x 100 = 61%
 1,145 (gross area) x 61% = 698.45 SF (exemption)

BACK ELEVATION
 UNIT G5
 SPARIAL SEPARATION CALCULATION
 EXPOSED BUILDING FACE: 1579.05 SF (146.70 SM)
 LAMBING DISTANCE: 12.86' (3.92 M)
 UNPROTECTED OPENINGS: 384.00 SF (35.67 SM)
 PROPOSED OPENINGS: 24.03%
 PERMITTED OPENINGS: 29.74%

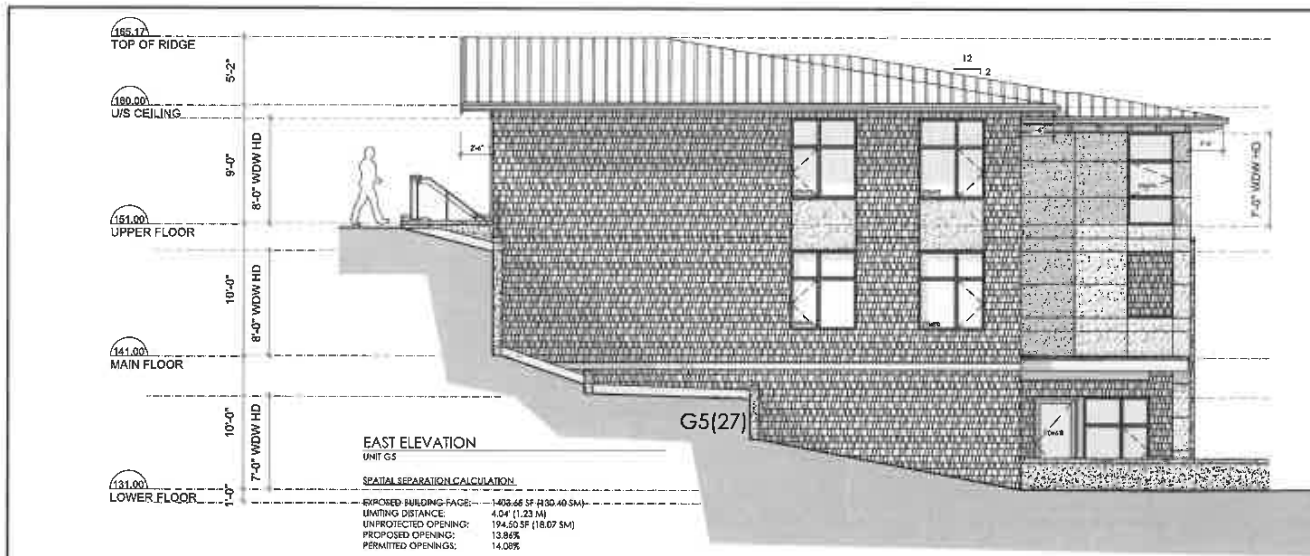
LOWER FLOOR / BASEMENT EXEMPTIONS: 100%



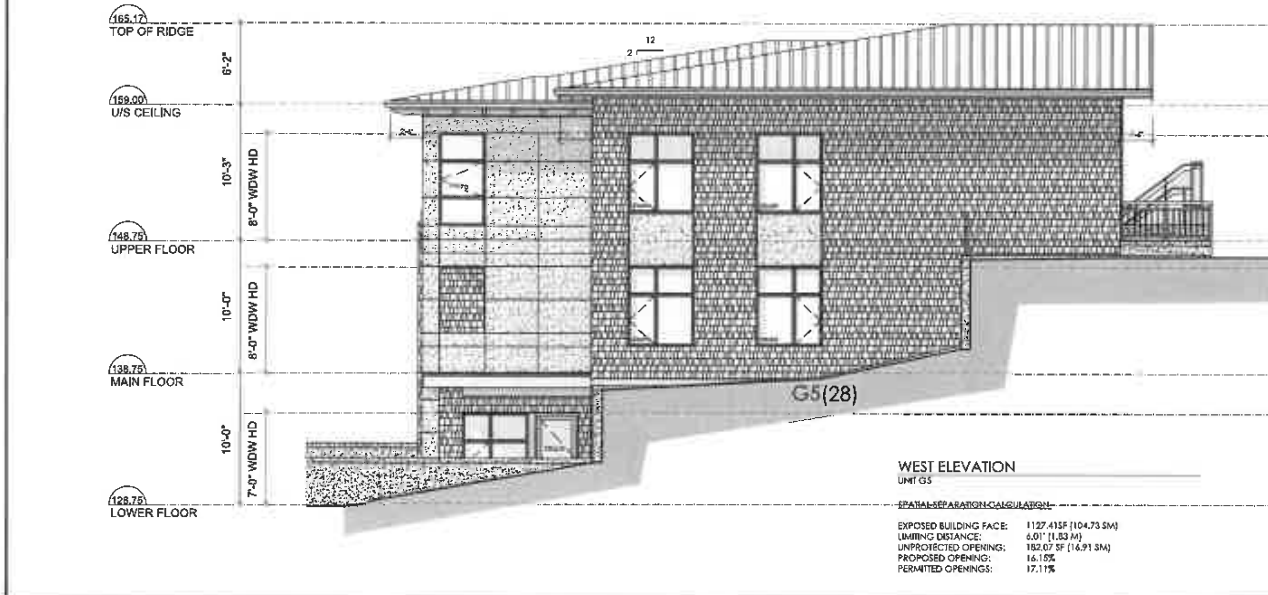
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
**FRONT & BACK
 ELEVATIONS B/W**

PROJECT NO. 800
 SHEET
**AG5-
 4.01**
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2022



PLEASE REVISE



These plans remain the ownership of Sterling Pacific

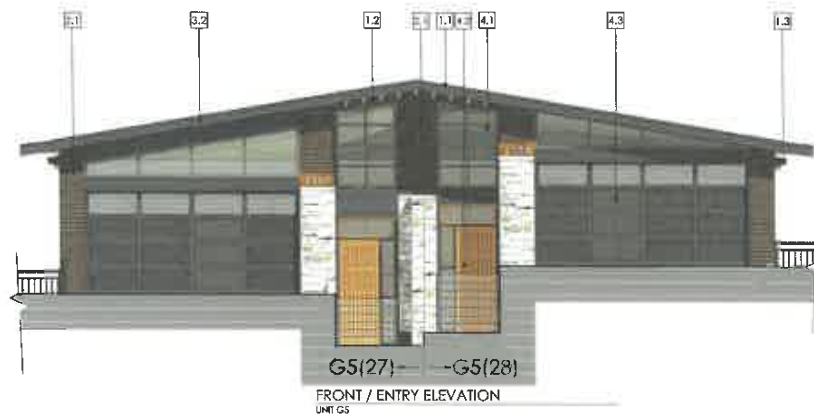
REVISIONS
 Issued for DR/Resolving Aug 31, 2021
 DR/DR Public Comment Revisions MAY 12, 2022
 G1, G2, G5 Revisions JULY 31, 2022



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT#	SHEET
8020	AG5-
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2022
	4.02



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	1/2" x 4" Metal Roof	Charcoal Gray
1.2	fibre cement soffit	Rockford 1 Grey BM HC-105
1.3	Gutter	Charcoal Gray
2.1	fibre cement shingles	Woodtone Rustic Series Carbon Trails
2.2	not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	None	Random Granite
3.1	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
3.2	Wrought Iron BM - 2124 - 10	Wrought Iron BM - 2124 - 10
4.1	Charcoal Gray	Charcoal Gray
4.2	Stilewood - Old Master Gel Stain c/w Clear Top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w Clear Top coat - Special Walnut
4.3	Charcoal Gray	Charcoal Gray
4.4	Charcoal Gray	Charcoal Gray
5.1	Stilewood - Old Master Gel Stain c/w Clear Top coat - Special Walnut	Stilewood - Old Master Gel Stain c/w Clear Top coat - Special Walnut
5.2	Charcoal Gray	Charcoal Gray
5.3	Charcoal Gray	Charcoal Gray

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REVISIONS		
Revised for DPA Review	Aug 31, 2021	
DWG/Plan/Comment Revisions	MAY 12, 2023	
01, 02, 03 Revisions	JULY 01, 2023	



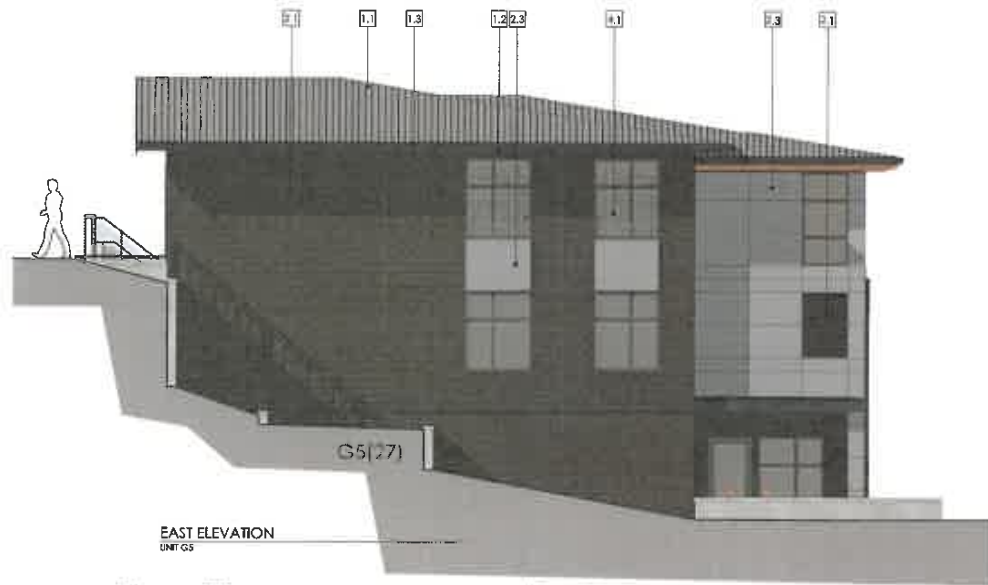
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
FRONT & BACK ELEVATIONS

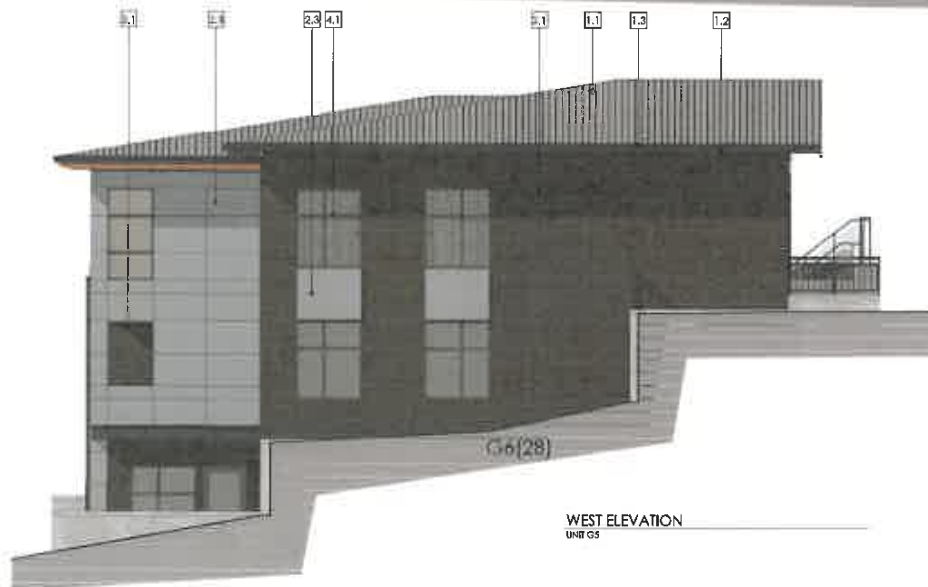
PROJECT# 800
 SHEET
AG5-4.03
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 Based for DP Reviewing Aug 31, 2021
 DRG Public Comment Response MAY 12, 2020
 G1, G2, G3 Revisions JULY 31, 2020



EAST ELEVATION
 UNIT G5



WEST ELEVATION
 UNIT G5

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Asph/Flt Roof	Charcoal Grey
1.2	Cement Soffit	Reddish Grey BM-HC-105
1.3	Steel	Charcoal Grey
1.4	Cement Strangles	Woodstone Ruffic Zeiss Carbon Inks
1.5	Trusses	
1.6	Hardy Panel	Light mist
1.7	Roof Deck	
1.8	Roof Insulation	Random Granite
1.9	Roof Membrane	
1.10	Roof Flashing	
1.11	Roof Edge Trim	Wrought Iron BM - 2124 - 10
1.12	Roof Edge Trim	Wrought Iron BM - 2124 - 10
1.13	Roof Edge Trim	
1.14	Roof Edge Trim	
1.15	Roof Edge Trim	
1.16	Roof Edge Trim	
1.17	Roof Edge Trim	
1.18	Roof Edge Trim	
1.19	Roof Edge Trim	
1.20	Roof Edge Trim	
1.21	Roof Edge Trim	
1.22	Roof Edge Trim	
1.23	Roof Edge Trim	
1.24	Roof Edge Trim	
1.25	Roof Edge Trim	
1.26	Roof Edge Trim	
1.27	Roof Edge Trim	
1.28	Roof Edge Trim	
1.29	Roof Edge Trim	
1.30	Roof Edge Trim	
1.31	Roof Edge Trim	
1.32	Roof Edge Trim	
1.33	Roof Edge Trim	
1.34	Roof Edge Trim	
1.35	Roof Edge Trim	
1.36	Roof Edge Trim	
1.37	Roof Edge Trim	
1.38	Roof Edge Trim	
1.39	Roof Edge Trim	
1.40	Roof Edge Trim	
1.41	Roof Edge Trim	
1.42	Roof Edge Trim	
1.43	Roof Edge Trim	
1.44	Roof Edge Trim	
1.45	Roof Edge Trim	
1.46	Roof Edge Trim	
1.47	Roof Edge Trim	
1.48	Roof Edge Trim	
1.49	Roof Edge Trim	
1.50	Roof Edge Trim	
1.51	Roof Edge Trim	
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1.75	Roof Edge Trim	
1.76	Roof Edge Trim	
1.77	Roof Edge Trim	
1.78	Roof Edge Trim	
1.79	Roof Edge Trim	
1.80	Roof Edge Trim	
1.81	Roof Edge Trim	
1.82	Roof Edge Trim	
1.83	Roof Edge Trim	
1.84	Roof Edge Trim	
1.85	Roof Edge Trim	
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1.87	Roof Edge Trim	
1.88	Roof Edge Trim	
1.89	Roof Edge Trim	
1.90	Roof Edge Trim	
1.91	Roof Edge Trim	
1.92	Roof Edge Trim	
1.93	Roof Edge Trim	
1.94	Roof Edge Trim	
1.95	Roof Edge Trim	
1.96	Roof Edge Trim	
1.97	Roof Edge Trim	
1.98	Roof Edge Trim	
1.99	Roof Edge Trim	
1.100	Roof Edge Trim	

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G5

DRAWING
 EAST & WEST
 ELEVATIONS

PROJECT NO. 8030
 SCALE 1/4" = 1'-0"
 DATE MAY 12, 2020
AG5-4.04

These plans remain the ownership of Sterling Pacific

REVISIONS
Issued for DR/Reforming
DR/2 Public Comment Revisions
L1, G2, G3 Revisions

Aug. 31, 2021
MAY 12, 2022
JULY 31, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G5



BACK ELEVATION - CAMERA VIEW
UNIT G5



BACK ELEVATION - CAMERA VIEW
UNIT G5



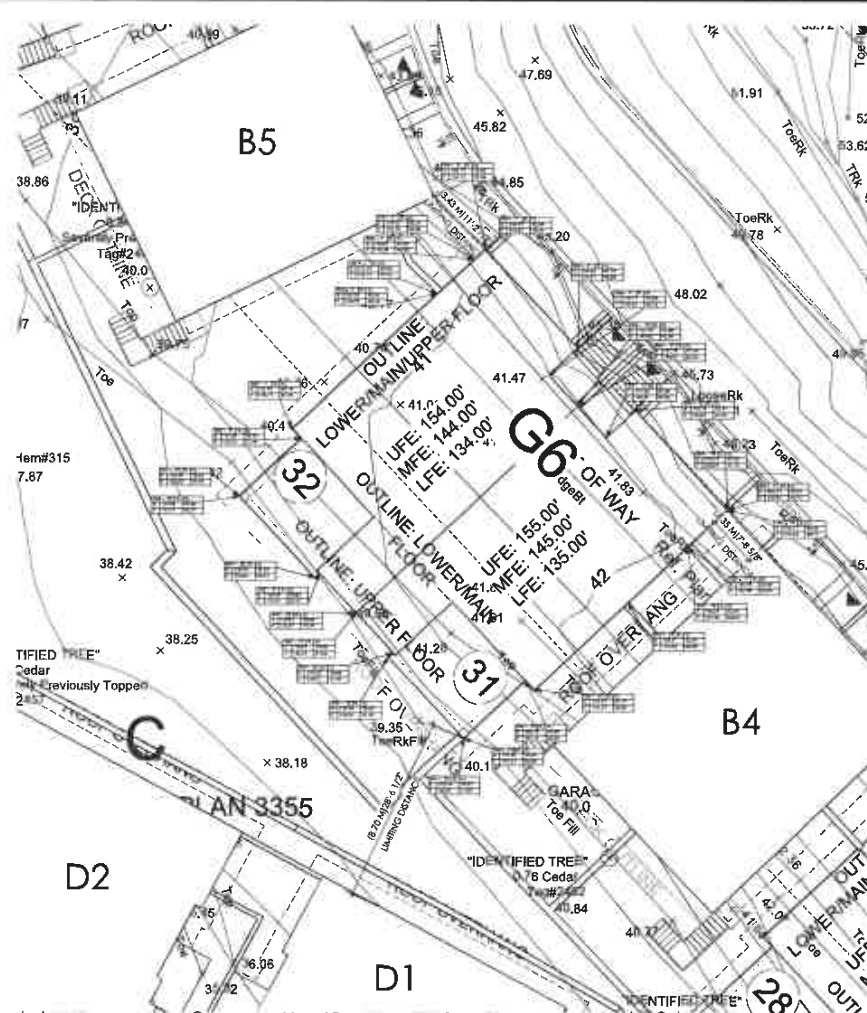
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
FRONT & BACK
ELEVATION
-CAMERA VIEW

PROJECT	NO.	SHEET
SCALE	NIS.	AG5-
DATE	JULY 12, 2023	4.05

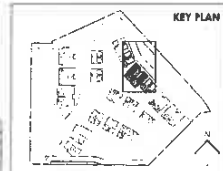
AVERAGE FINISHED GRADE CALCULATION					
Stn #	Elevation	Stn #	Elevation	Distance	
1	154.70	2	158.11	30.92	4099.34
2	158.19	3	142.12	140.91	5.00
3	143.12	4	143.36	245.91	7.74
4	144.26	5	152.16	100.91	0.00
5	152.16	6	152.16	152.11	2.24
6	152.16	7	152.16	152.11	2.00
7	151.8	8	149.92	151.11	20.38
8	149.92	9	149.92	149.91	8.00
9	149.92	10	149.92	149.92	8.42
10	149.92	11	158.1	158.1	0.00
11	149.92	12	149.92	149.92	8.42
12	149.92	13	154.9	154.91	8.00
13	154.92	14	154.92	154.92	20.66
14	154.92	15	152.92	152.91	0.00
15	152.92	16	144.92	144.91	0.00
16	144.92	17	144.92	144.44	8.20
17	142.92	18	137.92	140.91	11.11
18	137.92	19	137.92	140.91	8.00
19	137.92	20	137.92	137.92	13.32
20	137.92	21	134.3	134.3	19.37
21	134.32	22	134.32	134.32	17.23
22	134.32	23	134.32	134.32	0.00
23	134.32	24	134.32	134.32	1.00
24	134.32	25	134.32	134.32	1.00
25	134.32	26	132.32	132.32	0.00
26	132.32	27	132.32	132.32	4.21
27	132.32	28	132.32	132.32	1.00
28	132.32	29	132.32	132.32	18.76
29	132.32	30	132.32	132.32	17.18
30	132.32	31	134.32	134.32	0.00
31	134.32	32	134.32	134.32	2.00
Total				227.67	30078.8
Avg. Finish Grade					140.50
Max. Elevation				28.00	170.50

AVERAGE EXISTING GRADE CALCULATION					
Stn #	Elevation	Stn #	Elevation	Distance	
1	139.1	2	131.1	30.92	0.00
2	134.2	3	134.2	134.2	0.00
3	134.2	4	138.52	138.52	7.74
4	138.52	5	138.52	138.52	8.00
5	138.52	6	140.7	140.7	3.13
6	140.7	7	140.7	140.7	0.00
7	140.7	8	145.9	145.9	20.56
8	145.92	9	137.92	141.92	8.00
9	137.92	10	137.92	137.92	8.42
10	137.92	11	137.92	137.92	0.00
11	137.92	12	137.92	137.92	8.42
12	137.92	13	143.17	143.17	20.56
13	143.17	14	143.17	143.17	8.00
14	143.17	15	143.17	143.17	0.00
15	143.17	16	143.17	143.17	0.00
16	143.17	17	143.17	143.17	11.87
17	143.17	18	140.9	140.9	17.23
18	140.92	19	134.32	134.32	20.64
19	134.32	20	134.32	134.32	0.00
20	134.32	21	134.32	134.32	21.03
21	134.32	22	130.64	130.64	0.00
22	130.64	23	130.64	130.64	0.00
23	130.64	24	130.64	130.64	1.00
24	130.64	25	130.64	130.64	1.00
25	130.64	26	130.64	130.64	0.00
26	130.64	27	130.64	130.64	4.21
27	130.64	28	130.64	130.64	1.00
28	130.64	29	130.64	130.64	18.76
29	130.64	30	130.64	130.64	17.18
30	130.64	31	134.32	134.32	0.00
31	134.32	32	134.32	134.32	2.00
Total				227.67	31034.24
Avg. Existing Grade					135.25
Max. Elevation				28.00	163.25



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G6 (1)			TOP OF FINISH FLOOR - B6 (3)		
Lower	Main	Upper	Lower	Main	Upper
41.18 m	44.20 m	47.24 m	40.84 m	43.85 m	46.94 m
135.07'	145.00'	155.00'	134.00'	144.00'	154.00'



These plans remain the ownership of Sterling Pacific

REVISIONS
Based on DP/Reznick
DRG Public Comment Revisions
G1, G2, G3 Revisions

Aug 31, 2021
MAY 12, 2023
JUL 14, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

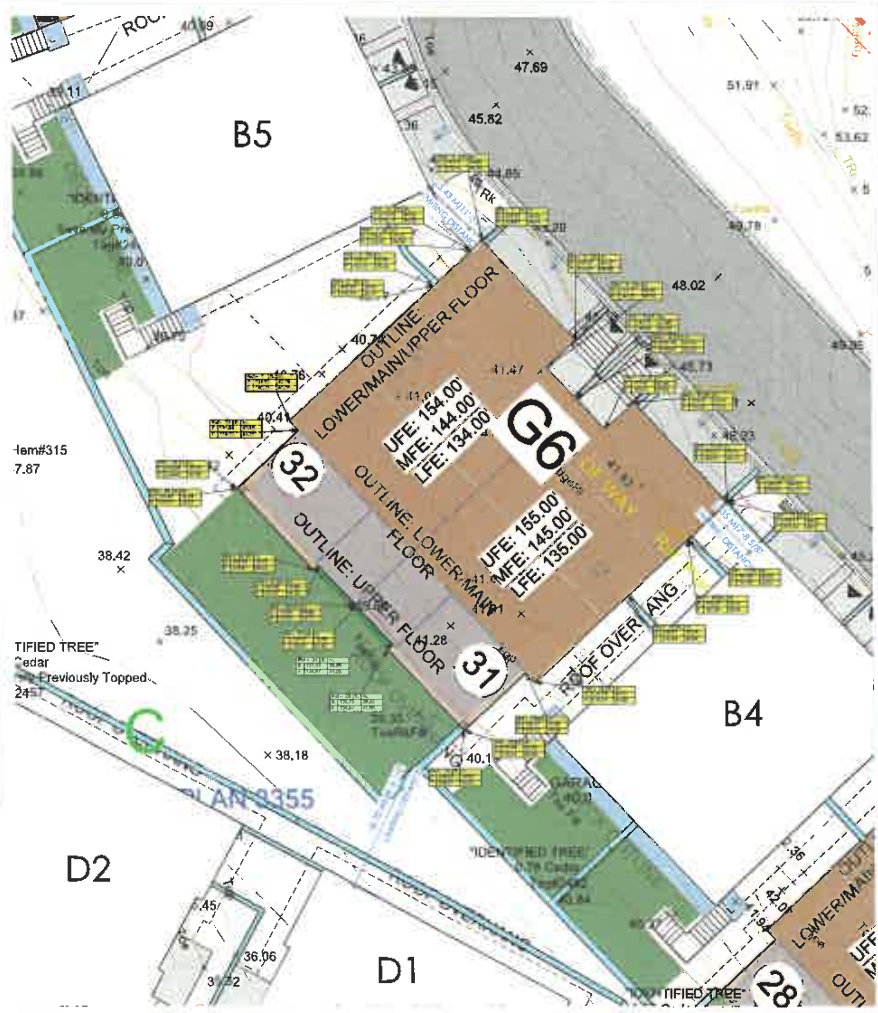
DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8"=1'-0"
DATE MAY 12, 2023

SHEET
AG6-1.01

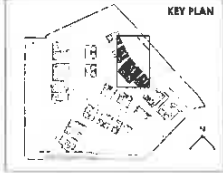
Sta #	Station	#	Elevation	Distance	Distance
1	134.79	1	134.1	134	20.00
2	138.19	1	142.1	140.1	0.00
3	142.12	4	144	143.54	7.74
4	144.36	0	152.1	143	0.00
5	150.16	0	151.1	149.1	2.00
6	151.16	0	151.67	152.69	0.00
7	153.1	0	149.62	151	20.58
8	149.1	0	149.52	149	0.00
9	149.62	10	149.82	149.92	6.4
10	149.82	15	149.8	149.82	0.00
11	149.87	10	149.87	149.87	6.42
12	149.87	11	154	155.1	8.7
13	154.87	14	154	154.5	20.58
14	154.87	1	153.82	153.82	0.00
15	152.82	16	148.54	149.48	0.00
16	148.04	1	152	144.04	13.96
17	142.48	1	137	145	0.00
18	137.48	10	137	137.8	12.50
19	137	20	134.3	134.3	18.37
20	134.3	21	134.3	134.3	0.00
21	134.3	21	134.3	134.3	18.37
21a	134.3	21	134.3	134.3	12.83
21b	134.3	22	134.07	134	0.00
21c	134.07	23	134.07	134.1	20.11
22	134.07	24	134.0	134.07	1.00
23	134.0	25	134.2	134.0	6.21
24	134.2	26	133.87	134.37	0.00
25	133.87	27	133.87	133.87	6.21
26	133.87	28	133.8	133.8	10.07
27	133.8	29	133.8	133.8	10.07
28	133.8	30	133.8	133.8	10.07
29	133.8	31	134	134	0.00
30	134	32	134	134	0.00
31	134.79	1	134	134	20.58
total				227.67	32078.1
AVG Finish Grade				142	170
AVG Existing Grade				20.65	

Sta #	Station	#	Elevation	Distance	Distance
1	134.79	1	134	134	20.00
2	138.19	1	138	138	0.00
3	142.12	4	138	138.84	7.7
4	144.36	0	136.52	136.52	0.00
5	150.16	0	140.7	140.7	2.24
6	151.16	0	140.7	140.7	0.00
7	153.1	0	140	140	20.58
8	149.1	0	137	141	0.00
9	149.62	10	137	137	6.42
10	149.82	15	137	137	0.00
11	149.87	10	137.82	137.82	6.42
12	149.87	11	141.1	140.85	8.00
13	141.12	14	140.5	144.34	20.58
14	140.5	1	140.5	140.5	0.00
15	140.5	16	140.5	140.5	0.00
16	140.5	17	140	140	8.30
17	140.5	18	140	140	0.00
18	140.5	19	138.11	138	12.32
19	138.11	20	138.11	138.11	10.37
20	138.11	21	138.11	138.11	0.00
21	138.11	21	138.11	138.11	2.24
21a	138.11	22	138	138	0.00
22	138	23	136.76	136.76	16.79
23	136.76	24	136.76	136.76	0.00
24	136.76	25	136.8	136.8	6.21
25	136.8	26	136.8	136.8	6.21
26	136.8	27	136.8	136.8	6.21
27	136.8	28	136.8	136.8	6.21
28	136.8	29	136.8	136.8	18.78
29	136.8	30	136.8	136.8	18.78
30	136.8	31	136.8	136.8	18.78
31	136.8	32	136.8	136.8	0.00
total				227.67	31534.1
AVG Existing Grade				138	136.1



SITE PLAN
SCALE: 1/8"=10'

TOP OF FINISH FLOOR - 04 (31)				TOP OF FINISH FLOOR - 04 (32)			
Station	Grade	Height	Distance	Station	Grade	Height	Distance
134.79	134.00	0.79	20.00	134.00	134.00	0.00	0.00
138.19	138.00	0.19	0.00	138.00	138.00	0.00	0.00
142.12	140.00	2.12	7.74	140.00	140.00	0.00	0.00
144.36	136.52	7.84	0.00	136.52	136.52	0.00	0.00
150.16	140.70	9.46	2.24	140.70	140.70	0.00	0.00
151.16	140.70	10.46	0.00	140.70	140.70	0.00	0.00
153.10	140.00	13.10	20.58	140.00	140.00	0.00	0.00
149.10	137.00	12.10	0.00	137.00	137.00	0.00	0.00
149.62	137.00	12.62	6.42	137.00	137.00	0.00	0.00
149.82	137.00	12.82	0.00	137.00	137.00	0.00	0.00
149.87	137.82	12.05	6.42	137.82	137.82	0.00	0.00
149.87	141.10	8.77	8.00	141.10	141.10	0.00	0.00
141.12	140.50	0.62	20.58	140.50	140.50	0.00	0.00
140.50	140.50	0.00	0.00	140.50	140.50	0.00	0.00
140.50	140.00	0.50	0.00	140.00	140.00	0.00	0.00
140.50	138.11	2.39	12.32	138.11	138.11	0.00	0.00
138.11	138.11	0.00	10.37	138.11	138.11	0.00	0.00
138.11	138.11	0.00	0.00	138.11	138.11	0.00	0.00
138.11	138.00	0.11	2.24	138.00	138.00	0.00	0.00
138.00	136.76	1.24	16.79	136.76	136.76	0.00	0.00
136.76	136.76	0.00	0.00	136.76	136.76	0.00	0.00
136.76	136.80	0.04	6.21	136.80	136.80	0.00	0.00
136.80	136.80	0.00	6.21	136.80	136.80	0.00	0.00
136.80	136.80	0.00	6.21	136.80	136.80	0.00	0.00
136.80	136.80	0.00	18.78	136.80	136.80	0.00	0.00
136.80	136.80	0.00	18.78	136.80	136.80	0.00	0.00
136.80	136.80	0.00	18.78	136.80	136.80	0.00	0.00
136.80	136.80	0.00	0.00	136.80	136.80	0.00	0.00



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REVISIONS
 Issued for DR Resolving Aug 31, 2021
 DR Public Comment Revisions MAY 12, 2023
 02_03 Revisions MAY 31, 2023



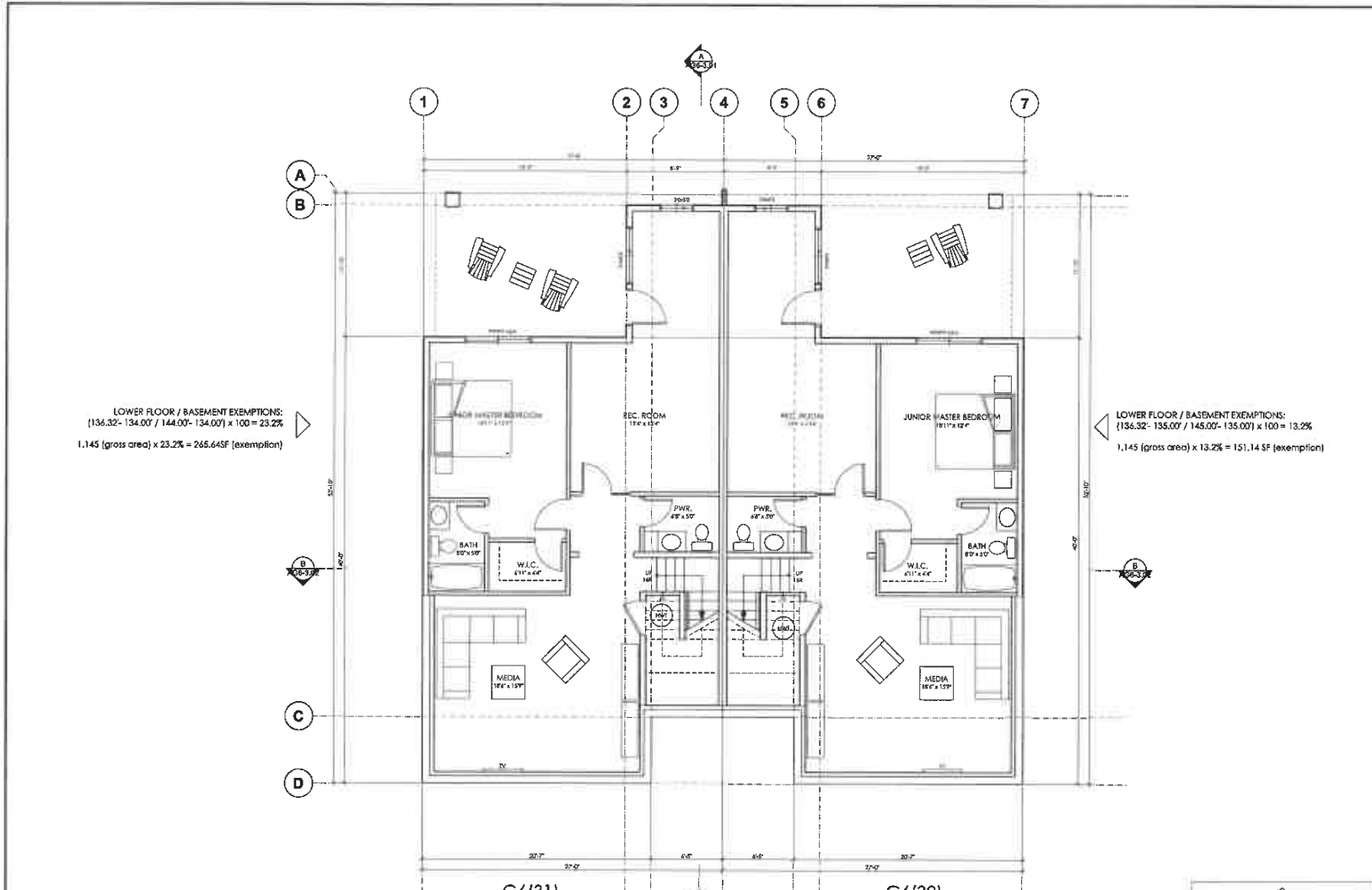
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G6

DRAWING
SITE PLAN

PROJECT # 800 SHEET
 SCALE 1/8"=10' **AG6-1.01**
 DATE MAY 12, 2023

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRGP Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JULY 31, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32- 134.00' / 144.00- 134.00') x 100 = 23.2%
 1,145 (gross area) x 23.2% = 265.645F (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32- 135.00' / 145.00- 135.00') x 100 = 13.2%
 1,145 (gross area) x 13.2% = 151.14 SF (exemption)

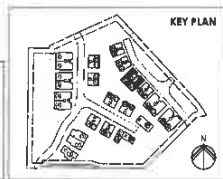
LOWER FLOOR PLAN
 UNIT G6

	UNIT 31 FLOOR AREAS (IMPERIAL)			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
CLIMATE ENCLOSURE	0.0 SF	0.0 SF	406.9 SF	406.9 SF
BASEMENT EXCLUSIONS 23.2%	246.6 SF	0.0 SF	0.0 SF	246.6 SF
OVERLAP HEIGHT ENCLOSURE	0.0 SF	0.0 SF	49.9 SF	49.9 SF
COVERED BALCONY ENCLOSURE	0.0 SF	78.4 SF	0.0 SF	78.4 SF
NET	898.4 SF	1254.1 SF	904.1 SF	3114.6 SF

	UNIT 31 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M	358.0 SQ M
CLIMATE ENCLOSURE	0.0 SQ M	0.0 SQ M	37.6 SQ M	37.6 SQ M
BASEMENT EXCLUSIONS 23.2%	24.7 SQ M	0.0 SQ M	0.0 SQ M	24.7 SQ M
OVERLAP HEIGHT ENCLOSURE	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY ENCLOSURE	0.0 SQ M	9.1 SQ M	0.0 SQ M	9.1 SQ M
NET	81.7 SQ M	116.7 SQ M	92.4 SQ M	290.8 SQ M

	UNIT 32 FLOOR AREAS (IMPERIAL)			TOTAL
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
CLIMATE ENCLOSURE	0.0 SF	0.0 SF	406.9 SF	406.9 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
OVERLAP HEIGHT ENCLOSURE	0.0 SF	0.0 SF	37.4 SF	37.4 SF
COVERED BALCONY ENCLOSURE	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	993.9 SF	1253.7 SF	1064.3 SF	3312.0 SF

	UNIT 32 FLOOR AREAS METRIC			TOTAL
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M	358.0 SQ M
CLIMATE ENCLOSURE	0.0 SQ M	0.0 SQ M	37.6 SQ M	37.6 SQ M
BASEMENT EXCLUSIONS 13.2%	14.1 SQ M	0.0 SQ M	0.0 SQ M	14.1 SQ M
OVERLAP HEIGHT ENCLOSURE	0.0 SQ M	0.0 SQ M	3.4 SQ M	3.4 SQ M
COVERED BALCONY ENCLOSURE	0.0 SQ M	7.8 SQ M	0.0 SQ M	7.8 SQ M
NET	90.3 SQ M	116.7 SQ M	97.4 SQ M	304.4 SQ M



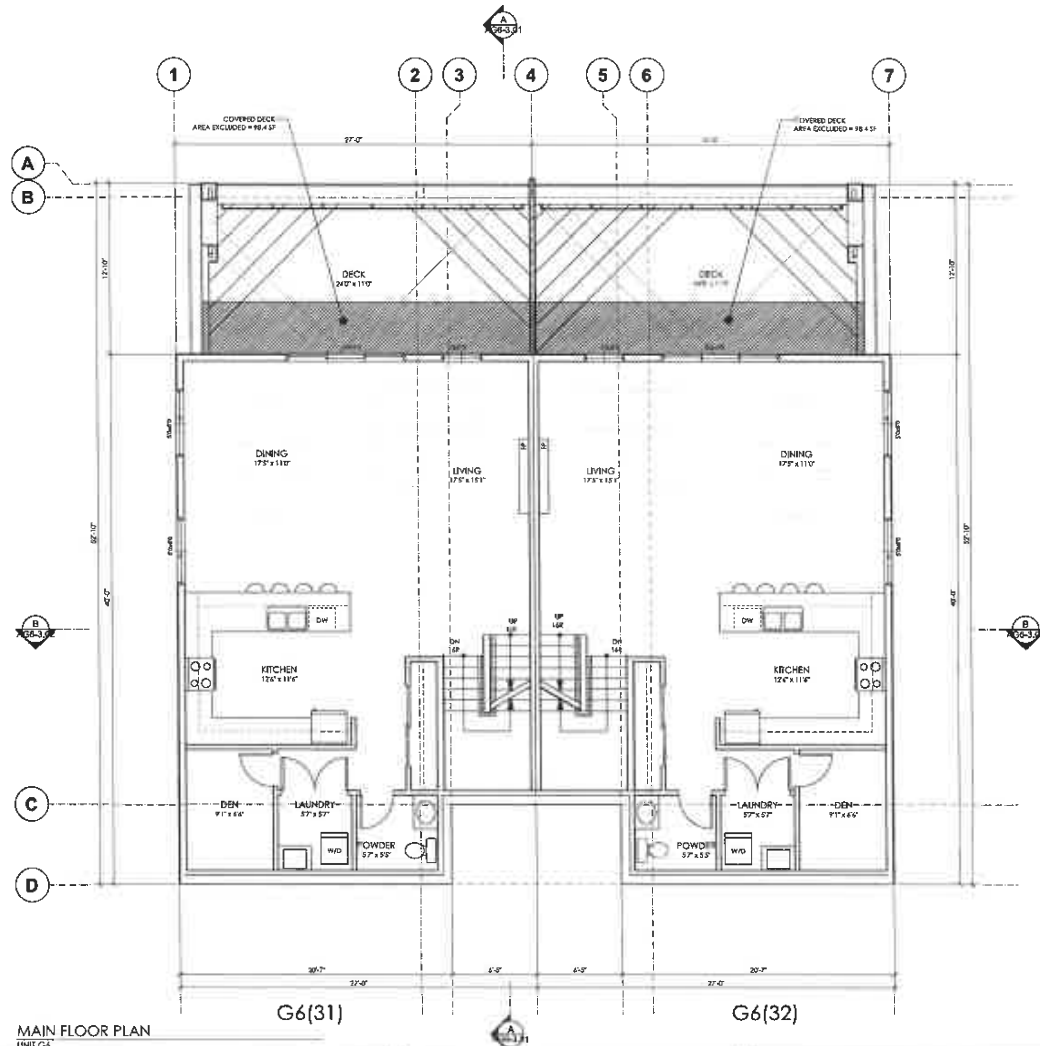
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
 LOWER FLOOR PLAN

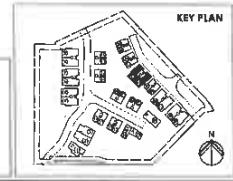
PROJECT	8030	SHEET	AG6-2.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		

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REVISIONS
 Issued for CP/PA/SPW/ING Aug. 31, 2021
 D/RS Public Comment Revisions MAY 12, 2022
 G1, G2, G3 Revisions JUL 31, 2023



MAIN FLOOR PLAN
UNIT G6



UNIT 31 FLOOR AREAS IMPERIAL

	LEVEL 1 150 FT	LEVEL 2 150 FT	LEVEL 3 150 FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
CAR/POR EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 23.25'	285.5 SF	0.0 SF	0.0 SF	285.5 SF
COVERABLE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.8 SF	49.8 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	859.5 SF	1257.7 SF	996.3 SF	3113.5 SF

UNIT 31 FLOOR AREAS METRIC

	LEVEL 1 150 M	LEVEL 2 150 M	LEVEL 3 150 M	TOTAL
GROSS	106.43M	125.83M	125.83M	358.09M
CAR/POR EXCLUSIONS	0.00M	0.00M	37.82M	37.82M
BASEMENT EXCLUSIONS 23.25'	26.75M	0.00M	0.00M	26.75M
COVERABLE HEIGHT INCLUSION	0.00M	0.00M	4.64M	4.64M
COVERED BALCONY EXCLUSIONS	0.00M	9.13M	0.00M	9.13M
NET	81.75M	1147.5M	92.63M	290.91M

UNIT 32 FLOOR AREAS IMPERIAL

	LEVEL 1 150 FT	LEVEL 2 150 FT	LEVEL 3 150 FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
CAR/POR EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 13.25'	151.1 SF	0.0 SF	0.0 SF	151.1 SF
COVERABLE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	993.9 SF	1255.7 SF	957.3 SF	3206.9 SF

UNIT 32 FLOOR AREAS METRIC

	LEVEL 1 150 M	LEVEL 2 150 M	LEVEL 3 150 M	TOTAL
GROSS	106.43M	125.83M	125.83M	358.09M
CAR/POR EXCLUSIONS	0.00M	0.00M	37.82M	37.82M
BASEMENT EXCLUSIONS 13.25'	140.9M	0.00M	0.00M	140.9M
COVERABLE HEIGHT INCLUSION	0.00M	0.00M	3.45M	3.45M
COVERED BALCONY EXCLUSIONS	0.00M	9.13M	0.00M	9.13M
NET	92.30M	116.75M	91.43M	290.48M

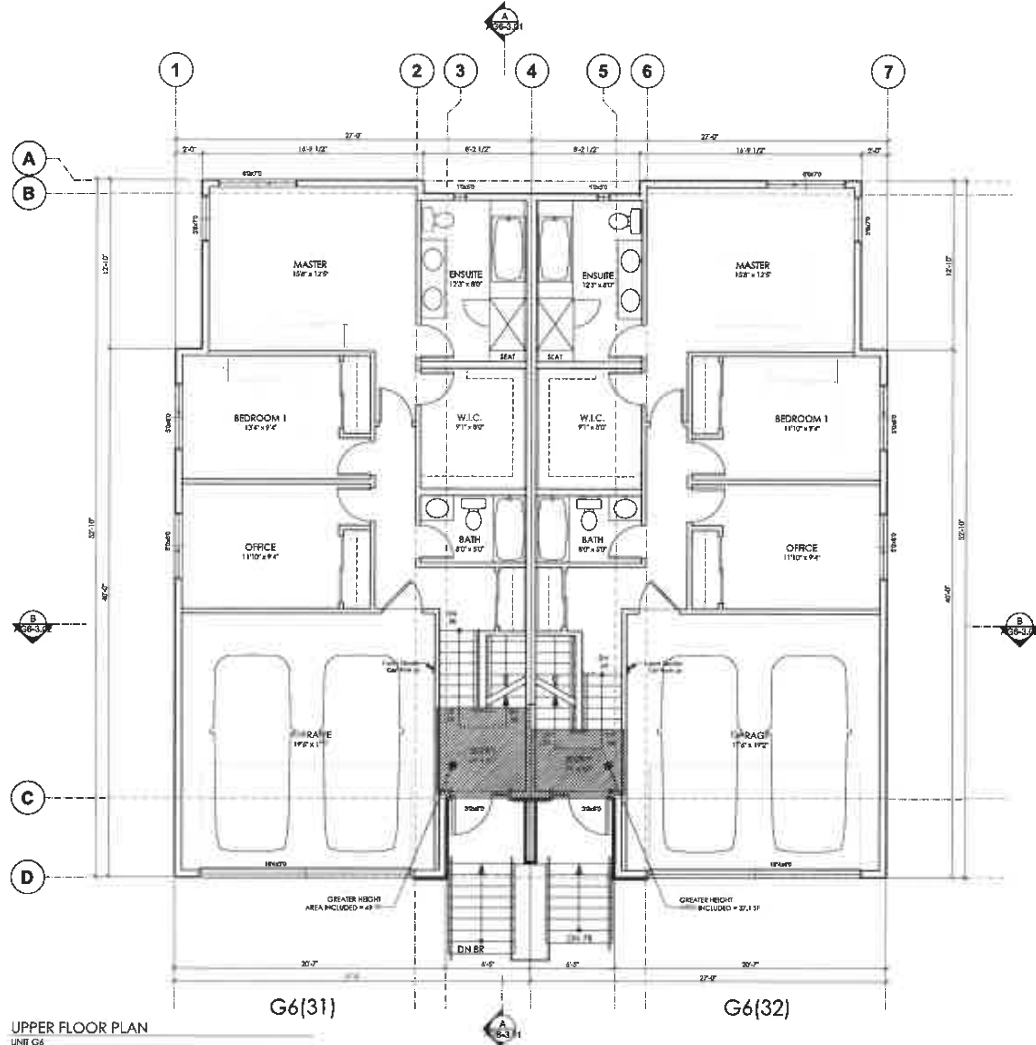
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

RAWING
MAIN FLOOR PLAN

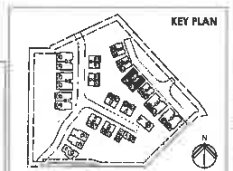
PROJECT # 8039
 SHEET **AG6-2.02**
 SCALE 1/4"=1'-0"
 DATE MAY 12, 2023

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REVISIONS
 Issued for DP Reviewing Aug 31, 2021
 DRD Public Comment Revisions MAY 12, 2022
 G1, G2, G3 Revisions JULY 31, 2023



UPPER FLOOR PLAN
 UNIT G6



UNIT 31 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1143.0 SF	1354.1 SF	1354.1 SF	3851.2 SF
CLIMATE EXCLUSIONS	0.0 SF	0.0 SF	496.8 SF	496.8 SF
BASEMENT EXCLUSIONS 23.2%	346.4 SF	0.0 SF	0.0 SF	346.4 SF
OVERLAP HEIGHT INCLUSION	0.0 SF	0.0 SF	49.2 SF	49.2 SF
COVERED BALCONY INCLUSIONS	0.0 SF	78.4 SF	0.0 SF	78.4 SF
NET	879.4 SF	1255.7 SF	796.3 SF	3131.4 SF

UNIT 31 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M	358.0 SQ M
CLIMATE EXCLUSIONS	0.0 SQ M	0.0 SQ M	45.9 SQ M	45.9 SQ M
BASEMENT EXCLUSIONS 23.2%	321.7 SQ M	0.0 SQ M	0.0 SQ M	321.7 SQ M
OVERLAP HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	4.6 SQ M	4.6 SQ M
COVERED BALCONY INCLUSIONS	0.0 SQ M	7.1 SQ M	0.0 SQ M	7.1 SQ M
NET	81.7 SQ M	116.7 SQ M	92.4 SQ M	290.8 SQ M

UNIT 32 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.2 SF
CLIMATE EXCLUSIONS	0.0 SF	0.0 SF	496.8 SF	496.8 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
OVERLAP HEIGHT INCLUSION	0.0 SF	0.0 SF	32.1 SF	32.1 SF
COVERED BALCONY INCLUSIONS	0.0 SF	78.4 SF	0.0 SF	78.4 SF
NET	993.9 SF	1255.7 SF	884.4 SF	3234.0 SF

UNIT 32 FLOOR AREAS METRIC

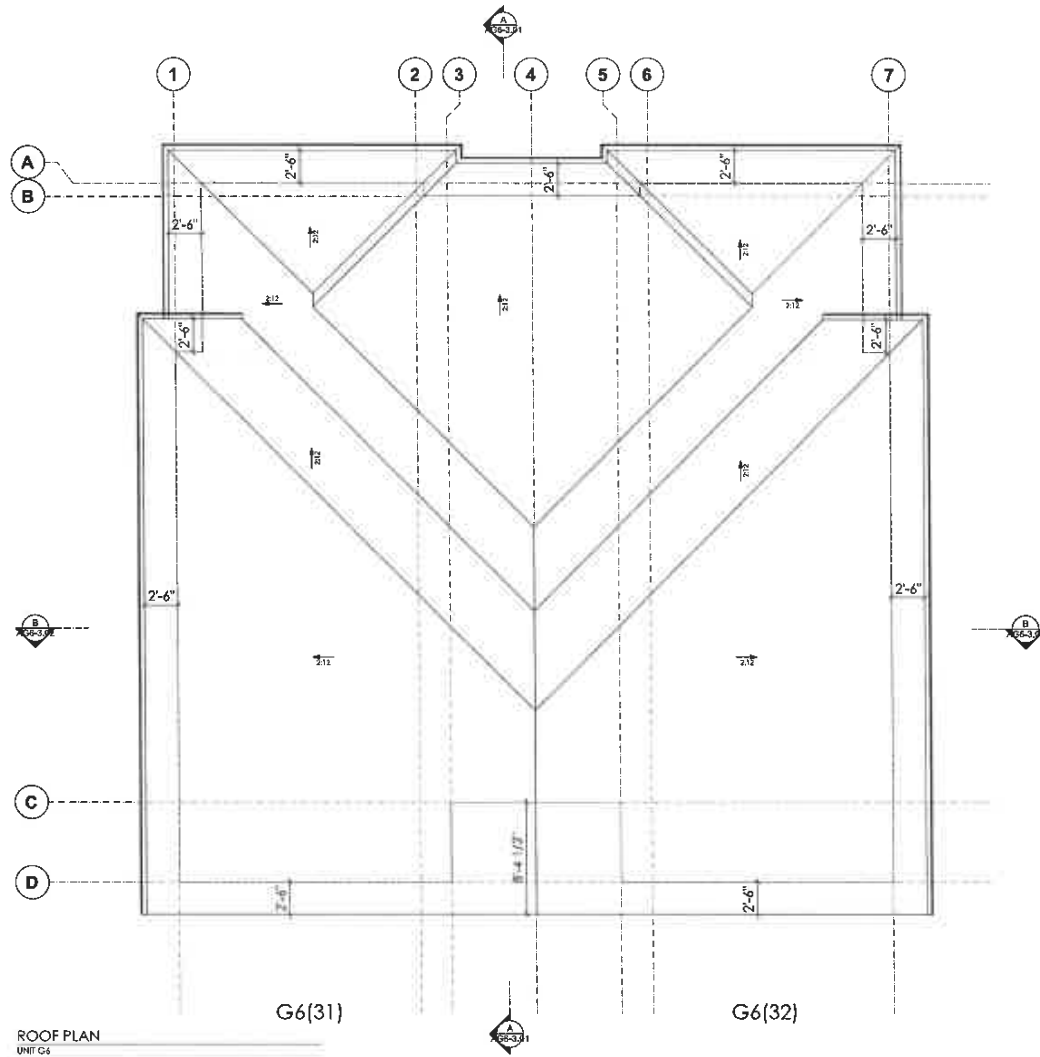
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SQ M	125.8 SQ M	125.8 SQ M	358.0 SQ M
CLIMATE EXCLUSIONS	0.0 SQ M	0.0 SQ M	45.9 SQ M	45.9 SQ M
BASEMENT EXCLUSIONS 13.2%	140.5 SQ M	0.0 SQ M	0.0 SQ M	140.5 SQ M
OVERLAP HEIGHT INCLUSION	0.0 SQ M	0.0 SQ M	3.0 SQ M	3.0 SQ M
COVERED BALCONY INCLUSIONS	0.0 SQ M	7.1 SQ M	0.0 SQ M	7.1 SQ M
NET	92.3 SQ M	116.7 SQ M	91.4 SQ M	300.4 SQ M

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
 UPPER FLOOR PLAN

PROJECT# 8000 SHEET
 SCALE 1/4" = 1'-0" **AG6-**
 DATE MAY 12, 2023 **2.03**

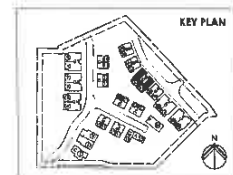
These plans remain the ownership of Sterling Pacific



ROOF PLAN
UNIT G6

G6(31)

G6(32)



REVISION 3
Issued for O/P/Issuing Aug 31, 2021
DMG Public Comment Revisions MAY 13, 2022
G1, G2 Revisions JULY 31, 2022



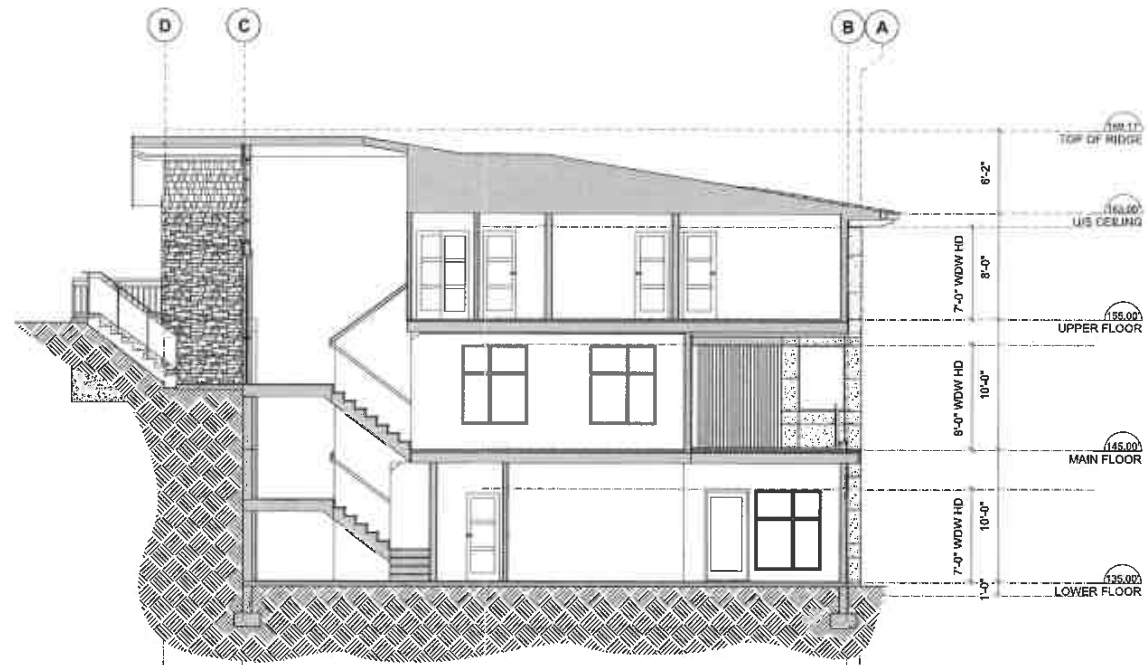
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G 6

DRAWING
ROOF PLAN

PROJECT	NO.	SHEET
SCALE	1/4" = 1'-0"	AG6-2.04
DATE	MAY 12, 2020	

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REVISIONS
 Based for CP/Resolving Aug 31, 2021
 DRCD Public Comment Response MAY 12, 2023
 Q1, Q2, Q3 Response JULY 31, 2023



A SECTION A-A
 Scale: 1/4" = 1'-0"



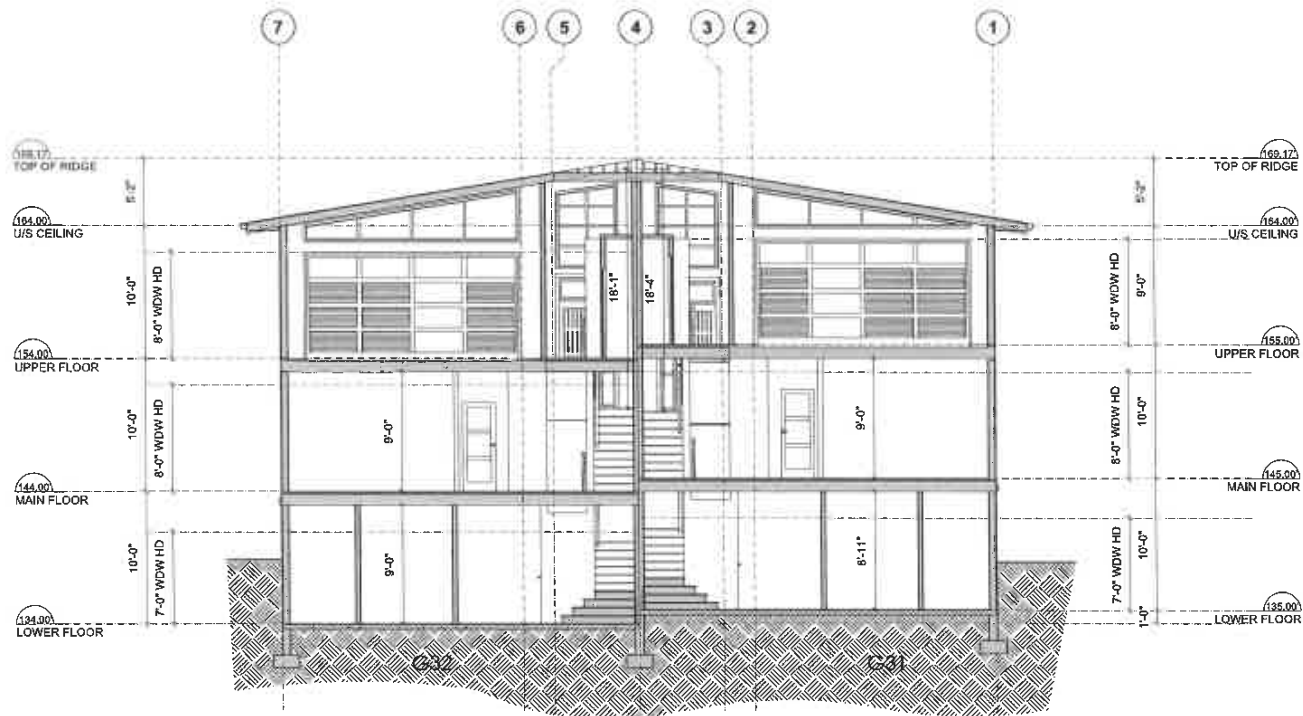
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
 SECTION A-A

PROJECT#	SHEET
8000	AG6-
SCALE 1/4" = 1'-0"	3.01
DATE MAY 12, 2023	

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REVISIONS		
Issued for CP/Reviewing	Aug 31, 2021	
SRD Public Comment/Releaser	MAY 12, 2022	
01, 02, 03 Revisions	JUL 24, 2022	



B SECTION B-B
Scale: 1/4" = 1'-0"



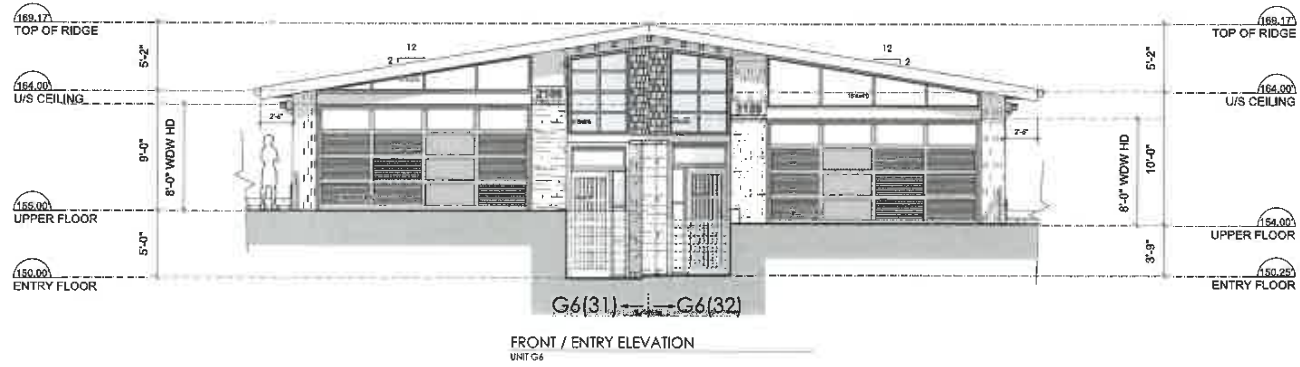
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G 6

DRAWING
SECTION B-B

PROJECT#	SHEET
600	AG6-
SCALE	1/4"=1'-0"
DATE	3.02
	MAY 12, 2022

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REVISED
 Based for City Review Aug. 31, 2021
 P102 Public Comment Response MAY 12, 2023
 01, 02, 03 Revisions JUN 13, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32' - 134.00' / 144.00' - 134.00') x 100 = 23.2%
 1,145 (gross area) x 23.2% = 265.64SF (exemption)

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)
 EXPOSED BUILDING FACE: 1550.45 SF (144.04 SM)
 LIMITING DISTANCE: 28.54' (8.35 M)
 UNPROTECTED OPENING: 384.00 SF (35.67 SM)
 PROPOSED OPENING: 24.76%
 PERMITTED OPENINGS: 34.38%

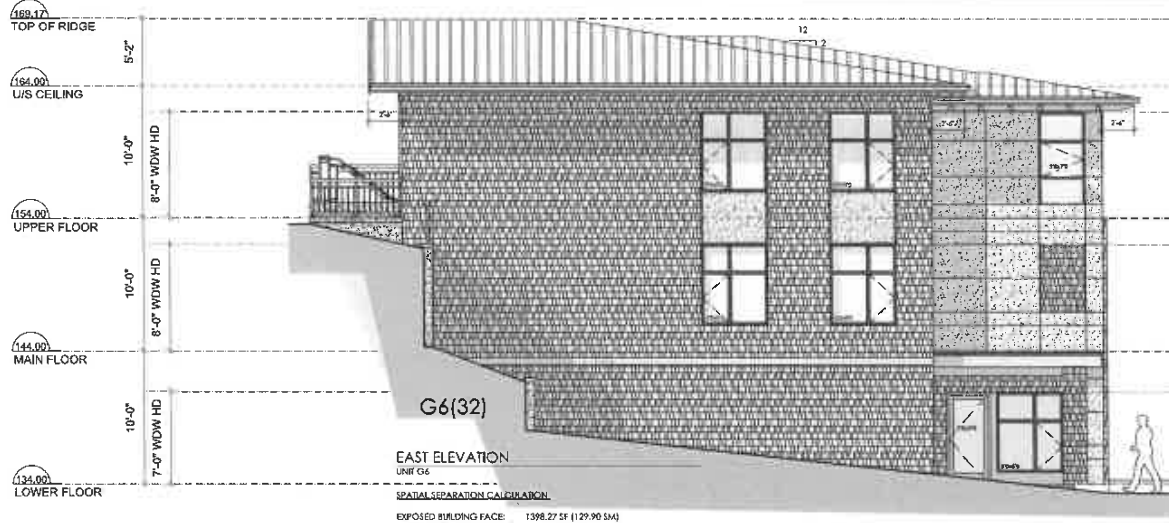
LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32' - 135.00' / 145.00' - 135.00') x 100 = 13.2%
 1,145 (gross area) x 13.2% = 151.14 SF (exemption)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
 FRONT & BACK
 ELEVATIONS B/W

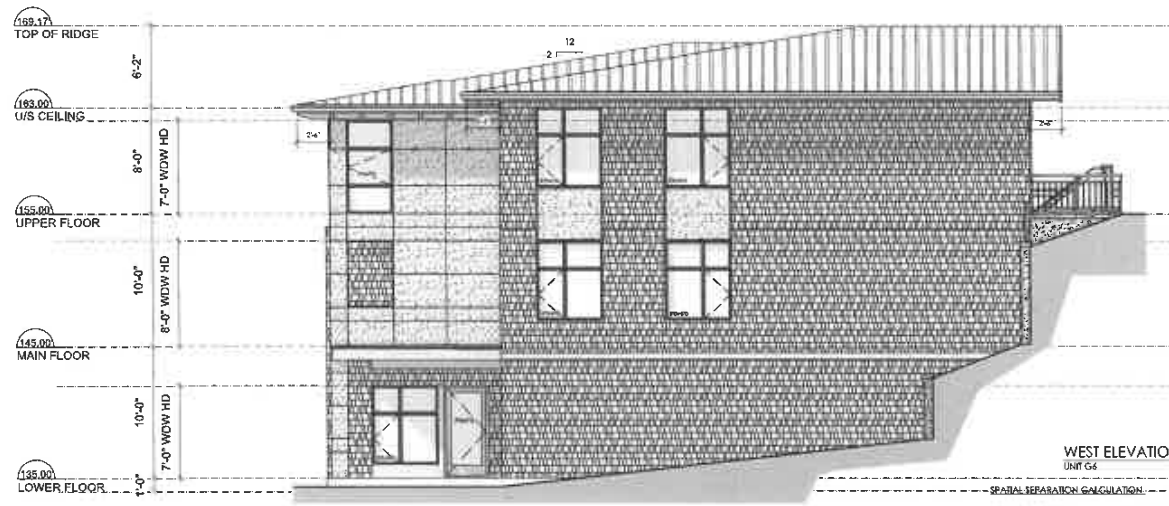
PROJECT	0000	SHEET	AG6-4.01
SCALE	1/4" = 1'-0"		
DATE	MAY 12, 2023		



EAST ELEVATION
UNIT G6

SPATIAL SEPARATION CALCULATION:

EXPOSED BUILDING FACE:	1398.27 SF (129.90 SM)
LIMITING DISTANCE:	5.6' (1.71 M)
UNPROTECTED OPENING:	194.50 SF (18.07 SM)
PROPOSED OPENING:	13.91%
PERMITTED OPENINGS:	15.64%



WEST ELEVATION
UNIT G6

SPATIAL SEPARATION CALCULATION:

EXPOSED BUILDING FACE:	1387.30 SF (128.88 SM)
LIMITING DISTANCE:	3.8' (1.16 M)
UNPROTECTED OPENING:	174.50 SF (16.40 SM)
PROPOSED OPENING:	12.72%
PERMITTED OPENINGS:	13.5%

G6(31)

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REVISIONS

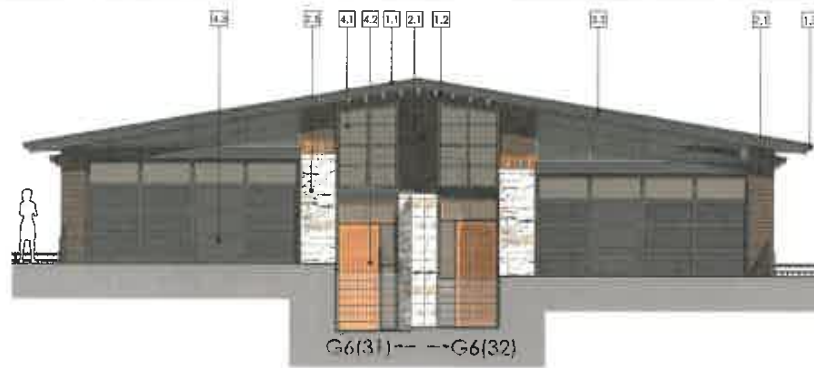
Model for DR/Issuance	Aug 23, 2024
DCO Public Comment Revisions	MAY 12, 2023
D1, D2, D3 Revisions	JUL 131, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
EAST & WEST
ELEVATIONS B/W

PROJECT	0000	SHEET	AG6-
SCALE	1/4" = 1'-0"		4.02
DATE	MAY 12, 2023		



FRONT / ENTRY ELEVATION
UNIT G6



BACK ELEVATION
UNIT G6



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	"A" Metal Roof	Charcoal Gray
1.2	Cement Soffit	Rockport Gray BM-HC-105
1.3	Roofing	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Hardy Panel	Light Ash
2.3	Stone	Random Granite
2.4	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
2.5	Entry Door	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
2.6	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
2.7	Soffit	Rockport Gray BM - HC - 105
2.8	Balcony	Wrought Iron BM - 2124 - 10
3.1	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.2	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.3	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.4	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.5	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.6	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.7	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.8	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.9	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.10	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.11	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.12	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.13	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.14	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.15	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.16	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.17	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.18	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.19	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.20	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.21	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.22	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.23	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.24	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.25	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.26	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.27	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.28	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.29	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.30	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.31	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.32	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.33	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.34	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.35	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.36	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.37	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.38	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.39	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.40	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.41	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.42	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.43	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.44	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.45	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.46	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.47	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.48	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.49	Window / Fascia / Barge Boards & Upstand	Charcoal Gray
3.50	Window / Fascia / Barge Boards & Upstand	Charcoal Gray

These plans remain the ownership of Sterling Pacific

REVISIONS		
Based for DP/Revising	Aug 31, 2021	
DRG/Pubk. Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	MAY 24, 2023	



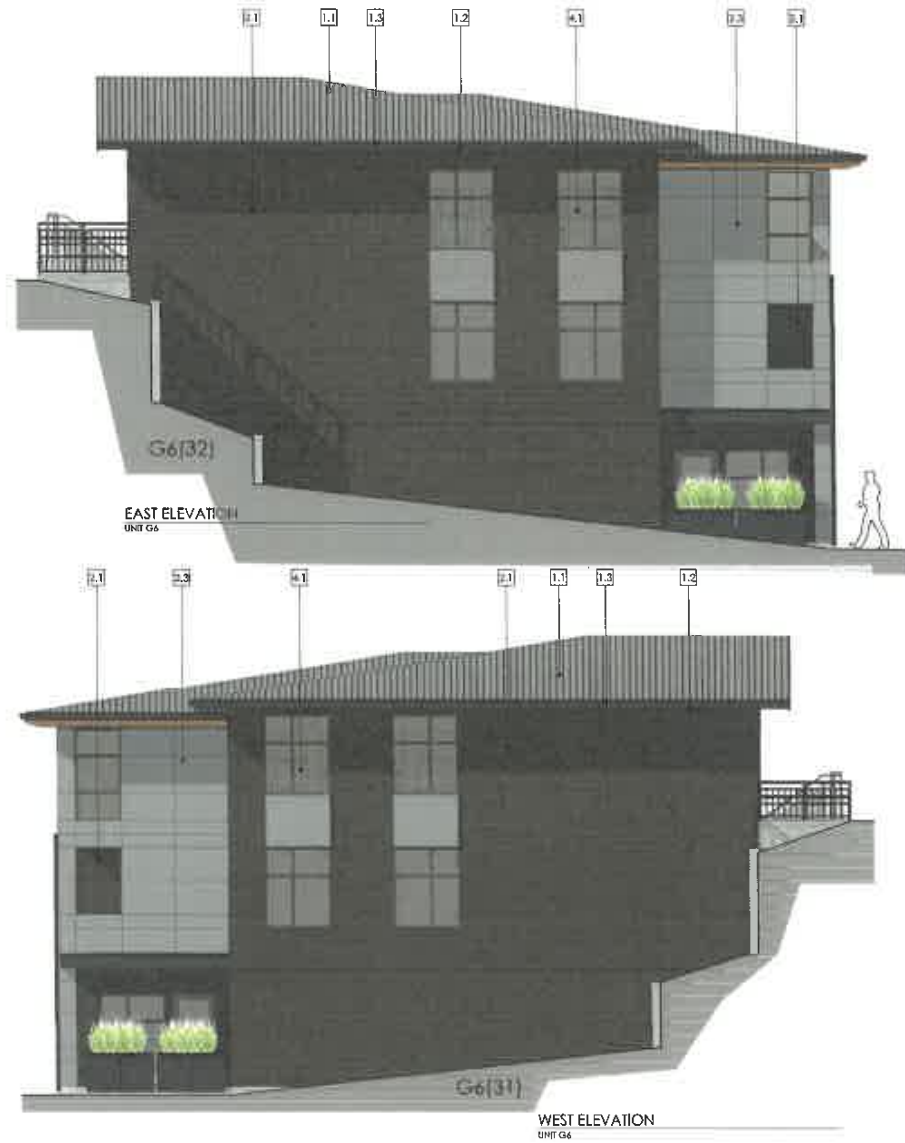
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G 6

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT	SHEET
0630	AG6-
SCALE	4.03
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS
 based for CIP/Marketing Aug 31, 2021
 DRG Public Comment Revisions MAY 12, 2022
 01, 02, 03 Revisions JULY 31, 2023



AQUILA EXTERNAL MATERIAL SCHEDULE		
NO.	Material	Colour
1.1	1/2" x 2" Metal Roof	Charcoal Grey
1.2	Flare Cement Soffit	Rock - BM-100-05
1.3	Gutter	Charcoal Grey
2.1	Flare Cement Shingles	Woodstone Rustic Series Carbon Ink
2.2	Not Used	
2.3	Hardy Panel	Light Walnut
2.4	Not Used	
2.5	Stone	Random Granite
3.1	1/2" x 2" Metal Roof	Charcoal Grey
3.2	Flare Cement Soffit	Rock - BM-100-05
3.3	Gutter	Charcoal Grey
4.1	Flare Cement Shingles	Woodstone Rustic Series Carbon Ink
4.2	Thin door painted c/w hardware and light	Charcoal Grey
4.3	Thin door painted c/w hardware and light	Stainless - Cold Water Gel Stain c/w clear top coat - Special Walnut
4.4	Thin door painted c/w hardware and light	Charcoal Grey
5.1	Flare Cement Shingles	Woodstone Rustic Series Carbon Ink
5.2	Thin door painted c/w hardware and light	Charcoal Grey
5.3	Thin door painted c/w hardware and light	Charcoal Grey
6.1	Flare Cement Shingles	Woodstone Rustic Series Carbon Ink
6.2	Thin door painted c/w hardware and light	Charcoal Grey
6.3	Thin door painted c/w hardware and light	Charcoal Grey



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT G6

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT# 820
 SHEET
**AG6-
 4.04**
 SCALE 1/4" = 1'-0"
 DATE MAY 10, 2023

These plans remain the ownership of Sterling Pacific



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G6



BACK ELEVATION - CAMERA VIEW
UNIT G6



BACK ELEVATION - CAMERA VIEW
UNIT G6

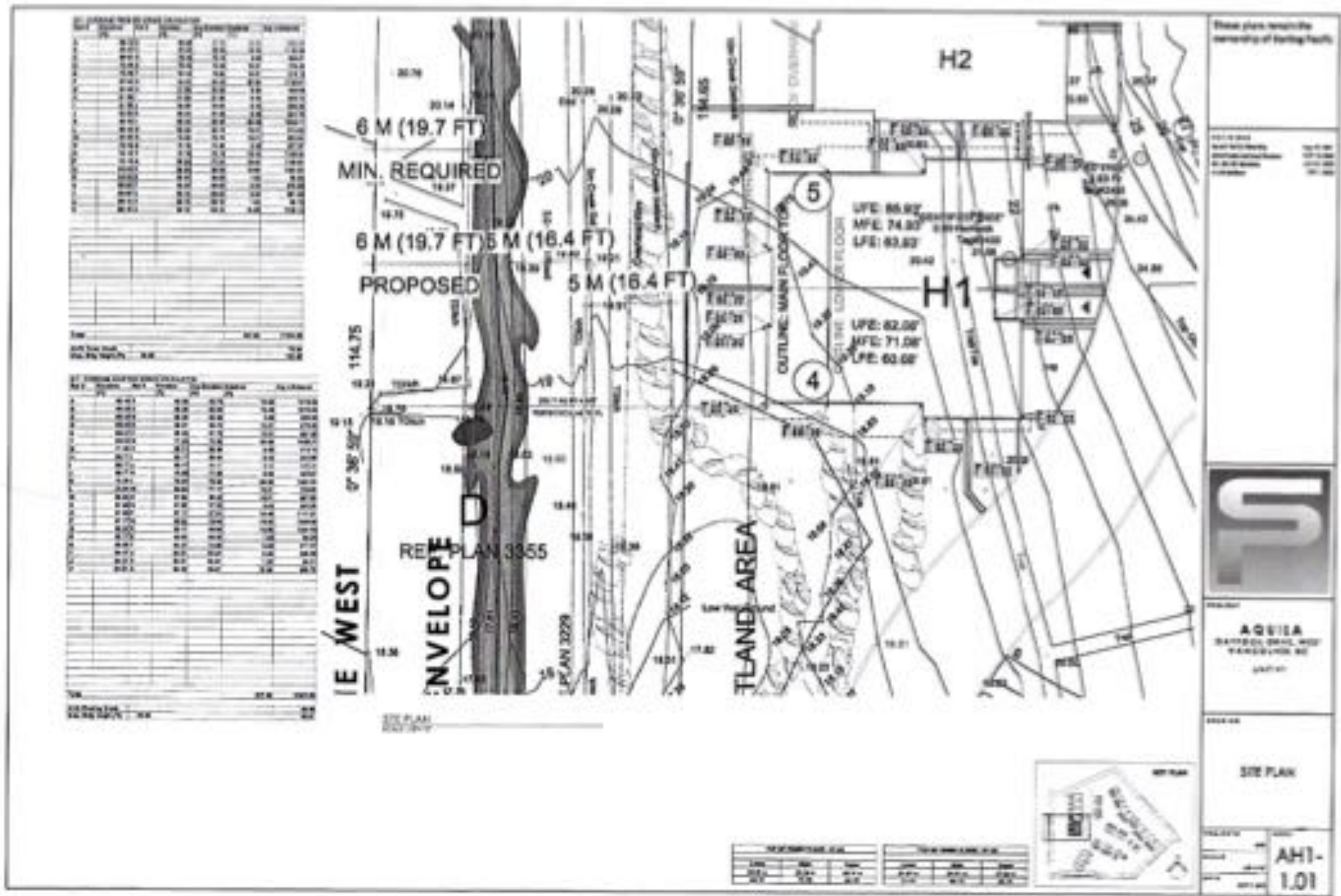
REVISIONS
Issued for CP/Rebidding Aug. 31, 2021
ORCA Public Comment Revisions MAY 12, 2022
G1, G2, G5 Revisions JULY 21, 2022



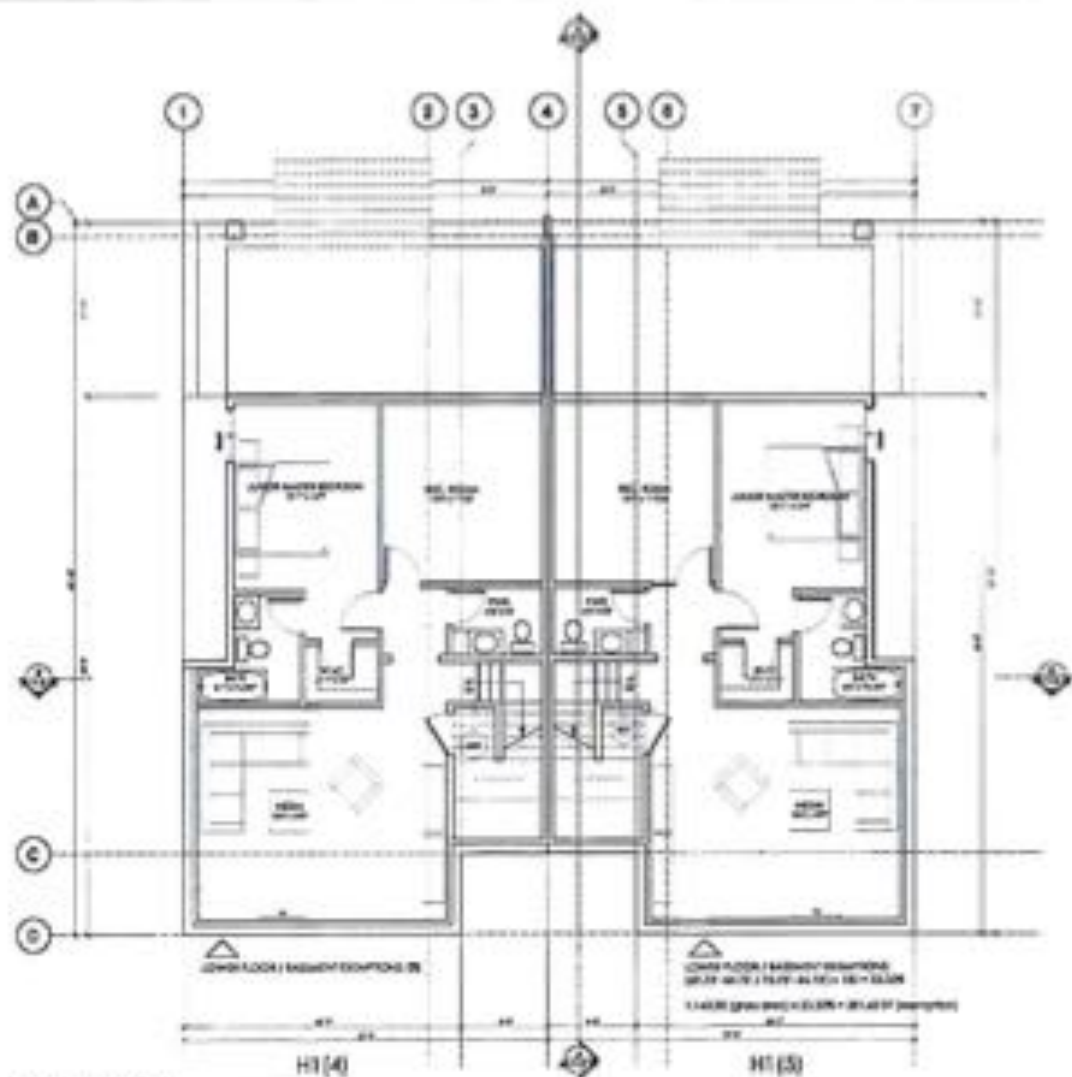
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET
0010	AG6-
SCALE	N.S.
DATE	4.05
	MAY 12, 2022







These plans retain the necessity of having full

DATE	11/10/00
BY	11/10/00
CHECKED	11/10/00
APPROVED	11/10/00



AQUILA
SAUTER ARCHITECTS
1000 GUYTON RD
SUITE 101

LOWER FLOOR PLAN

LOWER FLOOR PLAN

NO.	DESCRIPTION	AREA	PERCENT	TOTAL
1	OFFICE	10,000	10.00	10,000
2	CONFERENCE	5,000	5.00	5,000
3	RECEPTION	2,000	2.00	2,000
4	RESTROOMS	1,000	1.00	1,000
5	STAIRS	1,000	1.00	1,000
6	MEETING	1,000	1.00	1,000
7	RECEPTION	1,000	1.00	1,000
8	OFFICE	10,000	10.00	10,000
9	CONFERENCE	5,000	5.00	5,000
10	RECEPTION	2,000	2.00	2,000
11	RESTROOMS	1,000	1.00	1,000
12	STAIRS	1,000	1.00	1,000
13	MEETING	1,000	1.00	1,000
14	RECEPTION	1,000	1.00	1,000
15	OFFICE	10,000	10.00	10,000
16	CONFERENCE	5,000	5.00	5,000
17	RECEPTION	2,000	2.00	2,000
18	RESTROOMS	1,000	1.00	1,000
19	STAIRS	1,000	1.00	1,000
20	MEETING	1,000	1.00	1,000
21	RECEPTION	1,000	1.00	1,000

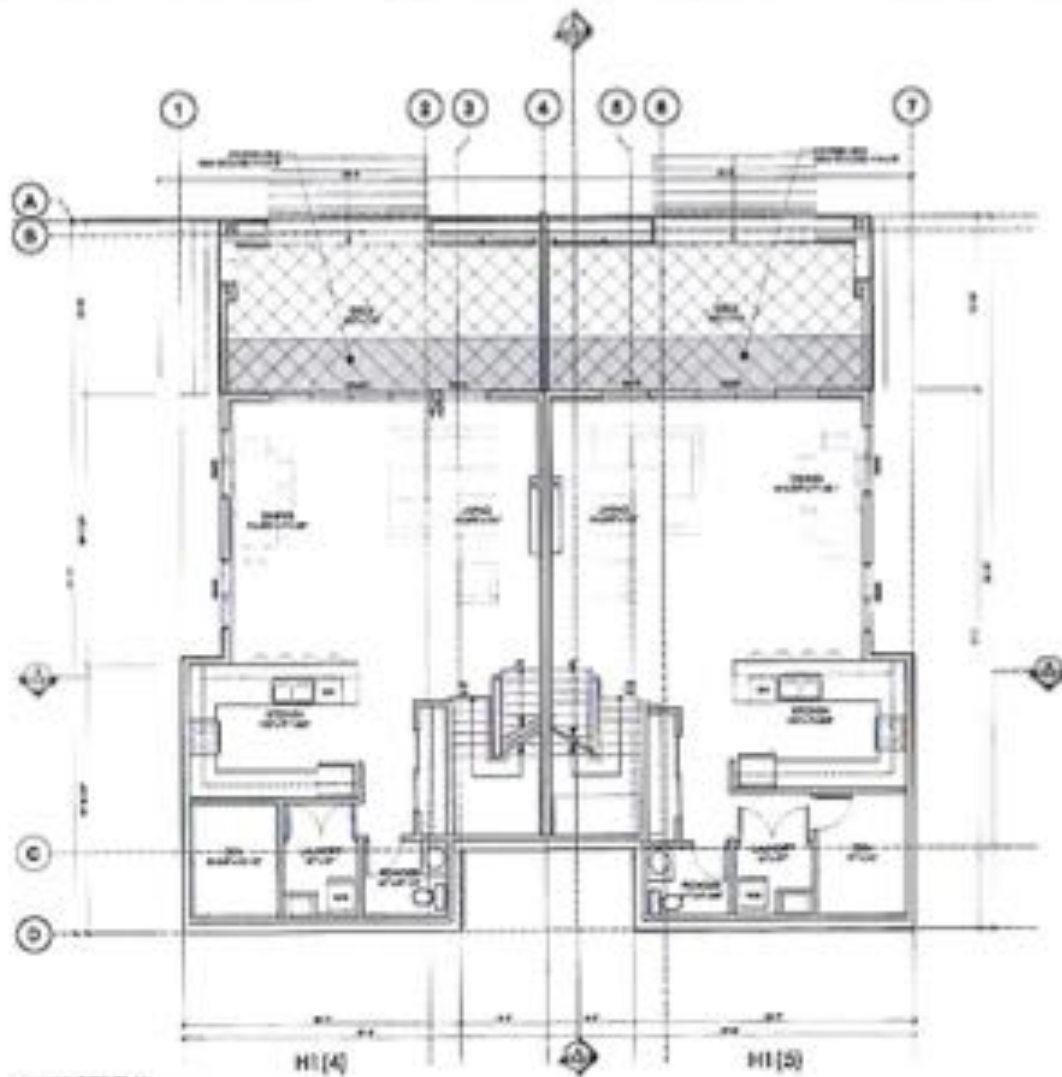
NO.	DESCRIPTION	AREA	PERCENT	TOTAL
1	OFFICE	10,000	10.00	10,000
2	CONFERENCE	5,000	5.00	5,000
3	RECEPTION	2,000	2.00	2,000
4	RESTROOMS	1,000	1.00	1,000
5	STAIRS	1,000	1.00	1,000
6	MEETING	1,000	1.00	1,000
7	RECEPTION	1,000	1.00	1,000
8	OFFICE	10,000	10.00	10,000
9	CONFERENCE	5,000	5.00	5,000
10	RECEPTION	2,000	2.00	2,000
11	RESTROOMS	1,000	1.00	1,000
12	STAIRS	1,000	1.00	1,000
13	MEETING	1,000	1.00	1,000
14	RECEPTION	1,000	1.00	1,000

NO.	DESCRIPTION	AREA	PERCENT	TOTAL
1	OFFICE	10,000	10.00	10,000
2	CONFERENCE	5,000	5.00	5,000
3	RECEPTION	2,000	2.00	2,000
4	RESTROOMS	1,000	1.00	1,000
5	STAIRS	1,000	1.00	1,000
6	MEETING	1,000	1.00	1,000
7	RECEPTION	1,000	1.00	1,000
8	OFFICE	10,000	10.00	10,000
9	CONFERENCE	5,000	5.00	5,000
10	RECEPTION	2,000	2.00	2,000
11	RESTROOMS	1,000	1.00	1,000
12	STAIRS	1,000	1.00	1,000
13	MEETING	1,000	1.00	1,000
14	RECEPTION	1,000	1.00	1,000

NO.	DESCRIPTION	AREA	PERCENT	TOTAL
1	OFFICE	10,000	10.00	10,000
2	CONFERENCE	5,000	5.00	5,000
3	RECEPTION	2,000	2.00	2,000
4	RESTROOMS	1,000	1.00	1,000
5	STAIRS	1,000	1.00	1,000
6	MEETING	1,000	1.00	1,000
7	RECEPTION	1,000	1.00	1,000
8	OFFICE	10,000	10.00	10,000
9	CONFERENCE	5,000	5.00	5,000
10	RECEPTION	2,000	2.00	2,000
11	RESTROOMS	1,000	1.00	1,000
12	STAIRS	1,000	1.00	1,000
13	MEETING	1,000	1.00	1,000
14	RECEPTION	1,000	1.00	1,000



PROJECT	AH1-201
DATE	11/10/00
BY	11/10/00
CHECKED	11/10/00
APPROVED	11/10/00



MAIN FLOOR PLAN
02/07

MAIN FLOOR AREA SUMMARY

AREA	AREA (SQ FT)	PERCENT	NO. OF STAIRS	NO. OF ELEVATORS
OFFICE	10,000	10.0%	2	2
CONFERENCE	1,000	1.0%	0	0
RECEPTION	500	0.5%	0	0
STAIRS	1,500	1.5%	2	0
ELEVATOR	1,000	1.0%	0	2
MECHANICAL	1,000	1.0%	0	0
RESTROOM	500	0.5%	0	0
STORAGE	1,000	1.0%	0	0
OTHER	1,000	1.0%	0	0
TOTAL	100,000	100.0%	2	2

MAIN FLOOR AREA SUMMARY

AREA	AREA (SQ FT)	PERCENT	NO. OF STAIRS	NO. OF ELEVATORS
OFFICE	10,000	10.0%	2	2
CONFERENCE	1,000	1.0%	0	0
RECEPTION	500	0.5%	0	0
STAIRS	1,500	1.5%	2	0
ELEVATOR	1,000	1.0%	0	2
MECHANICAL	1,000	1.0%	0	0
RESTROOM	500	0.5%	0	0
STORAGE	1,000	1.0%	0	0
OTHER	1,000	1.0%	0	0
TOTAL	100,000	100.0%	2	2

MAIN FLOOR AREA SUMMARY

AREA	AREA (SQ FT)	PERCENT	NO. OF STAIRS	NO. OF ELEVATORS
OFFICE	10,000	10.0%	2	2
CONFERENCE	1,000	1.0%	0	0
RECEPTION	500	0.5%	0	0
STAIRS	1,500	1.5%	2	0
ELEVATOR	1,000	1.0%	0	2
MECHANICAL	1,000	1.0%	0	0
RESTROOM	500	0.5%	0	0
STORAGE	1,000	1.0%	0	0
OTHER	1,000	1.0%	0	0
TOTAL	100,000	100.0%	2	2

MAIN FLOOR AREA SUMMARY

AREA	AREA (SQ FT)	PERCENT	NO. OF STAIRS	NO. OF ELEVATORS
OFFICE	10,000	10.0%	2	2
CONFERENCE	1,000	1.0%	0	0
RECEPTION	500	0.5%	0	0
STAIRS	1,500	1.5%	2	0
ELEVATOR	1,000	1.0%	0	2
MECHANICAL	1,000	1.0%	0	0
RESTROOM	500	0.5%	0	0
STORAGE	1,000	1.0%	0	0
OTHER	1,000	1.0%	0	0
TOTAL	100,000	100.0%	2	2



These plans contain the elements of building facility

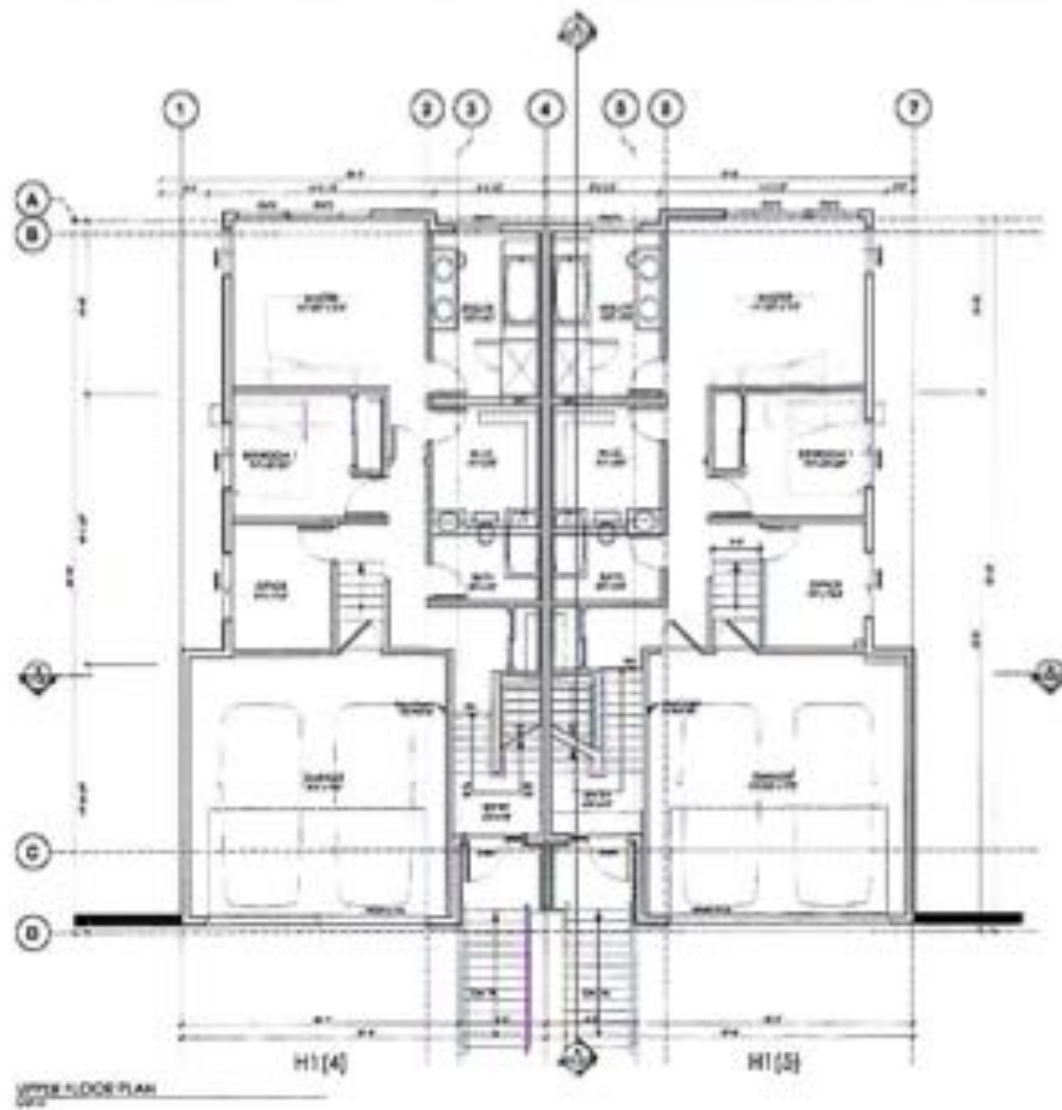
DATE	NO. OF SHEETS	TOTAL SHEETS
02/07	10	10
02/07	10	10
02/07	10	10
02/07	10	10



AQUILA
BAYVIEW COMM. BLDG.
VANCOUVER, BC
JAN 07

MAIN FLOOR
PLAN

PROJECT NO. **AH1-2.02**



This plan shows the
elements of building facade

Scale	1:100
Author	...
...	...

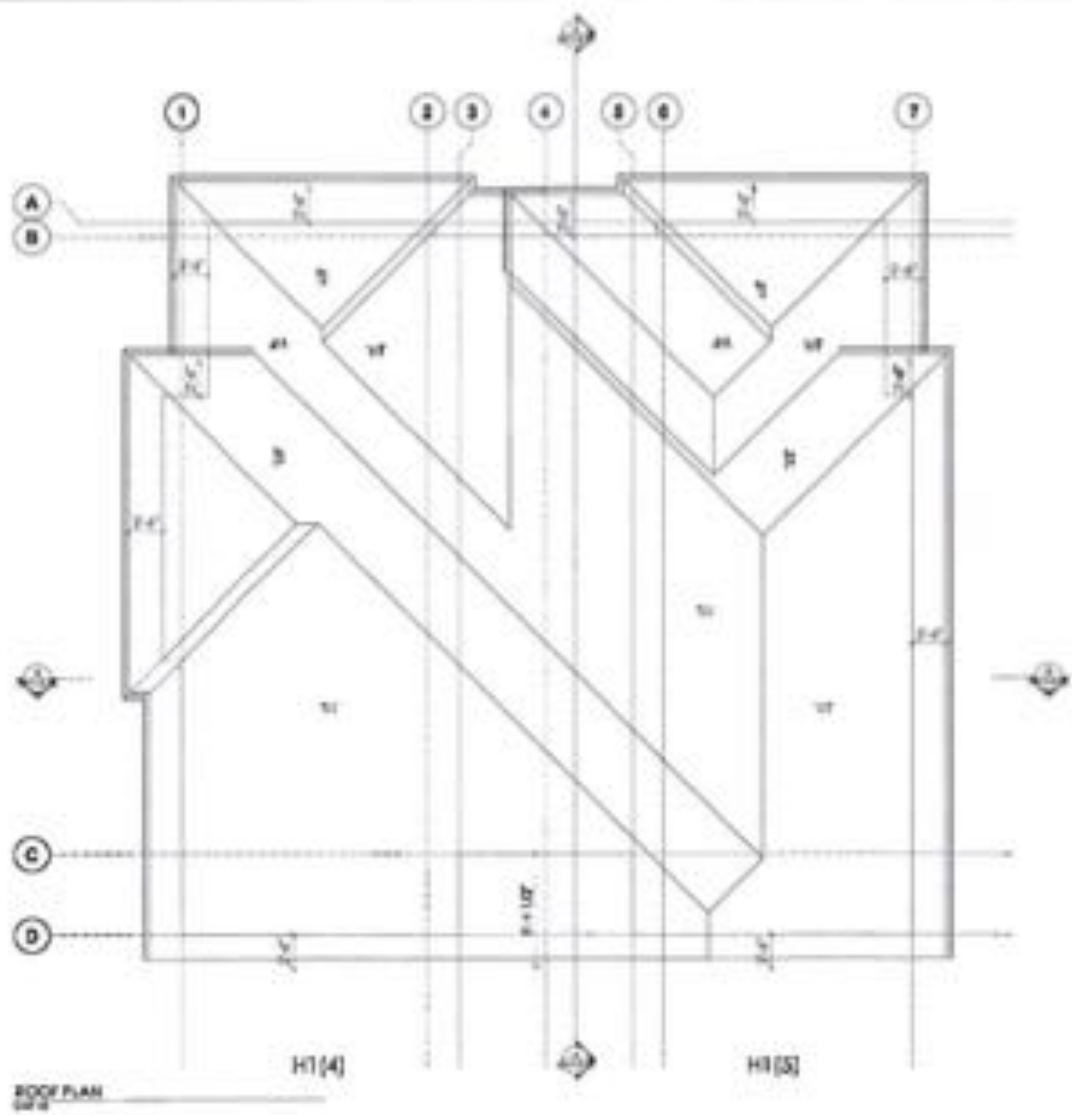


AQUILA
SARACENI, BIANCHI, MONTI
LAVINIA, RM
UNIT 02

UPPER FLOOR
PLAN



AH1-
2.03



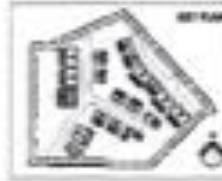
These plans contain the geometry of the building's roof.

DATE	10/10/00
REVISION	10/10/00
PROJECT	10/10/00



AQUILA
 SANTIAGO, CHILE, 40°
 SAN DOMINGO, R.L.
 10/10/00

ROOF PLAN



AH1-2.04



A SECTION A-A
Scale 1/4" = 1'-0"

These notes control the
nomenclature of building parts.

DATE	BY
REVISION	BY
DATE	BY
DATE	BY

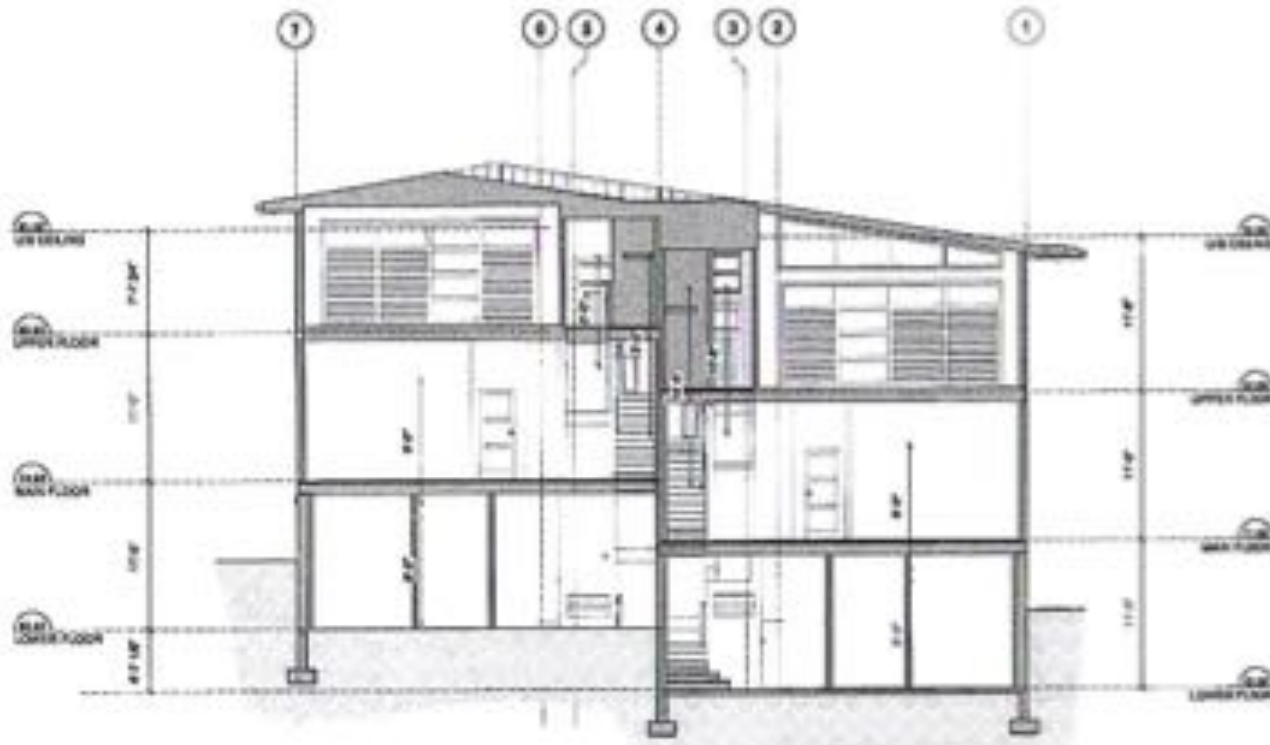


AQUILA
ARCHITECTURAL, INC.
WYOMING, WY
UNITED STATES

SECTION A-A

PROJECT	NO.
DATE	NO.
SCALE	NO.
NO.	NO.

AH1-3.01



B SECTION B-B
Scale: 1/4" = 1'-0"

These plans comply with the
requirements of Building Code

DATE: 01/11/11	SCALE: 1/4" = 1'-0"
PROJECT: AQUILA	NO. 3.02
CLIENT: SAATCHI & SAATCHI	
ARCHITECT: SAATCHI & SAATCHI	
LOCATION: VANCOUVER, BC	

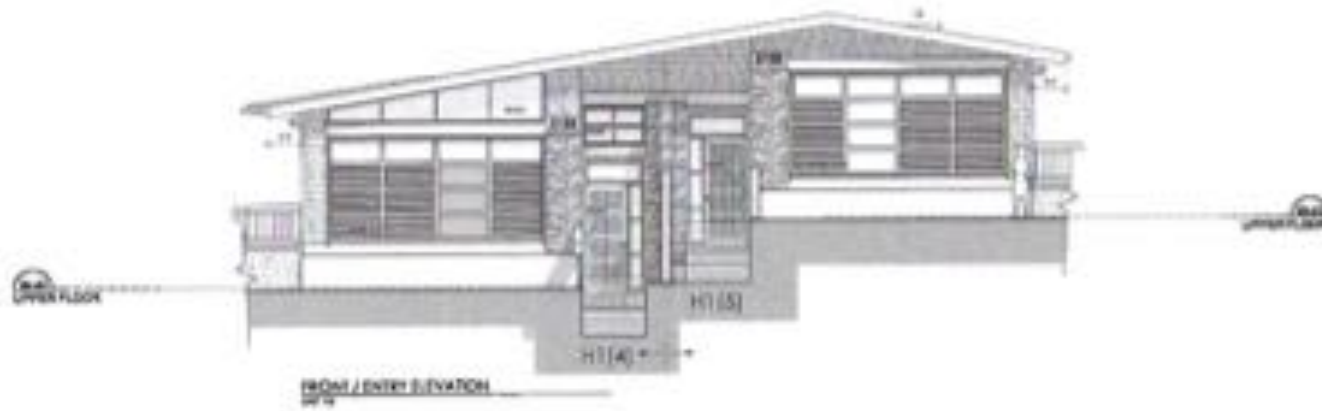


Project: **AQUILA**
SAATCHI & SAATCHI
VANCOUVER, BC
JOB NO.

SECTION B-B

REVISION:	NO.	DATE
	1	
	2	
	3	
	4	
	5	

NO. **AH1-3.02**



These plans meet the
necessity of being built

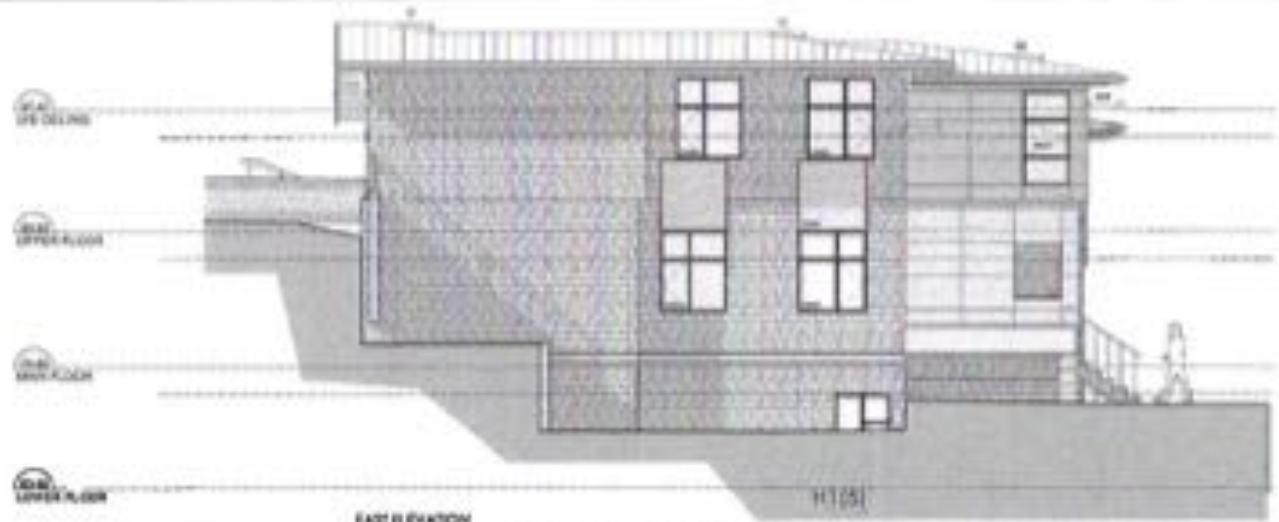
DATE	10/10/08
BY	J. S. BROWN
CHECKED	J. S. BROWN
SCALE	1/8" = 1'-0"



AQUILA
S&C ENGINEERS, INC.
1000 W. 10TH ST.
SUITE 100
DENVER, CO 80202

PROJECT
**FRONT & BACK
ELEVATIONS SHW**

PROJECT	DATE	AH1- 4.01
SCALE	10/10/08	



EAST ELEVATION
 2012
 8100 LEBANON CHOUTAUBOIS PARKWAY
 8100 LEBANON CHOUTAUBOIS PARKWAY
 8100 LEBANON CHOUTAUBOIS PARKWAY
 8100 LEBANON CHOUTAUBOIS PARKWAY
 8100 LEBANON CHOUTAUBOIS PARKWAY



WEST ELEVATION
 2012

These plans remain the property of Sterling Pacific

DATE	2012.04.02
BY	STP
CHECKED BY	STP
APPROVED BY	STP
SCALE	AS SHOWN



AQUILA
 8100 LEBANON CHOUTAUBOIS PARKWAY
 8100 LEBANON CHOUTAUBOIS PARKWAY
 8100 LEBANON CHOUTAUBOIS PARKWAY

EAST & WEST ELEVATIONS S/W

PROJECT	AH1-4.02
DATE	2012.04.02
BY	STP
CHECKED BY	STP
APPROVED BY	STP
SCALE	AS SHOWN



NO.	DESCRIPTION	QTY	UNIT
1	FRONT DOOR	1	EA
2	FRONT WINDOW	2	EA
3	FRONT WINDOW	2	EA
4	FRONT WINDOW	2	EA
5	FRONT WINDOW	2	EA
6	FRONT WINDOW	2	EA
7	FRONT WINDOW	2	EA
8	FRONT WINDOW	2	EA
9	FRONT WINDOW	2	EA
10	FRONT WINDOW	2	EA
11	FRONT WINDOW	2	EA
12	FRONT WINDOW	2	EA
13	FRONT WINDOW	2	EA
14	FRONT WINDOW	2	EA
15	FRONT WINDOW	2	EA
16	FRONT WINDOW	2	EA
17	FRONT WINDOW	2	EA
18	FRONT WINDOW	2	EA
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96	FRONT WINDOW	2	EA
97	FRONT WINDOW	2	EA
98	FRONT WINDOW	2	EA
99	FRONT WINDOW	2	EA
100	FRONT WINDOW	2	EA

These plans remain the property of Sterling Pacific

DATE: 01/15/2014
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT: 4.03

STERLING PACIFIC
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 www.sterlingpacific.com

AGSIA
 DAVID D. DAVIS, M.D.
 WASHINGTON, DC
 20001

FRONT & BACK ELEVATIONS

PROJECT: 4.03
 SHEET: AH1-4.03



These plans include the
elements of Building Facts

PROJECT NO.	100100
DATE OF DRAWING	08/11/08
DATE OF LAST REVISION	08/11/08
DATE OF ISSUE	08/11/08
DATE OF REVISION	08/11/08



AQUILA
ARCHITECTURAL GROUP, INC.
1000 SOUTH MAIN STREET
SUITE 100
DURHAM, NC 27701
919.286.1111

**EAST & WEST
ELEVATIONS**

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	08/11/08
02	ISSUED FOR PERMIT	08/11/08
03	ISSUED FOR PERMIT	08/11/08
04	ISSUED FOR PERMIT	08/11/08
05	ISSUED FOR PERMIT	08/11/08
06	ISSUED FOR PERMIT	08/11/08
07	ISSUED FOR PERMIT	08/11/08
08	ISSUED FOR PERMIT	08/11/08
09	ISSUED FOR PERMIT	08/11/08
10	ISSUED FOR PERMIT	08/11/08
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44	ISSUED FOR PERMIT	08/11/08
45	ISSUED FOR PERMIT	08/11/08
46	ISSUED FOR PERMIT	08/11/08
47	ISSUED FOR PERMIT	08/11/08
48	ISSUED FOR PERMIT	08/11/08
49	ISSUED FOR PERMIT	08/11/08
50	ISSUED FOR PERMIT	08/11/08

AH1-404



FRONT / ENTRY ELEVATION - CAMERA VIEW
3/20



BACK ELEVATION - CAMERA VIEW
3/20



BACK ELEVATION - CAMERA VIEW
3/20

These plans remain the
property of Sterling Pacific

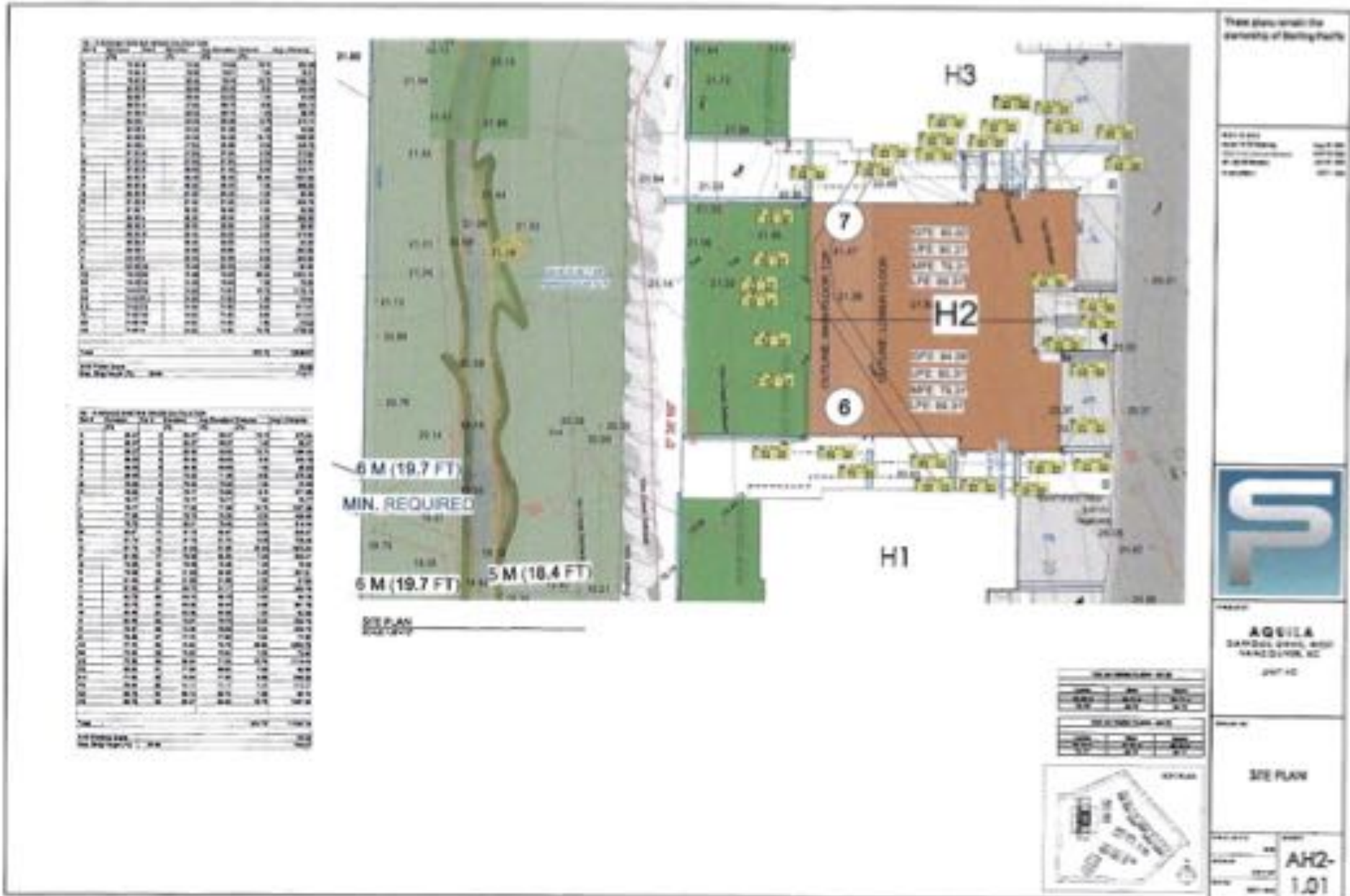
DATE: 03/20/20	SCALE: 1/8" = 1'-0"
DRAWN BY: J. H. HARRIS	CHECKED BY: J. H. HARRIS
PROJECT NO: 100-00000000	DATE: 03/20/20
BY: J. H. HARRIS	DATE: 03/20/20
REVISION:	DATE:

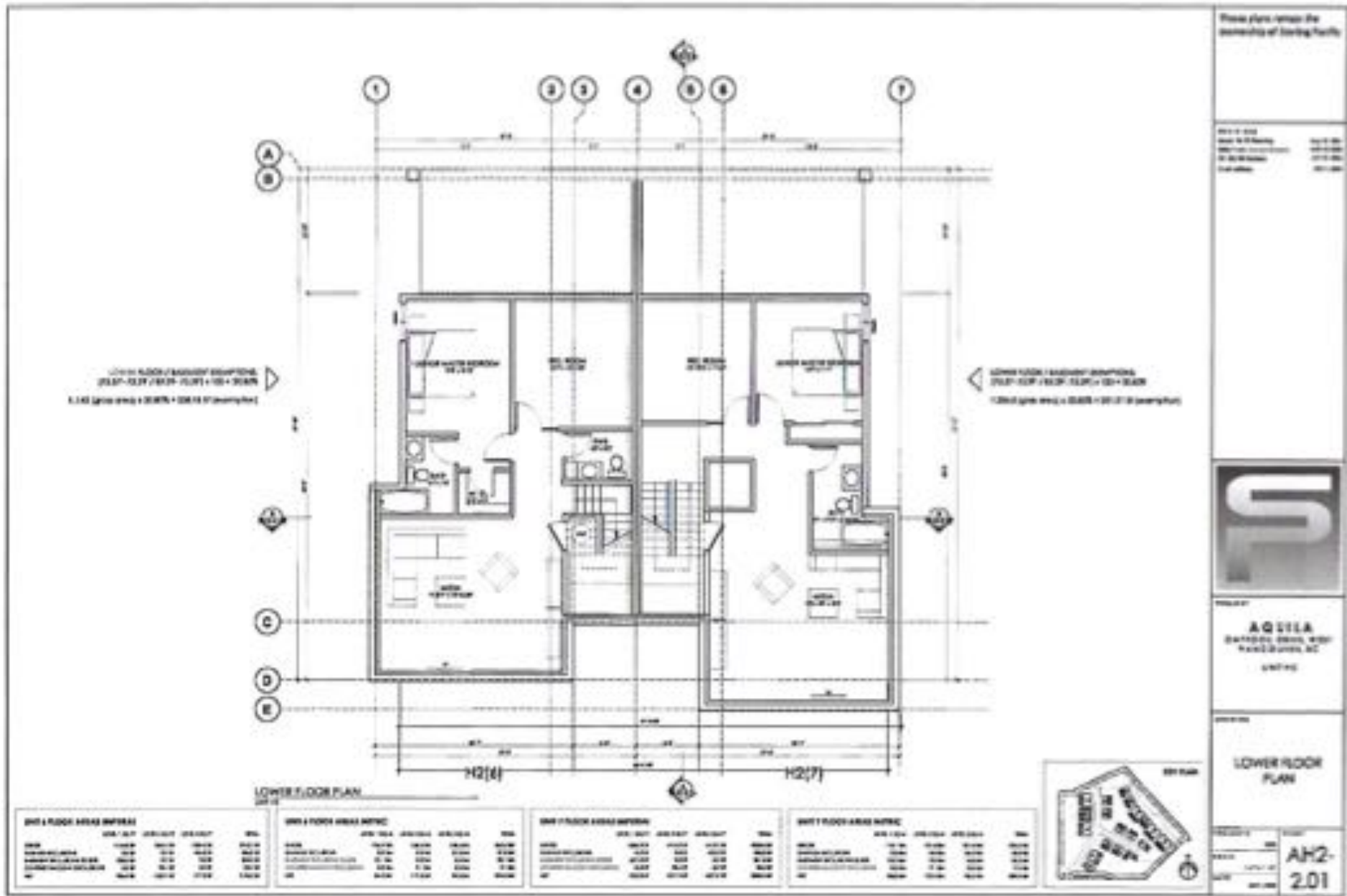


AQUILA
SALFORD DRIVE, WEST
KINCORPOR, NC
27151

FRONT, BACK
ELEVATIONS -
CAMERA VIEW

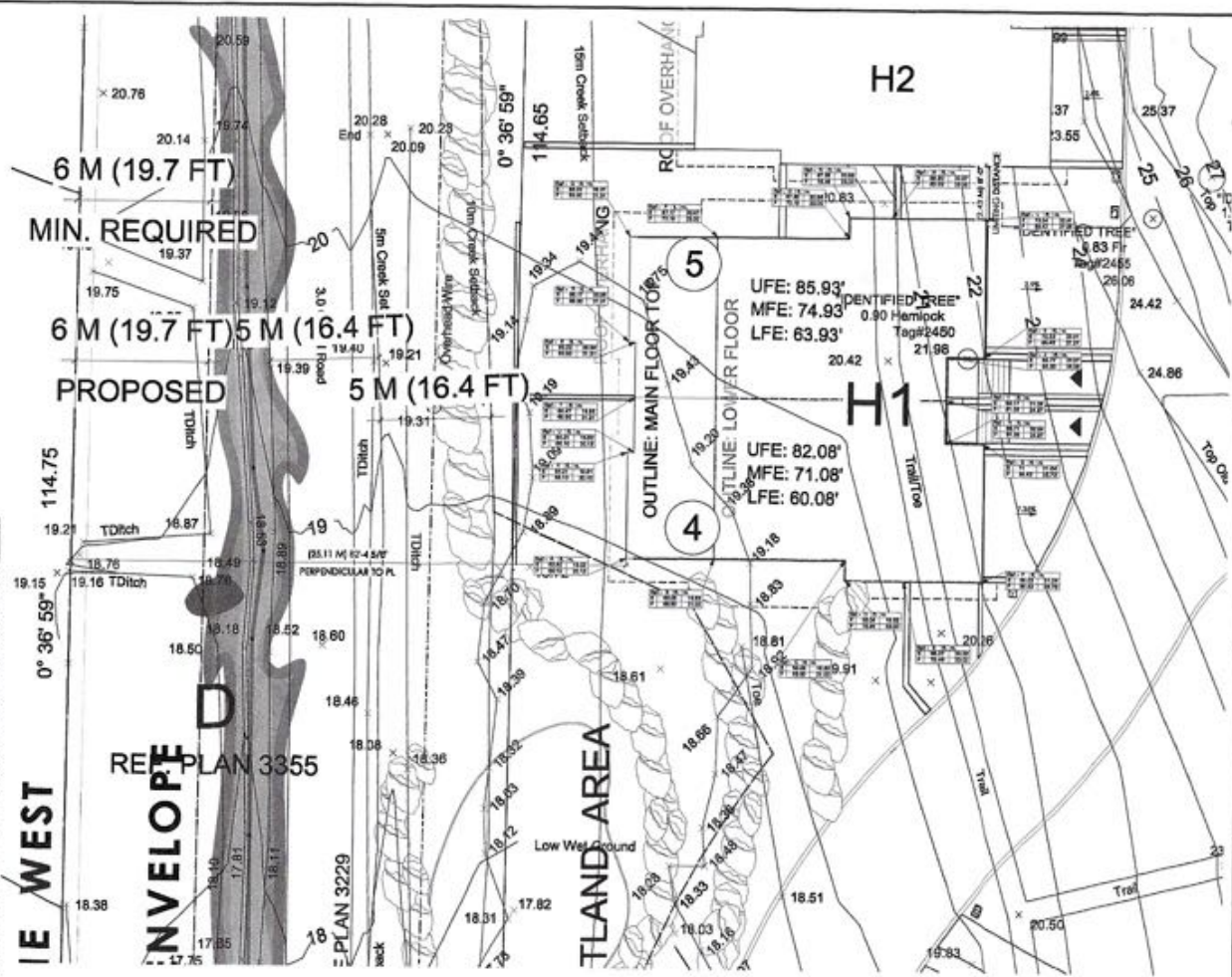
PROJECT NO:	100-00000000
DATE:	03/20/20
BY:	J. H. HARRIS
SCALE:	1/8" = 1'-0"
PROJECT:	AH1-405





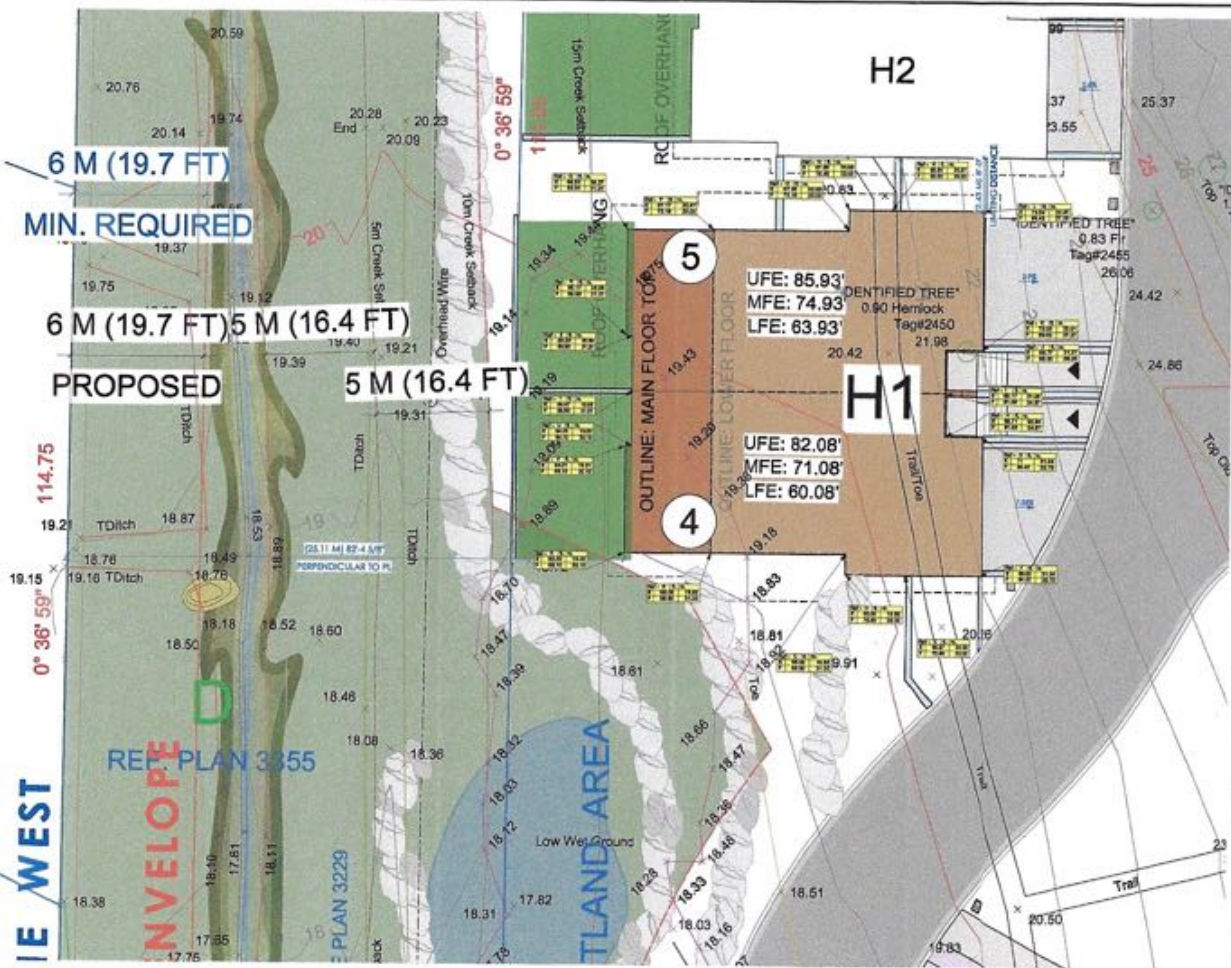
GV - AVERAGE EXISTING GROUND CALCULATION					
Point #	Elevation (PS)	Area #	Area (PS)	Area (Sq Ft)	Area x Elevation
A	68.11	1	87.50	19.00	1662.50
B	68.20	2	88.20	18.00	1587.60
C	70.00	3	70.00	3.00	210.00
D	70.45	4	70.45	10.21	720.45
E	70.60	5	70.60	10.21	720.45
F	64.40	6	64.40	20.00	1288.00
G	64.40	7	64.40	20.00	1288.00
H	61.88	8	61.88	8.42	521.14
I	61.50	9	61.50	8.42	508.23
J	63.50	10	63.50	8.00	508.00
K	64.40	11	64.40	20.00	1288.00
L	64.40	12	64.40	20.00	1288.00
M	62.00	13	62.00	10.21	650.82
N	70.45	14	70.45	10.21	720.45
O	70.50	15	70.50	10.00	705.00
P	70.50	16	70.50	10.00	705.00
Q	68.00	17	68.00	10.00	680.00
R	68.20	18	68.20	10.00	682.00
S	68.20	19	68.20	10.00	682.00
T	68.20	20	68.20	10.00	682.00
U	68.20	21	68.20	10.00	682.00
V	68.20	22	68.20	10.00	682.00
W	68.20	23	68.20	10.00	682.00
X	68.20	24	68.20	10.00	682.00
Y	68.20	25	68.20	10.00	682.00
Z	68.20	26	68.20	10.00	682.00
AA	68.20	27	68.20	10.00	682.00
AB	68.20	28	68.20	10.00	682.00
AC	68.20	29	68.20	10.00	682.00
AD	68.20	30	68.20	10.00	682.00
AE	68.20	31	68.20	10.00	682.00
AF	68.20	32	68.20	10.00	682.00
AG	68.20	33	68.20	10.00	682.00
AH	68.20	34	68.20	10.00	682.00
AI	68.20	35	68.20	10.00	682.00
AJ	68.20	36	68.20	10.00	682.00
AK	68.20	37	68.20	10.00	682.00
AL	68.20	38	68.20	10.00	682.00
AM	68.20	39	68.20	10.00	682.00
AN	68.20	40	68.20	10.00	682.00
AO	68.20	41	68.20	10.00	682.00
AP	68.20	42	68.20	10.00	682.00
AQ	68.20	43	68.20	10.00	682.00
AR	68.20	44	68.20	10.00	682.00
AS	68.20	45	68.20	10.00	682.00
AT	68.20	46	68.20	10.00	682.00
AU	68.20	47	68.20	10.00	682.00
AV	68.20	48	68.20	10.00	682.00
AW	68.20	49	68.20	10.00	682.00
AX	68.20	50	68.20	10.00	682.00
AY	68.20	51	68.20	10.00	682.00
AZ	68.20	52	68.20	10.00	682.00
BA	68.20	53	68.20	10.00	682.00
BB	68.20	54	68.20	10.00	682.00
BC	68.20	55	68.20	10.00	682.00
BD	68.20	56	68.20	10.00	682.00
BE	68.20	57	68.20	10.00	682.00
BF	68.20	58	68.20	10.00	682.00
BG	68.20	59	68.20	10.00	682.00
BH	68.20	60	68.20	10.00	682.00
BI	68.20	61	68.20	10.00	682.00
BJ	68.20	62	68.20	10.00	682.00
BK	68.20	63	68.20	10.00	682.00
BL	68.20	64	68.20	10.00	682.00
BM	68.20	65	68.20	10.00	682.00
BN	68.20	66	68.20	10.00	682.00
BO	68.20	67	68.20	10.00	682.00
BP	68.20	68	68.20	10.00	682.00
BQ	68.20	69	68.20	10.00	682.00
BR	68.20	70	68.20	10.00	682.00
BS	68.20	71	68.20	10.00	682.00
BT	68.20	72	68.20	10.00	682.00
BU	68.20	73	68.20	10.00	682.00
BV	68.20	74	68.20	10.00	682.00
BW	68.20	75	68.20	10.00	682.00
BX	68.20	76	68.20	10.00	682.00
BY	68.20	77	68.20	10.00	682.00
BZ	68.20	78	68.20	10.00	682.00
CA	68.20	79	68.20	10.00	682.00
CB	68.20	80	68.20	10.00	682.00
CC	68.20	81	68.20	10.00	682.00
CD	68.20	82	68.20	10.00	682.00
CE	68.20	83	68.20	10.00	682.00
CF	68.20	84	68.20	10.00	682.00
CG	68.20	85	68.20	10.00	682.00
CH	68.20	86	68.20	10.00	682.00
CI	68.20	87	68.20	10.00	682.00
CJ	68.20	88	68.20	10.00	682.00
CK	68.20	89	68.20	10.00	682.00
CL	68.20	90	68.20	10.00	682.00
CM	68.20	91	68.20	10.00	682.00
CN	68.20	92	68.20	10.00	682.00
CO	68.20	93	68.20	10.00	682.00
CP	68.20	94	68.20	10.00	682.00
CQ	68.20	95	68.20	10.00	682.00
CR	68.20	96	68.20	10.00	682.00
CS	68.20	97	68.20	10.00	682.00
CT	68.20	98	68.20	10.00	682.00
CU	68.20	99	68.20	10.00	682.00
CV	68.20	100	68.20	10.00	682.00
Sum			207.86	17562.31	
Avg. Existing Grade					79.00
Max. Slope (deg)					20.88

GV - AVERAGE EXISTING GROUND CALCULATION					
Point #	Elevation (PS)	Area #	Area (PS)	Area (Sq Ft)	Area x Elevation
A	68.40	1	87.50	19.00	1662.50
B	68.50	2	88.20	18.00	1587.60
C	70.00	3	70.00	3.00	210.00
D	70.45	4	70.45	10.21	720.45
E	70.60	5	70.60	10.21	720.45
F	64.40	6	64.40	20.00	1288.00
G	64.40	7	64.40	20.00	1288.00
H	61.88	8	61.88	8.42	521.14
I	61.50	9	61.50	8.42	508.23
J	63.50	10	63.50	8.00	508.00
K	64.40	11	64.40	20.00	1288.00
L	64.40	12	64.40	20.00	1288.00
M	62.00	13	62.00	10.21	650.82
N	70.45	14	70.45	10.21	720.45
O	70.50	15	70.50	10.00	705.00
P	70.50	16	70.50	10.00	705.00
Q	68.00	17	68.00	10.00	680.00
R	68.20	18	68.20	10.00	682.00
S	68.20	19	68.20	10.00	682.00
T	68.20	20	68.20	10.00	682.00
U	68.20	21	68.20	10.00	682.00
V	68.20	22	68.20	10.00	682.00
W	68.20	23	68.20	10.00	682.00
X	68.20	24	68.20	10.00	682.00
Y	68.20	25	68.20	10.00	682.00
Z	68.20	26	68.20	10.00	682.00
AA	68.20	27	68.20	10.00	682.00
AB	68.20	28	68.20	10.00	682.00
AC	68.20	29	68.20	10.00	682.00
AD	68.20	30	68.20	10.00	682.00
AE	68.20	31	68.20	10.00	682.00
AF	68.20	32	68.20	10.00	682.00
AG	68.20	33	68.20	10.00	682.00
AH	68.20	34	68.20	10.00	682.00
AI	68.20	35	68.20	10.00	682.00
AJ	68.20	36	68.20	10.00	682.00
AK	68.20	37	68.20	10.00	682.00
AL	68.20	38	68.20	10.00	682.00
AM	68.20	39	68.20	10.00	682.00
AN	68.20	40	68.20	10.00	682.00
AO	68.20	41	68.20	10.00	682.00
AP	68.20	42	68.20	10.00	682.00
AQ	68.20	43	68.20	10.00	682.00
AR	68.20	44	68.20	10.00	682.00
AS	68.20	45	68.20	10.00	682.00
AT	68.20	46	68.20	10.00	682.00
AU	68.20	47	68.20	10.00	682.00
AV	68.20	48	68.20	10.00	682.00
AW	68.20	49	68.20	10.00	682.00
AX	68.20	50	68.20	10.00	682.00
AY	68.20	51	68.20	10.00	682.00
AZ	68.20	52	68.20	10.00	682.00
BA	68.20	53	68.20	10.00	682.00
BB	68.20	54	68.20	10.00	682.00
BC	68.20	55	68.20	10.00	682.00
BD	68.20	56	68.20	10.00	682.00
BE	68.20	57	68.20	10.00	682.00
BF	68.20	58	68.20	10.00	682.00
BG	68.20	59	68.20	10.00	682.00
BH	68.20	60	68.20	10.00	682.00
BI	68.20	61	68.20	10.00	682.00
BJ	68.20	62	68.20	10.00	682.00
BK	68.20	63	68.20	10.00	682.00
BL	68.20	64	68.20	10.00	682.00
BM	68.20	65	68.20	10.00	682.00
BN	68.20	66	68.20	10.00	682.00
BO	68.20	67	68.20	10.00	682.00
BP	68.20	68	68.20	10.00	682.00
BQ	68.20	69	68.20	10.00	682.00
BR	68.20	70	68.20	10.00	682.00
BS	68.20	71	68.20	10.00	682.00
BT	68.20	72	68.20	10.00	682.00
BU	68.20	73	68.20	10.00	682.00
BV	68.20	74	68.20	10.00	682.00
BW	68.20	75	68.20	10.00	682.00
BX	68.20	76	68.20	10.00	682.00
BY	68.20	77	68.20	10.00	682.00
BZ	68.20	78	68.20	10.00	682.00
CA	68.20	79	68.20	10.00	682.00
CB	68.20	80	68.20	10.00	682.00
CC	68.20	81	68.20	10.00	682.00
CD	68.20	82	68.20	10.00	682.00
CE	68.20	83	68.20	10.00	682.00
CF	68.20	84	68.20	10.00	682.00
CG	68.20	85	68.20	10.00	682.00
CH	68.20	86	68.20	10.00	682.00
CI	68.20	87	68.20	10.00	682.00
CJ	68.20	88	68.20	10.00	682.00
CK	68.20	89	68.20	10.00	682.00
CL	68.20	90	68.20	10.00	682.00
CM	68.20	91	68.20	10.00	682.00
CN	68.20	92	68.20	10.00	682.00
CO	68.20	93	68.20	10.00	682.00
CP	68.20	94	68.20	10.00	682.00
CQ	68.20	95	68.20	10.00	682.00
CR	68.20	96	68.20	10.00	682.00
CS	68.20	97	68.20	10.00	682.00
CT	68.20	98	68.20	10.00	682.00
CU	68.20	99	68.20	10.00	682.00
CV	68.20	100	68.20	10.00	682.00
Sum			207.86	17562.31	
Avg. Existing Grade					79.00
Max. Slope (deg)					20.88



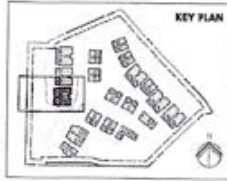
SET - AVERAGE PROPOSED GRADE CALCULATION					
Set #	Location	Set #	Location	Ag. Elevation	Ag. Elevation
A	B	C	D	E	F
A	88.35 B	88.35	88.35	18.30	1040.00
B	88.35 C	88.35	88.35	18.30	1114.50
C	88.35 D	88.35	88.35	18.30	832.74
D	78.45 E	78.45	78.45	18.21	770.43
E	78.45 F	84.43	78.45	18.21	818.78
F	36.43 G	84.43	84.43	20.00	1750.87
G	84.43 H	81.88	81.88	8.00	408.96
H	81.88 I	81.88	81.88	8.43	582.74
I	81.88 J	82.50	82.50	8.42	508.39
J	81.88 K	81.45	81.45	8.00	324.78
K	81.45 L	81.45	81.45	20.00	1051.13
L	81.45 M	82.02	82.02	10.21	879.29
M	82.02 N	78.48	78.48	19.21	823.28
N	78.48 O	78.18	78.18	2.08	207.80
O	78.18 P	77.18	77.18	18.46	1188.00
P	77.18 Q	80.20	71.00	18.20	1138.84
Q	80.20 R	80.20	80.20	15.00	1078.63
R	80.20 S	82.20	82.20	1.50	89.82
S	82.20 T	82.20	82.20	8.20	878.88
T	82.20 U	84.15	84.00	8.20	881.36
U	84.15 V	88.15	86.10	1.00	84.10
V	88.15 A	88.15	88.15	18.88	1225.13
Total				117.88	17954.82
Avg. Finish Grade					74.84
Max. Rise (magn) (%)					100.88

SET - AVERAGE EXISTING GRADE CALCULATION					
Set #	Location	Set #	Location	Ag. Elevation	Ag. Elevation
A	B	C	D	E	F
A	82.40 B	82.40	82.40	18.80	1912.88
B	82.40 C	82.40	82.40	19.46	1612.88
C	82.40 D	82.40	82.40	10.21	2002.88
D	82.40 E	88.37	88.37	10.21	878.88
E	88.37 F	88.37	88.37	18.21	889.88
F	88.37 G	71.00	81.00	20.80	1488.81
G	71.00 H	88.72	88.86	8.80	419.13
H	88.72 I	88.72	88.84	8.42	442.88
I	88.72 J	86.72	86.45	8.00	468.88
J	86.72 K	79.00	71.00	8.30	408.87
K	79.00 L	79.00	79.88	23.30	1484.54
L	79.00 M	88.82	71.12	13.21	728.88
M	88.82 N	87.88	87.88	3.00	708.88
N	87.88 O	87.75	87.85	18.46	1111.21
O	87.75 P	88.82	78.88	18.80	1288.88
P	88.82 Q	88.12	88.88	18.88	1244.23
Q	88.12 R	88.20	88.20	1.20	83.20
R	88.20 S	84.45	74.88	8.20	817.47
S	84.45 T	84.21	84.21	8.75	833.88
T	84.21 U	84.21	84.01	1.20	84.21
U	84.21 V	82.48	82.31	18.88	889.78
Total				227.88	18828.88
Avg. Existing Grade					82.88
Max. Rise (magn) (%)					88.81



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - H1 H2			TOP OF FINISH FLOOR - H1 H2		
Level	Min	Upper	Level	Min	Upper
20.30 m	23.00 m	26.14 m	71.32'	80.72'	85.93'
84.12'	75.78'	85.12'			



These plans remain the ownership of Sterling Pacific

REVISED: 2020
Prepared for: SPP Planning
SPPD Public Comment Period
City of BC, BC Planning
Vancouver, BC
Aug 31, 2020
04/17/2022
JUL 21, 2022
Oct 1, 2022



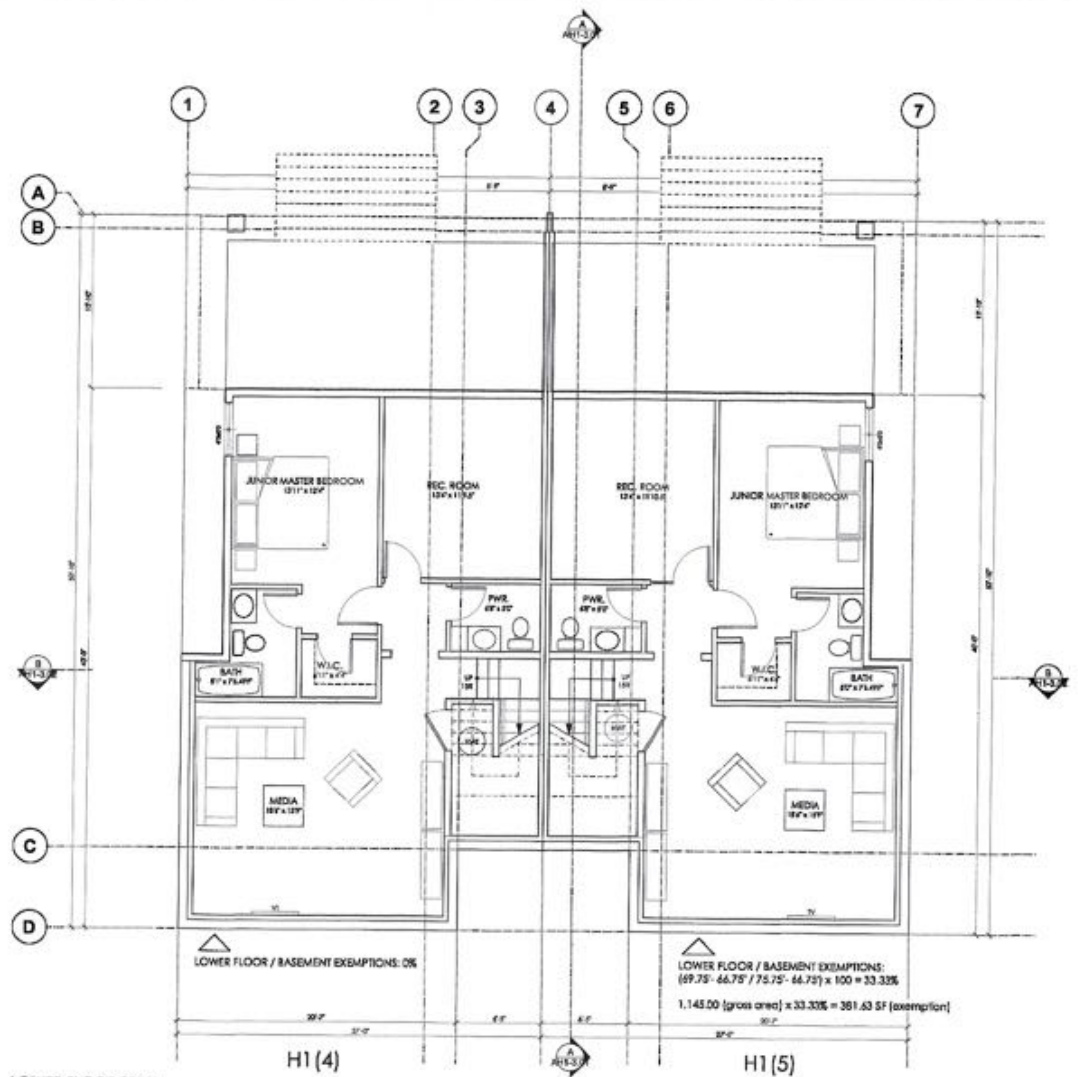
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
SITE PLAN

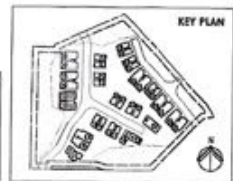
PROJECT: 609
SCALE: 1/8"=1'-0"
DATE: OCT 1, 2020
SHEET: **AH1-1.01**

These plans remain the ownership of Sterling Pacific

REVISIONS	
Found for Drafting	Aug 26, 2020
CH2C Main Comment Review	May 19, 2020
CL 20.00 Review	July 17, 2020
Final Admin	Oct 1, 2020



LOWER FLOOR PLAN
UNIT H1



PROJECT
AQUILA
DAIFOOD DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
LOWER FLOOR PLAN

UNIT 4 FLOOR AREAS IMPERIAL				
	LEVEL 1 00 FT	LEVEL 2 00 FT	LEVEL 3 00 FT	TOTAL
GROSS	903.0 SF	1295.0 SF	1351.0 SF	3549.0 SF
DAMAGE EXCLUSIONS	0.0 SF	0.0 SF	454.0 SF	454.0 SF
BASEMENT EXCLUSIONS 0%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	141.0 SF	0.0 SF	141.0 SF
NET	903.0 SF	1295.0 SF	897.0 SF	3095.0 SF

UNIT 4 FLOOR AREAS METRIC				
	LEVEL 1 00 M	LEVEL 2 00 M	LEVEL 3 00 M	TOTAL
GROSS	83.50 M ²	120.20 M ²	125.20 M ²	328.90 M ²
DAMAGE EXCLUSIONS	0.00 M ²	0.00 M ²	42.40 M ²	42.40 M ²
BASEMENT EXCLUSIONS 0%	0.00 M ²	0.00 M ²	0.00 M ²	0.00 M ²
COVERED BALCONY EXCLUSIONS	0.00 M ²	13.00 M ²	0.00 M ²	13.00 M ²
NET	83.50 M ²	120.20 M ²	83.20 M ²	286.90 M ²

UNIT 5 FLOOR AREAS IMPERIAL				
	LEVEL 1 00 FT	LEVEL 2 00 FT	LEVEL 3 00 FT	TOTAL
GROSS	903.0 SF	1295.0 SF	1351.0 SF	3549.0 SF
DAMAGE EXCLUSIONS	0.0 SF	0.0 SF	454.0 SF	454.0 SF
BASEMENT EXCLUSIONS 0%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	141.0 SF	0.0 SF	141.0 SF
NET	903.0 SF	1295.0 SF	897.0 SF	3095.0 SF

UNIT 5 FLOOR AREAS METRIC				
	LEVEL 1 00 M	LEVEL 2 00 M	LEVEL 3 00 M	TOTAL
GROSS	83.50 M ²	120.20 M ²	125.20 M ²	328.90 M ²
DAMAGE EXCLUSIONS	0.00 M ²	0.00 M ²	42.40 M ²	42.40 M ²
BASEMENT EXCLUSIONS 0%	0.00 M ²	0.00 M ²	0.00 M ²	0.00 M ²
COVERED BALCONY EXCLUSIONS	0.00 M ²	13.00 M ²	0.00 M ²	13.00 M ²
NET	83.50 M ²	120.20 M ²	83.20 M ²	286.90 M ²

PROJECT: AQUILA
SHEET: 008
SCALE: 1/4" = 1'-0"
DATE: OCT 1, 2020
AH1-2.01

These plans remain the ownership of Sterling Pacific

REVISION 6
 Issued To: SP/Working
 CHD Public Comment Review
 CHD, BC, & Residents
 Work Address

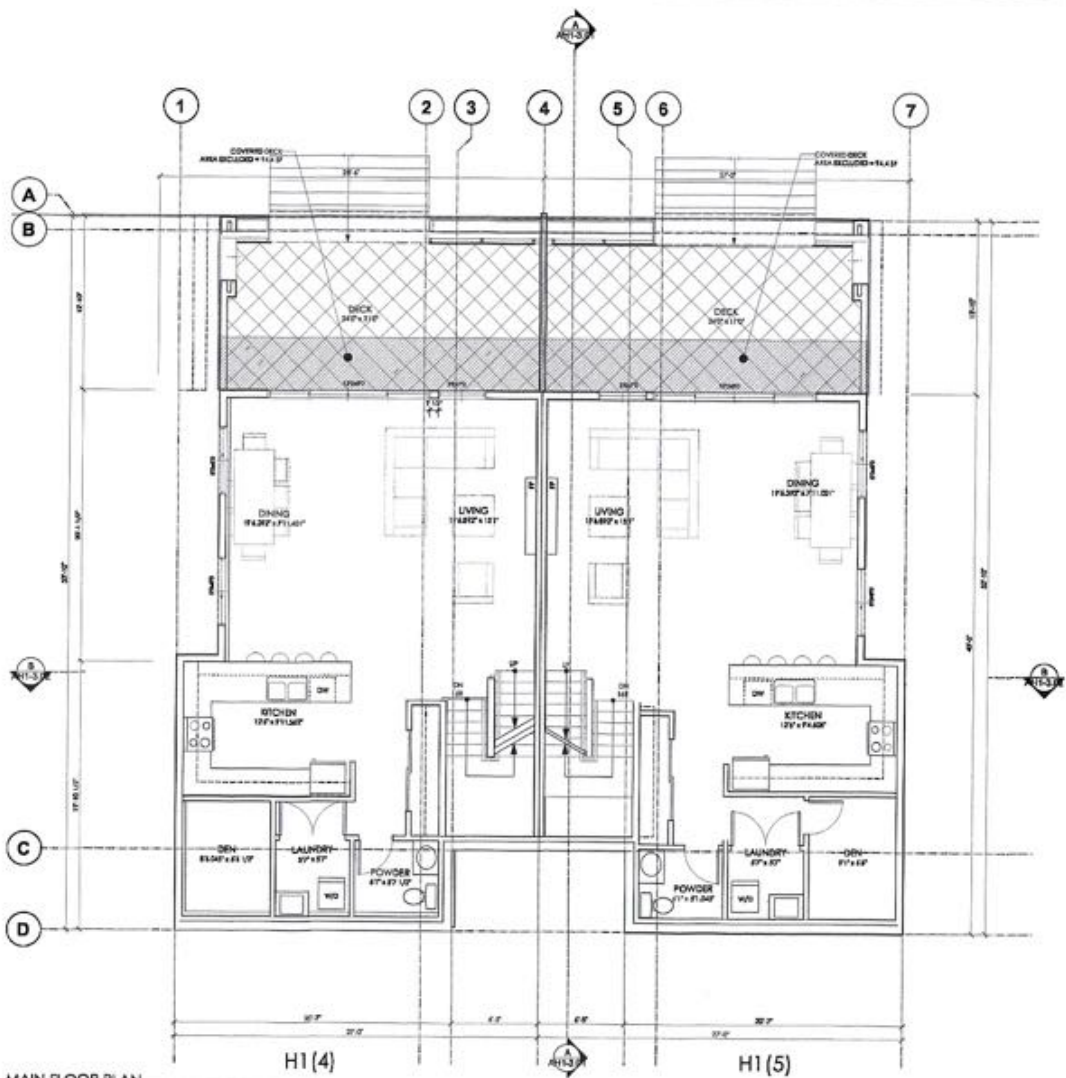
Aug 21, 2021
 MAY 13, 2020
 JAN 21, 2020
 Oct 1, 2020



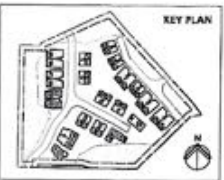
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
MAIN FLOOR PLAN

PROJECT NO. 003
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2020
 SHEET NO. AH1-2.02



MAIN FLOOR PLAN
 UNIT H1



UNIT 4 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GRACE	953.0 SF	120.4 SF	126.2 SF	1099.6 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	456.8 SF	456.8 SF
BATHROOM ENCLOSURE OR COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	2.0 SF	2.0 SF
MEI	953.0 SF	120.4 SF	685.0 SF	1758.4 SF

UNIT 4 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GRACE	88.20 M ²	11.02 M ²	11.62 M ²	110.84 M ²
GARAGE ENCLOSURE	0.0 M ²	0.0 M ²	42.24 M ²	42.24 M ²
BATHROOM ENCLOSURE OR COVERED BALCONY ENCLOSURE	0.0 M ²	0.0 M ²	0.2 M ²	0.2 M ²
MEI	88.20 M ²	11.02 M ²	68.86 M ²	168.08 M ²

UNIT 5 FLOOR AREAS IMPERIAL

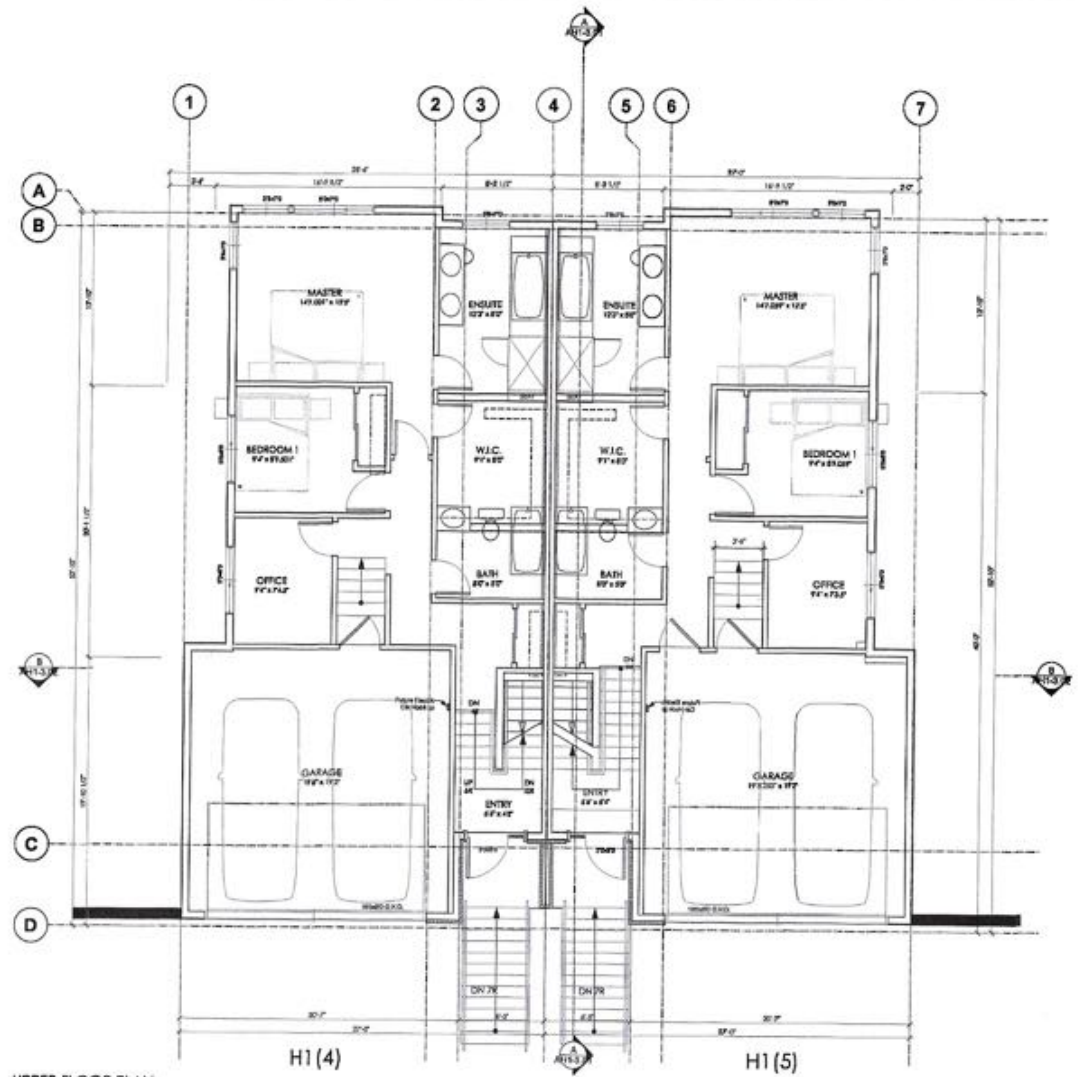
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GRACE	923.0 SF	126.1 SF	130.0 SF	1179.1 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	456.8 SF	456.8 SF
BATHROOM ENCLOSURE OR COVERED BALCONY ENCLOSURE	0.0 SF	0.0 SF	2.0 SF	2.0 SF
MEI	923.0 SF	126.1 SF	694.8 SF	1743.9 SF

UNIT 5 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GRACE	85.20 M ²	11.62 M ²	12.00 M ²	108.82 M ²
GARAGE ENCLOSURE	0.0 M ²	0.0 M ²	42.24 M ²	42.24 M ²
BATHROOM ENCLOSURE OR COVERED BALCONY ENCLOSURE	0.0 M ²	0.0 M ²	0.2 M ²	0.2 M ²
MEI	85.20 M ²	11.62 M ²	69.70 M ²	166.52 M ²

These plans remain the ownership of Sterling Pacific

REVISION	Aug 21, 2001
Issued by: JF/working	MAY 02, 2002
Checked by: JF/working	JULY 21, 2002
Drawn by: JF/working	OCT 1, 2002



UPPER FLOOR PLAN
UNIT H1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
**UPPER FLOOR
PLAN**

PROJECT	NO.	SHEET
SCALE	1/4" = 1'-0"	AH1- 2.03
DATE	OCT 1, 2002	

These plans remain the ownership of Sterling Pacific

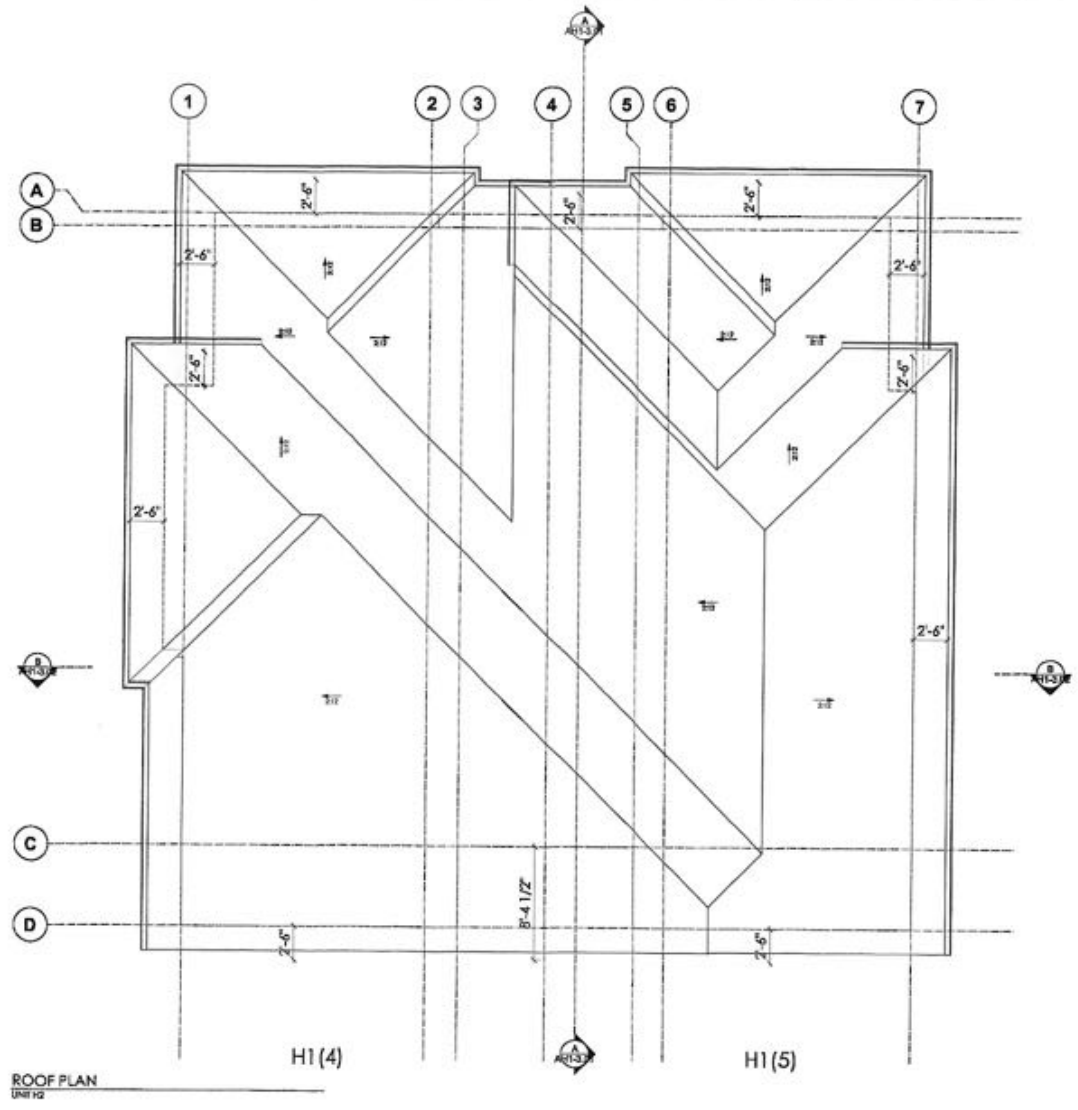
REVISED: DAB
 Revised for GFI Monitoring Aug. 20, 2003
 SNO/ Public Comment/Revisions MAY 15, 2002
 DFL 02, 03 Revisions JULY 20, 2000
 H Unit Address Oct 1, 2000



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

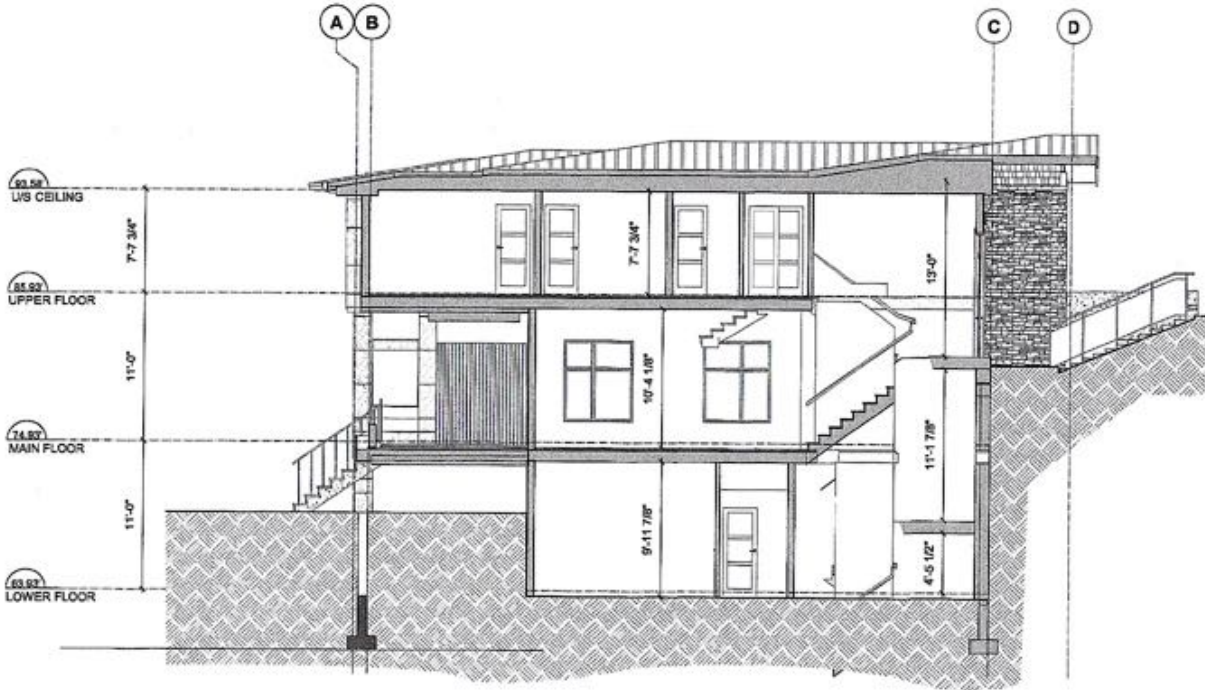
DRAWING
ROOF PLAN

PROJECT	NO.	SHEET
SCALE	1/4" = 1'-0"	AH1-2.04
DATE	OCT 1, 2000	



These plans remain the ownership of Sterling Pacific

REVISED
 (Issued for CF/Planning) Aug. 31, 2021
 DRG Public Comment Review JULY 13, 2020
 PL, BL, SS Review JULY 31, 2019
 Work Address Oct 1, 2020



A SECTION A-A
 Scale: 1/4" = 1'-0"



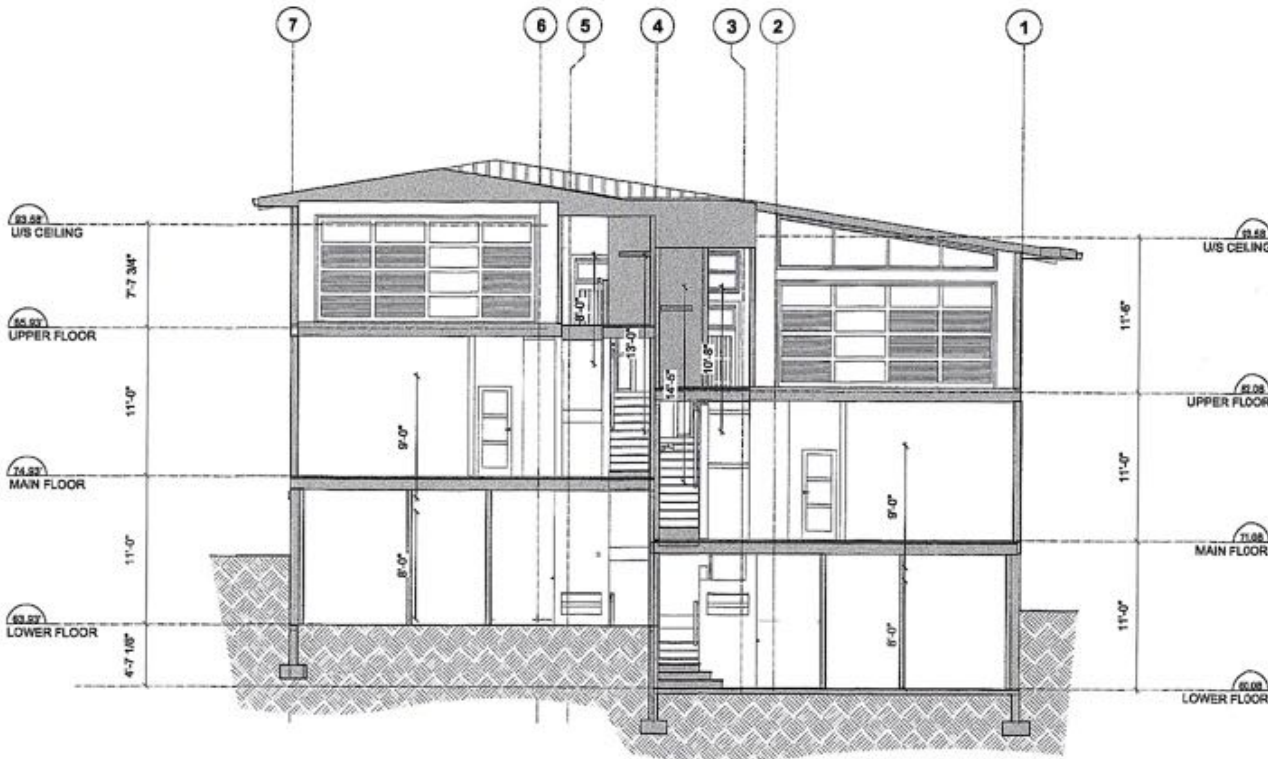
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, SC
 UNIT H1

DRAWING
 SECTION A-A

PROJECT	308	SHEET	AH1-
SCALE	1/4" = 1'-0"		3.01
DATE	OCT 1, 2020		

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for Marketing Aug 21, 2020
 SHD/PMG/Conrad/Revelo MAY 19, 2020
 ST, DL, DR/Revelo JUL 21, 2020
 in post office Oct 1, 2020



B SECTION B-B
 Scale: 1/4" = 1'-0"



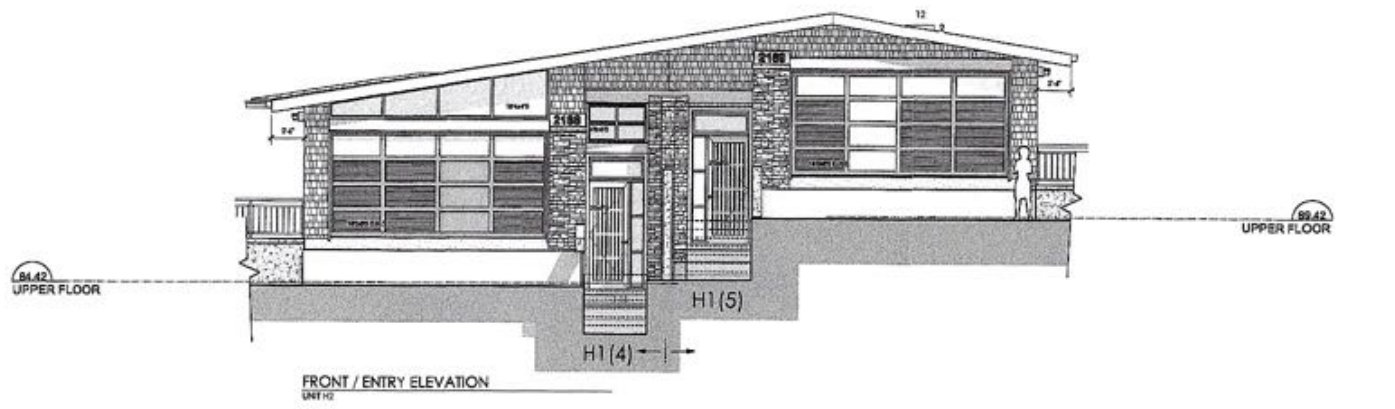
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 SECTION B-B

PROJECT	NO.	SHEET AH1-3.02
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2020	

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for/Revised Aug 21, 2001
 OMD Public Comment Response MAY 13, 2002
 O1, O2, O3 Revisions JULY 31, 2002
 Work orders Oct 1, 2002



LOWER FLOOR / BASEMENT EXEMPTIONS:
 [49.75' - 66.75' / 75.75' - 66.75'] x 100 = 33.33%
 1,145.00 (gross area) x 33.33% = 381.43 SF (exemption)



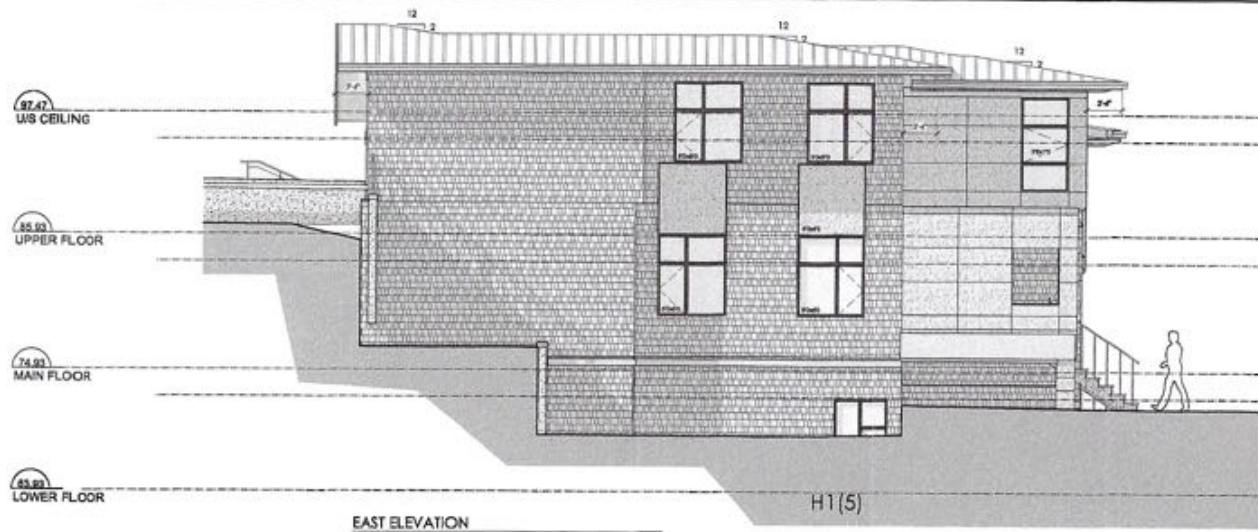
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
**FRONT & BACK
 ELEVATIONS B/W**

PROJECT	800	SHEET	AH1- 4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2002		

These plans remain the ownership of Sterling Pacific

REVISIONS	DATE
Checked by: JF/Reynolds	Aug 21, 2021
ORIG/Field: Gernon/Reynolds	May 13, 2020
DTL, GL, GR/Reynolds	July 21, 2023
Handwritten	Oct 1, 2023



EAST ELEVATION
UNIT H1(5)

SPATIAL SEPARATION CALCULATION (BCIN TABLE 2.2.3.1.01)

EXPOSED BUILDING FACE: 1385.23 SF (119.40 SM)
 LANDING DISTANCE: 4.07' (1.22 M)
 UNPROTECTED OPENING: 174.20 SF (16.40 SM)
 PROPOSED OPENING: 13.73%
 PERMITTED OPENINGS: 14.08%



WEST ELEVATION
UNIT H1(4)



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT H1

DRAWING

**EAST & WEST
ELEVATIONS B/W**

PROJECT	SHEET
NOO	AH1-4.02
SCALE	1/2"=1'-0"
DATE	OCT 1, 2023



FRONT / ENTRY ELEVATION
UNIT HQ



BACK ELEVATION
UNIT HQ



AGUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Clare "K" Metal Roof	Charcoal Gray
1.2	Free Cement Soffit	Rockport Gray BM-HC-103
1.3	Roofline	Charcoal Gray
3.1	Free Cement Shingles	Woodstone Rustic Series Carbon Trails
3.2	Hard Panel	Light Mist
3.3	Hard Panel	Light Mist
3.4	Hard Panel	Light Mist
3.5	Hard Panel	Light Mist
3.6	Hard Panel	Light Mist
3.7	Hard Panel	Light Mist
3.8	Hard Panel	Light Mist
4.1	Entry Door	Old Master Oil Stain Clear Top Coat - Special Walnut
4.2	Window	Clear Top Coat - Special Walnut
4.3	Window	Clear Top Coat - Special Walnut
4.4	Window	Clear Top Coat - Special Walnut
4.5	Window	Clear Top Coat - Special Walnut
4.6	Window	Clear Top Coat - Special Walnut
4.7	Window	Clear Top Coat - Special Walnut
4.8	Window	Clear Top Coat - Special Walnut
4.9	Window	Clear Top Coat - Special Walnut
4.10	Window	Clear Top Coat - Special Walnut
4.11	Window	Clear Top Coat - Special Walnut
4.12	Window	Clear Top Coat - Special Walnut
4.13	Window	Clear Top Coat - Special Walnut
4.14	Window	Clear Top Coat - Special Walnut
4.15	Window	Clear Top Coat - Special Walnut
4.16	Window	Clear Top Coat - Special Walnut
4.17	Window	Clear Top Coat - Special Walnut
4.18	Window	Clear Top Coat - Special Walnut
4.19	Window	Clear Top Coat - Special Walnut
4.20	Window	Clear Top Coat - Special Walnut
4.21	Window	Clear Top Coat - Special Walnut
4.22	Window	Clear Top Coat - Special Walnut
4.23	Window	Clear Top Coat - Special Walnut
4.24	Window	Clear Top Coat - Special Walnut
4.25	Window	Clear Top Coat - Special Walnut
4.26	Window	Clear Top Coat - Special Walnut
4.27	Window	Clear Top Coat - Special Walnut
4.28	Window	Clear Top Coat - Special Walnut
4.29	Window	Clear Top Coat - Special Walnut
4.30	Window	Clear Top Coat - Special Walnut
4.31	Window	Clear Top Coat - Special Walnut
4.32	Window	Clear Top Coat - Special Walnut
4.33	Window	Clear Top Coat - Special Walnut
4.34	Window	Clear Top Coat - Special Walnut
4.35	Window	Clear Top Coat - Special Walnut
4.36	Window	Clear Top Coat - Special Walnut
4.37	Window	Clear Top Coat - Special Walnut
4.38	Window	Clear Top Coat - Special Walnut
4.39	Window	Clear Top Coat - Special Walnut
4.40	Window	Clear Top Coat - Special Walnut
4.41	Window	Clear Top Coat - Special Walnut
4.42	Window	Clear Top Coat - Special Walnut
4.43	Window	Clear Top Coat - Special Walnut
4.44	Window	Clear Top Coat - Special Walnut
4.45	Window	Clear Top Coat - Special Walnut
4.46	Window	Clear Top Coat - Special Walnut
4.47	Window	Clear Top Coat - Special Walnut
4.48	Window	Clear Top Coat - Special Walnut
4.49	Window	Clear Top Coat - Special Walnut
4.50	Window	Clear Top Coat - Special Walnut
4.51	Window	Clear Top Coat - Special Walnut
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4.61	Window	Clear Top Coat - Special Walnut
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4.70	Window	Clear Top Coat - Special Walnut
4.71	Window	Clear Top Coat - Special Walnut
4.72	Window	Clear Top Coat - Special Walnut
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4.74	Window	Clear Top Coat - Special Walnut
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4.80	Window	Clear Top Coat - Special Walnut
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4.91	Window	Clear Top Coat - Special Walnut
4.92	Window	Clear Top Coat - Special Walnut
4.93	Window	Clear Top Coat - Special Walnut
4.94	Window	Clear Top Coat - Special Walnut
4.95	Window	Clear Top Coat - Special Walnut
4.96	Window	Clear Top Coat - Special Walnut
4.97	Window	Clear Top Coat - Special Walnut
4.98	Window	Clear Top Coat - Special Walnut
4.99	Window	Clear Top Coat - Special Walnut
4.100	Window	Clear Top Coat - Special Walnut

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REVISIONS	
Revised for Marketing	Aug 31, 2021
SRG Public Comment Revisions	MAY 13, 2022
SI, DS, B Revisions	JULY 21, 2022
Final Revisions	OCT 1, 2022



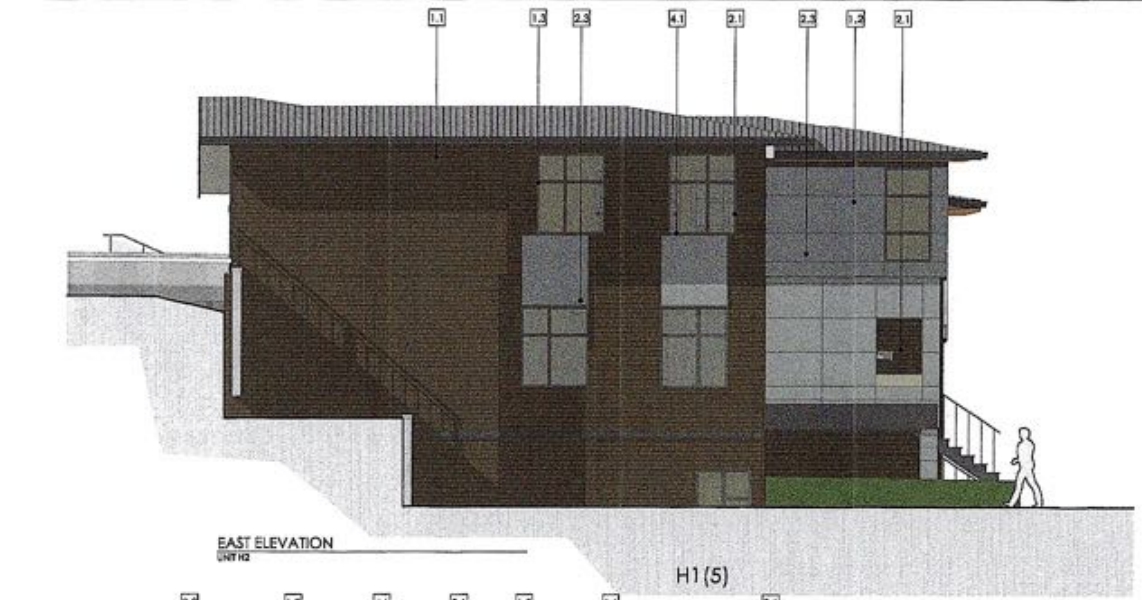
PROJECT
AGUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT #	SHEET
127471-0	AH1-4.03
SCALE	1/2" = 1'-0"
DATE	OCT 1, 2022

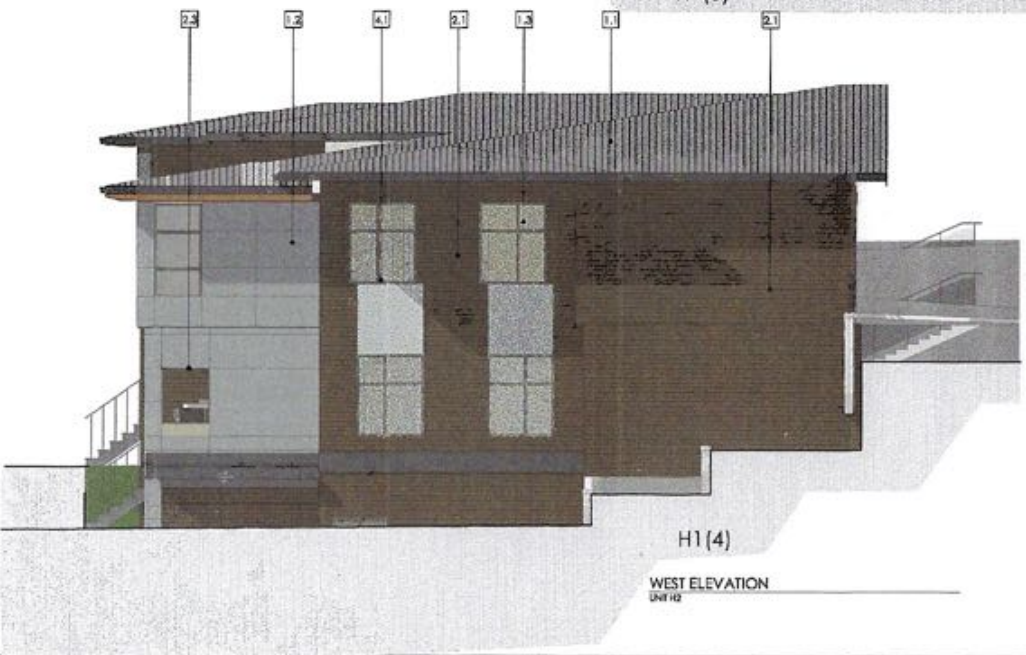
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for MF/Resolving Aug. 21, 2020
 DRD Public Comment Revisions MAY 13, 2020
 01, 02, 03 Revisions JULY 21, 2019
 Final Additions Oct 1, 2019



EAST ELEVATION
UNIT H1(5)

H1(5)



WEST ELEVATION
UNIT H1(4)

H1(4)

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Clas "K" Metal Roof	Charcoal Grey
1.2	Flint Cement Sill	Reynolds Grey 304-102-105
1.3	Clas	Charcoal Grey
2.1	Flint Cement Sill	Woodsline Ruffe Sable Carbon Tolu
2.2	Flint	Light Gray
2.3	Flint	Light Gray
3.1	Flint	Flint
3.2	Flint	Flint
3.3	Flint	Flint
3.4	Flint	Flint
3.5	Flint	Flint
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3.80	Flint	Flint
3.81	Flint	Flint
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3.88	Flint	Flint
3.89	Flint	Flint
3.90	Flint	Flint
3.91	Flint	Flint
3.92	Flint	Flint
3.93	Flint	Flint
3.94	Flint	Flint
3.95	Flint	Flint
3.96	Flint	Flint
3.97	Flint	Flint
3.98	Flint	Flint
3.99	Flint	Flint
3.100	Flint	Flint



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
**EAST & WEST
 ELEVATIONS**

PROJECT NO. 800
 SHEET
**AH1-
 4.04**
 SCALE 1/4"=1'-0"
 DATE OCT 1, 2020

These plans remain the ownership of Sterling Pacific

REVISED
Issued for 3D Modeling Aug 4, 2010
3D Model Comment Review MAY 15, 2010
SI, SO, OS Revisions JULY 31, 2010
Final Release Oct 1, 2010



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT #2



BACK ELEVATION - CAMERA VIEW
UNIT #2



BACK ELEVATION - CAMERA VIEW
UNIT #1



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT #1

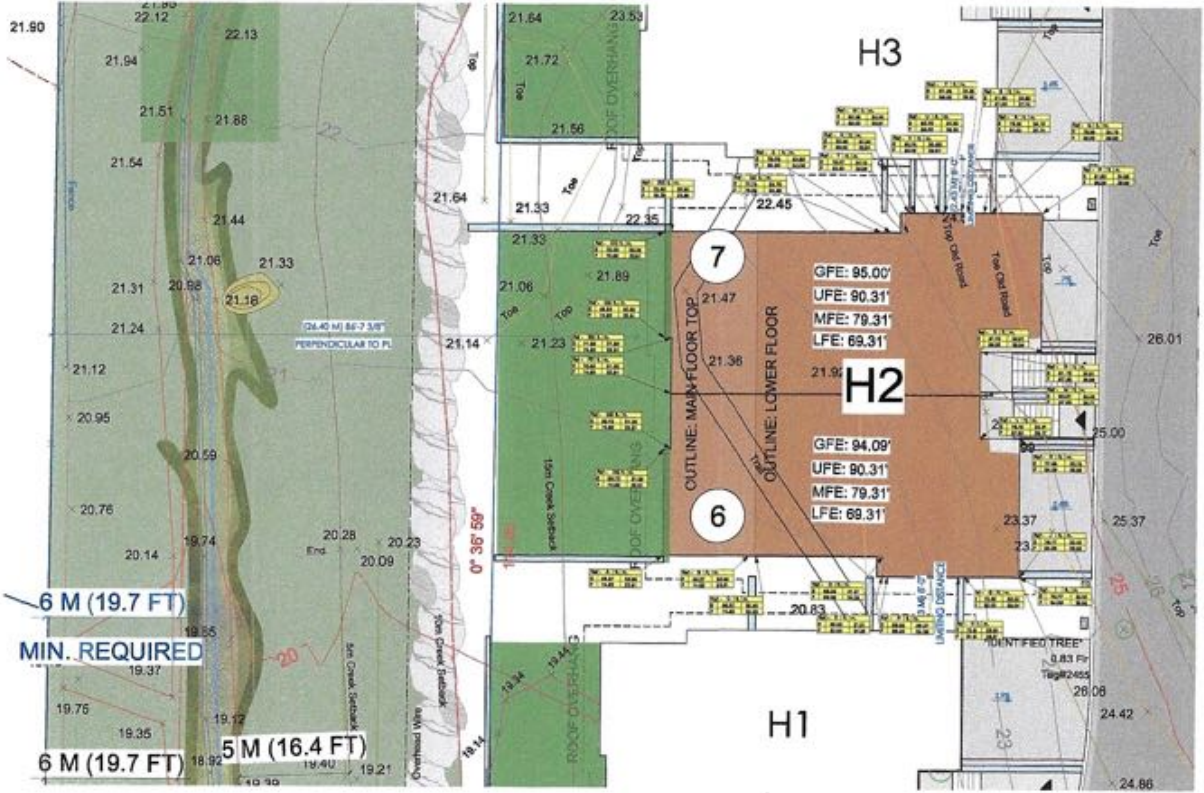
DRAWING

FRONT, BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	SHEET
SCALE	AH1-
DATE	4.05

MG - AVERAGE EXISTING GRADE CALCULATION						
Start #	Endstation	Start #	Endstation	Avg. Elevation	Offset	Avg. & Distance
PS	PS	PS	PS	PS	PS	
A	74.820	74.820	74.820	74.820	19.75	383.95
B	74.820	74.820	74.820	74.820	1.90	78.81
C	78.820	80.00	79.40	79.70	19.75	1488.10
D	80.820	80.00	80.00	80.00	3.00	240.00
E	80.820	80.00	80.00	80.00	1.00	80.00
F	80.820	80.00	80.78	80.40	3.00	240.10
G	80.820	80.00	80.78	80.40	1.00	80.10
H	84.820	84.00	83.20	83.75	6.75	556.15
I	84.820	84.00	83.20	83.75	1.00	84.00
J	84.820	84.00	84.00	84.00	19.75	1968.00
K	84.820	80.00	80.00	80.00	3.00	240.75
L	87.820	87.00	87.00	87.00	9.00	810.00
M	87.820	87.00	87.00	87.00	3.00	240.00
N	87.820	88.00	87.40	87.60	3.00	240.75
O	88.820	88.00	88.00	88.00	30.00	2400.00
P	87.820	85.00	85.00	85.00	7.00	560.00
Q	81.820	81.00	81.00	81.00	1.00	80.00
R	81.820	80.00	80.00	80.00	3.00	240.75
S	81.820	80.00	80.00	80.00	1.00	80.00
T	85.820	85.00	85.00	85.00	3.00	240.00
U	85.820	85.00	85.00	85.00	1.00	80.00
V	85.820	85.00	85.00	85.00	3.00	240.00
W	85.820	85.00	85.00	85.00	1.00	80.00
X	85.820	82.00	81.80	81.80	3.00	240.00
Y	82.820	82.00	82.00	82.00	3.00	240.00
Z	82.820	82.00	82.00	82.00	1.00	80.00
AA	78.280	78.280	78.280	78.280	28.00	2240.00
BB	78.280	78.280	78.280	78.280	1.00	78.280
CC	74.820	74.820	74.820	74.820	19.75	1718.10
DD	74.820	74.820	74.820	74.820	1.00	74.820
EE	74.820	74.820	74.820	74.820	3.00	240.00
FF	74.820	74.820	74.820	74.820	3.00	240.00
GG	74.820	74.820	74.820	74.820	1.00	74.820
HH	74.820	74.820	74.820	74.820	19.75	1718.10
Total					203.75	17188.81
Avg. Existing Grade						83.88
Min. Slope (PS)						28.85

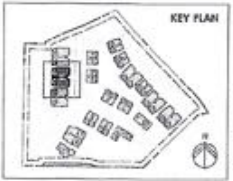
MG - AVERAGE EXISTING GRADE CALCULATION						
Start #	Endstation	Start #	Endstation	Avg. Elevation	Offset	Avg. & Distance
PS	PS	PS	PS	PS	PS	
A	88.270	8	88.270	88.270	19.75	833.44
B	88.270	2	88.270	88.270	1.00	88.270
C	88.270	4	88.80	88.80	19.75	1266.20
D	88.270	6	88.80	88.80	3.00	240.75
E	88.270	8	88.80	88.80	1.00	88.80
F	88.270	7	78.80	78.80	3.00	240.00
G	78.820	8	78.820	78.820	1.00	78.820
H	78.820	8	78.72	78.80	8.75	871.88
I	78.720	10	78.720	78.720	1.00	78.720
J	78.720	11	77.80	77.80	19.75	1569.00
K	77.800	12	78.70	78.70	8.00	648.00
L	78.700	13	80.21	78.46	8.25	678.68
M	80.210	14	81.75	80.80	8.00	648.00
N	81.750	16	81.750	81.750	8.00	648.00
O	81.750	18	81.80	81.80	88.00	7784.34
P	81.800	17	78.00	80.50	7.00	560.00
Q	78.000	18	78.00	78.00	1.00	78.00
R	78.000	19	81.80	80.00	3.00	240.00
S	81.800	20	81.80	81.80	1.00	81.80
T	81.800	21	80.70	81.17	8.25	681.75
U	80.700	20	80.70	80.70	1.00	80.70
V	80.700	20	80.36	80.64	3.00	240.75
W	80.360	24	80.36	80.36	1.00	80.36
X	80.360	25	79.07	79.72	5.00	400.10
Y	79.070	26	78.28	78.68	3.00	240.75
Z	78.280	27	77.80	77.80	1.00	77.80
AA	77.800	28	78.80	78.78	20.00	2000.00
BB	78.800	29	78.80	78.80	1.00	78.80
CC	88.280	31	71.80	80.00	1.00	80.00
DD	71.800	30	70.84	71.80	8.25	680.00
EE	70.840	32	81.70	76.10	8.25	678.75
FF	81.700	34	80.70	80.70	1.00	80.70
GG	80.700	35	88.270	88.270	19.75	1569.00
Total					203.75	17188.12
Avg. Existing Grade						79.00
Min. Slope (PS)						28.85



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G1 (G)		
Lower	Min	Upper
79.30 m	79.34 m	79.37 m
79.32	79.37	79.39

TOP OF FINISH FLOOR - G2 (G)		
Lower	Min	Upper
79.33 m	79.36 m	79.39 m
79.35	79.37	79.39



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REVISED
Issued For/By/Revised
CADD File/Comment/Revision
DL, DL, DL/Revise
Print Address
Aug 31, 2011
MAY 15, 2012
JUL 31, 2012
OCT 1, 2012



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DRAWING
SITE PLAN

PROJECT NO: 800
SCALE: 1/8"=1'-0"
DATE: OCT 1, 2011

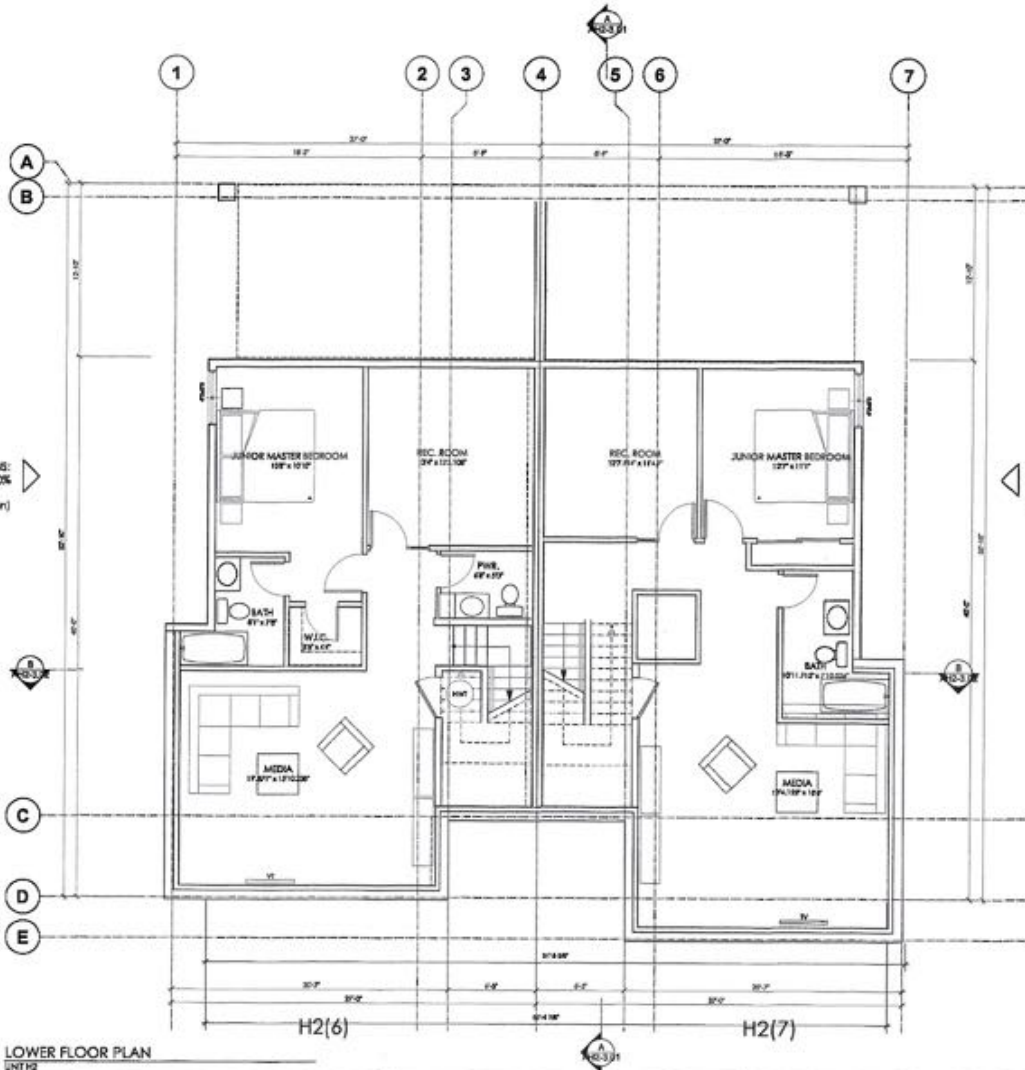
SHEET
AH2-1.01

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REVISIONS
 Issued by GP Planning Aug. 31, 2021
 DRG Public Comment Resolves MAY 12, 2022
 Dr. DL 82 Markers JUL 31, 2022
 Mark Additions OCT 1, 2022

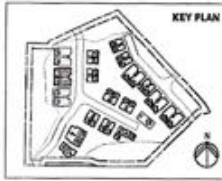
LOWER FLOOR / BASEMENT EXEMPTIONS:
 (73.37' - 73.29' / 83.29' - 73.29') x 100 = 20.80%
 1.145 (gross area) x 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (73.37' - 73.29' / 83.29' - 73.29') x 100 = 20.80%
 1.206.8 (gross area) x 20.80% = 251.01 SF (exemption)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
LOWER FLOOR PLAN



UNIT 6 FLOOR AREAS IMPERIAL	LEVEL 1 30' FT			TOTAL
	LEVEL 1 30' FT	LEVEL 2 30' FT	LEVEL 3 30' FT	
GROSS	1146.0 SF	1284.3 SF	1264.3 SF	3734.6 SF
CHANGE EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BASEMENT EXCLUSIONS 35.8%	25.2 SF	0.0 SF	0.0 SF	25.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	76.0 SF	0.0 SF	76.0 SF
NET	1047.0 SF	1284.3 SF	1264.3 SF	3595.6 SF

UNIT 6 FLOOR AREAS METRIC	LEVEL 1 30' M			TOTAL
	LEVEL 1 30' M	LEVEL 2 30' M	LEVEL 3 30' M	
GROSS	106.4 SQM	128.4 SQM	126.4 SQM	361.2 SQM
CHANGE EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
BASEMENT EXCLUSIONS 35.8%	2.5 SQM	0.0 SQM	0.0 SQM	2.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	7.1 SQM	0.0 SQM	7.1 SQM
NET	94.2 SQM	128.4 SQM	126.4 SQM	349.0 SQM

UNIT 7 FLOOR AREAS IMPERIAL	LEVEL 1 30' FT			TOTAL
	LEVEL 1 30' FT	LEVEL 2 30' FT	LEVEL 3 30' FT	
GROSS	1056.0 SF	1412.9 SF	1413.4 SF	4882.3 SF
CHANGE EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BASEMENT EXCLUSIONS 35.8%	25.0 SF	0.0 SF	0.0 SF	25.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	931.0 SF	1312.9 SF	1413.4 SF	3657.3 SF

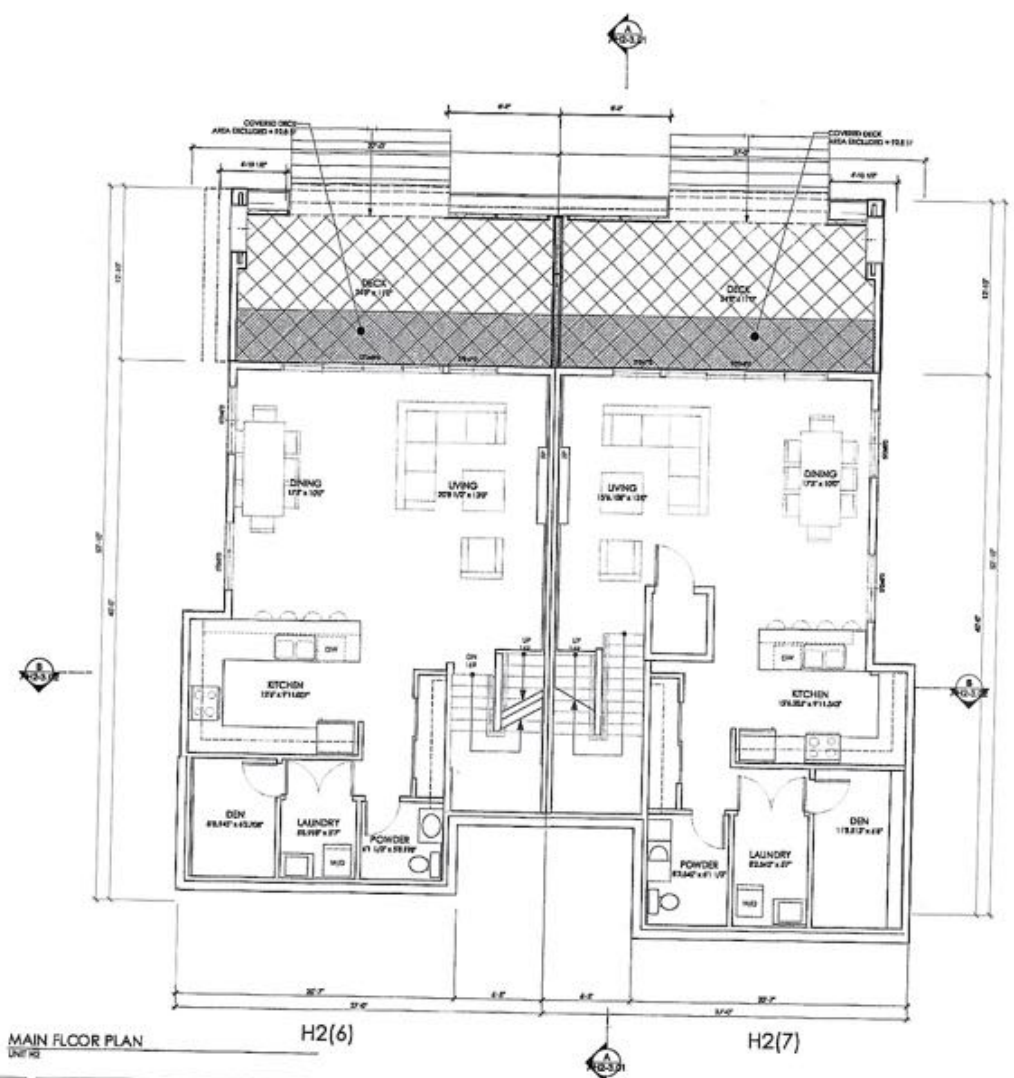
UNIT 7 FLOOR AREAS METRIC	LEVEL 1 30' M			TOTAL
	LEVEL 1 30' M	LEVEL 2 30' M	LEVEL 3 30' M	
GROSS	112.1 SQM	132.3 SQM	131.8 SQM	376.2 SQM
CHANGE EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
BASEMENT EXCLUSIONS 35.8%	2.5 SQM	0.0 SQM	0.0 SQM	2.5 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	7.1 SQM	0.0 SQM	7.1 SQM
NET	93.1 SQM	125.3 SQM	131.8 SQM	350.2 SQM

PROJECT NO. 2021-001
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2022

AH2-2.01

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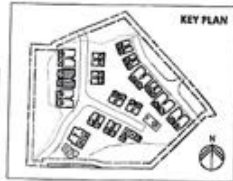
REVISED BY: [Blank] Aug. 21, 2021
 DRAWN BY: [Blank] MAY 13, 2022
 CHECKED BY: [Blank] JAN 21, 2023
 IN CHARGE: [Blank] OCT 1, 2023



MAIN FLOOR PLAN
UNIT H2

H2(6)

H2(7)



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
MAIN FLOOR PLAN

UNIT 6 FLOOR AREAS IMPERIAL	LEVEL 1 30 FT			TOTAL
	LEVEL 2 30 FT	LEVEL 3 30 FT	LEVEL 3 30 FT	
GROSS	1146.0 SF	1384.0 SF	1384.0 SF	3914.0 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	428.8 SF	428.8 SF
BASEMENT ENCLOSURE 35 MIN	282.0 SF	0.0 SF	0.0 SF	282.0 SF
COVERED BALCONY ENCLOSURE	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	764.0 SF	1384.0 SF	952.8 SF	3100.8 SF

UNIT 6 FLOOR AREAS METRIC	LEVEL 1 30 M			TOTAL
	LEVEL 2 30 M	LEVEL 3 30 M	LEVEL 3 30 M	
GROSS	106.4 SQ M	1278.2 SQ M	1278.2 SQ M	3662.8 SQ M
GARAGE ENCLOSURE	0.0 SQ M	0.0 SQ M	392.8 SQ M	392.8 SQ M
BASEMENT ENCLOSURE 35 MIN	262.0 SQ M	0.0 SQ M	0.0 SQ M	262.0 SQ M
COVERED BALCONY ENCLOSURE	0.0 SQ M	1.7 SQ M	0.0 SQ M	1.7 SQ M
NET	704.0 SQ M	1278.2 SQ M	880.8 SQ M	2863.0 SQ M

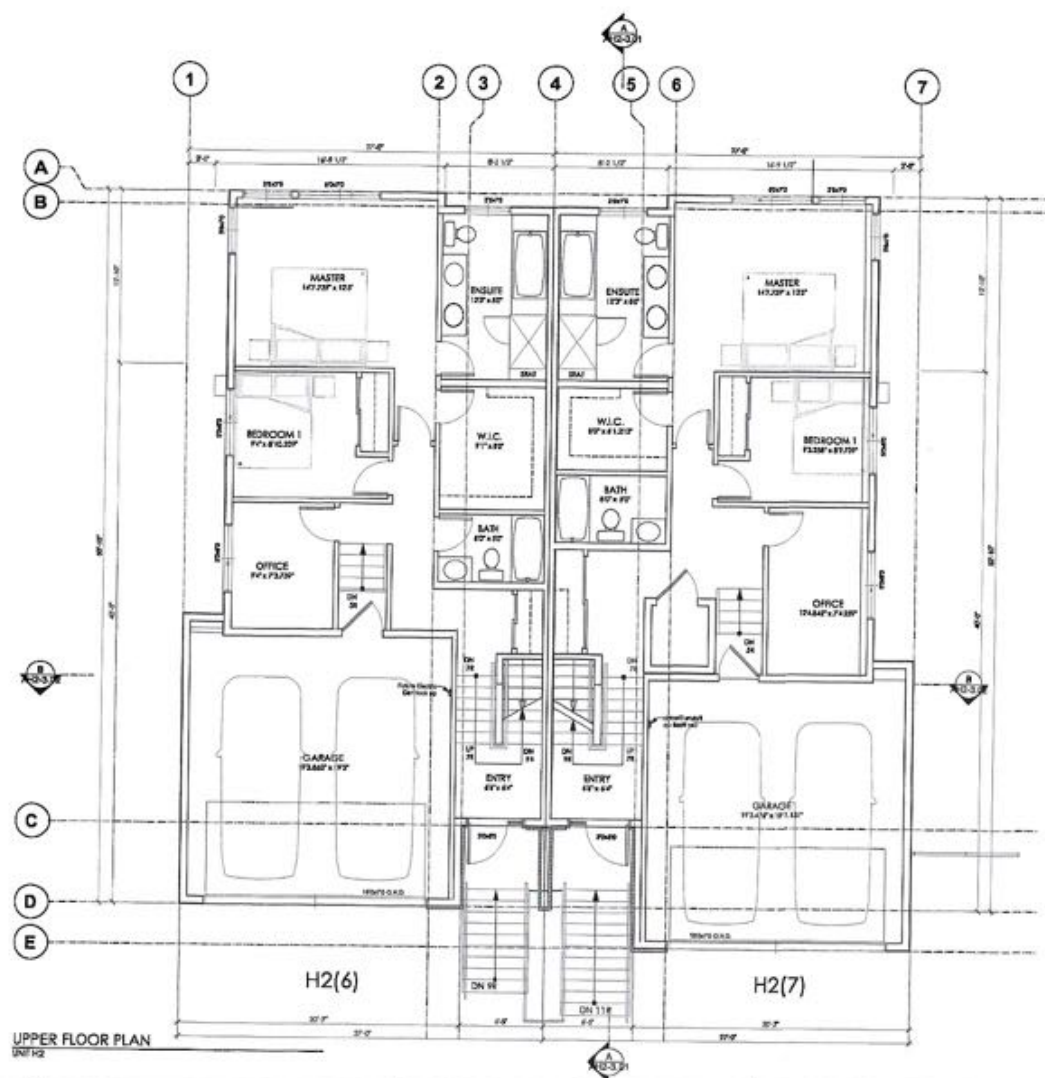
UNIT 7 FLOOR AREAS IMPERIAL	LEVEL 1 30 FT			TOTAL
	LEVEL 2 30 FT	LEVEL 3 30 FT	LEVEL 3 30 FT	
GROSS	1364.0 SF	1119.0 SF	1419.0 SF	3902.0 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	428.8 SF	428.8 SF
BASEMENT ENCLOSURE 35 MIN	282.0 SF	0.0 SF	0.0 SF	282.0 SF
COVERED BALCONY ENCLOSURE	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	982.0 SF	1119.0 SF	980.2 SF	3081.2 SF

UNIT 7 FLOOR AREAS METRIC	LEVEL 1 30 M			TOTAL
	LEVEL 2 30 M	LEVEL 3 30 M	LEVEL 3 30 M	
GROSS	126.2 SQ M	103.2 SQ M	131.9 SQ M	361.3 SQ M
GARAGE ENCLOSURE	0.0 SQ M	0.0 SQ M	392.8 SQ M	392.8 SQ M
BASEMENT ENCLOSURE 35 MIN	262.0 SQ M	0.0 SQ M	0.0 SQ M	262.0 SQ M
COVERED BALCONY ENCLOSURE	0.0 SQ M	1.7 SQ M	0.0 SQ M	1.7 SQ M
NET	92.2 SQ M	103.2 SQ M	980.2 SQ M	2805.6 SQ M

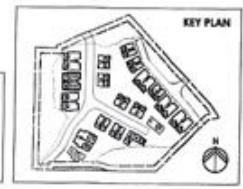
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 SCALE: 1/4" = 1'-0"
 DATE: OCT 1, 2023

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REVISION
 Issued for CP/Revised PG Aug 21, 2001
 3RD Public Consult/Revisions MAY 15, 2002
 ST. BC, 03 Revisions JULY 21, 2002
 Hook additions OCT 1, 2002



UPPER FLOOR PLAN
 UNIT H2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
UPPER FLOOR PLAN

UNIT 6 FLOOR AREAS (IMPERIAL)

	LEVEL 1 10 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1142.0 SF	1384.3 SF	1384.3 SF	3910.6 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	404.8 SF	404.8 SF
BASEMENT EXCLUSIONS	388.0 SF	0.0 SF	0.0 SF	388.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	184.0 SF	0.0 SF	184.0 SF
NET	754.0 SF	1384.3 SF	979.5 SF	2117.8 SF

UNIT 6 FLOOR AREAS (METRIC)

	LEVEL 1 3.0 M	LEVEL 2 9.0 M	LEVEL 3 9.0 M	TOTAL
GROSS	106.4 SQ M	128.4 SQ M	128.4 SQ M	363.2 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS	35.9 SQ M	0.0 SQ M	0.0 SQ M	35.9 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	17.1 SQ M	0.0 SQ M	17.1 SQ M
NET	70.5 SQ M	128.4 SQ M	90.6 SQ M	199.5 SQ M

UNIT 7 FLOOR AREAS (IMPERIAL)

	LEVEL 1 10 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	126.6 SF	161.8 SF	161.8 SF	450.2 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	48.8 SF	48.8 SF
BASEMENT EXCLUSIONS	81.0 SF	0.0 SF	0.0 SF	81.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	45.6 SF	161.8 SF	113.0 SF	320.4 SF

UNIT 7 FLOOR AREAS (METRIC)

	LEVEL 1 3.0 M	LEVEL 2 9.0 M	LEVEL 3 9.0 M	TOTAL
GROSS	116.1 SQ M	151.8 SQ M	151.8 SQ M	419.7 SQ M
GARAGE EXCLUSIONS	0.0 SQ M	0.0 SQ M	36.3 SQ M	36.3 SQ M
BASEMENT EXCLUSIONS	33.3 SQ M	0.0 SQ M	0.0 SQ M	33.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	1.7 SQ M	0.0 SQ M	1.7 SQ M
NET	82.8 SQ M	151.8 SQ M	115.5 SQ M	250.1 SQ M

PROJECT SHEET
 NO. 003
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2002
AH2-2.03

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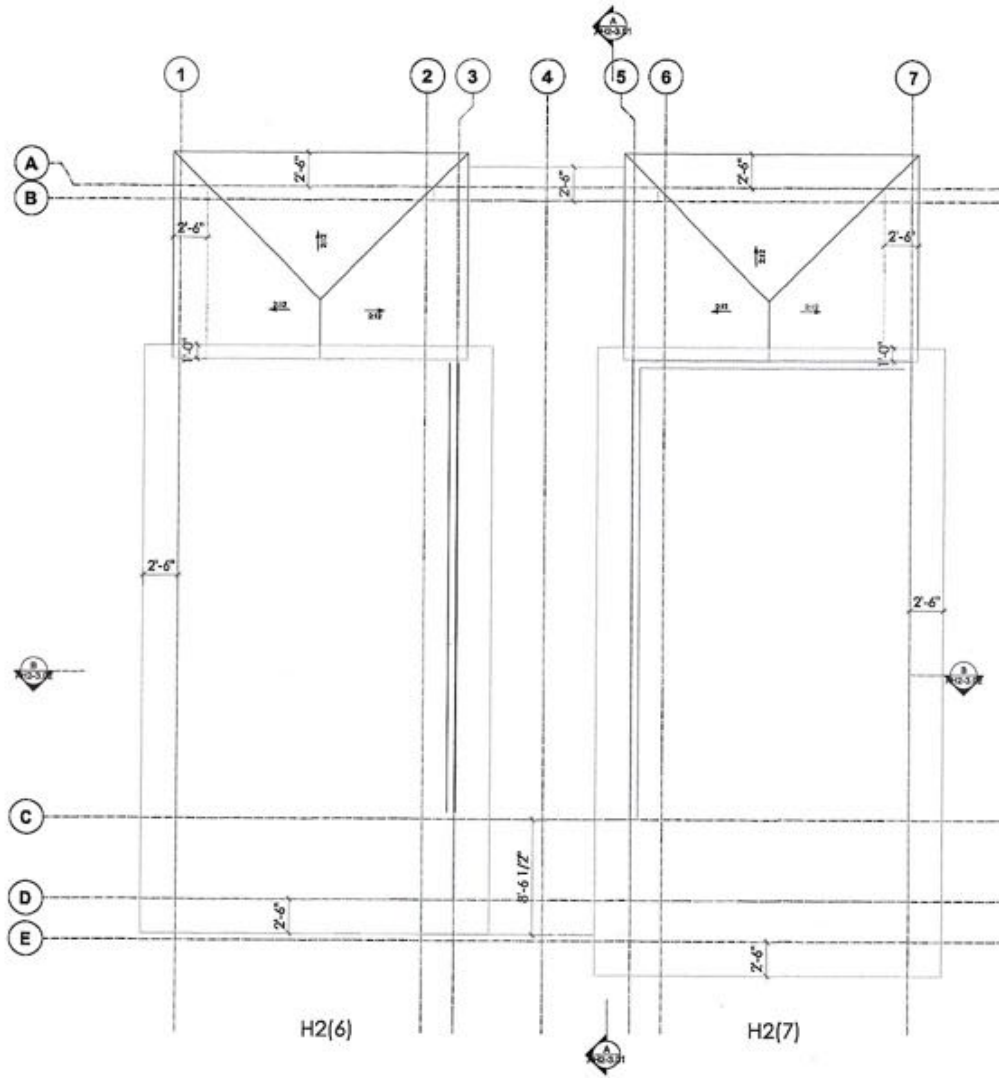
REVISIONS	DATE
Issued for RFP/Marketing	AUG 31, 2001
DRG/ Public Comment/Revision	MAY 15, 2002
DR, DR, DR Revision	JULY 24, 2002
Final address	OCT 1, 2002



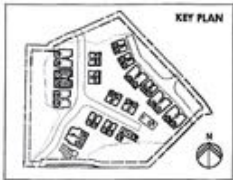
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H2

DRAWING
ROOF PLAN

PROJECT	SHEET
400	AH2-2.04
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2002	

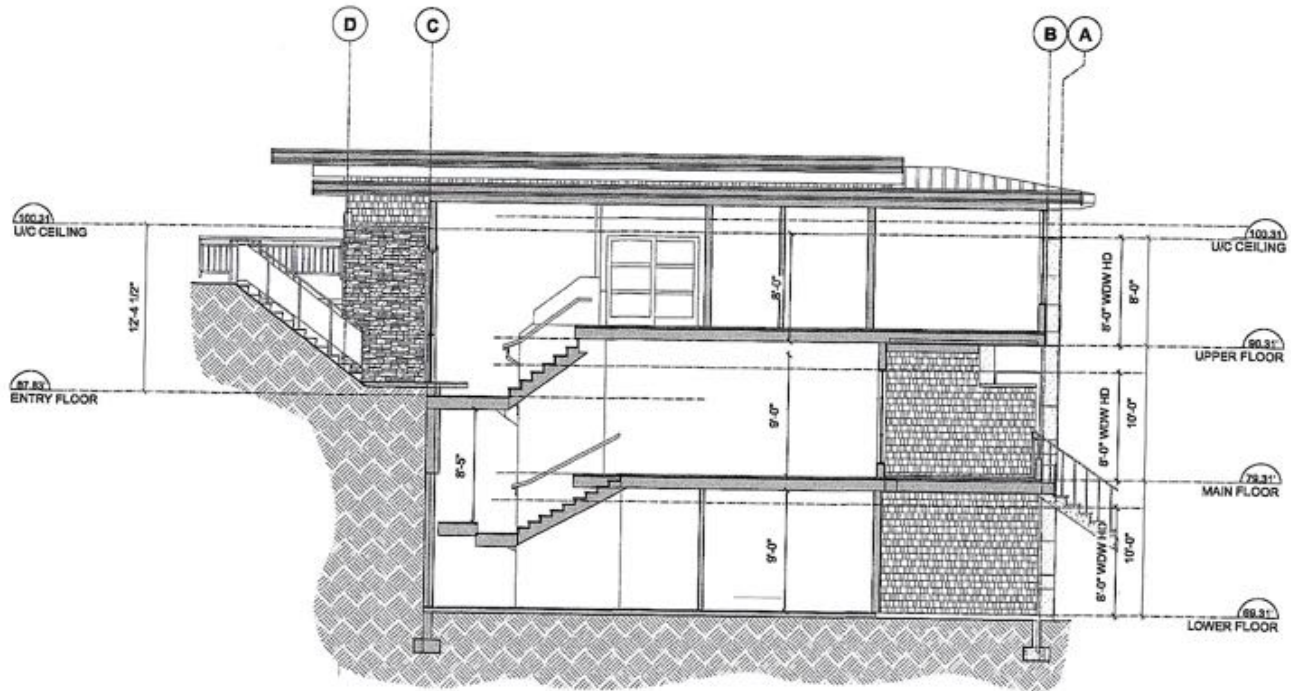


ROOF PLAN
 UNIT H2



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REVISIONS	
Issued for DP Reviewing	Aug 31, 2021
CM2 Public Comment Response	SEP 23, 2023
01, 02, 03 Revisions	SEP 21, 2023
Final Approval	OCT 1, 2023



A SECTION A-A
Scale: 1/4" = 1'-0"



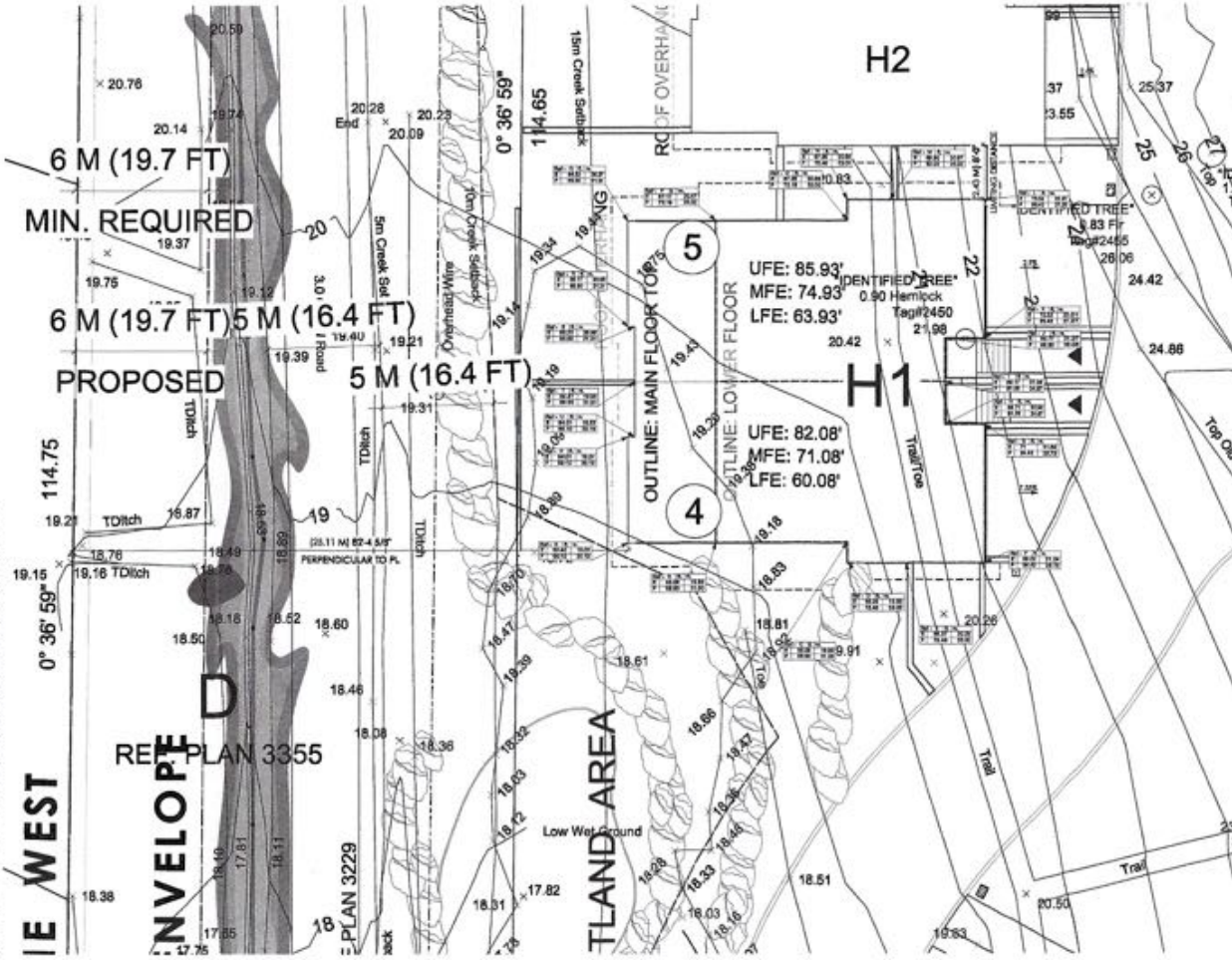
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
SECTION A-A

PROJECT	SHEET
NO. 1	AH2-3.01
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

STATION	VERTICAL CURVE DATA	AVG. ELEVATION	DELTA	AVG. ELEVATION	DELTA	AVG. ELEVATION	DELTA
A	88.00	87.00	18.00	88.00	87.00	18.00	88.00
B	88.00	88.00	18.00	88.00	88.00	18.00	88.00
C	88.00	88.00	18.00	88.00	88.00	18.00	88.00
D	88.00	88.00	18.00	88.00	88.00	18.00	88.00
E	88.00	88.00	18.00	88.00	88.00	18.00	88.00
F	88.00	88.00	18.00	88.00	88.00	18.00	88.00
G	88.00	88.00	18.00	88.00	88.00	18.00	88.00
H	88.00	88.00	18.00	88.00	88.00	18.00	88.00
I	88.00	88.00	18.00	88.00	88.00	18.00	88.00
J	88.00	88.00	18.00	88.00	88.00	18.00	88.00
K	88.00	88.00	18.00	88.00	88.00	18.00	88.00
L	88.00	88.00	18.00	88.00	88.00	18.00	88.00
M	88.00	88.00	18.00	88.00	88.00	18.00	88.00
N	88.00	88.00	18.00	88.00	88.00	18.00	88.00
O	88.00	88.00	18.00	88.00	88.00	18.00	88.00
P	88.00	88.00	18.00	88.00	88.00	18.00	88.00
Q	88.00	88.00	18.00	88.00	88.00	18.00	88.00
R	88.00	88.00	18.00	88.00	88.00	18.00	88.00
S	88.00	88.00	18.00	88.00	88.00	18.00	88.00
T	88.00	88.00	18.00	88.00	88.00	18.00	88.00
U	88.00	88.00	18.00	88.00	88.00	18.00	88.00
V	88.00	88.00	18.00	88.00	88.00	18.00	88.00

STATION	VERTICAL CURVE DATA	AVG. ELEVATION	DELTA	AVG. ELEVATION	DELTA	AVG. ELEVATION	DELTA
A	88.00	87.00	18.00	88.00	87.00	18.00	88.00
B	88.00	88.00	18.00	88.00	88.00	18.00	88.00
C	88.00	88.00	18.00	88.00	88.00	18.00	88.00
D	88.00	88.00	18.00	88.00	88.00	18.00	88.00
E	88.00	88.00	18.00	88.00	88.00	18.00	88.00
F	88.00	88.00	18.00	88.00	88.00	18.00	88.00
G	88.00	88.00	18.00	88.00	88.00	18.00	88.00
H	88.00	88.00	18.00	88.00	88.00	18.00	88.00
I	88.00	88.00	18.00	88.00	88.00	18.00	88.00
J	88.00	88.00	18.00	88.00	88.00	18.00	88.00
K	88.00	88.00	18.00	88.00	88.00	18.00	88.00
L	88.00	88.00	18.00	88.00	88.00	18.00	88.00
M	88.00	88.00	18.00	88.00	88.00	18.00	88.00
N	88.00	88.00	18.00	88.00	88.00	18.00	88.00
O	88.00	88.00	18.00	88.00	88.00	18.00	88.00
P	88.00	88.00	18.00	88.00	88.00	18.00	88.00
Q	88.00	88.00	18.00	88.00	88.00	18.00	88.00
R	88.00	88.00	18.00	88.00	88.00	18.00	88.00
S	88.00	88.00	18.00	88.00	88.00	18.00	88.00
T	88.00	88.00	18.00	88.00	88.00	18.00	88.00
U	88.00	88.00	18.00	88.00	88.00	18.00	88.00
V	88.00	88.00	18.00	88.00	88.00	18.00	88.00



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - H1 (E)			TOP OF FINISH FLOOR - H2 (E)		
Lower	Mean	Upper	Lower	Mean	Upper
88.78	89.08	89.38	88.81	89.11	89.41
88.78	89.08	89.38	88.81	89.11	89.41

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REVISIONS	DATE	BY	APP'D
Issue for D/P Reviewing	Aug 24, 2021		
Issue for Public Comment/Release	SEP 15, 2021		
Final Review	NOV 21, 2021		
Final Release	DEC 1, 2021		



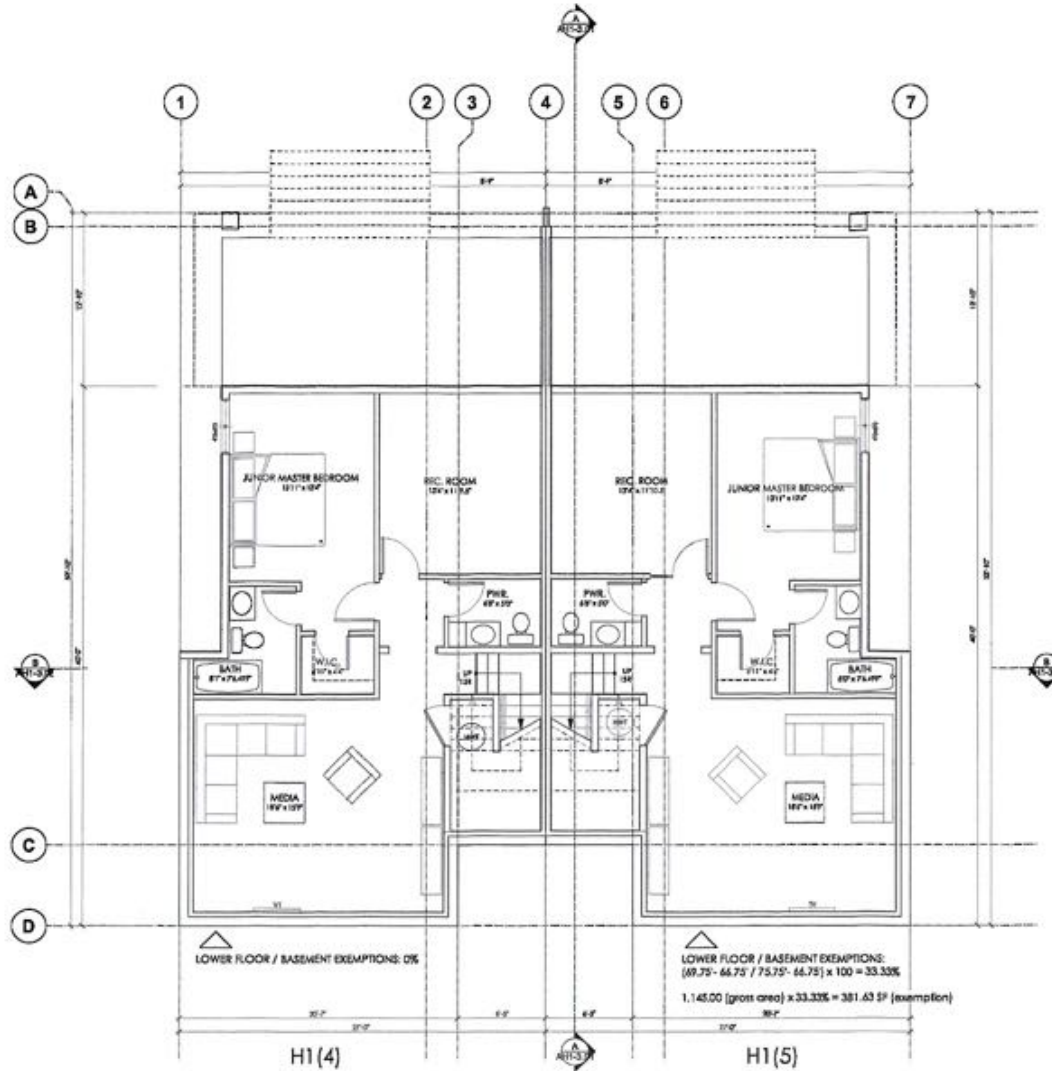
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
SITE PLAN

PROJECT	NO.	SHEET
		AH1-1.01
SCALE	1/8"=1'-0"	
DATE	08/21/2021	

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REVISIONS
 Issued for (P) Drawing: Aug 21, 2021
 (R) Public Comment/Response: MAY 18, 2023
 (C) 03, 05, 06 Resubmits: JUL 9, 2023
 (M) Additions: Oct 1, 2023



LOWER FLOOR PLAN
 UNIT H1

UNIT 4 FLOOR AREAS IMPERIAL				
	LEVEL 1 33 FT	LEVEL 2 33 FT	LEVEL 3 33 FT	TOTAL
GROSS	162.8 SF	179.4 SF	136.3 SF	478.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.0 SF	408.0 SF
BASEMENT EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	94.2 SF	0.0 SF	94.2 SF
NET	162.8 SF	105.2 SF	84.3 SF	352.3 SF

UNIT 4 FLOOR AREAS METRIC				
	LEVEL 1 33 M	LEVEL 2 33 M	LEVEL 3 33 M	TOTAL
GROSS	152.30 M	165.23 M	125.23 M	442.76 M
GARAGE EXCLUSIONS	0.00 M	0.00 M	378.00 M	378.00 M
BASEMENT EXCLUSIONS	0.00 M	0.00 M	0.00 M	0.00 M
COVERED BALCONY EXCLUSIONS	0.00 M	86.23 M	0.00 M	86.23 M
NET	152.30 M	79.23 M	85.23 M	316.76 M

UNIT 5 FLOOR AREAS IMPERIAL				
	LEVEL 1 33 FT	LEVEL 2 33 FT	LEVEL 3 33 FT	TOTAL
GROSS	162.8 SF	189.3 SF	180.3 SF	532.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.0 SF	408.0 SF
BASEMENT EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	94.2 SF	0.0 SF	94.2 SF
NET	162.8 SF	189.3 SF	180.3 SF	532.4 SF

UNIT 5 FLOOR AREAS METRIC				
	LEVEL 1 33 M	LEVEL 2 33 M	LEVEL 3 33 M	TOTAL
GROSS	152.30 M	173.23 M	167.23 M	492.76 M
GARAGE EXCLUSIONS	0.00 M	0.00 M	378.00 M	378.00 M
BASEMENT EXCLUSIONS	0.00 M	0.00 M	0.00 M	0.00 M
COVERED BALCONY EXCLUSIONS	0.00 M	86.23 M	0.00 M	86.23 M
NET	152.30 M	187.23 M	167.23 M	506.76 M



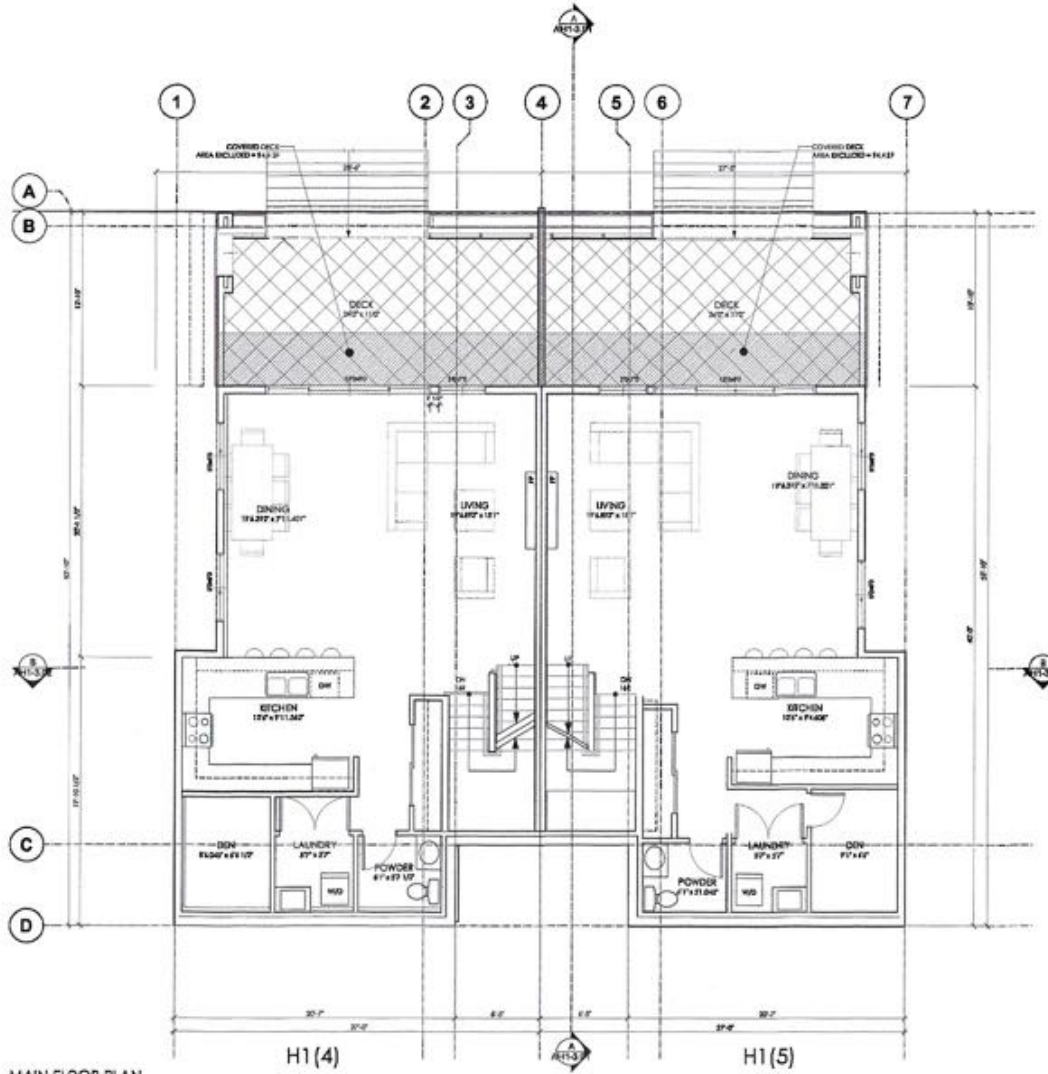
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
LOWER FLOOR PLAN

PROJECT NO. 202
 SHEET
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
AH1-2.01

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for CIP/Working Aug 21, 2008
 DRG Public Comment Revisions MAY 13, 2009
 ST. GL. 05 Revisions JULY 21, 2009
 Work Orders Oct 1, 2009



MAIN FLOOR PLAN
 UNIT G1

UNIT 4 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GRDS	78.0 SF	176.4 SF	186.3 SF	340.7 SF
GARAGE ENCLOSURE	52.0 SF	52.0 SF	48.8 SF	152.8 SF
BATHROOM ENCLOSURE	52.0 SF	52.0 SF	52.0 SF	156.0 SF
COVERED BALCONY ENCLOSURE	52.0 SF	76.2 SF	52.0 SF	180.2 SF
NET	182.0 SF	356.6 SF	339.1 SF	877.7 SF

UNIT 4 FLOOR AREAS METRIC

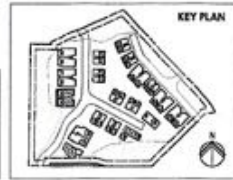
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GRDS	7.23 SQ M	16.23 SQ M	17.23 SQ M	30.69 SQ M
GARAGE ENCLOSURE	4.80 SQ M	4.80 SQ M	4.52 SQ M	14.12 SQ M
BATHROOM ENCLOSURE	4.80 SQ M	4.80 SQ M	4.80 SQ M	14.40 SQ M
COVERED BALCONY ENCLOSURE	4.80 SQ M	7.05 SQ M	4.80 SQ M	16.65 SQ M
NET	16.63 SQ M	33.83 SQ M	31.35 SQ M	81.81 SQ M

UNIT 5 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GRDS	182.0 SF	181.1 SF	182.0 SF	345.1 SF
GARAGE ENCLOSURE	52.0 SF	52.0 SF	48.8 SF	152.8 SF
BATHROOM ENCLOSURE 35.0%	35.0 SF	35.0 SF	35.0 SF	105.0 SF
COVERED BALCONY ENCLOSURE	52.0 SF	76.2 SF	52.0 SF	180.2 SF
NET	321.0 SF	344.3 SF	317.8 SF	983.1 SF

UNIT 5 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GRDS	16.93 SQ M	16.83 SQ M	16.93 SQ M	30.69 SQ M
GARAGE ENCLOSURE	4.52 SQ M	4.52 SQ M	4.52 SQ M	13.56 SQ M
BATHROOM ENCLOSURE 35.0%	3.24 SQ M	3.24 SQ M	3.24 SQ M	9.72 SQ M
COVERED BALCONY ENCLOSURE	4.52 SQ M	7.05 SQ M	4.52 SQ M	16.09 SQ M
NET	29.21 SQ M	31.64 SQ M	29.21 SQ M	90.06 SQ M



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

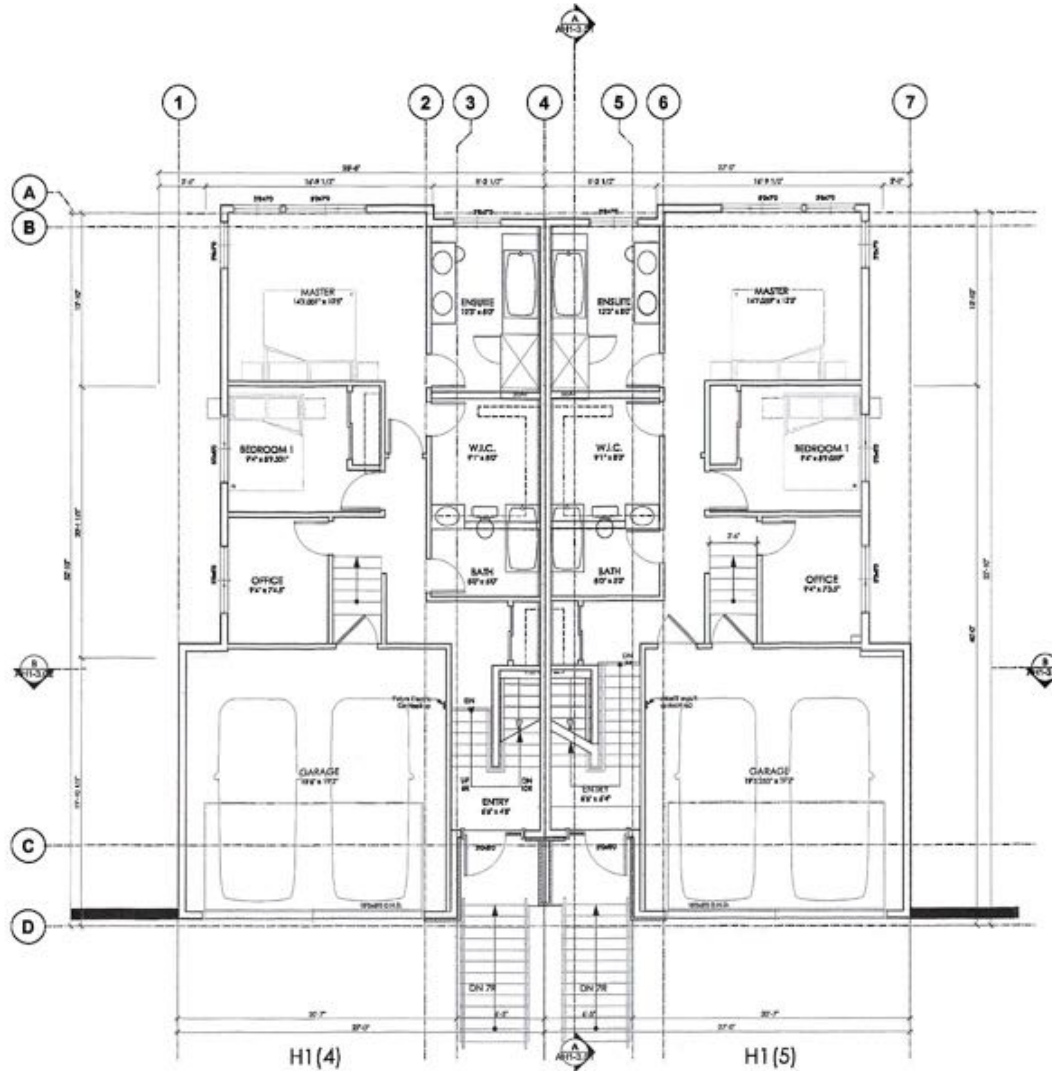
DRAWING
MAIN FLOOR PLAN

PROJECT # 800
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2009
Sheet AH1-2.02

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issue: 01/07/2003
 EMI/ Public Comment/Revisions
 01, 02, 03, Revisions
 11/14/2003

Aug 31, 2001
 MAY 13, 2003
 JUL 21, 2003
 Oct 1, 2003



UPPER FLOOR PLAN
 UNIT H1



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 UPPER FLOOR
 PLAN



PROJECT# 200
 SHEET
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2003
AH1-2.03

These plans remain the ownership of Sterling Pacific

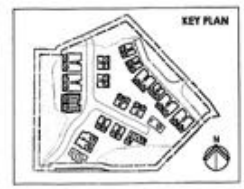
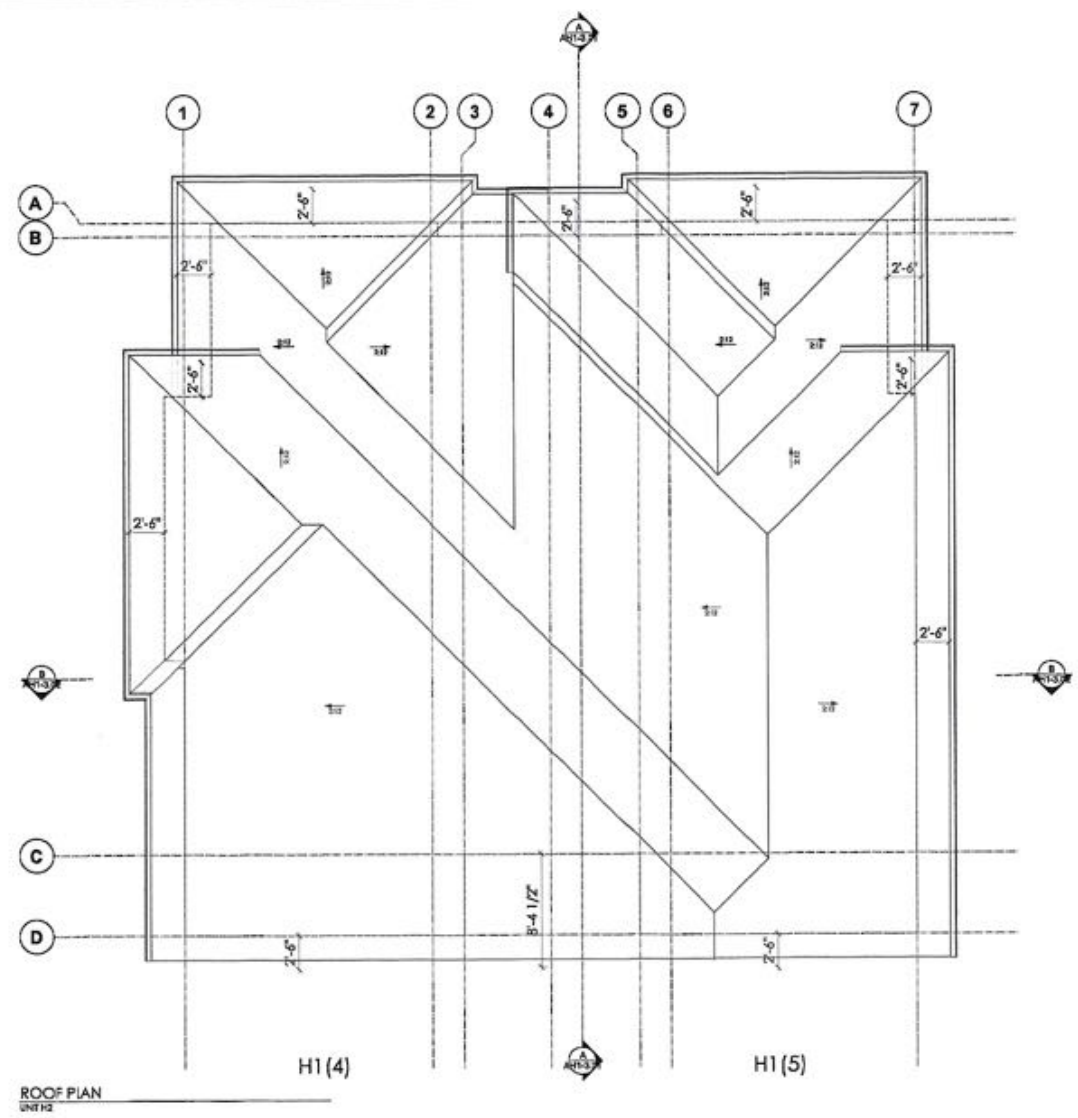
REVISIONS	DATE
Issued for O/R/Resolving	Aug 21, 2001
2002 Public Comment/Notice	MAY 22, 2002
ST. BC. 88 Reviewers	JULY 21, 2002
Final submittal	OCT 1, 2002



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
ROOF PLAN

PROJECT	SHEET
800	AH1-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2002



These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DR/Revising Aug 21, 2020
 DR/ Public Comment Response MAY 13, 2020
 DR/ No. 02 Members JUL 13, 2020
 Final submitted Oct 5, 2020



A SECTION A-A
 Scale: 1/4" = 1'-0"



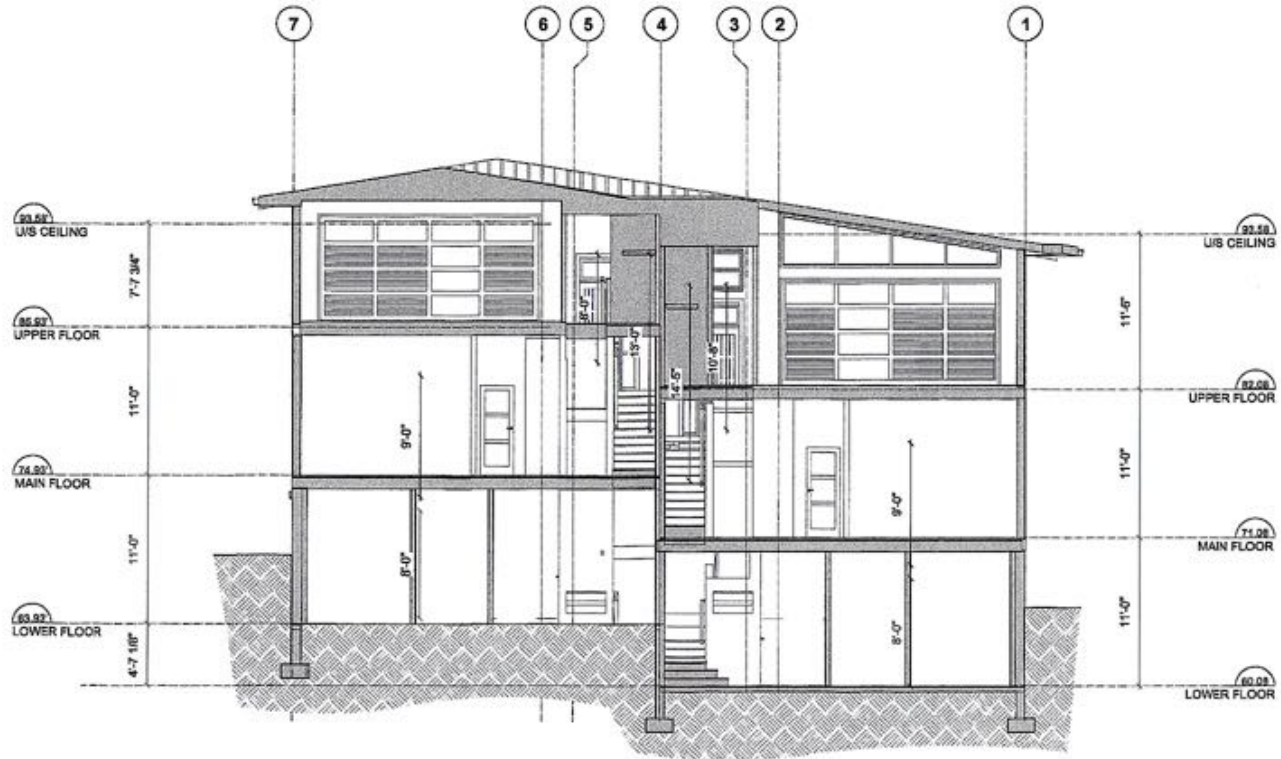
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 SECTION A-A

PROJECT	NO.	AH1-3.01
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2020	

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REVISIONS		Aug 21, 2020
1	Issue for DR/Reviewing	HPF 12, 2020
2	DR/ Public Comment Response	JUL 15, 2020
3	DL, DL, DL Revisions	JUL 15, 2020
4	Final Revisions	OCT 1, 2020



B SECTION B-B
Scale: 1/4" = 1'-0"



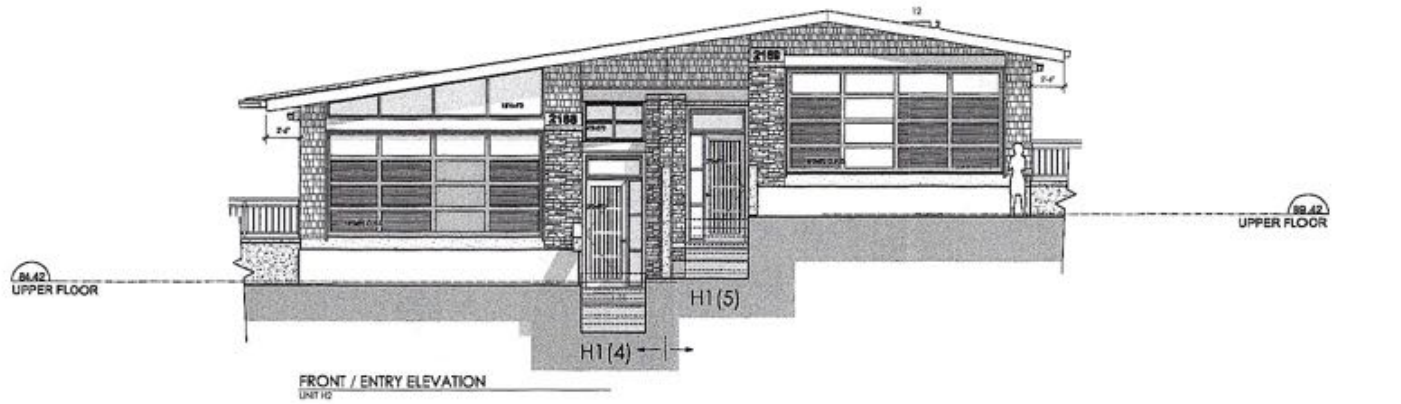
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
SECTION B-B

PROJECT	SHEET
NO.	AH1-
SCALE	3.02
DATE	OCT 1, 2020

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REVISIONS	
Issued for O/P/Working	Aug 31, 2021
DRG/Publs Comment/Revisions	MAY 13, 2020
Dr. St. G's Revisions	JAN 21, 2020
Final solution	Oct 1, 2020



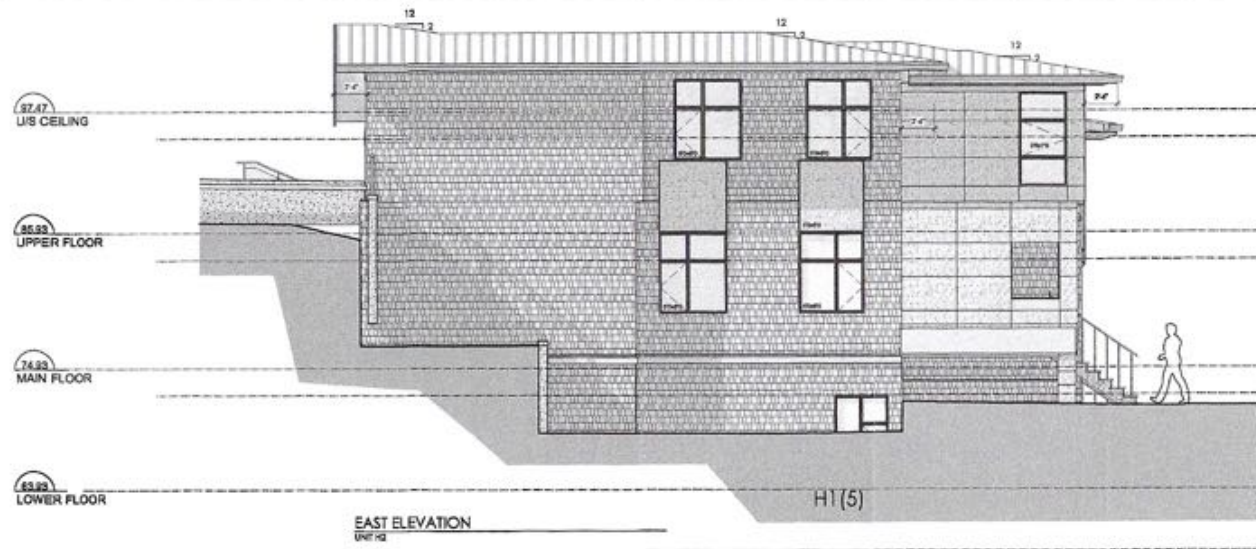
PROJECT
AQUILA
 GAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT 1H

DRAWING
**FRONT & BACK
 ELEVATIONS B/W**

PROJECT	SHEET
AKQ	AH1-4.01
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2021

These plans remain the ownership of Sterling Pacific

REVISED
 Issued for O/P/Issuance Aug 21, 2021
 O/P/ Public Comment Review MAY 13, 2020
 O/P, BC, O/P Review JUN 24, 2020
 In-Cell Review OCT 1, 2020



EAST ELEVATION
 UNIT H1(5)

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1285.23 SF (119.40 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	176.50 SF (16.40 SM)
PROPOSED OPENING:	53.70 SF
PERMITTED OPENING:	14.00 SF



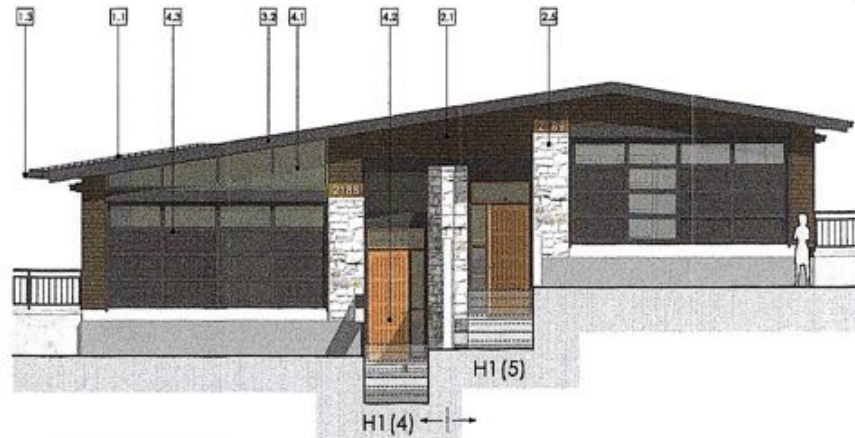
WEST ELEVATION
 UNIT H1(4)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT	ISSUE	SHEET
SCALE	1/4" = 1'-0"	AH1-4.02
DATE	OCT 1, 2020	



FRONT / ENTRY ELEVATION
UNIT 12



BACK ELEVATION
UNIT 12



AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Close 1/2" Metal Roof	Charcoal Grey
1.2	Flow Cement Soffit	Rockport Gray BM-105
1.3	Culter	Charcoal Grey
2.1	Fibre Cement Shingles	Woodstone Rustic Series Carbon Trails
2.2	Hardy Panel	Light Mill
2.3	Stone Cladding	Random Granite
2.4	Stone	Random Granite
3.1	Vertical Slatted Wood Cladding	Wrought Iron BM - 2124 - 10
3.2	Horizontal Slatted Wood Cladding	Wrought Iron BM - 2124 - 10
3.3	Stone Cladding	Charcoal Grey
4.1	Entry Door	Stainwood - Old Master Gel Stain - Clear Top Coat - Special Walnut
4.2	Window/Fascia	Charcoal Grey
4.3	Soffit	Charcoal Grey
4.4	Balcony	Charcoal Grey
5.1	Hardy Panel	Stainwood - Old Master Gel Stain - Clear Top Coat - Special Walnut
5.2	Hardy Panel	Charcoal Grey
5.3	Hardy Panel	Charcoal Grey
5.4	Hardy Panel	Charcoal Grey

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REVISED
Issued for DR/Reviewing
DEC Public Consultation
BY: DS, JR, Neelam
Hart Architects
Aug 11, 2021
MAY 10, 2022
JAN 30, 2022
OCT 1, 2022



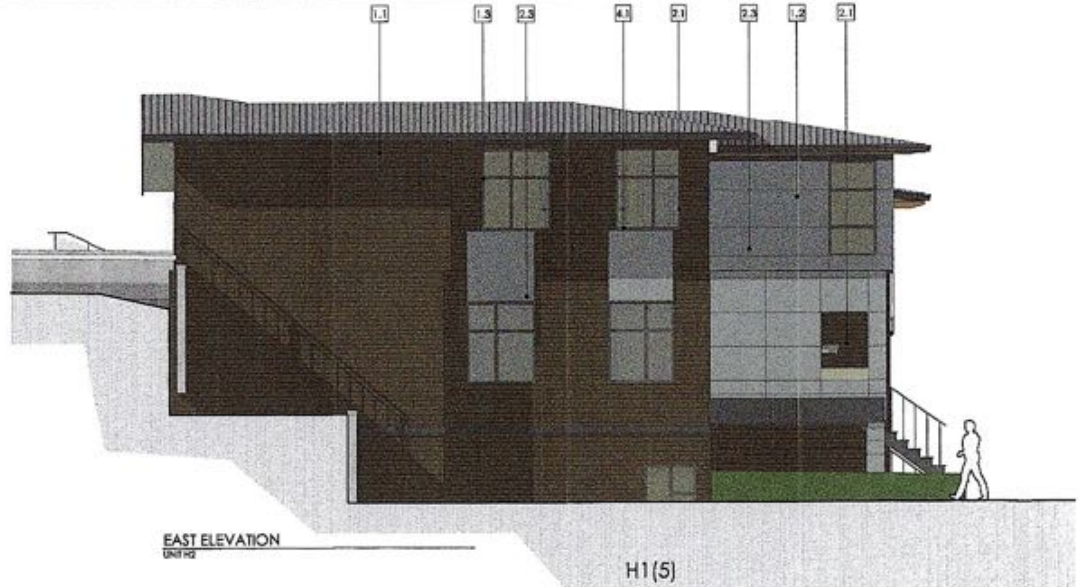
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT 11

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT 600
SCALE 1/4" = 1'-0"
DATE OCT 1, 2022
AH1-4.03

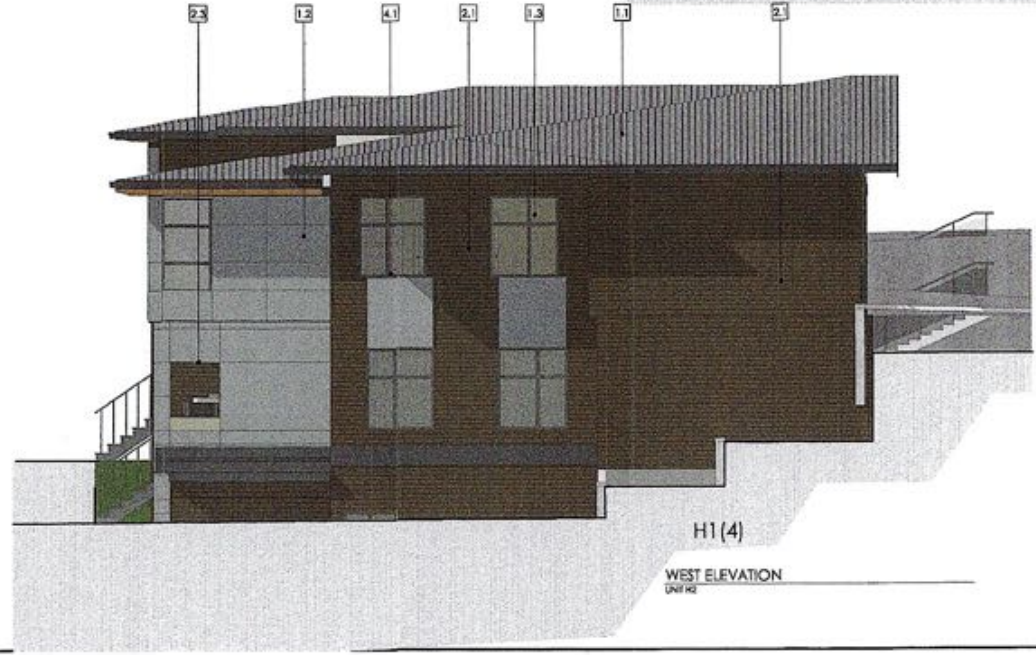
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for O&P Meeting Aug 21, 2012
 O&P Public Comment/Revisions Mar 28, 2013
 O&P, GC, GC Revisions July 21, 2013
 Final Submittals Oct 1, 2013



EAST ELEVATION
UNIT H1(5)

H1(5)



H1(4)

WEST ELEVATION
UNIT H1(4)

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Color
1.1	Clear 1/2" Mirror Glass	Charcoal Gray
1.2	White Cement Soffit	Blackout Gray BM-10-008
1.3	Stair	Charcoal Gray
2.1	White Cement Soffit	Woodstone Bulky Soffit Cotton Ball
2.2	Hot Vent	
2.3	Hardy Panel	Light Milk
3.1	Hot Vent	
3.2	Stair	Ironstone Granite
4.1	Vertical slatless euro oak prefinished maple veneer & oak facing Marbleized Walnut Countertop/Backsplash	Wrought Iron Blk - 2134 - 10
4.2	Stair	Wrought Iron Blk - 2134 - 10
4.3	Dark-stained vinyl laminate & ultra-glossed finish	Charcoal Gray
4.4	Grey clear painted oak frame and sashes	Shelwood - Oak Master Gel Stain with clear top coat - Swedish Walnut
4.5	Prefinished Hemlock painted garage door with frosted glass (see elev.)	Charcoal Gray
4.6	Black non-glass garage door system with glass core	Charcoal Gray
5.1	Pre-weather treated wood	Shelwood - Oak Master Gel Stain with clear top coat - Swedish Walnut
5.2	Pre-weather treated roofing	Charcoal Gray
5.3	Steel post jointed railing	Charcoal Gray

PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H1

DRAWING
 EAST & WEST
 ELEVATIONS

PROJECT NO. SHEET
 SCALE: 1/4"=1'-0"
 DATE: OCT 1, 2013
AH1-4.04

These plans remain the ownership of Starling Pacific

REVISIONS	DATE
Issue No 02/Revising	Aug 21, 2023
DRG Public Comment Response	MAY 12, 2023
01, 02, 03 Revisions	JULY 21, 2023
Final submittal	OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
FRONT, BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	NO.	SHEET
SCALE	M.S.	AH1-
DATE	OCT 1, 2023	4.05

These plans remain the ownership of Sterling Pacific

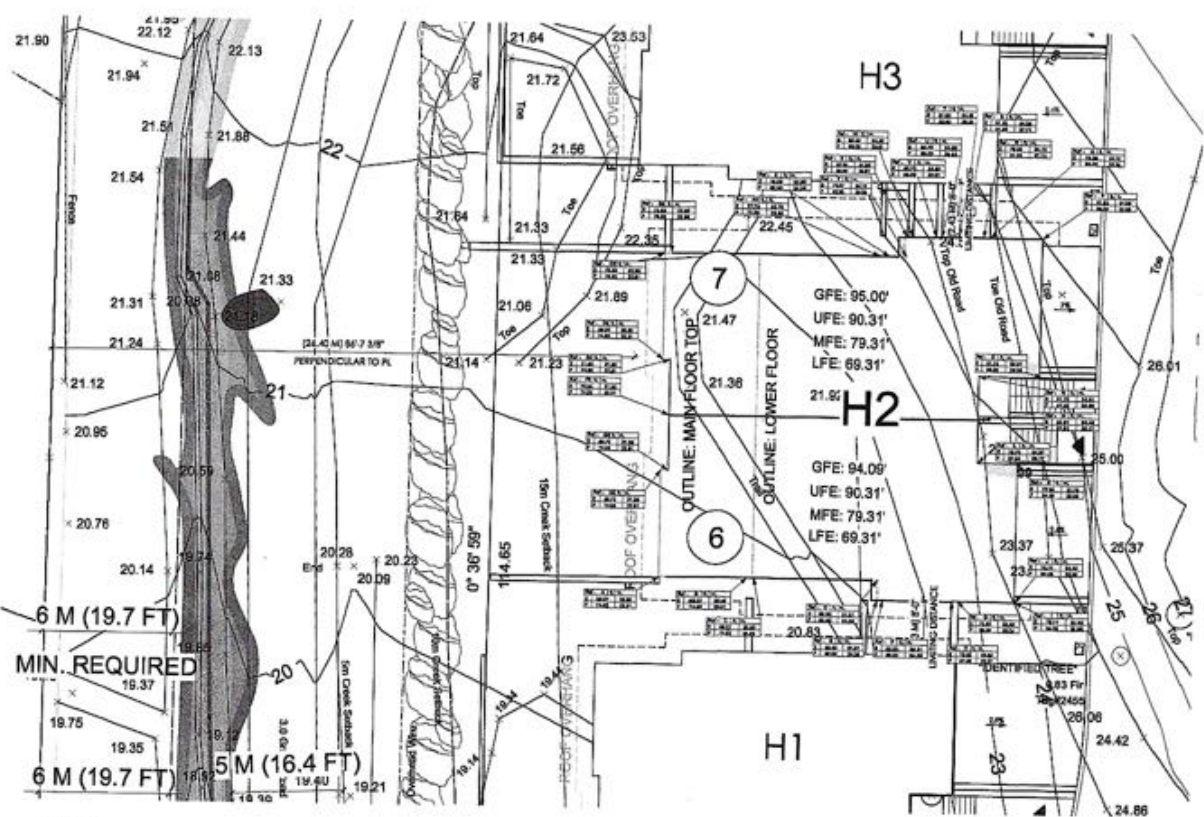
REVISIONS
 Made for CP/Planning
 0102 Public Comment Revision
 01-04-2023
 01-11-2023
 01-11-2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
SITE PLAN

PROJECT# 800
 SCALE 1/4" = 1'-0"
 DATE 01-1-2023
 SHEET
AH2-1.01



SITE PLAN
 SCALE 1/8" = 1'-0"

TOP OF FINISH FLOOR - 02-01			
Level	Min	Max	Upper
02-01	21.72	22.45	22.45
02-02	21.72	22.45	22.45

TOP OF FINISH FLOOR - 02-02			
Level	Min	Max	Upper
02-02	21.72	22.45	22.45
02-03	21.72	22.45	22.45



NO. AVERAGE FINISHED GRADE CALCULATION					
Sta #	Station	Sta #	Station	Avg. Elevation	Distance
A	74.80	74.82	74.82	18.75	853.85
B	74.82	74.82	74.82	1.00	148.20
C	74.82	74.82	74.82	14.75	148.20
D	74.82	74.82	74.82	8.50	148.90
E	74.82	74.82	74.82	1.00	82.00
F	74.82	74.82	74.82	8.75	82.00
G	74.82	74.82	74.82	1.00	82.75
H	74.82	74.82	74.82	8.75	82.75
I	74.82	74.82	74.82	8.75	82.75
J	74.82	74.82	74.82	15.75	1088.28
K	74.82	74.82	74.82	8.50	858.78
L	74.82	74.82	74.82	8.50	873.00
M	74.82	74.82	74.82	8.50	873.00
N	74.82	74.82	74.82	8.50	822.14
O	74.82	74.82	74.82	8.50	1847.80
P	74.82	74.82	74.82	1.00	1848.80
Q	74.82	74.82	74.82	1.00	83.00
R	74.82	74.82	74.82	8.25	293.75
S	74.82	74.82	74.82	1.00	294.00
T	74.82	74.82	74.82	1.00	294.00
U	74.82	74.82	74.82	1.00	89.00
V	74.82	74.82	74.82	1.00	89.00
W	74.82	74.82	74.82	1.00	250.85
X	74.82	74.82	74.82	1.00	250.85
Y	74.82	74.82	74.82	1.00	250.85
Z	74.82	74.82	74.82	1.00	250.85
AA	74.82	74.82	74.82	20.00	2344.20
AB	74.82	74.82	74.82	1.00	78.88
AC	74.82	74.82	74.82	15.75	1578.15
AD	74.82	74.82	74.82	1.00	24.88
AE	74.82	74.82	74.82	8.25	811.87
AF	74.82	74.82	74.82	1.00	812.27
AG	74.82	74.82	74.82	1.00	74.82
AH	74.82	74.82	74.82	18.75	1178.18
Total				203.72	18888.27

Avg. Finish Grade: 74.82
 Min. Elev. (Height) PVI: 28.86

NO. AVERAGE EXISTING GRADE CALCULATION					
Sta #	Station	Sta #	Station	Avg. Elevation	Distance
A	88.27	88.27	88.27	15.75	870.44
B	88.27	88.27	88.27	1.00	88.27
C	88.27	88.27	88.27	18.75	1588.78
D	88.27	88.27	88.27	3.00	898.78
E	88.27	88.27	88.27	1.00	88.82
F	88.27	88.27	88.27	8.50	878.58
G	88.27	88.27	88.27	1.00	78.82
H	88.27	88.27	88.27	8.75	821.88
I	88.27	88.27	88.27	1.00	78.77
J	88.27	88.27	88.27	18.75	1822.88
K	88.27	88.27	88.27	8.50	858.88
L	88.27	88.27	88.27	8.50	818.44
M	88.27	88.27	88.27	8.50	888.27
N	88.27	88.27	88.27	8.50	888.27
O	88.27	88.27	88.27	8.50	1878.54
P	88.27	88.27	88.27	7.25	883.47
Q	88.27	88.27	88.27	1.00	78.88
R	88.27	88.27	88.27	3.25	281.81
S	88.27	88.27	88.27	1.00	81.42
T	88.27	88.27	88.27	3.25	281.78
U	88.27	88.27	88.27	1.00	82.70
V	88.27	88.27	88.27	3.25	281.78
W	88.27	88.27	88.27	1.00	82.58
X	88.27	88.27	88.27	3.25	281.78
Y	88.27	88.27	88.27	3.25	281.78
Z	88.27	88.27	88.27	3.25	281.78
AA	88.27	88.27	88.27	15.75	1113.43
AB	88.27	88.27	88.27	1.00	88.88
AC	88.27	88.27	88.27	15.75	1113.43
AD	88.27	88.27	88.27	1.00	88.88
AE	88.27	88.27	88.27	8.25	878.87
AF	88.27	88.27	88.27	1.00	88.79
AG	88.27	88.27	88.27	15.75	1882.78
Total				203.72	17958.78

Avg. Existing Grade: 74.82
 Min. Elev. (Height) PVI: 28.86

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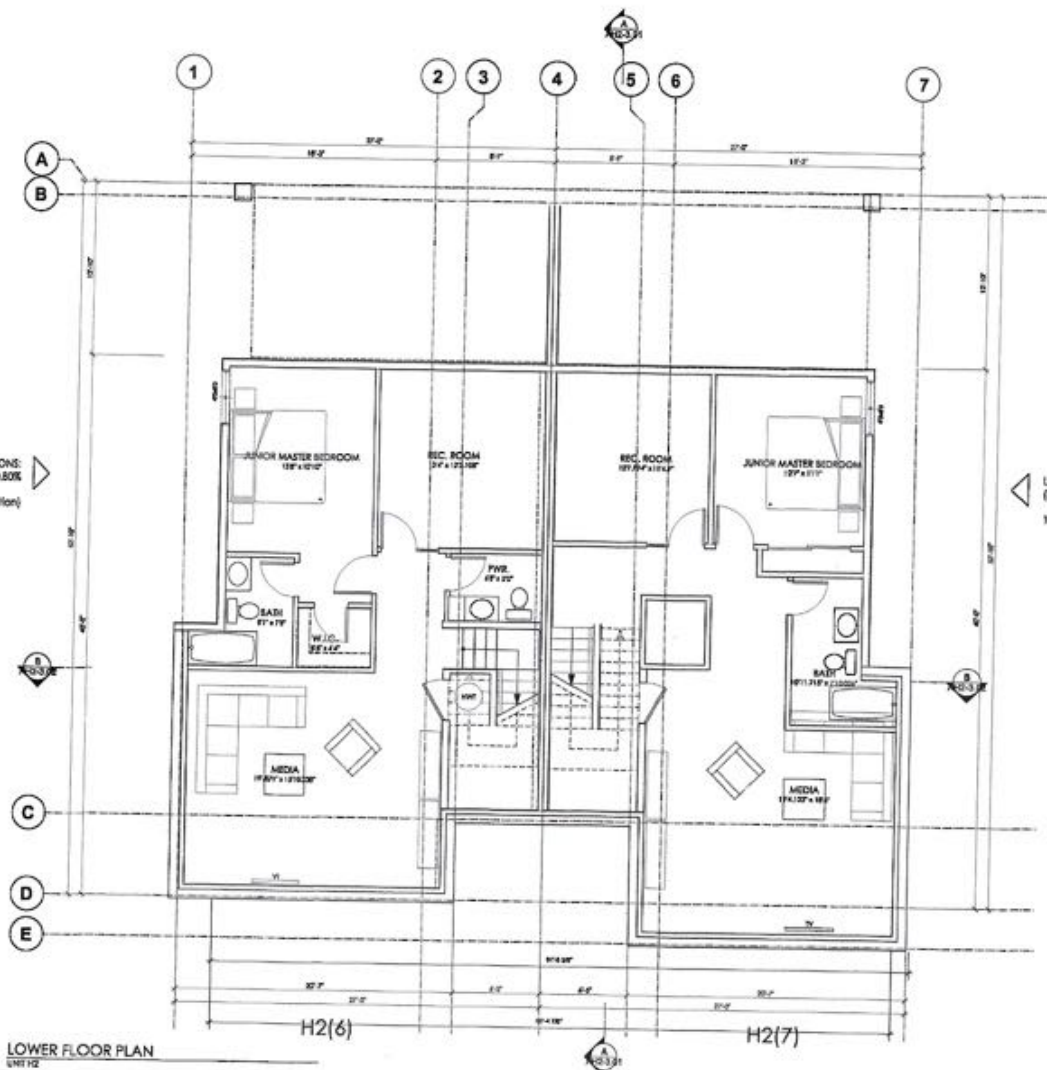
REVISIONS	
ISSUE TO OFF/Working	Aug. 31, 2001
DRG PLAN Comment Response	MAY 13, 2002
DR. NO. 00 Response	JULY 21, 2001
Final Address	OCT 1, 2002

LOWER FLOOR / BASEMENT EXEMPTIONS:
(75.37'- 73.29' / 83.29'- 73.29') x 100 = 20.80%

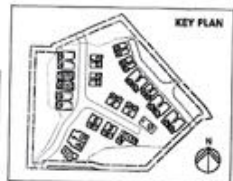
1,145 (gross area) x 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
(75.37'- 73.29' / 83.29'- 73.29') x 100 = 20.80%

1,206.8 (gross area) x 20.80% = 251.01 SF (exemption)



LOWER FLOOR PLAN
UNIT H2



UNIT 6 FLOOR AREAS IMPERIAL				
	LEVEL 1 90 FT	LEVEL 2 92 FT	LEVEL 3 92 FT	TOTAL
GROSS	1198.0 SF	1364.2 SF	1364.2 SF	3926.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BATHS/ENCL EXCLUSIONS	286.2 SF	0.0 SF	0.0 SF	286.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	912.8 SF	1288.2 SF	1364.2 SF	3565.2 SF

UNIT 6 FLOOR AREAS METRIC				
	LEVEL 1 90 M	LEVEL 2 92 M	LEVEL 3 92 M	TOTAL
GROSS	109.4 SQM	126.6 SQM	126.6 SQM	362.6 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
BATHS/ENCL EXCLUSIONS	26.3 SQM	0.0 SQM	0.0 SQM	26.3 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	7.1 SQM	0.0 SQM	7.1 SQM
NET	83.1 SQM	119.6 SQM	126.6 SQM	329.3 SQM

UNIT 7 FLOOR AREAS IMPERIAL				
	LEVEL 1 90 FT	LEVEL 2 92 FT	LEVEL 3 92 FT	TOTAL
GROSS	1254.0 SF	1412.0 SF	1412.0 SF	3978.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
BATHS/ENCL EXCLUSIONS	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	1003.0 SF	1412.0 SF	1412.0 SF	3827.0 SF

UNIT 7 FLOOR AREAS METRIC				
	LEVEL 1 90 M	LEVEL 2 92 M	LEVEL 3 92 M	TOTAL
GROSS	112.1 SQM	131.4 SQM	131.4 SQM	374.9 SQM
GARAGE EXCLUSIONS	0.0 SQM	0.0 SQM	0.0 SQM	0.0 SQM
BATHS/ENCL EXCLUSIONS	23.2 SQM	0.0 SQM	0.0 SQM	23.2 SQM
COVERED BALCONY EXCLUSIONS	0.0 SQM	7.1 SQM	0.0 SQM	7.1 SQM
NET	88.9 SQM	124.4 SQM	131.4 SQM	344.7 SQM

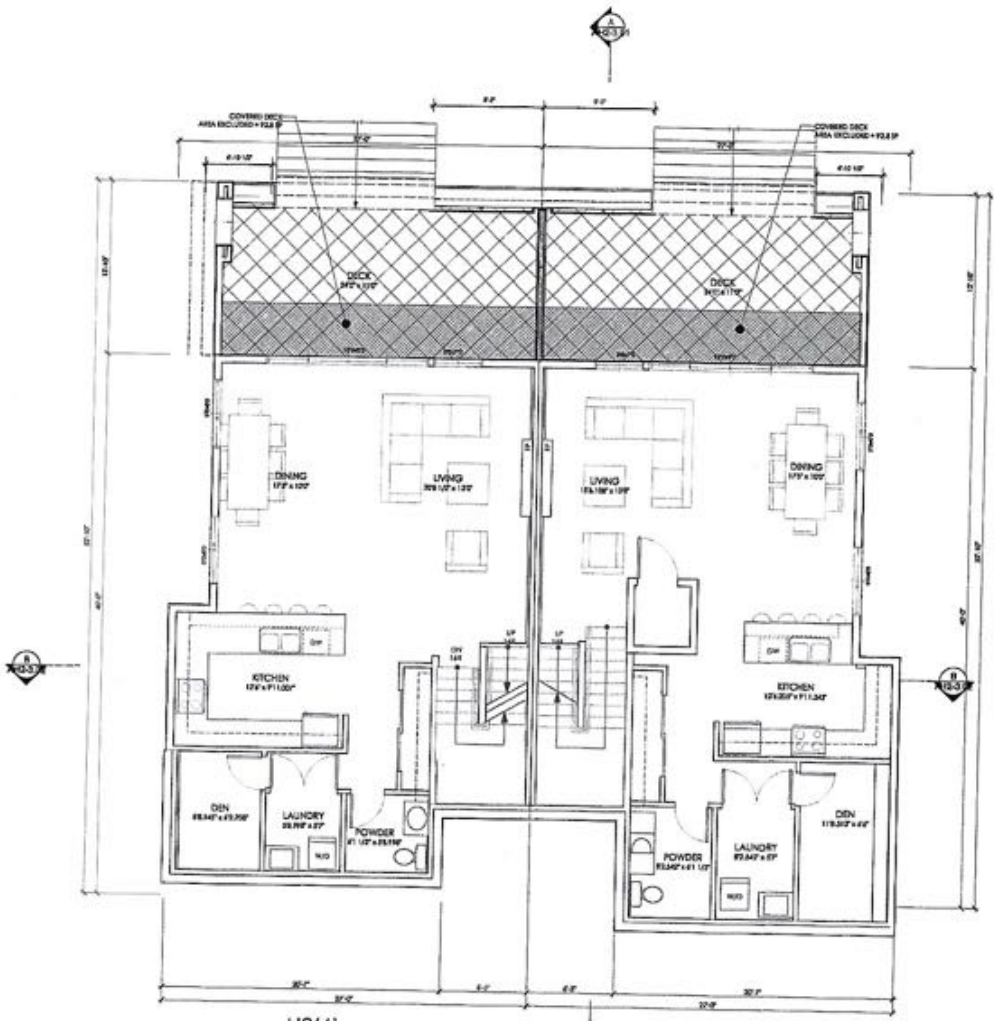
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

LOWER FLOOR PLAN

PROJECT	NO.	SHEET
SCALE	AH2-2.01	
DATE	001.202	

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for Approval	Aug. 20, 2001
CHD Public Comment Response	MAY 18, 2002
SI, SL, SE Resubmits	JULY 21, 2002
Final Approval	OCT 1, 2002



MAIN FLOOR PLAN
UNIT H2

H2(6)

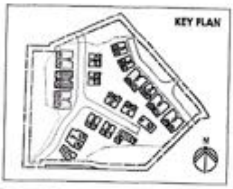
H2(7)

UNIT 6 FLOOR AREAS IMPERIAL				
	LEVEL 1 30 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1148.0 SF	1383.3 SF	1364.3 SF	3895.6 SF
CHANGE EXCLUSIONS	8.0 SF	0.0 SF	45.8 SF	48.8 SF
BATHROOM EXCLUSIONS	220.2 SF	0.0 SF	0.0 SF	220.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	16.4 SF	0.0 SF	16.4 SF
NET	909.8 SF	1263.3 SF	1218.5 SF	3391.6 SF

UNIT 6 FLOOR AREAS METRIC				
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	TOTAL
GROSS	104.94 M ²	126.23 M ²	125.84 M ²	357.01 M ²
CHANGE EXCLUSIONS	0.74 M ²	0.0 M ²	4.24 M ²	4.98 M ²
BATHROOM EXCLUSIONS	20.24 M ²	0.0 M ²	0.0 M ²	20.24 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	1.51 M ²	0.0 M ²	1.51 M ²
NET	82.96 M ²	114.73 M ²	111.60 M ²	309.29 M ²

UNIT 7 FLOOR AREAS IMPERIAL				
	LEVEL 1 30 FT	LEVEL 2 30 FT	LEVEL 3 30 FT	TOTAL
GROSS	1206.0 SF	1443.3 SF	1413.3 SF	3862.6 SF
CHANGE EXCLUSIONS	0.0 SF	0.0 SF	40.8 SF	40.8 SF
BATHROOM EXCLUSIONS	210.0 SF	0.0 SF	0.0 SF	210.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	16.4 SF	0.0 SF	16.4 SF
NET	996.0 SF	1237.3 SF	1372.5 SF	3605.8 SF

UNIT 7 FLOOR AREAS METRIC				
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	TOTAL
GROSS	111.19 M ²	131.83 M ²	130.24 M ²	373.26 M ²
CHANGE EXCLUSIONS	0.0 M ²	0.0 M ²	3.76 M ²	3.76 M ²
BATHROOM EXCLUSIONS	19.54 M ²	0.0 M ²	0.0 M ²	19.54 M ²
COVERED BALCONY EXCLUSIONS	0.0 M ²	1.51 M ²	0.0 M ²	1.51 M ²
NET	91.65 M ²	121.33 M ²	126.48 M ²	339.46 M ²



DRAWING
MAIN FLOOR PLAN

PROJECT		SHEET	
AQUILA DAFFODIL DRIVE, WEST VANCOUVER, BC UNIT H2		AH2- 2.02	
SCALE	1/4" = 1' - 0"	DATE	OCT 1, 2002

These plans remain the ownership of Sterling Pacific

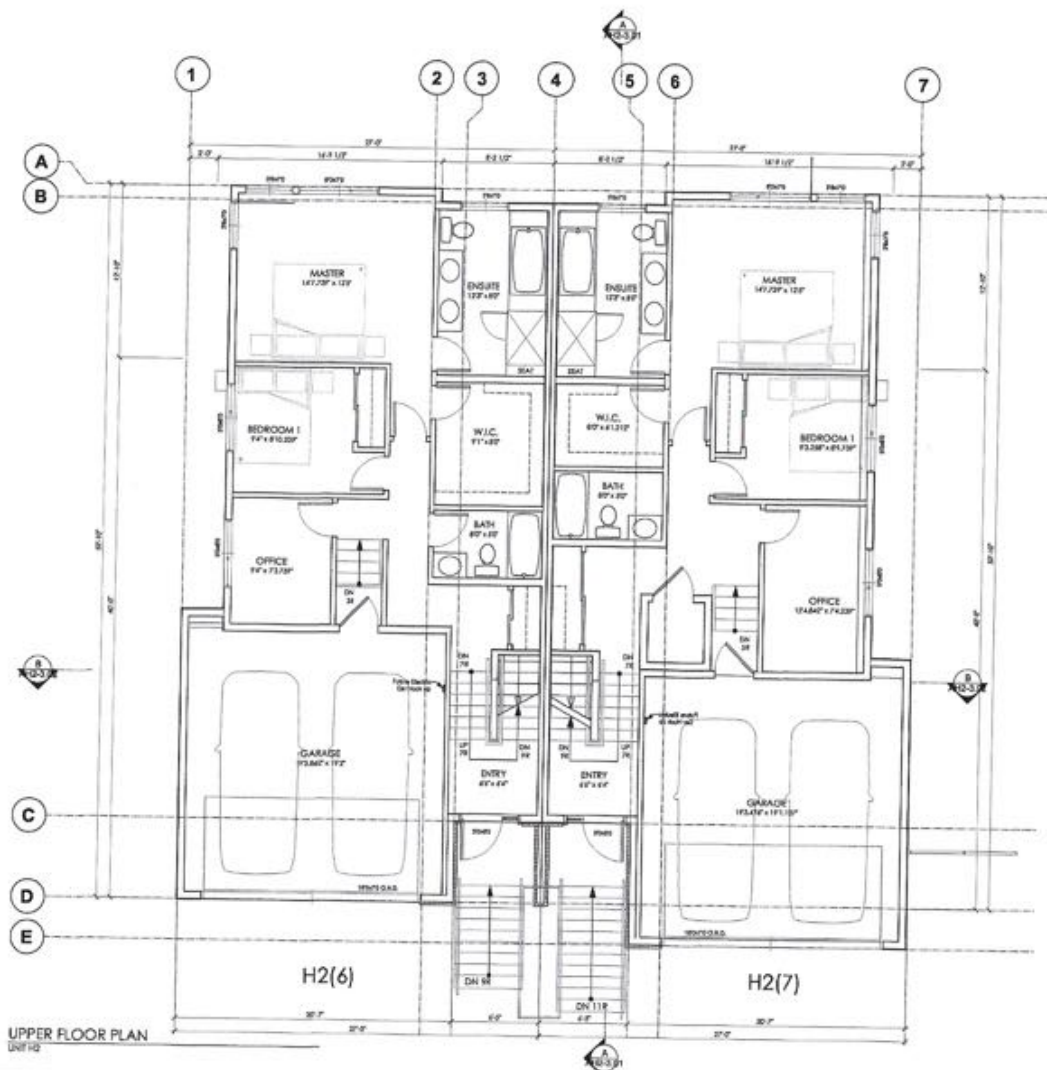
REVISIONS
 Issued For Approval
 DRG Plans Control Review
 DRG, SC, DR Holders
 If not Addressed
 Aug 31, 2001
 MAY 18, 2002
 JUL 21, 2002
 OCT 1, 2002



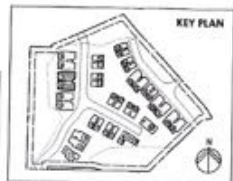
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

DRAWING
UPPER FLOOR PLAN

PROJECT # 001.832 SHEET
 SCALE 1/4" = 1'-0"
AH2-2.03
 DATE 001.832



UPPER FLOOR PLAN
 UNIT H2



UNIT 6 FLOOR AREAS IMPERIAL

	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	1148.0 SF	1364.2 SF	1284.3 SF	3816.7 SF
CHASSIS EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 35.00%	288.2 SF	0.0 SF	0.0 SF	288.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	88.4 SF	0.0 SF	88.4 SF
NET	859.8 SF	1284.2 SF	875.5 SF	3019.5 SF

UNIT 6 FLOOR AREAS METRIC

	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	106.4 SQ M	126.4 SQ M	119.6 SQ M	352.4 SQ M
CHASSIS EXCLUSIONS	0.0 SQ M	0.0 SQ M	37.8 SQ M	37.8 SQ M
BASEMENT EXCLUSIONS 35.00%	26.3 SQ M	0.0 SQ M	0.0 SQ M	26.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	8.1 SQ M	0.0 SQ M	8.1 SQ M
NET	80.1 SQ M	116.4 SQ M	119.6 SQ M	316.1 SQ M

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
GROSS	1208.8 SF	1403.2 SF	1412.7 SF	4024.7 SF
CHASSIS EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 35.00%	288.2 SF	0.0 SF	0.0 SF	288.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	88.4 SF	0.0 SF	88.4 SF
NET	920.6 SF	1377.4 SF	1003.9 SF	3302.0 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 50 M	LEVEL 2 50 M	LEVEL 3 50 M	TOTAL
GROSS	112.1 SQ M	131.0 SQ M	131.5 SQ M	374.6 SQ M
CHASSIS EXCLUSIONS	0.0 SQ M	0.0 SQ M	38.8 SQ M	38.8 SQ M
BASEMENT EXCLUSIONS 35.00%	26.3 SQ M	0.0 SQ M	0.0 SQ M	26.3 SQ M
COVERED BALCONY EXCLUSIONS	0.0 SQ M	8.1 SQ M	0.0 SQ M	8.1 SQ M
NET	85.8 SQ M	123.0 SQ M	103.7 SQ M	312.5 SQ M

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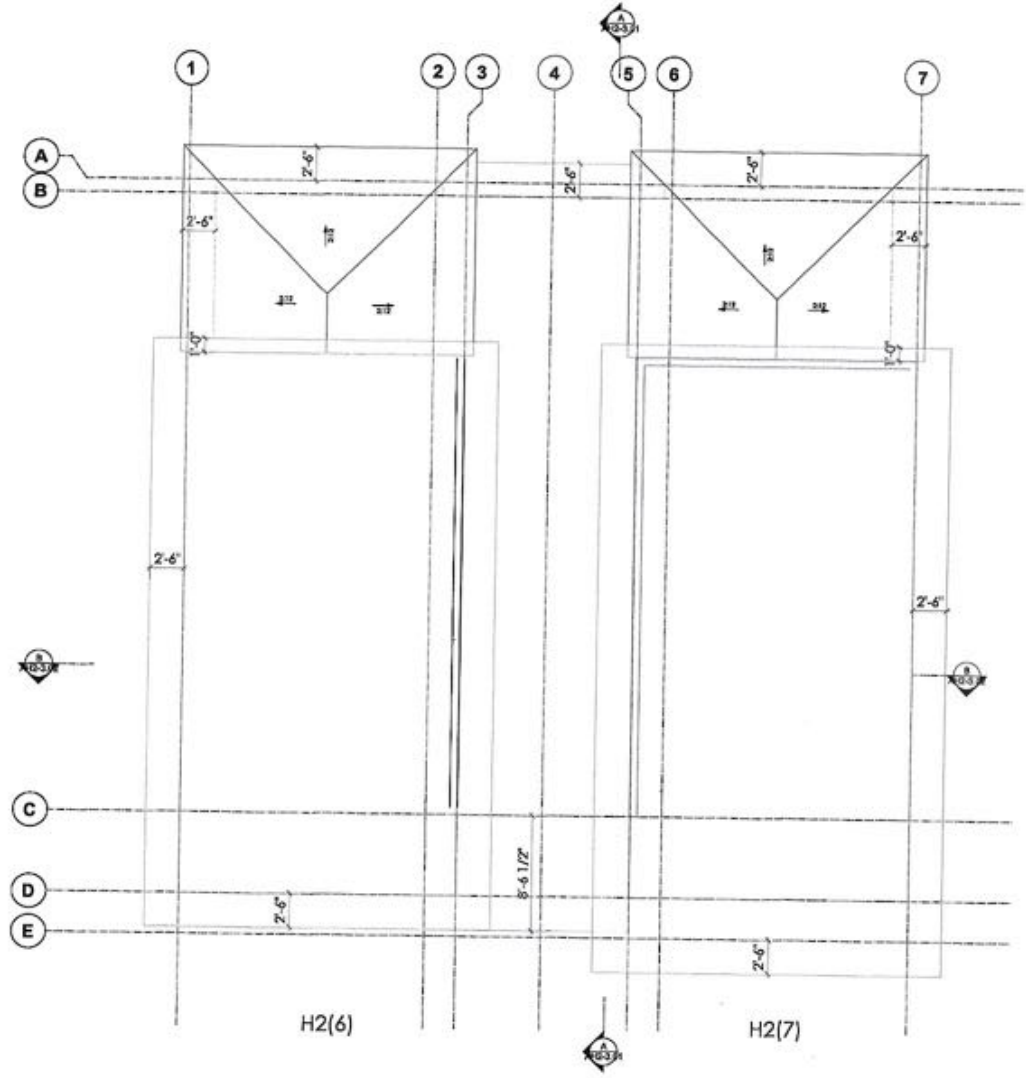
REVISIONS	
Issued for RF/Revised	Aug. 31, 2001
CHS/PK/CHS Revised	MAY 15, 2000
CHS, CHS/Revised	JULY 20, 2000
Final/Issued	OCT 1, 2000



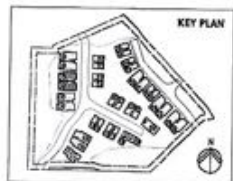
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H2

DRAWING
ROOF PLAN

PROJECT#	SHEET
808	AH2-2.04
SCALE	1/2" = 1'-0"
DATE	OCT 1, 2000

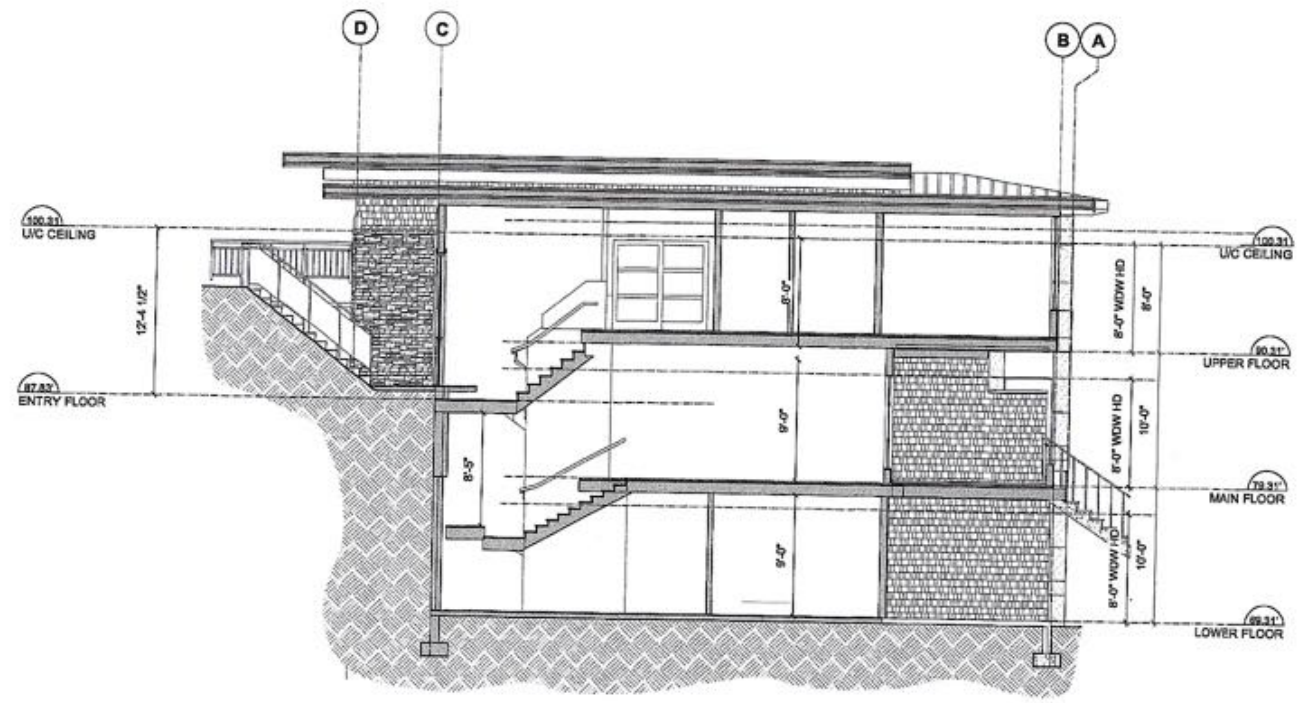


ROOF PLAN
 Unit H2



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REV	DESCRIPTION	DATE
1	ISSUE FOR PERMITTING	AUG 31, 2021
2	ISSUE FOR PERMITTING	MAY 13, 2022
3	REVISED PERMITTING	JULY 21, 2022
4	REVISED PERMITTING	OCT 1, 2022



A SECTION A-A
Scale: 1/4" = 1'-0"



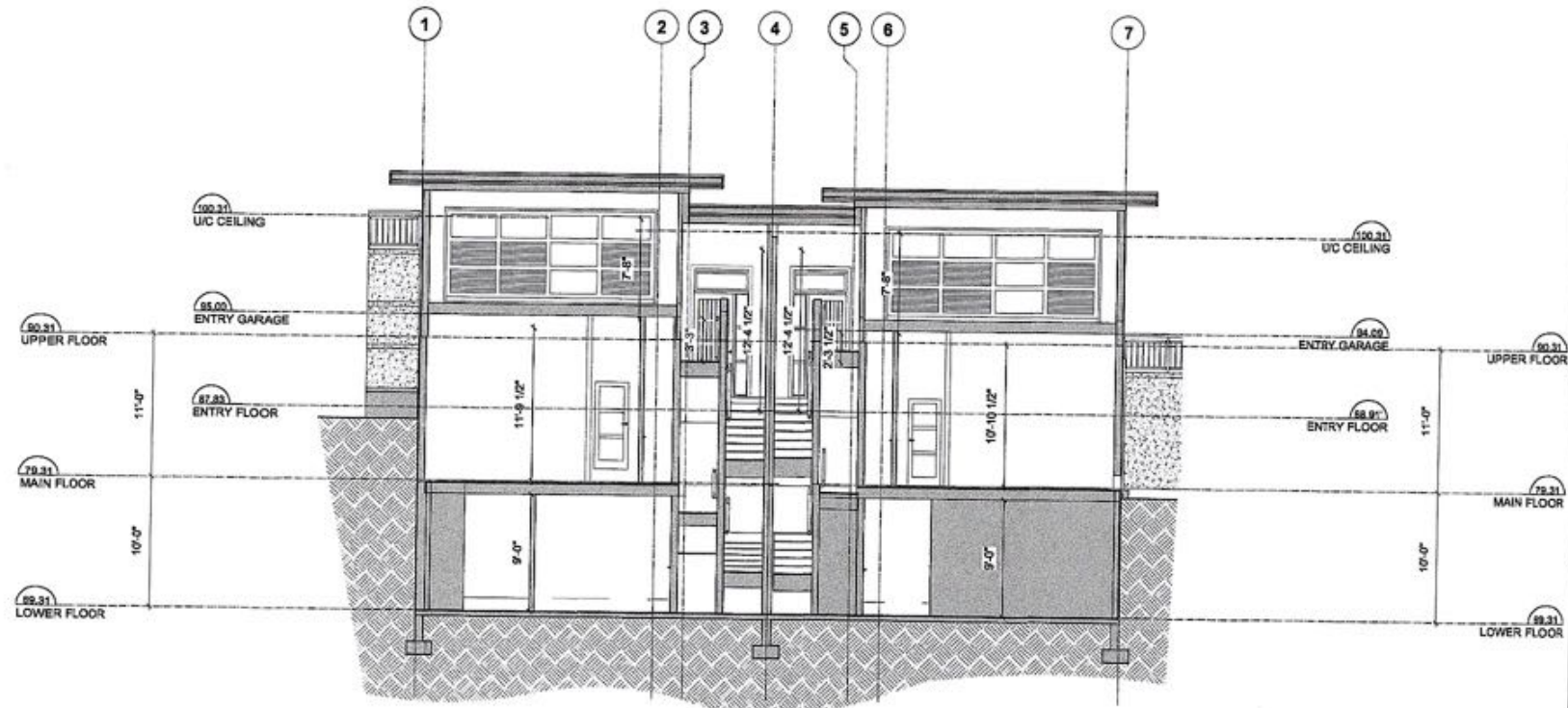
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT #2

DRAWING
SECTION A-A

PROJECT	SHEET
001	AH2-3.01
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2022

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REVISIONS	
Issued for CIP/Receiving	Aug 31, 2023
DRG Public Comment Revisions	MAY 13, 2023
SI, SE, SR Revisions	JULY 21, 2023
Final Review	OCT 1, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



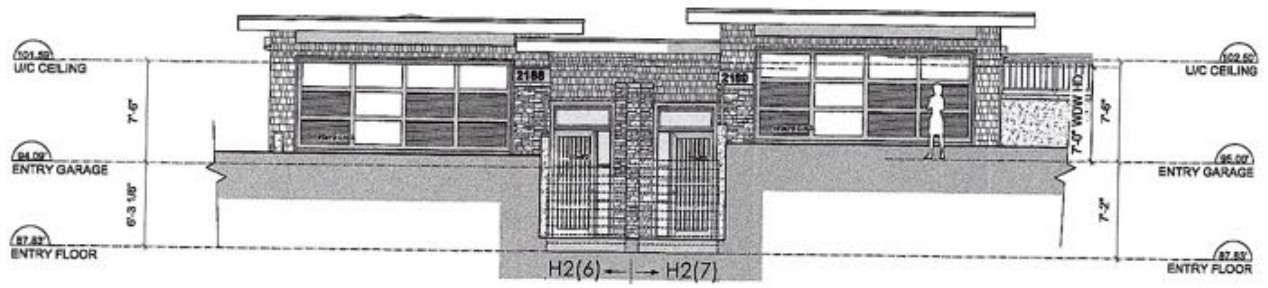
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
SECTION B-B

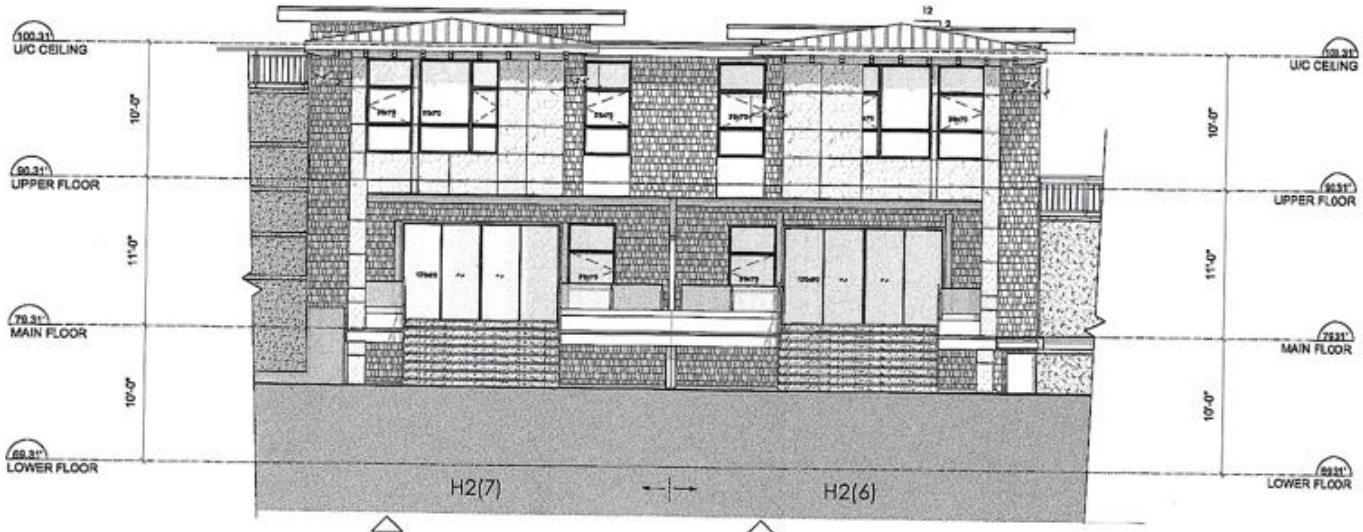
PROJECT#	SHEET
3031	AH2-
SCALE 1/4" = 1'-0"	3.02
DATE 001.1.2023	

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REVISIONS	
Issued for Offsetting	Aug 21, 2021
ON2 Public Comment Response	MAY 13, 2022
St. 65, 66 Resubmits	OCT 18, 2022
Final Review	OCT 1, 2023



FRONT / ENTRY ELEVATION
UNIT H2



LOWER FLOOR / BASEMENT EXEMPTIONS:
(75.37'-73.29' / 83.29'-73.29') x 100 = 20.80%

1,145 (gross area) x 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
(75.37'-73.29' / 83.29'-73.29') x 100 = 20.80%

1,206.6 (gross area) x 20.80% = 251.01 SF (exemption)

BACK ELEVATION
UNIT H2



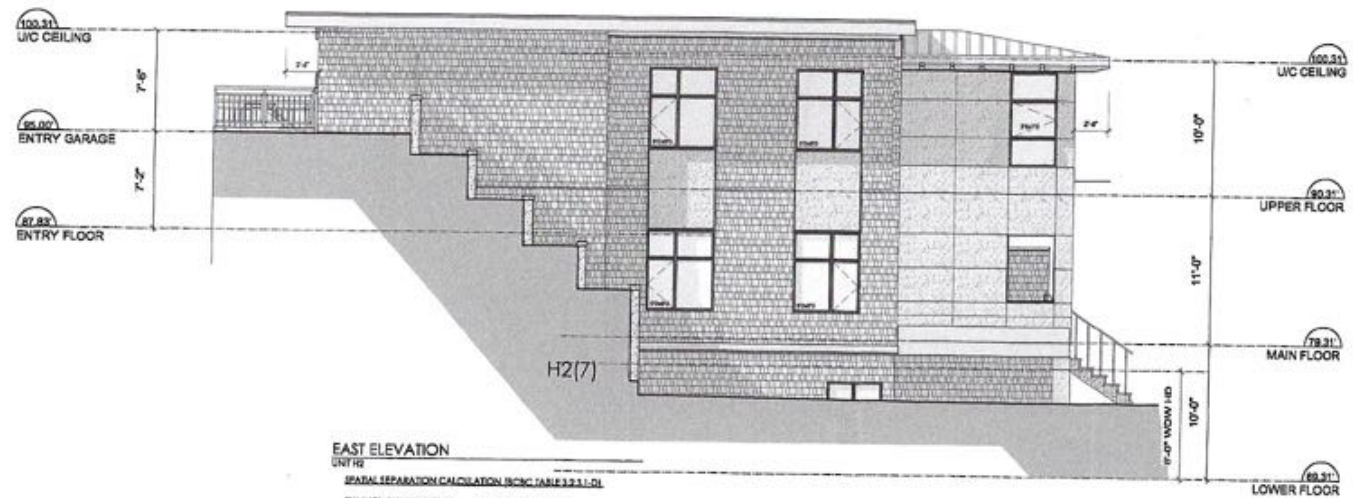
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
**FRONT & BACK
ELEVATIONS B/W**

PROJECT	SHEET
000	AH2- 4.01
SCALE	
DATE	
	OCT 1, 2023

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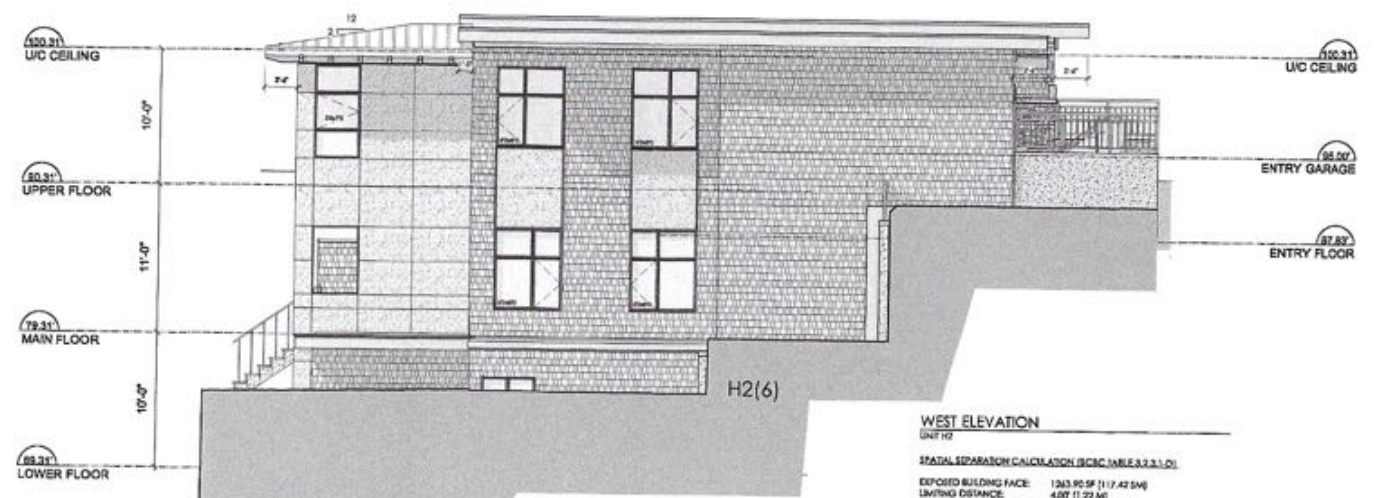
REVISIONS	
Issued for LP/Resolving	Aug 21, 2023
SRP/Plaza Council Review	July 15, 2023
SRP/CLM Review	July 21, 2023
Marked for	Oct 1, 2023



EAST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (B/C/C TABLE 3.3.3.1-D)

EXPOSED BUILDING FACE:	1091.70 SF (101.42 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROPOSED OPENING:	151.43 SF (14.07 SM)
PROPOSED OPENING:	13.67%
PERMITTED OPENING:	14.07%



WEST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (B/C/C TABLE 3.3.3.1-D)

EXPOSED BUILDING FACE:	1263.90 SF (117.42 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROPOSED OPENING:	176.50 SF (16.40 SM)
PROPOSED OPENING:	13.98%
PERMITTED OPENING:	14.00%



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING

**EAST & WEST
ELEVATIONS B/W**

PROJECT	SHEET
SCALE	AH2- 4.02
DATE	OCT 1, 2023



HARDY PANEL	FIRE CEMENT SHINGLES - WOODCONE RUSTIC SERIES CARBON TRAILS
STONE CLADDING	METAL ROOF - CHARCOAL GRAY
ENTRY DOOR STEWOOD - OLD MASTER OR STAIN C/W CLEAR TOP COAT - SPECIAL MAINT	WINDOW / FAUCIA / BARGE BOARDS & UPSTAND - CHARCOAL GRAY
SOFFIT - ROCKFORD GRATEM - HC - 105	SAILCONY - WROUGHT IRON BM - 2134-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
NO.	Material	Colour
1.1	Class 'C' Insulated Board	Charcoal Gray
1.2	Fire Cement Soffit	Wrought Iron BM - HC113
1.3	Skutter	Charcoal Gray
2.1	Fire Cement Shingle	Woodcane Rustic Series Carbon Trails
2.2	Hot Coat	
2.3	Hardy Panel	Light Gray
2.4	Hot Coat	
2.5	Stone	Window Granite
3.1	Specialty Sillcony with prefinished metal quarter & cap finishing	Wrought Iron BM - 2134-10
3.2	Finished metal quarter/finning iron	Wrought Iron BM - 2134-10
4.1	Double glazed vinyl window & sliding glass door	Charcoal Gray
4.2	Entry door painted c/w hardware and edge	Stewwood - Old Master Gel Finish c/w clear top coat - Special Maint
4.3	Finished fireplace painted garage door c/w treated plus 328, 388 c/w	Charcoal Gray
4.4	Fluorocarbon glass painted system c/w glass coat	Charcoal Gray
5.1	Pre treated treated wood	Stewwood - Old Master Gel Finish c/w clear top coat - Special Maint
5.2	Finished metal siding	Charcoal Gray
5.3	Steel panel insulated foil	Charcoal Gray

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REVISIONS

Issued for GF/Revised	Aug 21, 2020
CH2I Public Comment Revisions	NOV 10, 2020
DR, 45, 08 Revisions	JUL 21, 2020
Final Revisions	OCT 1, 2020

PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DATE

PROJECT

SCALE

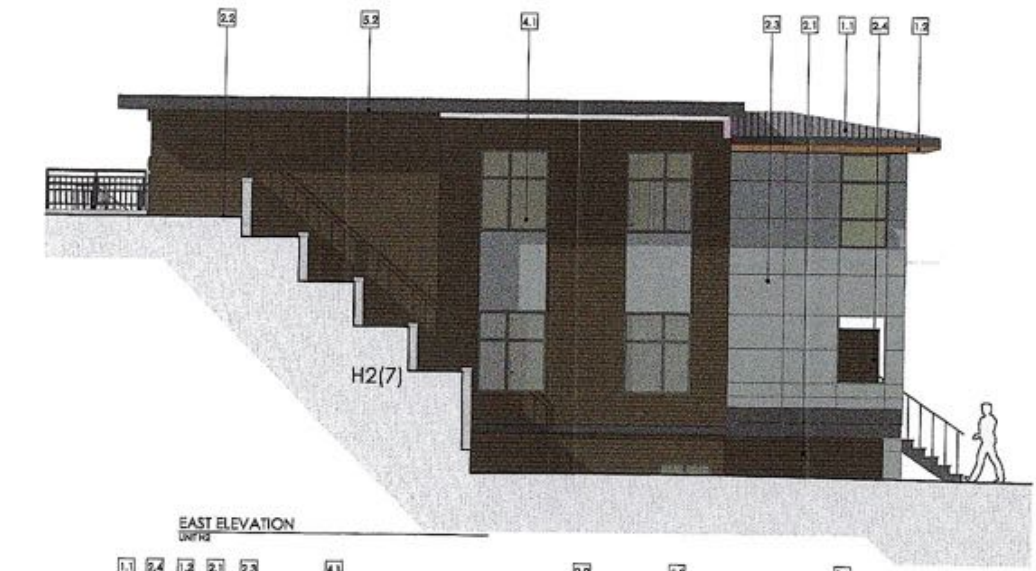
DATE

SHEET

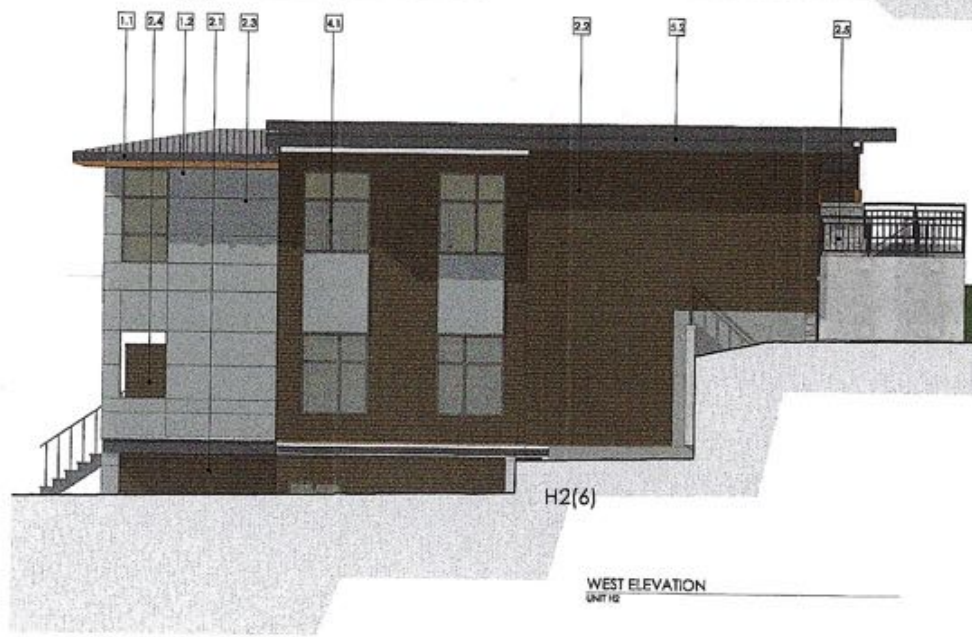
AH2-4.03

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REVISIONS	
Issued for O/S/Recording	Aug 31, 2021
ORCA Public Comment Revisions	MAY 13, 2022
City of BC Revisions	JUL 31, 2022
Final Revisions	OCT 1, 2022



EAST ELEVATION
UNIT H2



WEST ELEVATION
UNIT H2

AQUILA BIRCHWOOD MIDDLE SCHOOL		
No.	Material	Colour
1.1	1/2" Clear "X" Mason Seal	Charcoal Grey
1.2	White Cement Sill	Espresso Grey BR-10-10
1.3	Galvan	Charcoal Grey
2.1	White Cement Sill	Wheatstone Rustic Sables Canyon Tuff
2.2	Hardy Panel	Light Oak
2.3	Hardy Panel	Light Oak
2.4	Hardy Panel	Light Oak
2.5	Hardy Panel	Light Oak
3.1	Wrought Iron	Wrought Iron BR-3024-10
3.2	Wrought Iron	Wrought Iron BR-3024-10
4.1	Charcoal Grey	Charcoal Grey
4.2	Charcoal Grey	Charcoal Grey
4.3	Charcoal Grey	Charcoal Grey
4.4	Charcoal Grey	Charcoal Grey
5.1	Charcoal Grey	Charcoal Grey
5.2	Charcoal Grey	Charcoal Grey
5.3	Charcoal Grey	Charcoal Grey



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT NO. 808
SCALE 1/4" = 1'-0"
DATE OCT 1, 2022
SHEET
**AH2-
4.04**



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2

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REVISIONS	DATE
ISSUED FOR PERMITTING	AUG 21, 2023
ENR/PM/CA CONSULT REVISIONS	MAY 18, 2023
REV. 02, 03 REVISIONS	JULY 20, 2023
FINAL SUBMITTAL	OCT 1, 2023



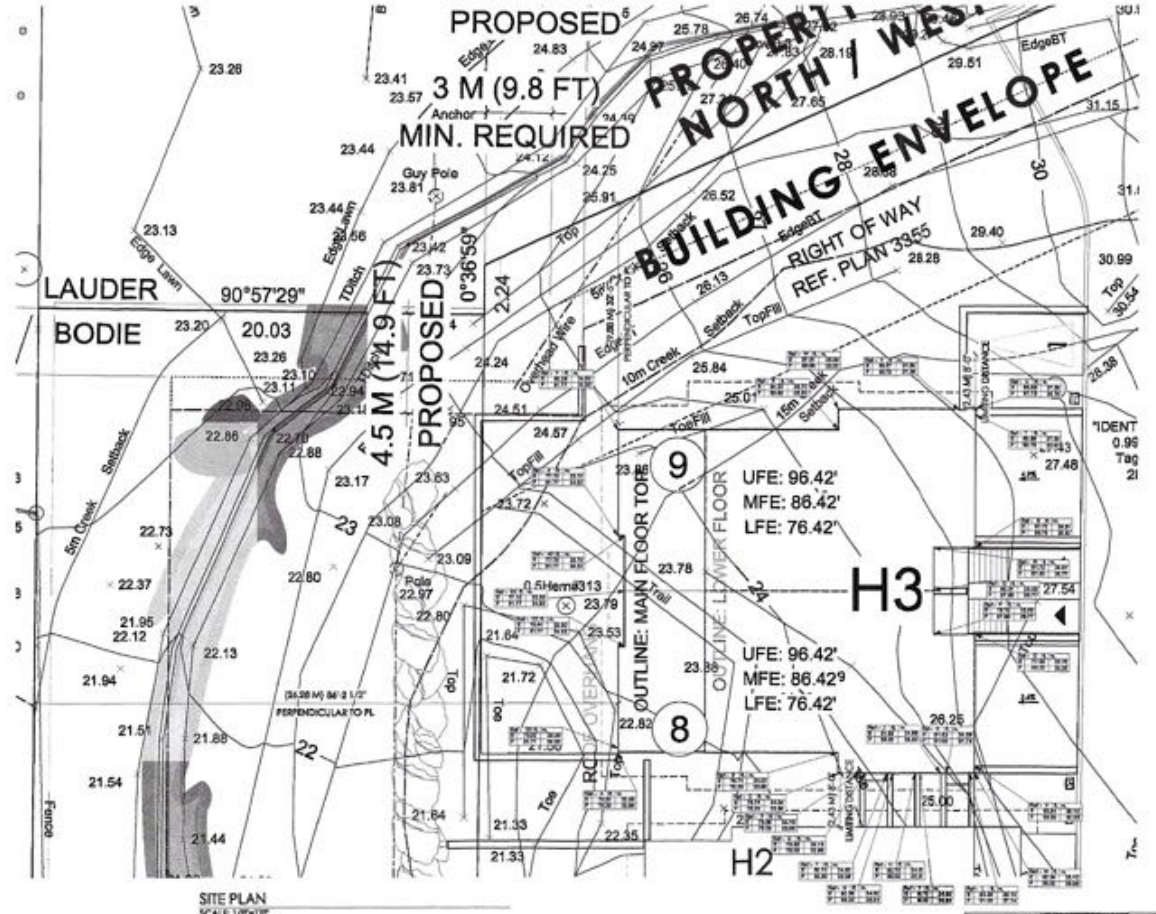
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
FRONT & BACK
ELEVATIONS
CAMERA VIEW

PROJECT	SHEET
SCALE	AH2-
DATE	4.05

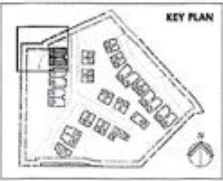
PROPOSED FINISHED GRADE CALCULATION						
Ref #	Elevation (m)	Ref #	Elevation (m)	Avg. Elevation (m)	Clearance (m)	Avg. Clearance (m)
A	78.26	78.26	78.26	78.26	0.00	204.88
B	78.26	78.26	78.26	78.26	0.00	204.87
C	78.26	78.26	78.26	78.26	0.00	204.87
D	78.26	78.26	78.26	78.26	0.00	19.28
E	78.26	82.30	86.30	82.30	3.00	206.29
F	82.30	82.30	82.30	82.30	0.00	85.85
G	82.30	82.30	82.30	82.30	0.00	204.90
H	82.30	82.30	82.30	82.30	0.00	86.33
I	82.30	82.30	82.30	82.30	0.00	204.90
J	82.30	82.30	82.30	82.30	0.00	86.33
K	81.90	81.90	81.90	81.90	0.00	208.78
L	81.90	81.90	81.90	81.90	0.00	81.00
M	82.00	82.00	82.00	82.00	0.00	81.58
N	82.00	82.00	82.00	82.00	0.00	1033.28
O	82.00	82.00	82.00	82.00	0.00	81.20
P	82.00	82.00	82.00	82.00	0.00	81.20
Q	82.00	82.00	82.00	82.00	0.00	208.24
R	82.00	82.00	82.00	82.00	0.00	81.20
S	82.00	82.00	82.00	82.00	0.00	1843.18
T	82.00	82.00	82.00	82.00	0.00	82.25
U	82.00	82.00	82.00	82.00	0.00	311.84
V	82.00	82.00	82.00	82.00	0.00	1982.89
W	82.00	82.00	82.00	82.00	0.00	208.24
X	82.00	82.00	82.00	82.00	0.00	208.24
Y	81.72	81.72	81.72	81.72	0.00	1982.89
Z	81.72	81.72	81.72	81.72	0.00	81.72
AA	81.72	81.72	81.72	81.72	0.00	814.88
AB	81.72	81.72	81.72	81.72	0.00	814.88
AC	81.72	81.72	81.72	81.72	0.00	1982.89
AD	81.72	81.72	81.72	81.72	0.00	81.72
Total				202.82		1982.89
Avg. Finish Grade						81.88
Max. Slope (1%)						1.16%

EXISTING FINISHED GRADE CALCULATION						
Ref #	Elevation (m)	Ref #	Elevation (m)	Avg. Elevation (m)	Clearance (m)	Avg. Clearance (m)
A	78.26	78.26	78.26	78.26	0.00	204.88
B	78.26	78.26	78.26	78.26	0.00	204.87
C	78.26	78.26	78.26	78.26	0.00	204.87
D	78.26	78.26	78.26	78.26	0.00	19.28
E	78.26	82.30	86.30	82.30	3.00	206.29
F	82.30	82.30	82.30	82.30	0.00	85.85
G	82.30	82.30	82.30	82.30	0.00	204.90
H	82.30	82.30	82.30	82.30	0.00	86.33
I	82.30	82.30	82.30	82.30	0.00	204.90
J	82.30	82.30	82.30	82.30	0.00	86.33
K	81.90	81.90	81.90	81.90	0.00	208.78
L	81.90	81.90	81.90	81.90	0.00	81.00
M	82.00	82.00	82.00	82.00	0.00	81.58
N	82.00	82.00	82.00	82.00	0.00	1033.28
O	82.00	82.00	82.00	82.00	0.00	81.20
P	82.00	82.00	82.00	82.00	0.00	81.20
Q	82.00	82.00	82.00	82.00	0.00	208.24
R	82.00	82.00	82.00	82.00	0.00	81.20
S	82.00	82.00	82.00	82.00	0.00	1843.18
T	82.00	82.00	82.00	82.00	0.00	82.25
U	82.00	82.00	82.00	82.00	0.00	311.84
V	82.00	82.00	82.00	82.00	0.00	1982.89
W	82.00	82.00	82.00	82.00	0.00	208.24
X	82.00	82.00	82.00	82.00	0.00	208.24
Y	81.72	81.72	81.72	81.72	0.00	1982.89
Z	81.72	81.72	81.72	81.72	0.00	81.72
AA	81.72	81.72	81.72	81.72	0.00	814.88
AB	81.72	81.72	81.72	81.72	0.00	814.88
AC	81.72	81.72	81.72	81.72	0.00	1982.89
AD	81.72	81.72	81.72	81.72	0.00	81.72
Total				202.82		1982.89
Avg. Existing Grade						81.88
Max. Slope (1%)						1.16%



TOP OF FINISH FLOOR - (33.0)			
Lower	Mean	Upper	
84.18 m	87.26 m	90.28 m	
79.27	86.27	89.27	

TOP OF FINISH FLOOR - (33.0)			
Lower	Mean	Upper	
84.18 m	87.26 m	90.28 m	
79.27	86.27	89.27	



These plans remain the ownership of Sterling Pacific

REVISED: Aug 31, 2022
 DND/Public Comment/Review: MAY 18, 2022
 DT, DS, SR Revisions: JULY 21, 2022
 Final Edition: Oct 1, 2022



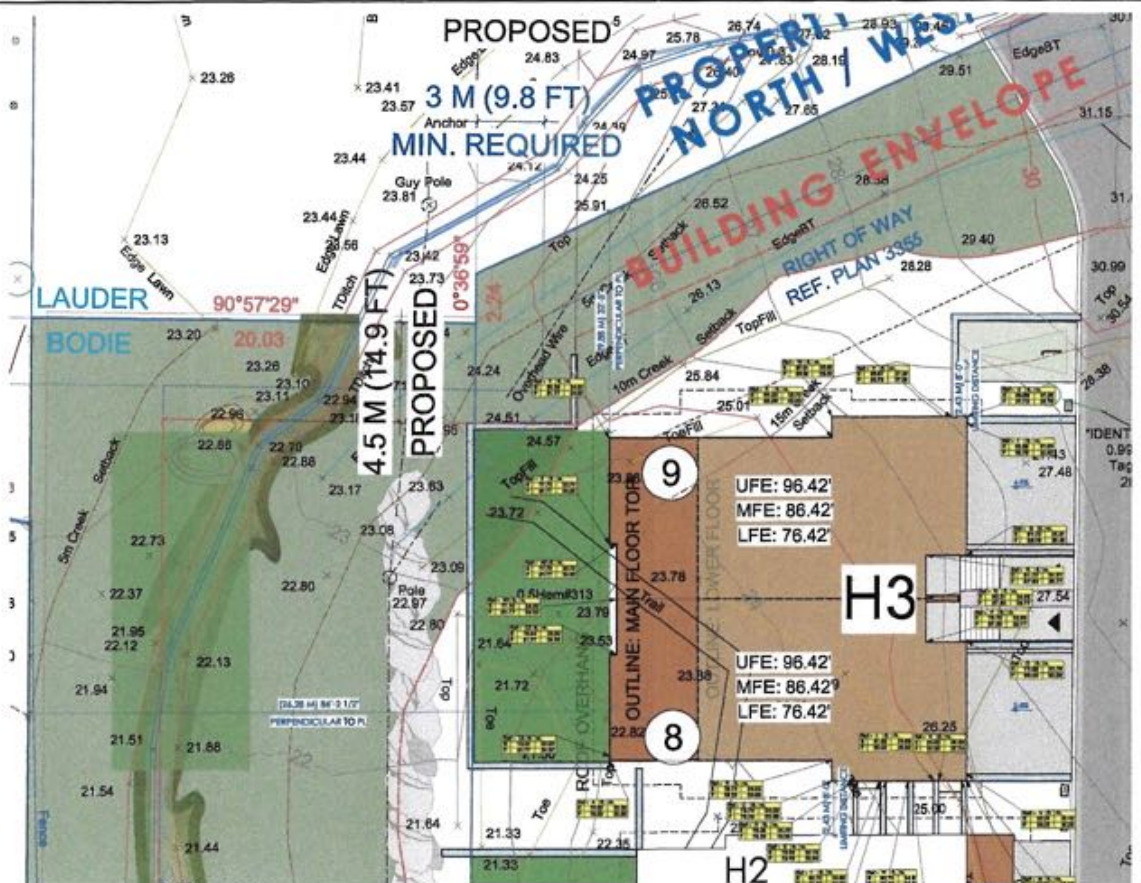
PROJECT
 DAIFOOD DRIVE, WEST VANCOUVER, BC
 UNIT N3

DRAWING
 SITE PLAN

PROJECT# 000 SHEET
 SCALE 1/8" = 1'-0" AH3-1.01
 DATE OCT 1, 2022

NO. AVERAGE FINISHED GRADE CALCULATION					
Ref #	Station	Ref #	Station	Avg Elevation/Distance	Avg L. Distance
A	78.30	78.30	78.30	33.25	254.85
B	78.20	78.20	78.20	3.00	234.87
C	78.20	78.20	78.20	3.00	234.87
D	78.20	78.20	78.20	1.40	18.50
E	78.20	80.30	80.30	2.20	395.49
F	80.20	80.20	80.20	1.00	83.85
G	80.20	80.20	80.20	2.20	278.26
H	80.20	80.20	80.20	1.00	88.53
I	80.20	80.20	80.20	2.20	280.20
J	80.20	80.20	80.20	1.00	84.80
K	81.80	81.80	81.80	3.20	250.73
L	81.80	81.80	81.80	1.00	93.20
M	80.20	80.20	81.30	1.00	92.13
N	80.20	80.20	80.20	10.20	1030.38
O	80.20	80.20	80.20	6.00	581.20
P	87.20	87.20	87.20	8.00	675.20
Q	87.20	87.20	87.20	6.00	510.00
R	87.20	87.20	87.20	6.00	589.14
S	88.70	88.70	88.70	10.00	1045.12
T	88.70	88.70	88.70	1.00	88.70
U	87.20	87.20	87.20	2.25	210.84
V	88.70	88.70	88.70	1.00	1040.80
W	83.80	83.80	83.80	3.00	236.80
X	83.80	83.80	83.80	3.00	248.24
Y	83.77	83.77	83.77	15.84	1380.80
Z	83.77	83.77	83.77	1.00	83.77
AA	83.77	83.77	83.77	8.25	674.80
AB	83.77	83.77	83.77	15.84	1380.80
AC	83.77	83.77	83.77	1.00	83.77
TOT					19489.80
Avg. Finish Grade					80.24
Max. Rise (Height) (ft)					115.10

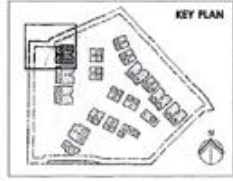
NO. AVERAGE EXISTING GRADE CALCULATION					
Ref #	Station	Ref #	Station	Avg Elevation/Distance	Avg L. Distance
A	78.30	78.30	78.30	33.25	2491.87
B	78.20	78.20	78.20	3.00	238.80
C	78.20	78.20	78.20	3.00	237.11
D	78.20	78.20	78.20	1.00	78.20
E	78.20	80.30	80.30	3.95	240.12
F	80.20	80.20	80.20	1.00	80.20
G	80.20	80.20	80.20	2.20	281.14
H	80.20	80.20	80.20	1.00	80.75
I	80.20	81.30	81.30	3.25	243.78
J	81.80	81.80	81.80	1.00	81.80
K	81.80	81.80	81.80	3.20	258.45
L	81.80	81.80	81.80	1.00	81.34
M	80.20	80.20	80.20	1.00	83.34
N	80.20	80.20	80.20	10.00	1000.00
O	87.20	87.20	87.20	8.00	680.80
P	87.20	87.20	87.20	6.00	518.40
Q	87.20	87.20	87.20	6.00	589.21
R	88.70	88.70	88.70	10.00	1040.80
S	88.70	88.70	88.70	1.00	88.70
T	88.70	88.70	88.70	2.25	210.84
U	88.70	88.70	88.70	1.00	1040.80
V	83.80	83.80	83.80	3.00	236.80
W	83.80	83.80	83.80	3.00	248.24
X	83.77	83.77	83.77	15.84	1380.80
Y	83.77	83.77	83.77	1.00	83.77
Z	83.77	83.77	83.77	8.25	674.80
AA	83.77	83.77	83.77	15.84	1380.80
AB	83.77	83.77	83.77	1.00	83.77
TOT					19887.20
Avg. Existing Grade					80.20
Max. Rise (Height) (ft)					115.10



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G3 (ft)			
Lower	Main	Upper	
24.91 m	27.28 m	30.25 m	
79.27	83.27	93.27	

TOP OF FINISH FLOOR - G2 (ft)			
Lower	Main	Upper	
24.91 m	27.28 m	30.25 m	
79.27	83.27	93.27	



These plans remain the ownership of Sterling Pacific

REVISED
 Issued for Planning: Aug. 11, 2021
 3462 Public Comment Version: MAY 18, 2020
 01.25.02 Revisions: JULY 31, 2021
 If not indicated: Oct. 1, 2020



PROJECT
 DAIPPODI DRIVE, WEST VANCOUVER, BC

UNIT H3

DRAWING
 SITE PLAN

PROJECT: H3
 SHEET: AH3-1.01
 SCALE: 1/8"=1'-0"
 DATE: OCT. 2021

These plans remain the ownership of Sterling Pacific

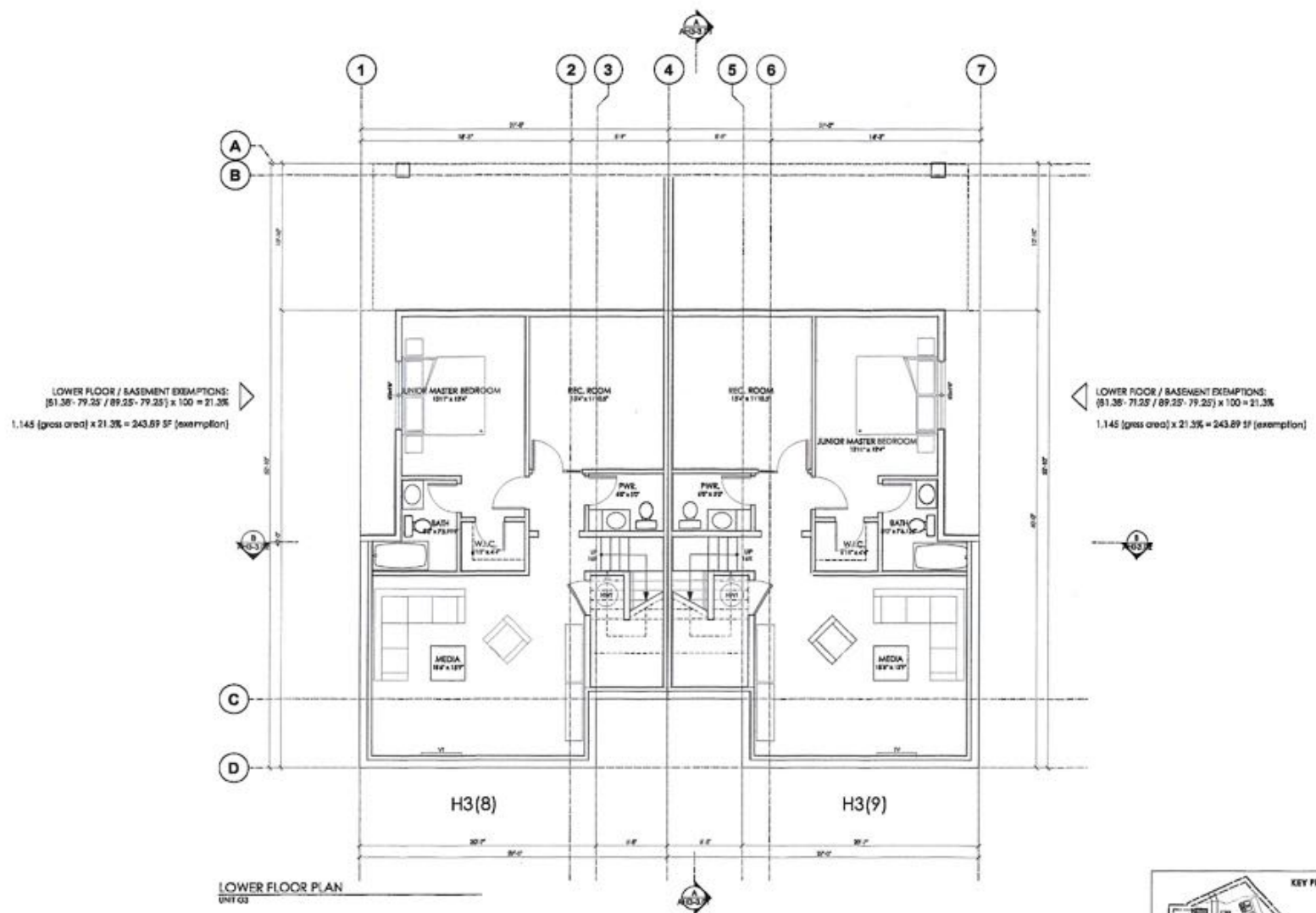
REVISIONS
 Issued for 2D/Working: Aug 21, 2021
 2020 Public Comment Revisions: July 15, 2020
 2019, 2018, 2017 Revisions: July 26, 2019
 Initial Release: Oct 1, 2019



PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 LOWER FLOOR PLAN

PROJECT: H30 SHEET: AH3-2.01
 SCALE: 1/4" = 1'-0"
 DATE: OCT 1, 2020



UNIT 8 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	962.8 SF	1246.3 SF	1279.4 SF	3512.2 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	426.8 SF	426.8 SF
BASEMENT INCLUSIONS 21.3%	300.3 SF	0.0 SF	0.0 SF	300.3 SF
OVERHEAD HEIGHT INCLUSION	0.0 SF	0.0 SF	45.0 SF	45.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	772.5 SF	1150.3 SF	777.2 SF	2699.9 SF

UNIT 8 FLOOR AREAS METRIC

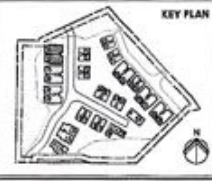
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	124.54 M	152.83 M	152.84 M	380.21 M
GARAGE INCLUSIONS	0.0 M	0.0 M	57.25 M	57.25 M
BASEMENT INCLUSIONS 21.3%	37.73 M	0.0 M	0.0 M	37.73 M
OVERHEAD HEIGHT INCLUSION	0.0 M	0.0 M	4.4 M	4.4 M
COVERED BALCONY INCLUSIONS	0.0 M	9.13 M	0.0 M	9.13 M
NET	97.77 M	142.83 M	92.64 M	293.24 M

UNIT 9 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	782.8 SF	1540.3 SF	1279.3 SF	3002.4 SF
GARAGE INCLUSIONS	0.0 SF	0.0 SF	426.8 SF	426.8 SF
BASEMENT INCLUSIONS 21.3%	299.2 SF	0.0 SF	0.0 SF	299.2 SF
OVERHEAD HEIGHT INCLUSION	0.0 SF	0.0 SF	45.0 SF	45.0 SF
COVERED BALCONY INCLUSIONS	0.0 SF	76.4 SF	0.0 SF	76.4 SF
NET	772.8 SF	1140.3 SF	777.8 SF	2690.9 SF

UNIT 9 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	124.54 M	184.43 M	152.84 M	341.81 M
GARAGE INCLUSIONS	0.0 M	0.0 M	57.25 M	57.25 M
BASEMENT INCLUSIONS 21.3%	37.73 M	0.0 M	0.0 M	37.73 M
OVERHEAD HEIGHT INCLUSION	0.0 M	0.0 M	4.4 M	4.4 M
COVERED BALCONY INCLUSIONS	0.0 M	9.13 M	0.0 M	9.13 M
NET	97.77 M	114.03 M	92.64 M	294.44 M



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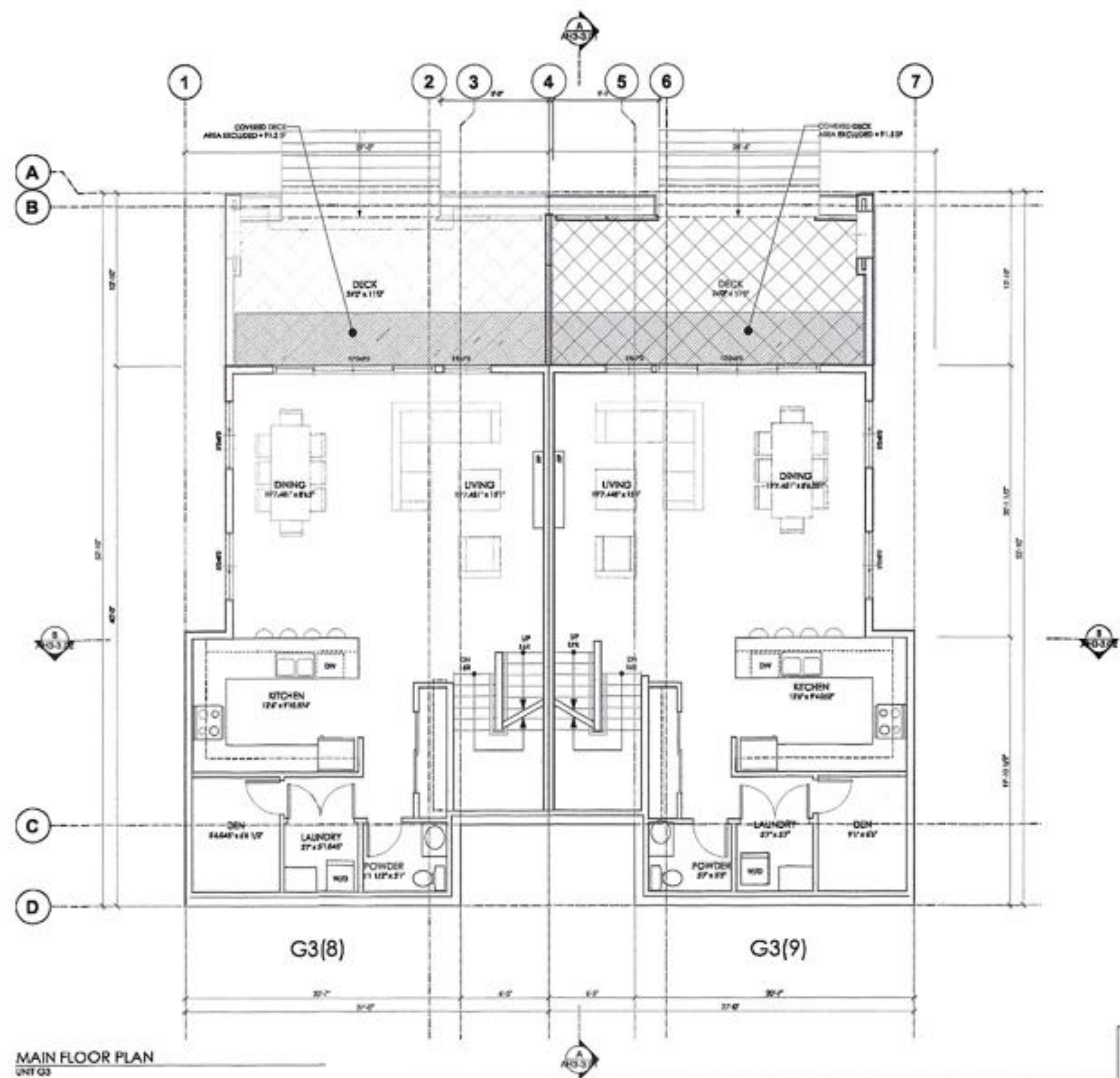
REVISIONS
 Issued for O.P./Marketing Aug 31, 2021
 0412 Public Comment/Revisions A447 12, 2022
 01, 02, 03 Revisions A471 21, 2022
 Final Address Oct 1, 2022



PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 MAIN FLOOR PLAN

PROJECT 800 SHEET
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2022
AH3-2.02



MAIN FLOOR PLAN
 UNIT G3

UNIT 8 FLOOR AREAS IMPERIAL

	LEVEL 1 90 FT	LEVEL 2 90 FT	LEVEL 3 90 FT	TOTAL
GROSS	463.8 SF	1048.4 SF	1376.8 SF	3712.8 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	456.8 SF	456.8 SF
BALCONY ENCLOSURE 21.25'	20.2 SF	0.0 SF	0.0 SF	20.2 SF
COVERED PORCH ENCLOSURE	0.0 SF	0.0 SF	410.0 SF	410.0 SF
COVERED BALCONY ENCLOSURE	0.0 SF	16.4 SF	0.0 SF	16.4 SF
NET	373.9 SF	1163.3 SF	919.8 SF	3457.0 SF

UNIT 8 FLOOR AREAS METRIC

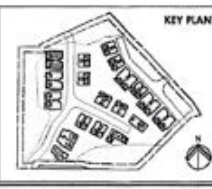
	LEVEL 1 90 M	LEVEL 2 90 M	LEVEL 3 90 M	TOTAL
GROSS	104.54 M ²	1128.54 M ²	1308.54 M ²	3481.62 M ²
GARAGE ENCLOSURE	0.00 M ²	0.00 M ²	107.54 M ²	107.54 M ²
BALCONY ENCLOSURE 21.25'	22.13 M ²	0.00 M ²	0.00 M ²	22.13 M ²
COVERED PORCH ENCLOSURE	0.00 M ²	0.00 M ²	100.00 M ²	100.00 M ²
COVERED BALCONY ENCLOSURE	0.00 M ²	4.13 M ²	0.00 M ²	4.13 M ²
NET	82.79 M ²	1127.54 M ²	910.54 M ²	3420.87 M ²

UNIT 9 FLOOR AREAS IMPERIAL

	LEVEL 1 90 FT	LEVEL 2 90 FT	LEVEL 3 90 FT	TOTAL
GROSS	463.8 SF	1048.3 SF	1376.2 SF	3712.8 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	456.8 SF	456.8 SF
BALCONY ENCLOSURE 21.25'	20.2 SF	0.0 SF	0.0 SF	20.2 SF
COVERED PORCH ENCLOSURE	0.0 SF	0.0 SF	410.0 SF	410.0 SF
COVERED BALCONY ENCLOSURE	0.0 SF	16.4 SF	0.0 SF	16.4 SF
NET	373.9 SF	1163.3 SF	919.8 SF	3457.0 SF

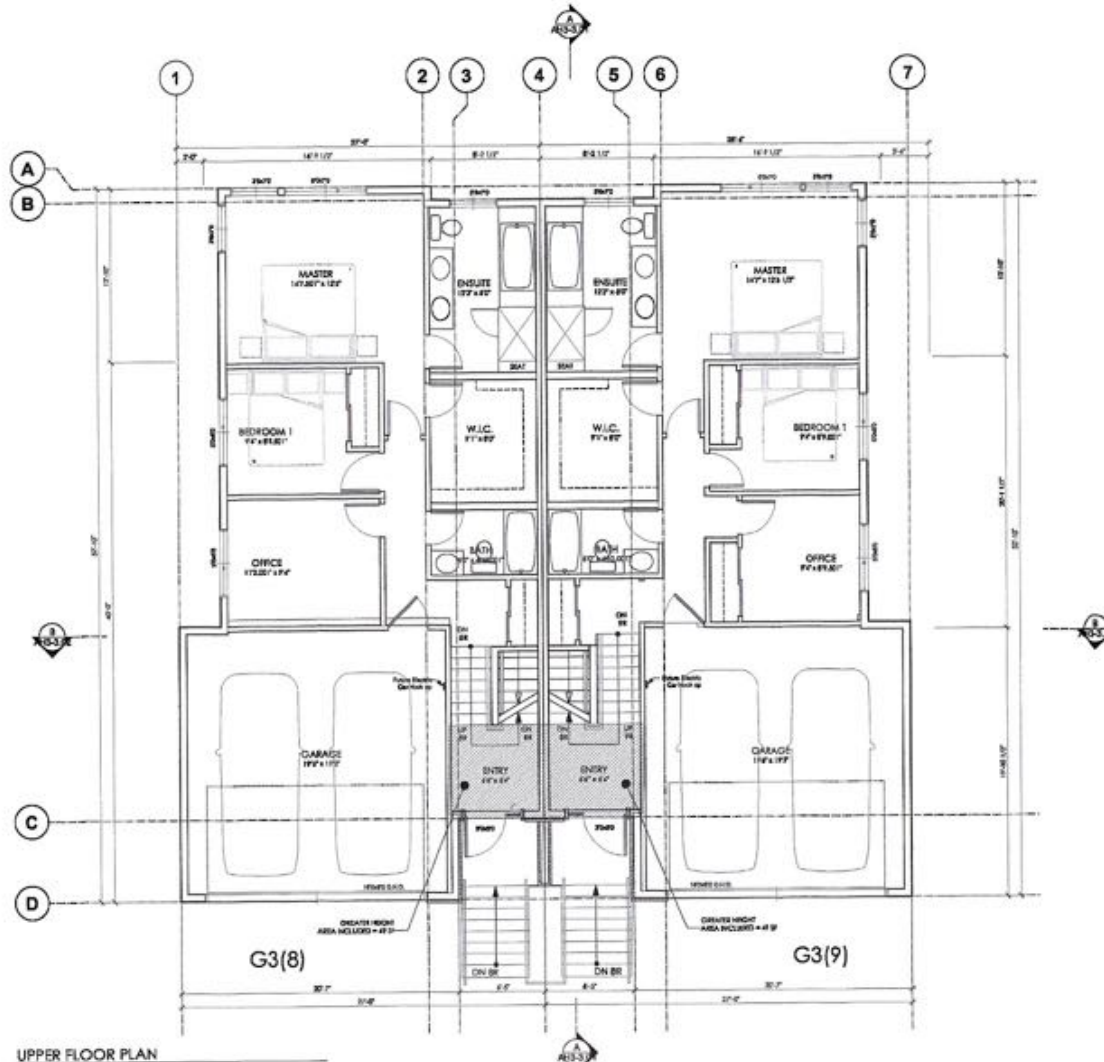
UNIT 9 FLOOR AREAS METRIC

	LEVEL 1 90 M	LEVEL 2 90 M	LEVEL 3 90 M	TOTAL
GROSS	104.54 M ²	1128.3 M ²	1308.2 M ²	3481.04 M ²
GARAGE ENCLOSURE	0.00 M ²	0.00 M ²	107.54 M ²	107.54 M ²
BALCONY ENCLOSURE 21.25'	22.13 M ²	0.00 M ²	0.00 M ²	22.13 M ²
COVERED PORCH ENCLOSURE	0.00 M ²	0.00 M ²	100.00 M ²	100.00 M ²
COVERED BALCONY ENCLOSURE	0.00 M ²	4.13 M ²	0.00 M ²	4.13 M ²
NET	82.79 M ²	1127.3 M ²	910.54 M ²	3420.63 M ²



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REVISIONS
 ISSUED FOR PERMITTING
 CIVIC PUBLIC COMMENT PERIOD
 01.10.03 Revise
 11.04.03
 Aug 21, 2001
 MAY 22, 2002
 JUL 24, 2002
 Oct 1, 2002



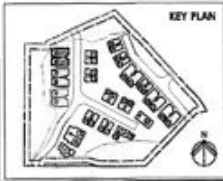
UPPER FLOOR PLAN
 UNIT G3

UNIT 8 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
OFFICE	90.8 SF	126.4 SF	151.4 SF	368.6 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	406.8 SF	406.8 SF
HALLWAY ENCLOSURE 21.25	20.2 SF	0.0 SF	0.0 SF	20.2 SF
COVERED HEIGHT ENCLOSURE	0.0 SF	0.0 SF	48.0 SF	48.0 SF
COVERED BALCONY ENCLOSURE	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	111.0 SF	144.4 SF	179.4 SF	334.8 SF

UNIT 8 FLOOR AREAS METRIC				
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	TOTAL
OFFICE	84.4 SQ M	116.9 SQ M	140.8 SQ M	342.1 SQ M
GARAGE ENCLOSURE	0.0 SQ M	0.0 SQ M	379.5 SQ M	379.5 SQ M
HALLWAY ENCLOSURE 21.25	18.8 SQ M	0.0 SQ M	0.0 SQ M	18.8 SQ M
COVERED HEIGHT ENCLOSURE	0.0 SQ M	0.0 SQ M	44.5 SQ M	44.5 SQ M
COVERED BALCONY ENCLOSURE	0.0 SQ M	17.1 SQ M	0.0 SQ M	17.1 SQ M
NET	103.2 SQ M	134.0 SQ M	165.3 SQ M	292.5 SQ M

UNIT 9 FLOOR AREAS IMPERIAL				
	LEVEL 1 50 FT	LEVEL 2 50 FT	LEVEL 3 50 FT	TOTAL
OFFICE	90.8 SF	126.4 SF	151.4 SF	368.6 SF
GARAGE ENCLOSURE	0.0 SF	0.0 SF	406.8 SF	406.8 SF
HALLWAY ENCLOSURE 21.25	20.2 SF	0.0 SF	0.0 SF	20.2 SF
COVERED HEIGHT ENCLOSURE	0.0 SF	0.0 SF	48.0 SF	48.0 SF
COVERED BALCONY ENCLOSURE	0.0 SF	18.4 SF	0.0 SF	18.4 SF
NET	111.0 SF	144.4 SF	179.4 SF	334.8 SF

UNIT 9 FLOOR AREAS METRIC				
	LEVEL 1 30 M	LEVEL 2 30 M	LEVEL 3 30 M	TOTAL
OFFICE	84.4 SQ M	116.9 SQ M	140.8 SQ M	342.1 SQ M
GARAGE ENCLOSURE	0.0 SQ M	0.0 SQ M	379.5 SQ M	379.5 SQ M
HALLWAY ENCLOSURE 21.25	18.8 SQ M	0.0 SQ M	0.0 SQ M	18.8 SQ M
COVERED HEIGHT ENCLOSURE	0.0 SQ M	0.0 SQ M	44.5 SQ M	44.5 SQ M
COVERED BALCONY ENCLOSURE	0.0 SQ M	17.1 SQ M	0.0 SQ M	17.1 SQ M
NET	103.2 SQ M	134.0 SQ M	165.3 SQ M	292.5 SQ M



PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT #3

DRAWING
 UPPER FLOOR PLAN

PROJECT NO. 001
 SHEET NO. AH3-2.03
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2002

These plans remain the ownership of Sterling Pacific

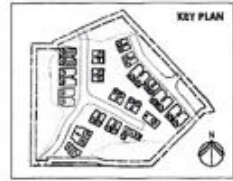
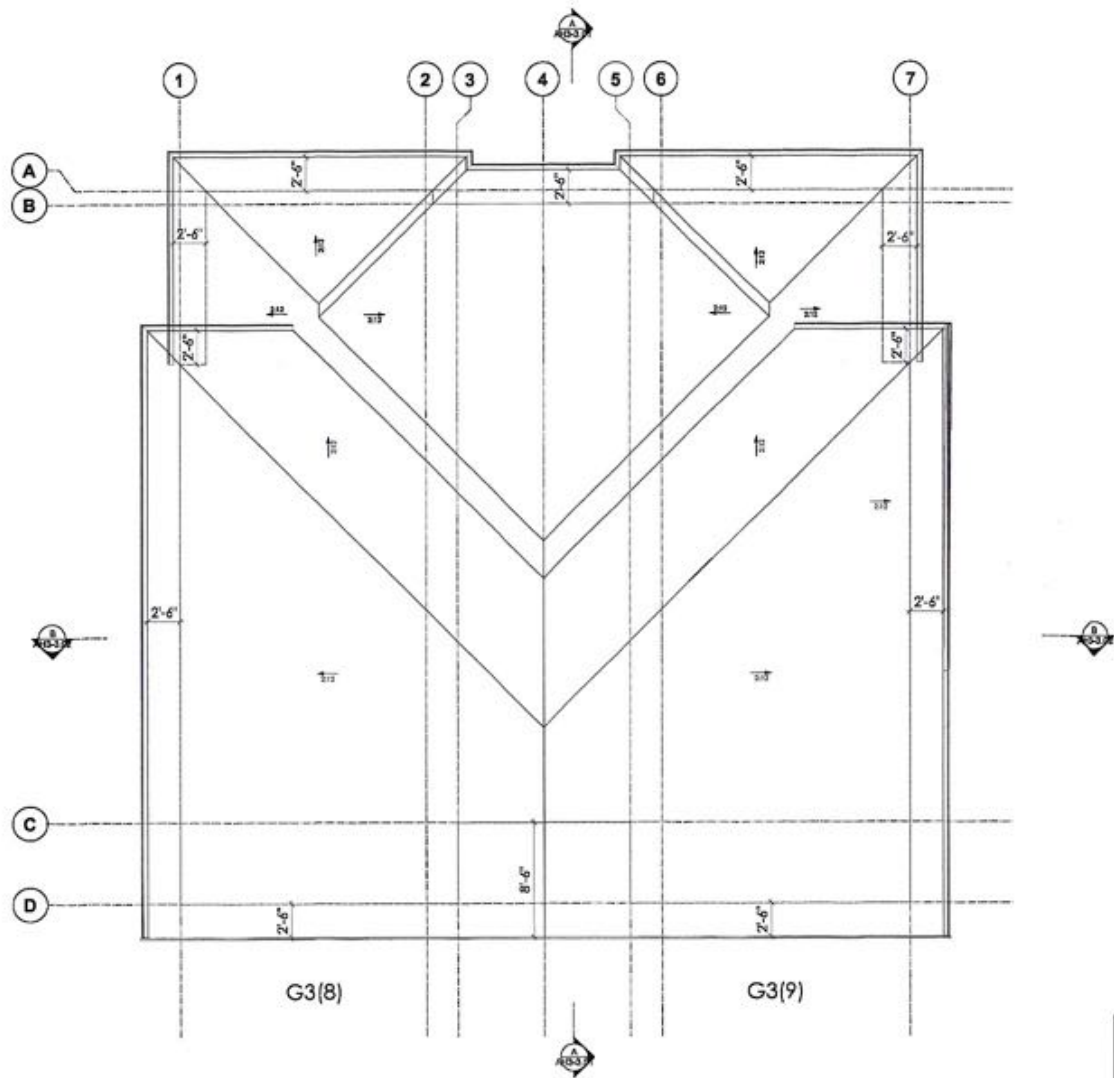
REVISIONS
Issued for Planning Aug. 31, 2021
EMD Public Comment Release MAY 15, 2022
CL, DL, OS Revisions JULY 31, 2023
Final Release Oct 1, 2023



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

DRAWING
ROOF PLAN

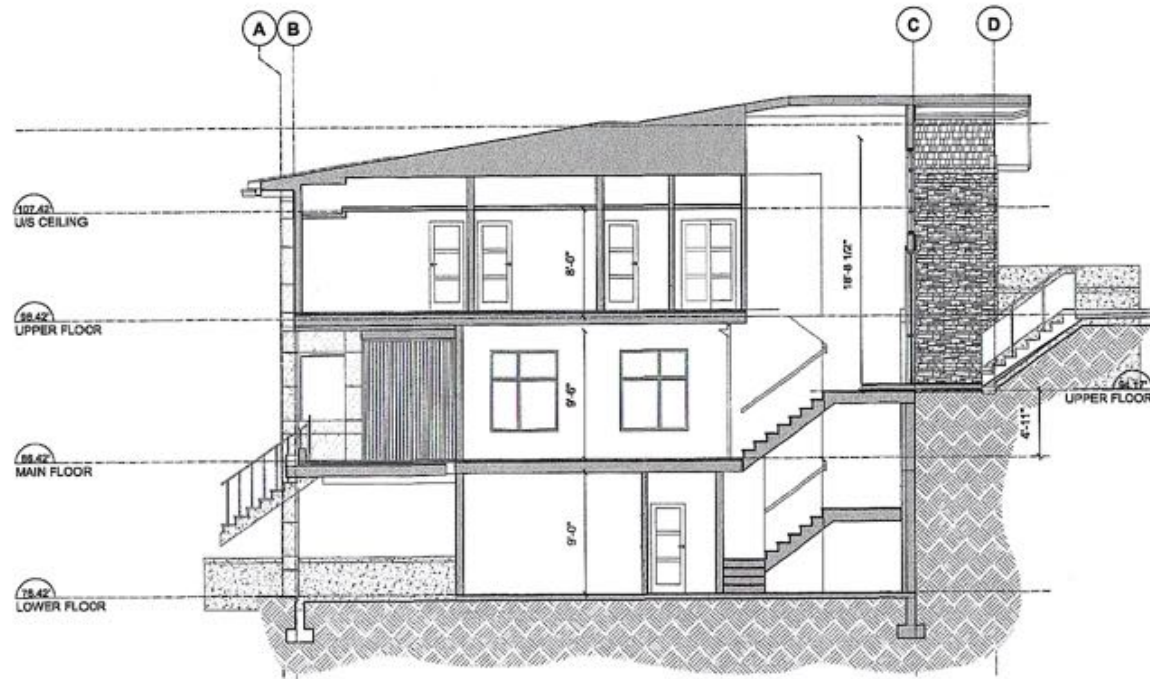
PROJECT	NO.	SHEET
		AH3-
SCALE	1/2" = 1' - 0"	
DATE	OCT 1, 2023	



ROOF PLAN
UNF G3

These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for 10/15/2001 Aug 21, 2001
 CRD P&M Comment/Update MAY 12, 2001
 01, 02, 03 Remarks JUN 15, 2001
 Work schedule Oct 1, 2001



A SECTION A-A
 Scale: 1/4" = 1'-0"



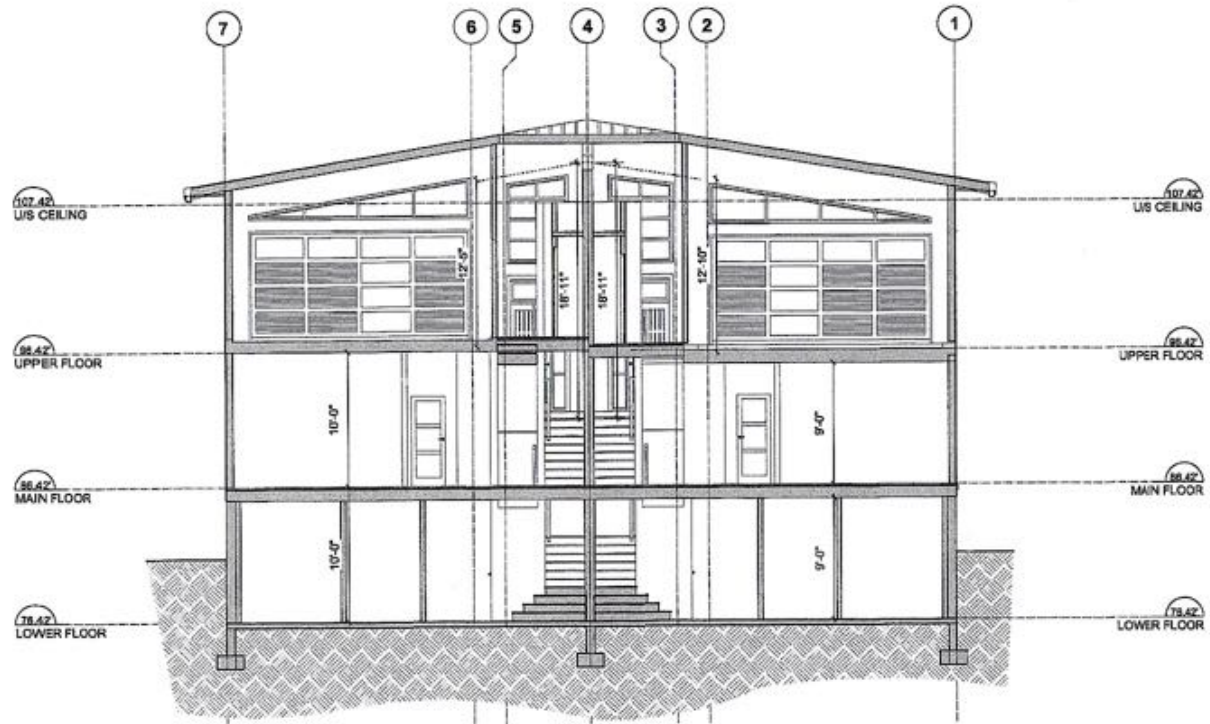
PROJECT
 DAFODIL DRIVE WEST
 VANCOUVER, BC
 UNIT 113

DRAWING
 SECTION A-A

PROJECT#	SHEET
203	AH3-
SCALE	1/4" = 1'-0"
DATE	Oct 1, 2001
	3.01

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for 2D/Marketing	Aug 31, 2023
DRG Public Comment Response	Nov 13, 2023
DRG, BC, 2D Revision	223.26.2023
Multi-liftlines	Oct 5, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT #13

DRAWING
SECTION B-B

PROJECT	REVISION
SCALE	AH3-
DATE	3.02
0011303	

These plans remain the ownership of Sterling Pacific

REVISED
 Issued for CF/Planning Aug 21, 2019
 CFCD Final Comment Response MAY 12, 2020
 01, 04, 05 Revisions JUL 21, 2020
 Workbooks Oct 1, 2020



FRONT / ENTRY ELEVATION
 UNIT G3



BACK ELEVATION
 UNIT G3

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (81.38' - 79.23' / 89.23' - 79.23') x 100 = 21.3%

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (81.36' - 79.23' / 89.23' - 79.23') x 100 = 21.3%

1.145 (gross area) x 21.3% = 243.89 SF (exemption)

1.143 (gross area) x 21.3% = 243.89 SF (exemption)



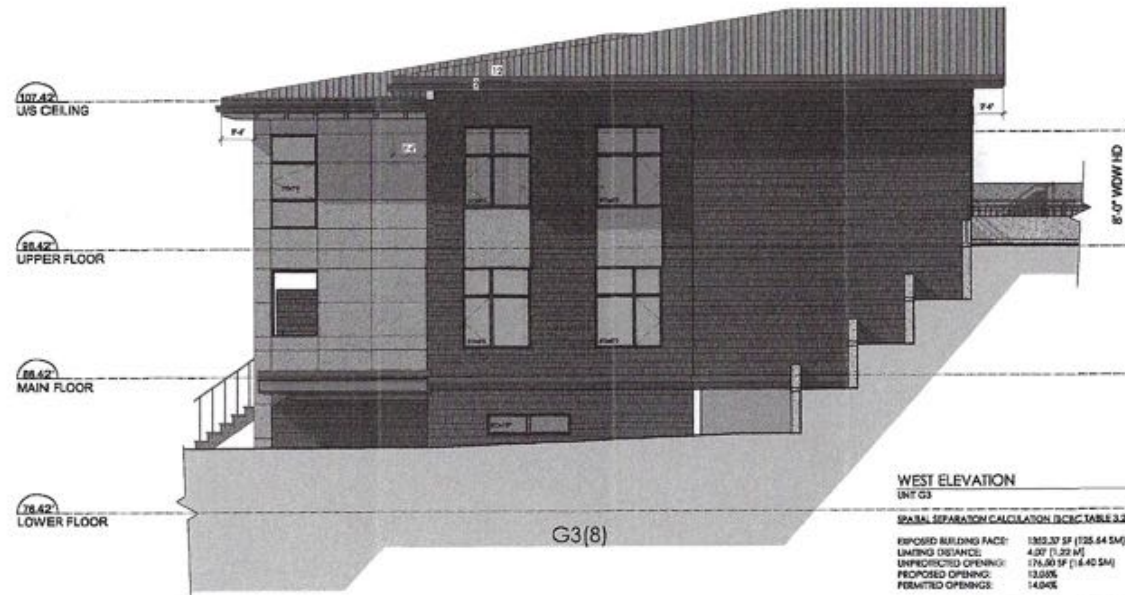
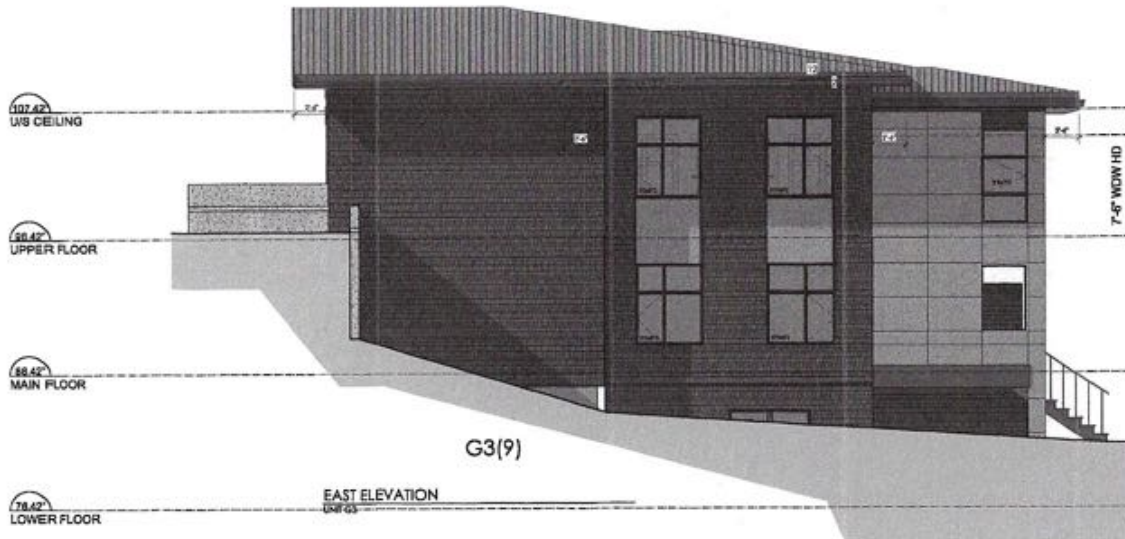
PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 FRONT & BACK ELEVATIONS B/W

PROJECT#	SHEET
003	AH3-4.01
SCALE	1/4" = 1'-0"
DATE	001.1.2020

These plans remain the ownership of Sterling Pacific

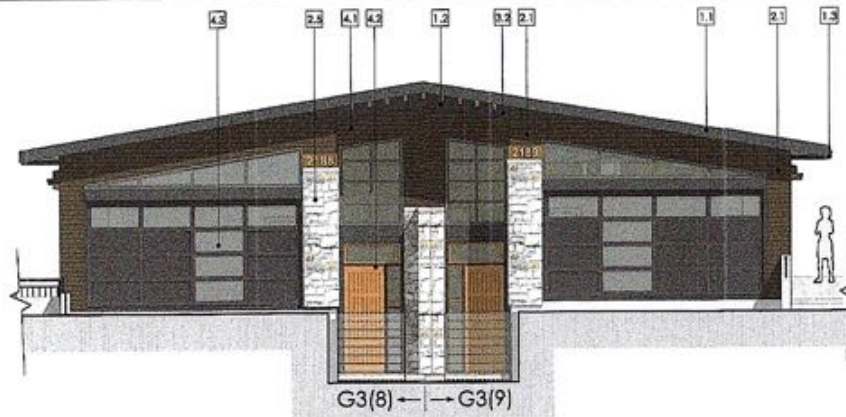
REVISIONS
 Issued for Approval Aug 21, 2020
 DRG Public Consultation MAP 15, 2020
 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



PROJECT
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H3

DRAWING
 EAST & WEST
 ELEVATIONS B/W

PROJECT#	003	SHEET	AH3-
SCALE	1/4"=1'-0"		4.02
DATE	DEC 1, 2020		



FRONT / ENTRY ELEVATION
UNIT G3



BACK ELEVATION
UNIT G3



HARDY PANEL

RISE CEMENT SHINGLES -
WOODSTONE RUSTIC SERIES
CARRON TRAILS

STONE CLADDING

METAL ROOF -
CHARCOAL GRAY

ENTRY DOOR ELEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY

SOFFIT -
ROCKPORT GRAY BM - MC - 105

BALCONY -
WROUGHT IRON BM - 3124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
Mat.	Material	Colour
1.1	Cross "A" Metal Roof	Charcoal Gray
1.2	Rise Cement Shingles	Rockport Gray MC MC 105
1.3	Carbon	Charcoal Gray
1.4		
2.1	Rise Cement Shingles	Woodstone Rustic Series Carron Trails
2.2	Hard Panel	Light Oak
2.3	Hard Panel	Light Oak
2.4	Hard Panel	Light Oak
2.5	Stone	Random Granite
2.6	Upstand Soffit BM - MC - 105 Metal Soffit BM - 3124 - 10 Pretreated metal Soffit BM - 3124 - 10	Wrought Iron BM - 3124 - 10 Wrought Iron BM - 3124 - 10
3.1	Charcoal Gray	Charcoal Gray
3.2	Charcoal Gray	Charcoal Gray
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3.98	Charcoal Gray	Charcoal Gray
3.99	Charcoal Gray	Charcoal Gray
3.100	Charcoal Gray	Charcoal Gray

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REVISION #
Issued for DP/Reviewing
DAG/Photo Comment Review
01/26/2023
1 unit address

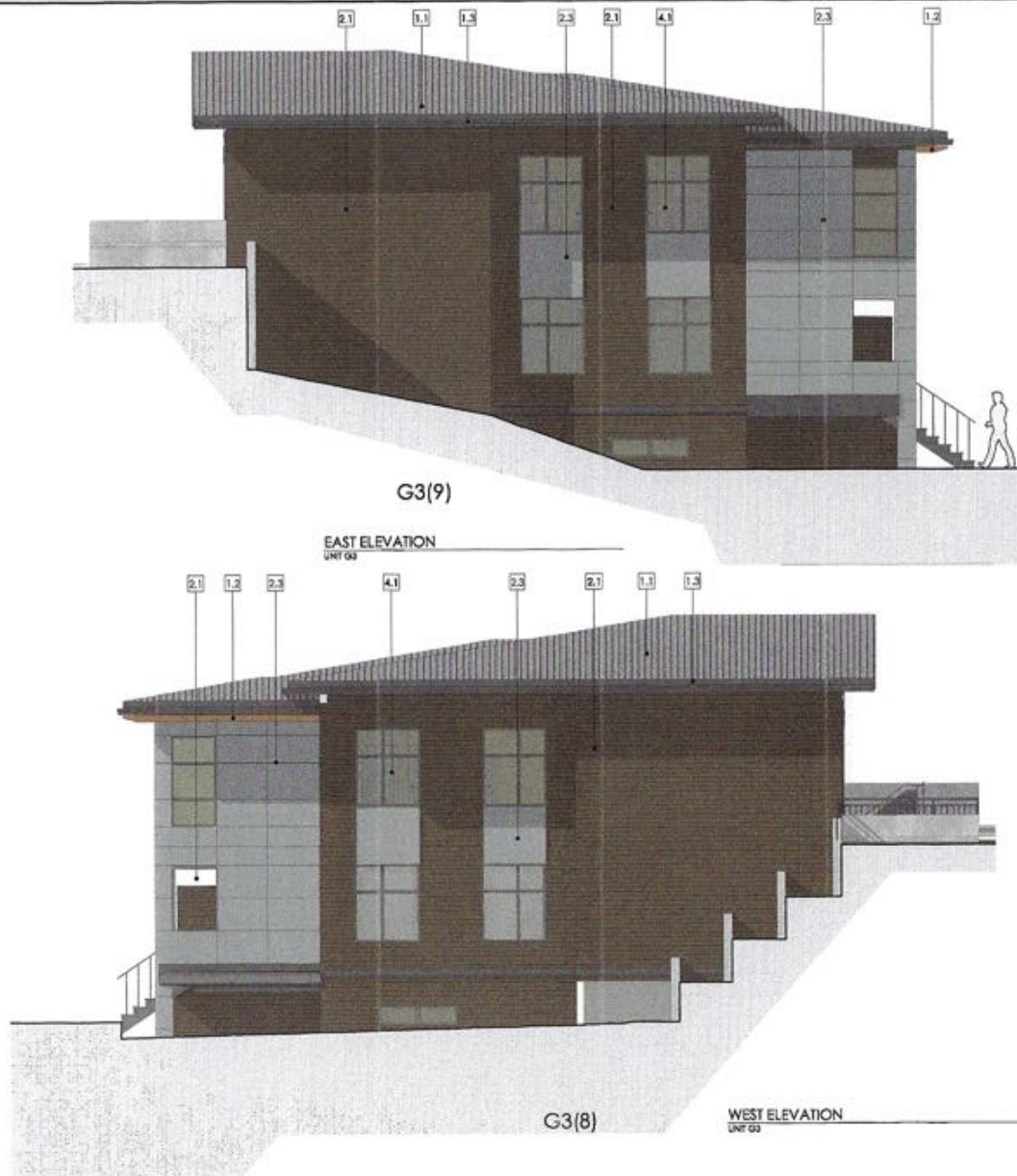
Aug 31, 2021
July 12, 2020
July 26, 2022
Def 1, 2023



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

DRAWING
FRONT & BACK
ELEVATIONS

PROJECT # 802
DATE 02/1/2023
EXEUT
AH3-4.03



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REVISIONS
 Issued for W/working Aug 8, 2021
 DRG Public Comment Version MAY 13, 2020
 Q1, Q2, Q3 Review JUN 29, 2020
 H and address Oct 1, 2020



PROJECT
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT N3

DRAWING
 EAST & WEST
 ELEVATIONS

AGUILA EXTERIOR MATERIAL SCHEDULE		
Mat.	Material	Colour
1.1	Close "X" metal roof	Charcoal Grey
1.2	Fibre Cement Soffit	Light Grey S&S - VC 150
1.3	Gutter	Charcoal Grey
2.1	Fibre Cement Singles	Woodstone Rustic Series Carbon S&S
2.2	Midland	
2.3	Heavy Panel	Light Gray
2.4	Hot Lead	
2.5	Flashing	Exterior Granite
3.1	Exterior aluminum curb with prefinished metal cap and 2" x 4" flashing	Wrought Iron S&S - 2024 - 10
3.2	Flashed curb with prefinished metal cap	Wrought Iron S&S - 2024 - 10
3.3	Flashing	
4.1	Double-glazed tilt windows & multi-paned glass	Charcoal Grey
4.2	Entry door panel w/ w transom and saddle	Stained - Old World Oil Stain w/ clear top coat - Special Walnut
4.3	Insulated vertical painted garage door w/ w transom plus 2" x 4" flashing	Charcoal Grey
4.4	Insulation glass panel w/ w transom w/ w cap	Charcoal Grey
5.1	Fire-retardant treated wood	Stained - Old World Oil Stain w/ clear top coat - Special Walnut
5.2	Pre-finished metal roofing	Charcoal Grey
5.3	Steel post supports finish	Charcoal Grey

PROJECT NO. 600
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2021
 SHEET
 AH3-4.04

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ownership of Sterling Pacific

REVISIONS
Issued for CP Meeting Aug 21, 2021
SVP/ Public Comment Meeting NOV 15, 2022
S1, G2, G3 Revisions JAN 21, 2023
Final Address OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G3



BACK ELEVATION - CAMERA VIEW
UNIT G3



BACK ELEVATION - CAMERA VIEW
UNIT H3



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT	SHEET
NO.	AH3-
SCALE	N/E
DATE	4.05
	OCT 1, 2023

WALL SCHEDULE *plan section

ROOF SCHEDULE

WALL ASSEMBLY		REQUIRED	PROVIDED	LISTING REF.	NOTES
W1 HOR. VINYL F.R.R. S.T.C. 17.36 EFF. R VALUE	EXTERIOR WOOD-FRAMED WALL - CEDAR SHINGLES 	N/A	N/A	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)
	CEDAR SHING W/ WOOD CORNER BR4 1/2" PLY OR OSB PLYWOOD SHEATHING FOR RAFTER/CORNER CAVITY 1/2" EXTERIOR WRAP 7/16" OSB SHEATHING 2x4 STUDS @ 16" O.C. W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A D.A.) VAPOR BARRIER PAINT	F.R.R.	N/A	N/A	N/A
W1 HOR. VINYL F.R.R. S.T.C. 17.36 EFF. R VALUE	EXTERIOR WOOD-FRAMED WALL - FIBRE CEMENT PANELS 	N/A	N/A	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)
	FIBRE CEMENT PANELS 1/2" PLY OR OSB PLYWOOD SHEATHING FOR RAFTER/CORNER CAVITY 1/2" EXTERIOR WRAP 7/16" OSB SHEATHING 2x4 STUDS @ 16" O.C. W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A D.A.) VAPOR BARRIER PAINT	F.R.R.	N/A	N/A	N/A
W1 HOR. VINYL F.R.R. S.T.C. 17.36 EFF. R VALUE	EXTERIOR WOOD-FRAMED WALL - STONE VENEER 	N/A	N/A	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)
	2" STONE VENEER FACING C/W GLAZED METAL TES 1/4" VERTICAL AND 2" HORIZONTAL 1" AIR SPACE 1/2" EXTERIOR WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2x4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A D.A.) VAPOR BARRIER PAINT	F.R.R.	N/A	N/A	N/A
W2 F.R.R. S.T.C. 13.14 EFF. R VALUE	CONCRETE WALL AT GARAGE 	N/A	N/A	N/A	1. REFER TO STRUCTURAL FOR WALL THICKNESS
	DELTA DRAIN MAT TO OUTSIDE BELOW GRADE 2 LAYERS OF BITUMINOUS DAMPROOFING BELOW GRADE 8" CONCRETE WALL (REFER TO STRUCTURAL FOR REINFORCEMENT)	F.R.R.	N/A	N/A	N/A
W3 GAPAGE F.R.R. S.T.C. 18.18 EFF. R VALUE	INTERIOR WOOD-FRAMED WALL AT GARAGE 	N/A	N/A	N/A	1. FOR GYPSUM IN GARAGE: JOINTS & SCREW HEADS, TAPE JOINTS FOR GAS SEAL STUDS WILL BE 2x4 STUDS OTHERWISE NOTED. 2. WHERE FRAMING IS BUILT UP FOR PLUMBING, PLUMBING SHALL BE ON THE WARM SIDE OF INSULATION.
	1/2" GYPSUM WALL BOARD 2x4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A D.A.) VAPOR BARRIER PAINT	F.R.R.	N/A	N/A	N/A
W4 INTERIOR F.R.R. S.T.C. EFF. R VALUE	TYPICAL INTERIOR WOOD-FRAMED WALL 	N/A	N/A	N/A	1. STUDS WILL BE 2x4 UNLESS OTHERWISE NOTED
	1/2" GYPSUM WALL BOARD 2x4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 1/2" GYPSUM WALL BOARD	F.R.R.	N/A	N/A	N/A
W5 1 HR F.R.R. S.T.C. EFF. R VALUE	INTERIOR PARTY WALL 	1 HR	1 HR	8.0 R.C. 18.44 (A) & 154 (REV)	1. WHERE REQUIRED FOR STRUCTURAL, 1/2" PLYWOOD MUST REPLACE 1/2" GYPSUM WALL BOARD EXCEPT PLYWOOD IS PLACED DIRECTLY AGAINST OUTSIDE FACE OF PARTY WALL FRAMING (NOT IN 1" AIR SPACE) 2. PROVIDE METAL FIRESTOP OR CONTINUOUS PLYWOOD AT EACH FLOOR THROUGH AIR SPACE
	1/2" GYPSUM WALL BOARD 5/8" TYPE 'X' GYPSUM WALL BOARD 2x4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ F.G. BATT INSULATION TO FILL CAVITY 1" AIR SPACE 2x4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ F.G. BATT INSULATION TO FILL CAVITY 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR	1 HR	8.0 R.C. 18.44 (A) & 154 (REV)
W6 1 HR F.R.R. S.T.C. EFF. R VALUE	INTERIOR PARTY WALL IN ATTIC 	1 HR	1 HR	6.0 R.C. 18.44 (A) & 154 (REV)	1. STAGGER TAPE & NAIL JOINTS ON EITHER SIDE OF DRYWALL
	5/8" TYPE 'X' GYPSUM WALL BOARD NON-STRUCTURAL ENGINEERED WOOD PARTY TRUSS (REFER TO STRUCT.) 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR	1 HR	6.0 R.C. 18.44 (A) & 154 (REV)

NOTE FOR ALL WALL ASSEMBLIES: ADD PLYWOOD ON EITHER ONE OR BOTH SIDES OF STUDS WHERE REQUIRED (REFER TO STRUCTURAL)

ROOF ASSEMBLY		REQUIRED	PROVIDED	LISTING REF.	NOTES
R1 F.R.R. S.T.C. 40.33 EFF. R VALUE	TYPICAL TRUSS ROOF 	N/A	N/A	N/A	1. LAMINATED IRREGULAR SHINGLES NO. 15 HIGH PERFORMANCE ROOFING FELT AS REQUIRED PER SHINGLE MANUFACTURER'S SPECIFICATIONS 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) (BUSINESS ROOF BRUSH @ 24" O.C.) W/ R40 F.G. LOOSE-FILL INSULATION 4 MIL POLY VAPOR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD
	1. LAMINATED IRREGULAR SHINGLES NO. 15 HIGH PERFORMANCE ROOFING FELT AS REQUIRED PER SHINGLE MANUFACTURER'S SPECIFICATIONS 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) (BUSINESS ROOF BRUSH @ 24" O.C.) W/ R40 F.G. LOOSE-FILL INSULATION 4 MIL POLY VAPOR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	N/A	N/A	N/A
R3 F.R.R. S.T.C. EFF. R VALUE	TYPICAL RAFTER ROOF 	5.28 (R 30-EFF.)	5.85 (R 33-EFF.)	REF. ENERGY REPORT	1. PROVIDE EAVES PROTECTION AS PER B.C.S.C. 9.26.5.
	2 PLY 5/8" TONGUE ON MEMBRANE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) TYPICAL RAFTERS 2x4 WOOD PILING FOR VENTILATION (REFER TO STRUCTURAL) 2x12 KNOT RAFTER @ 16" O.C. (REFER TO STRUCTURAL) W/ R40 F.G. BATT INSULATION 4 MIL POLY VAPOR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	5.28 (R 30-EFF.)	5.85 (R 33-EFF.)	REF. ENERGY REPORT
F1 F.R.R. S.T.C. 13.14 EFF. R VALUE	SLAB ON GRADE AT CONDITIONED SPACE 	N/A	N/A	N/A	1. FINISH FLOORING 2. CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REINFORCEMENT) 10 MIL U.V. MOY 2x8 WOOD JOISTS (REFER TO FOOTING DETAIL OR 12x16 W/ 4" OR 12x18 W/ 4" OR 12x20 W/ 4" OR 12x24 W/ 4") 4" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDEVELOPED SOIL
	FINISH FLOORING CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REINFORCEMENT) 10 MIL U.V. MOY 2x8 WOOD JOISTS (REFER TO FOOTING DETAIL OR 12x16 W/ 4" OR 12x18 W/ 4" OR 12x20 W/ 4" OR 12x24 W/ 4") 4" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDEVELOPED SOIL	F.R.R.	N/A	N/A	N/A
F2 F.R.R. S.T.C. EFF. R VALUE	SLAB ON GRADE AT UNCONDITIONED SPACE 	N/A	N/A	N/A	1. PROVIDE MIN. SLOPE OF 2% TO DRAIN AS PER ARCHITECTURAL PLAN.
	CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REINFORCEMENT) 10 MIL U.V. MOY 4" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDEVELOPED SOIL	F.R.R.	N/A	N/A	N/A
F3 INTERIOR F.R.R. S.T.C. EFF. R VALUE	TYPICAL CANTILEVER WOOD-FRAMED FLOOR 	4 R24	N/A	N/A	1. REFER TO ARCHITECTURAL DETAILS FOR SCF811 TYPE.
	FINISHED FLOORING 5/8" F & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 2x10 WOOD JOISTS (REFER TO STRUCTURAL) W/ R20 CROSS BRACING (REFER TO STRUCTURAL) AND W/ R28 F.G. BATT INSULATION 4 MIL POLY VAPOR BARRIER (NON-VENTED WIRE CLOSER REQUIRED)	F.R.R.	4 R24	N/A	N/A
F4 INTERIOR F.R.R. S.T.C. EFF. R VALUE	TYPICAL INTERIOR WOOD-FRAMED FLOOR 	3/4 HR	N/A	N/A	1. FINISHED FLOORING 5/8" F & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 2x10 WOOD JOISTS (REFER TO STRUCTURAL) W/ R20 CROSS BRACING (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALL BOARD
	FINISHED FLOORING 5/8" F & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 2x10 WOOD JOISTS (REFER TO STRUCTURAL) W/ R20 CROSS BRACING (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	3/4 HR	1 HR	LS01 RW/7 ANAL/C/101
F5 EXTERIOR F.R.R. S.T.C. EFF. R VALUE	TYPICAL WOOD-FRAMED DECK OVER LIVING SPACE 	4 R24	N/A	N/A	1. DISCRETE LANDSCAPE PAPERS (REFER TO LANDSCAPE) PROTECTIVE BOARD 2 PLY TONGUE ON MEMBRANE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2x10 WOOD JOISTS (REFER TO STRUCTURAL) 2x8 CROSS BRACING (REFER TO STRUCTURAL) R4 BATT INSULATION 1/2" GYPSUM WALL BOARD
	DISCRETE LANDSCAPE PAPERS (REFER TO LANDSCAPE) PROTECTIVE BOARD 2 PLY TONGUE ON MEMBRANE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2x10 WOOD JOISTS (REFER TO STRUCTURAL) 2x8 CROSS BRACING (REFER TO STRUCTURAL) R4 BATT INSULATION 1/2" GYPSUM WALL BOARD	F.R.R.	4 R24	1 HR	Energy Performance (see Report)

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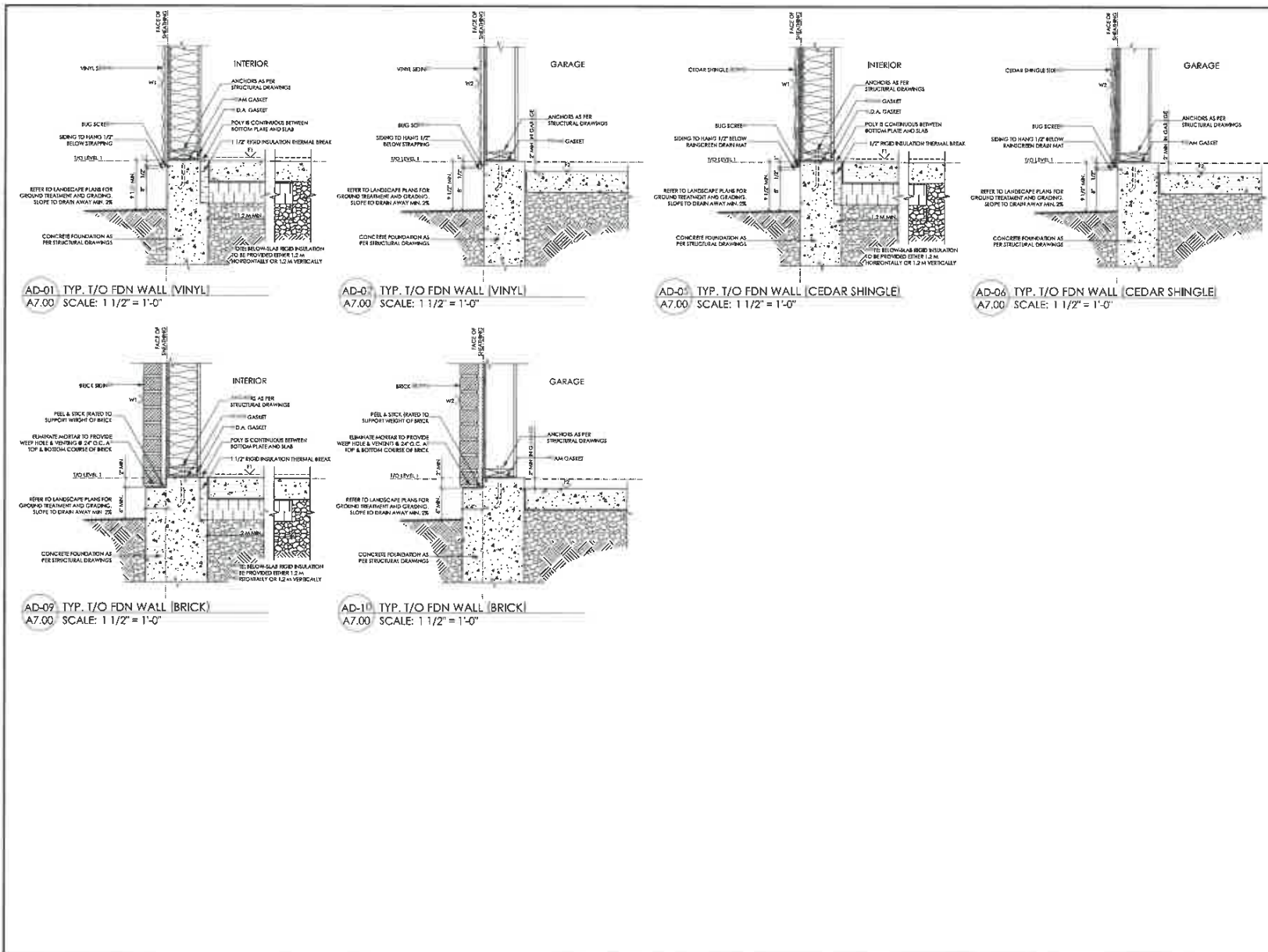
REVISIONS
 ISSUED FOR DRYING/DRYING Aug 31, 2021
 DRP/ Public Comment Revisions MAY 12, 2021
 01, 02, 03 Revisions JULY 31, 2021



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
ASSEMBLIES

PROJECT# 800
 SCALE NTS
 DATE MAY 12, 2021
A6.00



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REVISIONS	DATE
SAVED FOR DEVELOPMENT	AUG 31, 2021
BID2 Public Comment Rev-003	MAY 12, 2023
01, 02, 03 Revisions	JULY 31, 2023

NOT FOR CONSTRUCTION



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 ARCHITECTURAL DETAILS

PROJECT	SHEET
8030	A7.00
SCALE	1/4" = 1'-0"
DATE	MAY 12, 2023

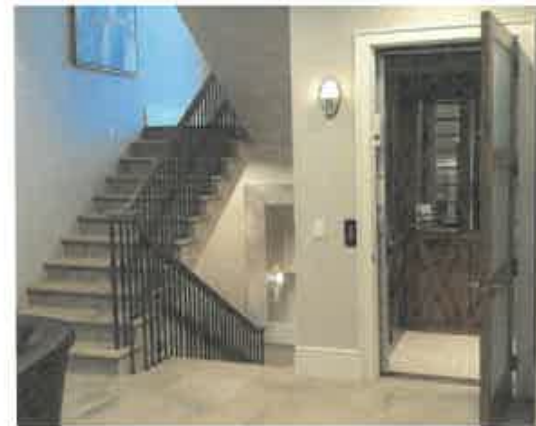
Aging in Place

Aquila is a development that is multi generational whereby young families to empty nesters can find the perfect home to accommodate their needs.

A driving factor of being multi generational is the ability to age in place.

Accordingly a key component of this is to have elevator access and all of the "G" units have the ability to be equipped with elevators. This means that 12 homes or 33% of the development will have the option for elevators.

The layouts with the elevators is shown on pages 8.01,8.02 and 8.03.



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REVISIONS
Issued for DP/Reviewing Aug 31, 2021
DRG Public Comment Revisions MAY 12, 2023
01, 02, 03 Revisions JULY 31, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

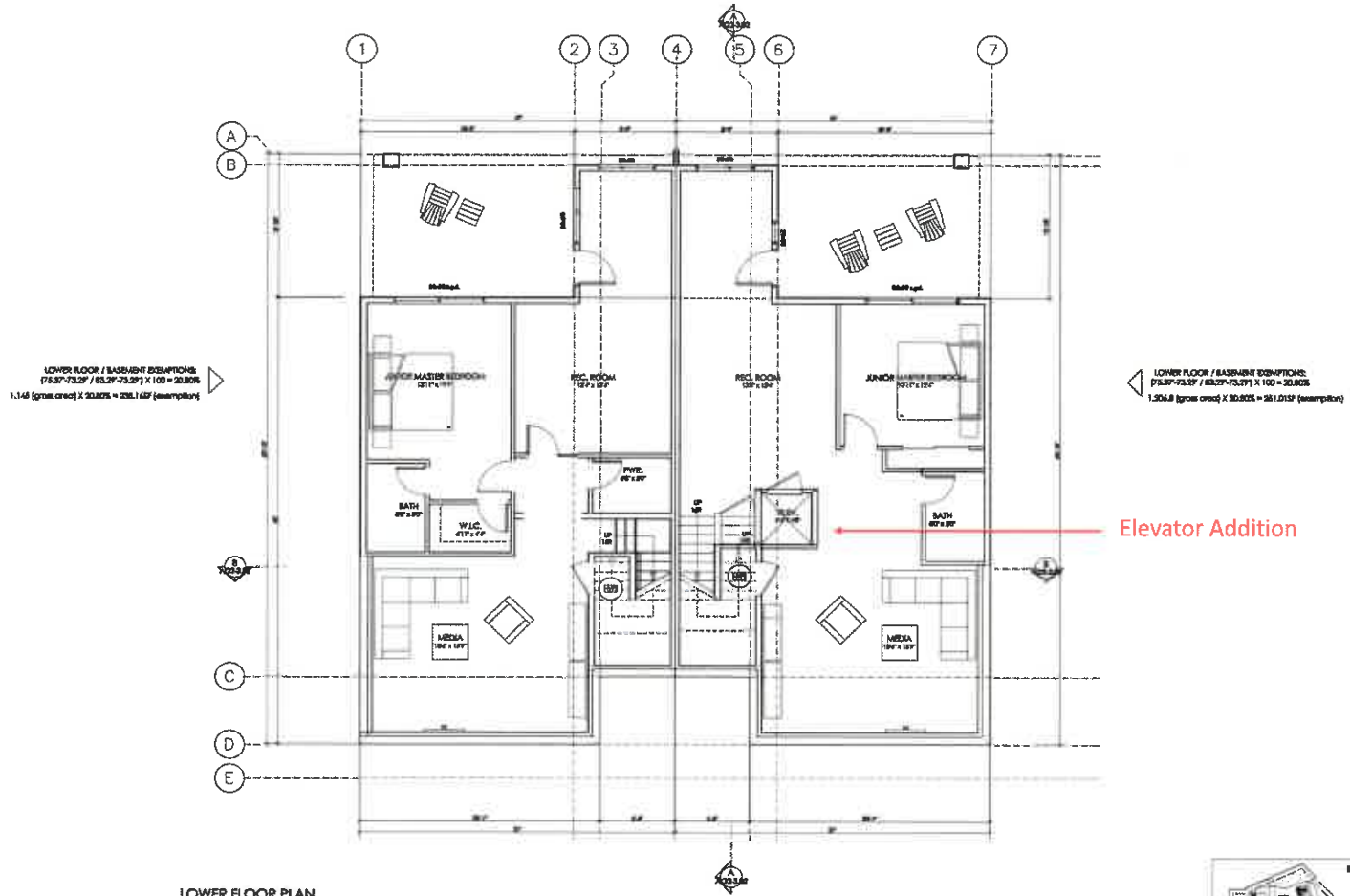
DRAWING
Elevator
Addition

PROJECT#	SHEET
#8000	
SCALE	NIS
DATE	MAY 12, 2023

A8.00

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REVISIONS
 Issued for CP Reviewing Aug 31, 2021
 DRD/PUBLIC Comment Review MAY 12, 2022
 D1, G2, G3 Revisions JULY 31, 2023



LOWER FLOOR / BASEMENT IDENTIFICTIONS:
 (73.37'-73.29" / 83.29'-73.29") X 100 = 20.80%

LOWER FLOOR / BASEMENT IDENTIFICTIONS:
 (73.37'-73.29" / 83.29'-73.29") X 100 = 20.80%

LOWER FLOOR PLAN

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 BSLFC	LEVEL 2 BSLFC	LEVEL 3 BSLFC	TOTAL
GROSS	1284.5 SF	1414.0 SF	408.0 SF	2806.5 SF
CLASH/CF EXCLUSIONS	8.0 SF	0.0 SF	48.0 SF	56.0 SF
SUBMITTAL EXCLUSIONS	28.0 SF	0.0 SF	0.0 SF	28.0 SF
COVERED BALCONY EXCLUSIONS	8.0 SF	79.1 SF	22.0 SF	109.1 SF
NET	988.5 SF	1334.9 SF	338.0 SF	1661.4 SF

UNIT 7 FLOOR AREAS METRIC

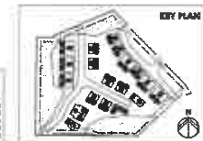
	LEVEL 1 BSLFC	LEVEL 2 BSLFC	LEVEL 3 BSLFC	TOTAL
GROSS	1284.5 M ²	1414.0 M ²	408.0 M ²	2806.5 M ²
CLASH/CF EXCLUSIONS	0.3 M ²	0.0 M ²	4.5 M ²	4.8 M ²
SUBMITTAL EXCLUSIONS	2.6 M ²	0.0 M ²	0.0 M ²	2.6 M ²
COVERED BALCONY EXCLUSIONS	0.3 M ²	7.1 M ²	2.0 M ²	9.4 M ²
NET	988.5 M ²	1334.9 M ²	338.0 M ²	1661.4 M ²

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 BSLFC	LEVEL 2 BSLFC	LEVEL 3 BSLFC	TOTAL
GROSS	1024.8 SF	1414.0 SF	408.0 SF	2846.8 SF
CLASH/CF EXCLUSIONS	8.0 SF	0.0 SF	48.0 SF	56.0 SF
SUBMITTAL EXCLUSIONS	28.0 SF	0.0 SF	0.0 SF	28.0 SF
COVERED BALCONY EXCLUSIONS	8.0 SF	79.1 SF	22.0 SF	109.1 SF
NET	988.8 SF	1334.9 SF	338.0 SF	1661.7 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 BSLFC	LEVEL 2 BSLFC	LEVEL 3 BSLFC	TOTAL
GROSS	1024.8 M ²	1414.0 M ²	408.0 M ²	2846.8 M ²
CLASH/CF EXCLUSIONS	0.3 M ²	0.0 M ²	4.5 M ²	4.8 M ²
SUBMITTAL EXCLUSIONS	2.6 M ²	0.0 M ²	0.0 M ²	2.6 M ²
COVERED BALCONY EXCLUSIONS	0.3 M ²	7.1 M ²	2.0 M ²	9.4 M ²
NET	988.8 M ²	1334.9 M ²	338.0 M ²	1661.7 M ²

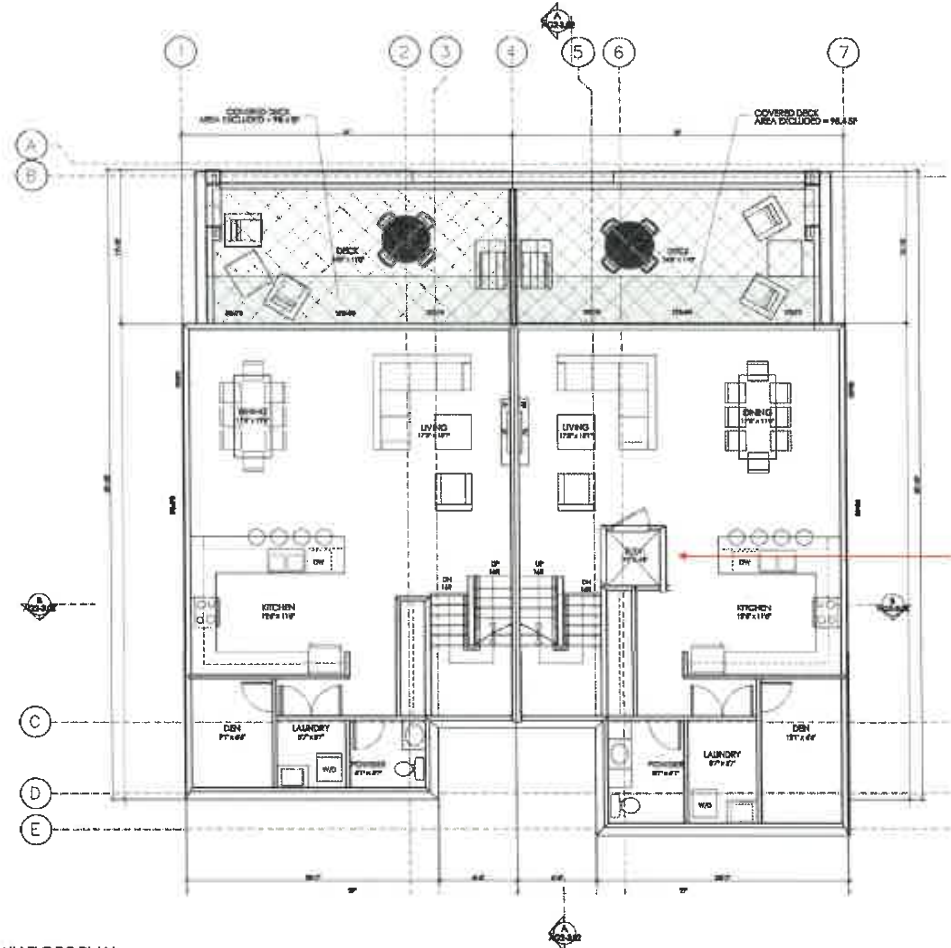


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 Lower Floor Plan
 Elevator
 Addition

PROJECT #800 SHEET
 SCALE 1/8" = 1'-0" NO. A8.01
 DATE MAY 12, 2022

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Elevator Addition

MAIN FLOOR PLAN

UNIT 4 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
CRACK	1140.0 SF	198.0 SF	186.0 SF	1524.0 SF
CHIMNEY ENCLOSURE	8.0 SF	0.0 SF	444.0 SF	452.0 SF
BATHROOM ENCLOSURE 2x10	288.0 SF	0.0 SF	0.0 SF	288.0 SF
COVERED BALCONY ENCLOSURE	904.0 SF	18.0 SF	0.0 SF	922.0 SF
NET	2340.0 SF	216.0 SF	630.0 SF	3186.0 SF

UNIT 4 FLOOR AREAS METRIC				
	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
CRACK	105.84	18.24	17.16	141.24
CHIMNEY ENCLOSURE	0.74	0.00	40.92	41.66
BATHROOM ENCLOSURE 2x10	266.34	0.00	0.00	266.34
COVERED BALCONY ENCLOSURE	83.54	1.67	0.00	85.21
NET	2146.46	19.91	58.08	2214.45

UNIT 7 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
CRACK	1984.0 SF	840.0 SF	1140.0 SF	3964.0 SF
CHIMNEY ENCLOSURE	8.0 SF	0.0 SF	444.0 SF	452.0 SF
BATHROOM ENCLOSURE 2x10	288.0 SF	0.0 SF	0.0 SF	288.0 SF
COVERED BALCONY ENCLOSURE	904.0 SF	18.0 SF	0.0 SF	922.0 SF
NET	3184.0 SF	840.0 SF	1584.0 SF	5608.0 SF

UNIT 7 FLOOR AREAS METRIC				
	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
CRACK	182.44	77.14	105.84	365.42
CHIMNEY ENCLOSURE	0.74	0.00	40.92	41.66
BATHROOM ENCLOSURE 2x10	266.34	0.00	0.00	266.34
COVERED BALCONY ENCLOSURE	83.54	1.67	0.00	85.21
NET	2934.86	79.81	146.76	3161.43



REVISIONS	
Issued for DPM zoning	Aug 31, 2021
DSD/ Public Comment Reactions	MAY 12, 2023
11, 02, 03 Revisions	JULY 31, 2023



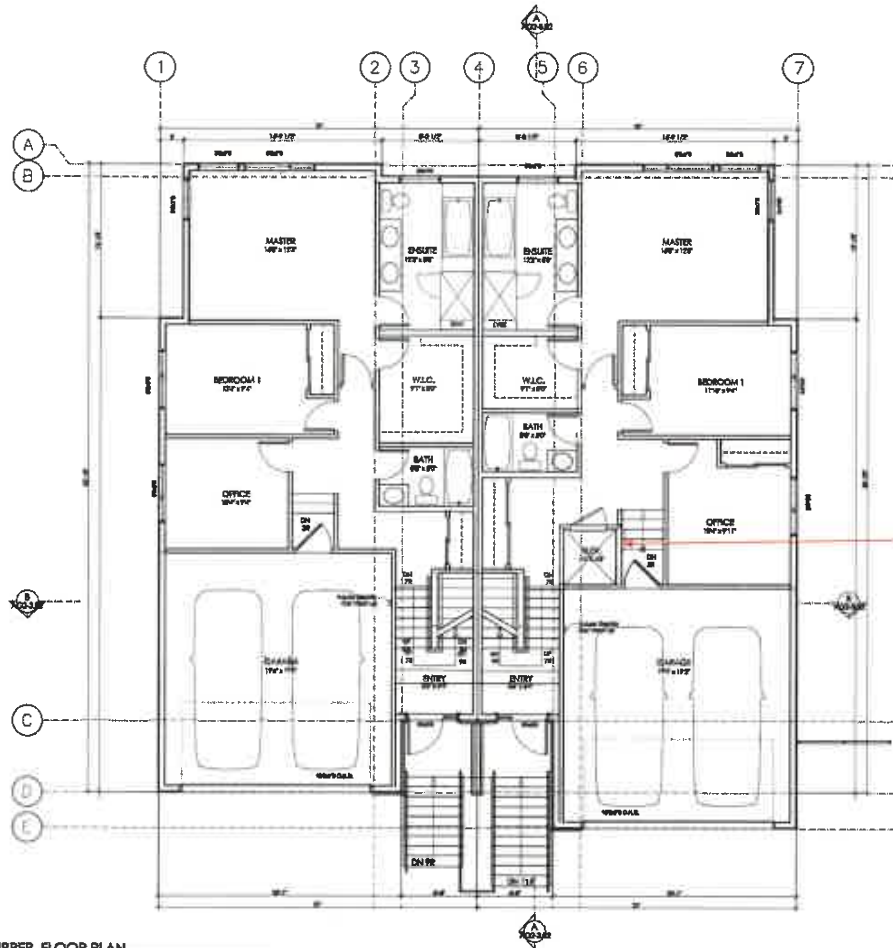
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC

DRAWING
 Main Floor Plan
 Elevator
 Addition

PROJECT	SHEET
#800	A8.02
SCALE	1/8" = 1'-0"
DATE	MAY 12, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS	
Based for DP/Receiving	Aug 31, 2021
CRD/ Public Comment Revisions	MAY 12, 2022
01, 02, 03 Revisions	JULY 31, 2022



Elevator Addition

UPPER FLOOR PLAN

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
CONCRETE	1146.00 SF	1364.25 SF	584.00 SF	2994.25 SF
CHANGE INCLUSIONS	0.00 SF	0.00 SF	0.00 SF	0.00 SF
STAIRWAY INCLUSIONS	282.00 SF	0.00 SF	0.00 SF	282.00 SF
COVERED BALCONY INCLUSIONS	0.00 SF	0.00 SF	0.00 SF	0.00 SF
TOTAL	1428.00 SF	1364.25 SF	584.00 SF	3376.25 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
CONCRETE	132.84 SQ.M.	157.24 SQ.M.	67.74 SQ.M.	357.82 SQ.M.
CHANGE INCLUSIONS	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
STAIRWAY INCLUSIONS	32.74 SQ.M.	0.00 SQ.M.	0.00 SQ.M.	32.74 SQ.M.
COVERED BALCONY INCLUSIONS	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
TOTAL	165.58 SQ.M.	157.24 SQ.M.	67.74 SQ.M.	390.56 SQ.M.

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
CONCRETE	1304.00 SF	1400.00 SF	1400.00 SF	3904.00 SF
CHANGE INCLUSIONS	0.00 SF	0.00 SF	0.00 SF	0.00 SF
STAIRWAY INCLUSIONS	282.00 SF	0.00 SF	0.00 SF	282.00 SF
COVERED BALCONY INCLUSIONS	0.00 SF	0.00 SF	0.00 SF	0.00 SF
TOTAL	1586.00 SF	1400.00 SF	1400.00 SF	4386.00 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
CONCRETE	151.14 SQ.M.	161.24 SQ.M.	161.24 SQ.M.	473.62 SQ.M.
CHANGE INCLUSIONS	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
STAIRWAY INCLUSIONS	32.74 SQ.M.	0.00 SQ.M.	0.00 SQ.M.	32.74 SQ.M.
COVERED BALCONY INCLUSIONS	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.	0.00 SQ.M.
TOTAL	183.88 SQ.M.	161.24 SQ.M.	161.24 SQ.M.	506.36 SQ.M.



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
Upper Floor Plan
Elevator Addition

PROJECT	SHEET
#P000	A8.03
SCALE	NIS
DATE	MAY 12, 2022

AQUILA

DEVELOPMENT PERMIT RESUBMISSION

STERLING PACIFIC // CLIENT

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LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

MICHAEL ENNS // BCSLA, CSLA
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604.753.2806

DAVID STEIN
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519.266.1155

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L1.0	OVERALL LANDSCAPE PLAN
L2.0	LAYOUT + MATERIALS PLAN
L3.0	GRADING PLAN
L4.0	OVERALL PLANTING STRATEGY PLAN
L4.1	DETAIL PLAN: DAFFODIL DR. ENTRY PLANTING CONCEPT
L4.2	DETAIL PLAN: INTERNAL ROAD FEATURE NODE PLANTING CONCEPT
L4.3	DETAIL PLAN: TERRACED WALL TOWNHOUSE PLANTING CONCEPT
L4.4	DETAIL PLAN: WESTPORT RD. ENTRY PLANTING CONCEPT
L4.5	DETAIL PLAN: TYPICAL NATURALIZED PLANTING CONCEPT
L4.6	DETAIL PLAN: LAYERED PLANTS
L5.0	PLANT LIST + IMAGES
L6.0	HARDSCAPE DETAILS
L6.1	HARDSCAPE DETAILS
L6.2	FURNISHING DETAILS
L6.3	SOFTSCAPE DETAILS

GENERAL NOTES

- ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION
- ALL PLANTING AREAS TO RECEIVE AUTOMATIC DRIP IRRIGATION, WITH TIME CLOCK AND RAIN SENSOR
- ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND ANY OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT
- IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS
- ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.
- THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS
- LAYOUT OF FAVING, WALLS, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER LANDSCAPE MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- ALL DIMENSIONS AND ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED. VERIFY ALL ELEVATIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD
- PROTECT ALL EXISTING STRUCTURES
- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT
- FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.
- LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE

loci

LANDSCAPE ARCHITECTURE + URBAN DESIGN
245 FERGUSON VICTORIA BC V8V 1Y4
www.locidesign.ca

100% BUILT GREEN CERTIFIED
LEED GOLD CERTIFIED
GREEN STAR RATED
GREEN STAR RATED
GREEN STAR RATED

Project Stamp

No.	Description	Date
D	ISSUED FOR PERMIT	10-08-10
E	ISSUED FOR DP	10-09-11
F	ISSUED FOR DP RESUBMISSION	12-04-11
G	ISSUED FOR DP RESUBMISSION	11-04-08

Project Info

71066
Aquila West Vancouver
Site Name
West Vancouver
City

Project Team

Client
Sterling Pacific
Architect
Formworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

COVER SHEET

L0.0
Rev. A revision

DESIGN RATIONALE:

The overall landscape design for the site is inspired by the natural west coast setting it sits on, with existing forest stands along the perimeter and selected groupings within the residential areas augmented by new understorey native trees, shrubs and boulder groupings. Accent plantings of ornamental grasses, perennials and small trees provide colour and texture for variety and seasonal interest, placed at unit entries as well as at site entries and adjacent to paths. Retaining walls will be a mixture of boulder stacks, placed strategically to allow for pocket planting, and architectural concrete walls at entries to the units as required. Collectively, the materiality is aimed to promote a landscape experience that allows the residents to feel this development is part of the site's history.

From a site amenity perspective, a feature for all residents is the Eagle Creek trail, a linear trail along the existing Eagle Creek that is comprised of a meandering pathway, resting benches, and naturalized plantings. This public amenity will connect lower Daffodil Drive with Westport Road, and provide an easy-to-access natural and recreational addition to the community. To the west, the reclaimed watercourse and wetland area is "opened up" for residents, with a small path and viewing deck proposed along the main entry road. Site circulation is further enhanced with gravel pathways that connect the future upper and lower benches of the site.

KEY ITEMS:

- 1 **SITE ENTRIES**
-Feature wall, possible arch feature
-"Aquila brand" signage
- 2 **DRIVE COURT**
-Accent paving bands
-Ornamental trees
-Layered native plants
- 3 **COMMON MEETING/REST AREA**
-Unit pavers/gravel
-Benches
-Accent planting
- 4 **ONSITE STORMWATER DETENTION AREA**
-Native shrubs + trees
-Viewing deck + bench
- 5 **COMMUNITY TRAIL (EAGLE CREEK TRAIL)**
-Community trail along historic skid trail
- 6 **CLUSTERS OF PROTECTED NATIVE TREES + UNDERSTOREY**
- 7 **REHABILITATED EX. WATERCOURSE + RIPARIAN AREA - BY OTHERS**



1 LANDSCAPE CONCEPT PLAN
Scale: 1:350



Project Status

No.	Description	Date
D	ISSUED FOR REVIEW	21-07-23
E	ISSUED FOR DP	21-07-23
F	ISSUED FOR DP	22-04-24
G	ISSUED FOR DP	23-04-08

Project Info

7106
Aquila West Vancouver
Schematic
West Vancouver
BC

Project Team

Client: [Blank]
Schematic: [Blank]
Architect: [Blank]
Landscape Architect: loci Landscape Architecture + Urban Design
Drawn By: [Blank] Checked By: [Blank]
Drawn By: [Blank] Checked By: [Blank]

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECTS.
6. ALL FENCING TO BE POWDER COATED CHAIN LINK

MATERIALS LEGEND

SYMBOL	KEY	DESCRIPTION	DETAIL
[White Box]	P1	PAVING TYPE 1 - ENTRY WALKS Precast Conc Unit Pavers at Grade.	1 1A.0
[Grey Box]	P2	PAVING TYPE 2 - DRIVEWAYS CIP Conc Paving at Grade.	2 1A.0
[Dark Grey Box]	P3	PAVING TYPE 3 - INTERNAL ROADWAY Asphalt Paving at Grade - See Cn.	3 1A.0
[Light Green Box]	P4	PAVING TYPE 4 Granular Fines on Gravel Base.	4 1A.0
[Brown Box]	P5	PAVING TYPE 5 Native, screened material pathway with rock border	5 1A.0
[Patterned Box]	P6	PAVING TYPE 6 Gravel Visitor Parking.	6 1A.0
[Stone Slab]	S1	STONE SLAB STEPS Granite, Size Varies.	8 1A.0
[Bench]	S2	BENCHES: Landscape Forms - Palisade Bench, W/ Concrete Footings.	1 1A.2
[Signage]	S3	SITE ENTRY SIGNAGE Stone-face Conc. Wall - Dimensions TBD.	3 1A.2
[Pillar]	S4	UNIT PILASTERS CIP Concrete with Stone Facing	3 1A.2
[Signpost]	S5	TRAIL SIGNAGE	
[Bin]	S6	GARBAGE RECEPTACLE	
[Deck]	S7	WETLAND VIEWING COMPOSITE DECK Final Details and Height TBD.	2 1A.2
[Wall]	W1	WALL TYPE 1 Re-used On-site Boulders, Final Placement TBD.	1 1A.1
[Wall]	W2	WALL TYPE 2 CIP Retaining Wall - 8" Thick, Max 8' Height - See Arch.	2 1A.1
[Fence]	W3	PRIVACY FENCE 6' Height Fence.	
[Planting]	L1	PROPOSED PLANTED AREAS Allow 18" Soil Depth For Shrubs, 30" Soil Depth For Trees. (See L4.0)	
[Zone]	L2	HEBRIAN REHABILITATION ZONE -BY OTHERS	



1 LAYOUT + MATERIALS PLAN
Scale: 1:350

MAIL BOXES
TRAIL SIGNAGE + GARBAGE
SITE SIGNAGE



loci

LANDSCAPE ARCHITECTURE + URBAN DESIGN

1175 BAYVIEW RD. VANCOUVER, BC V6M 2E1
604.271.8789 OR 604.271.8782

ALL RIGHTS RESERVED
PROPERTY OF AND SUBJECT TO ARCHITECTURE
AND LANDSCAPE USE AGREEMENTS
PROJECTS: 2016-2017: 100% COMPLETE

Project Name

Issue

No.	Description	Date
1	ISSUED FOR REVIEW	2016-03
2	ISSUED FOR O.P.	2016-03
3	ISSUED FOR O.P.	2016-04
4	ISSUED FOR O.P.	2016-04
5	ISSUED FOR O.P.	2016-04

Project Info

21066

Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

Client: Sterling Pacific
Architect: Formwerks
Landscape Architect: LOCI Landscape Architecture + Urban Design

Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

LAYOUT + MATERIALS PLAN
L2.0
Rev. A 1/15/2016

GENERAL GRADING NOTES:

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND CONSULTANT TEAM FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS. GRADING LIMITS AND EXISTING SIDEWALK, PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.
12. ALL WALL LAYOUTS, WINDOW WELLS & ELEVATIONS ADJACENT TO BUILDINGS SHOWN FOR INFO ONLY. PLEASE REFER TO ARCH PLANS.

GRADING LEGEND

SYMBOL	DESCRIPTION
	38.50 PROPOSED ELEVATION
	ARCH FINISHED FLOOR ELEVATION (LFE, FTE, BFE) - SEE ARCH
	TOP OF WALL ELEVATION - SEE ARCH
	BOTTOM OF WALL ELEVATION - SEE ARCH
	BOULDER STACK WALL - FINAL LAYOUT TPO
	CONC. RETAINING WALL - 6" THICK, MAX 8' HEIGHT - SEE ARCH
	EXISTING TREES TO REMAIN, REFER TO ARBORIST REPORT
	WINDOW WELL - 4" HIGHER THAN LFE - SEE ARCH
	STONE SLAB STEPS - 6" HT RISER
	SEASONAL DETENTION POND



1 GRADING PLAN
 Scale: 1:500



Project Stamp

Issue

Rev.	Description	Date
D	ISSUED FOR REVIEW	21-07-12
E	ISSUED FOR DP	11-07-13
F	ISSUED FOR DP	17-04-14
G	ISSUED FOR DP	13-04-16

Project Info

7004
 Aquila West Vancouver
 Schmann Schmann Architects
 West Vancouver
 City

Project Team

Client: Pacific Pacific
 Architect: Schmann Schmann Architects
 Landscape Architect: LOCI Landscape Architecture + Urban Design
 Drawn By: [] Checked By: []
 Drawn By: [] Checked By: []





GRADING PLAN

L3.0
 Rev. A revision




GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED, PLANT AT THE SAME GRADE AS SURROUNDING WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED, INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM, WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT TO BE REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.
12. ALL PLANTING NEEDS TO RECEIVE AUTOMATIC IRRIGATION UNTIL ESTABLISHMENT AT A MINIMUM.

PLANTING TYPOLOGY:

-  PLANTING TYPE 1 FEATURE PLANTING - SEE PLANT SCHEDULE
-  PLANTING TYPE 2 NATURALIZED PLANTING - SEE PLANT SCHEDULE
-  PLANTING TYPE 3 LAWN PLANTING - SOD
-  PLANTING TYPE 4 RIPARIAN PLANTING - BY OTHERS

TREE TYPOLOGY:

-  EXISTING PERMIT TREES TO REMAIN, SEE ARBORIST REPORT
-  PROPOSED FEATURE/ORNAMENTAL TREES, SEE PLANTING PLANS + LIST
-  PROPOSED NATURALIZED TREES, SEE PLANTING PLANS + LIST



1 PLANTING SCHEMATIC PLAN
Scale: 1:150

ALL RIGHTS RESERVED
THIS PLAN IS THE PROPERTY OF LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS PLAN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF LOCI.

Project Stamp

Issues

No.	Description	Date
D	ISSUED FOR REVIEW	23-03-15
E	ISSUED FOR GP	24-03-15
F	ISSUED FOR GP REVISION	23-04-15
G	ISSUED FOR GP REVISION	23-04-08

Project Info

21064
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

Client: **Stirling Pacific**
Architect: **Farmworks**
Landscape Architect: **LOCI Landscape Architecture + Urban Design**

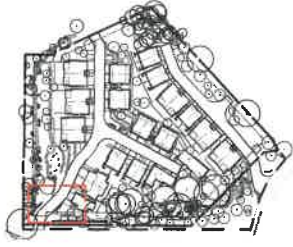
Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

OVERALL PLANTING STRATEGY PLAN

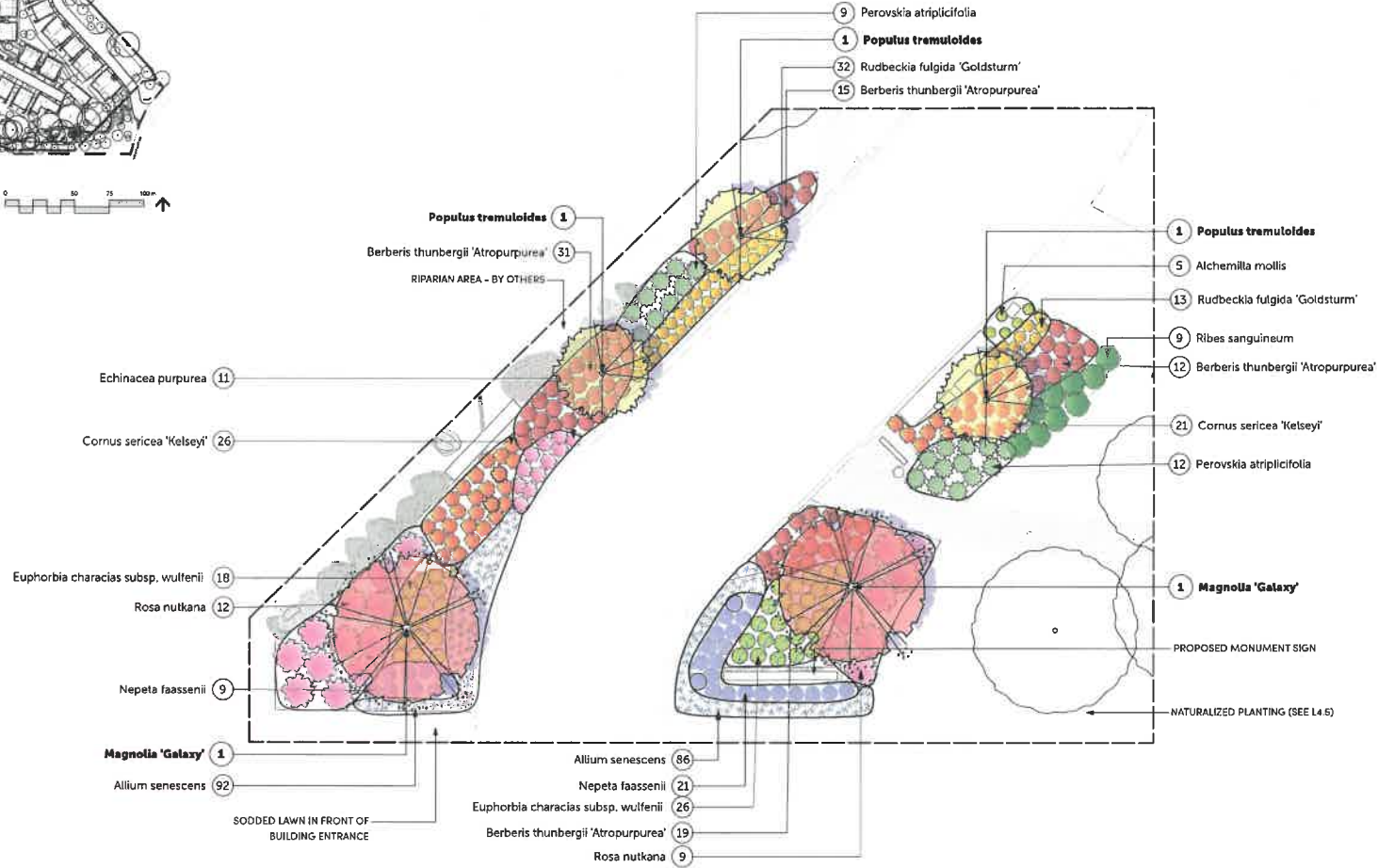
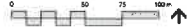
L4.0
Rev. A

DESIGN RATIONALE: DAFFODIL DR. ENTRY

The Daffodil Entry planting concept is intended to be a welcoming feature entry into the site, consisting of layers of perennials, grasses, flowering shrubs to accentuate the site entries and to provide year-round colour and texture. Design considerations include entry signs/walls and ornamental flowering trees as well.



KEY PLAN



1 DETAIL PLAN: DAFFODIL DR. ENTRY PLANTING CONCEPT
Scale: 1/75



7050 WEST 4TH AVENUE, SUITE 200
VANCOUVER, BC V6P 1M5
PHONE: 604-275-1111
WWW.LOCI.CA

Project Name

Issue

No.	Description	Date
0	ISSUED FOR REVIEW	21-07-13
1	ISSUED FOR DP	21-07-23
2	ISSUED FOR DP	22-08-14
3	ISSUED FOR DP	23-08-14

Project Info
7055
Aquila West Vancouver
Schematic
West Vancouver
City

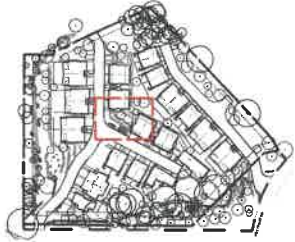
Project Team
Client
Design Partner
Architect
Landscape Architect
LCCI Landscape Architecture + Urban Design

Drawn By: | Checked By: |
Date: | Date: |

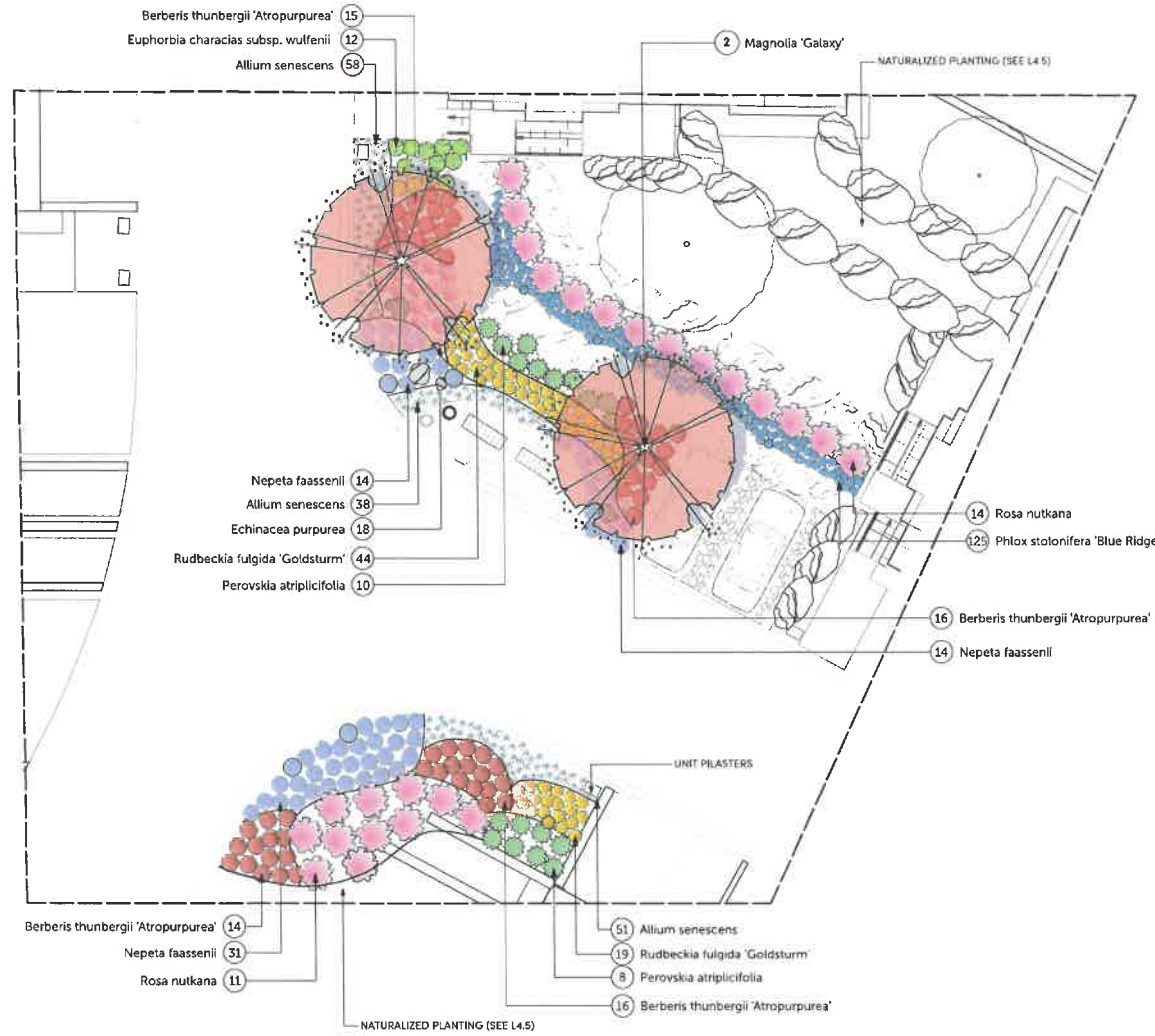
DETAIL PLAN: DAFFODIL DR. ENTRY PLANTING CONCEPT
L4.1
Rev. A revision

DESIGN RATIONALE: INTERNAL GATHERING NODE

The planting for the internal nodes consist of layers of perennials, shrubs and ornamental trees. These spaces provide year round colour and texture for places for gathering and sitting.



KEY PLAN



1 DETAIL PLAN: INTERNAL ROAD FEATURE NODE PLANTING CONCEPT
Scale: 1:75



Project Name:
Client:
Architect:
Landscape Architect:

Project Stamp

Issue	Date
A: CONCEPT	21-04-13
B: DESIGN FOR REVIEW	21-04-13
C: DESIGN FOR DP	21-04-13
D: DESIGN FOR DP	21-04-13
E: DESIGN FOR DP	21-04-13
F: DESIGN FOR DP	21-04-13
G: DESIGN FOR DP	21-04-13

Project Info
71066

Aquila West Vancouver
Schematic
West Vancouver
City

Project Team
Client:
Architect:
Landscape Architect:

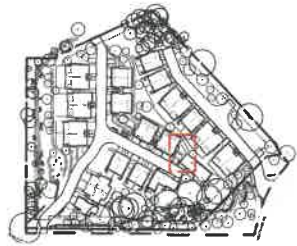
LOCI Landscape Architecture + Urban Design
Drawn By: _____ Checked By: _____
Date: _____

DETAIL PLAN: INTERNAL ROAD FEATURE NODE PLANTING CONCEPT

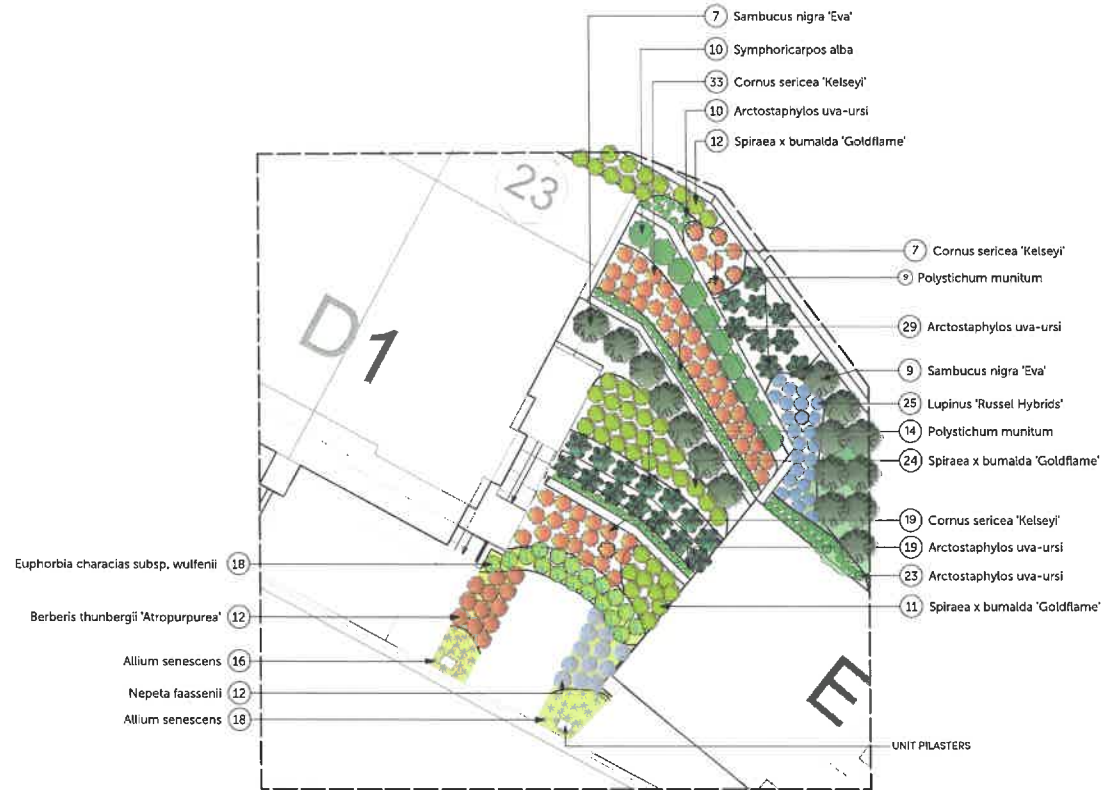
L4.2
Rev. A revision

DESIGN RATIONALE: TERRACED WALL BETWEEN D AND E UNITS (WIDER GAP)

Within the terracing walls between the townhouses, are layers of naturalized shrubs and perennials. These layers of planting assist in screening the walls and create a organic flow of vegetation terracing along the townhomes.



KEY PLAN



1 **DETAIL PLAN: TERRACED WALL TOWNHOUSE PLANTING CONCEPT**
Scale: 1/75



Project Name:
Project Address:
Client:
Architect:

Project Stamp

Issues

No.	Description	Date
1	ISSUED FOR REVIEW	20-01-21
2	ISSUED FOR CA	21-07-21
3	ISSUED FOR CA	22-04-21
4	ISSUED FOR CA	23-04-21

Project Info
2056
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team
Client:
Swelling Pacific
Architect:
Formwerks

Landscape Architect:
LOCI Landscape Architecture + Urban Design
Drawn By: _____ Checked By: _____
Drawn By: _____ Checked By: _____

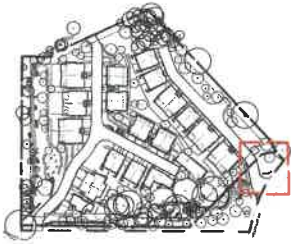
DETAIL PLAN: TERRACED WALL TOWNHOUSE PLANTING CONCEPT

L4.3

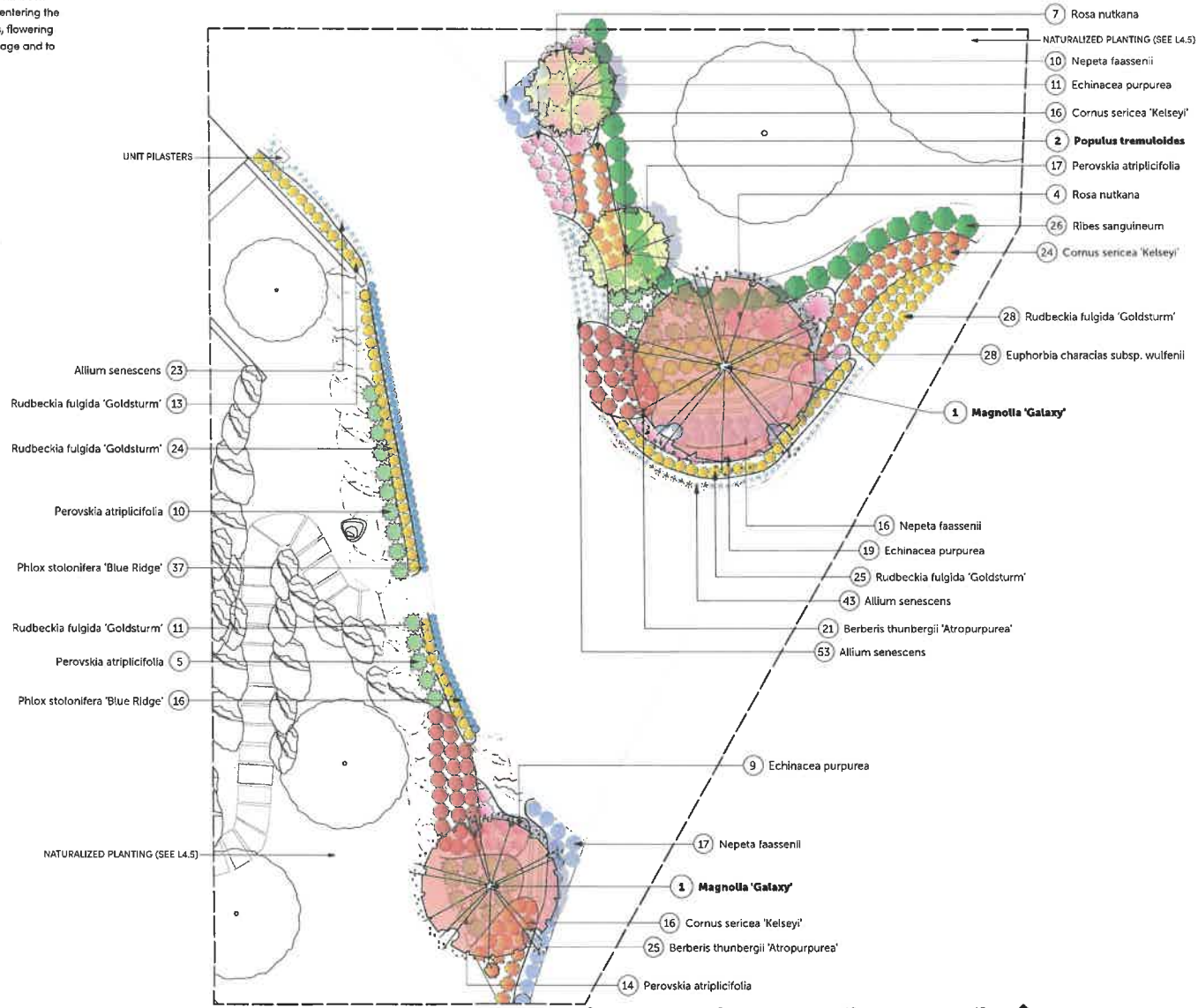
Rev. A

DESIGN RATIONALE: WESTPORT ENTRY

Similar to the Daffodil Entry, the Westport Entry planting has been designed to create a welcoming and organic feel when entering the site. The planting consists of layers of perennials, grasses, flowering shrubs, and ornamental trees to accentuate the site signage and to provide year-round colour and texture.



KEY PLAN



1 DETAIL PLAN: WESTPORT RD. ENTRY PLANTING CONCEPT
Scale: 1:75



- 7 Rosa nutkana
- NATURALIZED PLANTING (SEE L4.5)
- 10 Nepeta faassenii
- 11 Echinacea purpurea
- 16 Cornus sericea 'Kelsey'
- 2 Populus tremuloides
- 17 Perovskia atriplicifolia
- 4 Rosa nutkana
- 26 Ribes sanguineum
- 24 Cornus sericea 'Kelsey'
- 28 Rudbeckia fulgida 'Goldsturm'
- 28 Euphorbia characias subsp. wulfenii
- 1 Magnolia 'Galaxy'
- 16 Nepeta faassenii
- 19 Echinacea purpurea
- 25 Rudbeckia fulgida 'Goldsturm'
- 43 Allium senescens
- 21 Berberis thunbergii 'Atropurpurea'
- 53 Allium senescens
- 9 Echinacea purpurea
- 17 Nepeta faassenii
- 1 Magnolia 'Galaxy'
- 16 Cornus sericea 'Kelsey'
- 25 Berberis thunbergii 'Atropurpurea'
- 14 Perovskia atriplicifolia

loci
LANDSCAPE ARCHITECTURE + URBAN DESIGN

100 Main Street, West Vancouver, BC V8V 1C4
Tel: 604.261.1111 Fax: 604.261.1112

Project Name
71056

Client
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team
Client
Working Package
Architect
Formworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By
Checked By

DETAIL PLAN: WESTPORT RD. ENTRY PLANTING CONCEPT

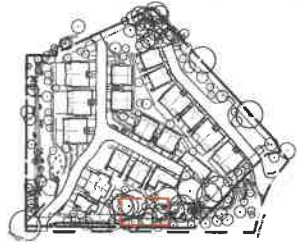
L4.4

Rev. A

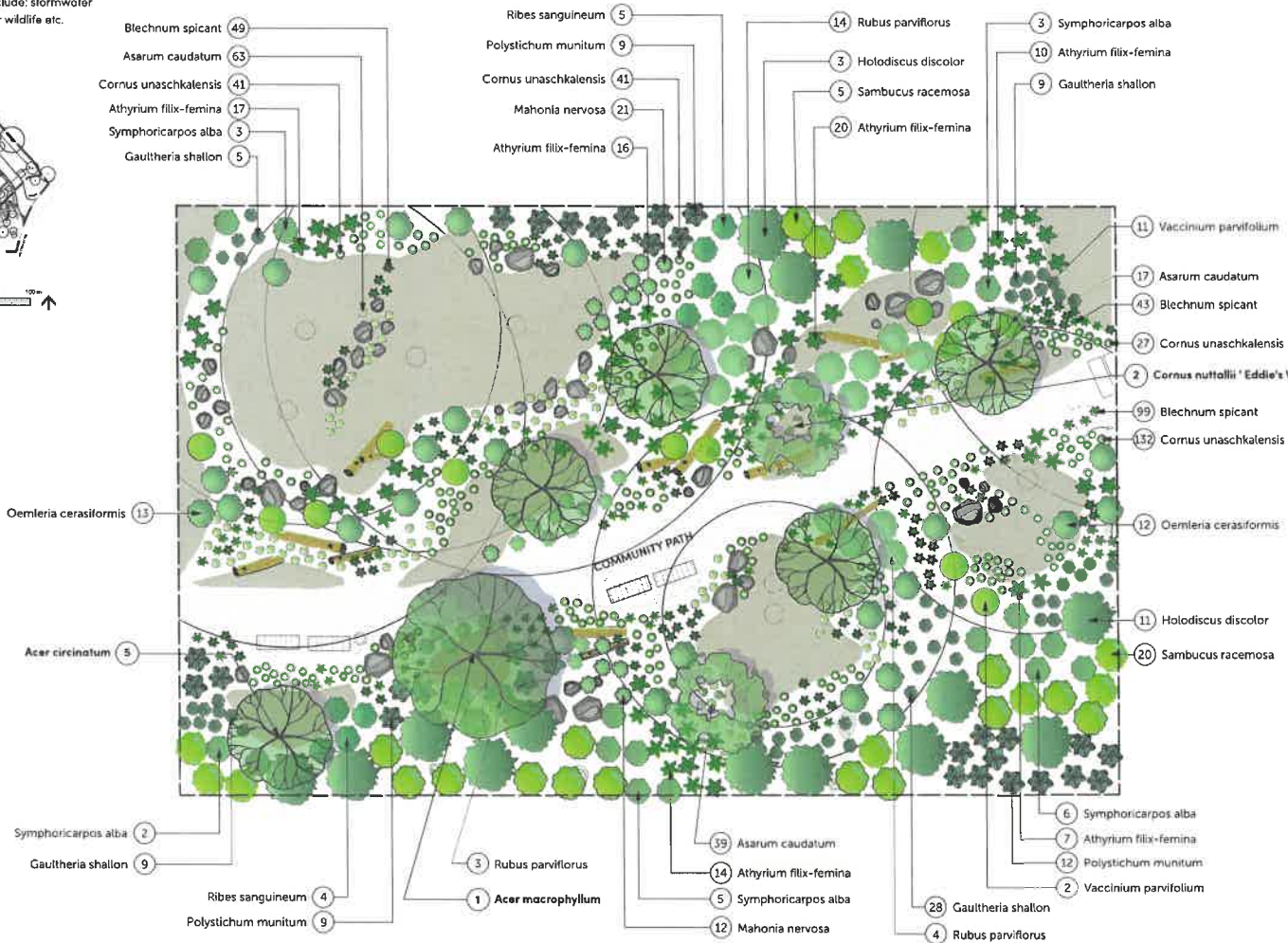
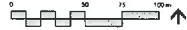
DESIGN RATIONALE: TYPICAL NATURALIZED AREAS

The typical naturalized areas consist of a variety of native trees, hardy shrubs and groundcover to mimic the west coast rain forest. Species are clumped together and feathered out to give a naturalized effect and areas within the trees' root zones are left undisturbed or with occasional minor ground cover scattered in. Some other considerations in these areas include: stormwater retention / fire resistant / berry producing for wildlife etc.

 BARK MULCH - 4"-6" DEPTH (ADJUSTED ON-SITE AS REQUIRED)



KEY PLAN



1 DETAIL PLAN: TYPICAL NATURALIZED PLANTING CONCEPT
Scale: 1:75



Project Status

Issue	No.	Description	Date
	D	ISSUED FOR REVIEW	21-07-12
	E	ISSUED FOR GP	21-07-12
	F	ISSUED FOR GP REVISED	22-08-14
	G	ISSUED FOR GP REVISED	22-08-08

Project Info
21056
Aquila West Vancouver
Schematic
West Vancouver
Cty

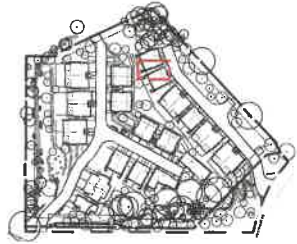
Project Team
Client: Striking People
Architect: Formwerks
Landscape Architect: LOCI Landscape Architecture + Urban Design
Drawn By: [] Checked By: []
Created By: []

DETAIL PLAN: TYPICAL NATURALIZED PLANTING CONCEPT

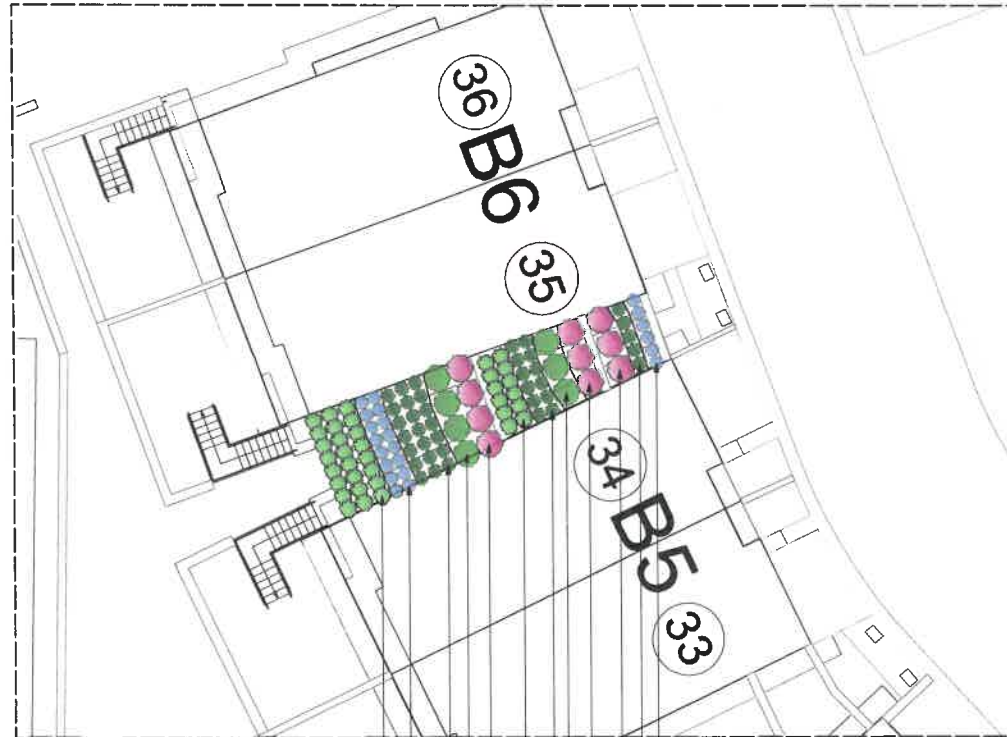
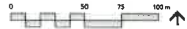
L4.5
Rev. A

DESIGN RATIONALE: TERRACED PLANTING BETWEEN B UNITS (NARROW GAP)

Fire-resistant and native species are layered upon terraces to soften light spaces between units. Evergreen rhodod, salal and mahonia ground the simple planting with year-long greenery while lupines and snowberry provide seasonal interest.



KEY PLAN



- | | |
|-------------------------------|-------------------------------|
| Mahonia nervosa (24) | Lupinus 'Russel Hybrids' (6) |
| Lupinus 'Russel Hybrids' (16) | Gaultheria shallon (5) |
| Gaultheria shallon (21) | Rhododendron Macrophyllum (3) |
| Symphoricarpos alba (4) | Rhododendron Macrophyllum (3) |
| Rhododendron Macrophyllum (4) | Symphoricarpos alba (3) |
| | Gaultheria shallon (12) |
| | Mahonia nervosa (12) |

1 **DETAIL PLAN: LAYERED NATIVE PLANTS**
Scale: 1:75



Project Stamp

Issue	No.	Description	Date
D	ISSUED FOR REVIEW		21-07-13
E	ISSUED FOR CP		21-08-13
F	ISSUED FOR CP REVISIONS		21-08-14
G	ISSUED FOR CP REVISIONS		22-04-06

Project Info

70056
Aquila West Vancouver
Schematic
West Vancouver
City

Project Team

Client: Sterling Pacific
Architect: Formworks
Landscape Architect: LOCI Landscape Architecture + Urban Design

Drawn By: | Checked By: |
Drawn By: | Checked By: |

DETAIL PLAN: LAYERED PLANTS

L4.6
Rev. A 000000

PRELIMINARY PLANT SCHEDULE

Symbol	Latin Name	Common Name	Scheduled Size	Spacing	Notes
DECIDUOUS TREES:					
	<i>Acer circinatum</i>	Vine Maple	6cm cal.	As Shown	B6B
	<i>Acer macrophyllum</i>	Big Leaf Maple	8cm cal.	As Shown	B6B
	<i>Cornus nuttallii</i>	Eddie's White Wonder Eddie's Pacific Dogwood	6cm cal.	As Shown	B6B
	<i>Magnolia 'Galaxy'</i>	Galaxy Magnolia	7cm cal.	As Shown	B6B
	<i>Populus tremuloides</i>	Trembling Aspen	6cm cal.	As Shown	B6B
SHRUBS:					
	<i>Berberis thunbergii 'Atropurpurea'</i>	Japanese Barberry	#2 Pot	0.61m o.c.	
	<i>Cornus sericea 'Kelsey'</i>	Kelsey's Dwarf Red-Osier Dogwood	#2 Pot	0.61m o.c.	
	<i>Gaultheria shallon</i>	Salei	#1 Pot	0.5m o.c.	
	<i>Holodiscus discolor</i>	Ocean Spray	#5 Pot	2m o.c.	
	<i>Mahonia nervosa</i>	Creeping Oregon Grape	#2 Pot	0.45m o.c.	
	<i>Oemleria cerasiformis</i>	Oso berry	#5 Pot	1.5m o.c.	
	<i>Ribes sanguineum</i>	Red Flowering Currant	#5 Pot	0.91m o.c.	
	<i>Rosa nutkana</i>	Nootka Rose	#5 Pot	1.22m o.c.	
	<i>Rubus parviflorus</i>	Thimbleberry	#2 Pot	1.2m o.c.	
	<i>Sambucus nigra 'Eva'</i>	Black Lace™ Elderberry	#3 Pot	1.22m o.c.	
	<i>Spiraea x bumalda 'Goldflame'</i>	Goldflame Spiraea	#2 Pot	0.61m o.c.	
	<i>Symphoricarpos niba</i>	Snowberry	#3 Pot	0.91m o.c.	
	<i>Vaccinium parvifolium</i>	Red Huckleberry	#5 Pot	1m o.c.	
PERENNIALS, GRASSES, GROUND COVER:					
	<i>Alchemilla mollis</i>	Lady's Mantle	#2 pot	0.4m o.c.	
	<i>Allium senescens</i>	German Garlic	#1 Pot	0.3m o.c.	
	<i>Arctostaphylos uva-ursi</i>	Bearberry, Kinnikinnick	#1 Pot	0.3m o.c.	
	<i>Asarum caudatum</i>	Western Wild Ginger	10cm Pot	0.3m o.c.	
	<i>Athyrium filix-femina</i>	Lady Fern	#1 Pot	0.75m o.c.	
	<i>Blechnum spicant</i>	Deer Fern	#1 Pot	0.4m o.c.	
	<i>Cornus amanchkalensis</i>	Western Suncherry	10cm Pot	0.3m o.c.	
	<i>Echinacea purpurea</i>	Purple Coneflower	#1 Pot	0.61m o.c.	
	<i>Euphorbia characias subsp. wulfemii</i>	Sourge	#1 Pot	0.61m o.c.	
	<i>Lupinus 'Russel Hybrids'</i>	Dwarf Lupine	#1 Pitt	0.46m o.c.	
	<i>Nepeta faassenii</i>	'Cat's Meow' Catmint	#1 Pot	0.61m o.c.	
	<i>Perovskia atriplicifolia</i>	Russian Sage	#2 Pot	0.76m o.c.	
	<i>Phlox stolonifera 'Blue Ridge'</i>	Creeping Phlox	#1 Pot	0.3m o.c.	
	<i>Polystichum munium</i>	Western sword fern	#3 Pot	0.91m o.c.	
	<i>Rudbeckia fulgida 'Goldsturm'</i>	Black-Eyed Susan	#2 Pot	0.46m o.c.	

- NOTES:**
1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCMA NURSERY STANDARD.
 2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
 3. FINAL SPECIFICATIONS AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
 4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
 5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING @ PHASED INSTALLATION IS REQUIRED.
 6. FINAL LOCATION QUANTITIES & TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING.
 7. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 6 CM CALIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL.
 8. ROOT BARRIERS SHALL BE 8'-0" DIAM (LONG AND 18" (6 CM) DEEP; PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE CONFIRMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

OVERALL PLANT IMAGES:

TREES:



SHRUBS:



PERENNIALS, GRASSES, GROUND COVER:



NATURALIZED FOREST PLANTING:



1100 WEST 4TH AVENUE, SUITE 200
VANCOUVER, BC V6C 1K5
TEL: 604.681.7766
WWW.LOCI.CA

Issue	Date
B. Description	2024-13
D. ISSUED FOR REVIEW	21-04-23
E. ISSUED FOR DP	21-04-23
F. ISSUED FOR DP REVISIONS	23-04-24
G. ISSUED FOR CONSTRUCTION	23-04-06

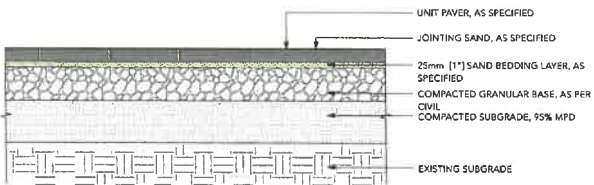
Project Info
71066
Aquila West Vancouver
Suburban
West Vancouver
City

Project Team
Client: [Redacted]
Working Party: [Redacted]
Architect: [Redacted]
Landscape Architect: [Redacted]
Urban Design: [Redacted]

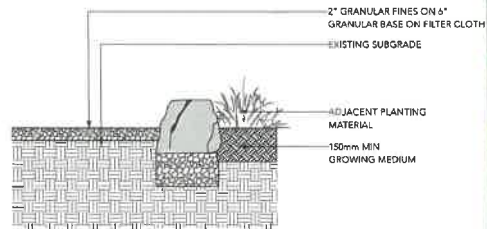
PLANT LIST + IMAGES

L5.0

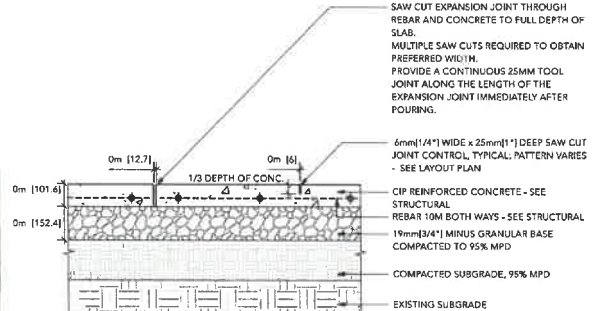
Rev. A revision



NOTES:
1. FINAL PRODUCT, COLOUR, AND PATTERN TBD BY OWNER
1 PAVING TYPE 1 - PRECAST CONC UNIT PAVERS AT GRADE, TYP.
Scale: 1:10

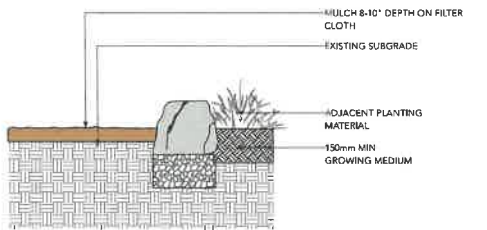


4 PAVING TYPE 4 - GRAVEL SURFACING TYP.
Scale: 1:10

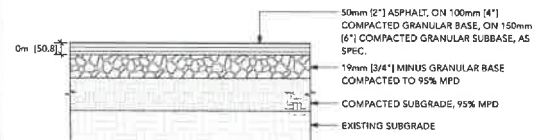


NOTES:
1. TROWEL WITH LIGHT SANDBLAST
2. SEE TYPICAL LAYOUT PLAN FOR JOINT PATTERN AND BAND WIDTH
3. EXP. JOINTS 60% MIN [20' O.C. MAX. @ CURB, BUILDING EDGE CUT LINES, CHANGES IN MATERIALS, SPACING TO COINCIDE W/ PATTERN]
4. CONTROL JOINTS @ 1524mm [5' O.C. MAX.
5. FINAL LOCATIONS TO BE CONFIRMED ON SITE
6. STRUCTURAL ENGINEER TO CONFIRM DEPTH AND REINFORCEMENT

2 PAVING TYPE 2 - CIP CONC PAVING AT GRADE, TYP.
Scale: 1:10

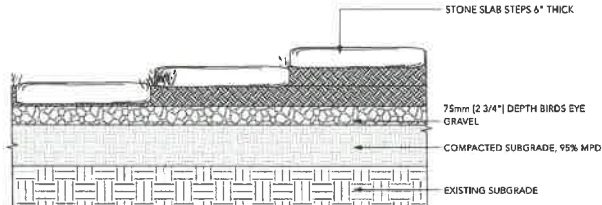


5 PAVING TYPE 5 - MULCH PATHWAY TYP.
Scale: 1:10



FOR INFO ONLY, SEE CIVIL

3 PAVING TYPE 3 - ASPHALT PAVING AT GRADE, TYP.
Scale: 1:10



6 STONE SLAB STEPS TYP.
Scale: 1:10



100 HASTINGS STREET, VANCOUVER, BC, V6P 1C1
TEL: 604.681.1100
WWW.LOCI.CA

PROJECT NUMBER: 2056
PROJECT NAME: AQUILA WEST VANCOUVER
PROJECT ADDRESS: 2056 WEST VANCOUVER AVENUE, VANCOUVER, BC V6L 2Y1

Project Stamp

Rev	Description	Date
D	ISSUED FOR REVIEW	21-04-20
E	ISSUED FOR DP	21-05-21
F	ISSUED FOR CP	22-01-14
G	ISSUED FOR OP	22-04-08

Project Info

2056
Aquila West Vancouver
Site Name: West Vancouver
City

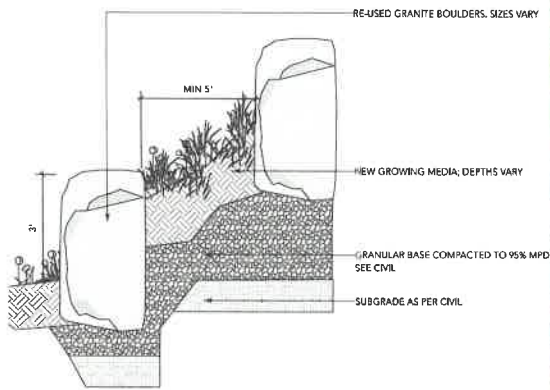
Project Team

Client: Sterling Pacific
Architect: Formworks
Landscape Architect: LOCI Landscape Architecture + Urban Design

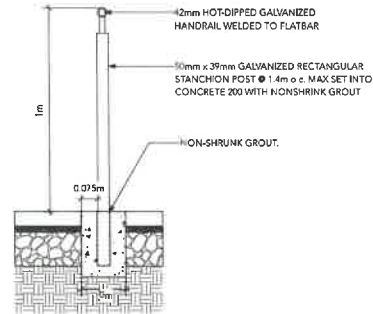
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HARDSCAPE DETAILS

L6.0
Rev: 01



1 WALL TYPE 1 - RE-USED BOULDERS, TYP.
Scale 1/20



- NOTES:
1. ALL STEEL TO BE HOT-DIPPED GALVANIZED UNLESS OTHERWISE SPECIFIED.
 2. SHOP DRAWINGS TO BE PROVIDED BY CONTRACTOR
 3. RECTANGULAR POST TO BE EMBEDDED IN CONCRETE FOOTING MIN 6" (150mm), OR EMBEDDED INTO CONCRETE STAIRS
 4. ALL METAL GALVANIZED STEEL WASH PRIOR TO POWDERCOAT FINISH. BLACK COLOUR POWDERCOAT FINISH TO BE FACTORY APPLIED. GRIND ALL FIELD WELDS. APPLY TWO COATES GALVALUME PRIMER AND PAINT TO MATCH POWDERCOAT FINISH.

3 HANDRAIL, TYP.
Scale 1/8

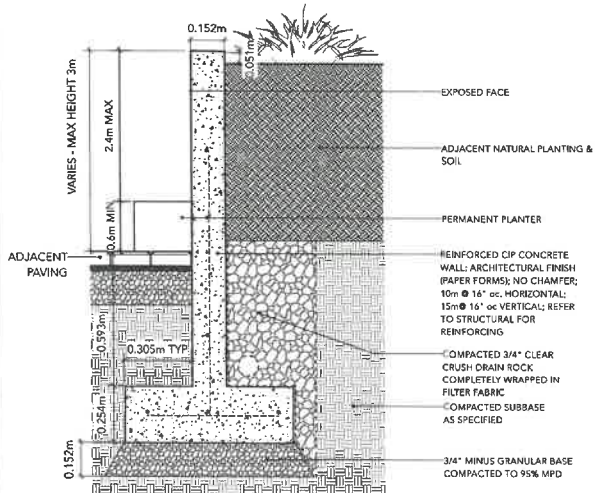


loci
LANDSCAPE ARCHITECTURE + URBAN DESIGN

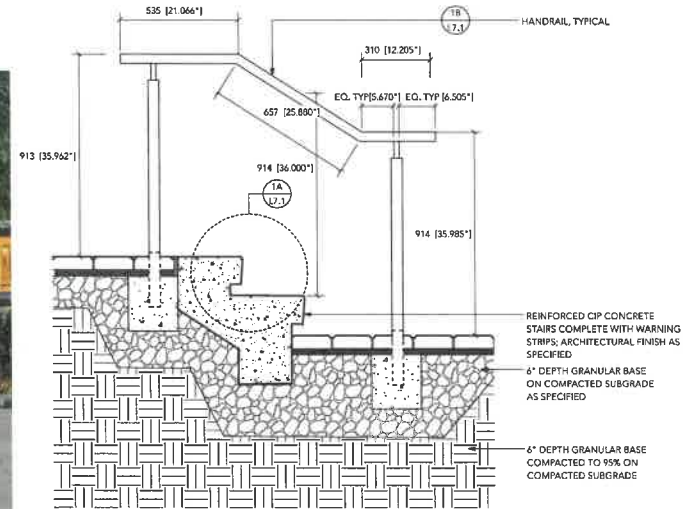
200 PENDERGAST STREET, VANCOUVER, BC V6C 2R8 CANADA
TEL: 604.681.1122 FAX: 604.681.1123
WWW.LOCI.CA

400 WEST 11TH AVENUE, SUITE 100
VANCOUVER, BC V6H 2T6 CANADA
TEL: 604.681.1122 FAX: 604.681.1123
WWW.LOCI.CA

Project Stamp



2 WALL TYPE 2 - CIP CONCRETE PLANTER WALL ON GRADE, TYP.
Scale 1/8



- NOTES:
1. CONCRETE FINISH TO ARCHITECTURAL STANDARDS AND SPECIFICATIONS
 2. FOR NUMBER OF RISERS SEE LAYOUT DRAWINGS / SECTIONS
 3. PROPOSED HANDRAIL PER ARCHITECTURAL. PROVIDE SHOP DWG. FOR HANDRAIL PRIOR TO FABRICATION
 4. REINFORCEMENT AND FOOTINGS AS PER STRUCTURAL
 5. LAYOUT AND GRADING PER PLANS.

4 CIP CONC STAIRS WITH HANDRAIL, TYP.
Scale 1/8

Rev.	Description	Date
D	REVISED FOR REVIEW	21-04-20
E	REVISED FOR DP	21-04-21
F	REVISED FOR DP REVISION	21-04-21
G	REVISED FOR DP REVISION	21-04-08

Project Info
21068
Aquila West Vancouver
Shannon
West Vancouver
City

Project Team
Client
Shedding Pacific
Architect
Farmworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By
Checked By

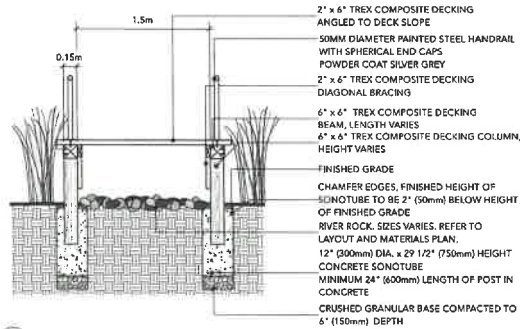
HARDSCAPE DETAILS

L6.1

Rev. A Revision



1 BENCH
LANDSCAPE FORMS: PALISADE BENCH



2 WETLAND VIEWING DECK, TYP.



3 UNIT STONE PLANTERS, TYP.



Project Status

Issue

No.	Description	Date
D	ISSUED FOR REVIEW	21-06-18
E	ISSUED FOR CP	21-07-21
F	ISSUED FOR CP	22-01-14
G	ISSUED FOR CP	22-04-06

Project Info

2056
Aquila West Vancouver
Schematic
West Vancouver
Cty

Project Team

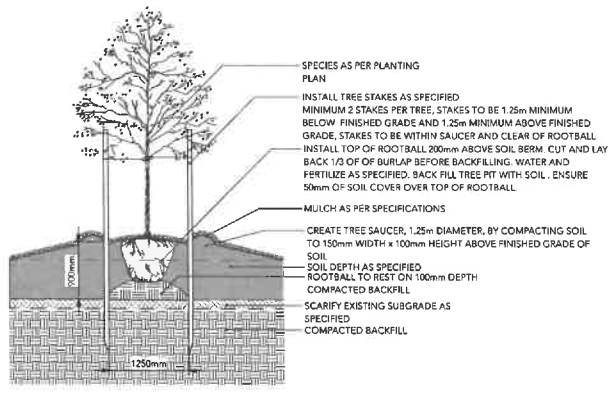
Client
Working People
Architect
Formworks
Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By _____ Checked By _____
Drawn By _____ Checked By _____

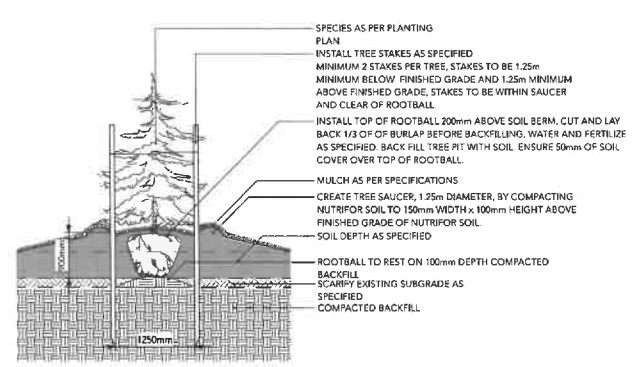
FURNISHING DETAILS

L6.2

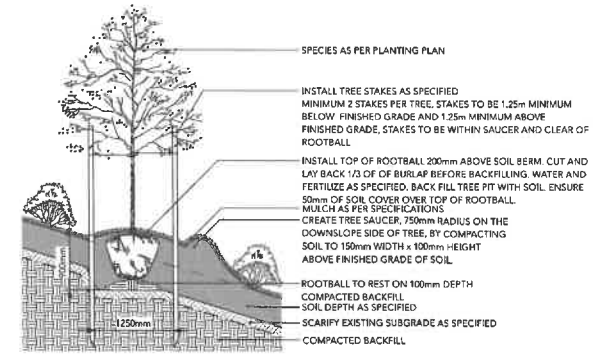
Rev. A



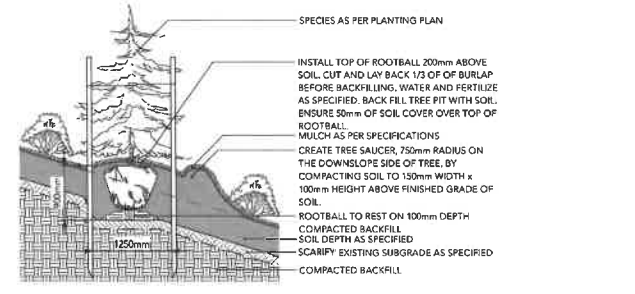
1 DECIDUOUS TREE ON GRADE TYP.
Scale: 1:25



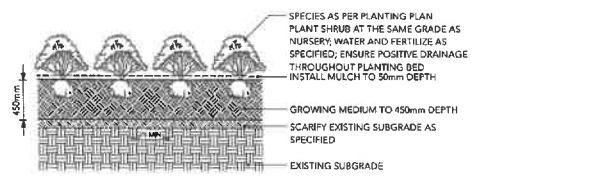
4 CONIFEROUS TREE ON GRADE TYP.
Scale: 1:25



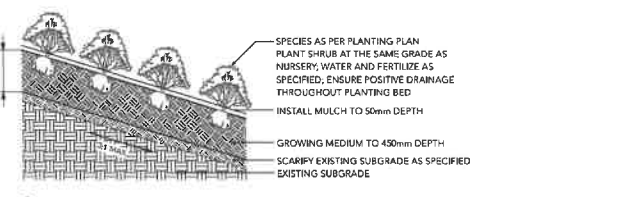
2 DECIDUOUS TREE ON SLOPE TYP.
Scale: 1:25



6 CONIFEROUS TREE ON SLOPE TYP.
Scale: 1:25



3 SHRUB PLANTING ON GRADE TYP.
Scale: 1:25



4 SHRUB PLANTING ON SLOPE TYP.
Scale: 1:25

Project Name

Rev	Description	Date
A	ISSUED FOR REVIEW	24-03-13
B	ISSUED FOR DP	21-04-13
C	ISSUED FOR DP	12-05-13
D	ISSUED FOR DP	23-04-14

Project Info

21066
 Aquila West Vancouver
 Substrate
 West Vancouver
 City

Project Team
 Client
 Working Package
 Architect
 Formwork

Landscape Architect
 LOCI Landscape Architecture + Urban Design
 Drawn By
 Checked By

SOFTSCAPE DETAILS

L6.3
 Scale: 1:25



1 – 38920 Queens Way
Squamish, BC V8B 0K8
604-898-1093

Jaime Harper
14-636 Clyde Avenue
West Vancouver, BC

October 6, 2022
File: 1558 Rev 2

Attention: Jaime Harper

**RE: Preliminary Landslide Hazard Assessment – Proposed Subdivision
5600 Block, Daffodil Drive, West Vancouver, BC**

1.0 INTRODUCTION

We understand that it is proposed to subdivide the subject property¹ into thirty-six residential units and that the District of West Vancouver requires that a landslide hazard assessment is completed in accordance with EGBC² guidelines.

This report provides a preliminary qualitative landslide hazard assessment of the subject property. It has been prepared exclusively for our client, for their use, the use of others on their design team and the District of West Vancouver for use in the development and permitting process, however it remains the property of Frontera.

2.0 SITE DESCRIPTION

The site encompasses an area of 1.8 hectares situated on a southwest facing slope with an average slope of approximately 1V:3H. It is bound by a BC Rail Right of Way to the north, Westport Road to the east, Eagle Creek, Daffodil Drive and residential lots to the south, and residential lots to the west.

Private roadways currently cross the site, which is largely undeveloped and forested with cedar trees, to provide access from Westport Road and Daffodil Drive to the residential property at 5665 Daffodil Drive. There is some evidence of historic site usage, most likely related to forestry.

3.0 DESKTOP REVIEW

Review of published geological maps for the area indicate the site is likely to be underlain by glacio-marine ice contact deposits described as; sand and gravel, stratified to massive and commonly faulted; generally greater than three metres thick; forming hummocky surfaces, may be fossiliferous.

Major infrastructure projects have been constructed adjacent the proposed subdivision with similar topographic and geological conditions including Westport Road and the BC Rail line.

The site is not in the BC landslide inventory and review of publicly available LiDAR information and site survey plans shows no visual signs of land instability.

¹ Lot C (Reference Plan 3355), Group 1 New Westminster District excerpt part in Reference Plan 11716 District Lot 1374 Group 1 New Westminster District.

² Guidelines for Legislated Landslide Assessments for Proposed Residential Developments in BC (May 2010).



4.0 FIELD REVIEW

4.1 General

A site reconnaissance was completed by Frontera on 24 February 2021 and included a site walk-over, measurement of slope angles, surface observations of rock outcrops and two sub-surface penetration tests (Scala Penetrometer) to determine the relative strength and thickness of near-surface soils.

Test locations are identified on Drawing 1558-01 following the text of this report.

Detailed results from the penetration tests are provided in Appendix A and photos from the reconnaissance in Appendix B.

4.2 Discussion

Based upon the results of the field review the general subsurface conditions are expected to comprise of relatively loose organic rich colluvium and topsoil, in the order of one metre thick, overlying relatively dense native soil or granitic bedrock.

Steeper terrain, defined as greater than 35 degrees, was generally isolated to natural rock-outcropping or disturbed ground related to the BC Rail Line or existing roadway from Westport Road. No active or historic evidence of landslide were noted. Surficial soil creep was evident in juvenile and mature trees across the slope.

Rock outcrops were noted on proposed Lot's B5, B6, G6, B4, G5, G4, D4, D3, B3. The rock can generally be described as blocky with several persistent joint sets with a possibility for toppling on west aspect cuts. No major rock instability was noted at the time of the review.

The rock outcrops also lie within the proposed alignment for the roads into the development via Westport Road and Daffodil Drive.

Shot rock forming the southwest embankment of the BC Rail line on the upslope side of the proposed development is sloped at approximately 45 degrees.

Persistent groundwater seepage was noted at the bedrock contact in the northern corner of the property adjacent to a small creek (north side of proposed Lot B6).

A summary of the field review observations are provided on a marked up plan of the proposed sub-division on Drawing 1558-1 following the text of this report.

5.0 LANDSLIDE ASSESSMENT

The objectives of the landslide assessment were to; review and characterize landslides (active, inactive, dormant and potential) within or beyond the proposed subdivision development, estimate associated landslide hazards and compare the estimates with a level of landslide safety adopted by the approving jurisdiction.

Based on the results of our desktop and field reviews, there are no obvious signs of recent or historic landslide activity on, or in immediate areas beyond the property.

The District of West Vancouver does not specify a risk tolerance criteria for landslide hazard for new developments. For the purposed of this report, we have adopted the risk tolerance criteria used by the District of North Vancouver (2009), which species a maximum 1:100,000 risk of fatality per year, and or a static factor of safety greater than 1.5 for slopes associated with new developments.



Based upon the available information, Frontera estimates that landslide hazards at the proposed site exceed the DNV's risk tolerance criteria for new developments and subsequently certify that the land may be safely used as intended, provided that the recommendations provided in this report are completed in subsequent stages of design.

6.0 RECOMMENDATIONS

The proposed tree removal works, earthworks and rock blasting will not significantly increase the risk of a major, deep-seated landslide on the property. However, they may increase rockfall hazard and cause areas of isolated slope instability. Rockfall hazard and the stability of cut slopes should be assessed and demonstrated to meet accepted risk tolerance criteria by a geotechnical engineer during detailed design of the subdivision. Further, a geotechnical engineer should be engaged to provide recommendations for permanent and temporary slope batters, potential blasting requirements, retaining walls, fill placement, compaction, and pavement recommendations.

We recommend ongoing use of the District of North Vancouver (2009) natural hazard risk tolerance criteria is adopted when demonstrating appropriate levels of slope stability for the final design.

Development of the site should also consider hazards associated with rockfall from excavation or existing sources during detailed design. Rockfall risk may be increased as a direct result of construction activities or naturally due to climatic or biological events that cause a change in forces acting on a rock including; changes in the groundwater regime, erosion during heavy rainstorms, freeze-thaw processes during winter, chemical degradation or weathering of the rock over time, root growth or leverage of roots moving in high winds. It should be noted that the proposed tree removal works may significantly increase the rockfall risk; proposed tree removal should be considered in the rockfall hazard assessment.

Once grades and rock cut depths have been finalized, we recommend that the rockfall risk is reviewed and that recommendations are provided with respect to rockfall mitigation as required during the detailed design phase of the subdivision.

7.0 SUMMARY

Frontera was engaged to complete a preliminary landslide hazard assessment for the proposed subdivision of 5600 Block, Daffodil Drive in West Vancouver.

The objective of the assessment was to review and characterize landslides within or beyond the proposed subdivision and comprised of a desktop review of available relevant information and a site reconnaissance. Details are provided in Sections three and four respectively.

Relevant notes from the site reconnaissance are provided on Drawing 1558-1 including the identification of an area of groundwater seepage, rock-outcropping and areas that may provide a potential rockfall hazard for the proposed development.

Frontera is of the opinion that there are no obvious signs of recent or historic landslide activity on, or in immediate areas beyond the property and estimates the likelihood of a landslide occurring and affecting the proposed subdivision is low and exceeds the DNV's acceptable risk tolerance criteria for new developments.

During detailed design of the subdivision, demonstration of appropriate levels of landslide and rockfall stability risk should be completed by professional engineers for the final layout and proposed grades.



8.0 CLOSURE

This report is prepared solely for use by our client and their design team for this project as described to the general standards of similar work for similar projects in this area and no other warranty of any kind is expressed or implied. Frontera Geotechnical Inc. accepts no responsibility for any other use of this report.

We are pleased to assist you with this project, and we trust this information is helpful and sufficient for your purposes at this time. Please do not hesitate to call the undersigned if you require clarification or additional details.

Yours truly,

Frontera Geotechnical Inc.

Reviewed by:

Ralph Burden, EIT
Geotechnical Engineer



2022-10-07

PTP # 1001392

Daniel Sims, P.Eng.
Geotechnical Engineer



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PROJECT: **PROPOSED SUBDIVISION
DAFFODIL LANE, WEST VANCOUVER, BC**

TITLE: **LANDSLIDE ASSESSMENT
PLAN VIEW**

REVISION NO.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	10/03/21
B	ISSUED FOR REVIEW	19/08/21

JOB NO: 1558	
DRAWING NO: 1558-1	
SCALE: NTS	DATE: MARCH 10, 2020
DRAWN BY: RB	DESIGNED BY: DG
CHECKED BY: SF	

APPENDIX A
Scala Penetration Logs

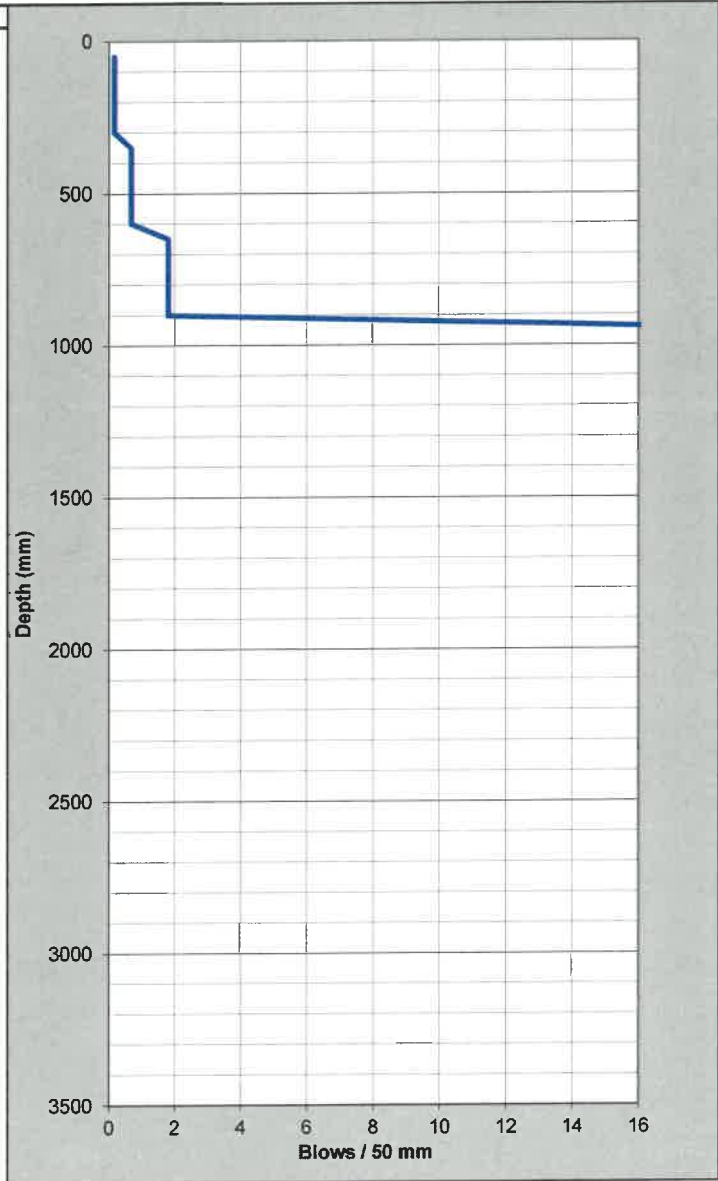


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SCALA PENETROMETER LOG

Job No: 1558	Date: 2021-02-24	Test No. SP2
Project: Proposed subdivision 5600 Block	Operated by: DS	Sheet 1
Location: Daffodil Lane, West Vancouver, BC	Logged by: DS	of 1
Level: Existing grade	Checked by:	

mm Driven	No. of Blows	mm Driven	No. of Blows
50	0.16	2550	
100	0.16	2600	
150	0.16	2650	
200	0.16	2700	
250	0.16	2750	
300	0.16	2800	
350	0.67	2850	
400	0.67	2900	
450	0.67	2950	
500	0.67	3000	
550	0.67	3050	
600	0.67	3100	
650	1.8	3150	
700	1.8	3200	
750	1.8	3250	
800	1.8	3300	
850	1.8	3350	
900	1.8	3400	
950	20	3450	
1000		3500	
1050		3550	
1100		3600	
1150		3650	
1200		3700	
1250		3750	
1300		3800	
1350		3850	
1400		3900	
1450		3950	
1500		4000	
1550		4050	
1600		4100	
1650		4150	
1700		4200	
1750		4250	
1800		4300	
1850		4350	
1900		4400	
1950		4450	
2000		4500	
2050		4550	
2100		4600	
2150		4650	
2200		4700	
2250		4750	
2300		4800	
2350		4850	
2400		4900	
2450		4950	
2500		5000	



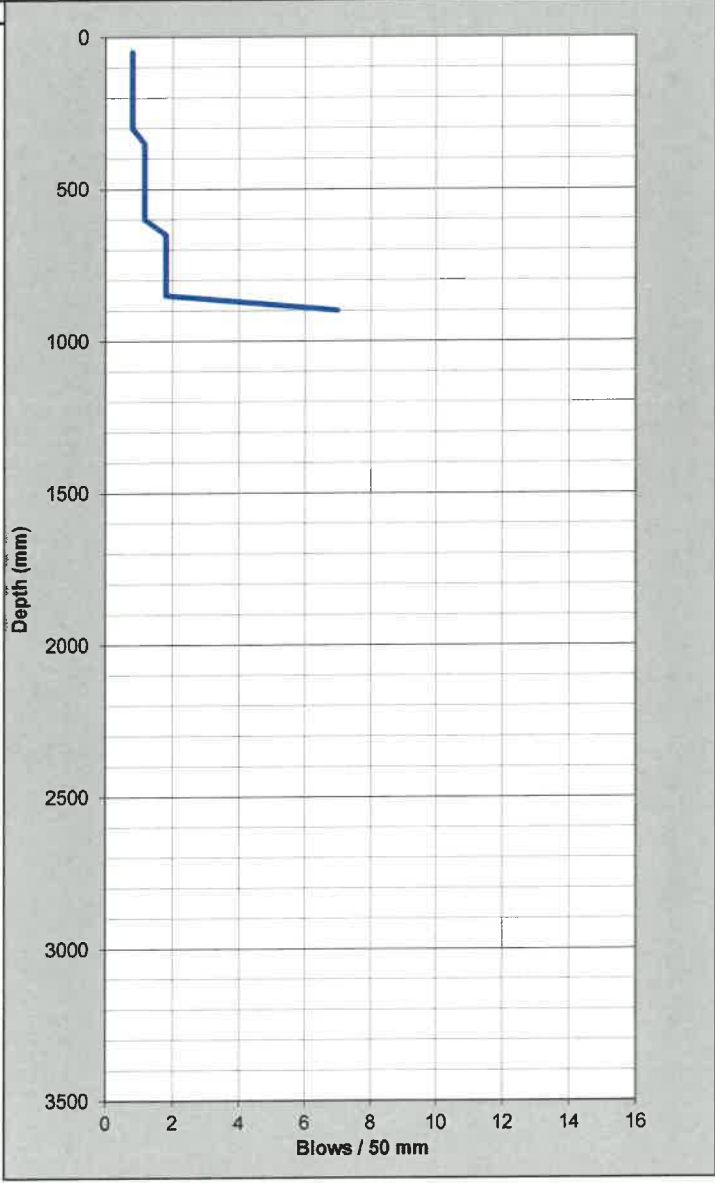


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SCALA PENETROMETER LOG

Job No: 1558	Date: 2021-02-24	Test No. SP1
Project: Proposed subdivision 5600 Block	Operated by: DS	Sheet of 1
Location: Daffodil Lane, West Vancouver, BC	Logged by: DS	of 1
Level: Existing grade	Checked by:	

mm Driven	No. of Blows	mm Driven	No. of Blows
50	0.8	2550	
100	0.8	2600	
150	0.8	2650	
200	0.8	2700	
250	0.8	2750	
300	0.8	2800	
350	1.16	2850	
400	1.16	2900	
450	1.16	2950	
500	1.16	3000	
550	1.16	3050	
600	1.16	3100	
650	1.8	3150	
700	1.8	3200	
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1000		3500	
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1500		4000	
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1600		4100	
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1850		4350	
1900		4400	
1950		4450	
2000		4500	
2050		4550	
2100		4600	
2150		4650	
2200		4700	
2250		4750	
2300		4800	
2350		4850	
2400		4900	
2450		4950	
2500		5000	



APPENDIX B

Photos



Slope beneath the driveway off Westport Road, looking northwest



Pistol-butting of mature Cedar indicating shallow surface creep



Rock-outcropping upslope of proposed road from Daffodil



Rockfall hazard potential from BC Rail construction



Rock outcropping Lot 4.



Rock outcropping Lot 5, entrance from Westport Rd.

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