Project Information

Property Owner	Alex and Daniel Cleland
Site Address	99 Deep Dene Place West Van V7S 1A3
Project Type	Renovation
Jurisdiction Authority	District of West Vancouver
Legal Description	LOT 109 BLOCKS 6 AND 7 CAPILANO ESTATES PLAN 10794
PID	009-302-930
Zone	RS3

Consultants

Surveyor		
Designer	D3 Dimension Drafting and Design Inc.	604-603-6747
Engineer		
Builder		
Energy Consultant		
Arborist		

Project Data and Development Staticics

Site			
Lot Line North	45.778 m /150.19 ft		
Lot Line East	24.497 m / 80.37 ft		
Lot Line North West	15.051 m / 49.37ft		
Lot Line South West	32.233 m / 105.75 ft		
Lot Line South	65.791 m / 215.84 ft		
Site Width	27.01 m / 88.61 ft		
Site Area	1537.6248 sqm / 16529.06 sf		
Single family dwelling			
Coverage	**Required/Allowed**	**Proposed**	**Notes**
Principle Site Coverage	30% (4958.718 sf)	Unchanged	
Permeable Area (Front)	50% (2998 sf)	873 sf	Unchanged
Set Backs	**Required/Allowed**	**Proposed**	**Notes**
Front yard:	9.1m/ 29.86 ft	9.11 m/29.89 ft	
Rear yard:	9.1m/ 29.86 ft	16.27 m/53.37 ft	Unchanged
Side yard (Left):	10% Site Width (2.7m/8.86 ft)	3.05 m/10.0 ft	Unchanged
Side yard (Right):	10% Site Width (2.7m/8.86 ft)	2.41 m/7.92 ft	Variance
Combined Side	25% Site Width (6.75m/22.2ft)	5.46 m/17.92 ft	Variance
Floor Area	**Required/Allowed**	**Proposed**	**Notes**
Cellar	-	782 sf	Unchanged
Basement	-	-	-
First Floor	-	1942 sf	Unchanged
Second Floor	-	1979 sf	Existing 1183 sf.
Floor Area Ratio	30%	29%	
Total	4958.718 sf	4717 sf	
Garage	-	439 sf	Exclusion as per 130.08(5)(a)(i)
Building Height	7.62m / 25 ft	23.23 ft	Existing: 22.83 ft
Number of Storeys	2 + Basement	2 + Basement	Unchanged
Building Face Envelope	6.7 m / 21.98 ft	< 6.70m	
Secondary Suite	**Required/Allowed**	**Proposed**	**Notes**
First Floor		437 sf	
Second Floor		527 sf	
Total	968 sf	964 sf	

PLAN # 1583

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-May only be issued for the designated purpose indicated
-Are issued with the understanding that D3 Dimension Drafting Design Ltd., will be responsible for their work only to the extent of issuing corrected copies in the event of an error or omission of the same.
-All work done by D3 Dimension Drafting Design Ltd., is and will remain solely the property of the same.
-All funds paid are non-refundable.

SCOPE OF WORK

- Interior/Exterior renovation
- Addition

GENERAL NOTES

These drawings have been prepared by D3 Dimension Drafting and Design Inc. to conform to the current residential standards of the BCBC (2018).

The Builder is responsible for ensuring that all construction conforms to provincial and local codes and bylaws.

Dimensions take precedence to scale drawings.

Dimensions to be taken from outside face of sheathing for exterior walls and face of studs for interior walls as shown.

Place footings to undisturbed, sound bearing soil below frostline (2' below grade).

Structural lumber to be No.2 SPF or better

Between all exterior top plates and double plates, require 6 MIL poly.

6 MIL poly is required at all connection points between interior and exterior walls.

Floor assembly to be constructed with manufacture I-Joist

Lumber in contact with concrete to be damproofed (sill gasket) , and anchored with 1/2" anchor bolts at 16" O.C. max

Lintels to be #2-2x10 U.N.O TYP.

Double joists at parallel partitions (opt. 2x10 blocking at 24" O.C.)

Dwelling must meet current B.C. ventilation code

All operable windows to be standard sliding glazing, U.N.O.

Waterproof wallboard required on bathroom walls

Provide a bond-breaking material between foundation or rock and slabs.

Exterior dimensions to be measured from outside of sheathing.

All new interior walls to be dimensioned to outside of stud.

All existing interior walls to be dimensioned to outside of drywall.

All Construction and installation of materials and equipment shall be done in accordance with good building practices, following manufacturers instructions and conforming to the BCBC

All Structural specifications to be designed and certified by a structural engineer. Any discrepancies must be brought to D3 Dimension Drafting and Design Inc. attention.

It is the responsibility of the contractor or builder to check and verify all dimensions and to ensure all work conforms to all local bylaws ad regulation, and to the current edition of the BCBC

D3 Dimension Drafting and Design Inc. accepts no liability for error or omissions.

These plans conform to the B.C. Building Code, 2018 ED.

Site Requirements

- No retaining wall shall be constructed on any lot having an exposed height greater than 4 ft. unless engineered
- Any exposed concrete over 2 ft in height shall be architecturally treated.

Exterior Design

- No exposed concrete block is permitted
- Exposed concrete foundation walls are not to exceed 1.64 ft in height,
- In General, the main materials used on the front of the house should be used on all other facades
- Overhangs to be a minimum of 18" TYP. U.N.O.
- All gable fascia shall be a minimum fascia of 2x10.

Roof & Building Materials

- Any fascia gutter must be properly integrated with wood fascia boards to meet building scheme
- Exterior vertical walls are to be non-combustible 20min rated

Driveways & Garages

- The garage shall have closing doors with raised panels or desired architectural detailing
- Garage should be painted to match proposed buildings design and colour scheme
- Garage dimensions are taken from the outside of cladding.
- Driveways shall be constructed of asphalt, exposed aggregate, stamped concrete, brick or combination.
- No gravel driveways or parking areas.

No buildings or driveways shall be constructed on the lots unless provisions to reduce storm water run-off from buildings and driveways been made by the run-off from buildings, driveways and any other impervious surfaces constructed on the lot being re-charged back to the ground through suitable subsurface storm water management systems such as rock pits or exfiltration chambers and run-off from driveways which slope to the public road or common property being intercepted at the property line by the provision of suitably designed and constructed absorbent strip such as grass-crete or permeable interlocking concrete pavers.

	C1	C2	(C1+C2)	(C1+C2 /2)	Length	((C1+C2 /2) * Length)
A-B	603.6	603.7	1207.3	603.65	22.6	13642.49
B-C	603.7	604.2	1207.9	603.95	18.3	11052.285
C-D	604.2	604.0	1208.2	604.1	2.3	1389.43
D-E	604.0	603.9	1207.9	603.95	27.8	16789.81
E-F	603.9	603.9	1207.8	603.9	20.0	12078
F-G	603.9	603.9	1207.8	603.9	2.0	1207.8
G-H	603.9	603.1	1207.0	603.5	49.0	29571.5
H-I	603.1	603.1	1206.2	603.1	2.2	1326.82
I-J	603.1	600.3	1203.4	601.7	2.5	1504.25
J-K	600.3	600.3	1200.6	600.3	7.8	4682.34
K-L	600.3	603.3	1203.6	601.8	2.5	1504.5
L-M	603.3	603.3	1206.6	603.3	5.4	3257.82
M-N	603.3	600.3	1203.6	601.8	2.5	1504.5
N-O	600.3	600.3	1200.6	600.3	7.8	4682.34
O-P	600.3	603.4	1203.7	601.85	2.5	1504.625
P-Q	603.4	603.4	1206.8	603.4	1.4	844.76
Q-R	603.4	600.2	1203.6	601.8	15.2	9147.36
R-S	600.2	600.2	1200.4	600.2	4.1	2460.82
S-T	600.2	603.7	1203.9	601.95	9.4	5658.33
T-U	603.7	603.7	1207.4	603.7	4.1	2475.17
U-V	603.7	604.2	1207.9	603.95	21.2	12803.74
V-W	604.2	604.1	1208.3	604.15	3.9	2356.185
W-X	604.1	604.2	1208.3	604.15	10.8	6524.82
X-A	604.2	603.6	1207.8	603.9	14.0	8454.6
					259.3	156424.30

Average Grade: 603.26

Type of Development/and or Land use proposed

No proposed change of use on this RS3 residential site

Community/Neighbourhood Benefits and Impact

Benefit/impact of Proposed Massing Change

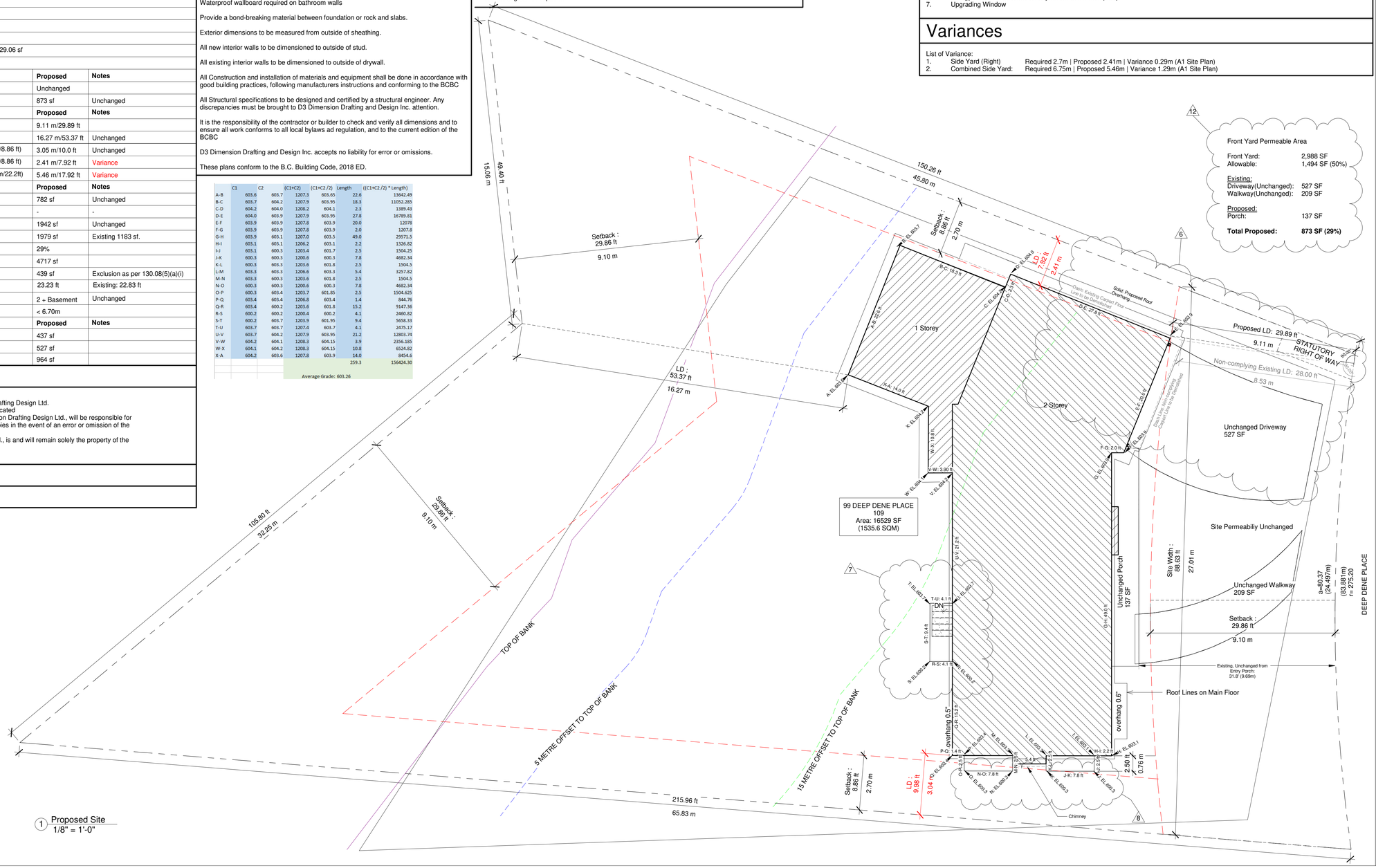
1. Renovation of original 1963 home in what was then "Capilano Estate."
2. Renovation respects the Dutch Colonial Revival style
3. The addition is subordinate and distinguishable
4. The material brings continuity across renovation and addition
5. The requested setback variance allows additional FSR to be constructed away from the riparian area.
6. The proposed addition is planned to be built above the existing non-conforming structure and had been designed to require no additional site coverage change.
7. The proposed garage provides secure waste storage

Benefit/impact of renovation goals

1. Addition designed to facilitate multi-generational living
2. The redesigned suite supports aging in place
3. Multi-generational living supported by community
4. Future-proofing home with EV Charger ready garage
5. Energy Efficient Hot water
6. Energy efficient forces are in conjunction with a heat pump
7. Upgrading Window

Variances

List of Variance:
1. Side Yard (Right) Required 2.7m | Proposed 2.41m | Variance 0.29m (A1 Site Plan)
2. Combined Side Yard: Required 6.75m | Proposed 5.46m | Variance 1.29m (A1 Site Plan)



1 Proposed Site
1/8" = 1'-0"

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No.	Description	Date
6	Existing LD Shown	11/25/2022
7	Four Corners of Stairs	11/25/2022
8	Four Points of Bottom of Window Well	11/25/2022
12	Permeability Calculation	11/25/2022

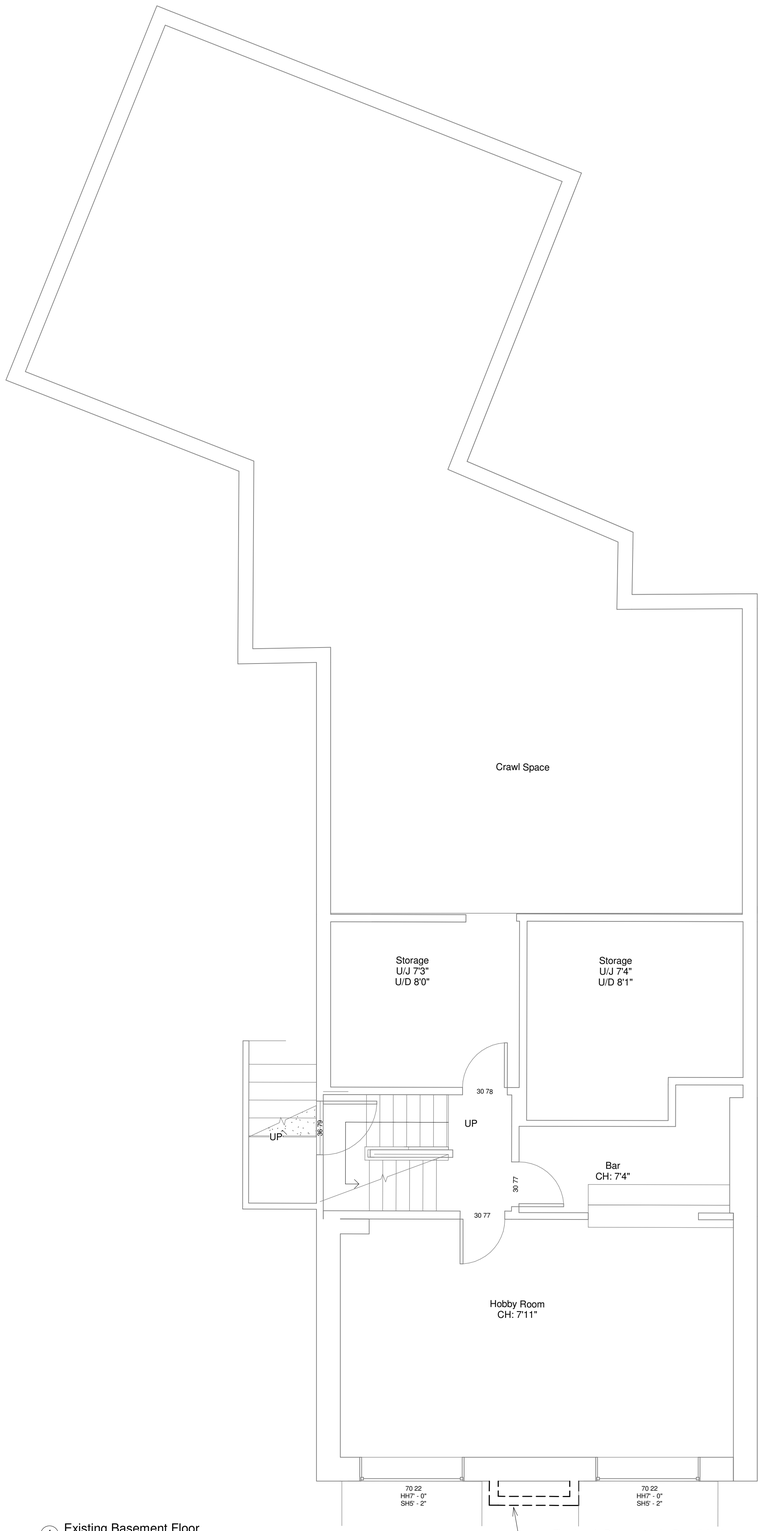
Alex and Daniel Cleland (CCI)
99 Deep Dene Place

Site Plan

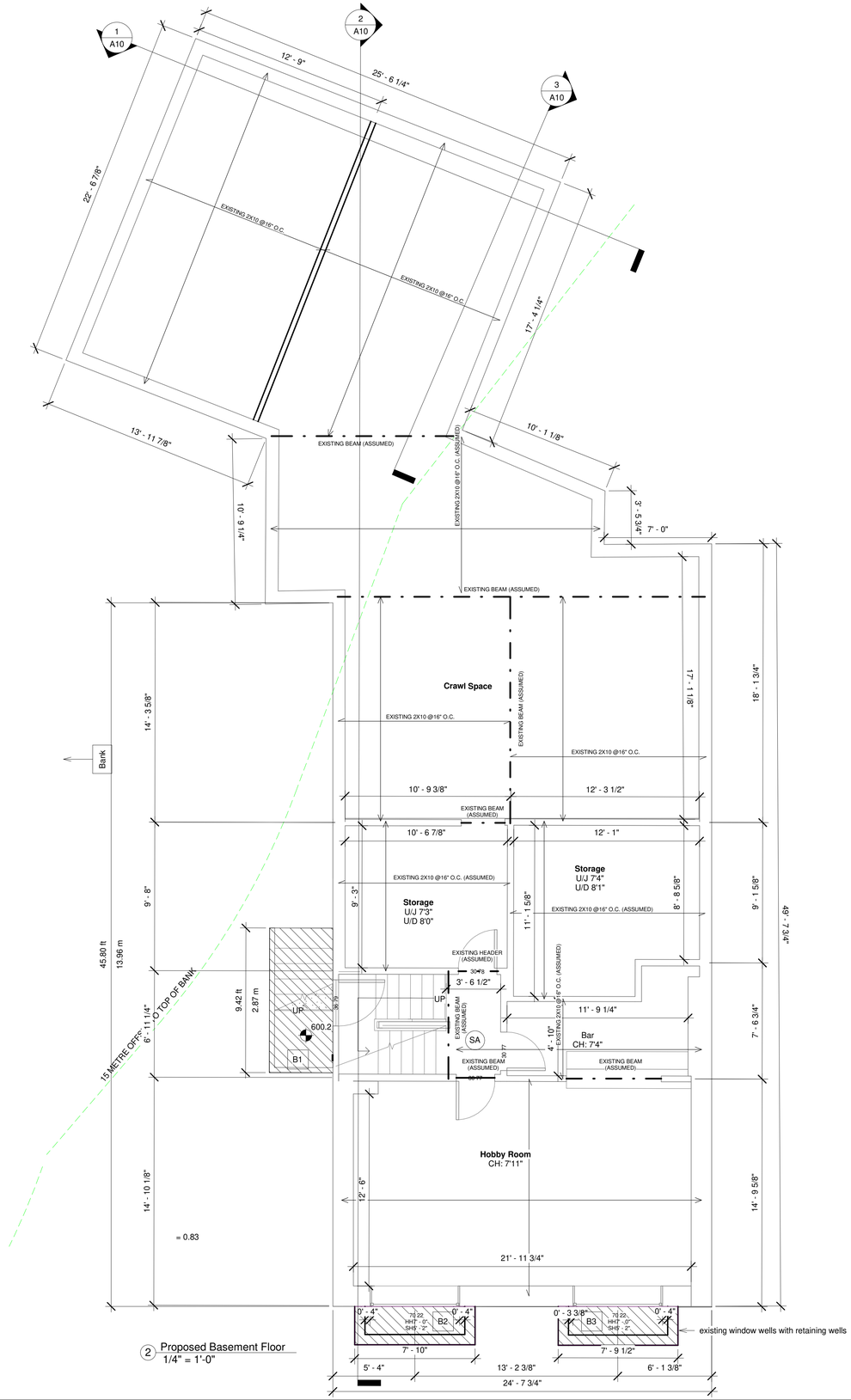
Project number	1583
Date	27-Jan-2023 11:14:57
Drawn by	Jespreet Gill
Checked by	Kirsten Sutton

A1

Scale As indicated



1 Existing Basement Floor
1/4" = 1'-0"



2 Proposed Basement Floor
1/4" = 1'-0"

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No.	Description	Date

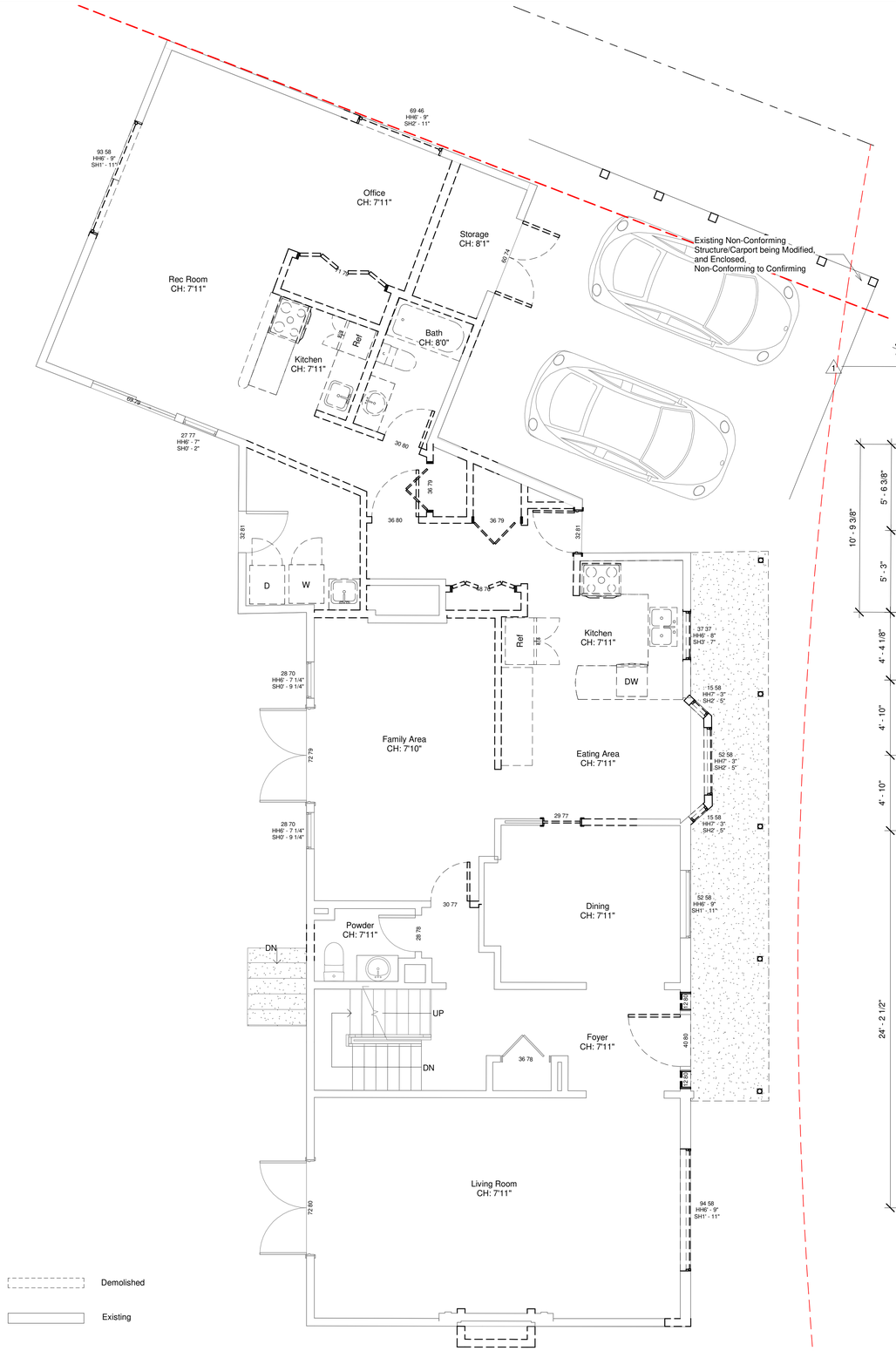
Alex and Daniel Cleland (CCI)
99 Deep Dene Place

Basement Floor

Project number	1583
Date	27-Jan-2023 11:14:57
Drawn by	Jespreet Gill
Checked by	Kirsten Sutton

A2

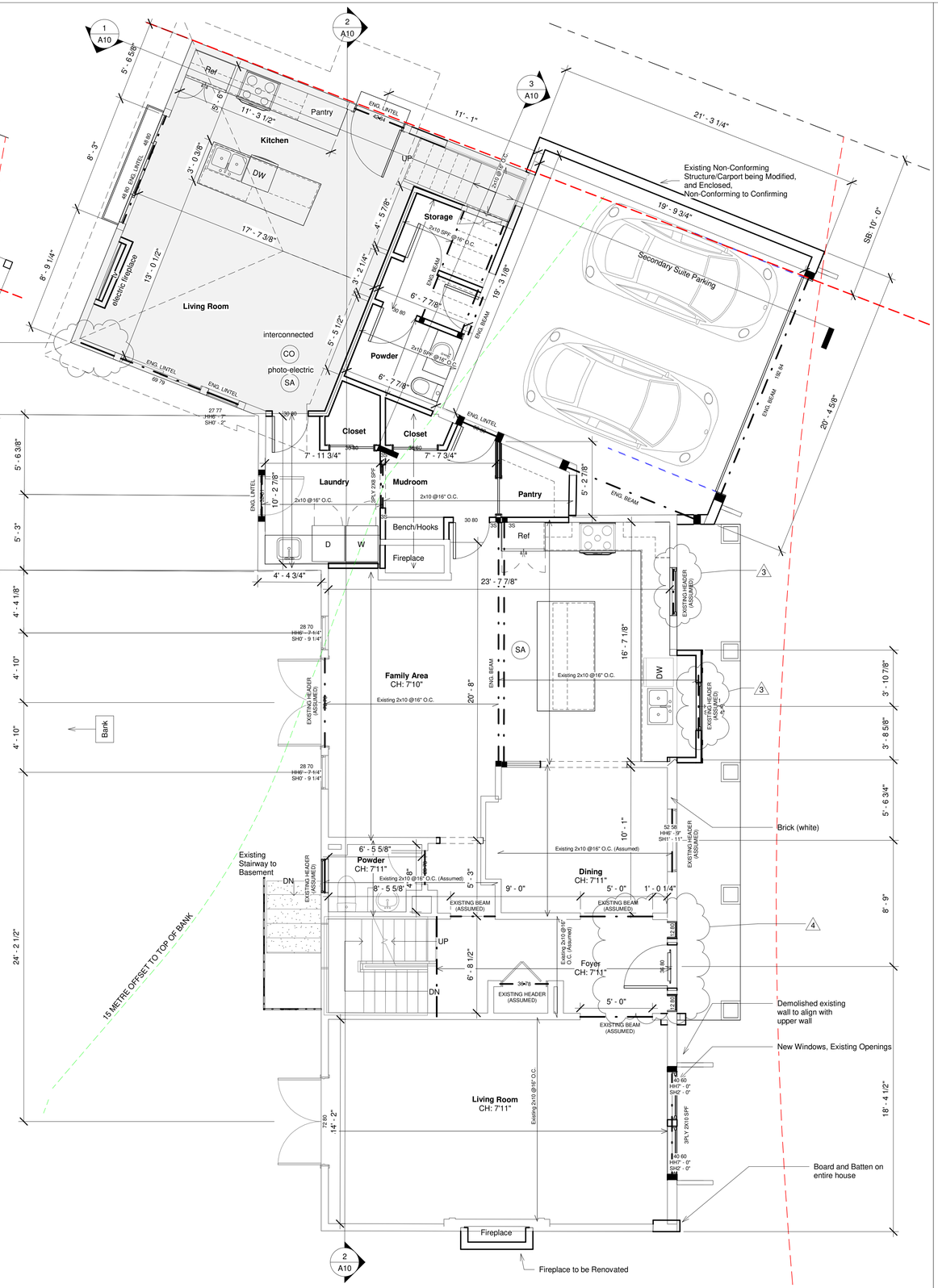
Scale 1/4" = 1'-0"



Demolished

Existing

1 Existing Main Floor
1/4" = 1'-0"



2 Proposed Main Floor
1/4" = 1'-0"

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No.	Description	Date
1	Remove Window	06/03/2022
3	Window Change	06/03/2022
4	Front Door Change	06/03/2022

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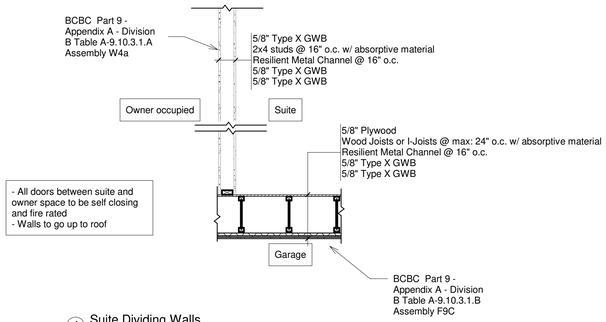
99 Deep Dene Place

Main Floor

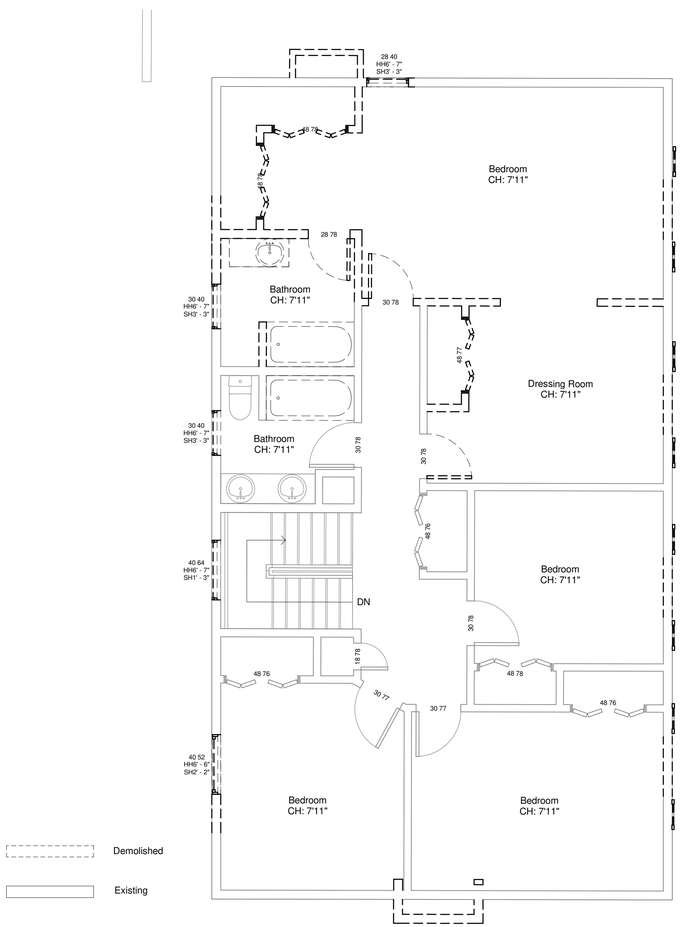
Project number	1583
Date	27-Jan-2023 11:14:59
Drawn by	Jespreet Gill
Checked by	Kirsten Sutton

A3

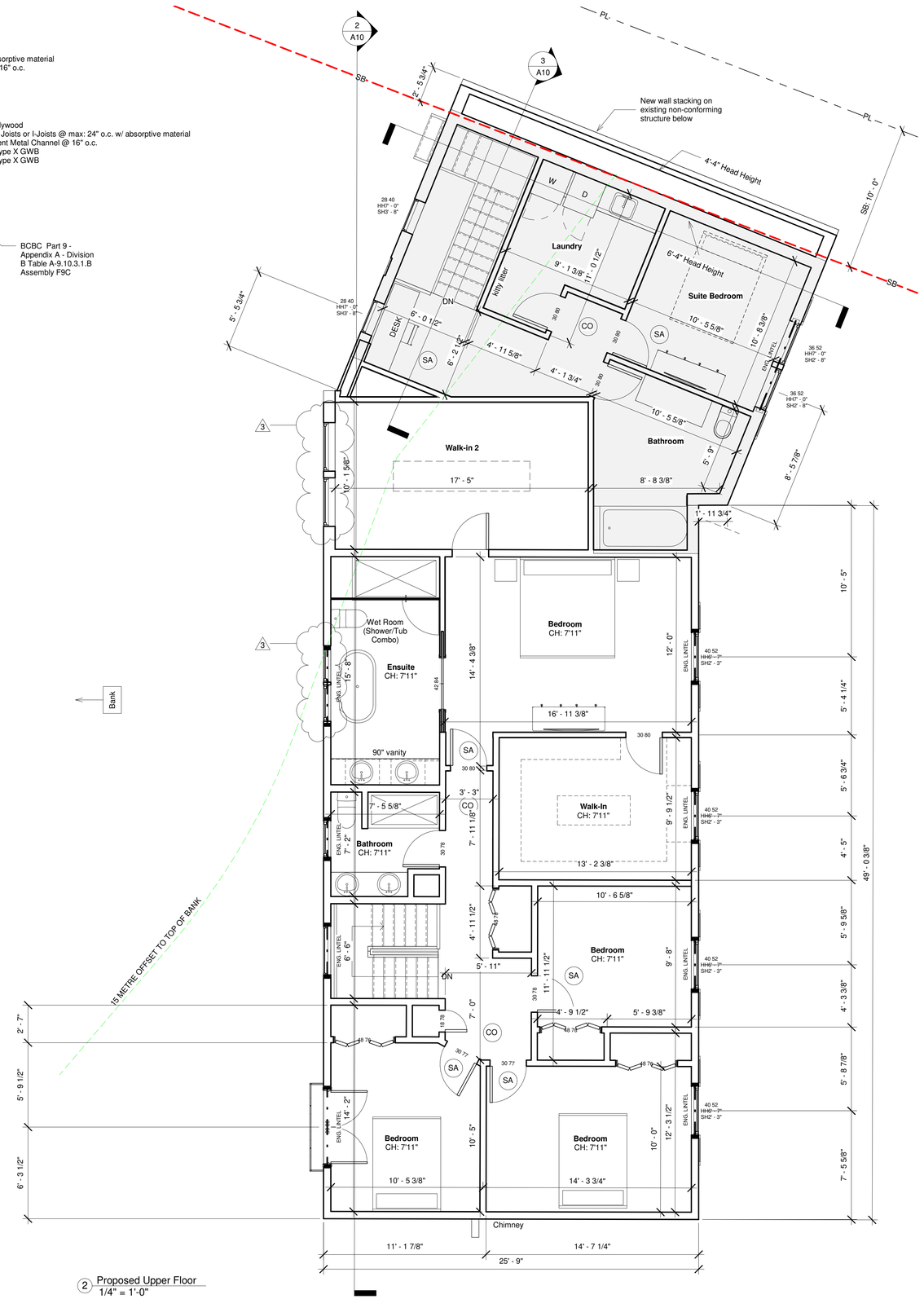
Scale: As indicated



4 Suite Dividing Walls
1/2" = 1'-0"



1 Existing Upper Floor
1/4" = 1'-0"



2 Proposed Upper Floor
1/4" = 1'-0"

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No.	Description	Date
3	Window Change	06/03/2022

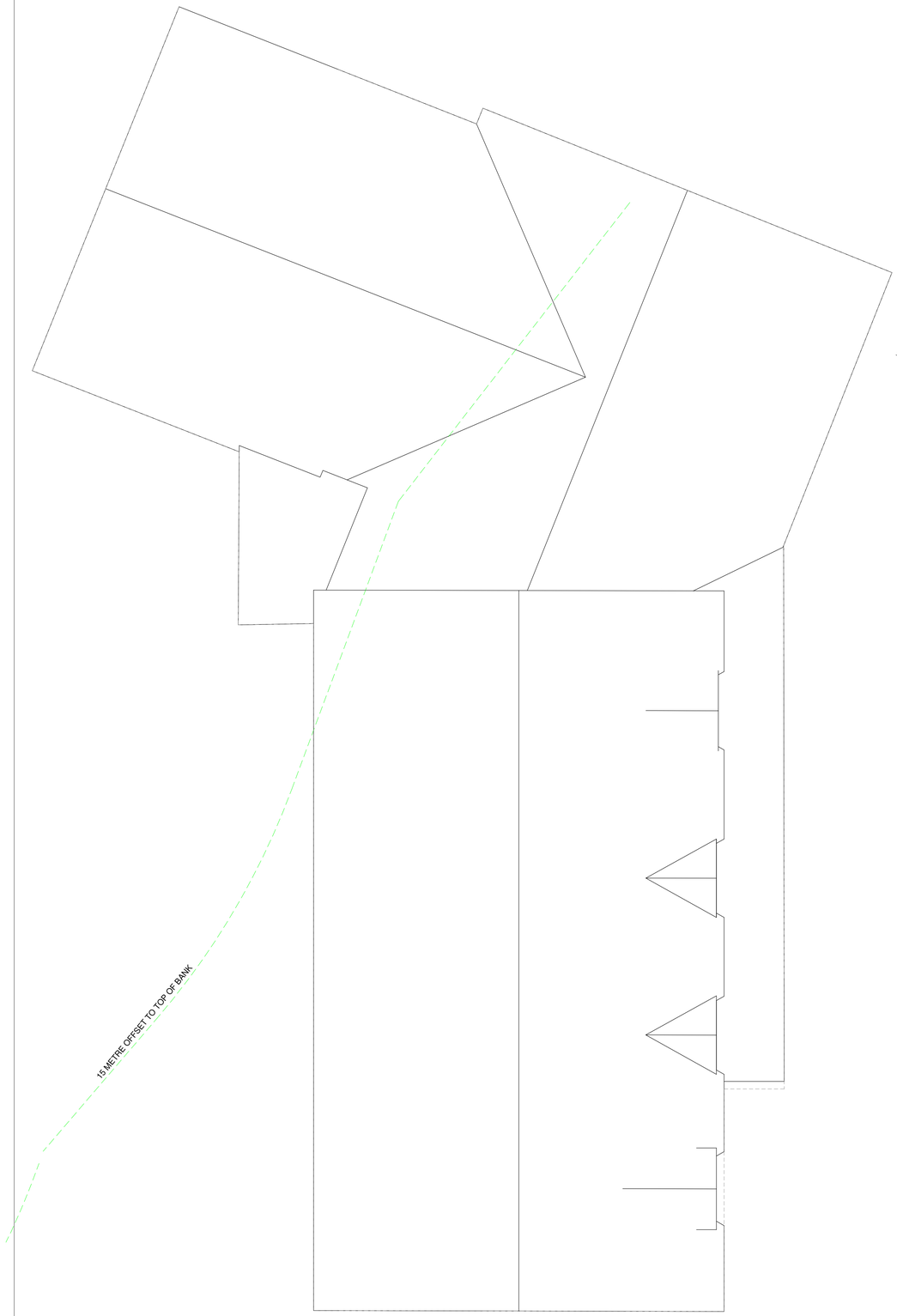
Alex and Daniel Cleland (CCI)
99 Deep Dene Place

Upper Floor

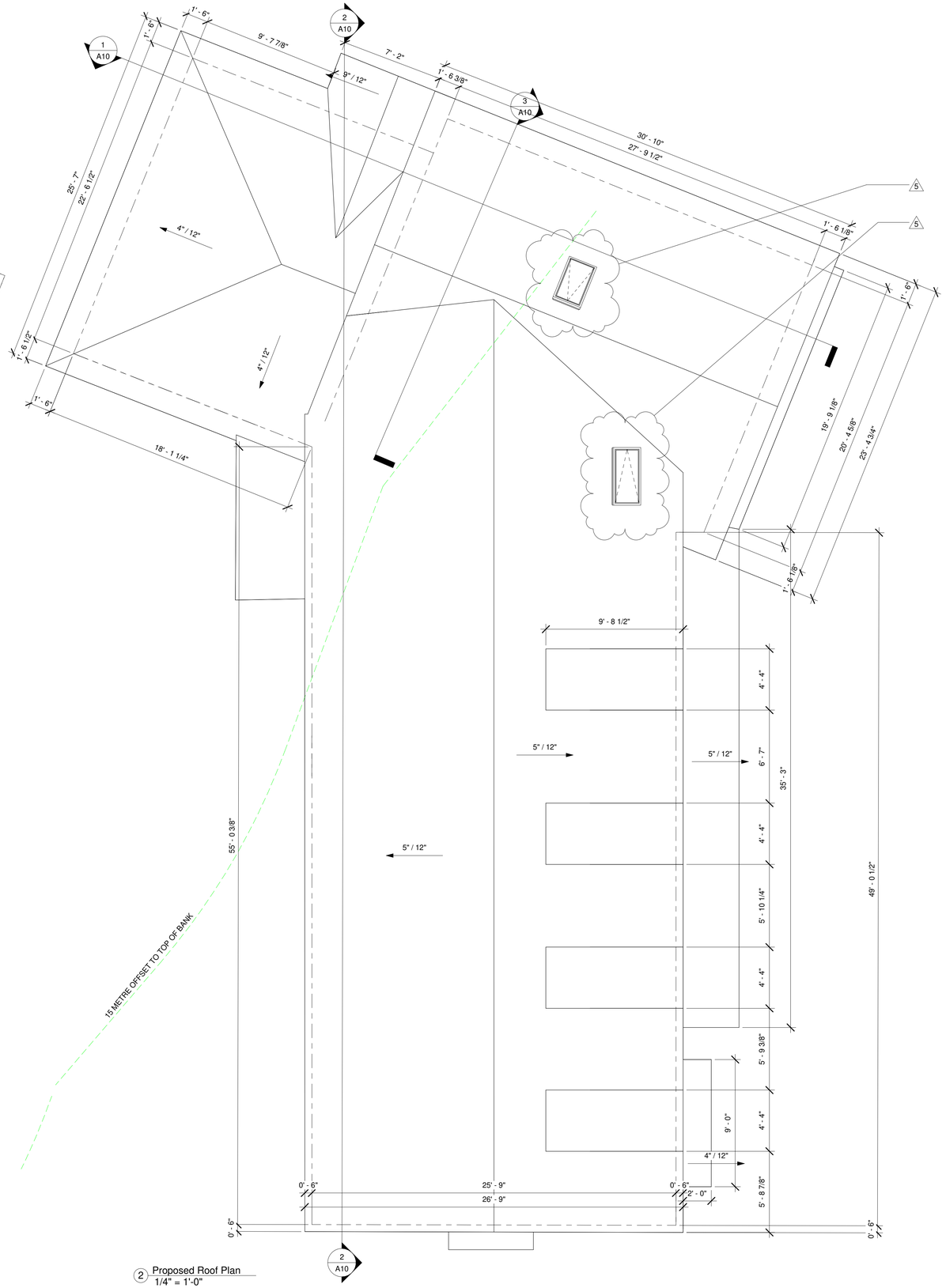
Project number	1583
Date	27-Jan-2023 11:14:59
Drawn by	Jespreet Gill
Checked by	Kirsten Sutton

A4

Scale As indicated



1 Existing Roof Plan
1/4" = 1'-0"



2 Proposed Roof Plan
1/4" = 1'-0"

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No.	Description	Date
5	Add Skylight	06/03/2022

Alex and Daniel Cleland (CCI)
99 Deep Dene Place

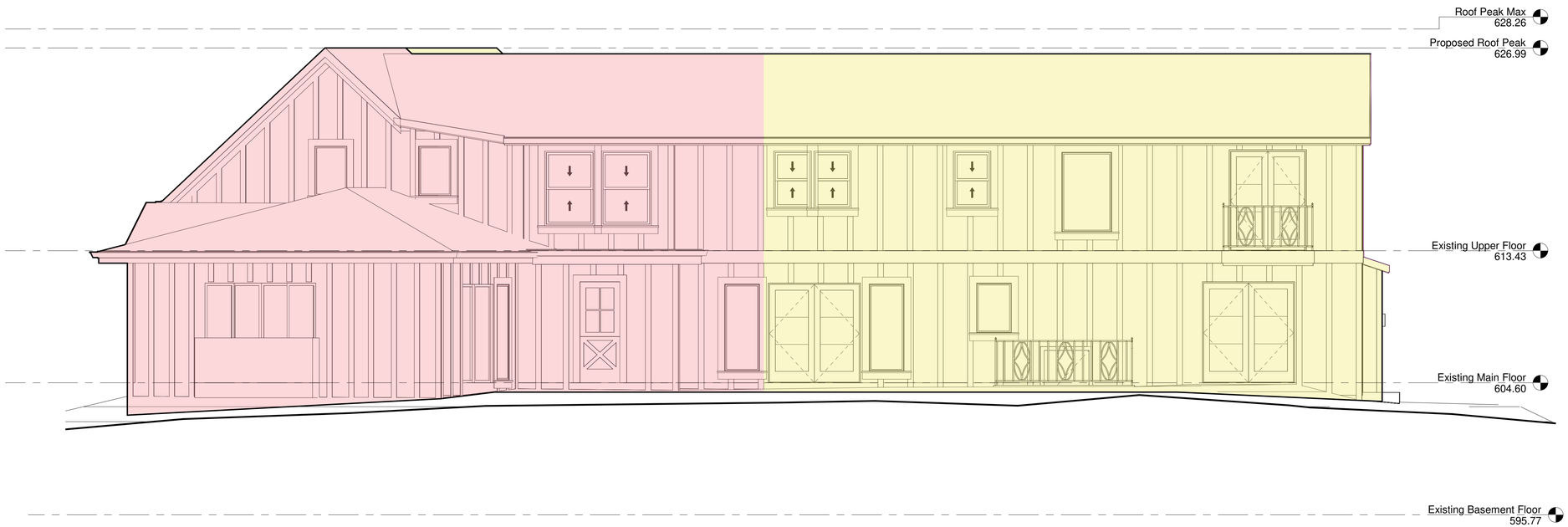
Roof Plan

Project number	1583
Date	27-Jan-2023 11:15:00
Drawn by	Author
Checked by	Checker

A5

Scale 1/4" = 1'-0"

1 Existing Rear Elevation
1/4" = 1'-0"



2 Rear Elevation 15m Zone
1/4" = 1'-0"

List of Changes within 15m Zone

Basement

- No Changes

Main Floor

- New Siding
- New Roofing
- Existing Roof Alterations

Upper Floor

- New Walls
- New Siding
- New Windows
- New Roof
- Existing Roof Addition

Area within 15m Line

Area not within 15m Line

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No.	Description	Date

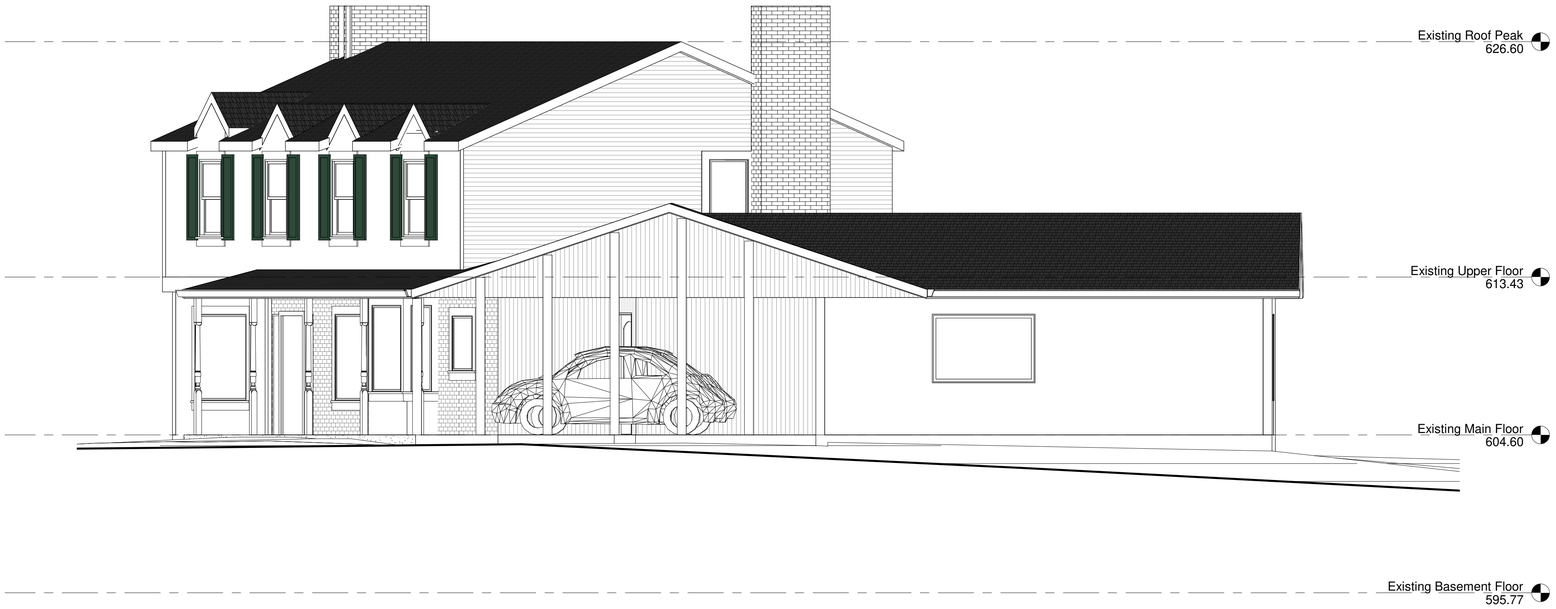
Alex and Daniel Cleland (CCI)
99 Deep Dene Place

Critical 15m Area Elevations

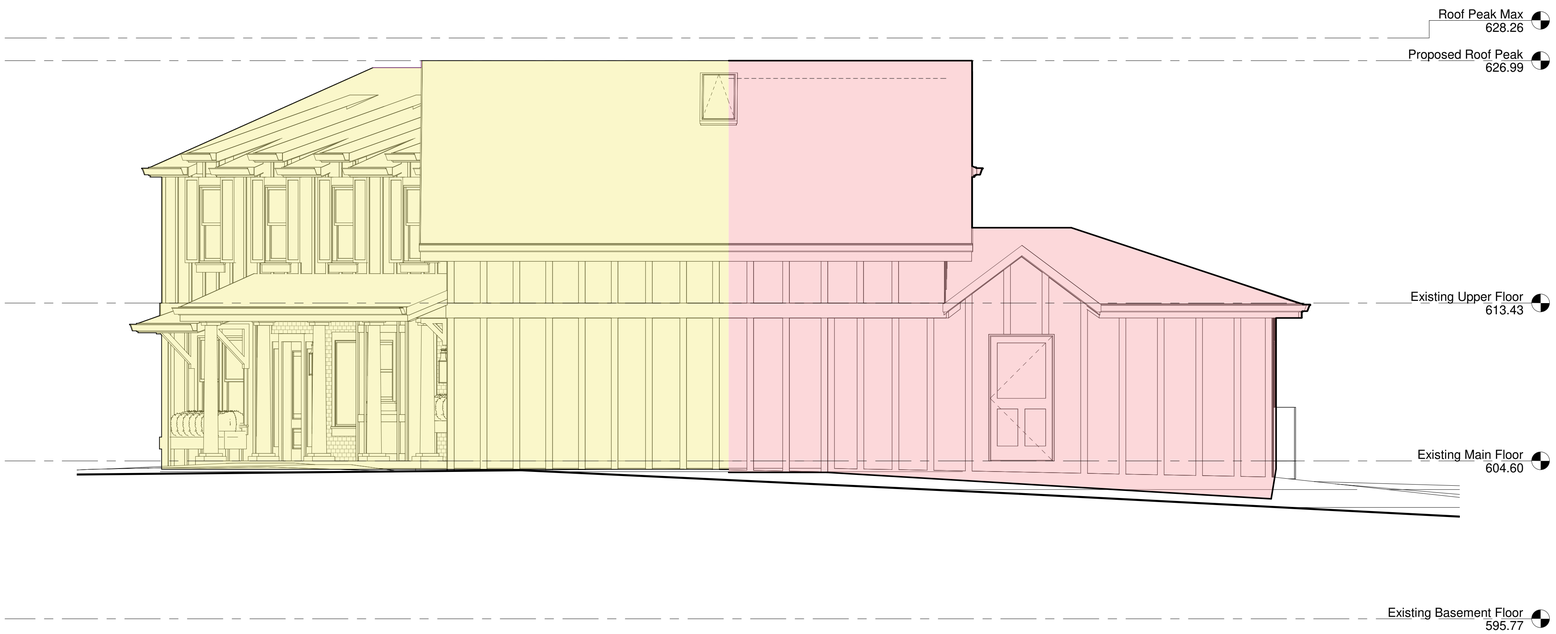
Project number	1583
Date	27-Jan-2023 11:15:00
Drawn by	Author
Checked by	Checker

A6

Scale 1/4" = 1'-0"



1 Existing Right Elevation
1/4" = 1'-0"



2 Right Elevation 15m Zone
1/4" = 1'-0"

List of Changes within 15m Zone

Basement

- No Changes

List of Changes within 15m Zone

Main Floor

- Existing Roof Alterations
- New Siding
- New Door
- New Stairs to Door

Upper Floor

- New Roof
- New Walls
- New Siding

Area within 15m Line

Area not within 15m Line

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No.	Description	Date

Alex and Daniel Cleland (CCI)
99 Deep Dene Place

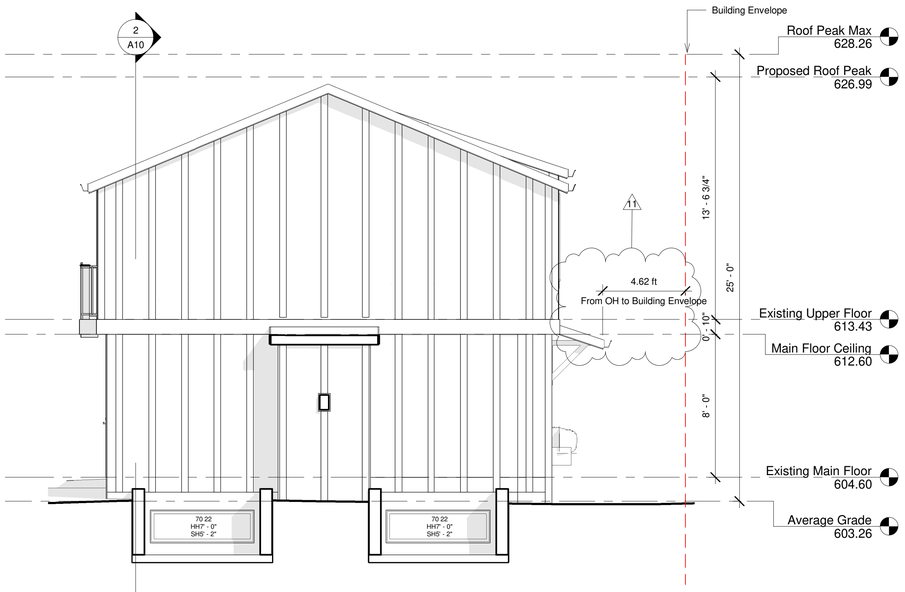
Critical 15m Area Elevations

Project number	1583
Date	27-Jan-2023 11:15:01
Drawn by	Author
Checked by	Checker

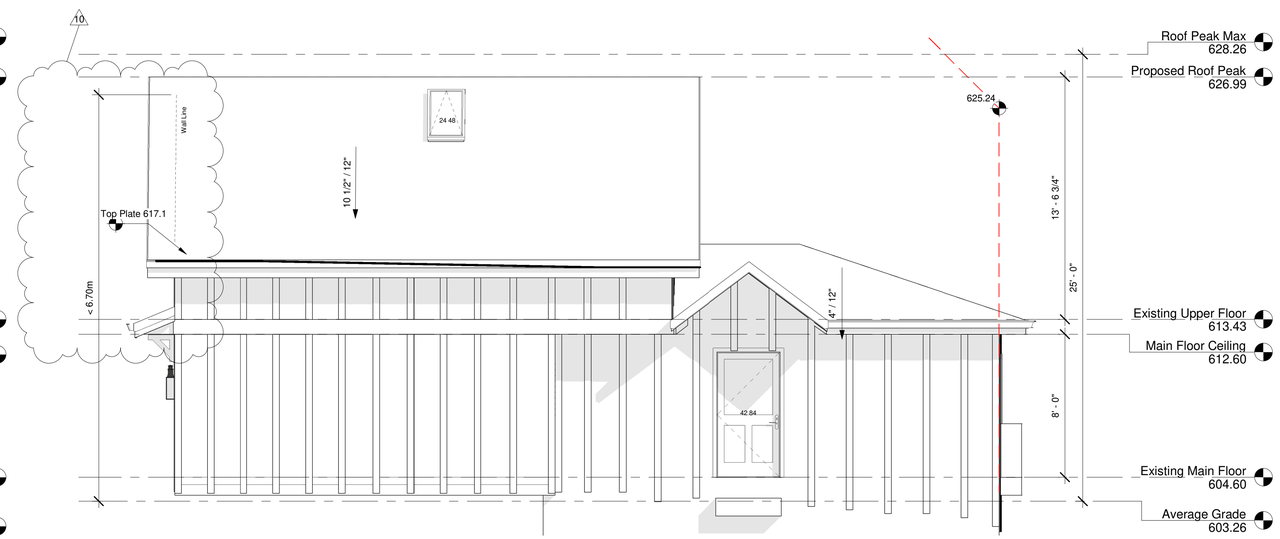
A7

Scale 1/4" = 1'-0"

1 Front Elevation.
1/4" = 1'-0"



2 Left Elevation
1/4" = 1'-0"



3 Garage Right Elevation
1/4" = 1'-0"

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No.	Description	Date
3	Window Change	06/03/2022
5	Add Skylight	06/03/2022
10	Top Plate Provided, with HBF	11/25/2022
11	Distance from PL to OH	11/25/2022

Alex and Daniel Cleland (CCI)

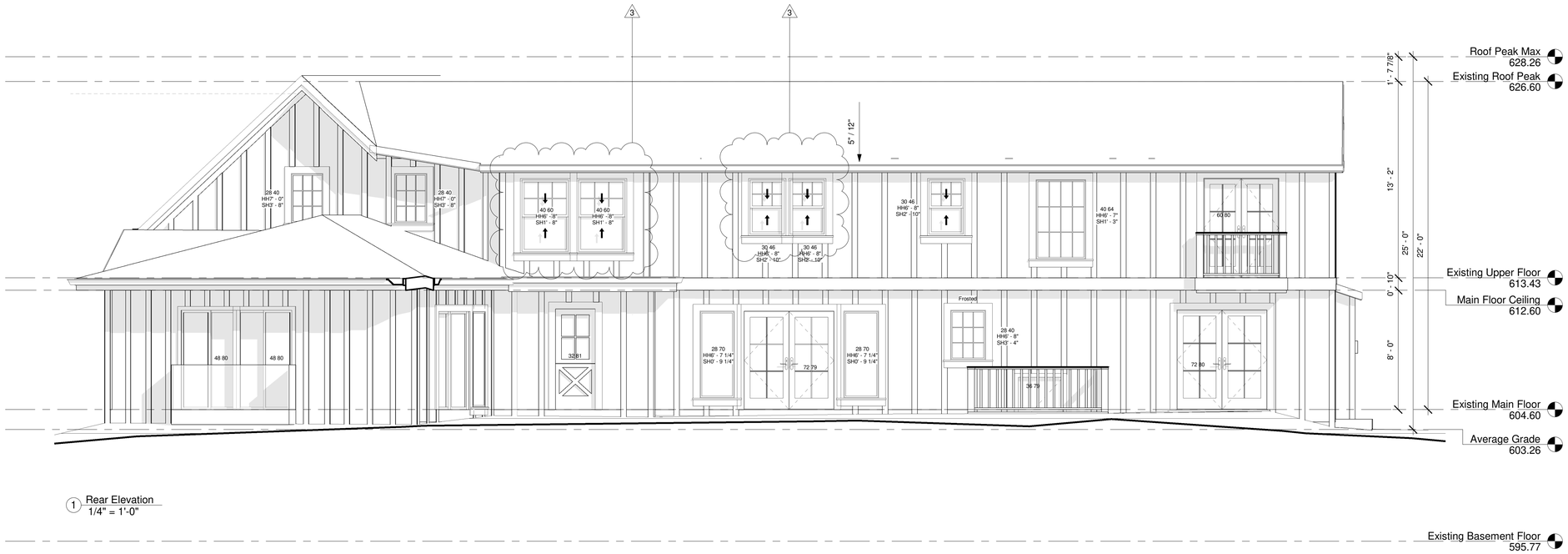
99 Deep Dene Place

Elevations

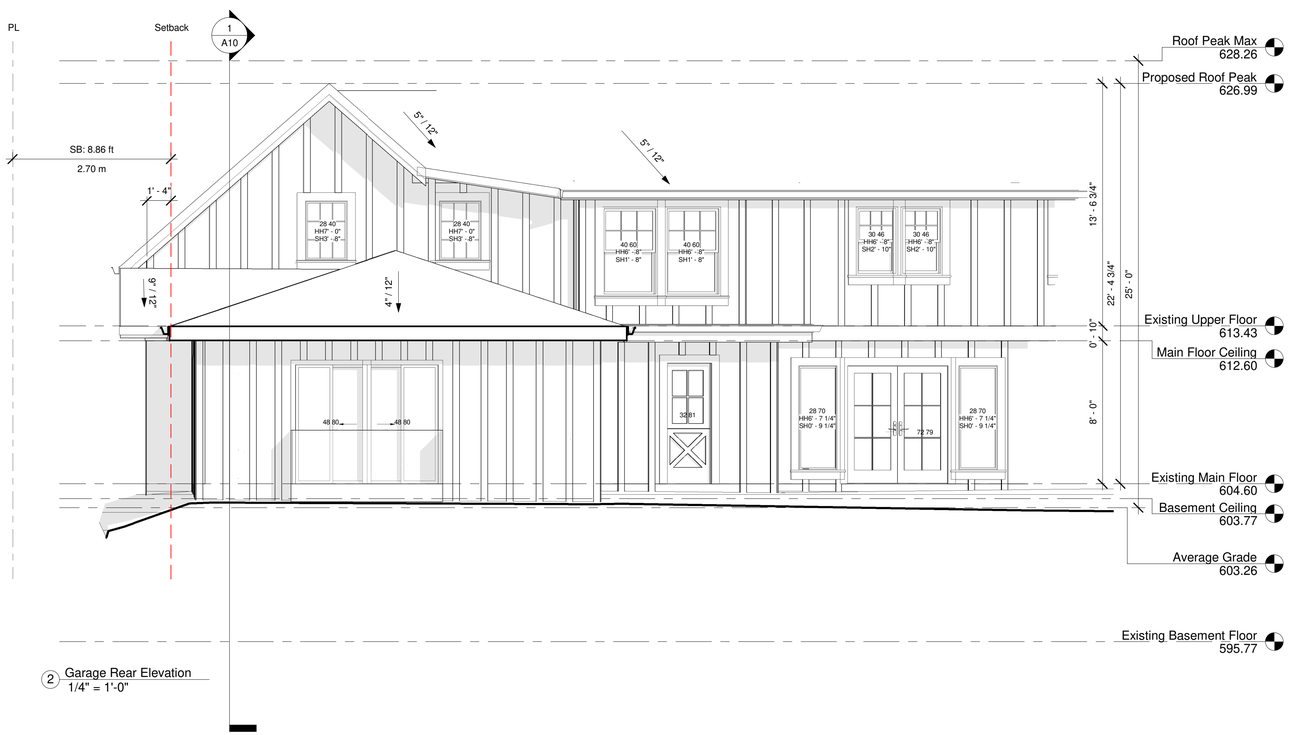
Project number	1583
Date	27-Jan-2023 11:15:05
Drawn by	Author
Checked by	Checker

A8

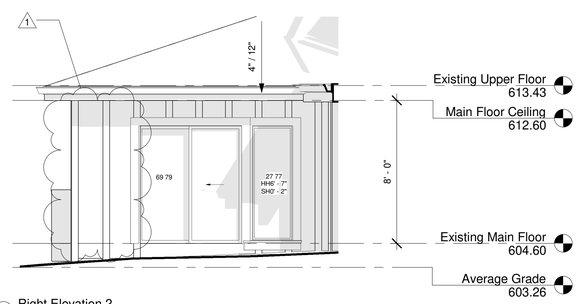
Scale 1/4" = 1'-0"



1 Rear Elevation
1/4" = 1'-0"



2 Garage Rear Elevation
1/4" = 1'-0"



3 Right Elevation 2
1/4" = 1'-0"

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No.	Description	Date
1	Remove Window	06/03/2022
3	Window Change	06/03/2022

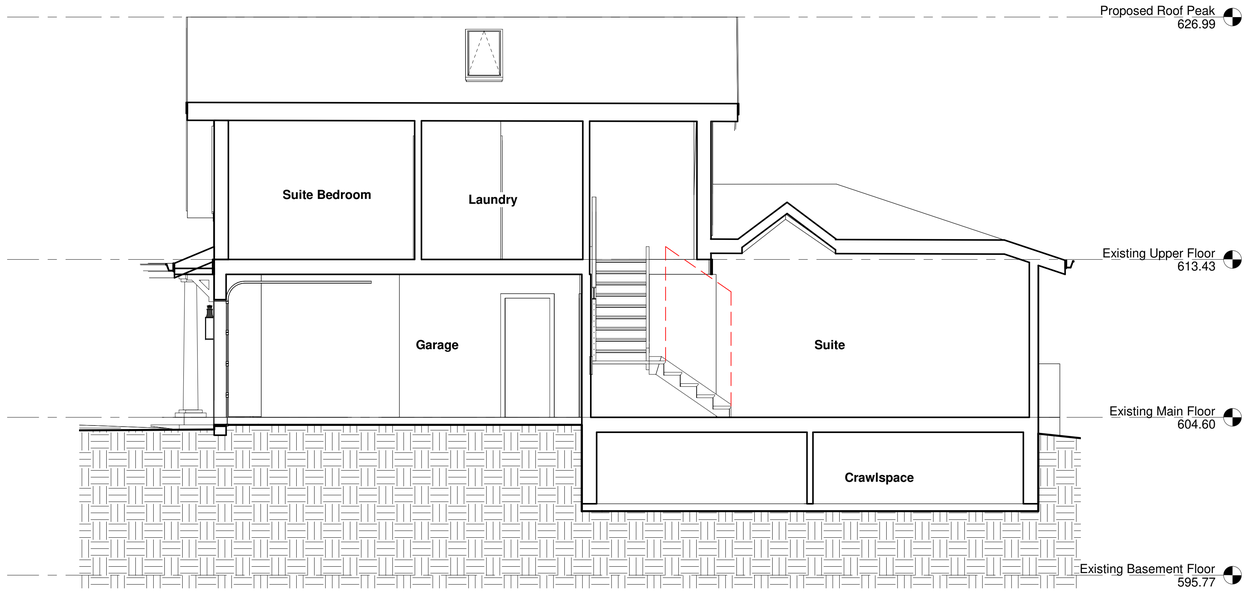
Alex and Daniel Cleland (CCI)
99 Deep Dene Place

Elevations

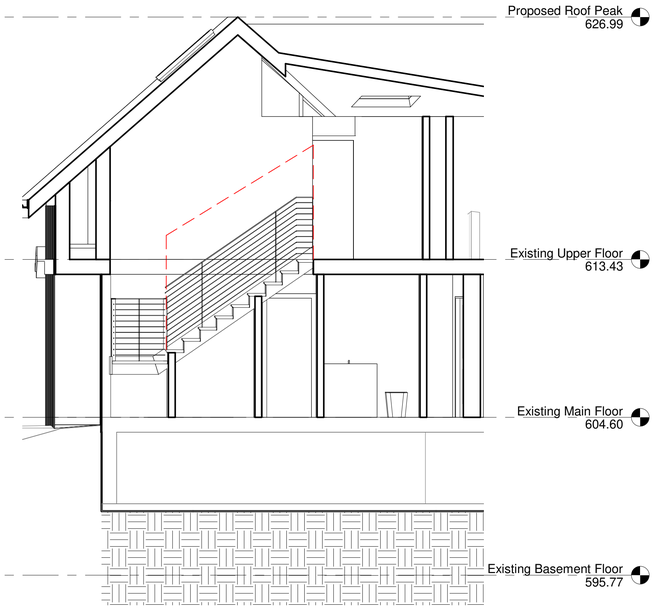
Project number	1583
Date	27-Jan-2023 11:15:08
Drawn by	Author
Checked by	Checker

A9

Scale 1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"



3 Section 3
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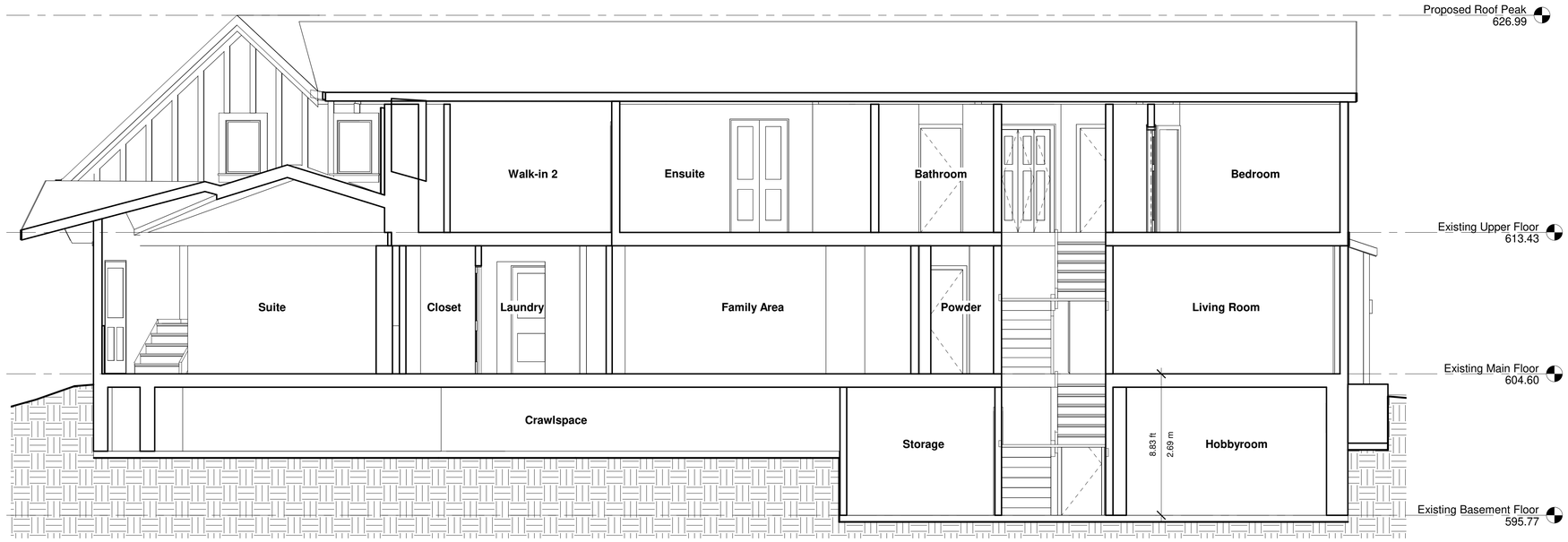

2 Section 2
1/4" = 1'-0"

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No.	Description	Date

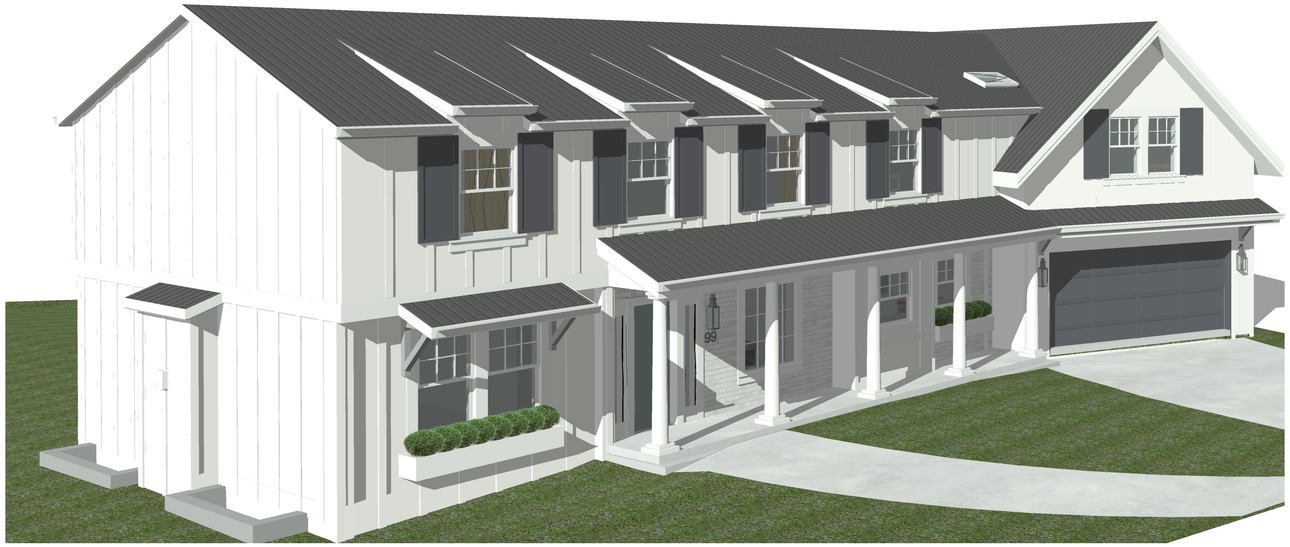
Alex and Daniel Cleland (CCI)
99 Deep Dene Place

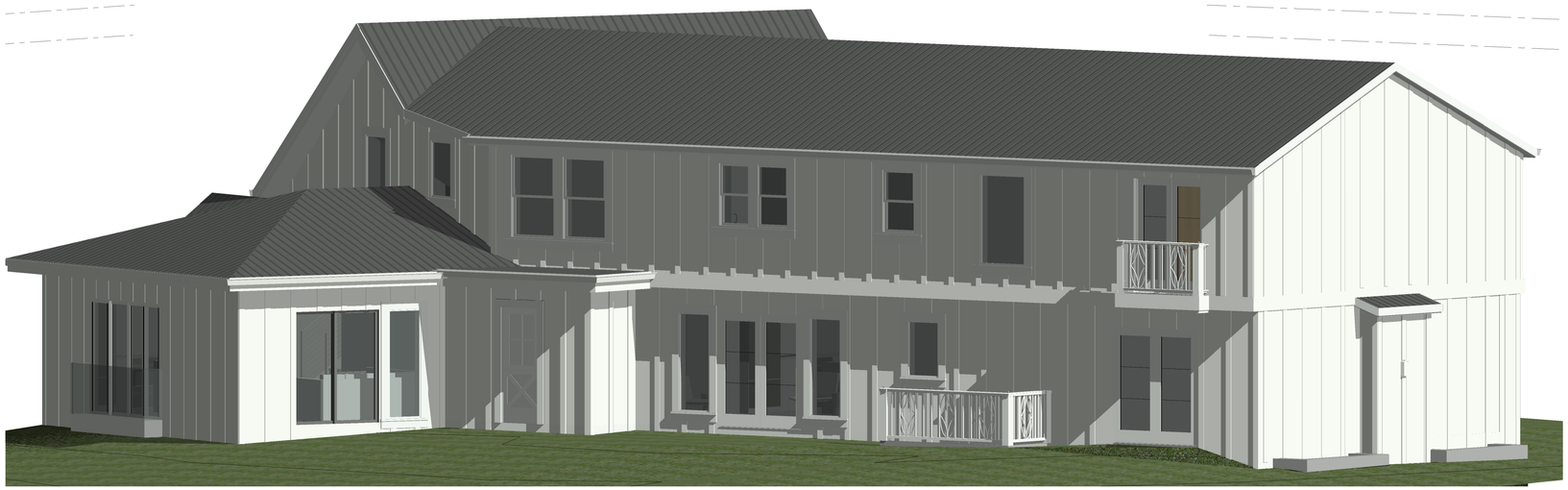
Sections

Project number	1583
Date	27-Jan-2023 11:15:09
Drawn by	Author
Checked by	Checker

A10

Scale 1/4" = 1'-0"





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DRAFTING
DESIGN INC.

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No.	Description	Date

Alex and Daniel Cleland (CCI)
99 Deep Dene Place

3Ds

Project number	1583
Date	27-Jan-2023 11:15:20
Drawn by	Jespreet Gill
Checked by	Kirsten Sutton

A30

Scale	3/16" = 1'-0"