

**PROJECT INFO:**

**CIVIC ADDRESS:** 8645 LAWRENCE WAY, WEST VANCOUVER, BC

**LEGAL ADDRESS:**  
LOT 9, EXCEPT: FIRSTLY, PART IN REFERENCE PLAN 4095, SECONDLY, PART ON HIGHWAY PLAN 52, THIRDLY, PART ON PLAN BCP10524 BLOCK C DISTRICT LOT 2361 NEW WESTMINSTER DISTRICT PLAN 6732

**P.I.D:**  
010-823-344

**ZONING:**  
RS2

**LOT COVERAGE:**

**SITE AREA:** 2847.63 SM (30651.63 SF)  
**ALLOWABLE:** 854.29 SM (9195.49 SF)  
**PROPOSED SITE COVERAGE:** 3331.40 SF  
**MAXIMUM FLOOR AREA RATIO:** 996.67SM (10728.07 SF)  
(2847.63 SM x 35%=996.67 SM)

**FLOOR AREAS:**

**LOWER FLOOR:** 1162.34 SF  
**MAIN FLOOR:** 2018.02 SF  
**COVERED DECK:** 212.01 SF  
**GARAGE:** 614.78 SF  
**UPPER FLOOR:** 1772.92 SF  
**COVERED DECK:** 117.69 SF  
**TOTAL:** 5897.76 SF

**LOWER FLOOR AREA CALCULATION:**

**EXISTING LOWER FLOOR:** 958.52 SF  
**ALLOWABLE: (+25%)** 239.63 SF  
**PROPOSED ADDITIONAL:** 167.32 SF  
**UNCONDITIONED SPACE:** 36.50 SF  
**TOTAL LOWER FLOOR AREA:** 1162.34 SF

**SETBACKS:**

**NORTH:** 1.52 M (4'11 13/8")  
**EAST:** 9.1 M (29'10 1/4")  
**SOUTH:** 1.52 M (4'11 13/8")  
**WEST(WATERFRONT):** 9.1 M (29'10 1/4")

**HEIGHT:**

**MAX ALLOWABLE:** 7.62 M (25')  
**AVERAGE NATURAL GRADE:** 21.56'  
**AVERAGE FINISHED GRADE (PROPOSED):** 21.28'

**AVERAGE NATURAL GRADE CALCULATIONS:**

A=(46+9.2) / 2 x 106'1 7/8" = 2929.91  
B=(9.2+8.6) / 2 x 19'5 1/2" = 173.17  
C=(8.6+8.9) / 2 x 9'8 3/8" = 84.85  
D=(8.9+8.9) / 2 x 15'9 5/8" = 140.63  
E=(8.9+9) / 2 x 5'11 1/2" = 53.32  
F=(9+9.2) / 2 x 10'3 3/4" = 93.84  
G=(9.2+10.2) / 2 x 11'6" = 111.55  
H=(10.2+9.3) / 2 x 11'0 7/8" = 107.96  
I=(9.3+14.5) / 2 x 23'5 5/8" = 284.23  
J=(14.5+15) / 2 x 9'8 3/8" = 142.73  
K=(15+17.5) / 2 x 12'5 1/2" = 202.44  
L=(17.5+17) / 2 x 7'2 7/8" = 124.88  
M=(17+21) / 2 x 9'4" = 177.33  
N=(21+21.5) / 2 x 7'11" = 168.22  
O=(21.5+29.5) / 2 x 21'11 1/2" = 559.93  
P=(29.5+26) / 2 x 23'4 1/8" = 647.78  
Q=(26+33.5) / 2 x 25' = 743.75  
R=(33.5+46) / 2 x 21'2" = 841.37

**AVERAGE FINISHED GRADE CALCULATIONS:**

A=(43+9.2) / 2 x 106'1 7/8" = 2770.68  
B=(9.2+8.6) / 2 x 19'5 1/2" = 173.17  
C=(8.6+8.9) / 2 x 9'8 3/8" = 84.85  
D=(8.9+8.9) / 2 x 15'9 5/8" = 140.63  
E=(8.9+9) / 2 x 5'11 1/2" = 53.32  
F=(9+9.2) / 2 x 10'3 3/4" = 93.84  
G=(9.2+10.2) / 2 x 11'6" = 111.55  
H=(10.2+9.3) / 2 x 11'0 7/8" = 107.96  
I=(9.3+21.3) / 2 x 23'5 5/8" = 366.28  
J=(21.3+21.3) / 2 x 9'8 3/8" = 206.79  
K=(21.3+21.3) / 2 x 12'5 1/2" = 266.23  
L=(21.3+21.3) / 2 x 7'2 7/8" = 154.70  
M=(21.3+21.3) / 2 x 9'4" = 199.45  
N=(21.3+21.3) / 2 x 7'11" = 169.17  
O=(21.3+23) / 2 x 21'11 1/2" = 487.14  
P=(23+23) / 2 x 23'4 1/8" = 536.90  
Q=(23+35.8) / 2 x 25' = 735  
R=(35.8+43) / 2 x 21'2" = 833.96

**OWNER:**

LINDA NESHEVICH & PATRICK LLOYD

**STRUCTURAL:**

KSM ASSOCIATES LTD.

604-603-2122

**CONTACT:** ERIC MAN

ERICMAN.KSM@GMAIL.COM

**GEOTECHNICAL:**

TERRANE GEOTECHNICAL GROUP  
114-2433 DOLLARTON HIGHWAY  
NORTH VANCOUVER, BC V7H0A1

604-770-0355

**CONTACT:** GEOFFREY DYER

GEOFF@TERRANEGROUP.COM

**CIVIL:**

CREUS ENGINEERING LTD  
610-EAST TOWER, 221 ESPLANADE WEST,  
NORTH VANCOUVER BC V7M3J3

604-987-9070

**CONTACT:** DANIELLE MIELKE

DMIELKE@CREUS.CA

**SURVEY:**

HOBBS, WINTER & MACDONALD  
113-828 HARBOURSIDE DRIVE  
NORTH VANCOUVER, B.C. V7P 3R9

604-986-1371

ADMIN@HWMSURVEYS.COM

**DRAWING INDEX:**

A-0. 100 COVER PAGE  
A-0. 200 SYMBOLS LEGEND

A-1. 100 SURVEY  
A-1. 200 SITE PLAN  
A-1. 300 FINISHES SCHEDULE  
A-1. 400 ASSEMBLIES

A-2. 100 FLOOR PLANS (LOWER)  
A-2. 200 FLOOR PLANS (MAIN)  
A-2. 300 FLOOR PLANS (UPPER)  
A-2. 400 FLOOR PLANS (ROOF)  
A-2. 500 FRAMING PLANS (LOWER)  
A-2. 600 FRAMING PLANS (MAIN)  
A-2. 700 FRAMING PLANS (UPPER)

A-3. 100 ELEVATION PLANS (NORTH&EAST)  
A-3. 200 ELEVATION PLANS (SOUTH&WEST)

A-4. 100 SECTION PLANS (SECTION A&1)  
A-4. 200 SECTION PLANS  
A-4. 300 SECTION PLANS

A-5. 100 INTERIOR ELEVATIONS  
A-5. 200 INTERIOR ELEVATIONS

A-6. 100 ELECTRICAL PLANS  
A-6. 200 ELECTRICAL PLANS  
A-6. 300 ELECTRICAL PLANS (RGP)  
A-6. 400 ELECTRICAL PLANS (RGP)

A-7. 100 MECHANICAL PLANS  
A-7. 200 MECHANICAL PLANS

A-8. 100 FLOOR FINISHES  
A-8. 200 FLOOR FINISHES  
A-8. 300 RGP FINISHES  
A-8. 400 RGP FINISHES

A-9. 100 WINDOW/DOOR SCHEDULE  
A-9. 200 WINDOW/DOOR SCHEDULE  
A-9. 300 WINDOW/DOOR SCHEDULE

A-10. 100 SECTION DETAILS (SECTION-A)  
A-10. 200 SECTION DETAILS  
A-10. 300 SECTION DETAILS (SECTION-1)  
A-10. 400 SECTION DETAILS

**REV #:**

- 0 ISSUED FOR COORDINATION 2020.02.14
- 1 ISSUED FOR BUILDING PERMIT 2020.03.11
- 2 RE-ISSUED FOR BUILDING PERMIT 2020.03.27
- 3 RE-ISSUED FOR BUILDING PERMIT 2020.09.08
- 4 RE-ISSUED FOR BUILDING PERMIT 2020.10.21
- 5 RE-ISSUED FOR BUILDING PERMIT 2020.11.18
- 6 RE-ISSUED FOR BUILDING PERMIT 2020.12.07
- 7 RE-ISSUED FOR BUILDING PERMIT 2020.12.18
- 8 ISSUED FOR CONSTRUCTION 2021.01.18
- 9 RE-ISSUED FOR BUILDING PERMIT 2021.05.07

**WEST COAST TURN KEY**  
Design \* Manage \* Build

PROJECT:  
LLOYD, LAWRENCE WAY

DWG:  
COVER PAGE

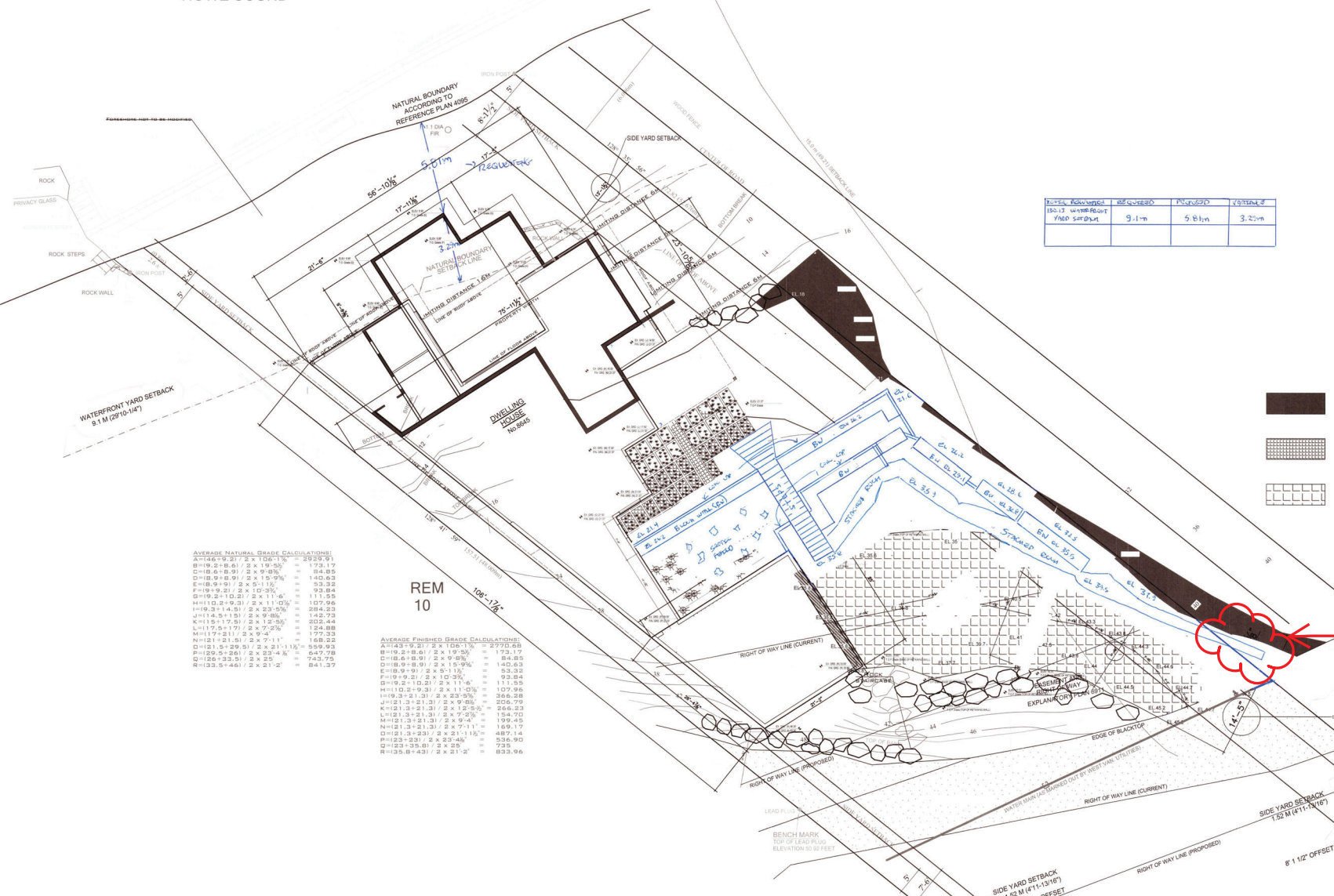
DRAWN BY: W.C.T.K	PAGE: A-0. 100
DATE: 2024-01-30	SCALE: N.T.S

REV # 9  
RE-ISSUED FOR BUILDING PERMIT





HOWE SOUND



TYPE	REQUIREMENT	PROPOSED	EXISTING
WATERFRONT YARD SETBACK	9.1m	5.8m	3.2m

- PROPOSED DRIVEWAY AREA TO BE REMOVED
- CURRENT DRIVEWAY AREA TO REMAIN
- PROPOSED NEW DRIVEWAY AREA

**AVERAGE NATURAL GRADE CALCULATIONS:**  
 A=(6.6+9.2)/2 x 100.1% = 2929.93  
 B=(9.2+8.6)/2 x 19.5% = 173.17  
 C=(8.6+8.9)/2 x 9.8% = 84.85  
 D=(8.9+8.9)/2 x 15.9% = 140.63  
 E=(8.9+9.2)/2 x 5.1% = 53.32  
 F=(9.2+9.2)/2 x 10.3% = 93.84  
 G=(9.2+10.2)/2 x 11.6% = 111.95  
 H=(10.2+9.3)/2 x 11.0% = 107.96  
 I=(9.3+14.3)/2 x 23.3% = 284.23  
 J=(14.3+15.1)/2 x 9.8% = 142.73  
 K=(15.1+17.3)/2 x 12.3% = 202.44  
 L=(17.3+17)/2 x 7.2% = 124.88  
 M=(17.3+21)/2 x 9.4% = 177.33  
 N=(21+21.5)/2 x 7.1% = 168.22  
 O=(21.5+20.9)/2 x 21.1% = 199.82  
 P=(20.9+26)/2 x 23.4% = 647.78  
 Q=(26+33.3)/2 x 2.2% = 743.75  
 R=(33.3+46)/2 x 21.2% = 841.37

**AVERAGE FINISHED GRADE CALCULATIONS:**  
 A=(6.6+9.2)/2 x 100.1% = 2929.93  
 B=(9.2+8.6)/2 x 19.5% = 173.17  
 C=(8.6+8.9)/2 x 9.8% = 84.85  
 D=(8.9+8.9)/2 x 15.9% = 140.63  
 E=(8.9+9.2)/2 x 5.1% = 53.32  
 F=(9.2+9.2)/2 x 10.3% = 93.84  
 G=(9.2+10.2)/2 x 11.6% = 111.95  
 H=(10.2+9.3)/2 x 11.0% = 107.96  
 I=(9.3+14.3)/2 x 23.3% = 284.23  
 J=(14.3+15.1)/2 x 9.8% = 142.73  
 K=(15.1+17.3)/2 x 12.3% = 202.44  
 L=(17.3+17)/2 x 7.2% = 124.88  
 M=(17.3+21)/2 x 9.4% = 177.33  
 N=(21+21.5)/2 x 7.1% = 168.22  
 O=(21.5+20.9)/2 x 21.1% = 199.82  
 P=(20.9+26)/2 x 23.4% = 647.78  
 Q=(26+33.3)/2 x 2.2% = 743.75  
 R=(33.3+46)/2 x 21.2% = 841.37

Removal of unpermitted retaining wall on District land required prior to issuance of Occupancy Permit.

**WEST COAST TURN KEY**  
 Design \* Manage \* Build

PROJECT:  
 LLOYD, LAWRENCE WAY

DWG:  
 SITE PLAN

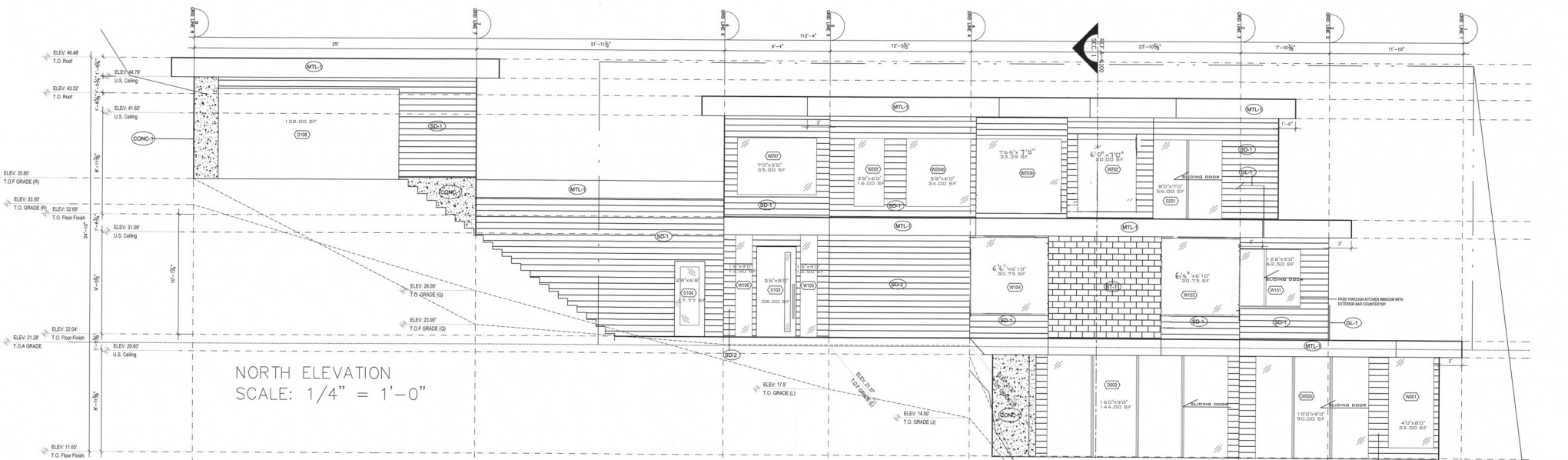
DRAWN BY:  
 W.C.T.K.

DATE:  
 2024-03-30

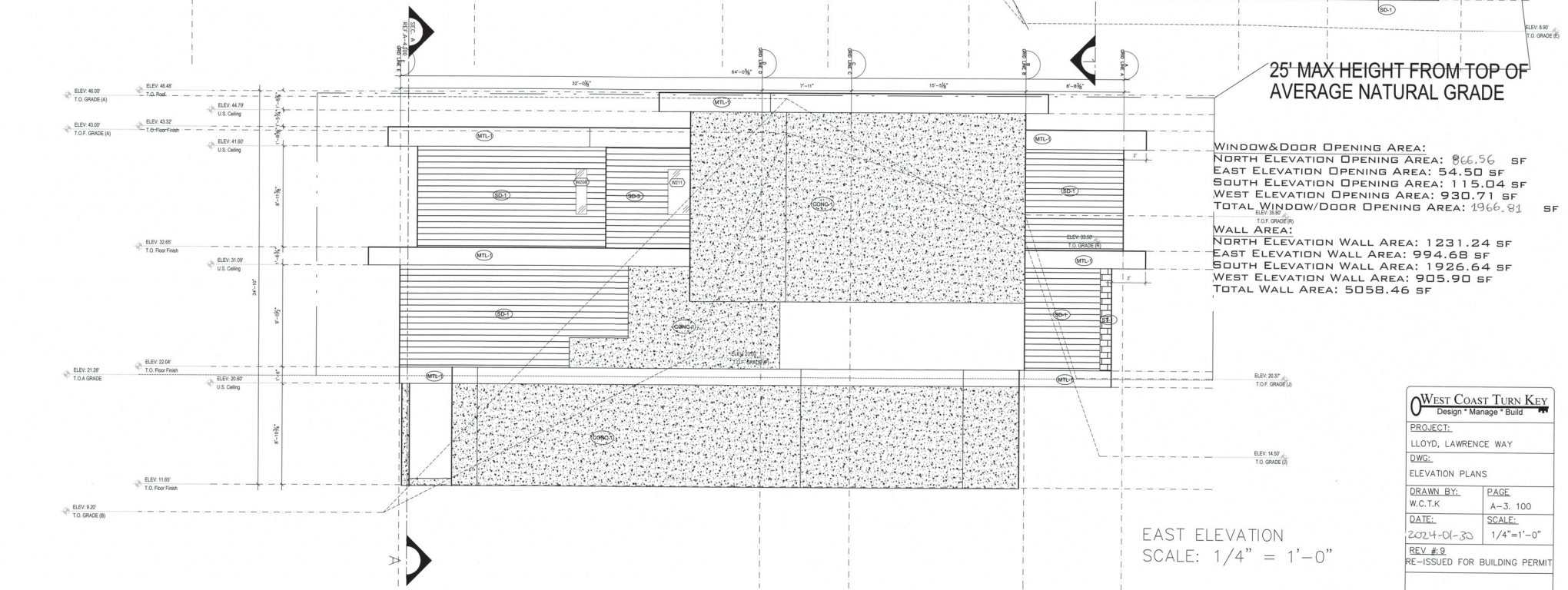
REV # 9  
 RE-ISSUED FOR BUILDING PERMIT

PAGE:  
 A-1, 200

SCALE:  
 N.T.S.



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 1/4" = 1'-0"

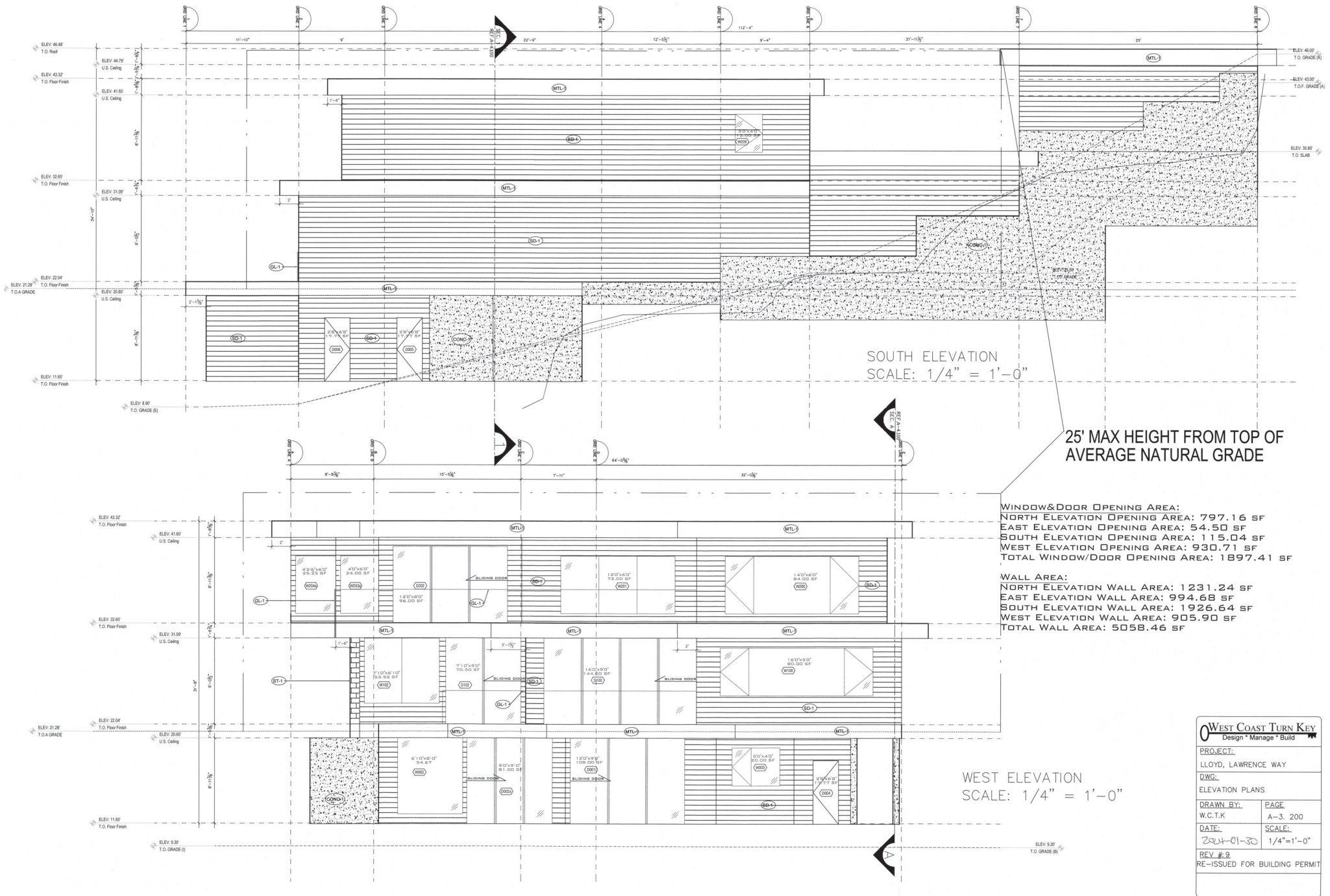
25' MAX HEIGHT FROM TOP OF AVERAGE NATURAL GRADE

WINDOW & DOOR OPENING AREA:  
 NORTH ELEVATION OPENING AREA: 866.56 SF  
 EAST ELEVATION OPENING AREA: 54.50 SF  
 SOUTH ELEVATION OPENING AREA: 115.04 SF  
 WEST ELEVATION OPENING AREA: 930.71 SF  
 TOTAL WINDOW/DOOR OPENING AREA: 1966.81 SF

WALL AREA:  
 NORTH ELEVATION WALL AREA: 1231.24 SF  
 EAST ELEVATION WALL AREA: 994.68 SF  
 SOUTH ELEVATION WALL AREA: 1926.64 SF  
 WEST ELEVATION WALL AREA: 905.90 SF  
 TOTAL WALL AREA: 5058.46 SF

<b>WEST COAST TURN KEY</b> Design • Manage • Build	
PROJECT:	
LLOYD, LAWRENCE WAY	
DWS	
ELEVATION PLANS	
DRAWN BY:	PAGE
W.C.T.K	A-3, 100
DATE:	SCALE:
2024-01-30	1/4"=1'-0"
REV #2	
RE-ISSUED FOR BUILDING PERMIT	





SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

25' MAX HEIGHT FROM TOP OF  
AVERAGE NATURAL GRADE

**WINDOW & DOOR OPENING AREA:**  
 NORTH ELEVATION OPENING AREA: 797.16 SF  
 EAST ELEVATION OPENING AREA: 54.50 SF  
 SOUTH ELEVATION OPENING AREA: 115.04 SF  
 WEST ELEVATION OPENING AREA: 930.71 SF  
 TOTAL WINDOW/DOOR OPENING AREA: 1897.41 SF

**WALL AREA:**  
 NORTH ELEVATION WALL AREA: 1231.24 SF  
 EAST ELEVATION WALL AREA: 994.68 SF  
 SOUTH ELEVATION WALL AREA: 1926.64 SF  
 WEST ELEVATION WALL AREA: 905.90 SF  
 TOTAL WALL AREA: 5058.46 SF

WEST ELEVATION  
SCALE: 1/4" = 1'-0"

WEST COAST TURN KEY Design * Manage * Build	
PROJECT: LLOYD, LAWRENCE WAY	
DWG: ELEVATION PLANS	
DRAWN BY: W.C.T.K	PAGE A-3, 200
DATE: 2024-01-30	SCALE: 1/4" = 1'-0"
REV #9 RE-ISSUED FOR BUILDING PERMIT	