



PROJECT STATISTICS

2368 BELLEVUE AVENUE
WEST VANCOUVER

LOT DISTRICT LOT 554
PLAN VAS1722
GROUP 1 NWD

ZONING: RM-1
SECTION 300 - MULTIPLE DWELLING ZONES

Item	Allowed	Proposed
301.01 Permitted Uses	(h) single family dwellings	
301.02 Conditions of Use	(1) 2 lodgers within a single family dwelling	
301.03 Site Area	(3) Single family dwelling: 372 m ² minimum.	1258.3 m ²
301.04 Site Width	(2) 10.1 m minimum	15.3 m at narrowest point
301.05 Floor Area Ratio	(N/A)	
301.06 Site Coverage	(2) 40% maximum	29.5%
301.07 Front Yard	(1) 7.6 m minimum (7.3 m for Step 5)* (2) The front site line shall be deemed to be either the north or south site line	7.3 m South site line
301.08 Rear Yard	(1) The rear yard is measured from the north or south site line (2) 1.52 m minimum (1.22 m for Step 5)**	North site line 1.22 m
301.09 Side Yard	(1) The side yard is measured from the east or west site lines Proposed Side Yard Setbacks: (3) 1.5 m minimum (1.2 m for Step 5) ***	East and west site lines 1.2 m
301.10 Building Width	(N/A)	
301.11 Building Height	(3) 7.62 m maximum (7.92 m for Step 5)****	7.91m
301.12 Number of Storeys	(2) 2 storeys maximum	2
301.13 Off-Street Parking	(3) 1 parking space per dwelling minimum shall be provided.	Parking Easement of G23882 to G23883 allows the use of a parking area directly west of the property.
301.14 Suite Size	(N/A)	
301.16 Canopy	(N/A)	
301.17 Roof Structures	(N/A)	
301.18 Fences	(N/A)	

* As per 120.29(4)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to required yard setback applies where the building meets Step 5.
As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the required front yard setback of 7.6 m can be reduced by 0.30 m for a minimum setback of 7.3 m.

** As per 120.29(4)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to required yard setback applies where the building meets Step 5.
As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the required rear yard setback of 1.52 m can be reduced by 0.30 m for a minimum setback of 1.22 m.

*** As per 120.29(4)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to required yard setback applies where the building meets Step 5.
As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the required rear yard setback of 1.5 m can be reduced by 0.30 m for a minimum setback of 1.2 m.

**** As per 120.19 (3)(a) & 120.29(1)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to building height applies where the building meets Step 5.
As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the maximum building height can be 0.30m above the 7.62m maximum height or 7.92m.

EASEMENTS - SITE ACCESS

G23882 to G23883

This charge allows the owner of Lot B (2368 Bellevue) to enter a part of Lot A (the neighbouring property to the west), for access purposes with or without vehicles and animals; and for access to and use of a parking area.

The extent of the parking easement directly west of the western property line of 2368 Bellevue can be seen on the Site Plan on Sheet A0.02.

G88297

This charge allows the owner of Lot B, (2368 Bellevue) a right to access and use over a portion of Lot A (the neighbouring property to the west), for the purpose of ingress and egress and to install and maintain an underground sanitary sewer pipeline and other materials for conducting sewage from Lot B. Lot A owner shall not maintain any building, structure or obstruction upon the easement area nor shall diminish or add to the ground cover or construct any open drains or ditches along underground pipelines. The Easement Area shall be landscaped after construction so that the surface will be graded evenly with the surface of the adjoining lands. However, the Lot A owner shall restore the easement area following the completion of any work done by Lot B owner.

STATUTORY RIGHT OF WAY - BC HYDRO ACCESS

346235M

This charge BC Hydro a right of access and use over a portion of the lands, to install and maintain poles with guy wires, anchors and transformers for the transmission and distribution of electrical energy and for the telephone and television purposes. The charge holder may clear the right of way of anything that may interfere with the works, including trees, growth, buildings or obstructions. The owner shall not place any building or structure or plant any growth exceeding 15 feet in height. BC Hydro shall pay compensation for any damage to crops or improvements that it causes in exercise of its rights.

The extent of the 10'-0" wide BC Hydro right of way can be seen on the Site Plan on Sheet A0.02.

VOLUME

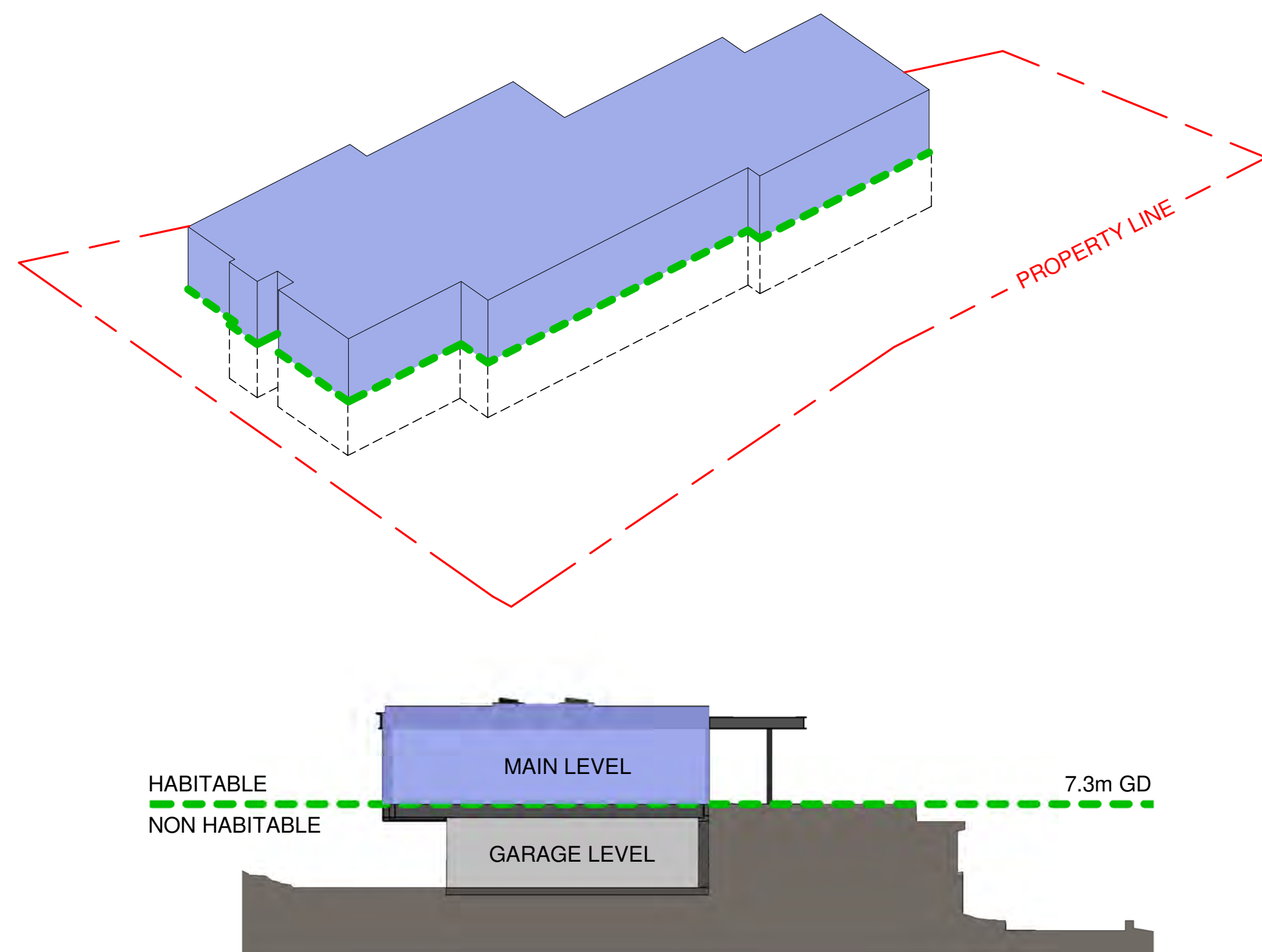
COVENANT - VOLUME

F85424

This charge restricts development of the lands to one residential building comprising not more than three dwelling units with a maximum cubic area of 71,300 cubic feet measured from the top of the finished main floor to the top of the roof.

The main floor is located above the Flood Construction Level at an elevation of 7.3m GD.

- Maximum allowable volume = 71,300 ft³
- Volume of habitable space = 53,581.5 ft³
- Non habitable spaces
- Finished main floor (at 7.3m GD)



No.	Description	Date
2	Re-issued for Development Permit	2023-08-17
1	Issued for Development Permit	2023-03-01

No.	Description	Date
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1	Issued for Development Permit	2023-03-01

Project:

2368 Bellevue Ave

West Vancouver, BC
V7V 1C8

Drawing Title:

PROJECT DATA & ZONING

Plot Date: 07/09/02

Drawn by: Author Checked by: Checker

Project No. Scale: As indicated

Drawing No.

DRAWING LIST

PROJECT DATA & ZONING	A0.00
CONTEXT	A0.01
SITE PLAN	A0.02
SURVEY	A0.03
AVERAGE GRADE & BUILDING HEIGHT	A0.04
MATERIALS	A0.05
GARAGE LEVEL PLAN (NON HABITABLE)	A1.00
MAIN FLOOR	A1.01
ROOF PLAN	A1.02
ELEVATIONS	A2.01
ELEVATIONS	A2.02
BUILDING SECTIONS	A3.01
BUILDING SECTIONS	A3.02
3D VIEWS	A5.01
NEIGHBOUR VIEWS	A5.02
REQUEST FOR VARIANCE	A6.01
PROPOSED RETAINING WALL VARIANCE	A6.02
PROPOSED RETAINING WALL VARIANCE	A6.03

EXISTING HOUSE



VIEW OF EXISTING HOUSE ENTRANCE FROM SEASTRAND BUILDING PARKADE

EXISTING HOUSE



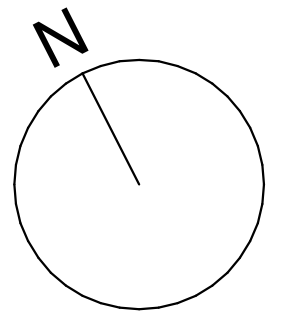
VIEW OF EXISTING HOUSE + SEASTRAND BUILDING FROM SEAWALK

EXISTING HOUSE



VIEW OF EXISTING HOUSE FROM RAILROAD

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VIEW OF EXISTING HOUSE + SEAWALK



1 CONTEXT PLAN
1/32" = 1'-0"

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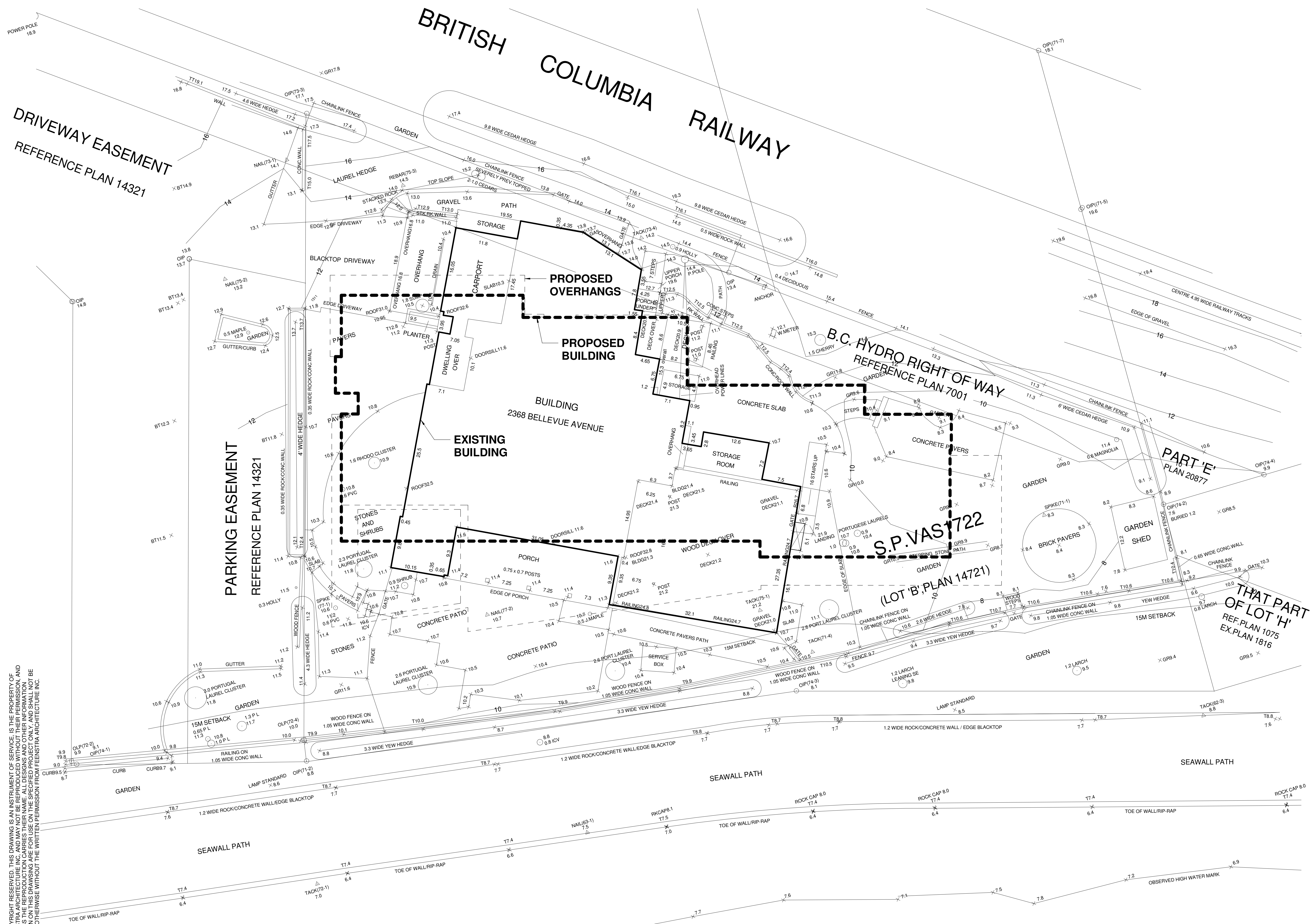
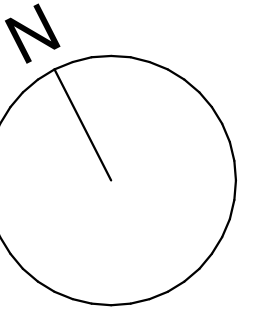
Project:
2368 Bellevue Ave
West Vancouver, BC
V7V 1C8

Drawing Title:
CONTEXT

Plot Date: 07/09/02
Drawn by: Author Checked by: Checker
Project No. Scale: 1/32" = 1'-0"
Drawing No.

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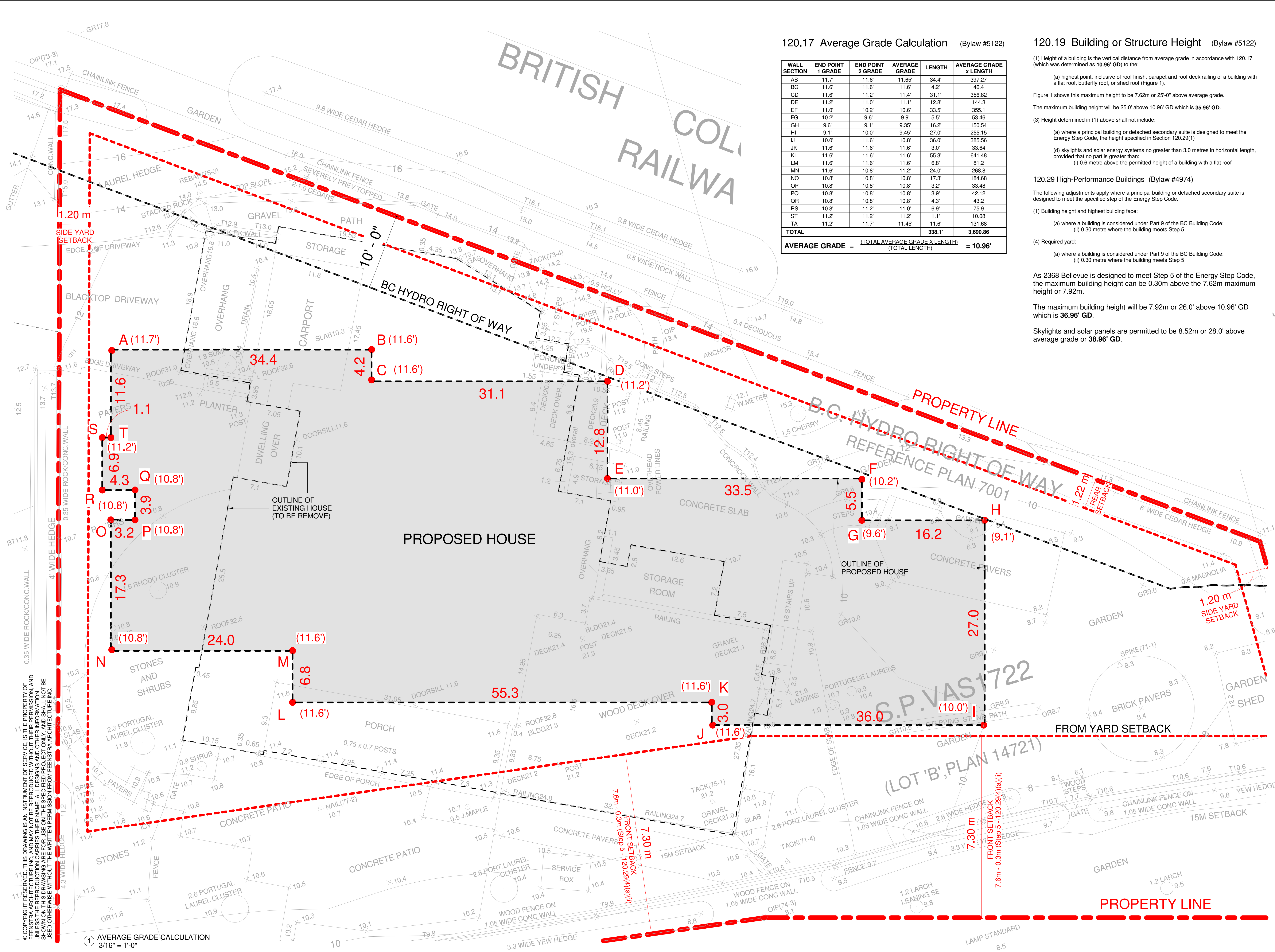
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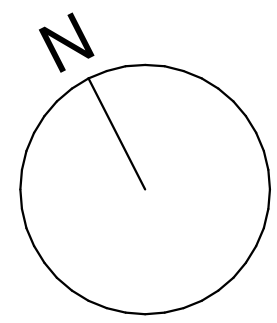
Project:
2368 Bellevue Ave
West Vancouver, BC
V7V 1C8

Drawing Title:
SURVEY

Plot Date: 07/09/02
Drawn by: Author Checked by: Checker
Project No. Scale: 1/8" = 1'-0"
Drawing No.



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1	Issued for Development Permit	2023-03-01

Project:
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Drawing Title:
AVERAGE GRADE & BUILDING HEIGHT

Plot Date: 07/09/02
Drawn by: Author
Project No.:
Drawing No.:
Checked by: Checker
Scale: As indicated

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MATERIAL

- ① LIMESTONE WALL CLADDING
- ② FIBER CEMENT WALL CLADDING
- ③ METAL ROOF TRIM
- ④ METAL SOFFIT, WOOD PATTERN
- ⑤ TRIPLE GLAZED WINDOWS
- ⑥ BOARD FORM CONCRETE WALLS
- ⑦ FIBER CEMENT WALL CLADDING (NO BATTENS)



① NORTH ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"

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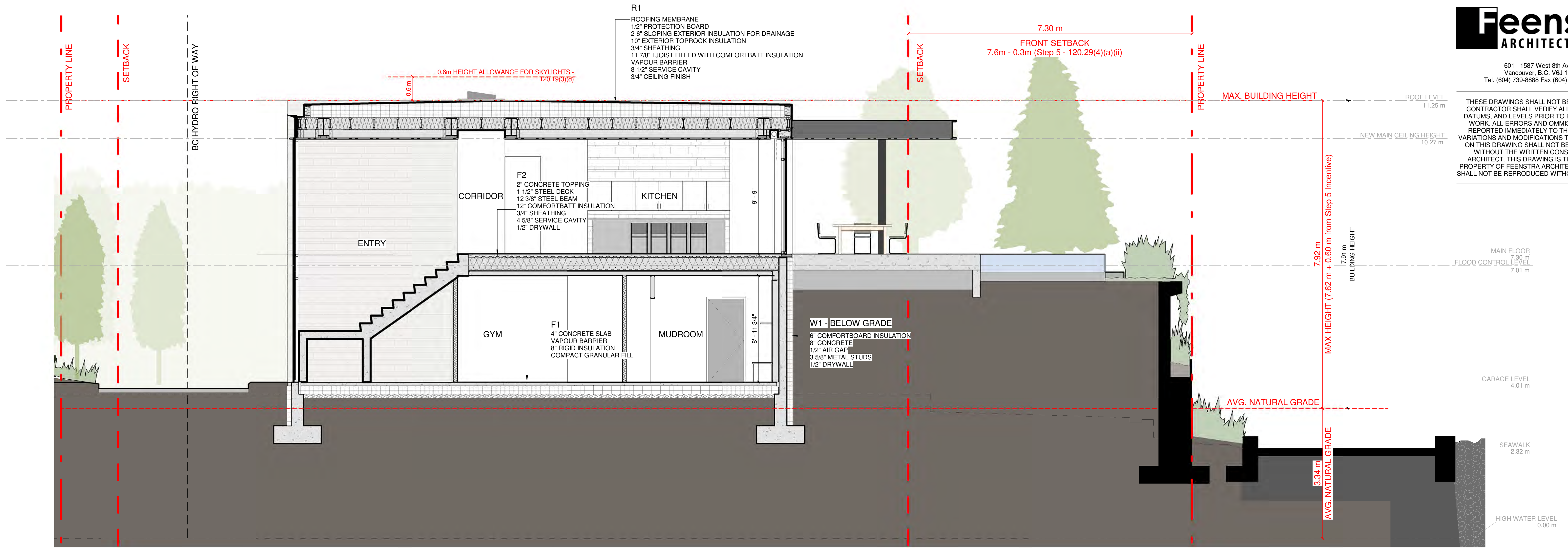
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Plot Date: 07/09/02
Drawn by: Author
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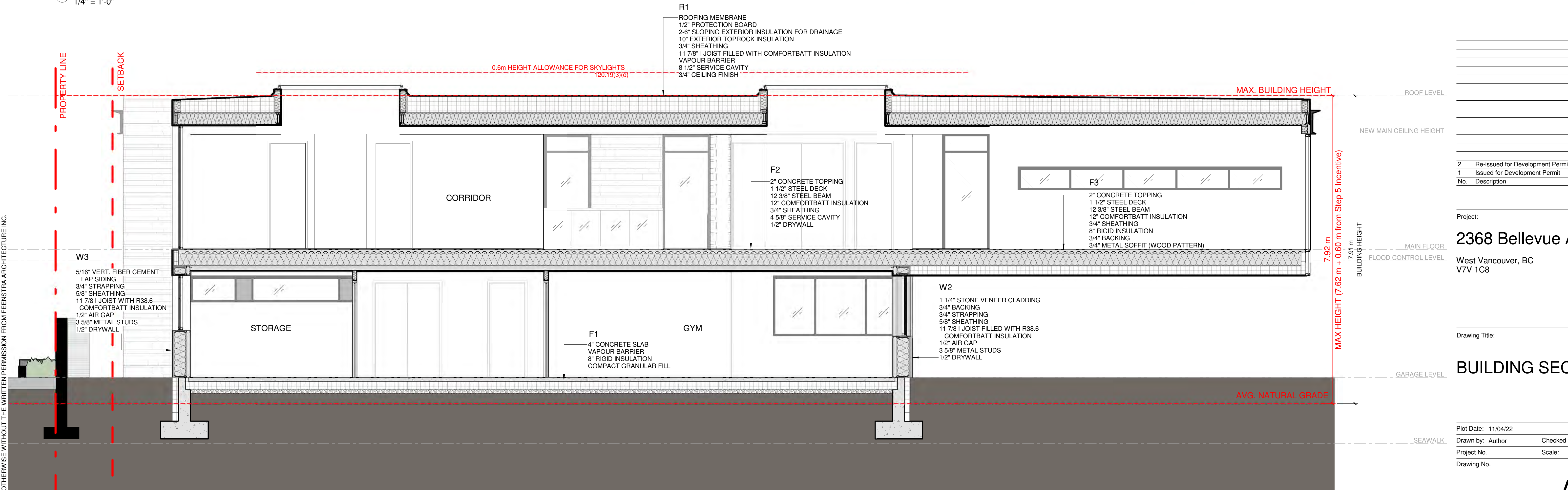
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① North South Building Section Through Stair
1/4" = 1'-0"



② East West Building Section Through Corridor
1/4" = 1'-0"

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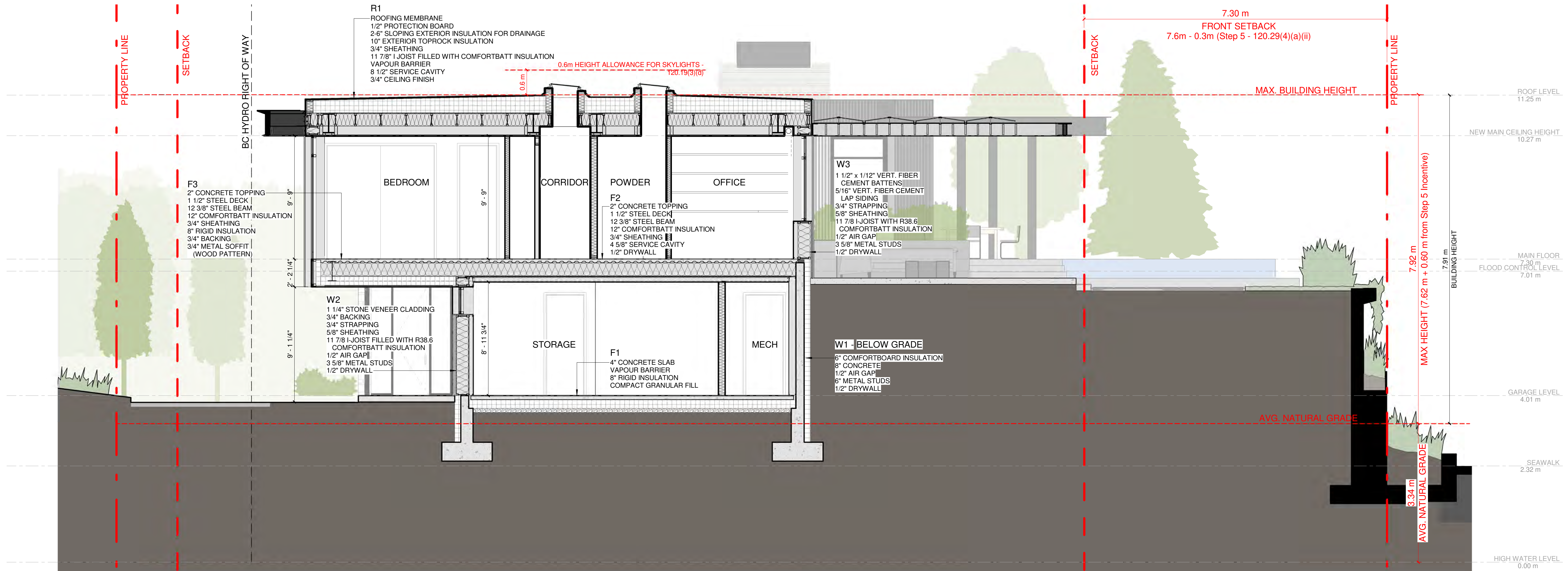
Drawing Title:
BUILDING SECTIONS

Plot Date: 11/04/22
Drawn by: Author
Project No.
Drawing No.

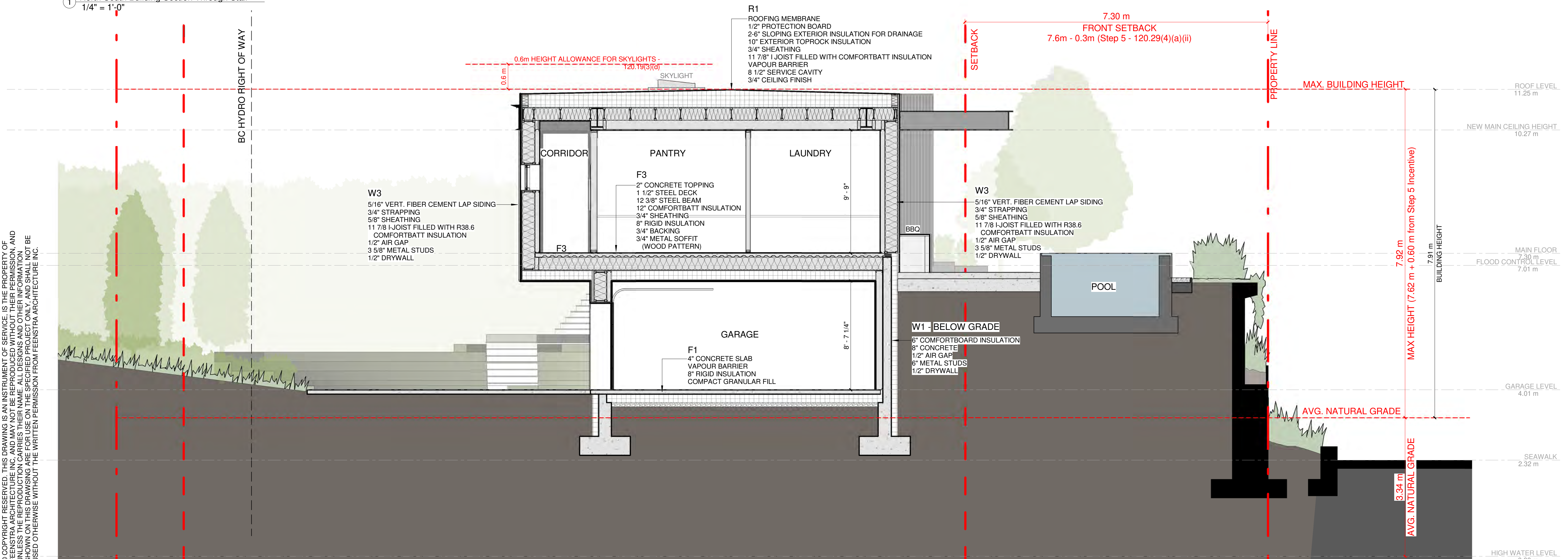
Checked by: Checker
Scale: 1/4" = 1'-0"

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① North South Building Section Through Stair
1/4" = 1'-0"



② North South Building Section Through Stair
1/4" = 1'-0"

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West Vancouver, BC
V7V 1C8

Drawing Title:
BUILDING SECTIONS

Plot Date: 11/04/22
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Project No.:
Drawing No.:
Checked by: Checker
Scale: 1/4" = 1'-0"

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VIEW TO SITE ENTRANCE



VIEW FROM RAILWAY



VIEW LOOKING EAST FROM SEAWALK



VIEW LOOKING WEST FROM SEAWALK

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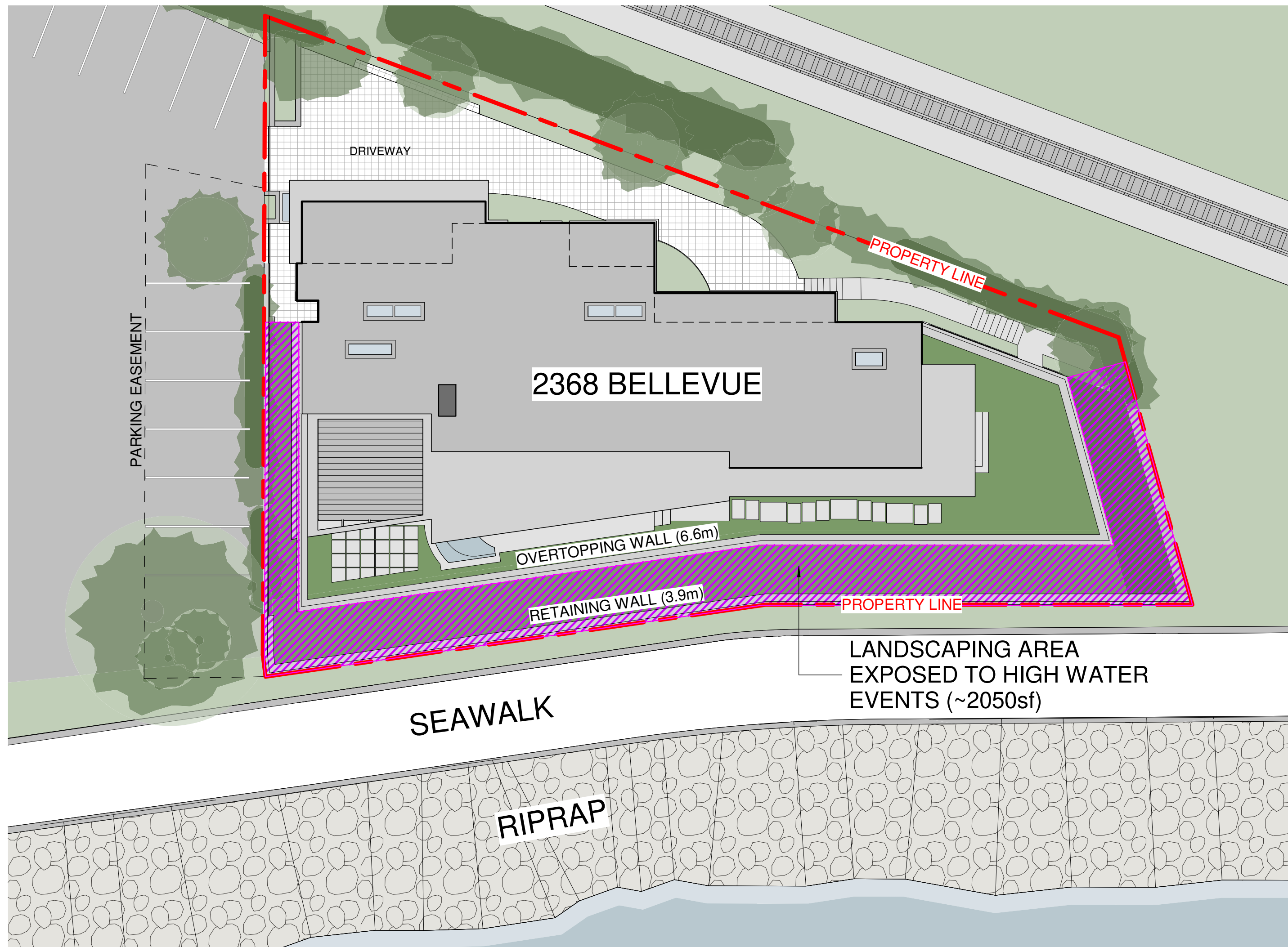
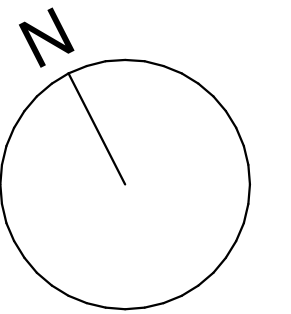
Project:
2368 Bellevue Ave
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Drawing Title:
3D VIEWS

Plot Date: 07/09/02
Drawn by: Author Checked by: Checker
Project No. Scale:
Drawing No.

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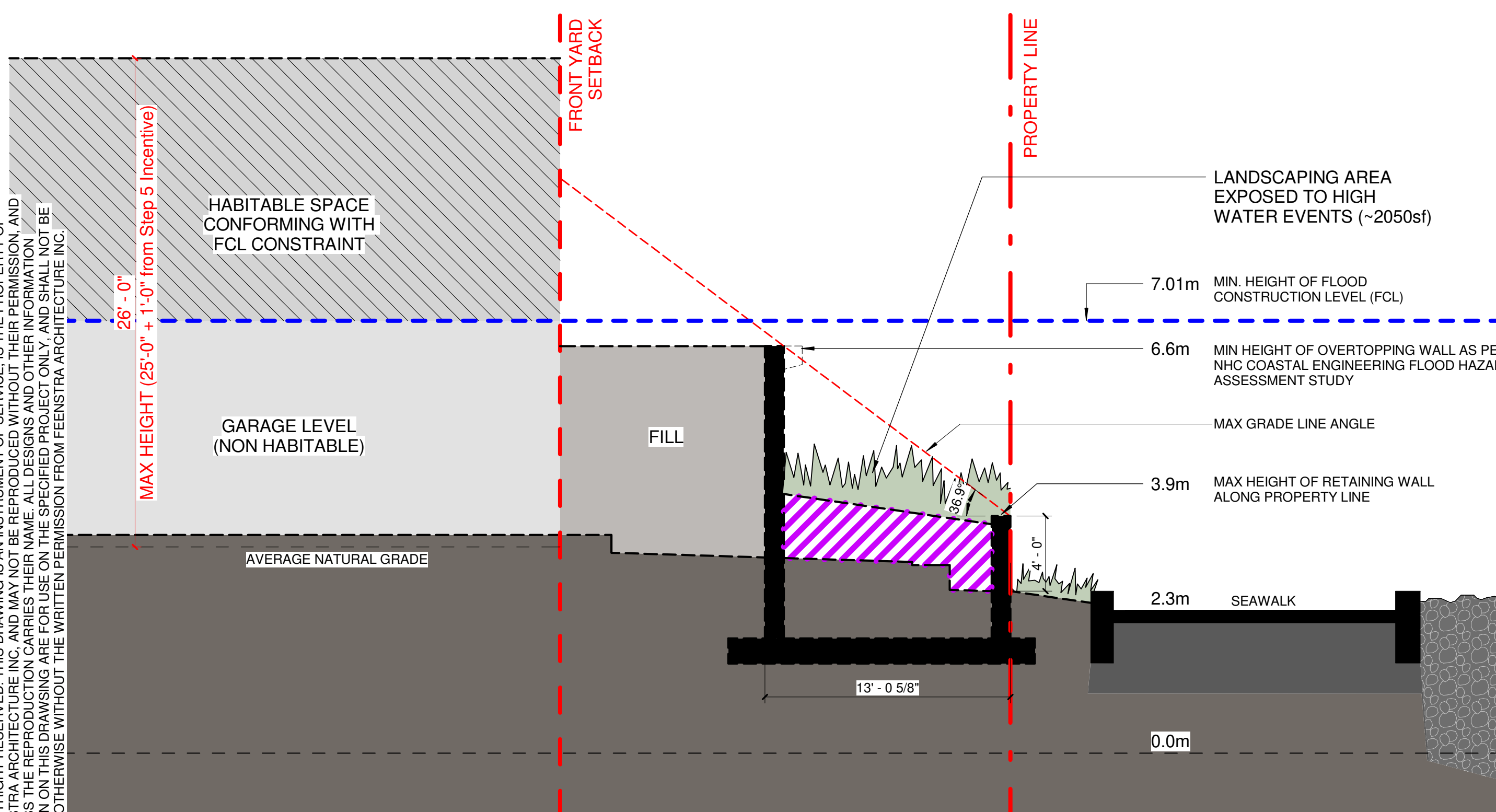
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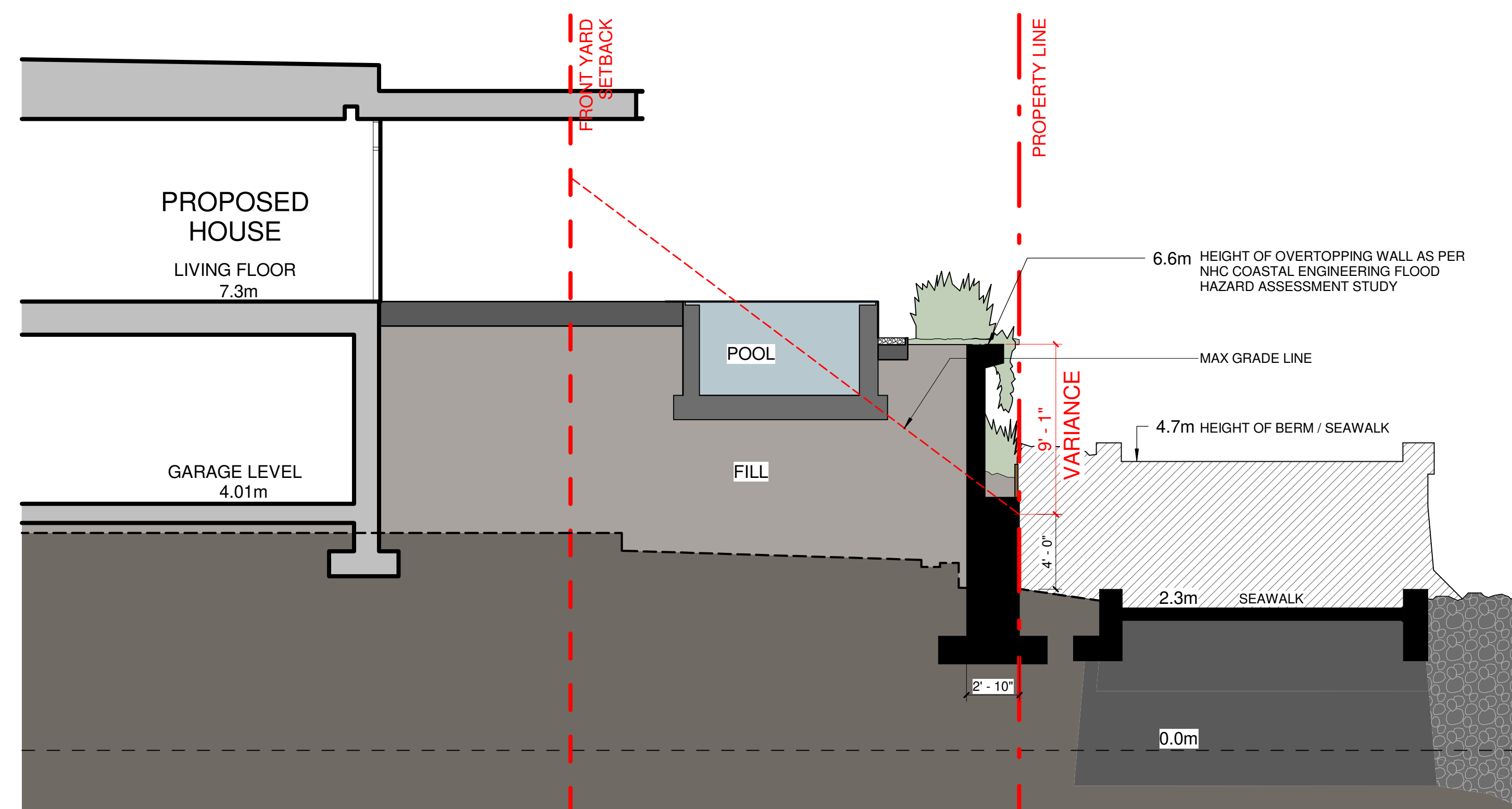
① SITE PLAN SHOWING CURRENT RETAINING WALL REQUIREMENTS
1/16" = 1'-0"



② SITE PLAN SHOWING PROPOSED RETAINING WALL VARIANCE
1/16" = 1'-0"



③ CURRENT REQUIREMENTS FOR RETAINING WALLS
3/16" = 1'-0"



④ PROPOSED VARIANCE FOR RETAINING WALL HEIGHT ALONG SOUTH PROPERTY LINE
3/16" = 1'-0"

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Drawing Title:
PROPOSED RETAINING WALL VARIANCE

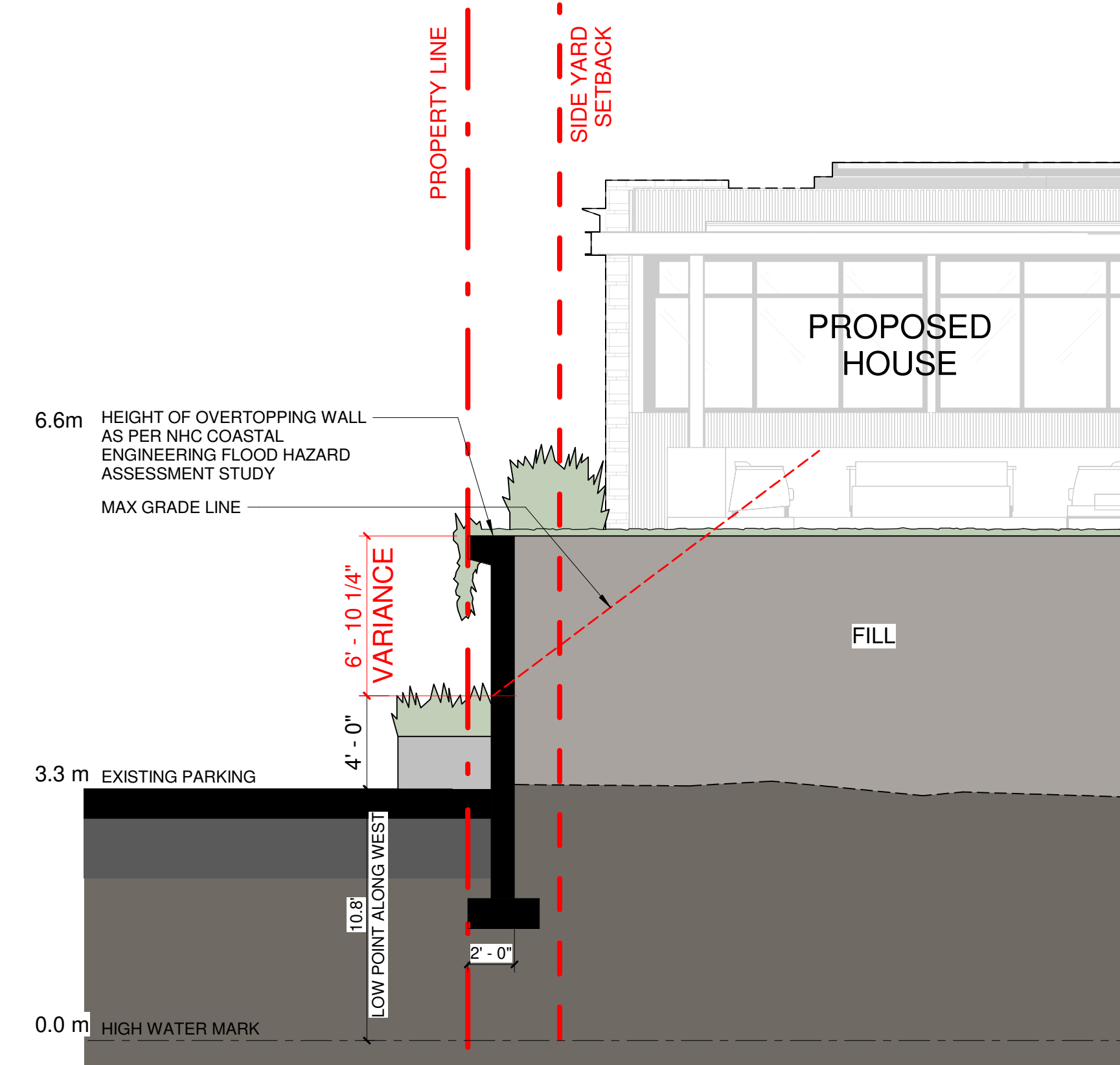
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Checked by: Checker
Project No.:
Scale: As indicated
Drawing No.:

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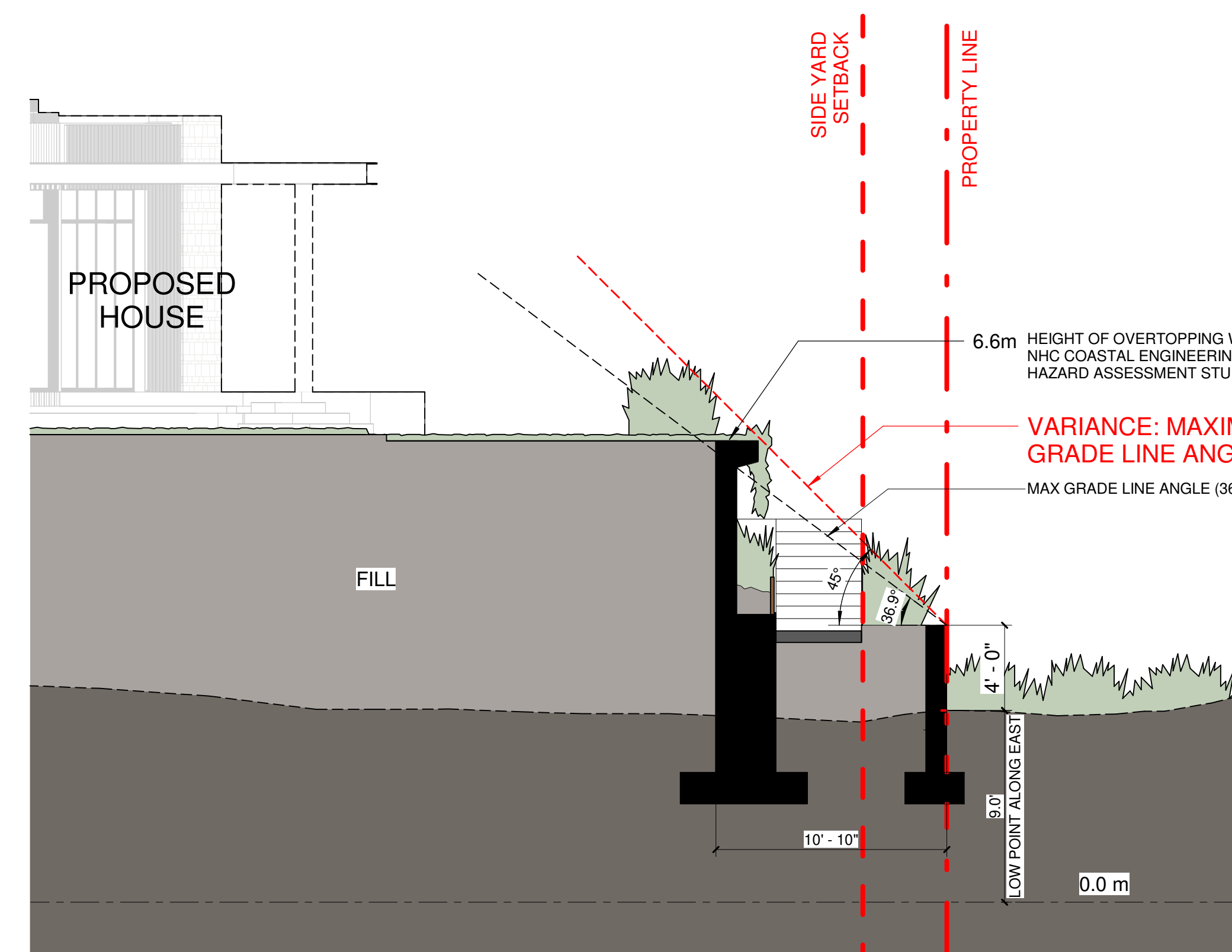
VIEW FROM SEAWALK LOOKING EAST SHOWING PROPOSED RETAINING WALL



① PROPOSED VARIANCE FOR RETAINING WALL HEIGHT ALONG WEST PROPERTY LINE
3/16" = 1'-0"



VIEW FROM SEAWALK LOOKING WEST SHOWING PROPOSED RETAINING WALL



② PROPOSED VARIANCE FOR MAX GRADE LINE ANGLE ALONG EAST PROPERTY LINE
3/16" = 1'-0"

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V7V 1C8

Drawing Title:
**PROPOSED
RETAINING WALL
VARIANCE**

Plot Date: 02/13/23
Drawn by: Author
Checked by: Checker
Project No.:
Scale: 3/16" = 1'-0"
Drawing No.: