

COUNCIL CORRESPONDENCE UPDATE TO JUNE 19, 2024 (8:30 a.m.)

Correspondence

- (1) June 12, 2024, regarding “2550 Queens Avenue Proposed Subdivision Development”**
- (2) 20 submissions, June 12-19, 2024, regarding Proposed Cypress Village and Eagleridge Development (Referred to the June 25, 2024 public hearing)**
- (3) June 13, 2024, regarding “North Shore Wastewater Treatment Plant Program: June 2024 Community Newsletter”**
- (4) June 13, 2024, regarding “Parking at light park”**
- (5) Collingwood School, June 14, 2024, regarding “14 Glenmore Drive Submission” (Referred to the June 17, 2024 public hearing)**
- (6) June 14, 2024, regarding “New West Van Giant Park”**
- (7) 14 submissions, June 14-18, 2024, regarding Proposed: Official Community Bylaw No. 4985, 2018, Amendment Bylaw No. 5291, 2024; and Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5338, 2024 (Ambleside Local Area Plan) (Referred to the June 24, 2024 public hearing)**
- (8) June 16, 2024, June 16, 2024, regarding “Listen to taxpayers and be financially prudent =+”**
- (9) June 16, 2024, regarding “Opposition to 2368 Bellevue High Wall design” (Referred to the July 22, 2024 regular Council meeting)**
- (10) June 16, 2024, regarding “Thank You for your Unanimous Vote on May 27th to Reject Provincial Rezoning Mandates!”**
- (11) 3 submissions, June 16-18, 2024, regarding Densification in West Vancouver**

Correspondence from Other Governments and Government Agencies

- (12) City of Kamloops, June 11, 2024, regarding “Support for Downloading Costs on Municipalities”**
- (13) P. Weiler, M.P. (West Vancouver-Sunshine Coast-Sea to Sky Country), (2 submissions), June 13, 2024, regarding Federal Programs and Initiatives**

Responses to Correspondence

- (14) Aquatics and Youth Services Manager, June 14, 2024, response to Capilano Community Services Society regarding “RSVP For Capilano Community Services Society AGM”**

From: s. 22(1)
Sent: Wednesday, June 12, 2024 7:22 PM
To: correspondence; Hanna Demyk; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: 2550 Queens Avenue Proposed Subdivision Development
Attachments: Marr Creek.jpg

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Attached is Marr Creek Flooding 1955

To: Mayor Mark Sager, Councillors; Christine Cassidy, Nora Gambioli, Peter Lambur, Scott Snider, Sharon Thompson, and Linda Watt. And the Planning Department of West Vancouver.

Re: The Proposed Rezoning Amendment and Development Variance Permit to Allow Subdivision of 2550 Queens Avenue.

1. Lot Size: The developer's lot is the SMALLEST lot on the south side of the 2500 block Queens. On the north side of Queens, the smallest lot is 97% larger or almost two times the size of the developer's proposed Lot A. The lot across the street from 2550 Queens is 328% larger than the developer's proposed lot A. The developer's proposal is a large intrusion into the neighbourhood.

2. Description of the Neighbourhood: Two single family homes were built in the 1940's. One is well maintained, and one is awaiting a single family permit. Homes continued to be built throughout the remaining decades, with five (5) new single family homes built in the 2000's.

Replacing a well built and well maintained home with two (2) wall to wall houses, which in no way conforms to the character, scale or context of the surrounding homes is just plain wrong.

3. Steepness of Property: Steepness of lots in Ambleside was discussed by the Planning Department, with an example given of the north side of Fulton Avenue. The 2500 block of Queens is built on an extremely steep slope, many times steeper than Fulton Avenue.

4. Lane Access and Use: There appears to be little if any vehicular use of the lane, and I predict all residents bordering the lane, including the houses on the north side of Palmerston Avenue will not appreciate having an additional eight (8) plus vehicles using the lane on a regular basis.

5. Climate Change: The increase in lot coverage, the use of paving stones, and minimal greenery are common in West Van. Water runoff will increase. Marr Creek, which runs down 25th Street, has flooded in the past. Marr Creek is the 8th largest creek out of the 22 creeks that roar down West Van's steep hillsides. The steep hillsides and the proposed densification

of neighbourhoods will likely create infrastructure problems and added expense for the municipality. The more houses crammed onto a lot, the less water absorption there will be. This is another reason small, densified lots on steep slopes are not compatible in West Vancouver.

6. Bus Transportation on Queens: There are no prescribed bus stops on Queens Avenue – that is there are no bus stops on Queens that have bus service every 15 minutes. At best there is bus service on Queens at intervals of 45 minutes. When it snows, there are frequent bus cancellations, or no bus service at all. This is because of the steepness of the streets exiting Queens. Any increase in density on Queens Avenue will simply add more cars – and I haven't seen a third crossing being built yet.

7. Large Lots on Queens: There are several large properties in the 2500 block of Queens Avenue that may sooner or later propose changes to the size of their lots. This is understandable and acceptable. However, as the second SMALLEST lot in the neighbourhood, the proposed development at 2550 Queens should not be considered for either rezoning or variances.

8. In Summary: I believe the residents of West Vancouver are aligned with David Hawkin's Community Input Report of July 14, 2023 saying that having "regulations to be in place to guide change in this more focused area, as opposed to "one off" or "ad hoc" rezonings," is preferred.

With Council's direction, as well as input from working groups, and together with the Planning Department, the Local Area Plan (LAP) is well underway for Ambleside. Ambleside is an area well suited to densification, given its topography, walkability, major transit corridor on Marine Drive, and just about everything else.

Until each major area of West Vancouver has been studied and planned accordingly, changes through one off rezonings and variances should not be permitted for the sake of density or for any other reason. West Vancouver residents should not have to defend their homes and neighbourhoods against developers or their government.

I want to thank the Planning Department for their presentation at the May 13, 2024 Council Meeting, and ask the Mayor, Councillors and Planning Department to vote against or deny the proposed development of 2550 Queens Avenue. Thank you.

Yours truly,

s. 22(1)

West Vancouver, BC s. 22(1)
s. 22(1)



From: Bender, Krysta <Krysta.Bender@bchydro.com>
Sent: Wednesday, June 12, 2024 12:26 PM
To: James Allan; Nicole Olenick; Jim Bailey; correspondence
Cc: Cheung, Cameron; Cuthbert, Katie; Genzel, Carolyn; Properties, Help Desk; Design, NSC; RightofWay
Subject: PA1241779: Proposed 6 road closures in Cypress Village - West Vancouver (lands to be transferred to BPP)- Near Hillcrest Substation ~ PRS Response
Attachments: Letter notice road closure land disposition for Cypress Village.pdf; 3.0 epp119794 signed for road to be closed north of CBR.pdf; 4.0 epp119795signed for Road to be Closed south of CBR.pdf; 5208
 _Road_Closure_and_Removal_of_Highway_Dedication_Bylaw_5208_2024.pdf; 410-U07-02451.1.pdf; 410-U07-01060.pdf; 410-U07-02422.1.pdf

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Your File No.: ROAD CLOSURE AND REMOVAL OF HIGHWAY DEDICATION BYLAW NO. 5208, 2024

Hello James

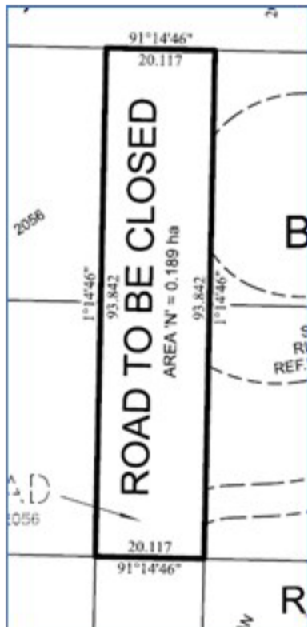
Thank you for your email, after internal review kindly note the following:

At this time, **no** Transmission SRW(s) will be required for the proposed road closures in Plan EPP119794 & EPP119795.

For Distribution Works: BC Hydro and TELUS will **require** the following SRWs listed by Plan; prior to the road closure and sale to British Pacific Properties.

For Plan EPP119794

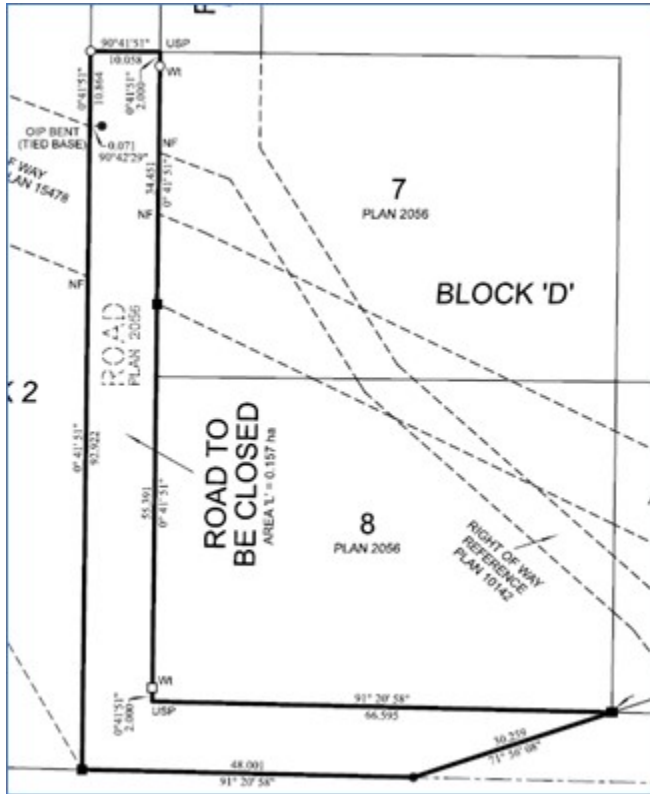
- BC Hydro/TELUS will require a blanket SRW for underground works for Area "N"



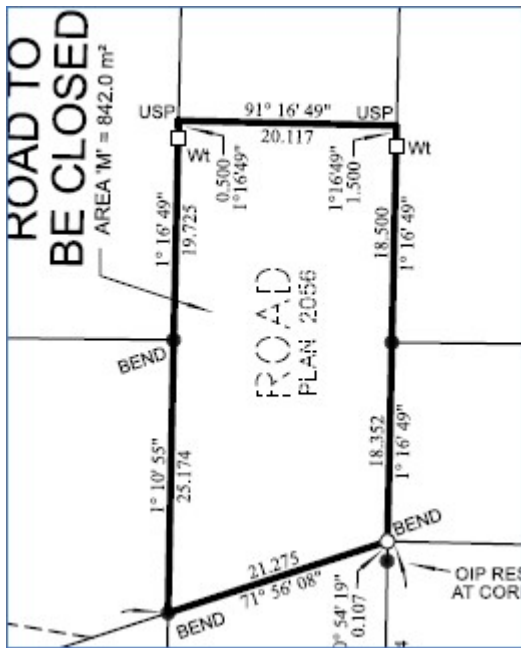
- BC Hydro/TELUS **will not** require a SRW for Areas "L" or "M."

For Plan EPP119795

- BC Hydro/TELUS will require a blanket SRW for Overhead works for Area "L"



- BC Hydro/TELUS will require a blanket SRW for Underground Works for Area "M"



- BC Hydro/TELUS **will not** require a SRW for Area "N."

BC Hydro **will not** require a SRW on the proposed park dedications in Plan EPP119794.

For technical questions or concerns, kindly reach out to [REDACTED] s. 22(1) (cc'd).

Property Rights Services has submitted a Road Closure SRW to BC Hydro Distribution Acquisition Services and a property coordinator will be in touch in due course. Kindly note the current documentation lead time is 8-10 weeks.

Attached for your reference and review: Road closure notice; proposed Plans EPP119794 & EPP119795 and Design U07 drawings.

Please quote our Reference No. PA1241779 in future correspondence.

Any questions or concerns, kindly let our office know.

Kind Regards,

Krysta Bender | Property Coordinator, Property Rights Services, Properties

BC Hydro
8475 128th St.
Surrey, BC V3W 0G1

P 604-543-1592
E krysta.bender@bchydro.com

From: James Allan <jallan@westvancouver.ca>
Sent: 2024, June 10 3:21 PM
To: Proudlove, Kim <Kim.Proudlove@bchydro.com>
Cc: Nicole Olenick [REDACTED] s. 22(1); Jim Bailey <jbailey@westvancouver.ca>; Bender, Krysta <Krysta.Bender@bchydro.com>; Cuthbert, Katie <Katie.Cuthbert@bchydro.com>; Genzel, Carolyn <Carolyn.Genzel@bchydro.com>
Subject: RE: [External] RE: Proposed road closure in Cypress Village - West Vancouver (lands to be transferred to BPP)

Some people who received this message don't often get email from jallan@westvancouver.ca. [Learn why this is important](#)

Don't click on links or open attachments unless you trust the sender and are expecting the link or attachment. If you suspect this message to be phishing, please report it by clicking the Report Message button in the Outlook toolbar and select "Phishing."

Thanks for your quick response, Kim. Do you work with Telus, Shaw or other utility providers when reviewing ROW's? (e.g. a tri-party agreement). I note they have infrastructure near BC Hydro's.

Also, I found out from the developer that the new designer for Cypress Village is Cameron Cheung (Cameron.Cheung@bchydro.com).

Thanks,

James Allan
Upper Lands Senior Development Planner | Planning and Development Services | District of West Vancouver
c: 604.816.4231 | westvancouver.ca



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We acknowledge that we are on the traditional, ancestral and unceded territory of the Skwxwú7mesh Úxwumixw (Squamish Nation), səłítwətaʔt (Tsleil-Waututh Nation), and xʷməθkʷəy̓əm (Musqueam Nation). We recognize and respect them as nations in this territory, as well as their historic connection to the lands and waters around us since time immemorial.

This email and any files transmitted with it are considered confidential and are intended solely for the use of the individual or entity to whom they are intended. If you are not the intended recipient or the person responsible for delivering the email to the intended recipient, be advised that you have received

this email in error and that any use, dissemination, forwarding, printing or copying of this email is strictly prohibited. If you have received this email in error, please notify the sender immediately and delete all copies of this email and attachment(s). Thank you.

From: Proudlove, Kim <Kim.Proudlove@bchydro.com>

Sent: Monday, June 10, 2024 1:59 PM

To: James Allan <jallan@westvancouver.ca>

Cc: Nicole Olenick [REDACTED] s. 22(1); Bailey <jbailey@westvancouver.ca>; Bender, Krysta <Krysta.Bender@bchydro.com>; Cuthbert, Katie <Katie.Cuthbert@bchydro.com>; Genzel, Carolyn <Carolyn.Genzel@bchydro.com>

Subject: RE: [External] RE: Proposed road closure in Cypress Village - West Vancouver (lands to be transferred to BPP)

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Hi James

Thanks for the plans

I've asked Krysta to review in detail and determine what kind of SRW document is required. Note that some requests can take up to 10 weeks to create the SRW document due to volume.

I'll keep you posted.

Kim Proudlove, DULE, SR/WA | Property Representative, Property Rights Services

P 604 543 1591

M 604 323 3304

E kim.proudlove@bchydro.com

[Submit your ROW Compatible Use request here](#)

**Smart about power in all we do.
Safety is part of everything we do!**

From: James Allan <jallan@westvancouver.ca>

Sent: 2024, June 10 12:01 PM

To: Proudlove, Kim <Kim.Proudlove@bchydro.com>

Cc: Nicole Olenick [REDACTED] s. 22(1); Jim Bailey <jbailey@westvancouver.ca>; Bender, Krysta <Krysta.Bender@bchydro.com>; Cuthbert, Katie <Katie.Cuthbert@bchydro.com>; Genzel, Carolyn <Carolyn.Genzel@bchydro.com>

Subject: [External] RE: Proposed road closure in Cypress Village - West Vancouver (lands to be transferred to BPP)

Hi Kim,

Thanks for getting back to me. I've attached the two road closure plans. Does this email constitute the request for the SRW documents?

We are happy to meet at any point if your team has questions.

Thanks,

James Allan

Upper Lands Senior Development Planner | Planning and Development Services | District of West Vancouver

From: Proudlove, Kim <Kim.Proudlove@bchydro.com>

Sent: Friday, June 7, 2024 10:31 AM

To: James Allan <jallan@westvancouver.ca>

Cc: Nicole Olenick [REDACTED] s. 22(1) Bailey <jbailey@westvancouver.ca>; Bender, Krysta <Krysta.Bender@bchydro.com>; Cuthbert, Katie <Katie.Cuthbert@bchydro.com>; Genzel, Carolyn <Carolyn.Genzel@bchydro.com>

Subject: Proposed road closure in Cypress Village - West Vancouver (lands to be transferred to BPP)

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Hi James

From [REDACTED] s. 22(1) Out of Office, if its accurate, he won't be returning until late November and currently doesn't appear in our employee system (on leave?)

I'll have to find out who the current Designer is on this Project

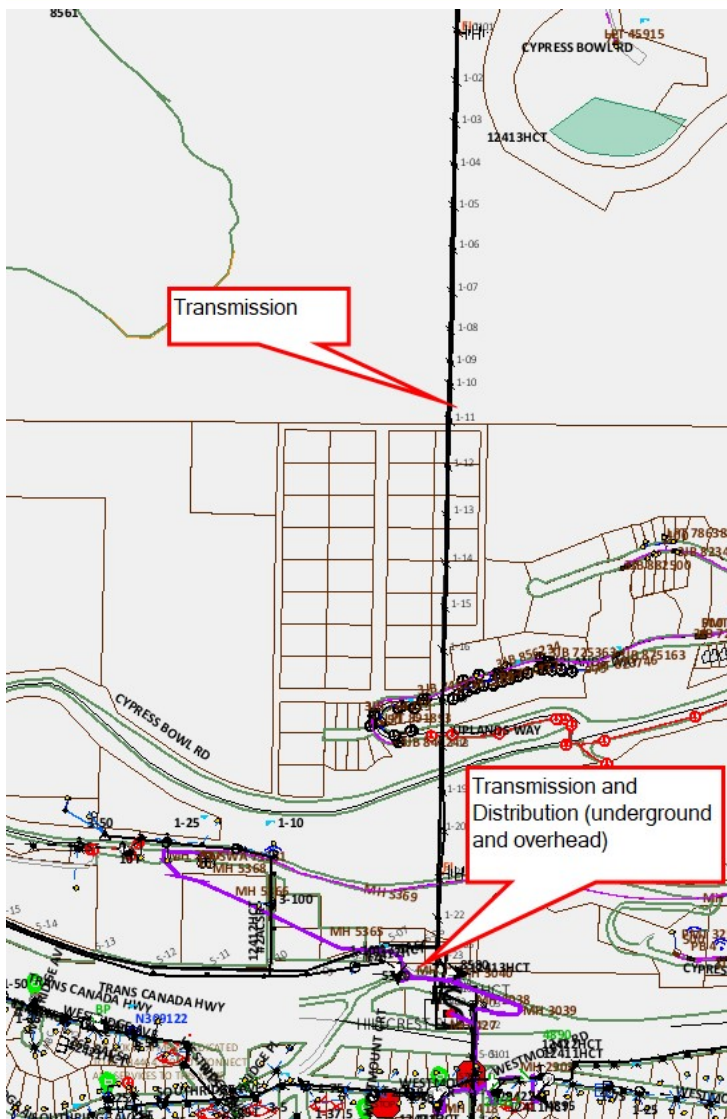
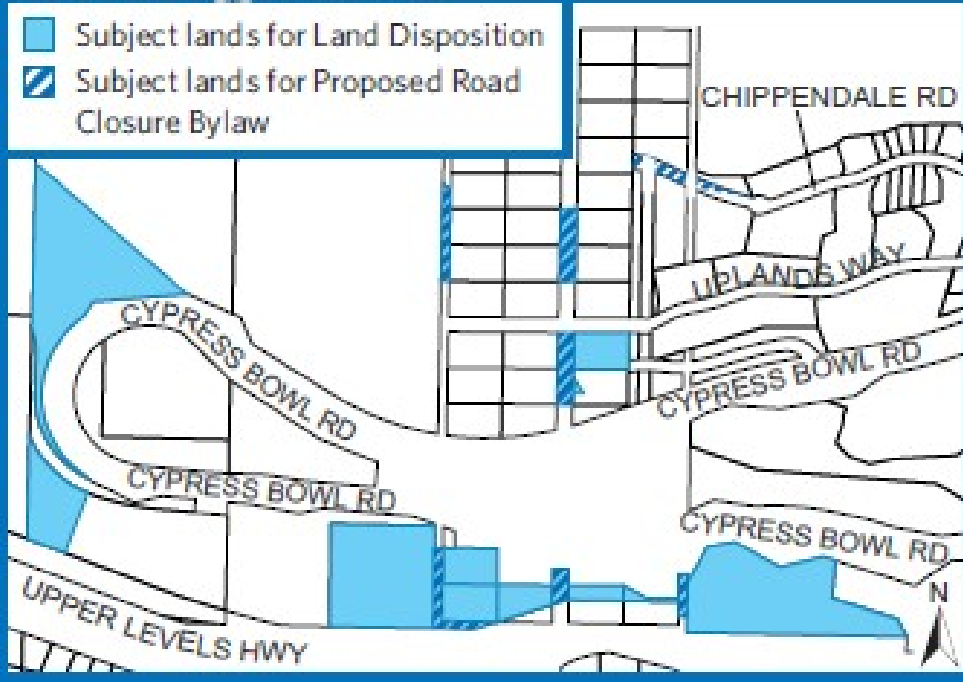
If BCH has infrastructure in the proposed closed road areas, **BCH will require a new SRW(s) PRIOR to the land(s) being transferred to BPP**

- Typically it takes 8-10 weeks to receive Distribution SRW documents (due to volume) once the request is submitted
- The proposed Road closures appear to also affect TRANSMISSION (69kV) structures

We'll need to verify using the Plans in the attached 5208 Bylaw Notice.

SUBJECT LANDS SHADED

- Subject lands for Land Disposition
- ▨ Subject lands for Proposed Road Closure Bylaw



Kim Proudlove, DULE, SR/WA | Property Representative, Property Rights Services

P 604 543 1591
M 604 323 3304
E kim.proudlove@bchydro.com

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From: James Allan <jallan@westvancouver.ca>
Sent: 2024, June 07 9:34 AM
To: Proudlove, Kim <Kim.Proudlove@bchydro.com>
Cc: Nicole Olenick [REDACTED] s. 22(1); Jim Bailey <jbailey@westvancouver.ca>
Subject: [External] Proposed road closure bylaw for Cypress Village - West Vancouver

Hi Kim,

You have previously been in contact with the District via Nicole Olenick regarding the proposed [Area Development Plan \(ADP\) for Cypress Village and Eagleridge](#). Nicole will be following up with you again about a BC Hydro parcel and a right-of-way for a proposed road shortly.

I am contacting you about proposed Road Closure and Removal of Highway Dedication Bylaw No. 5208, 2024 (see attached bylaw and notice). Council gave 1st reading to this bylaw, and others in the Cypress Village package, on June 3. This bylaw proposes to close unopened roads in the Cypress Village area where BC Hydro has infrastructure. In addition to the bylaw, certain closed roads are proposed to be disposed of to British Pacific Properties to allow construction of new roads and servicing infrastructure consistent with the ADP for Cypress Village (BPP have been working with [REDACTED] s. 22(1) at BC Hydro on the design for Cypress Village). Until then, the closed roads are to have encumbrances registered on title to secure existing utilities. For more information please see the Cypress Village Council package here: [24jun03-Agenda-Web-Final.pdf \(westvancouver.ca\)](#).

If you have any questions or would like to discuss the proposed bylaw, please contact us.

Thanks,

James Allan
Upper Lands Senior Development Planner | Planning and Development Services | District of West Vancouver
c: 604.816.4231 | westvancouver.ca



We acknowledge that we are on the traditional, ancestral and unceded territory of the Skwxwú7mesh Úxwumixw (Squamish Nation), səł'lwətaʔ (Tsleil-Waututh Nation), and xʷməθkʷəyəm (Musqueam Nation). We recognize and respect them as nations in this territory, as well as their historic connection to the lands and waters around us since time immemorial.

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NOTICE OF ROAD CLOSURE AND DISPOSITION OF LANDS

Proposed Road Closure Bylaw and Disposition of Lands for Cypress Village

WHAT: An opportunity for public input will be held for proposed Road Closure and Removal of Highway Dedication Bylaw No. 5208, 2024. The opportunity for public input will be held concurrently with the public hearing being held regarding proposed: Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5205, 2024; Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5206, 2024; and Phased Development Agreement Authorization Bylaw No. 5207, 2024.

WHEN: 6 p.m. on June 25, 2024

WHERE: Municipal Hall Council Chamber, 750 17th Street, and via Webex electronic communication facilities. Attend in-person or via Webex (visit westvancouver.ca/webex); or watch the hearing at westvancouver.ca/cc.

SUBJECT LANDS: The subject lands are shown shaded in the above image.

PURPOSE: In general terms, the purpose of the proposed bylaws is as follows:

ROAD CLOSURE AND REMOVAL OF HIGHWAY DEDICATION BYLAW NO. 5208, 2024: would close and remove the dedication of portions of District highway near Chippendale Road, Uplands Way, and Wentworth Avenue as shown shaded in the image above.

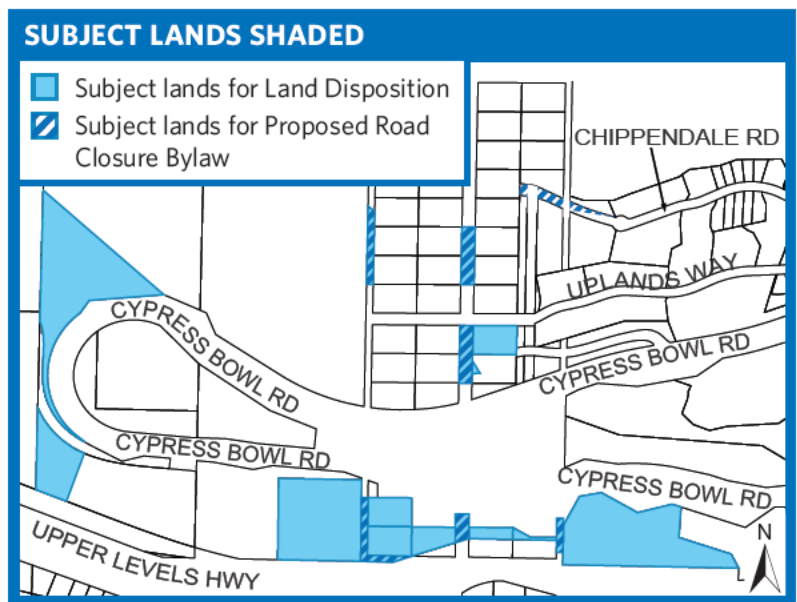
LAND DISPOSITION: In addition to the above-noted bylaw, the District proposes to dispose of its fee simple interest in certain lands within the Cypress Village area to British Pacific Properties Ltd (BPP), as shown in the image above. The lands include certain roads to be closed by Bylaw No. 5208, 2024, as well as other parcels of land, and portions of parcels of land. The disposition is proposed to allow development of the Cypress Village area as contemplated in the Area Development Plan for Cypress Village and Eagleridge (see proposed Official Community Plan Amendment Bylaw No. 5205, 2024 under separate notice) and Cypress Village Phased Development Agreement (see Phased Development Agreement Authorization Bylaw No. 5207, 2024 under separate notice), in exchange for BPP transferring ownership of the lands it owns in Eagleridge to the District for conservation and recreation purposes.

COUNCIL WELCOMES YOUR INPUT: At the public hearing all persons who consider they are affected by the proposed bylaw will be given an opportunity to be heard or present written submissions to Council. To participate in person, please attend the Municipal Hall Council Chamber at the time listed above. To participate by electronic communication facilities, please call 604-925-7004 on June 25, 2024 to be added to the speakers list. Instructions on how to participate are available at westvancouver.ca/ph.

PROVIDE YOUR SUBMISSION: via email to correspondence@westvancouver.ca; via mail to Municipal Hall, 750 17th Street, West Vancouver BC V7V 3T3; or address to Legislative Services and place in the drop box at the 17th Street entrance of Municipal Hall. Please provide written submissions by noon on June 25, 2024 to ensure their inclusion in the public information package for Council's consideration.

MORE INFORMATION: The proposed bylaw, land agreement, and other relevant documents that Council may consider in deciding whether to adopt the proposed bylaw and dispose of the subject lands may be inspected at westvancouver.ca/notices and at Municipal Hall from June 4 to 25, 2024 (8:30 a.m. to 4:30 p.m., Monday to Friday, excluding statutory holidays).

QUESTIONS? Jim Bailey, Director of Planning and Development Services | upperlands@westvancouver.ca | 604-925-7058



PLANNING & DEVELOPMENT SERVICES

750 17th Street, West Vancouver BC V7V 3T3 | 604-925-7055 | planning@westvancouver.ca | westvancouver.ca


westvancouver

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

PAGE 1 OF 2 PAGES

Your electronic signature is a representation that you are a British Columbia land surveyor and a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250. By electronically signing this document, you are also electronically signing the attached plan under section 168.3 of the act.

1. BC LAND SURVEYOR: (Name, address, phone number)

Import Profile

Dan Machon
 118-828 Harbourside Drive
 604-986-1371 x224 dan@hwmsurveys.com
 North Vancouver BC V7P-3R9

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Control Number: **165-469-9720**

Plan Number: **EPP119795**

This original plan number assignment was done under Commission #: **751**

3. CERTIFICATION:

Form 9 Explanatory Plan Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: 2022 June 07 (YYYY/Month/DD) The checklist was filed under ECR#:

The plan was completed and checked on: 2022 June 08 (YYYY/Month/DD) 261464

None Strata Form S

None Strata Form U1 Strata Form U1/U2

Arterial Highway

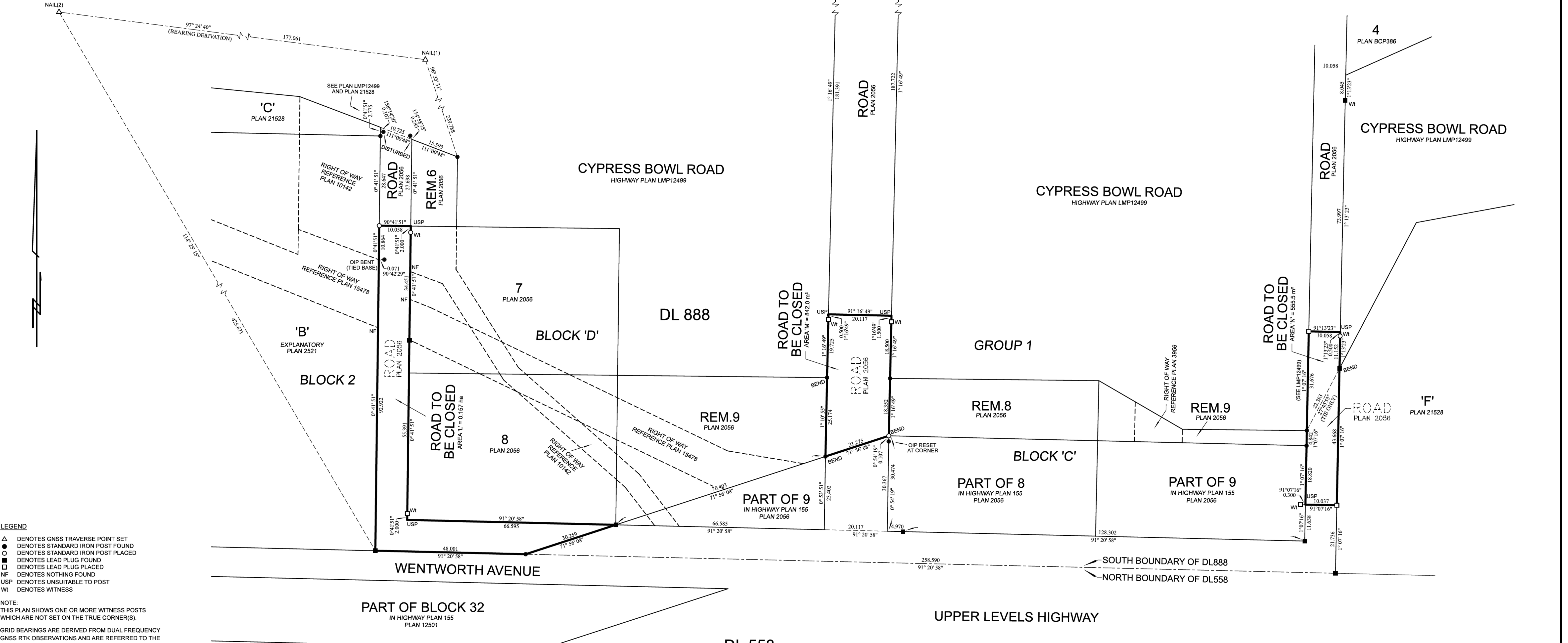
Remainder Parcel (Airspace)

4. ALTERATION:

**REFERENCE PLAN TO ACCOMPANY BYLAW NO. 5208, 2022
TO CLOSE PARTS OF ROAD DEDICATED ON PLAN 2056,
DISTRICT LOT 888, GROUP ONE,
NEW WESTMINSTER DISTRICT**

PURSUANT TO SECTION 120 OF THE LAND TITLE ACT AND
SECTION 40 OF THE COMMUNITY CHARTER
BCGS 92G035

THE INTENDED PLOT SIZE OF THIS PLAN IS
560 mm IN HEIGHT BY 864 mm IN WIDTH (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:600



- LEGEND**
- ▲ DENOTES GNSS TRAVERSE POINT SET
 - DENOTES STANDARD IRON POST FOUND
 - DENOTES STANDARD IRON POST PLACED
 - DENOTES LEAD PLUG FOUND
 - DENOTES LEAD PLUG PLACED
 - NF DENOTES NOTHING FOUND
 - USP DENOTES UNSUITABLE TO POST
 - WT DENOTES WITNESS

NOTE:
THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNER(S).

GRID BEARINGS ARE DERIVED FROM DUAL FREQUENCY GNSS RTK OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10 (123° WEST LONGITUDE).

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9995752. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON A MEAN ELLIPSOIDAL ELEVATION OF 179 METRES.

THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED FROM DUAL FREQUENCY GNSS RTK OBSERVATIONS TO VANCOUVER ACP-1 (GCM875864)

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 7TH DAY OF JUNE, 2022
DAN ROBERT MACHON, BCLS (751)

UTM COORDINATES				
DATUM: NAD83(CSRS) 4.0.0.BC.1.MVRD, UTM ZONE 10				
MARKER	NORTHING	EASTING	ABSOLUTE ACCURACY (ESTIMATED)	
NAIL (1)	5466224.89	483974.47	0.05 METRES	
NAIL (2)	5466247.72	483798.96	0.05 METRES	

BOOK OF REFERENCE	
DESCRIPTION	AREA
ROAD TO BE CLOSED AREA 'L'	0.157 ha
ROAD TO BE CLOSED AREA 'M'	842.0 m ²
ROAD TO BE CLOSED AREA 'N'	555.5 m ²
TOTAL AREA	0.297 ha

HOBBS, WINTER & MacDONALD
B.C. LAND SURVEYORS
113-828 HARBOURSIDE DRIVE,
NORTH VANCOUVER, B.C., V7P 3R9
TEL 604-986-1371 FAX 604-986-5204
EMAIL: admin@hwmsurveys.com

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

PAGE 1 OF 2 PAGES

Your electronic signature is a representation that you are a British Columbia land surveyor and a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250. By electronically signing this document, you are also electronically signing the attached plan under section 168.3 of the act.

1. BC LAND SURVEYOR: (Name, address, phone number)

Import Profile

Dan Machon
 118-828 Harbourside Drive
 604-986-1371 x224 dan@hwmsurveys.com
 North Vancouver BC V7P-3R9

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Control Number: **165-469-9720**

Plan Number: **EPP119795**

This original plan number assignment was done under Commission #: **751**

3. CERTIFICATION:

Form 9 Explanatory Plan Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: 2022 June 07 (YYYY/Month/DD) The checklist was filed under ECR#:

The plan was completed and checked on: 2022 June 08 (YYYY/Month/DD) 261464

None Strata Form S

None Strata Form U1 Strata Form U1/U2

Arterial Highway

Remainder Parcel (Airspace)

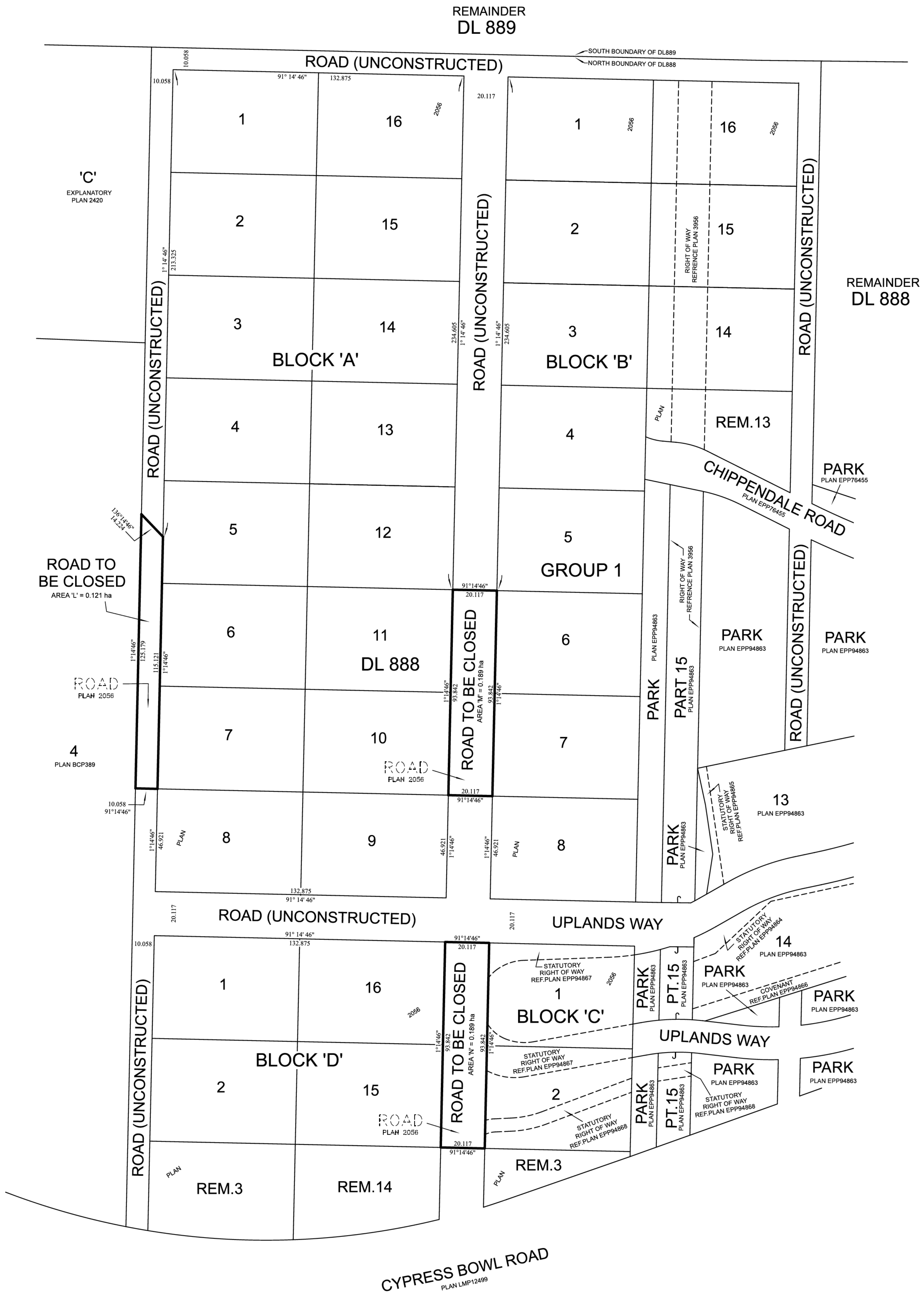
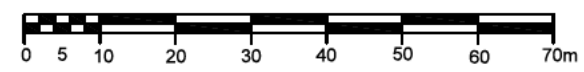
4. ALTERATION:

**EXPLANATORY PLAN TO ACCOMPANY BYLAW NO. 5208, 2022
TO CLOSE PARTS OF ROAD DEDICATED ON PLAN 2056,
DISTRICT LOT 888, GROUP ONE,
NEW WESTMINSTER DISTRICT**

PLAN EPP119794

PURSUANT TO SECTION 120 OF THE LAND TITLE ACT AND
SECTION 40 OF THE COMMUNITY CHARTER
BCGS 92G035

THE INTENDED PLOT SIZE OF THIS PLAN IS
864 mm IN HEIGHT BY 560 mm IN WIDTH (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:1000



GRID BEARINGS ARE DERIVED FROM THE EASTERLY BOUNDARY
OF LOTS 1 TO 8, BLOCK 'B', ASSUMED AS 1°14'46" (FROM PLAN EPP94863)

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES IN
METRES OR DECIMALS THEREOF UNLESS OTHERWISE NOTED

THIS PLAN LIES WITHIN THE
METRO VANCOUVER REGIONAL DISTRICT

THIS PLAN IS BASED UPON THE FOLLOWING
LAND TITLE AND SURVEY AUTHORITY OF BC RECORDS:
PLAN 2056
PLAN EPP94863

DAN ROBERT MACHON, BCLS (751)
26TH DAY OF MAY, 2022

BOOK OF REFERENCE	
DESCRIPTION	AREA
ROAD TO BE CLOSED AREA 'L'	0.121 ha
ROAD TO BE CLOSED AREA 'M'	0.189 ha
ROAD TO BE CLOSED AREA 'N'	0.189 ha
TOTAL AREA	0.499 ha

HOBBS, WINTER & MacDONALD
B.C. LAND SURVEYORS
113-828 HARBOURSIDE DRIVE,
NORTH VANCOUVER, B.C. V7P 3R9
TEL 604-986-1371 FAX 604-986-5204
EMAIL: admin@hwmsurveys.com

M3416-01-B WV



District of West Vancouver

Road Closure and Removal of Highway Dedication Bylaw No. 5208, 2024

Effective Date:

District of West Vancouver

Road Closure and Removal of Highway Dedication Bylaw No. 5208, 2024

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District of West Vancouver

Road Closure and Removal of Highway Dedication Bylaw No. 5208, 2024

A bylaw to close and remove the dedication of portions of highway near Chippendale Road, Uplands Way and Wentworth Avenue.

WHEREAS:

- A) under the *Community Charter* the Council of the Corporation of the District of West Vancouver (Council) may close a highway to traffic and remove the dedication of a highway;
- B) the Council has posted and published notices of its intention to close the portions of highway referred to in this bylaw and remove its dedication as highway, and has provided an opportunity for persons who consider they are affected to make representations to Council;
- C) the Council has made reasonable accommodations for utilities, transmission or distribution facilities or works of utility operators;
- D) the Ministry of Transportation and Infrastructure has approved this bylaw as required under section 41(3) of the *Community Charter* in connection with highways that are within 800 metres of an arterial highway;
- E) the Council has posted and published notices of its intention to dispose of the portions of highway referred to in this Bylaw; and
- F) the Council deems it expedient to provide for the closure to traffic and removal of the dedication of that portion of highway referred to in this bylaw for the purposes of disposing of said lands.

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Road Closure and Removal of Highway Dedication Bylaw No. 5208, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Road Closure and Removal of Highway Dedication

- 3.1 The portions of highway dedicated by:
- 3.1.1 Plan 2056 and identified as “Road to be Closed” on Reference Plan EPP119794 and Reference Plan EPP119795,
 - 3.1.2 Plan EPP94863 and Plan EPP76455 and identified as “Road to be Closed” on Reference Plan EPP136131,
- reduced copies of which are attached hereto as Schedule A and form part of this bylaw, are closed to all types of traffic.
- 3.2 The highway dedication of all those portions of highway to be closed by section 3.1 of this Bylaw is removed.
- 3.3 The Mayor and Clerk are authorized to execute and deliver such transfers, deeds of land, plans and other documents as are necessary or desirable to effect the aforesaid closure and removal of highway dedication.

Schedules

Schedule A – Plans of Highway Closure, Reference Plans EPP119794 and EPP119795, and Reference Plan EPP136131

READ A FIRST TIME on June 3, 2024

PUBLICATION OF NOTICE OF ROAD CLOSURE AND REMOVAL OF HIGHWAY DEDICATION on

READ A SECOND TIME on

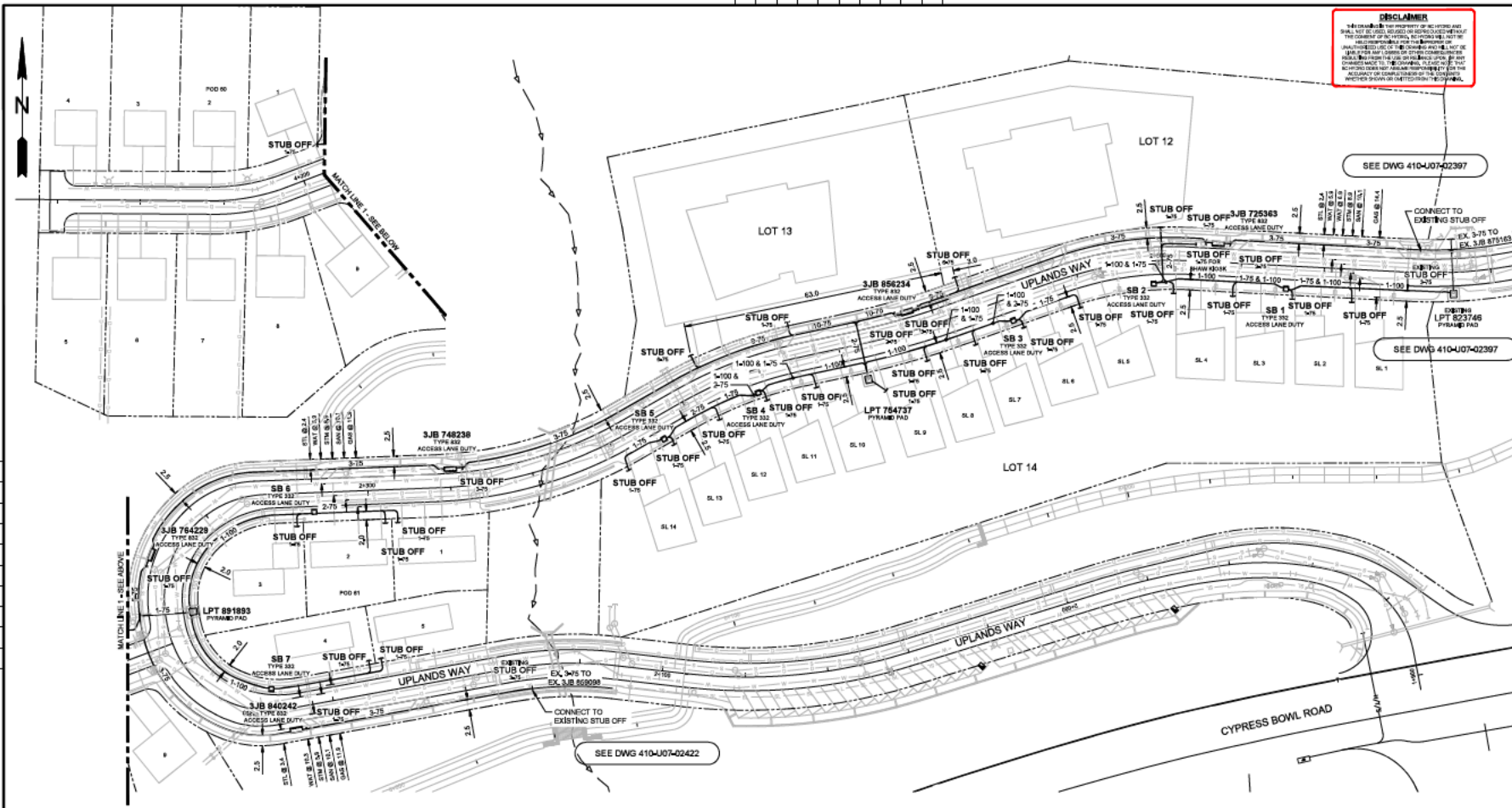
READ A THIRD TIME on

APPROVED by the Minister responsible for the Transportation Act on

ADOPTED by the Council on.

Mayor

Corporate Officer



PLAN SCALE: 1:500

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 THIS DRAWING IS THE PROPERTY OF BC HYDRO AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BC HYDRO. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BC HYDRO DOES NOT ACCEPT LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE DRAWING, WHETHER SHOWN OR OBTAINED FROM THE COMPANY.

LAT: 49.348819 LONG: 123.207550

WORK LOCATION N.T.S.

BC ONE CALL
 CALL BEFORE YOU DIG
 1-800-474-6866
 CALL AT LEAST 48 HOURS BEFORE YOU PLAN TO DIG

BC SPEC 1373 NOTES:

- BC HYDRO UNDERGROUND ONE INSPECTOR MUST BE NOTIFIED **2 WEEKS** PRIOR TO CONSTRUCTION.
- ALL WORKS TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORK (SEE SPEC 1373) AND BC HYDRO UNDERGROUND DETECTION PROCESSING STANDARDS SERIES 5503 AND 5504.
- ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO ONE CALL INSPECTOR.
- ALL CONDUIT INSTALLATIONS FOR BC HYDRO ON PUBLIC OR PRIVATE PROPERTY SHOULD HAVE A MINIMUM COVER AND ANY FACTORS SHOULD HAVE A MINIMUM COVER OF 100mm.
- ALL UTILITIES EXCEPT TELLUS MUST MAINTAIN A MINIMUM HORIZONTAL AND MINIMUM VERTICAL SEPARATION FROM BC HYDRO DUCT UNLESS INDICATED OTHERWISE BY BC HYDRO ONE CALL INSPECTOR.
- OTHER UTILITIES SHOWN ON THE ONE CALL DRAWING ARE FOR REFERENCE ONLY. PROVIDE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
- ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO PLANTS.
- METRES EXPRESSED IN DECIMALS ARE METRES.
- TRANSFORMER PAD SHALL BE A MINIMUM OF 1.0m FROM NON-CONDUCTIBLE CURB OR PROTECTIVE RAILWAY AND LOCATION OF PROTECTION POSTS TO BE DETERMINED BY THE REG. BY BC HYDRO ONE CALL INSPECTOR.
- FOR TRANSFORMER PAD COUNTERPOISE CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUCTIVE SURFACES, SEE 5504.
- OFFSET FOR BC HYDRO DUCTS IN JUNCTION TRENCH FROM PROPERTY LINE BY 1.0m UNLESS OTHERWISE NOTED.
- STUB SERVICE DUCT LOW FROM PROPERTY CORNER AND 1.0m INTO THE LOT UNLESS OTHERWISE NOTED. IF IN THE FOREGROUND OF THE RESOURCE THAT IS PERFORMING THE INSTALLATION OF THE PROPOSED DUCT WORKS TO BE BC HYDRO WITH A RECORDED DRAWING OF THE CONSTRUCTION THE RECORD DRAWING MUST BE RECEIVED AND ACCEPTED BEFORE ELECTRICAL WORK COMMENCES.

CUSTOM NOTES HERE IF REQUIRED

ENGINEERING NOTES
 UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO ENGINEERING STANDARDS AUTHORIZED BY PROFESSIONALS OR RECORD UNDER PERMIT TO PRACTICE NUMBER 100240

UNDERGROUND UTILITY CHECKS

Item	Within 1m of Location	Design MCT Call
Gas		
Water		
Sanitary Sewer		
Storm Sewer		
Electric		
Cable		
Other		
Design BC 1 Call #		2024810847
Construction BC 1 Call #		

For Mechanical Excavation within 1 metre of duct, appropriate measures must be taken to ensure the safety of adjacent owners' separate or shared utility infrastructure.

Design BC 1 Call # shall remain valid for planning purposes only. Final approval by Construction BC 1 Call must be obtained.

PLAN LEGEND

RESPONSIBILITY	NEW DUCT	CUSTOMER RESPONSIBILITY
NEW DUCT	EXISTING DUCT	
NEW COMPLETED DUCT		
	TERMINAL POLE	
	SERVICE BOX	
	LOW PROFILE TRANSFORMER (LPT/FRAMED PAD)	
	LOW PROFILE TRANSFORMER (LPT)	
	PAD MOUNT TRANSFORMER (PMT)	
	3B & 1B JUNCTION & PULL BOXES (SEE 550, 552 & 1202)	
	PREDICT MANHOLE	
	VISTA SWITCH (SUBMISSIBLE VIEW)	
	VISTA SWITCH (ON ABOVE GROUND (VISA))	

REFER TO 5503 AND 5504 (UNDERGROUND STANDARDS)

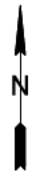
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 DRAWN: ALAMIAN, ELIAS (BC REG. PROFESSIONAL ENGINEER) PROJECT: 2023/08/01

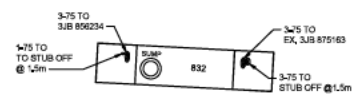
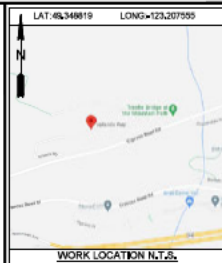
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WORK ORDER NUMBER	02304062	APPROVED	
		DESIGNER	E. ALAMIAN
		APPROVED	A. ALAMIAN
		DESIGNER	J. CORREY/MCCONNELL
		APPROVED	
BASE ACCURACY LEVEL	4+/- 1000 mm	DATE	2023AUG01
ASB ACCURACY LEVEL	4+/- 1000 mm	SHEET	410-UJ07-02451
		REPORT NUMBER	
		DATE NUMBER	
		REV	D 2

BC Hydro

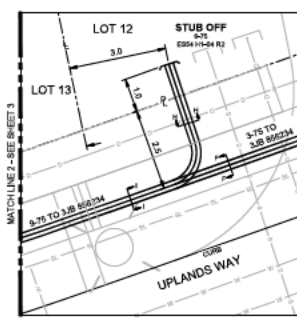
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 UNDERGROUND DUCT AND STRUCTURES FOR AREA 6 BPP - NEW SUBDIVISION
 3400 BLOCK, UPLANDS WAY, WEST VANCOUVER
 SHEET 1 OF 6



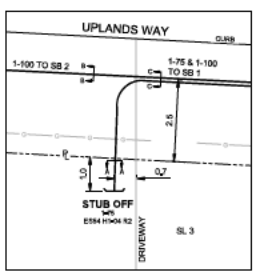
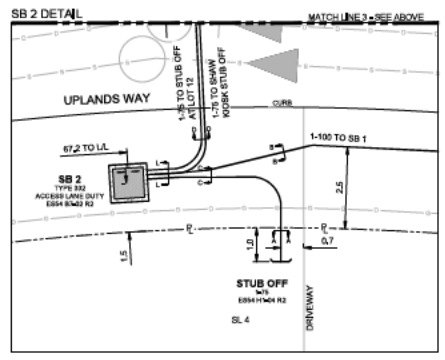
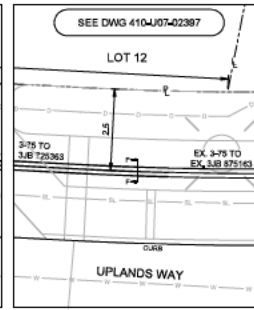
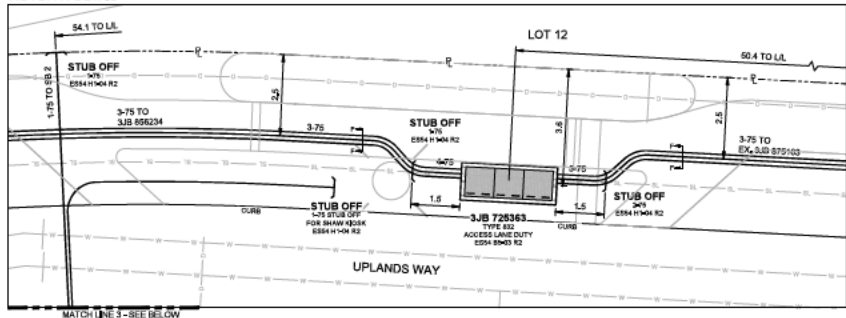
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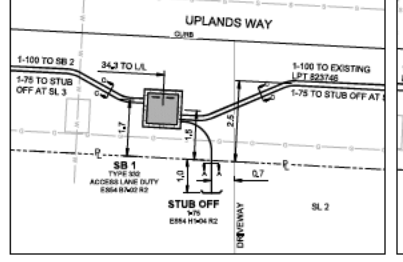
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N.T.S.



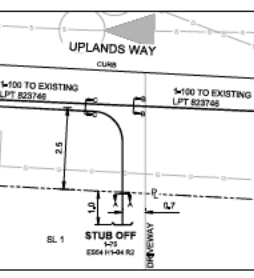
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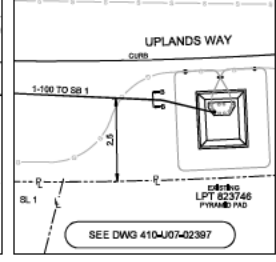
SB 1 DETAIL



DETAILS
N.T.S.



EXISTING LPT 823746 DETAIL



WORK LOCATION N.T.S.

BC ONE CALL
 CALL BEFORE YOU DIG
 1-800-477-6556
 CALL AT LEAST 4 FULL WORKING DAYS BEFORE YOU PLAN TO DIG



- BC SPEC. 1373 NOTES:**
- BC HYDRO UNDERGROUND CABLE INSPECTOR MUST BE NOTIFIED AT LEAST 14 DAYS PRIOR TO CONSTRUCTION.
 - ALL WORKS TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORK SPECIFIC TO THE WORK AND BC HYDRO UNDERGROUND CABLE INSPECTOR MUST BE PRESENT AT ALL TIMES TO SUPERVISE THE WORK AND VERIFY COMPLIANCE WITH STANDARDS SERIES ES85 AND ES84.
 - ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO CABLE INSPECTOR.
 - ALL CABLES SHALL BE INSTALLED FOR BC HYDRO ON PUBLIC OR PRIVATE PROPERTY SHOULD HAVE MINIMUM 1.5m COVER AND ANY FACTORS SHOULD HAVE A MINIMUM OF 0.5m.
 - ALL UTILITIES EXCEPT TOLLIES MUST MAINTAIN A CLEAR HORIZONTAL AND 45° VERTICAL SEPARATION FROM BC HYDRO CABLES UNLESS NOTED OTHERWISE BY BC HYDRO CABLE INSPECTOR.
 - OTHER UTILITIES SHOWN ON THE C.B. DRAWING ARE FOR REFERENCE ONLY. PROVE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
 - ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO PLANS.
 - METRES EXPRESSED IN DECIMALS, UNLESS NOTED OTHERWISE.
 - TRANSFORMER MUST BE A MINIMUM OF 1.5m BORED NON-COMBUSTIBLE CURB OR PROTECTIVE HAMMER AND LOCATION OF PROTECTION PITS TO BE DETERMINED BY THE FIELD BY BC HYDRO CABLE INSPECTOR.
 - FOR TRANSFORMER PAD COUNTERPOISE CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUCTIVE SURFACES, SEE ES84.
 - MINIMUM OFFSET FOR BC HYDRO DUCTS IN ANY TRENCH FROM PROPERTY LINE IS 1.5m UNLESS OTHERWISE NOTED.
 - STUB SERVICE DUCT LOW FROM PROPERTY CORNER AND 1.5m INTO THE LOT UNLESS OTHERWISE NOTED.
 - IF IN THE RESPONSIBILITY OF THE RESOUCE THAT IS PERFORMING THE INSTALLATION OF THE PROPOSED CABLE WORKS TO PROVIDE BC HYDRO WITH A RECORDED DRAWING OF THE CONSTRUCTION OF THE RECORD DRAWINGS MUST BE RECEIVED AND ACCEPTED BEFORE ELECTRICAL WORK SHALL COMMENCE.

CUSTOM NOTES HERE IF REQUIRED

ENGINEERING NOTES
 UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO ENGINEERING STANDARDS AUTHORIZED BY PROFESSIONALS OF RECORD UNDER PERMIT TO PRACTICE NUMBER 102449

C.B. PLAN LEGEND		BC HYDRO RESPONSIBILITY	CUSTOMER RESPONSIBILITY
NEW DUCT	NEW DUCT	NEW DUCT	NEW DUCT
RELOCATED DUCT	RELOCATED DUCT	RELOCATED DUCT	RELOCATED DUCT
REMOVED DUCT	REMOVED DUCT	REMOVED DUCT	REMOVED DUCT
TERMINAL POLE	TERMINAL POLE	TERMINAL POLE	TERMINAL POLE
LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)
PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)
3B & 1B JUNCTION & PULL BOXES (SEE ES5, ES2 & 1202)	3B & 1B JUNCTION & PULL BOXES (SEE ES5, ES2 & 1202)	3B & 1B JUNCTION & PULL BOXES (SEE ES5, ES2 & 1202)	3B & 1B JUNCTION & PULL BOXES (SEE ES5, ES2 & 1202)
PRESERT MANHOLE	PRESERT MANHOLE	PRESERT MANHOLE	PRESERT MANHOLE
VISTA SWITCH SUMMERIBLE (VSW)	VISTA SWITCH SUMMERIBLE (VSW)	VISTA SWITCH SUMMERIBLE (VSW)	VISTA SWITCH SUMMERIBLE (VSW)
VISTA SWITCH ABOVE GROUND (VSWA)	VISTA SWITCH ABOVE GROUND (VSWA)	VISTA SWITCH ABOVE GROUND (VSWA)	VISTA SWITCH ABOVE GROUND (VSWA)
UNRECORDED STANDARDS	UNRECORDED STANDARDS	UNRECORDED STANDARDS	UNRECORDED STANDARDS

ISSUED RECORD DRAWING

BC Hydro

LMN - NORTH SHORE - COASTAL NORTH VANCOUVER DISTRICT OFFICE UNDERGROUND DUCT AND STRUCTURES FOR AREA 6 BPP - NEW SUBDIVISION 3400 BLOCK, UPLANDS WAY, WEST VANCOUVER SHEET 2 OF 6

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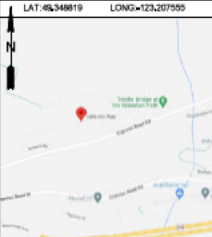
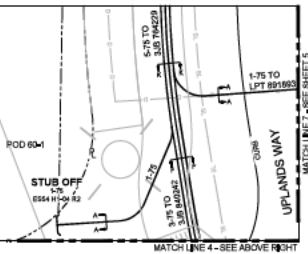
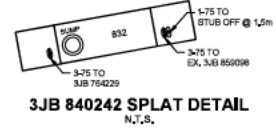
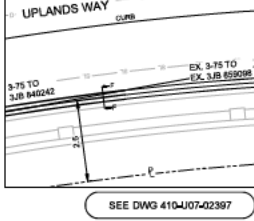
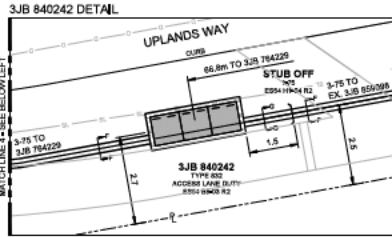
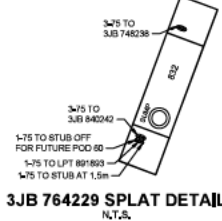
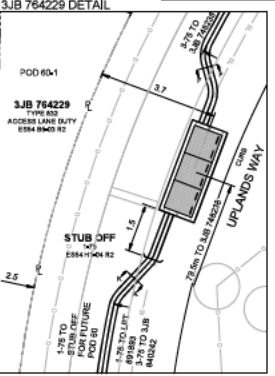
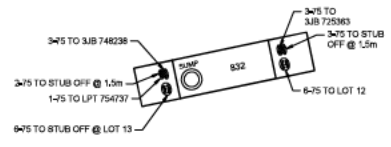
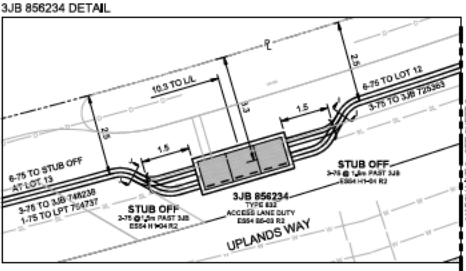
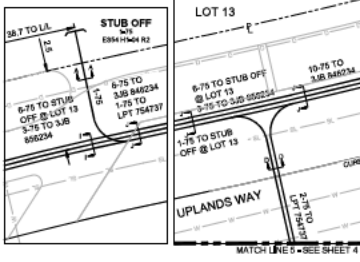
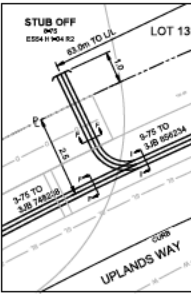
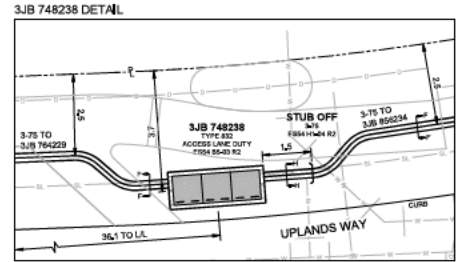
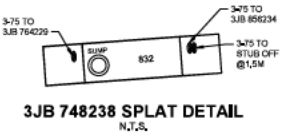
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3	410/J07-02387		UNDERGROUND DUCT AND STRUCTURES	1	DATE: 08/24/2023 - ISSUED FOR CONSTRUCTION
2	410/J07-02372		UNDERGROUND DUCT AND STRUCTURES	0	DATE: 08/24/2023 - NEW DRAWING
1	410/J07-02357		UNDERGROUND DUCT AND STRUCTURES		

DESIGN NUMBER	0004337653	DESIGN	C. CHEUNG
WORK ORDER NUMBER	02304082	ROLE	CHK
CSA S250 ACCURACY	NAD83 - 10UTM	DTM	E. ALMABAN
DTM		DTM	A. VANEMER
BASE ACCURACY LEVEL	4+ 1000 mm	APP	J. CERRONIS/MCCONNELL
REV		REV	
ASB ACCURACY LEVEL	4+ 1000 mm	APP	

DATE	2023AUG01	BY	DRAWING NUMBER	410-J07-02451	REPORT NUMBER	SHEET NUMBER	REV	2
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- WORK LOCATION N.T.S.**
- BC ONE CALL**
 CALL BEFORE YOU DIG
 1-800-474-6506
 ONLY AT LEAST A FULL WORKING DAY BEFORE YOU PLAN TO DIG
- BC SPEC 1373 NOTES:**
1. BC HYDRO UNDERGROUND CABLE INSPECTOR MUST BE NOTIFIED **2 WEEKS** PRIOR TO CONSTRUCTION.
 2. ALL WORKS TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORK **PER BC HYDRO 1373** AND BC HYDRO UNDERGROUND DETECTION PROCEDURE STANDARDS SERIES ESSD AND ESSA.
 3. ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO C&I INSPECTOR.
 4. ALL CONDUIT INSTALLATION FOR BC HYDRO ON PUBLIC OR PRIVATE PROPERTY SHOULD HAVE A **MIN. 100mm** COVER AND ANY FACTORS SHOULD HAVE A **MIN. 100mm** COVER.
 5. ALL LINES (EXCEPT TOLL) MUST MAINTAIN A **MIN. 100mm** HORIZONTAL AND **MIN. 100mm** VERTICAL SEPARATION FROM BC HYDRO C&I INSPECTOR.
 6. OTHER UTILITIES SHOWN ON THE C&I DRAWING ARE FOR REFERENCE ONLY. PROVE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
 7. ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO PLANT.
 8. METRES EXPRESSED IN DECIMALS, **ARE UNLESS OTHERWISE SPECIFIED.**
 9. TRANSFORMER MUST BE A **MIN. 100mm** OF **100mm** NON-REMOVABLE CURB OR PROTECTED, **HEAVY** AND **LOCKED** IN PROTECTION PORTS TO BE DETERMINED BY THE REG. OF BC HYDRO C&I INSPECTOR.
 10. FOR TRANSFORMER PAD COUNTERPOISE CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUCTIVE SURFACES, SEE ESSA.
 11. **MIN. 100mm** OFFSET FOR BC HYDRO DUCTS IN **ADJACENT** TRENCH FROM PROPERTY LINE IF **CON. UNLESS OTHERWISE NOTED.**
 12. **STUB SERVICE DUCT** LOW FROM PROPERTY CORNER AND **MIN. 100mm** INTO THE LOT UNLESS OTHERWISE NOTED. IT IS THE RESPONSIBILITY OF THE RESOURCE THAT IS PERFORMING THE INSTALLATION OF THE PROPOSED **C&I** WORKS TO PROVIDE A **RECORDED** DRAWING OF THE CONSTRUCTION. THE **RECORDED** DRAWING MUST BE RECEIVED AND ACCEPTED BEFORE ELECTRIC WORK WILL COMMENCE.
- CUSTOM NOTES HERE IF REQUIRED**

- ENGINEERING NOTES**
- UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO ENGINEERING STANDARDS AUTHORIZED BY PROFESSIONALS OF RECORD UNDER PERMIT TO PRACTISE NUMBER 102440

C&I PLAN LEGEND

BC HYDRO RESPONSIBILITY	NEW DUCT	CUSTOMER RESPONSIBILITY
NEW DUCT	NEW DUCT	
RELOCATED DUCT	RELOCATED DUCT	
SERVICE BOX	SERVICE BOX	
TERRAIN HILL	TERRAIN HILL	
LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	
LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	
PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)	
3B & 1B JUNCTION & PULL BOXES (SEE ESS, ESS & 1202)	3B & 1B JUNCTION & PULL BOXES (SEE ESS, ESS & 1202)	
PRESERT MANHOLE	PRESERT MANHOLE	
VISTA SWITCH (SUMMERABLE VSWA)	VISTA SWITCH (SUMMERABLE VSWA)	
VISTA SWITCH (NON-SUMMERABLE VSWA)	VISTA SWITCH (NON-SUMMERABLE VSWA)	

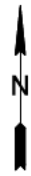
REFER TO ESSD AND ESSA UNDERGROUND STANDARDS

ISSUED RECORD DRAWING

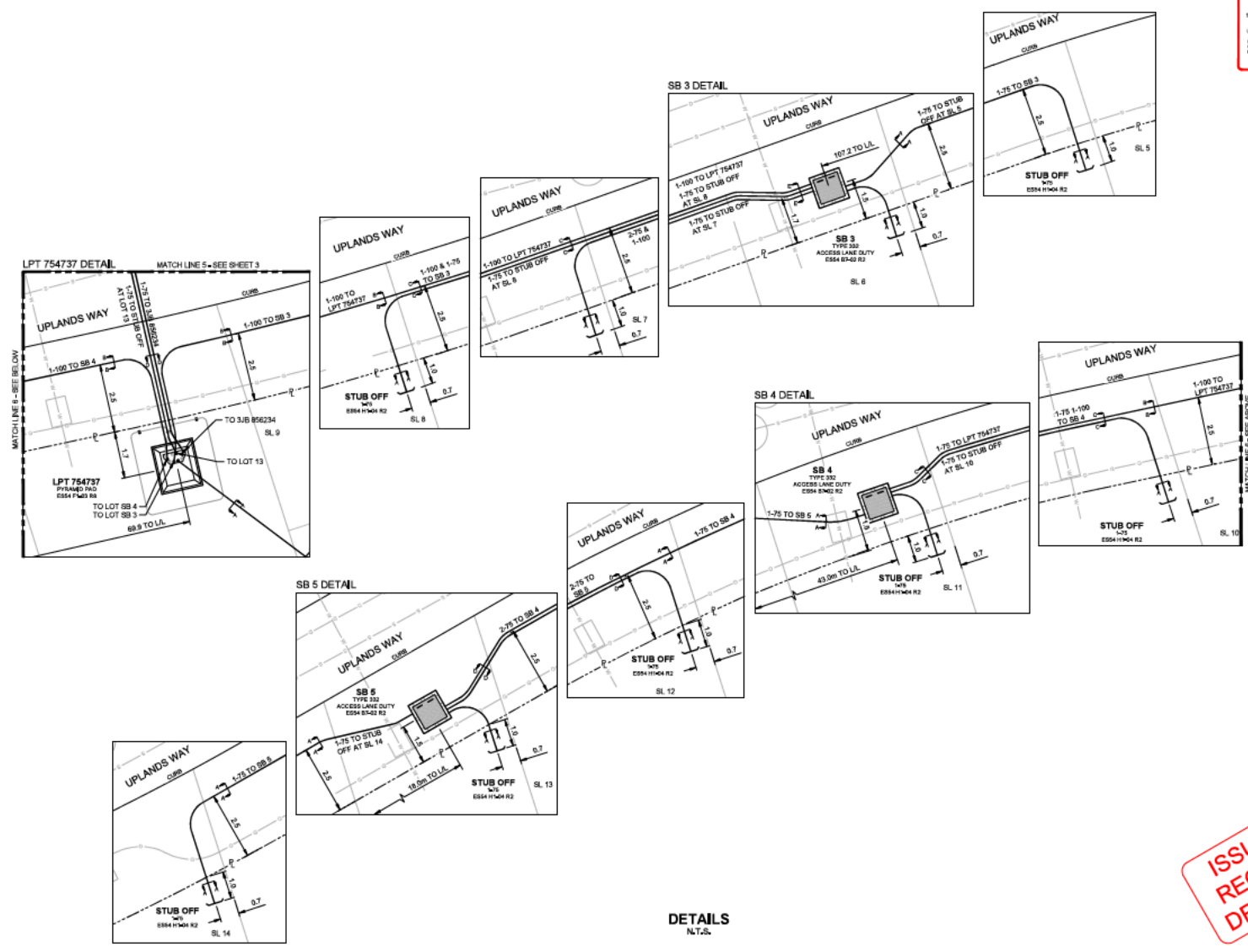
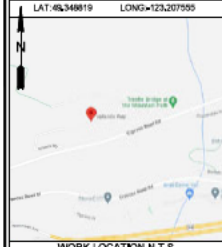
DETAILS
N.T.S.

DESIGN NUMBER: 1004337653	DESIGN: C, CHEUNG	LMN - NORTH SHORE - COASTAL NORTH VANCOUVER DISTRICT OFFICE UNDERGROUND DUCT AND STRUCTURES FOR AREA 6 BPP - NEW SUBDIVISION 3400 BLOCK, UPLANDS WAY, WEST VANCOUVER SHEET 3 OF 6
WORK ORDER NUMBER: 02304082	PROJECT: E, ALMABAN	
CSA S250 ACCURACY NAD83 - 10UTM	DISTRICT: A, VANUBER	
BASE ACCURACY LEVEL: 4+ 1000 mm	DESIGNER: J, CERRONIS/MCCONNELL	
ASB ACCURACY LEVEL: 4+ 1000 mm	DATE: 2023AUG01	
NO. DRAWING NUMBER: 410-U07-02451	REFERENCE DRAWINGS:	
NO. DRAWING NUMBER: 410-U07-02451	REFERENCE DRAWINGS:	
NO. DRAWING NUMBER: 410-U07-02451	REFERENCE DRAWINGS:	

BC HYDRO PROJECT NUMBER: 1004337653
 PROJECT NAME: NORTH SHORE - COASTAL NORTH VANCOUVER DISTRICT OFFICE UNDERGROUND DUCT AND STRUCTURES FOR AREA 6 BPP - NEW SUBDIVISION 3400 BLOCK, UPLANDS WAY, WEST VANCOUVER
 SHEET 3 OF 6
 DATE: 2023AUG01
 DRAWING NUMBER: 410-U07-02451
 REPORT NUMBER: 410-U07-02451
 SHEET NUMBER: 3 OF 6
 NOT TO BE REPRODUCED WITHOUT THE PERMISSION OF BC HYDRO



DISCLAIMER
 THIS DRAWING IS THE PROPERTY OF BC HYDRO AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BC HYDRO. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BC HYDRO ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO BC HYDRO AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



WORK LOCATION N.T.S.

BC ONE CALL
 CALL BEFORE YOU DIG
 1-800-475-6866
 CALL AT LEAST 4 FULL WORKING DAYS BEFORE YOU PLAN TO DIG

CSA SPEC. 1373 NOTES:

- BC HYDRO UNDERGROUND CABLE INSPECTOR MUST BE NOTIFIED AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- ALL WORKS TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORKY PERSONNEL (133) AND BC HYDRO UNDERGROUND ELECTRICAL INSPECTOR (133) STANDARDS SERIES E553 AND E554.
- ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO CABLE INSPECTOR.
- ALL CONDUIT INSTALLATION FOR BC HYDRO ON PUBLIC OR PRIVATE PROPERTY SHOULD HAVE A MINIMUM COVER AND ANY FACTORS SHOULD HAVE A MINIMUM COVER.
- ALL UTILITIES EXCEPT TOLLIES MUST MAINTAIN A MINIMUM HORIZONTAL AND MINIMUM VERTICAL SEPARATION FROM BC HYDRO DUCT UNLESS INDICATED OTHERWISE BY BC HYDRO CABLE INSPECTOR.
- OTHER UTILITIES SHOWN ON THE C.B. DRAWING ARE FOR REFERENCE ONLY. PROVE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
- ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO DUCT.
- METRES EXPRESSED IN DECIMALS, MILLIMETRES IN WHOLE NUMBERS.
- TRANSFORMER MUST BE A MINIMUM OF 1.0M FROM NON-MANUFACTURABLE CURB OR PROTECTED, PAVER AND LOCATION OF PROTECTION PORTS TO BE DETERMINED BY THE REG. BY BC HYDRO CABLE INSPECTOR.
- FOR TRANSFORMER PAD COUNTERSINK CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUCTIVE SURFACES, SEE E554.
- MINIMUM OFFSET FOR BC HYDRO DUCTS IN ADJACENT TRENCH FROM PROPERTY LINE IS 1.0M UNLESS OTHERWISE NOTED.
- DUCT SERVICE DUCT LOW FROM PROPERTY CORNER AND 1.0M INTO THE LOT UNLESS OTHERWISE NOTED. IF IN THE FOREWALL OF THE HOUSE THAT IS BEING PERFORMED THE INSTALLATION OF THE PROPOSED DUCT WORKS TO PROVIDE A MINIMUM 1.0M CLEARANCE DRAINAGE OF THE CONSTRUCTION THE RECORD DRAWINGS MUST BE RECEIVED AND ACCEPTED BEFORE ELECTRICAL WORK WILL COMMENCE.

CUSTOM NOTES HERE IF REQUIRED

ENGINEERING NOTES
 UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO ENGINEERING STANDARDS AUTHENTICATED BY PROFESSIONALS OF RECORD UNDER PERMIT TO PRACTICE NUMBER 100240

PLAN LEGEND

BC HYDRO RESPONSIBILITY	NEW DUCT	CUSTOMER RESPONSIBILITY
NEW DUCT	NEW DUCT	
NEW COMPLETED DUCT	NEW COMPLETED DUCT	
SERVICE BOX	SERVICE BOX	
TERRAIN POLE	TERRAIN POLE	
LOW PROFILE TRANSFORMER (LPT) FRAME (PAD)	LOW PROFILE TRANSFORMER (LPT) FRAME (PAD)	
LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	
PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)	
3# & 1# JUNCTION & PULL BOXES (SEE E55, E52 & 1202)	3# & 1# JUNCTION & PULL BOXES (SEE E55, E52 & 1202)	
PRESERT MANHOLE	PRESERT MANHOLE	
VISTA SWITCH (SUMMABLE (VSW))	VISTA SWITCH (SUMMABLE (VSW))	
VISTA SWITCH (NON-SUMMABLE (VNS))	VISTA SWITCH (NON-SUMMABLE (VNS))	

REFER TO E553 AND E554 UNDERGROUND STANDARDS

ISSUED RECORD DRAWING

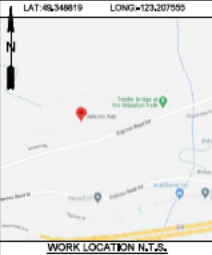
DETAILS N.T.S.

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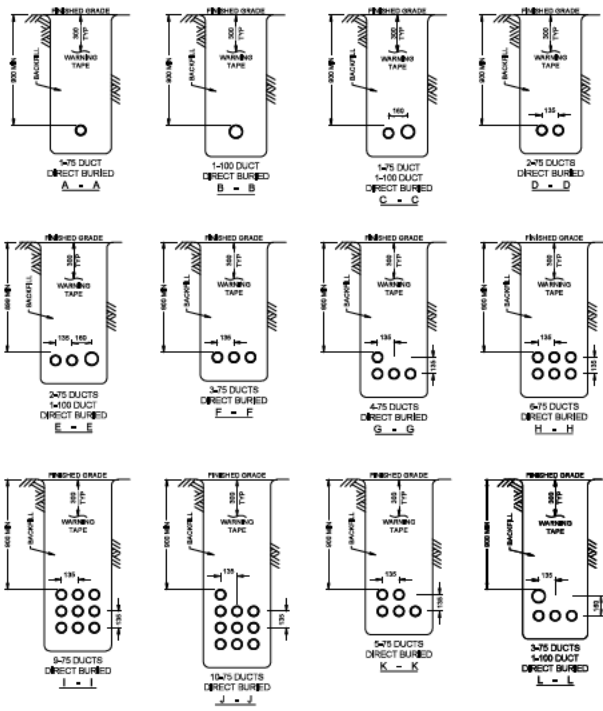
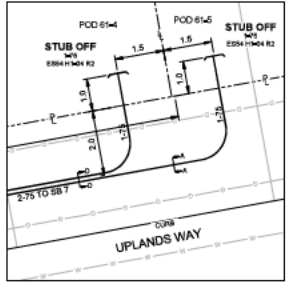
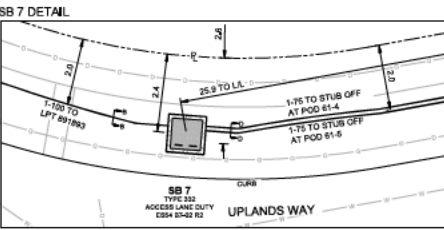
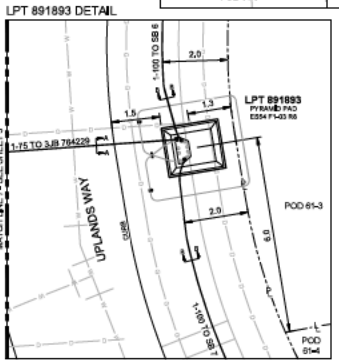
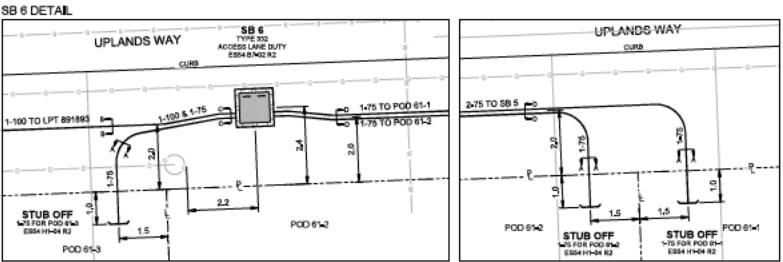
DESIGN NUMBER: 0004337653	DESIGN: C. CHEUNG	DATE: 2023AUG01
WORK ORDER NUMBER: 02304062	PROJECT: ELALMASAN	SHEET: 4 OF 8
CSA S250 ACCURACY LEVEL: NAD83 - 10UTM	DRAWN BY: A. W. W. W.	REPORT NUMBER: 410-U07-Q245-1
BASE ACCURACY LEVEL: 4+/- 1000 mm	CHECKED BY: J. MCCONNELL	DATE: 2023AUG01
ASB ACCURACY LEVEL: 4+/- 1000 mm	REV: 1	SCALE: D 2
NO. 1	DESCRIPTION: 0004337653 - NEW DRAWING	
NO. 2	DESCRIPTION: 0004337653 - ISSUED FOR RECORD	
NO. 3	DESCRIPTION: 0004337653 - ISSUED FOR CONSTRUCTION	
NO. 4	DESCRIPTION: 0004337653 - NEW DRAWING	
NO. 5	DESCRIPTION: 0004337653 - NEW DRAWING	

BC Hydro
 LMN - NORTH SHORE - COASTAL
 NORTH VANCOUVER DISTRICT OFFICE
 UNDERGROUND DUCT AND STRUCTURES FOR
 AREA 6 BPP - NEW SUBDIVISION
 3400 BLOCK, UPLANDS WAY, WEST VANCOUVER
 SHEET 4 OF 8

DISCLAIMER
 THIS DRAWING IS THE PROPERTY OF BC HYDRO AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BC HYDRO. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BC HYDRO ACCEPTS NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS, BUSINESS, OR REPUTATION, OR FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES, INCLUDING BUT NOT LIMITED TO, LOSS OF PROFITS, BUSINESS, OR REPUTATION, OR FOR ANY SPECIAL DAMAGES, EVEN IF ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. THE USER SHALL INDEMNIFY AND HOLD BC HYDRO HARMLESS FROM AND AGAINST ALL SUCH DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS, IN CONNECTION WITH THIS DRAWING.



WORK LOCATION N.T.S.



TRENCH DETAILS N.T.S.

BC ONE CALL
 CALL BEFORE YOU DIG
 1-800-477-6500
 CALL AT LEAST 3 FULL WORKING DAYS BEFORE YOU PLAN TO DIG



- SPEC. 1373 NOTES:**
- BC HYDRO UNDERGROUND CABLE INSPECTOR MUST BE NOTIFIED **AT LEAST 3 FULL WORKING DAYS BEFORE YOU PLAN TO DIG**
 - ALL WORKS TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORK SPECIFIC TO THE CLASS OF UNDERGROUND UTILITY WORK TO BE PERFORMED. STANDARDS SERIES ESS3 AND ESS4.
 - ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO CABLE INSPECTOR.
 - ALL CONDUIT INSTALLATIONS FOR BC HYDRO ON PUBLIC OR PRIVATE PROPERTY SHOULD HAVE A MINIMUM COVER AND ANY FACTORS SHOULD HAVE A MINIMUM COVER OF 150mm.
 - ALL UTILITIES EXCEPT TRENCHES MUST MAINTAIN A MINIMUM HORIZONTAL AND VERTICAL SEPARATION FROM BC HYDRO CABLE UNLESS INDICATED OTHERWISE BY BC HYDRO CABLE INSPECTOR.
 - OTHER THAN BC HYDRO ON THE GROUND, PROVIDING ARE FOR REFERENCE ONLY. PROVIDE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
 - ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO PLANT.
 - METRES EXPRESSED IN DECIMALS, NOT FRACTIONS, UNLESS OTHERWISE NOTED.
 - TRANSFORMER MUST BE A MINIMUM OF 150mm BORED NON-COMBUSTIBLE CURB OR PROTECTIVE HAMMER AND LOCATION OF PROTECTION PORTS TO BE DETERMINED BY THE REG. BY BC HYDRO CABLE INSPECTOR.
 - FOR TRANSFORMER PAD COUNTERPOISE CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUCTIVE SURFACES, SEE ESS4.
 - OFFSET FOR BC HYDRO DUCTS IN ADJACENT TRENCH FROM PROPERTY LINE IS 150mm, UNLESS OTHERWISE NOTED.
 - STUB SERVICE DUCT LOW FROM PROPERTY CORNER AND 150mm INTO THE LOT UNLESS OTHERWISE NOTED. IF IN THE FOREGROUND, THE DEPTH OF THE PROPOSED DUCT WORKS TO BE INSTALLED BY THE RECORD DRAWING OF THE CONSTRUCTION OF THE RECORD DRAWINGS MUST BE RECHECKED AND ACCEPTED BEFORE ELECTRICAL WORK COMMENCES.

CUSTOM NOTES HERE IF REQUIRED

ENGINEERING NOTES

UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO ENGINEERING STANDARDS AUTHORIZED BY PROFESSIONALS OF RECORD UNDER PERMIT TO PRACTICE NUMBER 102440

PLAN LEGEND

BC HYDRO RESPONSIBILITY	NEW DUCT	EXISTING DUCT	CUSTOMER RESPONSIBILITY
NEW DUCT	NEW DUCT	EXISTING DUCT	
COMPLETED DUCT	COMPLETED DUCT	COMPLETED DUCT	
SERVICE BOX	SERVICE BOX	SERVICE BOX	
TRENCH POLE	TRENCH POLE	TRENCH POLE	
LOW PROFILE TRANSFORMER (PT-TRAMP) PAD	LOW PROFILE TRANSFORMER (PT-TRAMP) PAD	LOW PROFILE TRANSFORMER (PT-TRAMP) PAD	
LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	LOW PROFILE TRANSFORMER (LPT)	
PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)	PAD MOUNT TRANSFORMER (PMT)	
38 & 18 AMP JUNCTION & PULL BOXES (SEL 952, 952 & 1202)	38 & 18 AMP JUNCTION & PULL BOXES (SEL 952, 952 & 1202)	38 & 18 AMP JUNCTION & PULL BOXES (SEL 952, 952 & 1202)	
PRECINCT MANHOLE	PRECINCT MANHOLE	PRECINCT MANHOLE	
VISTA SWITCH SUMMERABLE (VSWA)	VISTA SWITCH SUMMERABLE (VSWA)	VISTA SWITCH SUMMERABLE (VSWA)	
VISTA SWITCH ABOVE GROUND (VSWA)	VISTA SWITCH ABOVE GROUND (VSWA)	VISTA SWITCH ABOVE GROUND (VSWA)	

REFER TO ESS3 AND ESS4 UNDERGROUND STANDARDS

ISSUED RECORD DRAWING

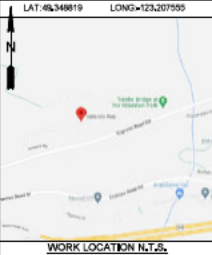
DETAILS N.T.S.

DESIGN: SB 6100430422
 DRAWN: SB 6100430422
 CHECKED: SB 6100430422
 APPROVED: SB 6100430422
 DATE: 2023/08/01

DESIGN NUMBER	0004337653	DESIGN	C. CHEUNG
WORK ORDER NUMBER	02304082	POSS. CHK.	
	CSA S250 ACCURACY NAD83-10UTM	DTG	E. ALMABAN
		DTG	A. W. AMBER
		REV	J. CERRON-SMCCONELL
		REV	
		ACF	
DATE	2023AUG01	SHEET	DRAWING NUMBER
			410-U07-02451
			REPORT NUMBER
			410-U07-02451
			DATE
			2023AUG01

BC Hydro
 LMN - NORTH SHORE - COASTAL
 NORTH VANCOUVER DISTRICT OFFICE
 UNDERGROUND DUCT AND STRUCTURES FOR
 AREA 6 BPP - NEW SUBDIVISION
 3400 BLOCK, UPLANDS WAY, WEST VANCOUVER
 SHEET 5 OF 6

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 THIS DRAWING IS THE PROPERTY OF BC HYDRO AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF BC HYDRO. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON. BC HYDRO ACCEPTS NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES.



WORK LOCATION N.T.S.

- BC ONE CALL**
 CALL BEFORE YOU DIG
 1-800-468-8888
 CALL AT LEAST 48 HOURS BEFORE YOU PLAN TO DIG
- BC SPEC. 1323 NOTES:**
1. BC HYDRO UNDERGROUND CABLE INSPECTOR MUST BE NOTIFIED **24 HOURS** PRIOR TO CONSTRUCTION.
 2. ALL WORK TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORK **TYPE 332** AND BC HYDRO UNDERGROUND **TYPE 332** PERSONNEL FOLLOWING STANDARDS SERIES ESS3 AND ESS4.
 3. ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO **C&E** INSPECTOR.
 4. ALL **TYPE 332** INSTALLATION FOR BEHYDRO ON PUBLIC OR PRIVATE PROPERTY SHOULD HAVE **MIN. 300mm** COVER AND ANY FACTORS SHOULD HAVE A **MIN. 300mm** OF COVER.
 5. ALL UTILITIES (EXCEPT TOLLIES) MUST MAINTAIN A **MIN. 100mm** HORIZONTAL AND **MIN. 100mm** VERTICAL SEPARATION FROM BC HYDRO **C&E** INSPECTOR.
 6. OTHER **TYPE 332** WORK ON THE **C&E** DRAWING ARE FOR REFERENCE ONLY. PROVIDE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
 7. ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO PLANT.
 8. METRES EXPRESSED IN DECIMALS **SHALL** BE REFRESHED UNLESS SPECIFIED.
 9. TRANSFORMER MUST BE A **MIN. OF 10mm** BOND NON-MANUFACTURABLE CABLE OR PROTECTIVE HAMMER AND LOCATION OF PROTECTION PORTS TO BE DETERMINED BY THE **REQ. OF BC HYDRO C&E** INSPECTOR.
 10. FOR TRANSFORMER PAD COUNTERPOISE CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUCTIVE SURFACES, SEE ESS4.
 11. **MIN. OFFSET** FOR BC HYDRO DUCTS IN **ADJACENT** TRENCH FROM PROPERTY LINE IS **10mm**, UNLESS OTHERWISE NOTED.
 12. **STUB SERVICE** DUCT LOW FROM PROPERTY CORNER AND **LOW** INTO THE LOT UNLESS OTHERWISE NOTED.
 13. IF IN THE FOREWALLS OF THE RESOURCE THAT IS PERFORMING THE INSTALLATION OF THE PROPOSED **C&E** WORKS TO BE INSTALLED WITH A RECORD DRAWING OF THE CONSTRUCTION THE RECORD DRAWING MUST BE RECEIVED AND ACCEPTED BEFORE ELECTRICAL WORK **SHALL** COMMENCE.

CUSTOM NOTES HERE IF REQUIRED

ENGINEERING NOTES

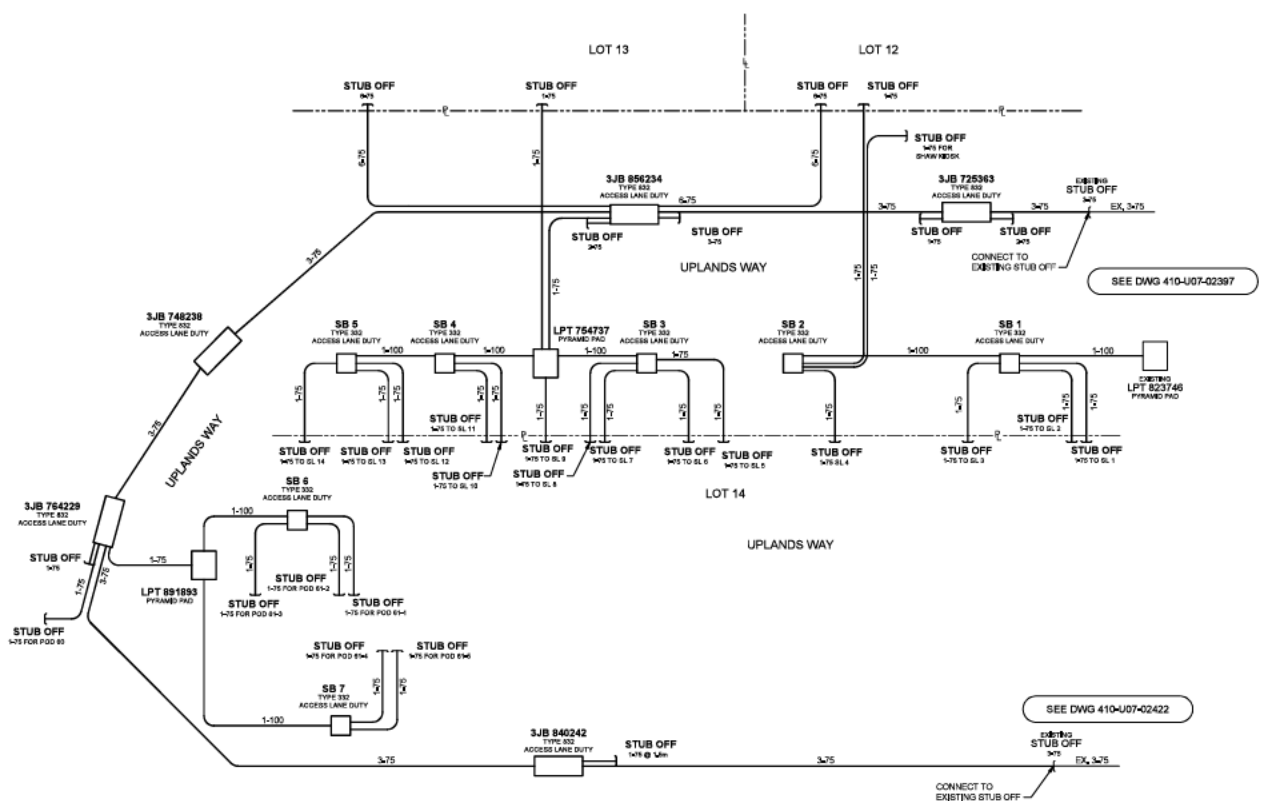
UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO **ENGINEERING STANDARDS** AUTHORIZED BY PROFESSIONALS OF RECORD UNDER PERMIT TO PRACTICE NUMBER 102440

C&E PLAN LEGEND

RESPONSE BY	NEW DUCT	CUSTOMER RESPONSIBILITY
□	NEW DUCT	□
□	RE-LOCATED DUCT	□
□	SERVICE BOX	□
□	TERRAIN POLE	□
□	LOW PROFILE TRANSFORMER (LPT) TRANSFORMER	□
□	LOW PROFILE TRANSFORMER (LPT)	□
□	PAD MOUNT TRANSFORMER (PMT)	□
□	3B & 1B JUNCTION & PULL BOXES (SEE ESS 402 & 1202)	□
□	PRECAST MANHOLE	□
□	VISTA SWITCH-SUMMERABLE (VSW)	□
□	VISTA SWITCH ON ABOVE GROUND (VSWA)	□

REFER TO ESS3 AND ESS4 UNDERGROUND STANDARDS

ISSUED RECORD DRAWING

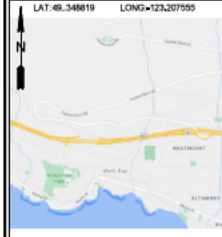


CIVIL ONE-LINE DIAGRAM N.T.S.

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DESIGN NUMBER	0004337653	DSGN	C, CHEUNG
WORK ORDER NUMBER	02304082	POSS	CHK
		DTG	E, ALMABAN
		DTG	CHK
		APP	A, WAMBER
		REV	J, CERRONIS/MCCONELL
		APP	
		CHK	
DATE	2023AUG01	SHEET	DRWING NUMBER
			410-UJ07-02451
			REPORT NUMBER
			410-UJ07-02451
			DATE
			2023AUG01
			REV
			D 2

NOT TO BE REPRODUCED WITHOUT THE PERMISSION OF BC HYDRO



DISCLAIMER
 BC HYDRO IS THE PROVIDER OF SCHEMATIC AND SHALL NOT BE HELD LIABLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION OR OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF BC HYDRO. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING.

UNDERGROUND UTILITY CHECKS

Gas	
Water	
Sanitary Sewer	
Storm Sewer	
Telephone	
Cable	
Fire Alarm	
Other	

Design BC 1 Call # 20244810847
 Construction BC 1 Call #

WORK LOCATION N.T.S.

BC ONE CALL
 CALL BEFORE YOU DIG
 1-800-467-4566
 CALL AT LEAST 48 HOURS BEFORE YOU PLAN TO DIG



- SPEC. 1373 NOTES:**
- BC HYDRO UNDERGROUND ONE CALL INSPECTOR MUST BE NOTIFIED **2 WEEKS** PRIOR TO CONSTRUCTION.
 - ALL WORKS TO BE PERFORMED BY ACCREDITED WITH CLASS OF WORK **CLASSIFICATION 133** AND BC HYDRO UNDERGROUND DETECTION PROCEEDING STANDARDS SERIES ESS3 AND ESS4.
 - ANY CHANGES NEED TO HAVE PRIOR APPROVAL OF BC HYDRO ONE CALL INSPECTOR.
 - ALL UTILITIES EXCEPT TRENCH MUST MAINTAIN A CLEAR HORIZONTAL AND VERTICAL SEPARATION FROM BC HYDRO DUCT UNLESS SPECIFIED OTHERWISE BY BC HYDRO ONE CALL INSPECTOR.
 - OTHER THAN SHOWN ON THE DUCT CONDUIT AND FOR REFERENCE ONLY, PROVIDE LOCATION OF ALL UTILITIES IN THE WORK AREA BEFORE CONSTRUCTION. FOR CURRENT INFORMATION CONTACT BC ONE CALL.
 - ALL OFFSETS INDICATE CENTERLINE OF BC HYDRO DUCT.
 - METRES EXPRESSED IN DECIMALS, **NE** UNLESS OTHERWISE SPECIFIED.
 - TRANSFORMER MUST BE A MINIMUM OF 1.0M HORIZONTAL AND 0.75M VERTICAL FROM PROTECTED TRENCH, HAMMER AND LOCATION OF PROTECTION POINTS TO BE DETERMINED BY THE FIELD BY BC HYDRO ONE CALL INSPECTOR.
 - FOR TRANSFORMER PAD COUNTERPOISE CLEARANCES TO OTHER UTILITIES AND UNDERGROUND CONDUIT SURFACES, SEE ESS4.
 - DUCT SERVICE DUCT LOW FROM PROPERTY CORNER AND **LOW** INTO THE LOT UNLESS OTHERWISE NOTED. IF IN THE FOREGROUND OF THE PROPOSED WORK, THE WORKER SHALL BE RESPONSIBLE FOR PERFORMING THE INSTALLATION OF THE RECORD DRAWING OF THE CONSTRUCTION OF THE RECORD DRAWING MUST BE RECEIVED AND ACCEPTED BEFORE ELECTRICAL WORK SHALL COMMENCE.

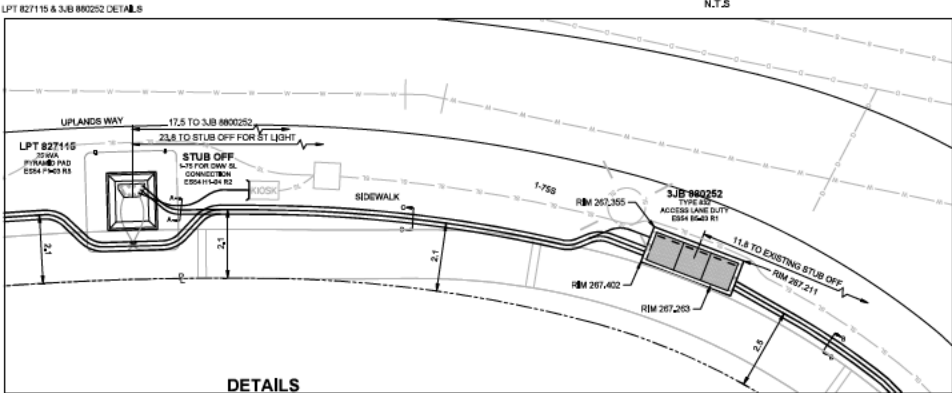
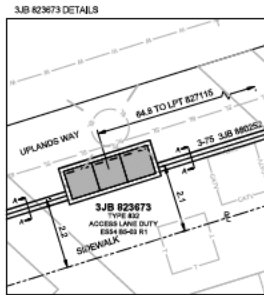
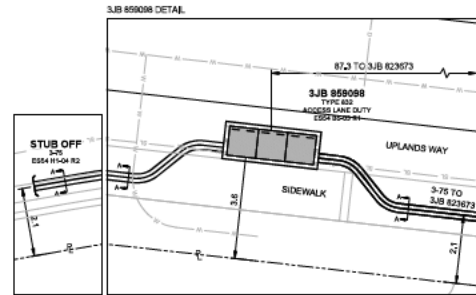
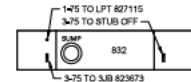
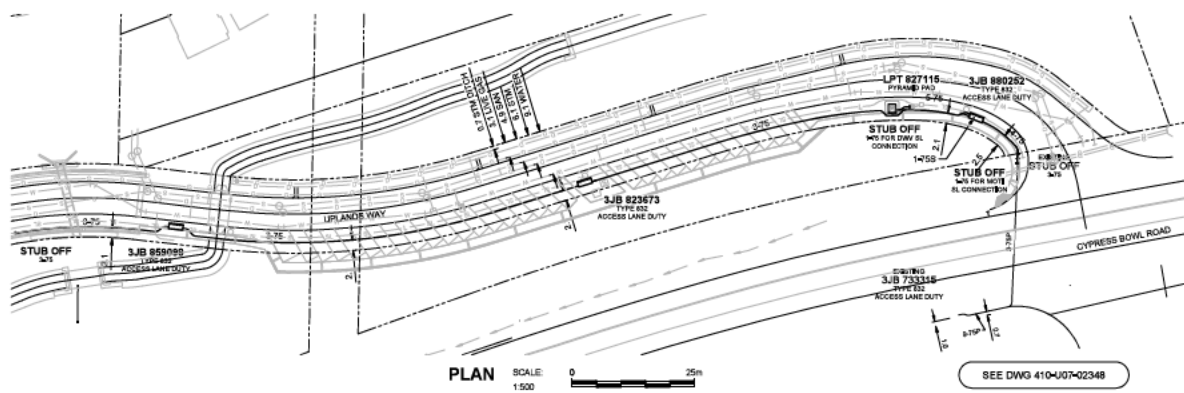
CUSTOM NOTES HERE IF REQUIRED

ENGINEERING NOTES
 UNLESS NOTED OTHERWISE, ENGINEERING CONTENT ON THIS DRAWING HAS BEEN PRODUCED FOLLOWING A DOCUMENTED BC HYDRO QUALITY MANAGEMENT PROCESS USING BC HYDRO ENGINEERING STANDARDS AUTHORIZED BY PROFESSIONALS OR RECORDS UNDER PERMIT TO PRACTISE NUMBER 102440

BC PLAN LEGEND

BC HYDRO RESPONSIBILITY	CUSTOMER RESPONSIBILITY
NEW DUCT	EXISTING DUCT
RECORD COMPLETED DUCT	RECORD COMPLETED DUCT
SERVICE BOX	TERRAIN FILL
LOW PROFILE TRANSFORMER (LPT/FRAME PAD)	LOW PROFILE TRANSFORMER (LPT)
PAD MOUNT TRANSFORMER (PMT)	38 & 18 ANCHOR & PULL BOXES (SEE ESS 4 & 1202)
PRECAST MANHOLE	VISTA SWITCH-SUMMERISABLE (VSW)
VISTA SWITCH-SUMMERISABLE (VSW)	VISTA SWITCH (ON ABOVE GROUND (VSW))

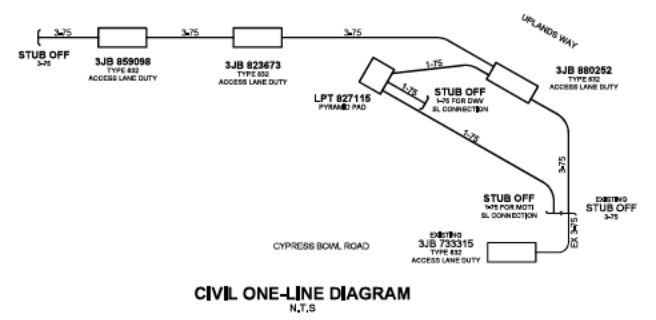
REFER TO ESS3 AND ESS4 UNDERGROUND STANDARDS



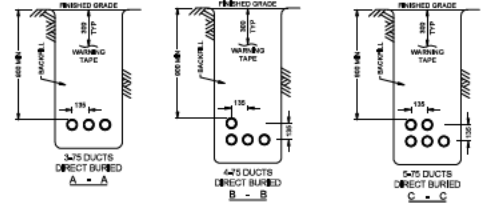
3JB 859098 SPLAT DETAIL
N.T.S.

3JB 823673 SPLAT DETAIL
N.T.S.

DETAILS
N.T.S.



CIVIL ONE-LINE DIAGRAM
N.T.S.



TRENCH DETAILS
N.T.S.

ISSUED RECORD DRAWING

SEE DWG 410-U07-02348

DESIGN: 004337655 - ISSUED RECORD DRAWING - WEST VANCOUVER DISTRICT OFFICE
 WORK ORDER NUMBER: 02174202
 DATE: 2024 FEB 02
 DRAWING NUMBER: 410-U07-02422
 SHEET NUMBER: 1 OF 1

DESIGN NUMBER	004337655	DATE	C. CHEUNG
WORK ORDER NUMBER	02174202	DATE	L. WHITE
	CSA S250 ACCURACY NAD83 - 10UTM	DATE	R. MATTHEW
	BASE ACCURACY LEVEL	DATE	D. CHAI
	4+/- 1000 mm	DATE	J. CORNIGAN-COONELL
	ASB ACCURACY LEVEL	DATE	
	4+/- 1000 mm	DATE	

BC HYDRO LMN-NORTH SHORE-COASTAL NORTH VANCOUVER DISTRICT OFFICE UNDERGROUND DUCT AND STRUCTURES FOR NEW SUBMERSION (PHASE 1) 3500 BLK UPLANDS WAY, WEST VANCOUVER SHEET 1 OF 1			
DATE	2024 FEB 02	DRAWING NUMBER	410-U07-02422
REPORT NUMBER		SHEET NUMBER	1 OF 1
REV		REV	
D		D	

NOT TO BE REPRODUCED WITHOUT THE PERMISSION OF BC HYDRO

**SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA**

PAGE 1 OF 2 PAGES

Your electronic signature is a representation that you are a British Columbia land surveyor and a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250. By electronically signing this document, you are also electronically signing the attached plan under section 168.3 of the act.

s. 22(1)

1. BC LAND SURVEYOR: (Name, address, phone number)

Dan Machon
118-828 Harbourside Drive
604-986-1371 x224 dan@hwmsurveys.com
North Vancouver BC V7P-3R9

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Control Number: **169-117-5270**Plan Number: **EPP119794**This original plan number assignment was done under Commission #: **751**

3. CERTIFICATION:

 Form 9 Explanatory Plan Form 9A

I am a British Columbia land surveyor and certify that

this plan was completed and checked on: **2022 May 22** (YYYY/Month/DD)

that the checklist was filed under ECR#: **261119**

and that the plan is correct in accordance with Land Title Office records.

 None Strata Form S None Strata Form U1 Strata Form U1/U2

Arterial Highway

Remainder Parcel (Airspace)

4. ALTERATION:

**EXPLANATORY PLAN TO ACCOMPANY BYLAW NO. 5208, 2022
TO CLOSE PARTS OF ROAD DEDICATED ON PLAN 2056,
DISTRICT LOT 888, GROUP ONE,
NEW WESTMINSTER DISTRICT**

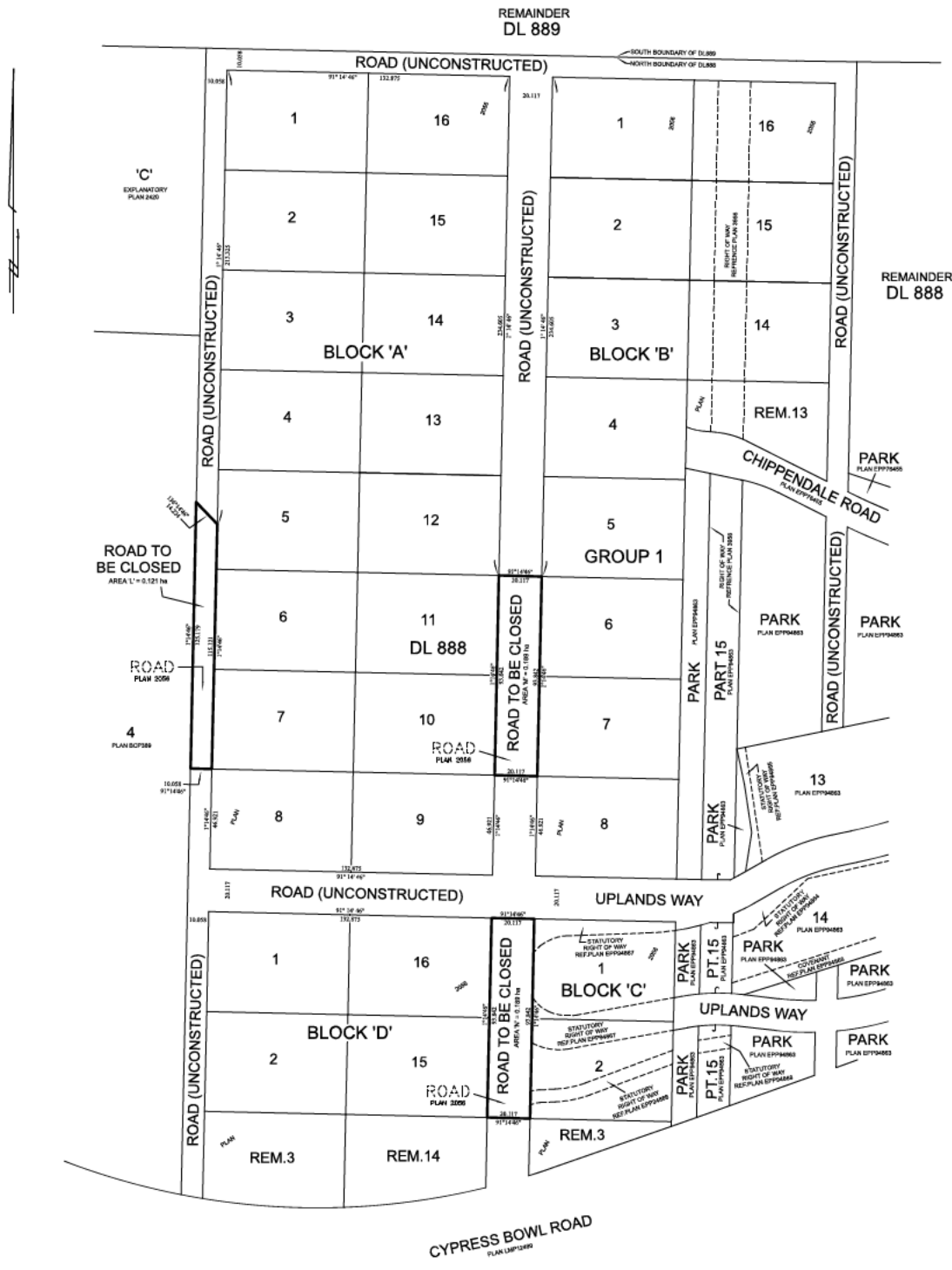
PLAN EPP119794

PURSUANT TO SECTION 120 OF THE LAND TITLE ACT AND
SECTION 40 OF THE COMMUNITY CHARTER
BCGS 92G035

THE INTENDED PLOT SIZE OF THIS PLAN IS
464 mm IN HEIGHT BY 660 mm IN WIDTH (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:1000



THE INTENDED PLOT SIZE OF THIS PLAN IS
464 mm IN HEIGHT BY 660 mm IN WIDTH (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:1000



GRID BEARINGS ARE DERIVED FROM THE EASTERLY BOUNDARY
OF LOTS 1 TO 8, BLOCK 'B', ASSUMED AS 1°14'46" (FROM PLAN EPP04863)

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES IN
METRES OR DECIMALS THEREOF UNLESS OTHERWISE NOTED

THIS PLAN IS WITHIN THE
METRO VANCOUVER REGIONAL DISTRICT

THIS PLAN IS BASED UPON THE FOLLOWING
LAND TITLE AND SURVEY AUTHORITY OF BC RECORDS:
PLAN 2056
PLAN EPP04863

DAN ROBERT MACHON, BCLS (76)
26TH DAY OF MAY, 2022

BOOK OF REFERENCE	
DESCRIPTION	AREA
ROAD TO BE CLOSED AREA 'A'	0.127 ha
ROAD TO BE CLOSED AREA 'B'	0.189 ha
ROAD TO BE CLOSED AREA 'C'	0.189 ha
TOTAL AREA	0.498 ha

HOBBS, WINTER & MacDONALD
B.C. LAND SURVEYORS
115-820 HERRINGWOOD DRIVE,
NORTH VANCOUVER, B.C. V7P 3J9
TEL: 604-265-1371 FAX: 604-265-8234
MML admin@hwsurveyors.com

From: Angus Christie [REDACTED] s. 22(1)
Sent: Thursday, June 13, 2024 7:18 PM
To: admchristie@outlook.com; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Cypress village development = +

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Angus Christie
112-2274 Folkestone Way
West Vancouver
V7s2x7

13 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Cypress village development

My name is Angus Christie and I am a resident of West Vancouver.

I am absolutely opposed to the densification of West Vancouver. Densification is a result of a poorly conceived immigration policy that is being paid for by tax-paying residents of West Vancouver.

Please **do not redact** my name or my home address or my email address.

Thank you.

Angus Christie
admchristie@outlook.com

From: [REDACTED] s. 22(1)
Sent: Friday, June 14, 2024 1:53 PM
To: correspondence; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Area Development Plan - Cypress Village and Eagleridge

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

I am writing to express my support of the above area development plan. I am a resident of the Gleneagles neighbourhood, have reviewed the plan online and recently attended one of the information sessions. I was impressed with the amount of thoughtful, considerate and detailed work that has gone into the development of this plan and believe that the resulting ADP reflects this.

The preservation of over 250 acres of land for Eagleridge park provides necessary natural space for people to enjoy and wildlife to thrive. The Cypress Village plan thoughtfully and purposefully provides diverse, more densely populated living spaces. It is a beneficial way to increase housing options while ensuring necessary services are provided and impact to existing WV residents is minimal.

I urge council to support the Cypress Village and Eagleridge ADP.

Take care,

[REDACTED] s. 22(1)

West Vancouver, BC

[REDACTED] s. 22(1)

From: Rod Day [REDACTED] s. 22(1)
Sent: Saturday, June 15, 2024 1:32 PM
To: correspondence
Subject: Cypress Village

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Councilors,

I urge you to vote in favour of the ADP on Cypress Village-Eagleridge proposed by British Pacific Properties. Since the 1990s West Vancouver and British Properties have been actively studying the most sustainable way to develop the area above the Upper Levels Highway owned by BPP. This began with the Steering Committee during 1990s, followed by the Rodgers Creek Working group of 1996-1998 (on which I was the Council representative) and the Community Plan of 2004. Since then the Working Group study of 2015 and the Community Plan of 2018 have have completed a long and exhaustive series of studies done over 30 years and five Councils.

Unfortunately I will not be able to attend the Public Hearing on June 15, so I urge you by mail to pass this excellent proposal. Sincerely, C. Rod Day, PhD

[REDACTED] s. 22(1) West Vancouver,
[REDACTED] s. 22(1)

From: Jane Barratt [REDACTED] s. 22(1)
Sent: Saturday, June 15, 2024 9:29 PM
To: janebarratt38@gmail.com; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Development at Eagleridge = +

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Jane Barratt
3-5402 West Vista Court
West Vancouver
B7W 3H3

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Development at Eagleridge

My name is Jane Barratt and I am a resident of West Vancouver.

I am totally against even more development in Cypress Village. A large increase in population, a definite increase in traffic on top of the heavy traffic we have already, the fact that we don't have the infrastructure in place to handle another large influx of residence and only two bridges to handle all the extra traffic which would follow.

Please **do not redact** my name or my home address or my email address.

Thank you.

Jane Barratt
janebarratt38@gmail.com

From: Chantal ryan [REDACTED] s. 22(1)
Sent: Sunday, June 16, 2024 6:34 AM
To: chantalryan@telus.net; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Development on cypress =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Chantal ryan
3015 Marine drive
West Vancouver
V7V1M4

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Development on cypress

My name is Chantal ryan and I am a resident of West Vancouver.

Let's have a referendum on this cypress development
This community has a right to be part of this decision
This development proposal will change totally the profil of this neighbourhood
We do not have any of the infrastructures needed
Roads sewers school medical
Shops police force
We already have bad traffic
All the new developments planned in west van will already be very difficult to integrate
Cypress will be a désastre
We are destroying little by little nature / bird l animal life /
Peacefulness so necessary for the balance of human been and nature

Please **do not redact** my name or my home address or my email address.

Thank you.

Chantal ryan

chantalryan@telus.net

From: Peter Curtis [REDACTED] s. 22(1)
Sent: Sunday, June 16, 2024 7:39 AM
To: peteracurtis@shaw.ca; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Cypress Village rezoning =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Peter Curtis
2519 Highgrove Mews
West Vancouver
V7S 0A4

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Cypress Village rezoning

My name is Peter Curtis and I am a resident of West Vancouver.

I write in respect to the potential rezoning consideration of Cypress Village to a high density model. Having read the general information concerning this, I am against the request and the financials involved, as it stands.

I do agree that some high density units should be made available as per the initial concept, but a full, or almost full, rezoning to high density brings a number of difficulties that as it stands are not catered for, when considering an influx of population of this scale. This is the core of my concern, and I can am of the opinion that this proposal does not fully scope out the requirements to be satisfied on the part of the broader community and would therefore end up being at the cost of West Vancouver rate payers in the long run. The exchange of property that I understand is a part of the "deal", does nothing to support the ultimate cost to the community and I would demand a review of the financial impacts as mentioned so that the community is better informed.

Please **do not redact** my name or my home address or my email address.

Thank you.

Peter Curtis
peteracurtis@shaw.ca

From: Annie Robinson [REDACTED] s. 22(1)
Sent: Sunday, June 16, 2024 8:48 AM
To: janierob@telus.net; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Overdevelopment in Cypress =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Annie Robinson
6117 Gleneagles Drive
West Vancouver,
V7W1W1

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Overdevelopment in Cypress

My name is Annie Robinson and I am a resident of West Vancouver.

Do not increase the housing limit on Cypress. Limits were already determined by council.
Our roads and infrastructure cannot handle the massive increase proposed.

Please **do not redact** my name or my home address or my email address.

Thank you.

Annie Robinson
janierob@telus.net

From: [REDACTED] s. 22(1)
Sent: Sunday, June 16, 2024 2:19 PM
To: [REDACTED] s.22(1) Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: British Properties Development =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

[REDACTED] s. 22(1)

West Vancouver

[REDACTED] s. 22(1)

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

British Properties Development

My name is [REDACTED] s. 22(1) and I am a resident of West Vancouver.

This rezoning is going to negatively impact the quality of life on multiple fronts and is going to drive up government costs where property taxes are already eye watering.

Thank you.

[REDACTED] s. 22(1)

From: Branko Zurkovic [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 1:02 PM
To: bzurkovic@gmail.com; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Development at Cypress Village =+

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Branko Zurkovic
4117 Burkridge Place
West Vancouver, BC V7V 3N1

17 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Development at Cypress Village

My name is Branko Zurkovic and I am a resident of West Vancouver.

I support public hearing regarding the proposed development of Cypress Village.

Please **do not redact** my name or my home address or my email address.

Thank you.

Branko Zurkovic
bzurkovic@gmail.com

From: [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 4:29 PM
To: correspondence; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Area Development Plan for Cypress Village and Eagleridge.

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

I grew up in West Vancouver and spent [REDACTED] s. 22(1) of my life in WVan. I am presently downtown. I am a weekend hiker in West Vancouver and can name every trail. I have reviewed the plan and love the diverse nature of the housing, and the preservation of the trails, and the expansion of the parkland. This plan is a win for all and I recommend approval. Thanks

[REDACTED] s. 22(1)

[REDACTED] s.22(1)

[REDACTED]
Vancouver, BC [REDACTED] s.22(1)

[REDACTED]
[REDACTED] s. 22(1)

[REDACTED]

From: John Noble [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 5:42 PM
To: john.m.noble@gmail.com; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Development at Cypress =+

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John Noble
6251 Wellington Avenue
West Vancouver
V7W2H5

17 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Development at Cypress

My name is John Noble and I am a resident of West Vancouver.

No more population increase in West Vancouver.

Like it or not, the reality is that unlike the other areas around Vancouver, we are bottlenecked by our two bridges.

Until we build a third bridge, we can have no more population increase.

The population must match infrastructure.

Please **do not redact** my name or my home address or my email address.

Thank you.

John Noble
john.m.noble@gmail.com

From: [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 8:15 PM
To: [REDACTED] s. 22(1); Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Cypress Village project =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

[REDACTED] s. 22(1)

West Vancouver, [REDACTED] s. 22(1)

17 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Cypress Village project

My name is [REDACTED] s. 22(1) and I am a resident of West Vancouver.

The Cypress Village project will have long-term implications for West Vancouver. Our neighbourhoods are already struggling with traffic congestion and therefore more pollution than necessary.

The traffic that will be generated from the proposed dwellings in the Cypress Village project will create havoc. Already now the lineups to Mulgrove school, Rockridge etc when transporting the students are long and tedious.

The limited road(s) to and from this project have not been properly addressed. Proper traffic simulation should include impact on both Upper Levels Highway as well as our two bridges.

Unfortunately projects like these are seen with a myopic eye. The whole system impact should be studied. If you would review that, you would realize that West Vancouver would become known as a polluting and traffic congested community in the future. The next generation of young people growing up here now will ask themselves, who people on Council were and how could they not see the future in a better light.

This Council and Mayor were voted in with the belief that they would be intelligent about the limitations of West Vancouver's topography and therefore would limit the building craze that is going on. And that they would foremost listen to their tax paying citizens. The parkland that is being acquired now is certainly not worth the density that is planned. First of all, it is steep and inaccessible to many citizens of West Vancouver. Second BPP would find it hard to develop this area.

So there is absolutely no reason for Mayor and Councillors to congratulate themselves for this CAC. Rather ask for \$500 million to pay off the sad story of the water sewage plant. Or even better, DO NOT allow this to happen!

Thank you.

[REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 7:44 AM
To: correspondence; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Cc: [REDACTED] s.22(1)
Subject: Area Development Plan for Cypress Village and Eagleridge

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council,

I am writing you to express my support for the Area Development Plan for Cypress Village and Eagleridge. I respectfully ask that the West Vancouver Council vote to approve this plan.

I have lived in West Vancouver for over 40 years ([REDACTED] s. 22(1)) and have been a regular hiker in the Eagleridge lands since the early 1970's. Preserving these lands in their current state is important to me. Further, higher density development in the Cypress Village area will allow for a greater range of housing options — hopefully enabling more young professionals to live in our community — as well as a more vibrant city community centre.

Sincerely,

[REDACTED] s. 22(1)
[REDACTED]
West Vancouver, BC, [REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 9:07 AM
To: correspondence; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Area Development Plan for Cypress Village and Eagleridge

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Good morning,

I grew up in West Van and currently live in Dundarave. I support the Area Development Plan for Cypress Village and Eagleridge and ask that the West Vancouver Council vote to approve this plan. The increase in tax base as well as the prospect of adding housing in an area that can support it is appealing.

Thank you,

[REDACTED] s. 22(1)

[REDACTED] West Vancouver [REDACTED] s. 22(1)

[REDACTED] s. 22(1)

[REDACTED]

From: [REDACTED] s.22(1)
Sent: Tuesday, June 18, 2024 10:26 AM
To: correspondence; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Area Development Plan for Cypress Village and Eagleridge

CAUTION: This email originated from outside the organization from email address [REDACTED] s.22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello,

As a resident and [REDACTED] s.22(1) in West Vancouver, I very much support the development and area plan for Cypress Village. It is imperative that we get more diverse housing in the area, ESPECIALLY townhomes, and more amenities for the community, while preserving our natural areas. There is both a younger and an aging population that are hoping to have options outside of more expensive, larger homes.

I would like to see more townhomes and less apartments in the mix of homes. There are only 161/3711 (4%) in the current plan.

I ask that the West Vancouver Council vote to approve this plan.

Thank you,

[REDACTED] s.22(1)
[REDACTED]
[REDACTED]

[REDACTED] s. 22(1)
[REDACTED]
[REDACTED]

[REDACTED] s.22(1)
[REDACTED], Vancouver, [REDACTED] s.22(1)



[REDACTED]

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 8:54 PM
To: correspondence
Subject: Support for Cypress Village proposal

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Members of the District of West Vancouver Council,

I am writing to express my strong support for the proposed land swap and the development plans for Cypress Village. As a resident who values both environmental stewardship and community growth, I believe this initiative aligns perfectly with our collective goals for sustainable development and enhanced recreational opportunities. The idea of expanding parkland while also densifying Cypress Village strikes me as a thoughtful and environmentally responsible approach. By preserving and expanding green spaces, we not only contribute to the health and well-being of our residents but also safeguard the natural beauty that makes West Vancouver such a special place to live. Furthermore, the densification aspect of the plan promises to enhance the usability of Cypress Park, making it more accessible and enjoyable for families, individuals, and visitors alike. This thoughtful development approach not only supports our growing community needs but also ensures that we continue to prioritize sustainability and conservation. In conclusion, I urge you to move forward with the proposed land swap and development plans for Cypress Village. This initiative not only benefits current residents but also lays a solid foundation for future generations to enjoy and cherish. Thank you for considering my viewpoint on this matter.

Sincerely,
[REDACTED] s. 22(1)

West Vancouver
[REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 9:19 PM
To: correspondence
Cc: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Area Development Plan for Cypress Village and Eagleridge.

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

As a resident of West Vancouver, I support the Area Development Plan for Cypress Village and Eagleridge and ask that the West Vancouver Council vote to approve this plan. I currently live on [REDACTED] s.22(1)

[REDACTED] The development plan created a project that is sensitive to the environment while providing an exceptional living environment. We use the trail systems daily that have been built as part of their long-term development of West Vancouver.

I have absolutely no concerns about increased traffic in the area surrounding Cypress Village. Bringing almost 3,700 new homes to this part of the North Shore will offer residents a wide spectrum of home sizes, home designs and price points to encourage more families to move to West Vancouver and enjoy all West Vancouver has to offer. I feel that the proposed retail project at Cypress Village may well alleviate some of the traffic that currently flows down 15th and 21st Street to shop on Marine Drive.

West Vancouver is a vibrant community and I support this proposed growth as a way to ensure this vibrancy continues and we welcome new residents to share this exceptional place we call home.

The District of West Vancouver is extremely fortunate to have BPP as the developer for this project. Very few developers in Canada have the ability to deliver a community with the sensitive planning, quality buildings and exceptional enhancements to the natural beauty of this location. I think BPP has been working on this project for almost 20 years and it is time the District of West Vancouver plays their part in helping BPP's vision become a reality for all to enjoy and benefit from.

We are excited to see BBP's long term plans include a mix of uses from community-oriented retail, a fire hall, single family homes, low density multifamily buildings and higher density buildings that can offer more affordable pricing to our neighborhood.

We want all decision makers in the District of West Vancouver to know that we fully support BPP's plans for Cypress Village and Eagleridge and can't wait to see the project begin.

Sincerely

[REDACTED] s. 22(1)
[REDACTED] West Vancouver, [REDACTED] s. 22(1)
[REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Wednesday, June 19, 2024 7:19 AM
To: Linda Watt; Sharon Thompson; Scott Snider; Peter Lambur; Nora Gambioli; Christine Cassidy; Mark Sager, Mayor; correspondence
Subject: Expressing Support for Cypress Village Project.

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello,

I'm writing today to express my support for the proposed Cypress Village project. I live and work in West Vancouver - but while it was easy finding a job here, it was very tough to find a place to live. As a young professional and a renter, the options for a decent apartment within my price range were slim.

The diversity presented by Cypress Village within West Vancouver's housing supply would be a big win for people like me. As my partner and I eventually look to purchase an apartment here, a project like Cypress Village is an exciting (and viable) possibility. Creating housing diversity while protecting Eagleridge in perpetuity seems like a win-win, and a rare opportunity. We support the project wholeheartedly for this reason.

Thanks,

[REDACTED] s. 22(1)
[REDACTED] s. 22(1) West Vancouver

--
[REDACTED] s. 22(1)

[REDACTED]

From: [REDACTED] s. 22(1)
Sent: Wednesday, June 19, 2024 8:28 AM
To: correspondence; Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Support for the Area Development Plan for Cypress Village and Eagleridge

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Greetings Mayor and Council of West Vancouver:

I am a long time resident of West Vancouver and I am very supportive of the Area Development Plan for Cypress Village and Eagleridge and ask that the West Vancouver Council vote to approve this plan.

I am particularly excited to learn as part of this development the end result will be a contiguous 3,300-acre mega park stretching across the hillside from Horseshoe Bay to almost the Cap River.

Kind Regards

[REDACTED] s. 22(1)

[REDACTED], West Vancouver

Subject: North Shore Wastewater Treatment Plant Program: June 2024 Community Newsletter

From: [REDACTED] s. 22(1)
Sent: Thursday, June 13, 2024 10:25 PM
To: correspondence <correspondence@westvancouver.ca>; Mark Sager, Mayor <mark@westvancouver.ca>; Christine Cassidy <ccassidy@westvancouver.ca>; Nora Gambioli <ngambioli@westvancouver.ca>; Peter Lambur <plambur@westvancouver.ca>; Scott Snider <ssnider@westvancouver.ca>; Sharon Thompson <sthompson@westvancouver.ca>; Linda Watt <lwatt@westvancouver.ca>
Cc: Scott Findlay <sfindlay@westvancouver.ca>
Subject: North Shore Wastewater Treatment Plant Program: June 2024 Community Newsletter

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

In the accompanying newsletter’s section entitled ‘Annual Budget Process Update’, it is stated that municipal governments may include the portion of the capital cost for this project allocated to them in either property taxes, utility rates or a combination thereof. This is news to me. Until now, I was under the impression that this cost was to be included in utility rates only. Metro claims that this is a matter of choice by each municipality concerned.

What is the truth? And, if in fact, a municipality may choose to allocate the cost of this fecal fiasco against local property taxes or utility rates, or a combination thereof, what does our District propose to do?

[REDACTED] s. 22(1)
[REDACTED]
West Vancouver, BC
[REDACTED] s. 22(1)

From: Metro Vancouver <NSWWTP@metrovancover.org>
Date: June 12, 2024 at 11:23:47 AM PDT
To: [REDACTED] s. 22(1)
Subject: North Shore Wastewater Treatment Plant Program: June 2024 Community Newsletter

metrovancover | LIQUID WASTE



June 2024

What's Next for the North Shore Wastewater Treatment Plant Program?

Following the program budget and schedule update [announced in March](#), Metro Vancouver is moving on to the next steps towards completing plant construction. This includes issuing a contract in the coming months for a contractor to complete construction.

While that work is in progress, PCL (the construction manager) is continuing early works construction at the treatment plant site and preparing for increased construction activity in the future. We will continue to provide updates on what to expect as we move forward.

Current Activity at the Treatment Plant Site

PCL will continue early works construction at the treatment plant site through summer 2024.

What to expect on and near the site over the coming month:

- Construction noise from power tools and equipment
- Vehicles delivering materials and equipment to the site via West 1st Street, between Pemberton and Philip Avenues
- Crews using cranes to move equipment and materials around the site
- Crews working on scaffolding, rebar, and formwork
- Crews conducting road maintenance on West 1st Street, as needed
- Reinstallation of a fifth tower crane on the south side of the site in the coming weeks or months

In our [May 2024 newsletter](#), we noted that a fifth tower crane would be reinstalled in the southwest corner of the site in early June. This work has been rescheduled and is expected to occur later in the summer, depending on planned construction activities.



Aerial view of the North Shore Wastewater Treatment Plant construction site

Annual Budget Process Update — Board Approves Cost Allocation and Phasing Framework for Program Cost Increase

The Metro Vancouver Board has approved a cost allocation and phasing framework for the recent \$2.8 billion increase to the North Shore Wastewater Treatment Plant Program budget.

Over the course of three Board Budget Workshops held on April 17, May 17, and May 31, the Board considered several cost allocation and phasing options to mitigate impacts on residents while ensuring that this important infrastructure is delivered as intended.

The approved plan will result in household impacts of an average of \$590 per year for the North Shore Sewerage Area, \$150 per year for the Vancouver Sewerage Area, \$90 per year for the Fraser Sewerage Area, and \$80 per year for the Lulu Island Sewerage Area. Costs of regional services like wastewater treatment are included in municipal utility rates and property taxes. Whether these costs are included in utility rates, property taxes, or a combination of the two varies by municipality. Because Metro Vancouver does not directly bill customers, cost per household may vary based on how rates are distributed by the member jurisdiction.

Metro Vancouver understands the concerns that have been raised around how the North Shore Wastewater Treatment Plant Program cost may affect households. To reduce impacts in the short term, costs for the North Shore Sewerage Area will be phased in over five years. Costs for the Vancouver, Fraser, and Lulu Island Sewerage Areas will be phased in over one year.

The May 31 Board decision regarding cost allocation and phasing will be used to incorporate the \$2.8 billion budget increase required to complete the North Shore Wastewater Treatment Plant Program into Metro Vancouver's 2025 budget and 2025-2029 Financial Plan, to be considered by the Board in October 2024 as part of the annual budget process.

You can find meeting recordings and materials from the three Board meetings on this topic at the links below:

- [April 17, 2024 Board Budget Workshop](#)
- [May 17, 2024 Board Budget Workshop #2](#)
- [May 31, 2024 Board Budget Workshop #3](#)

Work Hours

Monday to Friday between 7:00 am and 8:00 pm

Saturdays between 9:00 am and 5:00 pm

All work will comply with District of North Vancouver bylaws or granted bylaw variances. Advance notification will be provided if extended working hours are scheduled.

About the Plant

Metro Vancouver is building the North Shore Wastewater Treatment Plant to replace the Lions Gate Wastewater Treatment Plant, which has provided primary level treatment to the North Shore for the past 60 years. Building a new plant that provides a higher level of treatment is essential to comply with mandatory federal regulations.

The new plant will provide treatment up to the tertiary filtration level, and serve over 300,000 residents and businesses in the Districts of West and North Vancouver, the City of North Vancouver, Sk̓wx̓wú7mesh Úxwumixw (Squamish Nation), and sə́lilwətał (Tsleil-Waututh Nation).

The site of the new plant is located on West 1st Street, between Philip and Pemberton Avenues, in the District of North Vancouver (see map below for location).

[Learn more about the program](#)

Program Map

NORTH SHORE WASTEWATER TREATMENT PLANT PROGRAM



This map shows the locations of the three projects included in the North Shore Wastewater Treatment Plant Program:

- The new treatment plant (under construction)
- The pump station (complete) and conveyance pipes (partially complete)
- The existing Lions Gate Wastewater Treatment Plant (to be decommissioned when the new plant is complete)

Have Your Say on the Future of Wastewater Management in the Region

We're updating our Liquid Waste Management Plan. Sign up to share your feedback and opinions on the direction of the Liquid Waste Management Plan Update and learn about ways you can support the health of our rivers and ocean. The plan will set the course for how we manage wastewater and stormwater in the region for the next 10 years, and includes actions for Metro Vancouver and its members.

Survey live from June 13 to July 4: [Liquid Waste Management Plan Update](#)

Register for webinar: [Sign up here](#)

Keeping the Community Informed

You are receiving this information because you signed up for updates on the North Shore Wastewater Treatment Plant program. Updates are sent by Metro Vancouver via email newsletter and posted on the [program webpage](#).

If you know others who are interested in the program, please forward this email to them and encourage them to [sign up](#) to the mailing list.

Contact Us

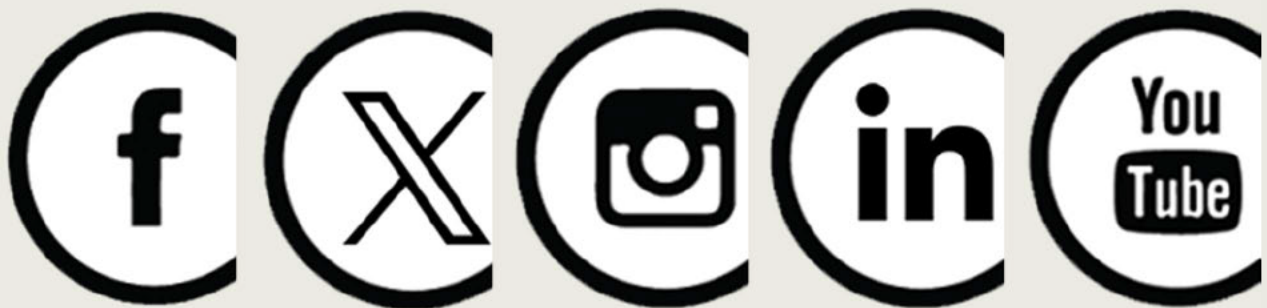
A Community Liaison is available to address questions and concerns:

Community Liaison: 604-639-9012

Email: NSWWTP@metrovancover.org

Website: metrovancover.org/nswwtp

Follow Us



The Federal and Provincial governments are providing joint funding of up to \$405 million toward the construction of the North Shore Wastewater Treatment Plant. For more information on federal infrastructure funding visit: [BLOCKEDinfrastructure\[.\]gc\[.\]caBLOCKED](#).

Metro Vancouver is a diverse organization that plans for and delivers regional utility services, including water, sewers and wastewater treatment, and solid waste management. It also regulates air quality, plans for urban growth, manages a regional parks system, provides affordable housing, and serves as a regional federation. The organization is a federation of 21 municipalities, one

electoral area, and one treaty First Nation located in the region of the same name. The organization is governed by a Board of Directors of elected officials from each member jurisdiction.

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If you prefer to unsubscribe from this mailing list, [unsubscribe here](#).

From: [REDACTED] s. 22(1)
Sent: Thursday, June 13, 2024 12:03 PM
To: correspondence
Subject: Parking at light park

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To whom may concern

I went to light house park
I am resident of west and north Vancouver over 35 years

I got there after years surprisingly I have to pay

There is no pay station, Impark is managing the parking and the only way of paying is phone
I am with freedom mobile

My phone didn't have reception so I received a ticket for \$98

When I called them , their response was don't park there make another arrangement

The city of West Vancouver needs to help me on this problem

It have to make sense to me

No Pay station
Only phone at place have no reception
Regarding
Ticket number [REDACTED] s. 22(1) from impark
Regards
[REDACTED] s. 22(1)
[REDACTED] north Vancouver Bc

From: Ula Teicher <ula.teicher@collingwood.org>
Sent: Friday, June 14, 2024 1:42 PM
To: correspondence
Cc: Lisa Evans; s.22(1)
Subject: 14 Glenmore Drive Submission
Attachments: 2024-06-14 Proposed Rezoning and Official Community Plan Amendment (Collingwood School).pdf

CAUTION: This email originated from outside the organization from email address ula.teicher@collingwood.org. Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear District of West Vancouver Council,

Please accept the written submission (attached) to be heard during the public hearing and concurrent public meeting regarding the proposed bylaws and development permit for 14 Glenmore Drive.

Sincerely,



Ula Teicher (she/her/hers)
HR Coordinator

Morven Campus
70 Morven Drive West Vancouver, BC V7S 1B2
T 604.925.3331 ext. 1183 F 604.925.3862
collingwood.org

At Collingwood School, we are grateful to live, work and learn on the unceded traditional territories of the Skwxwú7mesh (Squamish), Səlilwatał (Tseil-Waututh), and xwməθkwəyəm (Musqueam) Nations. We are committed to acknowledging, respecting, and celebrating the land, people and spirit that spans our two campuses, as we aim to cultivate meaningful and long-lasting relationships with Indigenous communities. To learn more



COLLINGWOOD
SCHOOL

June 14, 2024

Dear District of West Vancouver Council,

Re: Proposed Rezoning and Official Community Plan Amendment for 14 Glenmore Drive

Please accept this written submission to be heard during the public hearing and concurrent public meeting regarding the proposed bylaws and development permit for 14 Glenmore Drive.

Collingwood School supports measures to address speeding through a heavy pedestrian area that includes the two entrances to park/walking trails adjacent to #5 Glenmore Dr. (Baden Powell Trail) and #19 Glenmore Dr. (Cleveland Dam Trail). We would like to voice our support for the following to ensure pedestrian safety:

- the sidewalk to be installed by the developer at 14 Glenmore Drive.
- extending the sidewalk to be installed by the developer at 14 Glenmore Drive to form a continuous sidewalk running North/South along the Western side of Glenmore Drive between the Baden Powell trailhead and Morven Drive.
- traffic-calming speed bumps on Glenmore Drive at suitable locations both North and South of the intersection with Morven Drive.
- a crosswalk across Glenmore Drive linking the access laneway from Cleveland Dam with the west-side sidewalk.
- the designation of the section of Glenmore Drive between Deep Dene Road and Morven Drive as a prominently-signed 30 km/h School Zone.

We also appreciate that the District of West Vancouver will ensure the flow of traffic and pedestrians is not adversely affected by the development through a construction 'traffic management plan' (TMP) that considers peak traffic issues in the area (around school pick-up and drop-off times), and appreciate the opportunity to review the plan when it is available.

Collingwood School further welcomes the opportunity to participate in a Joint Task Force comprising representatives from the District of West Vancouver, and local residents for topics related to the management of parking and traffic flow in our shared Glenmore neighbourhood.

Sincerely,

s. 22(1)

Lisa Evans
Head of School

From: s. 22(1)
Sent: Friday, June 14, 2024 10:48 PM
To: correspondence
Subject: New West Van Giant Park

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Dear Mayor and councilors,

The District of West Vancouver's decision to develop a new park, almost twice the size of Stanley Park, in the forests above the upper levels highway sounds at first like a great idea. More trails for hikers and bikers, better protection of veteran trees, and so on.

There are several reasons why this is a very BAD idea:

Creating new bike and hike trails and parking lots will involve much tree removal (reducing the numbers of the lungs of the planet). Are we so short of hiking and biking trails on the North Shore that we need more?

And who will be those "recreating" there? Not the rising numbers of "senior seniors", or the families in which both parents are each working 1-3 jobs to pay for rent and food.

The expenses required for such a park, even with the participation of the B.C. Parks Foundation, have not been revealed and are likely to be considerable.

This plan comes at a time when several/many new apartment buildings have been built in West and North Van, and the the latter is now proposing considerable new housing projects in Ambleside. Although this proposal seeks admirably to provide the sort of housing that many persons need, it will prove very expensive to the city. That expense has to be balanced against the cost of a giant park devoted to recreation. I understand that the cost to a city for a new "family unit" is around \$100,000 to provide standard facilities such as sewage, garbage collection, schools and recreational facilities. And this comes at a time when house taxes have increased and citizens of West and North Van are facing a hefty tax (and for how long?) to pay for the botched sewage plant in North Van.

All of these plans seem to omit the crucial issue of the major problems in efficient access to and from the North Shore and the clear outcome of significant worsening by the plans discussed above.

Meanwhile, West Vancouver should be considering far more weighty issue that will require very costly interventions. The most predictable of these is rising sea levels. The world is losing the battle against global warming. The BC government states that we should be planning for a sea level rise of 1/2 metre by 2050, and of 1 meter by 2100. Scientists monitoring the melting of the gigantic Antarctic glaciers report this to be speeding up and predict global sea level rises greater and earlier than these B.C. estimates. Just imagine the effects on the North Shore: Marine Drive and buildings above and below awash in sea water.

s. 22(1)

[Redacted]

West Vancouver, BC s. 22(1)

s. 22(1)

[Redacted]

From: [REDACTED] s. 22(1)
Sent: Friday, June 14, 2024 2:07 PM
To: correspondence
Subject: Support of Apartment Area Stream of Ambleside
Attachments: Support of Apartment Area Stream of Ambleside.docx

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Hi To whom it may concern

Please see attached my support letter.

Regards

[REDACTED] s.22(1)

Dear Council in West Vancouver,

I am writing to express my full support for the Apartment Stream of the Ambleside Area Plan at Public Hearing on June 24, 2024. I am a resident of West Vancouver and I believe that the Ambleside Area Plan will benefit current residents like myself, providing more housing options, to the workers in West Vancouver neighbours.

I am all in for supporting and prioritizing the Ambleside Area Plan for the continued prosperity of West Vancouver.

Yours Truly

s. 22(1)

West Vancouver

From: s. 22(1)
Sent: Saturday, June 15, 2024 6:31 PM
To: correspondence
Subject: In support of proposed modifications to Official Community Plan Bylaw No. 4985, 2018

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Dear Mayor and Councillors

We have lived in West Vancouver for 20 years and are lucky enough to own a home in this wonderful community. We do share our s.22(1)] and are committed to preserving our beautiful s.22(1) house for the benefit of other future Canadians and West Vancouver residents.

We are well aware of the lack of housing for both temporary residents and for the people who work in West Vancouver. We are also a bit ashamed when reading reports that West Vancouver is not doing its part in supplying housing for Metro Vancouver's growing population. We are part of a bigger community.

We therefore strongly support the proposals outlined, leading to a range of more affordable housing options, in an area of West Vancouver that is already well supplied with services and shops.

Thank you for your work! s. 22(1)

s. 22(1) West Vancouver BC

From: s. 22(1)
Sent: Sunday, June 16, 2024 8:05 PM
To: correspondence
Subject: OCP - Apartment Zone

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Mayor and Council:

I am concerned about proposed zoning updates to the Apartment Zone in the OCP.

Specifically, it appears that in an effort to increase density, certain buildings - both condos and rentals - have been identified as "end of life," ripe for gentrification.

In my opinion, this will reduce the available "affordable" housing stock for residents which West Van. is attempting to maintain. Compared to newbuilds, these housing units are less expensive to rent or to buy, providing housing for less well-off residents. Dare I say, "the missing middle?"

Why are we wringing our hands to maintain our rental stock on the one hand and then facilitating the demolition of rental stock, some of which is in low end condos, on the other? Yes, we will increase density, but we will be displacing the people whose housing we are trying to protect. It makes no sense.

This is a serious unintended consequence to increasing the FAR and proposed zoning changes to incentivize redevelopment. More is not cheaper. Look at Gateway at Taylor Way and Marine Drive. We need to maintain as many homes as we can with a price point that more residents can afford.

Many of the units in some of the identified condo buildings e.g. 1340 Duchess Avenue, 1363 Clyde Avenue and 2119 Bellevue Avenue are owned by mom-and-pop landlords and provide this less expensive rental housing to our community – thousands of dollars per month less than Gateway or 1327/1341 Marine Drive, which is now asking \$7500. - \$8500. monthly.

To increase the FAR of these buildings essentially increases the value of the property rather than allowing market forces to prevail. This may appeal to developers, but artificially adds to the lack of affordability by uplifting the value of all properties. If it is not profitable for a developer to buy and redevelop, then the price needs to be reduced. Basic economics: if the widget doesn't sell, reduce the price until it does. Certainly, the owners of these properties want prime prices after decades of deferred maintenance and neglect by their own admission, but it is not the responsibility of WV to make that happen for these or any other such properties.

Yes, these buildings need upgrades. Yes, it is expensive. But why is the Municipality considering lining the pockets of the owners of some condo units at the expense of others? This is not too different than other levels of government handouts. At "end of life," the value of the property is only the land value. Dozens of homes are demolished in West Vancouver every year. Both buyers and sellers agree on a price, making redevelopment or renovation viable. The same needs to be done in these cases.

Yours truly,

s. 22(1)

s. 22(1)

West Vancouver, BC s. 22(1)

s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 8:23 PM
To: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt; correspondence
Subject: Ambleside's future plan

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Dear Council,

I am writing to express my strong support for the proposed future plan for the Ambleside area. As a [REDACTED] s.22(1) and lifelong resident of West Vancouver, I am deeply concerned about the lack of affordable housing options in our community.

Being close to my parents who live in West Vancouver is crucial for me and my children. However, the current housing market presents a significant barrier to finding a suitable home that meets our needs. The limited inventory of affordable housing has made it increasingly difficult for families like mine to remain in the area, threatening the stability and continuity of our lives.

I believe that this plan emphasis on increasing housing density is a step in the right direction. By creating more housing options, we can ensure that current residents can continue to live and thrive in West Vancouver.

I urge you to support and approve the proposed plan as it represents a critical opportunity to address the housing challenges facing families in our community.

Sincerely,

[REDACTED] s. 22(1)
[REDACTED]
West Vancouver, BC [REDACTED] s. 22(1)

Sent from my iPhone

From: [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 9:42 PM
To: correspondence
Cc: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Ambleside proposed plan

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Dear West Vancouver Council,

As someone who grew up in West Vancouver and whose parents still live here, I hold a deep appreciation for the community and the opportunities it has afforded me. Nevertheless, I am troubled by the current lack of housing diversity, which might prevent future generations from enjoying the same cherished upbringing.

The Ambleside Area Plan is a pivotal opportunity to tackle this issue. By allowing for new housing developments, it can help ensure that young families, much like my own once was, can afford to remain and flourish in our cherished community.

I urge you to prioritize the Ambleside Area Plan to help preserve the essence of West Vancouver for the future. Let's collaborate to build a community where families can afford to settle down and create lasting memories, just as I was privileged to do.

Please support the Ambleside Area Plan.

Sincerely,

[REDACTED] s. 22(1)

[REDACTED] s. 22(1)

North Vancouver, BC

[REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 9:44 PM
To: correspondence
Cc: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: scheduled public hearing

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Dear Council Members,

I am writing to express my deep concern regarding the current housing situation in West Vancouver and to voice my strong support for the proposed plans for the Ambleside area. As a [REDACTED] s.22(1) raising children in this community, I am increasingly worried about our ability to continue living here due to the lack of affordable housing options.

Having rented in West Vancouver for several years, I have witnessed firsthand the challenges faced by families like mine. The limited availability of affordable housing has made it incredibly difficult to secure stable and suitable accommodation for my children and me. This uncertainty not only affects our daily lives but also threatens to uproot us from the community we have come to love and depend on.

The proposed plan is a promising solution by advocating for increased housing density. By creating more affordable housing options, we can ensure that families, regardless of their financial situation, can remain in West Vancouver.

I hope that together, we can work towards securing a brighter and more stable future for families in West Vancouver.

Sincerely,

[REDACTED] s. 22(1)

West Vancouver, BC [REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Monday, June 17, 2024 2:58 PM
To: correspondence
Subject: Proposed tower on Pink Palace property
Attachments: Letter to District June 17.docx

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To Mayor and Council
From Argyle Point Strata

TO: Mayor and Council

FROM: Argyle Point Strata VR 2384

June 17, 2024

RE: Ambleside Local Area Plan (LAP) and Proposed Infill Development

EFFECTS ON ARGYLE POINT OF PROPOSED ZONING BYLAW AMENDMENT and PROPOSED TOWER ON PINK PALACE PROPERTY

We understand that this is meant to increase the pool of housing in West Vancouver, but what could the rationale possibly be to construct another tower along the Foreshore, and right next to a low-rise 4-storey building, thereby obstructing the views of the Argyle Point building as well as the long-established view corridors that residents on Bellevue Avenue and north of Bellevue currently enjoy.

The current buildings along the Foreshore have areas of green space between them to allow view corridors from neighbourhoods north of Bellevue and to afford unobstructed south, east and west views for Foreshore condominiums. The Zoning Bylaw Amendment will alter the unique character of the Foreshore and could have a detrimental effect on view corridors. What is needed along this already highly developed part of Ambleside is more green space, not less. Some city planners believe that it is the space between buildings that creates connection, innovation and vibrancy in a community, not more buildings in the 'infill' areas.

Why is the District contemplating a Zoning Bylaw Amendment and altering the character of the Foreshore buildings with no input or consultation from those most impacted? The proposed tower will not fit with the spacing of the other Foreshore structures because of its reduced distance from Argyle Point and the subsequent loss of green space.

Such a change will have an impact on a large number of residents in the neighbourhood but especially on Argyle Point. Residents in that building will lose privacy, sunlight, and views. They will experience reduced enjoyment of their homes and devaluations of their property. Many other WV residents will lose their view corridors and corresponding enjoyment of their properties. With increased density and construction, Argyle Point and the surrounding neighbourhood will be impacted by a major increase in parking issues on Argyle Ave. Years of ongoing construction, noise, dust, debris and traffic congestion will accompany construction. And, ironically, West Vancouver taxes will surely go up to pay for increased infrastructure, even as the value of those homes most impacted declines.

If affordable rental housing is the District's goal, the proposed tower next to Argyle Point will do little or nothing to alleviate the shortage of affordable rental stock in West Vancouver.

Presently, a two -bedroom suite in the Pink Palace costs \$4500 per month, a three bedroom as much as \$6,000 a month. A new tower will demand even higher rents. If it’s designated strata it will not alleviate the District’s need for middle income rentals. Developers will look to maximize their returns, and while there might be more rental units available, building this tower certainly won’t create affordability.

Why is the District gifting millions of dollars of density to the owners of West Vancouver rental properties? When Grosvenor Ambleside was built, developers had to pay the District many millions for increased density. Yet, council is giving increased density away for nothing while there are thousands of acres available north of the highway.

It appears that, to preserve and increase rental property, Council’s solution is to agree to developers’ wishes by allowing them increased FAR for higher density buildings and increased property values, while negatively impacting other residents’ property values.

ENVIRONMENT

Council’s *Strategic Plan* for 2024-2025 includes a goal to “protect our natural environment, reduce greenhouse gas emissions, and adapt our community to become more resilient in a changing climate.” (p.1)

Erecting a tower along the Foreshore will not help to achieve this goal, no matter what ‘energy performance standards’ are met. There will still be additional CO2 emissions during and after construction of a new cement building. The shoreline itself could well be impacted.

How does the Ambleside LAP and Zoning Bylaw Amendment enhance Livability, Affordability, our Environmental Footprint and Climate Change? The legacy and success of a municipal government can only be measured by the improved quality of life they strive to provide for all of their residents.

The Ambleside LAP and Zoning Bylaw Amendment would do a serious disservice to residents of Argyle Point, and it is our hope that you will defer it or reconsider it, especially as it pertains to the proposed tower on the Pink Palace property.

Yours truly,
Argyle Point Strata

s. 22(1)
[Redacted signature]

Owner
Owner
Owner
Owner
Owner

s. 22(1)
[Redacted signature]

Owner
Owner
Owner
Owner
Owner

s. 22(1)
[Redacted signature]

Owner

From: s. 22(1)
Sent: Monday, June 17, 2024 5:30 PM
To: correspondence
Subject: Ambleside LAP at Public Hearing - June 24, 2024

CAUTION: This email originated from outside the organization from email address s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council,

My name is s. 22(1) and I write to you as both a member of the West Vancouver community and of St. Stephen's Church, located within the Ambleside LAP area.

As a community member, the approval of the Plan would create a broader range of housing opportunities while ensuring that the natural beauty and desirability of our community would remain.

As a member of St. Stephen's Church, this would provide us with a future. As I believe that you are aware, St. Stephen's is 111 years old, and our current building has the risk of unmanageable maintenance expenditures in the near future. St. Stephen's has become a 'community hub' with many community rental groups calling St. Stephen's home, including a daycare, a Community Choir, medical and addiction recovery groups, children and youth music, exercise classes, performing arts and multicultural groups. Almost entirely non parishioners. Should the proposed Bylaws be supported, our new modern church would be designed with all spaces as multipurpose. Even the sanctuary would be designed for use by community groups.

The location of St. Stephen's, close to Marine Street public transit, across the street from the Recreation Centre, Senior Centre, and along side 2 retirement living buildings, combined with increasing nearby density, makes it ideal to continue to serve the growing interests of the community, while assisting with the Mayor and Council's objective of increased rental housing.

We have greatly appreciated the assistance of District Planning staff during the past 5 years that our project has been under pre-development, and are in a position to bring the benefits to the community within the next 4 years with a new parish facility and new rental housing. In contrast, without your support, the life of this parish would be less than 4 years.

In conclusion, thank you for taking the time to read this email. The Ambleside LAP is a major achievement and you should be congratulated on your progress to date. At St. Stephen's, our Mission includes to "respond to the needs of our community", which is your community. Your support is fundamental for encouraging reimagined community use spaces and proceeding with these Bylaws for the apartment area and community use sites portion of the Ambleside LAP.

Thank you,

s. 22(1)

, West Vancouver, s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 8:52 AM
To: correspondence
Cc: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: Ambleside Community Plan

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Hello,

I am writing to express my concerns and strong support for the proposed Community Plan for Ambleside. As a mother renting in West Vancouver, I am deeply worried about the lack of available housing inventory and its potential impact on my family's future in this community.

My family and I have chosen to rent in West Vancouver because of its exceptional schools, safe neighborhoods, and vibrant community life. However, the limited housing options and rising costs pose a significant threat to our ability to remain here long-term. Like many other young families, we fear that we may be priced out of the market, forcing us to uproot our children from their school, friends, and community support networks.

The proposed plan for Ambleside offers a promising solution by advocating for increased housing density and affordability. By expanding housing options, particularly affordable and family-friendly units, we can ensure that young families like mine can continue to access the benefits of living in West Vancouver. This approach not only supports the stability and well-being of our community but also fosters a diverse and inclusive neighborhood.

I commend the District of West Vancouver for their efforts in developing this plan that addresses the urgent housing needs of our community. The thoughtful planning process demonstrates a commitment to creating a sustainable and livable future for all residents.

Thank you for considering my perspective on this matter. I look forward to positive outcomes that will ensure a bright future for all residents of West Vancouver.

Warm Regards,

[REDACTED] s. 22(1)

[REDACTED] s. 22(1)

West Vancouver, BC [REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 9:04 AM
To: correspondence
Cc: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson
Subject: Proposed Ambleside Community Plan

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Council,

I am writing to express my heartfelt concerns and strong support for the Ambleside plan. As a husband and father renting in West Vancouver, I am deeply troubled by the limited housing inventory and its potential impact on our family's ability to remain in this community we have come to love.

Living in West Vancouver has been a dream for our family, thanks to its excellent schools, beautiful surroundings, and strong sense of community. However, as housing costs continue to rise and availability remains scarce, my wife and I face the daunting prospect of being priced out of our home. This uncertainty weighs heavily on us, as we fear having to uproot our children from their school, friends, and the support network we have built here.

The proposed plan for Ambleside presents a critical opportunity to address these challenges by advocating for increased housing density and affordability. By expanding housing options, particularly affordable homes suitable for families, we can ensure that West Vancouver remains accessible to all residents who wish to contribute to and benefit from our vibrant community.

In conclusion, I urge you to approve the proposed Ambleside plan. By supporting initiatives that prioritize housing affordability and community resilience, we can preserve West Vancouver as a place where families can continue to grow and build meaningful lives.

Thank you for considering my perspective on this important matter. I am optimistic that together, we can work towards securing a brighter future for all residents of West Vancouver.

Thank you,

[REDACTED] s. 22(1)

West Vancouver

BC

[REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 12:55 PM
To: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Linda Watt; correspondence
Cc: [REDACTED] s.22(1)
Subject: Ambleside Local Area Plan

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council,

We are writing to express our strong opposition to the bylaw changes for the Pink Palace at 2222 Bellevue and the Shoreland at 2190 Bellevue as described in the new Ambleside Local Area Plan. If these proposals are approved, they will significantly impact our quality of life, particularly concerning neighbourhood density, open spaces, views, and property values of the surrounding properties.

- 1. Increased FSR and Building Height:** The proposed bylaw changes include increased floor space ratios (FSR) and building heights, along with additional “infill buildings” on these sites. This would result in a cluster of buildings standing mere feet apart on lots too small to accommodate such expansions. The change in FSR from 1.75 to 3.0 is almost double the existing allowable density.
- 2. Impact on View Corridors and Light:** The developments will significantly obstruct view corridors and reduce available light, which are essential elements of our community's appeal.
- 3. Property Value Reduction:** It is well known that comparable units with the only material differences being that of views from the suites, the suites with a better view have a higher market value. Those units that will have their existing views reduced with suffer a loss in their property value. Approximately 50% of the units [REDACTED] s.22(1) will have their views effected, loss of value of those units will trickle down to all units in the building due to comparative market forces. How are the owners of these suites to be financially compensated for the financial loss due to the decreased value of their main asset, their homes?
- 4. Over-Densification:** These developments will alter the immediate neighbourhood's landscape, resulting in over-densification that is inconsistent with the character of our community.
- 5. Impact on Iconic Buildings:** The Pink Palace and Shoreland are iconic buildings with historical significance, appreciated for their distinctive designs. Altering these sites would erode part of our neighbourhood's unique identity.
- 6. Lack of Affordable Housing:** The additional apartments proposed are primarily luxury rental suites, which do not address the critical need for affordable housing for seniors, new families, firemen, teachers, and other essential community members.
- 7. Traffic:** Within one block of the Pink Palace and Shoreland the increased density would add hundreds of additional suites.

8. **Gentle Densification:** Why did council turn down gentle densification on residential properties for coach houses and secondary suites yet are more than willing to almost double density in our area?

In the immediate neighbourhood of 22nd and Bellevue, we have already experienced significant increases in density with developments like the large tower at 2289 Bellevue, the infill buildings at Hollyburn (2100 Bellevue), and the upcoming projects at 22nd and Gordon Avenue.

Many council members made commitments during the 2022 election campaign to maintain neighbourhood character, promote “gentle densification,” protect views, prioritize residents, and add diverse housing options to attract young families and allow seniors to age in place. We hope these principles will be considered in the final decision regarding these proposals.

Thank you for your attention to our concerns. We look forward to your response and hope for a decision that preserves the quality of life in West Vancouver.

Sincerely,

s. 22(1)

West Vancouver

From: [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 2:12 PM
To: correspondence
Cc: Mark Sager, Mayor; Christine Cassidy; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Linda Watt
Subject: West van OCP

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1) Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council,

As a small business owner with aspirations to establish a presence in Ambleside, I am writing to express my support for the proposed Ambleside Community Plan. The potential for growth and development in this area is immense, yet the current lack of density and office spaces poses a significant challenge for entrepreneurs like myself.

The Ambleside plan offers a strategic vision to address these issues by promoting thoughtful development and increasing both residential and commercial spaces. By enhancing the density and providing more office spaces, the plan would not only make it feasible for businesses to set up shop but also attract a more diverse and vibrant community to the area.

Implementing the Ambleside plan is crucial for fostering an environment where small businesses can thrive. A bustling business district will create jobs, stimulate the local economy, and contribute to the overall vitality of West Vancouver. As someone eager to contribute to this dynamic future, I strongly urge you to prioritize and support the Ambleside community plan.

Thank you for your consideration and for your commitment to the future of West Vancouver.

Sincerely,

[REDACTED] s.22(1)
[REDACTED] North vancouver
[REDACTED] s.22(1)

[REDACTED] s. 22(1)

From: s. 22(1)
Sent: Tuesday, June 18, 2024 4:41 PM
To: correspondence
Subject: Fwd: Ambleside Local Area Plan

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Subject: RE: Ambleside Local Area Plan

It is with some concern that I read about the proposed changes for the 2200 block of Bellevue Avenue. It was my understanding that the density was to be increased to FAR 2.0 to bring all the existing structures in compliance.

!

I now understand the "Pink Palace" 2222 Bellevue is c being planned for an FAR of up to 3.0, with the potential for a 10-storey tower on the south east corner of the property. We are concerned that this increase in density would be excessive.?

I'm somewhat confused, as by the owner's actions they are upgrading the existing units as they become vacant, at 2222 Bellevue, and also with the blue building, which they also own, at 2190 Bellevue. I understand they are a large Toronto property management company with approximately 60,000 suites across Canada and little direct interest in West Vancouver. These two very prominent buildings in the area and the owner's proposed intentions should be understood by the District and by the residents who live in this neighbourhood before any plans are made for this area.

Thank you for considering my concerns.

s. 22(1)

From: s. 22(1)
Sent: Tuesday, June 18, 2024 9:02 PM
To: correspondence
Subject: Ambleside community plan

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Dear Mayor and Council Members,

I am writing to express my strong support for the proposed community plan for the Ambleside area. As a mother raising a young family in the region, I have experienced firsthand the challenges posed by the high cost of housing in West Vancouver. Sadly, this has forced many families, including mine, to relocate to more affordable areas despite our deep roots and familial ties to this community.

The proposed plan represents a crucial opportunity to address some of the challenges by promoting increased housing density and affordability. By encouraging the development of diverse housing options, including affordable homes suitable for families, we can ensure that future generations have the opportunity to grow and thrive in West Vancouver. This approach is not just about meeting housing needs but also about fostering a community where families of all backgrounds can live, work, and play together.

I commend the District of West Vancouver for their efforts in crafting a comprehensive plan that prioritizes the well-being and future sustainability of our community. The thoughtful consideration given to balancing growth with environmental stewardship and community cohesion is commendable and aligns with the values that make West Vancouver such a special place to live.

Thank you for considering my perspective on this important matter. I look forward to seeing positive steps towards a more sustainable and vibrant West Vancouver.

Sincerely,

s. 22(1)

North Vancouver, BC

s. 22(1)

From: s. 22(1)
Sent: Sunday, June 16, 2024 10:25 AM
To: s. 22(1) Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Listen to taxpayers and be financially prudent =+

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s. 22(1)
West Vancouver
s. 22(1)

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Listen to taxpayers and be financially prudent

My name is s. 22(1) and I am a resident of West Vancouver.

Listen to taxpayers
be financially prudent including controlling staff expenditure

Thank you.

s. 22(1)

From: s. 22(1)
Sent: Sunday, June 16, 2024 11:11 AM
To: correspondence
Subject: Opposition to 2368 Bellevue High Wall design

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Subject:

Dear Members of the City Council,

As a resident who walks almost daily past the proposed location for the new home, I want to express my concerns. I currently enjoy the greenery on the southern edge of this property along the Seawall walk, and the thought of looking at an 18-foot high concrete wall on the south side and a 10.85-foot wall on the east side is disheartening. Even if terraced and landscaped, such a structure would look overpowering and totally out of place. I imagine the side walls will also be 18' high where they connect to the south wall.

This might be one of those critical moments for the council to say no before a monstrous build takes place, rather than saying afterwards that things should have been handled differently. There have already been too many inconsiderate builds that ruin neighbors' enjoyment of their own homes and properties, creating eyesores for others, all for the benefit of selfish owners who disregard their neighbors. This is going to look like a WW2 Bunker!

Furthermore, this build, if allowed, will be visible for many decades. Given the average 4-7 year moving rate of Canadians, the current owners may not even be around that long, further showing that the build is not necessary, but obviously good for resale value.

The owners' desire to build a high pool with elevated views at the expense of common sense and enjoyment for others is purely selfish. I urge the council to not pass this build and perhaps even go further to discourage such selfish actions elsewhere.

I am confident that every homeowner on my street would love to build such walls along our lane to raise their yard up 18 feet. My own property drops s.22(1) to the lane. As I look at my own yard while typing this, I think about what a great view my backyard would have.

The precedent set may be hard to stop.

Where does this craziness stop!

Reviewing the signage on the site it doesn't properly display what is being proposed. The drawing is misleading in scale and impact and does not mention any requests for higher walls than bylaws currently allow. No wonder not many have complained. If your basing your decisions on these drawings please do not be misled. This is a very common architectural trick to down play a projects impact. Photo attached.

Thank you for considering my concerns.

Sincerely,

West Vancouver

NOTICE

PROJECT DESCRIPTION

APPLICANT: Feenstra Architecture Inc.
LOCATION: 2368 Bellevue Avenue
PROPOSAL: Development Permit application to construct a single family house on this site with living level above Flood Construction Level. Garage and non-habitable space located on lower level. New flood protection wall next to seawalk requires retaining wall variance.

PROPOSED DEVELOPMENT INFORMATION MEETING

DATE: April 18, 2024 6 pm - 8 pm
OPEN HOUSE: Cedar Room
LOCATION: West Vancouver Community Centre
ADDRESS: 2121 Marine Drive

CONSIDERATION OF PERMIT

DATE: to be confirmed
TIME: to be confirmed
LOCATION: to be confirmed
ADDRESS: to be confirmed

FOR MORE INFORMATION

APPLICANT: Feenstra Architecture Inc (Ted Feenstra) / 604 739-8888 / ted@feenstra.ca
DISTRICT CONTACT: Hanna Demyk / 604 913-2750 / hdemyk@westvancouver.ca
ONLINE: <https://live.google.com/feeds/1-Westpahe-009r18rC335r-Nly00m9k/streams/updates>

westvancouver

From: s. 22(1)
Sent: Sunday, June 16, 2024 8:28 PM
To: correspondence
Cc: mark@westvancouver.ca ; Christine Cassidy; Sharon Thompson; Linda Watt
Subject: Thank You for your Unanimous Vote on May 27th to Reject Provincial Rezoning Mandates!

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Mayor and Council Members
District of West Vancouver
750 17th Street
West Vancouver, BC V7V 3T3

Dear Mayor and Council Members,

s. 22(1) I am writing to express our sincere appreciation for your recent decision to reject the proposed rezoning that would have implemented new provincial housing rules in West Vancouver. Your unanimous vote on May 27th to maintain the existing zoning regulations demonstrates a strong commitment to representing the best interests of our community.

The decision to resist the provincial directive shows prudent foresight and a deep understanding of the unique character and needs of West Vancouver. By choosing not to align with the blanket rezoning mandates from Victoria, you have upheld the integrity of local governance and preserved the carefully planned development framework that reflects the wishes of West Vancouver residents. For that, we are ever grateful as it requires courage and conviction to stand up to the government's mandated rules.

Councillor Linda Watt's advocacy for local autonomy and her principled stance against external interference resonates deeply with many of us who cherish the distinctiveness of our community. Her assertion that local planning should not be superseded by top-down mandates reflects a sentiment shared by numerous residents.

Furthermore, Councillor Christine Cassidy's critique of the provincial rules highlights concerns about preserving community identity and managing growth responsibly. Her cautionary remarks about the potential unintended consequences of widespread rezoning echo widespread sentiments among West Vancouverites. We very much appreciate your courage to stand up to our current government and their forced provincial rules that are "an extreme form of socialism, bordering on communism", and not democratic.

Councillor Sharon Thompson's emphasis on "gentle infill" and the ongoing progress in housing developments above Highway 1 underscores a balanced approach to accommodating growth while maintaining environmental and infrastructural sustainability. We are so fortunate to be able to tell you that we will be one of the s.22(1)

In rejecting the rezoning proposal, the Council has not only safeguarded West Vancouver's unique character but also signaled a commitment to thoughtful, community-led development. This decision, made in consultation with local stakeholders, reflects a dedication to responsible governance and responsive representation.

We commend the Council for their courage and leadership in this matter. Your decision is a testament to your commitment to serving the community's best interests and ensuring that any future developments align with the values and needs of West Vancouver residents.

Thank you once again for your dedication to preserving our community's identity and quality of life. We can't wait to [REDACTED] s. 22(1), West Vancouver.

Sincerely,

[REDACTED] s. 22(1)

[REDACTED] s. 22(1)

West Vancouver, BC [REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Sunday, June 16, 2024 7:17 AM
To: [REDACTED] s. 22(1); Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: I don't want any projects that will change the character of our municipality or destroy its ecological integrity =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

[REDACTED] s. 22(1)

[REDACTED], West Vancouver, BC [REDACTED] s. 22(1) Canada

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

I don't want any projects that will change the character of our municipality or destroy its ecological integrity

My name is [REDACTED] s. 22(1) and I am a resident of West Vancouver.

I want direct voting from West Vancouver residents to decide any changes in the quantity of new housing being approved in our municipality or any changes being considered in the density of population for our municipality.

Thank you.

[REDACTED] s. 22(1)

From: [REDACTED] s. 22(1)
Sent: Sunday, June 16, 2024 7:02 AM
To: [REDACTED] s. 22(1) Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: Protecting the character and quality of life in West Vancouver =+

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[REDACTED] s. 22(1)

West Vancouver, BC [REDACTED] s. 22(1)

16 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Protecting the character and quality of life in West Vancouver

My name is [REDACTED] s. 22(1) and I am a resident of West Vancouver.

the residents of West Vancouver should be able to vote directly on any changes being considered in the quantity and density of future housing projects being considered in our municipality, since they may drastically affect the character and quality of life of our communities and also end up causing a permanent destruction of the ecological system of our green spaces.

Thank you.

[REDACTED] s. 22(1)

From: Mike Barker [REDACTED] s. 22(1)
Sent: Tuesday, June 18, 2024 4:11 PM
To: michaelbarker54@gmail.com; Christine Cassidy; Linda Watt; Nora Gambioli; Peter Lambur; Scott Snider; Sharon Thompson; Mark Sager, Mayor; correspondence
Subject: [SUSPECTED SPAM] Future development =+

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Mike Barker
1565 Fulton Avenue
West Vancouver
V7V 1S5

18 Jun 2024

Dear Mayor Sager and Councillors
District of West Vancouver

Future development

My name is Mike Barker and I am a resident of West Vancouver.

Please consider the negative impacts on the community, roads etc when making decisions on our behalf. 17 % of homes in WV are unoccupied.... Build more and what if those 17% are occupied... what a strain on the infrastructure.

Please **do not redact** my name or my home address or my email address.

Thank you.

Mike Barker
michaelbarker54@gmail.com



June 11, 2024

B.C. Municipalities and Regional Districts

CR-6871

RE: Support for Downloading Costs on Municipalities

Dear Municipalities of BC,

Kamloops City Council recently received a report titled "The Financial Impacts of Higher-Level Government Policy Change" at a May 28, 2024, Council meeting. The report highlighted a number of significant costs that have been downloaded to the municipality due to changes in policies or lack of Provincial action. It is attached for your reference.

Next steps are necessary in order to create a call to action for all provincial party leaders in British Columbia as the election approaches.

It is also crucial that we bring these costs to the attention of our constituents as they grapple with significant increases to taxation at the local level and seek to bring responsibilities and associated costs back into appropriate scope for all levels of Canadian government. We are therefore urging fellow municipalities in British Columbia to perform a similar evaluation of the costs of higher-level government policy changes on your communities so that we can effectively bolster the advocacy already happening through UBCM in concrete terms.

Through our collective strength, and as one unified voice committed to seeing positive change in our communities, we can make a difference for the citizens who have chosen to make British Columbia home.

Sincerely,

A handwritten signature in black ink, appearing to read 'Katie Neustaeter'.

Councillor Katie Neustaeter
Deputy Mayor, City of Kamloops

cc: Council
David Hallinan, Corporate Services Director, City of Kamloops

ADMINISTRATIVE REPORT TO COUNCIL

ON

FINANCIAL IMPACTS OF HIGHER-LEVEL GOVERNMENT POLICY CHANGE

PURPOSE

The purpose of this report is to provide Council with information pertaining to the impact that various changes at senior levels of government have had on City operations and budgets over the past five years.

COUNCIL STRATEGIC PLAN

This report supports Council's strategic priorities and areas of focus regarding:

- **Safety and Security**
 - Safety: We prioritize the safety of our community for residents, businesses, and visitors.
 - Housing: We proactively create opportunities to increase the inventory of diverse housing supply so that residents can access and move throughout the housing continuum.
 - Social Supports: We intentionally collaborate with key partners to create innovative solutions that respond to and address the community's needs.
 - Emergency Preparedness and Response: We build community resiliency, mitigate the impacts of emergency events, streamline response, and ensure our protective services align with evolving needs.
- **Governance and Service Excellence**
 - Asset Management: We plan for the development, improvement, repair, and replacement of our infrastructure.
 - Fiscal Responsibility: We are accountable to Kamloops residents and businesses in providing effective management, best value, and responsible use of tax dollars.
 - Service Excellence: We promote the continuous development of staff and encourage innovation in process and service delivery.
- **Livability and Sustainability**
 - Healthy Community: We foster an environment that supports and promotes healthy living through community, recreation, and social connection.
 - Inclusivity: We reduce barriers for underrepresented groups to bring inclusivity, diversity, and fairness to our community.
 - Climate Action: We practice discipline in our environmental responsibility by enhancing the City's resiliency and capacity for mitigating climate change. We actively implement actions to reduce our environmental impacts.
- **Economic Health**
 - Business Development: We ensure our efforts and investments are measurable and accountable.
 - Economic Strength: We build strategies to increase our competitive advantage, cultivate growth, and support our residents.

SUMMARY

On January 9, 2024, Council requested staff bring forward a summary of the City's costs associated with senior levels of government downloading services onto municipalities. The issue of downloading is complex and has become muddled by the impact of the various services that are expected to be provided by various levels of government. Services such as medical response become less clear when the interdependence between policing, fire, and ambulance services are called upon to address an emergency.

Other conditions are very clear and easily identified, as the relationship between federal and provincial responsibilities and those of local governments is easily distinguishable. Growing centres face increasing demands for service delivery to address growing social and health needs related to poverty, homelessness, and medical support. At the same time, the financial challenges facing all levels of government require alignment to provide services effectively. This report will focus on the different forms of downloading in six key focus areas:

- gaps in service delivery - areas where policy and/or service delivery should fall under federal or provincial jurisdiction
- senior government services shortfalls - areas where service is delivered by senior government and there are gaps in the service level addressed by the local government
- legislative and regulatory framework - changes to senior government legislative and regulatory framework that impacts municipal budgets
- property taxation policy and partnering - changes by senior government to property tax policy that impacts the City's ability to collect or increase taxes and partnering on infrastructure upgrades
- emerging service - areas of emerging service need that have resulted in an expanded mandate or increased cost on local governments
- future impacts - changes that are either known or are still in a phase of materializing with an impact on local governments

RECOMMENDATION:

For information only.

DISCUSSION

Senior levels of government have been shifting services or costs onto local governments for many years. The period of review of this report is from the beginning of 2019 through the end of 2023. As a starting point, since 2019, both levels of senior government have continued to introduce changes to policy, legislation, and regulatory compliance during a period of considerable challenges in the employment market, the social environment, and the economy. As these impacts ripple through municipalities across the province, the impact is being felt at the local government level in the delivery of services and the need to adapt to address these changes is being felt by City operations and residents.

Many of the impacts being felt at the local level are attributed to changes initiated by the federal or provincial governments and gaps in the ability to deliver the requested services are becoming increasingly evident.

Several of the policy changes in effect have yet to impact the City financially; however, these changes are expected to affect the organization's future financial position.

Gaps in Service Delivery

Shelters, Social Housing, and Affordable Housing

In support of responding to the housing crisis and increasing homelessness, the following is a list of City-owned properties currently being leased or previously leased at a nominal fee (\$1) to the Province to provide shelter services, social housing, or affordable housing.

- Shelter Services
 - Memorial Arena and Kamloops Curling Club - leased during the pandemic (2020/2021) to provide up to 90 temporary shelter beds (\$250,000 lost revenue).
 - Kamloops Yacht Club - leased to provide 20 temporary winter shelter beds winter 2021/2022 and 2022/2023 (\$24,000 lost revenue).
 - Stuart Wood School - leased through joint approvals by the City and Tk'emlúps te Secwépemc to provide temporary winter shelter in winter 2017/2018 and 2021/2022 and served as a temporary shelter on an ongoing basis since November 2022 with a current lease to April 2024 (likely to be further extended).
 - 600 Kingston Avenue - leased for \$1 in 2021 to provide a 41-bed temporary shelter (Moira House) through to end of 2026.

- Supportive Housing
 - Idle City property located at 785, 805, 807, and 809 Mission Flats Road - leased to BC Housing for \$1 in 2018 to provide 54 temporary supportive housing units (ongoing) (the City's cost to acquire adjacent property (773 Mission Flats Road) and demolish older dwelling to accommodate displaced public works operations - \$727,000).
 - 317 Tranquille Road - long-term (60 years) lease to provide 58 supportive housing units (Spero House) (City cost to acquire and demolish the existing building - \$1.4 million).

- Subsidized Affordable Housing:
 - City property located at 445 5th Avenue and 527, 533, and 537 St. Paul Street was provided under a long-term lease (60 years) to provide 60 subsidized affordable rental housing units (Diversity Flats) (City cost to acquire the property - \$1.41 million).
 - City property located at 975 Singh Street was provided under a long-term lease (60 years) to provide 31 housing units for Indigenous youths and Elders (Kikekyelc: A Place of Belonging).
 - City property located at 440 MacKenzie Avenue was provided under a long-term lease (60 years) to provide 43 housing units for seniors.

The City’s total expenditures to accommodate the housing projects identified above is approximately \$3.537 million.

Housing Regulations (Bill 44 or 46)

The City works in partnership with the provincial government and BC Housing through a memorandum of understanding to support the planning, development, operations, and communications for future shelter, social housing, and subsidized affordable housing sites.

In 2023, the Province began issuing non-market and market housing targets to municipalities, including the City of Kamloops. Non-market housing is primarily achieved through provincial and federal funds, and market housing relies on investment and development by private landowners and developers.

Zoning changes required under Bill 44 to allow increased densities in urban areas will require significant infrastructure upgrades, which have not been accounted for in the Development Cost Charges Bylaw.

The Province also looks to the City to cover the costs for servicing and off-site improvements to assist in moving specific Province-led housing projects forward.

In summary, the costs in areas where policy and/or service delivery should fall under federal or provincial jurisdiction and where current gaps exist have negatively impacted the municipality either from a reduction in revenue, or the City costs to acquire property to support these forms of initiatives, along with recognizing the impact due to the loss of access and revenues on assets that are held for other civic purposes.

Gaps in Service Delivery	
Summary of Identified Costs	
Lost Revenue	\$274,000
Costs	\$3,537,000
Total	\$3,811,000

Senior Government Services Shortfall

This category impacts City service delivery and costs but is also difficult to quantify because they impact services in different ways and can be difficult to track. Costs that can be identified have been indicated.

Many of these cost impacts had been experienced by the local government; however, the COVID-19 pandemic placed a brighter spotlight on the growing opioid epidemic and the challenges in overall access to housing access and market affordability. Senior levels of government’s response to these crises has been felt on the front lines of many municipalities, including Kamloops.

Mental Health and the Toxic Drug Crisis



Kamloops Fire Rescue Medical Response

In addition to fire suppression, Kamloops Fire Rescue firefighters provide pre-hospital care as first responders to medical calls. Kamloops Fire Rescue's response to medical calls is approximately 66% of their annual calls for service. In the last three years, medical responses have increased by 57% between 2021 (4,600) and 2023 (7,200). Of the total annual medical calls, overdose/poisoning responses have increased by 57% between 2021 (540) and 2023 (845).

For 2023 medical responses, Kamloops Fire Rescue arrived on scene 75% of the time and an average of 4 minutes and 42 seconds before BC Emergency Health Services. Given an average call duration of 26 minutes for Kamloops Fire Rescue's medical responses, the 2,600 additional responses put significant pressure on existing crews and resources.

The 2023 budget for fire suppression and medical response was \$21.6 million. Given the large portion of response calls that are medical in nature, there is an implicit cost related to the increase in on-scene time due to delays in BC Emergency Health Services responses.

Overtime costs have increased by approximately 58% (\$180,000) since 2020, and sick leave hours have increased by 31% (4,800 hours) over the same period. Several factors contributed to these increases, but there is a correlation between the increased call volume, member fatigue, and rising leaves taken.

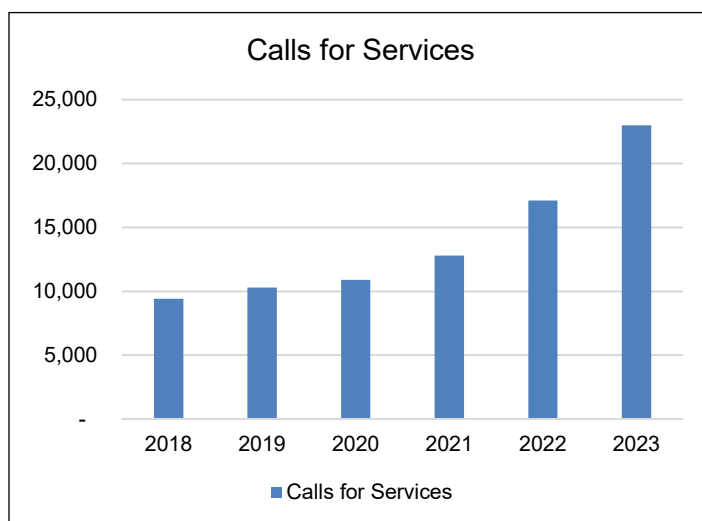
The City incurs a range of costs, including supplying medical supplies and Naloxone costs of about \$1,000 per year, as these supplies are consumed through these forms of Kamloops Fire Rescue responses.

In addition to the increase in overall operating costs, an additional complication is the potential risk of delayed responses to other calls or a future need for increased staffing to meet rising demand. Medical response is a value-added service that Kamloops Fire Rescue provides as the primary responsibility for pre-hospital care lies with the Province through BC Emergency Health Services.

Community Services

Leading up to 2019, it became apparent that social issues were increasing at the community level, and traditional Bylaw Officers lacked the skills to respond to these types of incidents safely. In response, the division was rebranded to Community Services, and Bylaw Officer positions were transitioned to Community Service Officers. This reorganization was intended to provide augmented services to support bylaw enforcement and to partner with the RCMP to introduce a greater combined presence within the city.

In 2018, 9,400 bylaw-related calls for service were received. Under the Community Services model, this has sharply increased each year, with 23,000 calls for service received in 2023. Of these calls, 24% were classified as social related.



This growth in call volume is attributed to residents’ increased awareness of the supports provided by Community Services and a continuation of the rising social issues that precipitated the creation of the department in the first place.

To respond to this rising call volume, Community Services has added six new full-time equivalents over the past five years, with those additional salaries and wages adding approximately \$860,000 to the budget annually. Community Services Officers receive a higher level of training (up to \$20,000) and equipment profile (up to \$20,000) than previously required, and more vehicles (five at approximately \$90,000 once fully outfitted each plus operating costs) have been required to support the increased officer numbers and call volume. The cost for homeless camp cleanup is a specific cost that has increased \$140,000 from 2018 levels.

Community Services Budget and Staff Levels¹

	2019	2020	2021	2022	2023
Salaries and Wages	\$2,581,000	\$2,851,000	\$2,975,000	\$2,775,000	\$3,788,000
Other	1,152,000	1,345,000	1,045,000	966,000	896,000
Total	\$3,733,000	\$4,196,000	\$4,020,000	\$3,741,000	\$4,684,000
Full-Time Equivalents	28.9	30.9	30.9	31.3	38.0

In fall 2022, BC’s Attorney General and the Minister of Public Safety and Solicitor General commissioned the Transforming Policing and Community Safety in British Columbia report. The report contained many recommendations to address the gaps in the system around the care of people with mental health and substance use needs involved in the criminal justice system. Central to this was the understanding of the need to increase non-police resources to address mental health and substance use issues.

An additional impact of the rising call volume and the resulting Community Service Officer resource constraints led to a temporarily reduced focus on parking enforcement in the key business corridors. Parking ticket revenues in 2021 decreased by approximately \$40,000 and by a further \$5,000 in 2022. Once additional Community Service Officer resources were added as part of the 2023 supplemental budget process, Community Services Officers were able to refocus on enforcement, and revenue returned to historical levels.

¹ Combined custody of prisoners, Community Services, and parking budgets. The salaries and wages decrease in 2022 is attributable to a realignment of budgets and positions to the new model.

On-Street and Off-Street Parking and Ticket Revenue

	2019	2020	2021	2022	2023
Parking Revenue	\$2,000,900	\$1,111,700	\$1,432,300	\$1,468,200	\$1,482,700
Ticket Revenue	166,400	105,900	62,500	56,300	113,100
Total	\$2,167,300	\$1,217,600	\$1,494,800	\$1,524,500	\$1,595,800

Parking revenue was significantly impacted by COVID-19 measures and has been slow to recover. This is partially a result of changes in demand due to an increase in remote office workers and the effects of reduced enforcement due to Community Service Officers' capacity constraints.

Contracted Security

During the transition period to the Community Services model, the need to supplement the emerging program with private security services was identified. These security firms were engaged to support and minimize community impacts brought on by an increase in social conditions caused by the COVID-19 pandemic, opioid crisis, and lack of safe and secure housing for marginalized people.

While the City implemented these supports, funding was provided received through provincial Strengthening Communities' Services Program grants provided for security services in the city's key commercial corridors. This funding package expired in summer 2023. To keep this important support in place, the City approved using \$450,000 from the Gaming Reserve to maintain this service until the end of 2023.

The costs for security services over the past three years were \$689,000 in 2021, \$1.023 million in 2022, and approximately \$1.177 million in 2023. These costs were offset by grant funding totalling \$1.650 million over the same period. Security is still utilized in park areas and overnight; however, Community Services now has capacity to reduce usage.

Continuing security costs for 2024 are estimated at \$75,000 per month to provide ongoing patrols at transit exchanges, parkades, and surface lots and to perform washroom lockups and night patrols in the parks.

Having initiatives being funded by non-taxation-based revenues (e.g. the Gaming Fund) creates a challenge for the organization in that these funds have traditionally been used to introduce specific projects or initiatives that are completed in a short-term period. With these funds being diverted, it limits the introduction of broader community-based amenities or initiatives that would be added with these non-taxation forms of funding.

Homelessness

On March 2, 2021, Council directed staff to create comprehensive short-, medium-, and long-term plans for preventing and alleviating street issues. One of the medium-term options proposed in the original Notice of Motion was to identify daytime space for street-involved

individuals. In July 2021, Council authorized Administration to enter into a short-term facility use permit with the Kamloops Aboriginal Friendship Society and The Mustard Seed to provide The Gathering Place, a seasonal outdoor day space for people experiencing homelessness that was operated in a City-owned parking lot at 48 Victoria Street West. Council authorized the seasonal day space for unhoused individuals at 48 Victoria Street West again in 2022, 2023 and 2024. This initiative operates from April or May to October and is funded through the federal Reaching Home program.

In March 2023, Council approved \$450,000 in funding from the Gaming Reserve to support social-related initiatives beyond the August 2023 conclusion of the Strengthening Communities' Services Program funding. This funding was to continue operating the Envision Outreach Shuttle, the Community Service Officers Outreach Response Program, and the Clean Team through the end of the year.

In November 2023, for the 2024 budget, Council approved \$682,000 in annual funding (the initial year from the Gaming Reserve) to support the Community Service Officers Outreach Response Program (\$422,000) and the Clean Team (\$260,000) on an ongoing basis. The Envision Outreach Shuttle is now supported by funding from the federal Reaching Home program.

Social and Community Development Section

In 2009, Council adopted the Kamloops Social Plan, which resulted in the creation of the Social and Community Development Section to address community needs through the provision of programs and services to support community well-being and an inclusive, accessible, healthy community.

This portfolio puts particular emphasis on supports for vulnerable demographic groups, including, among others, seniors, children and youth, low-income families, Indigenous people, people with disabilities, and people experiencing homelessness. All municipalities have undertaken a social planning and community development function.

For many years through this portfolio, the City has provided affordable access to recreation and transportation; programs for youth, seniors, people with disabilities, and low-income families; food security initiatives; engagement with neighbourhood associations and support for community development initiatives; social and community development grants to community -based programs in alignment with Council and community priorities; coordination and support for community partners in addressing social issues; and social plans in the areas of food security, youth homelessness, childcare, affordable housing, accessibility and inclusion, and housing needs.

Over the past decade, new and growing social issues and community needs have arisen that municipalities, government agencies, and community partners are responding to. These include, among others:

- the toxic drug supply crisis
- the housing crisis and an increasing scale of homelessness
- limited access to and availability of childcare spaces
- increasing food insecurity

These issues are compounded by strains on our health care system and social safety net, climate change impacts, and demographic transitions. While housing, childcare, health care, and social services fall under the jurisdiction of senior government, these emerging social and community needs require municipalities to respond to address gaps where provincial and federal partners are not meeting them. This has resulted in the growth of social planning and community development portfolios in municipalities across the province and the country.

Prior to 2021, the City's Social and Community Development Section included five staff: a supervisor, two union coordinators, one union coordinator specifically for the Emergency Support Services program, and a project manager to support administration of the federal Reaching Home program.

In 2021, with escalating social issues creating increased impacts in the community, a new management position was created to provide oversight, direction, and additional capacity to the portfolio and to support relationship-building and partnership development with senior government agencies, including BC Housing, Interior Health, the Ministry of Social Development and Poverty Reduction, and the Ministry of Mental Health and Addictions. An additional Reaching Home project manager position was also created to support the program's increasing scale.

In 2022, a new supervisor position, predominantly funded through the federal Reaching Home program, was created to provide oversight and management support for the expanding program and to address new responsibilities given to the City as the local administrator of the program, including the development of a coordinated access and assessment system and a homelessness information management system. This new supervisory role also increased capacity to support the Emergency Support Services program, which is being activated with increasing frequency and duration to support regional evacuees fleeing the increasing number and scale of wildfires and floods.

Social and Community Development Section 2019–2023

The federal Reaching Home program funds the Social and Community Development Section. Most of the Reaching Home funds are provided to community programs and services to prevent and reduce homelessness in Kamloops, with the City utilizing an allocated portion for program administration, staffing, and specific projects like the Point-in-Time Count or extreme weather supplies for unhoused individuals.

The following table does not include salaries and wages for the Emergency Support Services program staff, which come from a different program. The federal government invested significant additional funds into the Reaching Home program during the COVID-19 pandemic.

	2019	2020	2021	2022	2023
Salaries and Wages	\$131,000	\$163,000	\$405,000	\$388,000	\$582,000
Community Programs and Services (Reaching Home, Service Agreements, Social and Community Development Grants)	1,219,000	2,211,000	4,664,000	2,258,000	2,577,000
Grant Funding	(569,000)	(1,426,000)	(4,036,000)	(1,640,000)	(1,874,000)
Total	\$781,000	\$948,000	\$1,033,000	\$1,006,000	\$1,285,000
Full-Time Equivalents (not including Reaching Home and Emergency Support Services program staff)	3.0	3.0	4.0	4.0	4.0
Full-Time Equivalents (including Reaching Home and Emergency Support Services program staff)	5.0	5.0	7.0	8.0	8.0

The ownership of the services identified under senior government services shortfalls can be described as shared between all three levels of government. These services, specifically the ability to clearly delineate where one level of government’s responsibility starts and another’s ends, are muddy at best. The service that best shows this is emergency/medical response. It is commonplace to see multiple first responders dealing with a situation, so while the local government incurs some of these costs, it is reasonable that those costs would be incurred regardless of the nature of the situation being responded to.

Government Shortfalls	
Summary of Identified Costs	
Overtime Costs	\$400,000
Medical Supplies	\$5,000
Camp Cleanup	\$210,000
Community Service Officers	\$813,000
Security	\$1,239,000
Community Programs	\$787,000
Total	\$3,454,000

Legislative and Regulatory Framework

Municipalities are often impacted by senior government policy and legislation that result in increased spending by municipalities. While not directly considered downloading, these collectively require the City to increase its budgets or staffing. In a number of these circumstances, a stronger consultation process would improve coordination and help municipalities minimize additional costs.

Response to Emergency Situations

Kamloops is centrally located in BC's Interior. In many circumstances, it becomes the destination for many other Interior residents during periods of local evacuation orders. Over the past number of years, Kamloops has been relied on as a host community for displaced residents from Merritt, Williams Lake, and Lytton.

With the changes to the *Emergency and Disaster Management Act* and a new potential requirement to be a host community, these services are necessary for evacuees, and supplying them is very impactful to the corporation's ability to maintain its brand of Canada's Tournament Capital.

Many City facilities become unavailable during host community activations to support many of the displaced residents or responding agencies. As these types of events become more frequent, the City is expected to experience a larger financial impact and that there will be less access for sports organizations and residents. In many circumstances, a number of these residents chose to remain in the city after many of the displaced people have returned home.

The Province covers some of these expenses; however, some costs, such as technology access and lost revenues, are not covered while the facility is unavailable. Potentially adding to the situation is the impact on reputation as the public becomes increasingly aware of the impacts that, for example, wildfires have on evacuation and air quality. Areas where these conditions exist become less desirable, and tourists and visitors are booked elsewhere where there is a greater level of comfort that these conditions will not impact their plans or events.

Adding to the delay in resuming normal City activities is that staff time is required to clean and prepare the facility to support program delivery.

Bail Reform

Kamloops RCMP experienced an increase in calls for service from 45,000 in 2019 to almost 47,000 in 2022. Of those calls for service, criminal code offences increased by 3,500 over the same period. Many of these calls were related to mental health issues, addiction issues, and level of homelessness are a common theme with many missing person files. These investigations are challenging as those closest to these missing individuals are often difficult to locate. These investigations can be costly and resource intensive.

In response to rising case files per member, Council authorized an increase in the number of authorized RCMP members. For 2024, the budgeted target is 138 members, an increase of nine members over the previous budget level of 129. At the current estimated cost of \$225,000 per member, this equates to a \$2.0 million budget increase.

This increased amount does not account for the municipal support employees and facilities requirements needed to support a growing RCMP contingent. It should be noted that rapid population growth in Kamloops would have resulted in the need for additional policing resources regardless, but the timing was accelerated due to the rising caseload.

Changing Policies Towards Substance Use and Safe Supply Access

These policies impact the overdose crisis and the overall community. They add to the cost of delivering City services across multiple departments, as outlined in the medical response section.

WorkSafeBC Regulation Changes

Mental Health/Psychological

In 2012, WorkSafeBC introduced amendments to the *Workers Compensation Act* recognizing the impact of traumatic workplace events. These types of events have grown over the years as the impacts of mental health and psychological conditions are becoming more prevalent in the workplace, increasing psychological injuries.

The cost of a psychological injury in 2021 was \$220,270, which is five times more than a physical injury. As the number of accepted psychological injuries is increasing, the City has responded by providing various resources around mental health through benefits and an employee and family assistance program.

In support of these changing developments, the City has developed a wellness committee that focuses on mental and physical health. Through this committee, the City completes a Workplace Mental Health Essentials Canada to review where the city is currently at regarding mental health and to provide some guidance on the next steps to become a psychologically safe workplace.

Asbestos Certification and Licensing

WorkSafeBC introduced more stringent requirements for additional training with asbestos, which led to increased training for staff and contractors. These are all positive changes from a safety perspective but come with a cost to the City. The regulation changes required any City staff who handle asbestos or oversee contractors who handle asbestos to take additional training.

Of the staff who handle asbestos, 38 have achieved in level 1 certification at a total cost of \$4,500, and two staff have achieved level 3 certification at a total cost of \$3,000. Level 1 training is one full day, level 2 training is three full days, and level 3 training is one full day. Completion of levels 1 and 2 is a prerequisite for level 3.

In these circumstances, there is an additional cost to the City, either for employees who, while receiving training, are not available to deliver on City services or for contractors who, with training, pass this time on to the City as part of the overall cost to deliver the work that they are undertaking.

Traffic Control

The updated Traffic Management Manual (2020) required flashing arrow boards to be added to the tops of 25 City vehicles. Each of these arrow boards costs approximately \$3,000, for a total spend of \$75,000. Another requirement with the new regulations is the use of portable traffic signals. The City needed to purchase two portable traffic signals for \$57,500 each. In addition to these capital costs, any projects which require traffic control are seeing cost increases due to the new regulatory requirements.

Adding to overall safety awareness, in 2021, the change in requirements to provide a more stringent level of traffic control led to an increase in training requirements for training, staff time on site for assessments, and overall projects costs. These are all positive changes from a safety perspective but come with a cost to the City.

Other Financial Impacts

Employer Health Tax

Effective January 1, 2020, the provincial government introduced the employer health tax as a replacement for the previous premium-based BC Medical program. The BC Medical premium was a fixed amount per person, or couple as opposed to a percentage allocation based on total payroll. The City’s annual payroll is more than the \$1.5 million threshold that results in the provincially mandated tax rate of 1.95% of gross salaries and wages.

	2019	2020	2021	2022	2023
BC Medical	\$516,800				
Employer Health Tax	-	\$1,224,336	\$1,295,694	\$1,391,639	\$1,440,000
Difference Over 2019	-	\$707,536	\$778,894	\$874,839	\$923,200

When introduced in 2020, organizations with an annual payroll of less than \$500,000 were exempt from paying the employer health tax. As a result, many of the larger organizations, such as municipalities, were placed in the position of carrying the cost burden of these smaller businesses. This impact is expected to continue and to grow, proposed legislation changes for 2024 are expected to see the exemption limit double to organizations with an annual payroll of less than \$1.0 million.

Provincially Legislated Five Paid Sick Days

In addition to the number of sick days identified in the City of Kamloops collective agreement with CUPE Local 900, at the start of 2022, the Province legislated five sick days for staff who are not part of the union. The cost to the City in 2023 was \$24,467.

BC Carbon Tax

Since 2008, the provincial carbon tax has been applied to the purchase or use of fossil fuels, such as gasoline, diesel, natural gas, heating fuel, and propane. The carbon tax is collected at the fuel’s point of retail consumption. In 2008, the BC carbon tax rate was calculated based on



\$10 per tonne of carbon dioxide equivalent emissions (tCO₂e) produced at combustion. In 2023, the rate used by the Province and the federal government is \$65/tCO₂e.

Carbon Tax Rate by Fuel Type by Year

Fuel Type	2019	2020	2021	2022	2023
Gasoline (\$/L)	\$0.089	\$0.089	\$0.099	\$0.110	\$0.143
Diesel (\$/L)	\$0.102	\$0.102	\$0.117	\$0.130	\$0.169
Natural Gas (\$/GJ)	\$1.99	\$1.99	\$2.31	\$2.56	\$3.24

Gov.BC.ca/Assets/Download/2B773FE65B2E4370A4369A92311CA780

Carbon Tax Cost on Operations by Fuel Type by Year

Fuel Type	Average Consumption /Year*	2019	2020	2021	2022	2023
Gasoline \$/L	400,000 L	\$35,600	\$35,600	\$39,600	\$44,000	\$57,200
Diesel \$/L	930,000 L	\$94,860	\$94,860	\$108,810	\$120,900	\$157,170
Natural Gas \$/GJ	81,433 GJ	\$162,072	\$162,072	\$188,110	\$208,468	\$263,843
Total Carbon Tax Estimate		\$292,532	\$292,532	\$336,520	\$373,368	\$483,213

*Average consumption volume has been kept flat to show the impacts of the change in the carbon tax on operations.

Based on the estimates in the table above, carbon tax represents \$483,213 of the \$3,329,400 paid for fossil fuels used in the delivery of municipal services in 2023. These carbon tax expenses are partially offset by the \$325,000 of revenue the City receives through the Local Government Climate Action Program.

The Local Government Climate Action Program replaced the former Climate Action Revenue Incentive Program that was retired in 2021 and effectively reimbursed 100% of the carbon tax paid by municipalities for publicly reporting their annual greenhouse gas emissions.

This taxation impact on the City is expected to grow and increase as planned increases have already been identified at the provincial and federal government levels. As of April 1, 2024, the carbon tax rate increased by 23.0% from \$65 to \$80 per tonne.

Various Permitting (or Licensing)

Part of the ongoing relationship between City staff and other ministries of both governments or other government agencies is working within the regulatory and compliance requirements that are in place. Many of the requirements result in the need to secure “permission” before performing specific project works.

In many of these situations, delays are encountered in securing the completed permit in a timely manner. In some instances, these delays extend over many months and even years and, as a result, increase the project’s costs due to these delays. In addition to this cost increase, there is a domino effect where the delay in one year will impact future years’ project timing, priorities, funding, and access to resources.



The financial impact of these forms of delays is difficult to measure as inflationary impact due to supply and demand, supply chain issues, and contractor availability all contribute to cost increase caused by permitting delays.

Regulations

Enhanced enforcement of regulations has led to higher project costs as we comply with building permitting, the *Heritage Conservation Act*, and the *Wildlife Act*.

Changes to existing regulations affect our ongoing operations, as staff need to ensure compliance with the regulations and change existing capital plans where they no longer fit the regulations. Changes in regulations for things like wastewater, organic matter, drinking water, and privacy require a lot of internal and external resources to ensure we are continually compliant. In cases such as the Commercial Vehicle Safety Enforcement hour of work regulation changes, it affects how we can meet our service level within our approved staffing.

While many of the regulatory changes are resulting in a positive impact on City operations, particularly those that help provide a safer working environment for the nearly 1,000 employees, others do not. Introduction of the employer health tax and the bc carbon tax add to the City’s overall costs, and while they are intended to provide a greater value to the Province, they leave little being returned to the municipality.

Legislative and Regulatory Framework	
Summary of Identified Costs	
RCMP	\$2,030,000
Asbestos Training	\$185,000
Traffic Management	\$132,500
Employer Health Tax	\$3,284,469
Provincially Mandated Five Paid Sick Days	\$24,467
BC Carbon Tax	\$206,581
Total	\$5,863,017

Property Taxation Policy and Partnering

Supportive Housing Exemption

In addition to statutory and permissive exemptions, eligible properties designated as supportive housing (Class 3) are assessed at a nominal value and are effectively exempt from property taxes.

The Province created this property class pursuant to the *Small Business and Revenue Statutes Amendment Act, 2008*. This exemption is applied to 19 Class 3 properties. It is difficult to project what the assessed value and corresponding taxes of these properties would be.



Provincial Partnership in Municipal Upgrades

In many instances when City infrastructure is being revitalized, such as work recently completed on the Victoria Street West corridor, partnerships with Crown agencies or private companies result in increased costs to the City. Many of these agencies benefit from activities like installing infrastructure underground instead of maintaining it overhead or relocating their infrastructure to provide easier access. In many of these situations, there is no fair consideration of the value the third party provides. In these situations, the City identifies an overall fully funded budget to deliver the project uninterrupted.

This situation also exists when Crown agencies upgrade their infrastructure and restore the location. However, rather than restoring the area to a preferred standard, these agencies restore to a like-for-like deliverable instead. For example, instead of installing curb, gutter and sidewalk to current design standards, they replace it to the same standard curb as the existing outdated infrastructure.

Emerging Services

Implementation of Surrey Policing Service

Kamloops is a large municipality in relation to the surrounding communities and as a result, the city has the largest comparative contingent of RCMP members in the Thompson region. This allows for additional specialty members, such as a dog team, identification and forensic specialists, and emergency response team members. The Kamloops RCMP Detachment also has two provincially funded forensic members.

These specialty members are expected to cover the entire Thompson region and are often tasked outside the community to support smaller municipalities and rural areas. There is currently no cost-sharing initiative to support this central resource, so the City bears an outsized portion of the carrying costs for these shared resources.

The City of Surrey is transitioning from the RCMP to a municipal police force. Surrey has had the largest RCMP contingent in the province, so its departure will have a significant, although currently unknown, impact on ongoing operations. For example, ticket revenue for the province is pooled and paid to member communities through a pro-rata allocation based on member full-time equivalents. Surrey's pending transition from the RCMP will decrease the RCMP's total full-time equivalents and likely reduce the total ticket revenue collected and distributed. The City has already experienced a \$100,000–\$150,000 per year reduction in ticket revenue.

On the contract cost side, the impacts of Surrey's departure on divisional overhead, recruitment, and training expenses remain unknown. These costs are also allocated based on the full-time equivalents model, with an expectation that with fewer province-wide full-time equivalents to allocate against, the City would see an increase in the cost per member.

Future Impacts

Orphan Dikes

During flooding, mainly in the 1970s, many dikes were constructed on an emergency basis and not to applicable standards. Responsibility for these dikes was never established, and they became known as orphan dikes. In 2020, the Province contracted a consultant to assess all orphan dikes in BC.

The estimated cost to upgrade the orphan dikes within Kamloops' jurisdiction was \$115 million. We can assume that the cost has drastically increased with the inflation of construction services. If the Province continues with the strategy of assigning responsibility for orphan dikes to local governments, the cost and liability of this assignment would be immense.

Dams (Inherited)

During its amalgamation, the City of Kamloops inherited several small dams operated by the BC Fruitlands Irrigation District. The City has never used or operated these dams but is responsible for their liability.

The current cost estimate for decommissioning these dams is \$5 million, and this estimate is included in both the 2027 and 2028 water utility capital budgets. There are ongoing discussions with the Province and Tk'emlúps te Secwépemc to find more cost-effective and less environmentally disruptive options.

Childcare

As the demand on working parents increases, local governments have started to be drawn into the area of childcare. As Kamloops continues to grow, there is a need to support current municipal employees, other residents, and future residents. This concern may materialize in several ways. Subsidized childcare services may be provided, property or venues may be identified and provided, or local government may take on the responsibility of filling the gaps in the marketplace. Any costs associated with childcare are unknown until the details and nature of the programs and responsibilities are known.

With the ChildCareBC New Spaces Fund, 100% of project costs are covered if the applicant and landowner is a local government, Indigenous organization or governing entity, or a public body such as a health authority, board of education, post-secondary institution, or Crown Corporation. However, only 90% of project costs are covered if the applicant and landowner is a non-profit entity or independent school. This places additional pressure on the City to sponsor applications and provide land.

Sustainability

In March 2021, the Province redefined and introduced new 2030 emissions targets within four target sectors to meet provincial greenhouse gas targets. Many of these targets transcend the service activities of the municipality.

These changes to the provincial emissions targets align with the federal 2030 Emissions Reduction Plan. The plan reflects input from provinces, territories, Indigenous Peoples, the Net-Zero Advisory Body, and interested Canadians on what is needed to reach Canada's more ambitious climate target of 40%–45% emissions reductions by 2030.

In October 2023, amendments to the *Zero-Emission Vehicles Act* implemented accelerated sales targets for new light-duty vehicles sold in BC, which were initially announced in the CleanBC Roadmap to 2030, so that 26% of light-duty (cars and trucks) vehicle sales in the province are zero-emission vehicles, 90% by 2030, and 100% by 2035.

The *Canadian Net-Zero Emissions Accountability Act* sets out Canada’s commitment to achieving net-zero emissions by 2050. The act ensures transparency and accountability as the government works to deliver on its targets and requires public participation and independent advice to guide the Government of Canada’s efforts.

While there are currently revenue streams providing funding to either the federal or provincial governments through the carbon tax, the level of revenues that are anticipated to be collected is greatly outpacing the amount of funding being provided back to local governments to support the implementation of these program and help achieve the emissions targets. This shortfall in funding is going to be required to meet the targets, and unless there is a change in the funding allocation from higher levels of government, it is going to fall on the local governments to identify funding opportunities.

BC Carbon Tax

In 2024, the BC carbon tax as a component to consumable fuels is expected to increase to \$0.1761 per litre for gasoline and \$0.1525 per m³ of natural gas consumption. Under the current government, this form of taxation is expected to triple by 2030. For this impact, average consumption volume has been kept flat to show the impacts of the change in the carbon tax on operations.

BC Carbon Tax Rates

	2024	2025	2026	2027	2028
Gasoline \$/L	0.1761	0.2091	0.2422	0.2752	0.3082
Diesel \$/L	0.2074	0.2462	0.2851	0.3239	0.3628
Natural Gas \$/GJ	4.0951	4.8631	5.6311	6.3991	7.1671

BC Carbon Tax Cost on Operations

	Estimated Volumes	2024	2025	2026	2027	2028
Gasoline L	400,000	\$70,440	\$83,640	\$96,880	\$110,080	\$123,280
Diesel L	905,000	\$187,697	\$222,811	\$258,016	\$293,170	\$328,325
Natural Gas GJ	84,378	\$336,324	\$399,398	\$462,473	\$525,548	\$588,622
Total Carbon Tax Estimate		\$664,901	\$789,489	\$914,248	\$1,038,878	\$1,163,507

Occupational First Aid

The requirement for the number of staff trained in Level 1 and Level 2 first aid will change at the end of 2024. This change will require the City to train more staff in Level 1 first aid. In 2024,

there are 16 first aid courses scheduled, each costing \$1,200, for a total of \$19,200. The training requirements will continue in future years.

Future Impacts	
Summary of Potential Costs	
Orphan Dikes	\$115,000,000
Dams	\$5,000,000
BC Carbon Tax	\$2,194,548
First Aid	\$19,200
Total	\$122,213,748

SUMMARY

Policy changes at both senior levels of government over the past five years have resulted in many impacts on local governments. In addition to these changes, the overall social and economic environments have added new challenges that are needing to be addressed by local governments. In some situations, the relationship between cause and effect is apparent and obvious, while in other situations, the impact is more challenging to identify and quantify.

As local government service delivery is placed on the front line to address the community’s concerns, municipalities must find ways to meet new or changed regulatory requirements and address the growing gaps in services of other levels of government.

The following table summarizes the costs for each impact area from higher-level government policy changes or the expanded role that the City has had to undertake. The costs that the City has been able to quantify are included; however, as noted throughout the report, many significant impacts are not possible to quantify.

Identified Costs	
Gaps in Service Delivery	\$3,811,000
Senior Government Services Shortfalls	\$3,454,000
Legislative and Regulatory Framework	\$5,863,017
Property Taxation Policy and Partnering	Unknown
Emerging Service	Unknown
Future Impacts	\$122,213,748
Total	\$135,341,765

These costs have created and are likely going to continue to create an ongoing financial challenge for the City and provide opportunities to build partnerships with senior government to



explore improved co-operation and coordination and expand access to funding provide stable and predictable funding solution that does not lie solely on the municipal tax-payer.

s. 22(1)

D. Hallinan, FCPA, FCMA
Corporate Services Director

s. 22(1)

Approved for Council

DR/kjm

Concurrence: J. Luison, Civic Operations Assistant
Director
C. Mazzotta, MA, Assistant Community and
Culture Director
M. Kwiatkowski, P. Eng. Development,
Engineering and Sustainability Director

Author: D. Rutsatz, CPA, CGA, Financial Planning
and Procurement Manager

Reviewed by: L. Hill, BCom, CPA, CMA, Financial
Services Manager
M. Helfrich, CPA, CA, Business Operations
Manager

From: Weiler, Patrick - M.P. <Patrick.Weiler@parl.gc.ca>
Sent: Thursday, June 13, 2024 2:58 PM
To: Weiler, Patrick - M.P.
Subject: [Possible Scam Fraud] Letter from MP Patrick Weiler - New Co-operative Housing Development Program
Attachments: Letter from MP Patrick Weiler - New Co-operative Housing Development Program.pdf

CAUTION: This email originated from outside the organization from email address Patrick.Weiler@parl.gc.ca. Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

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Good afternoon,
Please see the attached letter from MP Patrick Weiler regarding the launch of a new Co-operative Housing Development Program to build a new generation of co-op housing in Canada.

Sincerely,

Kevin Hemmat
Director of Communications
Office of Patrick Weiler MP
West Vancouver-Sunshine Coast-Sea to Sky Country
Office: 604-913-2660
Cell: 604-353-2550
Kevin.Hemmat.842@parl.gc.ca



HOUSE OF COMMONS
CHAMBRES DES COMMUNES
CANADA

Patrick Weiler

Member of Parliament
West Vancouver-Sunshine Coast-Sea to Sky Country

June 13, 2024

Dear Friends & Neighbours,

Last week, the federal government **launched a new Co-operative Housing Development Program** to support a new generation of co-op housing in Canada and help make housing more affordable.

For decades, co-ops have provided Canadians with secure, affordable, and community-oriented homes. The new \$1.5 billion program – co-designed with the Co-operative Housing Federation of Canada and other leaders in the co-op sector – will provide loans and contributions to build and grow co-ops across Canada. This is the largest investment to build new co-op housing in the last 30 years.

The program will build thousands of new co-op homes by 2028. Projects that focus on providing homes for those most in need will be prioritized.

Co-op housing providers will be able to apply for funding starting on July 15, 2024, and the first intake round will remain open until September 15, 2024. Additional intake opportunities will be announced at a later date. **To start preparing an application and to receive updates, [please visit the Co-operative Housing Development webpage.](#)**

The Co-operative Housing Development Program will help increase the number of affordable homes in Canada and grow the community housing sector faster so that low- and middle-income Canadians have a safe and affordable place to call home. Through investments like this, we are addressing housing pressures across the country, so that future generations have the same opportunity to rent or own a place of their own as generations that came before them.

Please do not hesitate to reach out to our office if you have any questions or concerns. We would be more than happy to support your application in any way that we can.

Sincerely,

Patrick Weiler, MP
West Vancouver-Sunshine Coast-Sea to Sky Country

Constituency

6367 Bruce Street
West Vancouver
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Suite 635, 180 Wellington St.
Wellington Building, Ottawa
Ontario, K1P 5B9
Tel: 613-947-4617 | Fax: 613-947-4620
Email : Patrick.Weiler@parl.gc.ca

From: Patrick Weiler MP <patrick.weiler@parl.gc.ca>
Sent: Thursday, June 13, 2024 5:00 PM
To: correspondence
Subject: You're Invited to a Constituency Youth Council Housing Townhall

CAUTION: This email originated from outside the organization from email address bounce_d7c44f13-e129-ef11-86d2-6045bdd9e096_prod@bounce.myngp.com. Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Constituency Youth Council

HOUSING TOWN HALL

Addressing **housing affordability** in our community and in Canada, with a focus on finding solutions to help young people afford housing

THURSDAY, JUNE 27 2024

West Vancouver Memorial Library,
Welsh Hall
5:30-7:00pm

PANELISTS



PATRICK WEILER

Member of Parliament for
West Vancouver-Sunshine
Coast-Sea to Sky Country



ANDY KRAWCZYK

Member of North Shore
Community Resources'
Community Housing Action
Committee



KARIN KIRKPATRICK

MLA for West Vancouver-
Capilano



JIM BAILEY

Director of Planning for the
District of West Vancouver

Constituency Youth Council 2024

Dear Mayor and Council,

I am reaching out on behalf of the West Vancouver-Sunshine Coast-Sea to Sky Country Constituency Youth Council (CYC) to inform you that our CYC is hosting a Townhall on Thursday, June 27 at the West Vancouver Memorial Library to discuss housing affordability for young people with local representatives in our community.

The Townhall will include four panelists: Member of Parliament Patrick Weiler (MP for West Vancouver-Sunshine Coast-Sea to Sky Country), MLA Karin Kirkpatrick (Member of the Legislative Assembly for West Vancouver-Capilano), Jim Bailey (Director of Planning for the District of West Vancouver), and Andy Krawczyk, (Member of North Shore Community Resources' Community Housing Action Committee).

This is a great opportunity to meet with your local representatives to engage on an issue that is on the minds of many in our community and is of importance across the country. Light snacks and refreshments will be served.

This townhall is focused for young people but all community members are welcome to attend.

To attend, please RSVP by completing the following form by June 24: [BLOCKEDforms\[.jgle/tCEKziNdmSRgUuer7BLOCKED](#)

Date: Thursday, June 27 from 5:30-7:00pm PT.

Location: West Vancouver Memorial Library, Welsh Hall (lower floor) - 1950 Marine Dr, West Vancouver, BC V7V 1J8

Please consider relaying this opportunity to any students and/or young people you think may be interested in attending. You are also welcome to share this information with your professional networks.

For more information or if you have any questions, please contact MP Weiler's Constituency Office by phone at (604) 913-2660 or via email at Kevin.Hemmat.842@parl.gc.ca.



**OFFICE OF MP PATRICK WEILER
CONSTITUENCY OFFICE: 6367 BRUCE ST., WEST
VANCOUVER**

**OFFICE HOURS: WEEKDAYS
10AM-5PM**

Office of Patrick Weiler MP
6367 Bruce St
West Vancouver, BC V7W 2G5
Canada

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From: Lenna Nakamura
Sent: Friday, June 14, 2024 3:54 PM
To: Nick Avery
Cc: correspondence
Subject: Capilano Community Services Society AGM

Hi Nick,

Thank you for your email on June 11, 2024 about the upcoming Annual General Meeting for the Capilano Community Services Society (CCSS). I will be attending on behalf of the District of West Vancouver and look forward to learning more about what CCSS has been up to over the last year.

Thanks,
Lenna

Lenna Nakamura (she, her, hers)
Aquatics and Youth Services Manager | District of West Vancouver
c: 604-329-1497 | d: 604-925-7024 | westvancouver.ca



North Shore Seniors' Health Expo

SAVE FRIDAY, JUNE 7
THE DATE 9 A.M. - 3:30 P.M.

westvancouver.ca/seniors

HERO HOME CARE

We acknowledge that we are on the traditional, ancestral and unceded territory of the Sk̓wx̓wú7mesh Úxwumixw (Squamish Nation), sə́lilwətaʔ (Tseil-Waututh Nation), and x̣ʷməθkʷəỵəm (Musqueam Nation). We recognize and respect them as nations in this territory, as well as their historic connection to the lands and waters around us since time immemorial.

.....
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From: Nick Avery <nick@capservices.ca>
Sent: Tuesday, June 11, 2024 12:08 PM
To: correspondence
Subject: RSVP For Capilano Community Services Society AGM

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We are pleased to invite you to the **Annual General Meeting (AGM)** of the **Capilano Community Services Society**, which will be held on Thursday, June 20th at 2:00 PM. The AGM will take place at Lions Gate Community Recreation Centre (1733 Lions Gate Lane) in the River Room. We look forward to your participation as we review our achievements over the past year and discuss our future plans.

Please RSVP by 5:00 PM on Monday, June 17th to confirm your attendance. You can RSVP by emailing miki@capservices.ca.

If your membership needs to be renewed, you can conveniently do so at the AGM or online at www.capservices.ca.

Your involvement is crucial to the success of our community services, and we hope you can join us for this important event.

Best regards,

Nick Avery

Executive Director

Capilano Community Services Society



Capilano Community Services Society
requests your presence for the

Annual General Meeting

Thursday, June 20TH
2:00PM

Location:
Lions Gate Community Recreation Centre
1733 Lions Gate Lane
River Room (1st Floor)

Please RSVP to: miki@capservices.ca by
5:00 PM, Monday, June 17th



Our mailing address is:

1733 Lions Gate Lane
North Vancouver, BC V7P 0C7

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