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# BURRARD INLET RESIDENCE

Consolidation of 164 & 172 South Oxley Street  
West Vancouver, BC V7V 1G8, Canada

DEVELOPMENT PERMIT  
01/10/2022

## Olson Kundig

159 South Jackson St. Suite 600  
Seattle, Washington 98104 USA  
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**Zoning Table - Single Family Dwelling R54**

- Values given as F the lots of 164 and 172 South Oley St have been consolidated
- Project being considered is under Zoning Bylaw regulations applicable to the amendments effective January 31, 2022
- New Zoning Bylaw has been retroactively applied to the property

| Zoning Provision                   | ZB Section       | Regulation                                    | Proposed   | Revision     |
|------------------------------------|------------------|---|--|--------------|
| Step Code                          | BCBC - part 9    | Step 3 w/ low carbon                          | Step 3 w/ low carbon                             |              |
| Rock Breakage                      | Bylaw 5130       | 600 m <sup>3</sup>                            | 800 m <sup>3</sup> w/ variance                   |              |
| Site Area                          | 204.03           | 836 m <sup>2</sup>                            | 1,368.8 m <sup>2</sup>                           |              |
| Site Width                         | 204.04           | 22.9 m min                                    | 30.6 m   |              |
| Site Depth                         | 204.04           | <4x site width                                | 61 m @ north lot line<br>27.6 m @ south lot line |              |
| Site Coverage                      | 204.05           | 30%, 416 m <sup>2</sup>                       | 25%, 352 m <sup>2</sup>                          |              |
| Lot consolidation (Max Floor Area) | 130.17           | 438.8 m <sup>2</sup>                          | variance to apply 204.03 area calculation        |              |
| Floor Area                         | 204.06           | 486.1 m <sup>2</sup>                          | 493.5 m <sup>2</sup> w/ variance                 |              |
| Front Yard                         | 204.07           | 9.1 m   | 9.1 m  |              |
| Shoreline Yard                     | 204.08           | 9.1 m   | 7.8 m w/ variance                                |              |
|                                    |                  |   | 1.2 m w/ variance                                |              |
| Side yard (north)                  | 204.09 130.01(8) | 3m primary 3m garage                          |  | Rev2         |
|                                    |                  |   | 3 m  |              |
| Side yard (south)                  | 204.09 130.01(8) | 3m primary 3m garage                          |  | Rev 2        |
|                                    |                  |   | 4.5 m  |              |
| Combined side yard                 | 204.09           | 7.65m   | 21.2 m   | Rev 2        |
|                                    |                  |   | 22.4m garage                                     | Rev 2        |
| Building Height                    | 204.10 204.01    | 7.62m primary 3.65 accessory                  | 8.1 m avg natural grade w/ variance              |              |
|                                    |                  |   | 2.75 m   | Rev 2        |
| Highest Building Face Envelope     | 204.12           | 6.7 m   | 8.6 m w/ variance                                |              |
| Pools and Ponds                    | 130.11           | In-ground 1.8m front 2.4m all other           | In-ground  |              |
|                                    |                  |   | 2.4 m min from property line                     |              |
| Fences                             | 130.16           | 1.8m front 2.4m all other                     | 1.8m front 2.4m all other                        |              |
|                                    |                  |   | 1.8 m length max                                 |              |
| Chimney Dimensions                 | Chimney 1        | 1.8m length max                               | 3.6 m w/ variance to max height                  |              |
|                                    |                  |   | 4.4 m w/ variance to max height                  |              |
| Retaining Walls                    | 120.22           | 2.4 m max exposed height 1.2 m max else where | 3.0m w/ variance exposed height                  | Rev 3        |
|                                    |                  |   |  |              |
| Stores                             | 130.01, 130.12   | 1 + basement 2 + basement                     | 2 + basement                                     |              |
|                                    |                  |   | 1 + basement w/ variance                         |              |
| Parking Spaces                     | 142.04           | 1   | 1  |              |
|                                    |                  |   | 5.8m x 2.9 m                                     | 5.8m x 2.9 m |
| Parking Dimensions                 | 142.04           | 5.8m x 2.9 m                                  | 5.8m x 2.9 m                                     |              |
| Energized outlet Facing the Street | 142.03           | N/A   | N/A  |              |
| Garage Doors                       | 141.02           | 9.1 M max                                     | 5.5 M  |              |

**Variances Proposed (also included in A0.00 project information)**

- Setback: by law 204.07.04
- Front Yard Set Back
- Side Yard Set Back

The proposed project is a 1.25m min set back has been applied to the proposed garage in relation to the front and north side yard setback and has been endorsed by the neighbouring property. Please refer to the revised site and plan drawings (Fig. A-2.0, A-2.1, A-2.2).

For previous planning conversation a front and setback variance is asked for given an encroachment of the primary dwelling towards the south end of the property. This is due to the overall slope and severe side of the property and our design intent to minimize visual "bulk". Given the slope of the property, the roof line of the primary structure is below that of the S. Oley, while the scale from the east (water side) is low and more modest than if we built a more massive building higher near the street. The visual character condition of S. Oley could benefit the encroachment.

- We have moved the garage to accommodate the 1.25m min. setback as recommended.

- Floor Area Ratio (FAR) bylaw 130.17.04.08
- The project proposes a consolidation of 2 lots, both are subdivided in area as related to R54 zoning. When consolidated, the remaining site will be within the municipality's minimum lot area requirements. Section 130.17 of Zoning By-Law No. 462-2010 requires a reduction in FAR to be consolidated lot. The minimum floor area for a consolidated lot is calculated as follows: 200.00 sq. m up to a maximum of 150% of the floor area permitted on lot having the minimum site area for that zone. We understand the purpose of this relatively new requirement is to reduce the scale of homes from lot consolidation. Since this consolidation brings 151% covered lots with the minimum, we request a reduction of this rule for lot we can built to the standard FAR calculation.

- Staff comments given related to open to this variance and allow a total FAR that would be allowed if two new homes were to be built or unconsolidated lots under R54 zoning. Specifying the maximum FAR would be 311.75 m<sup>2</sup> (1.558 sqft)
  - 172 Oley - 0.25 (25% = 121 sq ft)
  - 164 Oley - with lot area 602.9 m<sup>2</sup> = 237 m<sup>2</sup>
  - Total calculated maximum floor area
 Our proposed project is asking for 493 m<sup>2</sup> (5.312 sqft) w/ variance to basement definition
  - Refer to A0.00 in area calculation

- Definition of basement: bylaw 130.08
- Garage
  - The garage will be at street level necessary for access, while maintaining height limits to avoid bulk at the street front. Given the existing garage and existing two storied garage, there will be open space below the garage. We propose to use this space as habitable space. Given the steep slope of the site, this space should meet the definition of a "basement" as depicted in figure 1 of zoning bylaw 130.08 which would allow exemption of this space from open and useful FAR calculations (except 60% FAR).
  - We no longer propose this space to be a "trough house" but to become storage with the possibility of becoming a study or rec. room. Refer to A2.01
  - The existing "trough house" will be removed from the property and the proposed design will not employ an additional accessory space as possible 22 sq. ft. 240 sqft exemption). This will reduce visual bulk to the neighbours side of the property. Given this we ask that if the area under the garage is to be included in the FAR that the accessory dwelling exemption be applied to this space.
  - Primary Dwelling
  - The proposed location of the Primary Dwelling has shifted vertically 5'-2" to reduce Rock Breakage on the site (per our previous planning conversation). Given this shift the Lower Level of the project no longer conforms to the definition of a "basement" as the definition measures from the base of natural and proposed grade.
  - A relaxation to the strict definition of the bylaw is asked for. As the proposed grade at the perimeter of the project will conform to the 0.5m requirement. Refer to A2.01, A3.03

- Rock Breakage: bylaw 5130
- Bylaw 5130 has recently been amended by amendment Bylaw No. 5252-2023. For this amendment or proposed project would meet these new allowances.
  - The previous planning conversation has surveyed the property to determine the estimated topographic location of rock on our site. This information was overlaid on our building section for conversation relating to how to minimize the impact to the site.

- Building Height: bylaw 204.10
- Following this building height, we noted that a 2'-0" vertical shift of the primary dwelling was highly likely. Re-calculating the average grade has left the project approx. 1'-0" over what is considered the allowed max height. Given the steep nature of the site, the natural nature of the landscape we feel this amount is negligible given 50ft from the front and neighboring property is minimal and given the nature of the environment is due to a difficulty to minimize rock intrusion. This increase elevation is further required to be designed to be habitable to the Flood Control Level determined by a qualified professional. Given the nature of the site and our proposed elevation the project exceeds minimums to ensure protection from possible storm surge / storm events.

- Chimney Dimension: bylaw 130.19
- The overall width of all proposed chimneys is to carry fire braced chimneys with lining of some MEP elements to reduce the effect of venting and other opportunities on the horizontal open roof. Additionally given the close nature of the site the presence of chimneys is further diminished as site lines are not blocked or obscured to the water despite encroaching on the maximum height. This proposal to save the chimneys as designed to allow for more modulation, visual interest, and enhance the proportion to the structure.

- Highest Building Face: bylaw 204.13
- Due to the challenges of the steeply sloped site and inherent modulation and sloping nature of the proposed home, we request relaxation of the highest building face rules for approximately 19' 0" near foot of the eastern elevation (ignat walls). We believe the proposed design meets the spirit behind the rule and does not create a true, considered vertical wall from the water and help the overall performance of the project from an energy code perspective. This relaxation also helps integrate the project into a more robust and transparent envelope detailing allowing the project to be further protected from the rigors of storm events as it relates to water infiltration at the project's entrance.

- In-Ground Pool and Supporting Retaining Wall Above Waterford Grade line: bylaw 130.11 and 130.22
- Given previous planning conversation and FCL report we are also proposing to lift the in-ground pool proposed in the rear yard by 2'-0" and reconfigure the grading of the project to avoid rock breakage for the swimming pool which is not supported by the planning department and to leave the pool and usable patio space above the newly determined FCL elevations. Due to the steep slope and difficult location of the site, with existing grade exceeding the grade line on the waterford side is extremely difficult to avoid rock breakage while meeting all retaining wall codes. Therefore we request to allow a portion of the East corner of the pool and supporting retaining wall to exceed the grade line.

The proposed location and shape of the pool was established after careful consideration of the existing site conditions and neighboring properties grade and layout. We believe the proposed layout and grade combined with the proposed landscape habitat enhancement work and gradual natural transition of topographic grade, will enhance the environment and visual appearance by all the neighbours. The new layout requirements removal of existing encroachments, patios, and walls on the lot and provide added protection to existing sewer infrastructure along the waterford. Refer to drawings (B0.3.01-F2)

- Retaining Walls: bylaw 120.22
- Data is required by north neighbor to allow usage of their encroaching existing patios which was supported in the Planning department. The NE planter has been confirmed which has resulted in 15' tall retaining wall on corner which was previously under 8' with the stepped lower NE planter. The revised layout and wall heights have been reviewed and agreed by the North neighbor. We are also proposing to soften that corner with a corner tree and a sloping garden bed to minimize the exposed wall face.



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BURRARD INLET RESIDENCE  
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W.T. LEUNG ARCHITECTS INC.

1580 BURNARD ST. SUITE 1000  
VANCOUVER, BRITISH COLUMBIA, CANADA V6Z 1K3  
REGISTRATION NO. 728-0711

Reserved for architects stamp

principal architect: \_\_\_\_\_  
project manager: \_\_\_\_\_  
drawn by: \_\_\_\_\_  
author: \_\_\_\_\_  
checked by: \_\_\_\_\_  
job no.: \_\_\_\_\_  
date: 01/10/2022

revisions:

1 22/12/2022 DP/REV1  
2 17/11/2022 DP/REV2

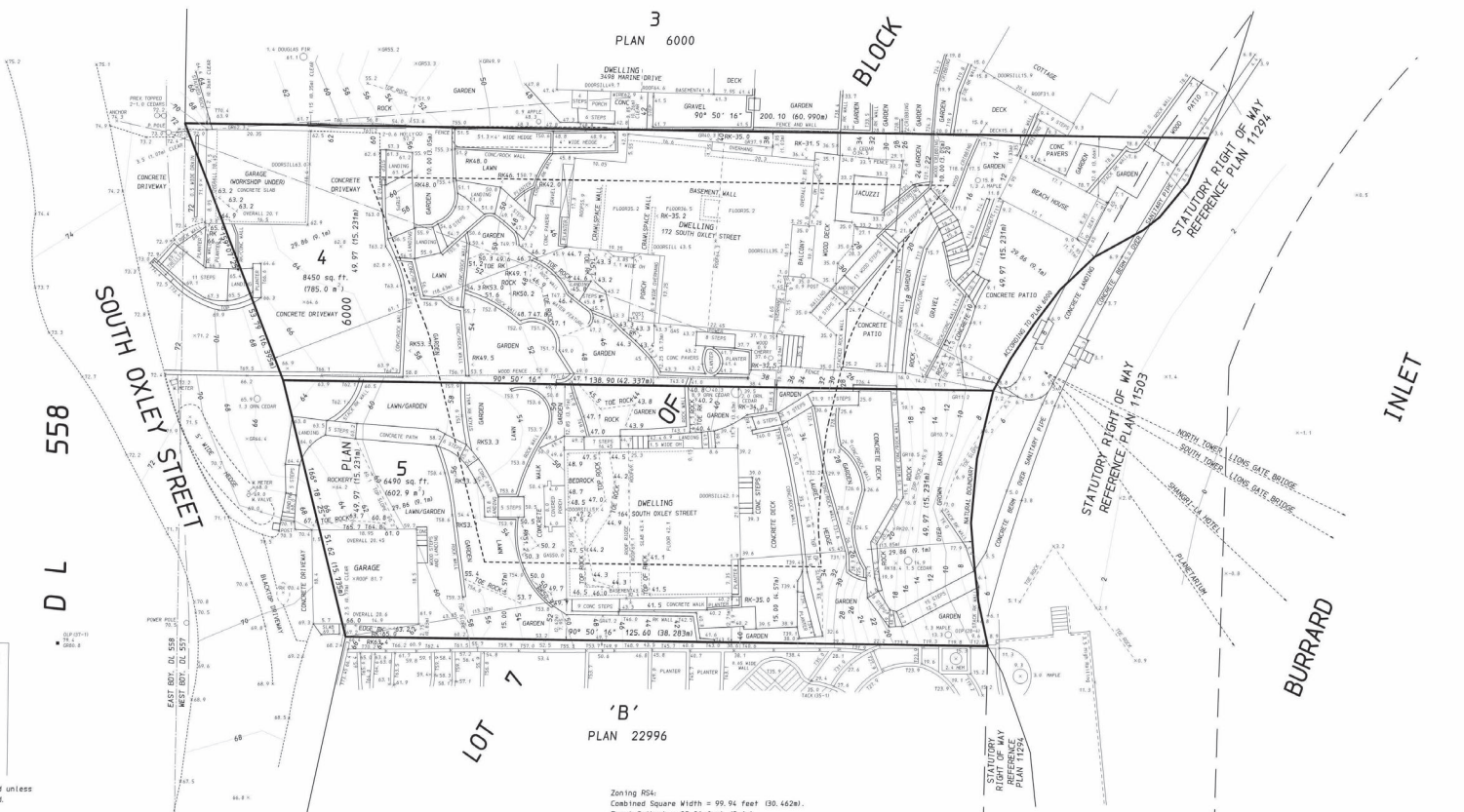
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NOT FOR CONSTRUCTION

DEVELOPMENT PERMIT  
01/10/2022

VARIANCE SUMMARY TABLE (ZONING)

TOPOGRAPHIC PLAN OF  
 LOTS 4 AND 5 OF LOT 7, BLOCK 1,  
 DISTRICT LOT 557  
 GROUP 1, NEW WESTMINSTER DISTRICT  
 PLAN 6000  
 LOT 4 P. I. D. 010-987-223  
 LOT 5 P. I. D. 010-987-266  
 SCALE: 8 FEET TO 1 INCH



D L 558

SOUTH OXLEY STREET

BLOCK 1

INLET

BURRARD

LOT 7 'B' PLAN 22996

AMENDED  
 PARCEL  
 1  
 EXPLANATORY  
 PLAN 2220

This document is not valid unless  
 originally signed & sealed.  
 Certified Correct according to field survey  
 and Land Title Office records.  
 B. C. L. S.  
 WILLIAM R. CHAPMAN  
 this 20th day of January, 2021.

NOTE:  
 NEGATIVE ROCK ELEVATIONS (RRK-32.5) DENOTE  
 ROCK IS UNKNOWN DEPTH BELOW THAT ELEVATION.  
 Bedrock field exploration completed December 2, 2020.  
 Original field survey completed September 25, 2018.

Zoning RS4:  
 Combined Square Width = 99.94 feet (30.462m).  
 Front Setback = 29.86 feet (9.1m).  
 Rear Setback = 29.86 feet (9.1m).  
 Sideyards (2 Storey by definition):  
 Minimum combined = 25.00 feet (7.62m).  
 Minimum = 10.00 feet (3.05m).

BUILDING ENVELOPE TO BE CONFIRMED BY  
 THE WEST VANCOUVER BUILDING DEPARTMENT.

Note:  
 Elevations are to Geodetic Datum  
 and are derived from Manhole 12  
 Invert = 104.44 feet (31.83m).

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 Driftwood Columbia Land Surveyors  
 197-100 Park Royal South  
 WEST VANCOUVER, B.C.  
 V7V 1A2 604-730-5111  
 PLAN 6000-2021-0121  
 EMAIL: BIL@CHAPMANLANDSURVEYING.COM  
 B: 2385 (28-180), 2430 (8-11)  
 HL JOB 20-147 FILED 2794C CORR 2794C-15-103

TOPOGRAPHIC PLAN OF  
 LOT 1 OF LOT 7, BLOCK 1,  
 DISTRICT LOT 557  
 GROUP 1, NEW WESTMINSTER DISTRICT  
 PLAN 6000

P. I. D. 010-987-126  
 SCALE: 8 FEET TO 1 INCH  
 "AND TURNER AND CAVE CREEKS"

4  
 SEE POSTING PLAN DF97571

5  
 PLAN 4979

557 BLOCK

6  
 PLAN 4979

1  
 PLAN 4979

PARK  
 PLAN 4979

PLAN 11294

2  
 PLAN 6000  
 (SEE POSTING PLAN BCP01439  
 AND POSTING PLAN 153357)

3  
 PLAN 6000  
 3498 MARINE DRIVE

Additional requested topography completed June 22, 2017.  
 Additional topography to north completed June 9, 2017.  
 Posting and tree detail completed November 23, 2016.  
 Field survey completed November 16, 2016.

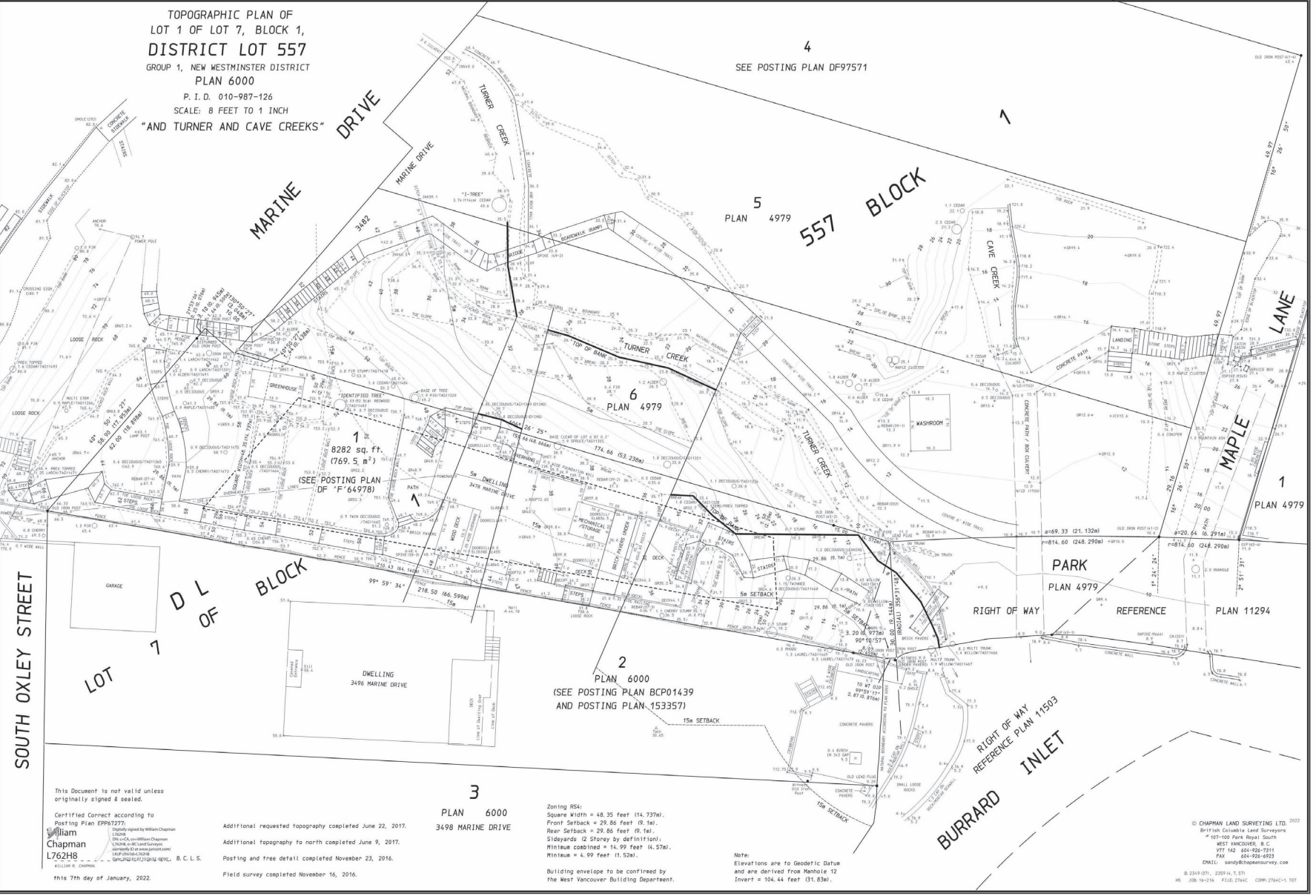
Zoning R5c:  
 Square Width = 48.35 feet (14.73m).  
 Front Setback = 25.86 feet (7.9m).  
 Rear Setback = 29.86 feet (9.1m).  
 Sideyards @ 2 Storey by definition.  
 Minimum combined = 14.99 feet (4.57m).  
 Minimum = 4.99 feet (1.52m).  
 Building envelope to be confirmed by the West Vancouver Building Department.

Note:  
 Elevations are to Geodetic Datum  
 and are derived from Meansea 12  
 Invert = 104.44 feet (31.83m).

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 British Columbia Land Surveyors  
 #40-100 Park Street South  
 WEST VANCOUVER, B.C.  
 V7V 1A2 604-266-7311  
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 EMAIL: info@chaplansurveying.com

8-2349-0701-2359-A-1-2021  
 45 JOB: 16-216 FILE: 2746C CORR: 2746C-1-107

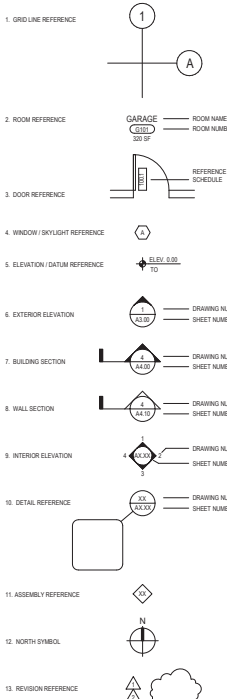
This Document is not valid unless  
 originally signed & sealed.  
 Certified Connect according to  
 Posting Plan EPP67277.  
 William  
 Chapman  
 L762H8  
 VILLIAR & CHAPMAN  
 this 7th day of January, 2022.



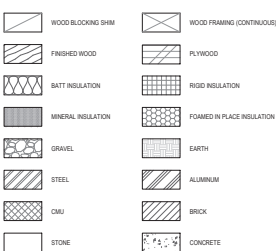
ABBREVIATIONS

Table of abbreviations with columns for symbol, material name, and other details. Includes entries like AT, LAMINATE LAMINATED, LAU, etc.

SYMBOLS / LEGEND



MATERIALS LEGEND



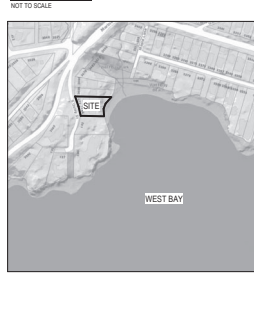
ZONING / BUILDING CODE SUMMARY

PROJECT ADDRESS: CONSIDERATION OF T44 & 172 South Quay West Vancouver BC V7V 1G8, CANADA. ASSESSOR'S PARCEL NUMBER: LOT 5 P.I.D. 010-897-266. LEGAL DESCRIPTION: LOT 5 PLAN 800 DISTRICT LOT 5P BLOCK 1 LOT 4 OF 7 LOT 5 PLAN 800 DISTRICT LOT 5P BLOCK 1 LOT 4 OF 7. APPLICABLE CODES: DIV 2 ZONING BY-LAW NO. 4622, 2010 B.W.M. BUILDING CODE, 2010 BC BUILDING CODE, 2010 BC FIRE CODE. AMENDMENTS EFFECTIVE JANUARY 1, 2022.

VICINITY MAP



LOCATION MAP



GENERAL NOTES

- 1. CODES ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORIZED HAVING JURISDICTION.
2. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK.
4. VERIFY ALL SOULDS IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE BIDDING, BIDDING, BOOKING, AND JACKS REQUIRED FOR INSTALLATIONS.

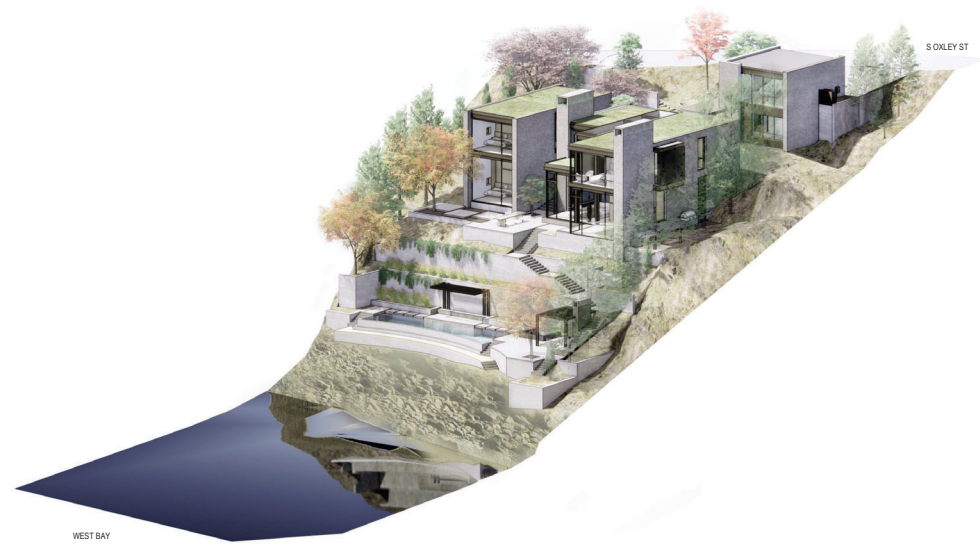
PROPOSED VARIANCES AND RATIONALE

RETRACTS BY LAW 2017, 2018. FROM YARD SET BACK: STEP 1 WITH LOW CARBON ENERGY SYSTEM. ENERGY CODE COMPLIANCE: AS ENERGY STEP BACK: STEP 1 WITH LOW CARBON ENERGY SYSTEM. PERFORMANCE REQ. OF BUILDING ENVELOPE AND SYSTEMS: ENVELOPE RATIO 1% LOWER THAN ENVELOPE REFERENCE VALUE. NOT LESS THAN 10% LOW ENERGY CONSUMPTION OR MECHANICAL ENERGY USE. INTERNALLY 1-4-8. MINIMUM ENERGY DEMAND INTENSITY 4 kWh/m² YEAR OR PEAK. THERMAL LOADS: 30 W/m².

PROJECT DIRECTORY

CLIENT: [Redacted]
PROJECT ADDRESS: [Redacted]
OWNER: [Redacted]
ARCHITECT: [Redacted]
COLLABORATING ARCHITECT: [Redacted]
CONTRACTOR: [Redacted]
LANDSCAPE ARCHITECT: [Redacted]
STRUCTURAL ENGINEER: [Redacted]
CIVIL ENGINEER: [Redacted]
MECHANICAL ENGINEER: [Redacted]
ELECTRICAL ENGINEER: [Redacted]
AUDIO VISUAL / HOME AUTOMATION: [Redacted]

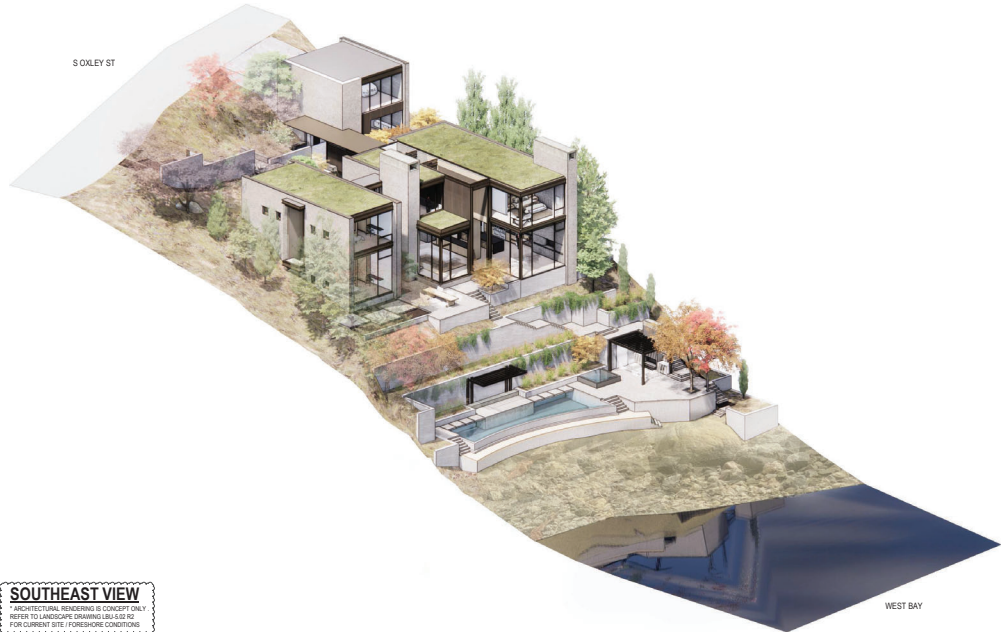
Vertical banner for Olson Kundig and W.T. Leung Architects. Includes contact information for both firms and a 'NOT FOR CONSTRUCTION' warning.



WEST BAY

S OXLEY ST

**NORTHEAST VIEW**  
\*ARCHITECTURAL RENDERING IS CONCEPT ONLY  
REFER TO LANDSCAPE DRAWING SET/USE DS  
FOR CURRENT SITE / FORESHORE CONDITIONS



S OXLEY ST

WEST BAY

**SOUTHEAST VIEW**  
\*ARCHITECTURAL RENDERING IS CONCEPT ONLY  
REFER TO LANDSCAPE DRAWING SET/USE DS  
FOR CURRENT SITE / FORESHORE CONDITIONS

Reserved for permit stamp

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ARCHITECTS  
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Suite 105, 475 West Broadway,  
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Canada V5Z 1Y3  
Telephone: 604 738-0711

Reserved for architect's stamp

principal architect:             
project manager:             
drawn by:             
checked by:             
300 No.             
date: 01/10/2022  
revisions:  

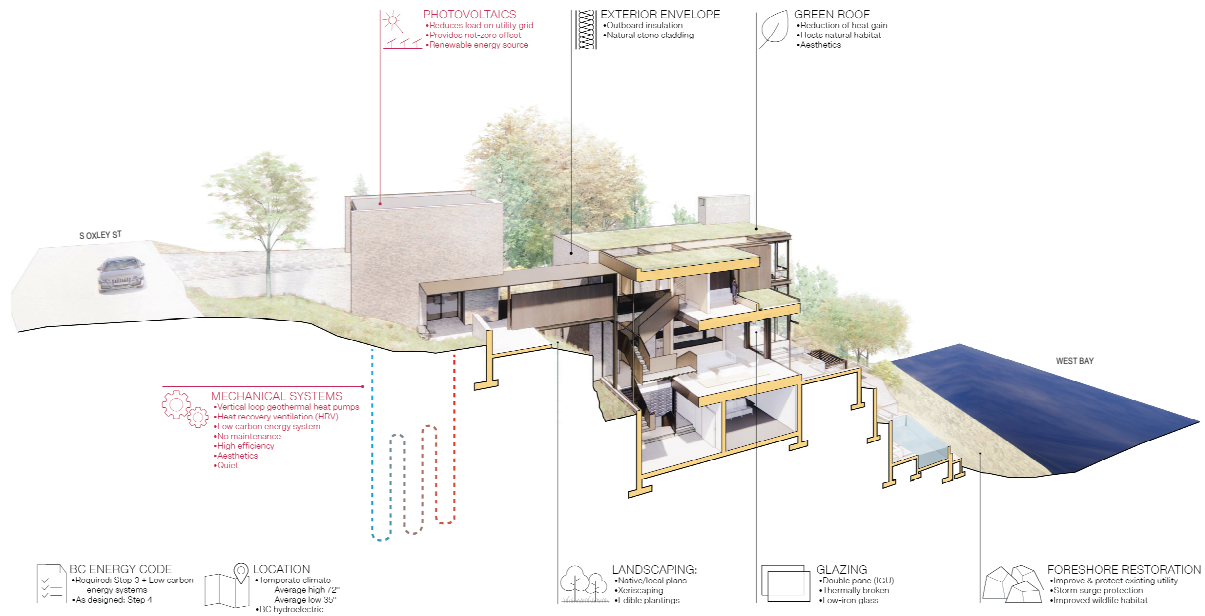
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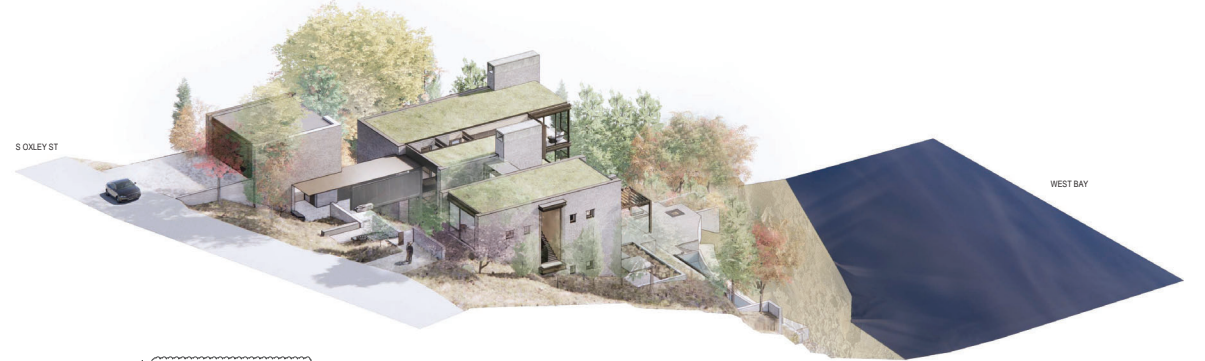
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DEVELOPMENT PERMIT  
01/10/2022

PERSPECTIVES  
**A0.02**



**SUSTAINABLE STRATEGIES**



**SOUTHWEST VIEW**  
 \*ARCHITECTURAL RENDERING IS CONCEPT ONLY  
 REFER TO LANDSCAPE DRAWING (L1 & L2)  
 FOR CURRENT SITE / FORESHORE CONDITIONS

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Olson Kundig

PROJECT:  
**BURRARD INLET RESIDENCE**  
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 I.N.C.

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 Canada V6Z 0N3  
 Telephone: 604-726-8711

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|                                      |    |
|--------------------------------------|----|
| principal architect: <u>        </u> | by |
| project manager: <u>        </u>     |    |
| drawn by: <u>        </u>            |    |
| checked by: <u>        </u>          |    |
| job no.: <u>        </u>             |    |
| date: <u>        </u>                |    |

revisions:

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2 / 13/23 / 01/10/2022

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PERSPECTIVES  
 A0.03



8 View Looking North - 164 Orley Street S.



7 View Looking South - 172 Orley Street S.



6 View From Waterfront Looking West.



5 Existing View Looking North Beach Shoreline.



4 Existing View South Beach Shoreline.



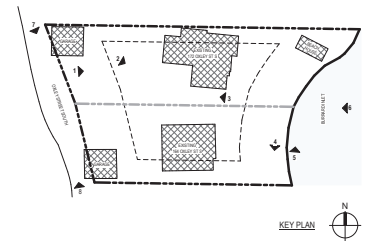
3 Existing View Looking West to 172 Orley Street S.



2 Existing View Looking SE to 164 Orley Street S.



1 Existing Garage Entry Looking East.



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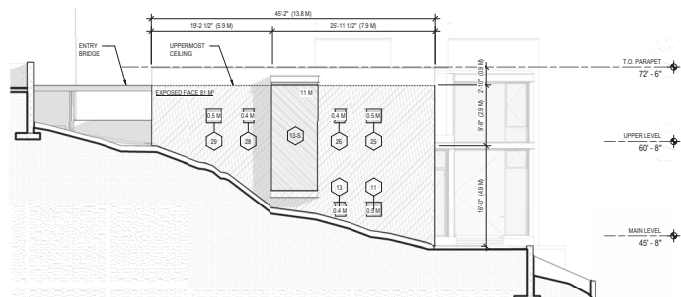
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principal architect:             
project manager:             
drawn by: BC:00  
Author:             
checked by: Chetler  
job no.: 2022  
date: 01-10-2022  
revisions:  
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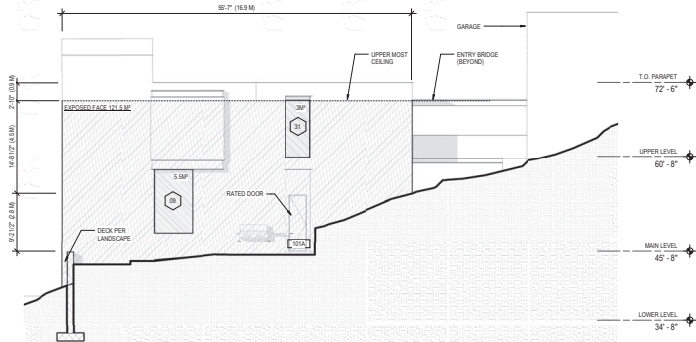
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SITE CONTEXT  
**A0.04**





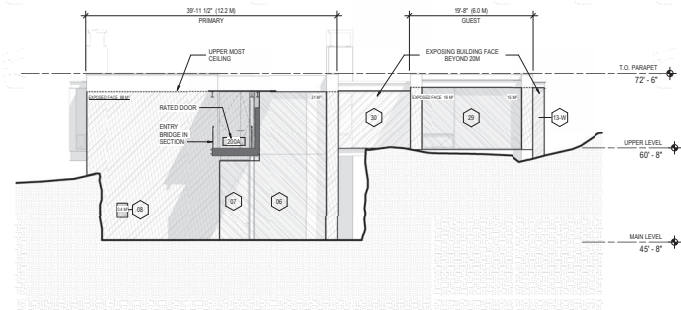
4 SOUTH ELEVATION - LIMITING DISTANCE DIAGRAM  
SCALE: 1/8" = 1'-0"

\*REFER TO A0.20 FOR WINDOW DIMENSIONS  
\*EXPOSING BUILDING FACE MEASURED FROM THE FINISHED GROUND LEVEL TO THE UPPERMOST CEILING PER 9.10.15.2(1)(B)



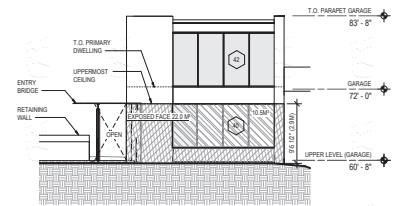
3 NORTH ELEVATION - LIMITING DISTANCE DIAGRAM  
SCALE: 1/8" = 1'-0"

\*REFER TO A0.20 FOR WINDOW DIMENSIONS  
\*EXPOSING BUILDING FACE MEASURED FROM THE FINISHED GROUND LEVEL TO THE UPPERMOST CEILING PER 9.10.15.2(1)(B)



2 WEST ELEVATION - LIMITING DISTANCE DIAGRAM  
SCALE: 1/8" = 1'-0"

\*REFER TO A0.20 FOR WINDOW DIMENSIONS  
\*EXPOSING BUILDING FACE MEASURED FROM THE FINISHED GROUND LEVEL TO THE UPPERMOST CEILING PER 9.10.15.2(1)(B)



5 GARAGE EAST ELEVATION - LIMITING DISTANCE DIAGRAM  
SCALE: 1/8" = 1'-0"

\*REFER TO A0.20 FOR WINDOW DIMENSIONS  
\*EXPOSING BUILDING FACE MEASURED FROM THE FINISHED GROUND LEVEL TO THE UPPERMOST CEILING PER 9.10.15.2(1)(B)

**LIMITING DISTANCE - PRINCIPAL DWELLING**  
NORTH ELEVATION LIMITING DISTANCE: 10'-0" (3.0M)  
SOUTH ELEVATION LIMITING DISTANCE: 10'-0" (3.0M)  
WEST ELEVATION LIMITING DISTANCE: PRIMARY: 7'-0" (2.1M), GUEST: 5'-0" (1.5M)  
EAST ELEVATION LIMITING DISTANCE: 13'-0" (4.0M)  
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS

**PRINCIPAL DWELLING**  
NORTH ELEVATION 28%  
SOUTH ELEVATION 28%  
WEST ELEVATION N/A

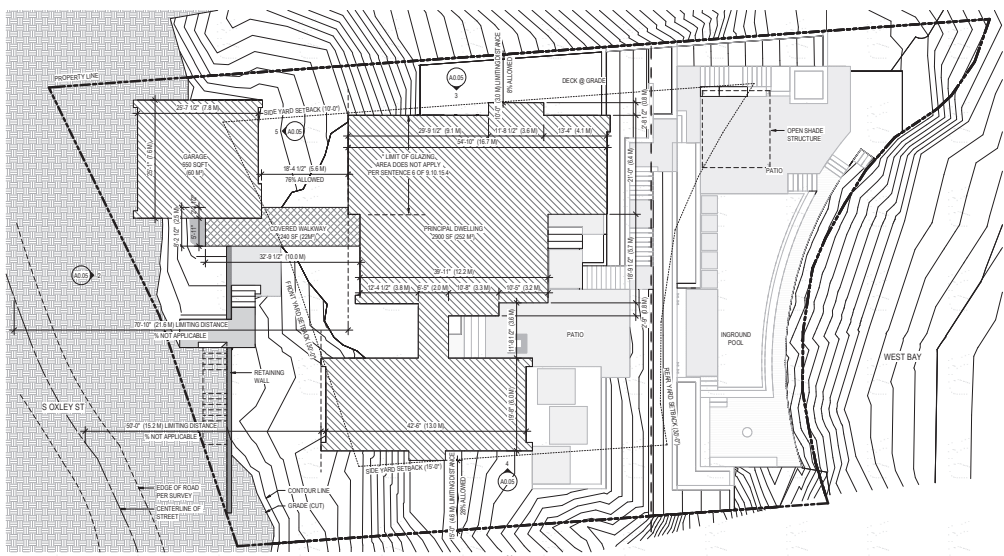
**GARAGE**  
EAST ELEVATION 75%  
INTERPOLATION UP ALLOWED AREA GIVEN 5.6M LIMITING DISTANCE  
PER TABLE 9.10.15.4 MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES  
% OF EXPOSING BUILDING FACE AREA ALLOWED FOR GLAZED OPENINGS

**PROPOSED % OF AREA OF GLAZED OPENINGS PER EXPOSING BUILDING FACE AREA**

**PRINCIPAL DWELLING**  
NORTH ELEVATION  
AREA OF GLAZED OPENINGS = 10.0 M<sup>2</sup>  
EXPOSING BUILDING FACE AREA = 121 M<sup>2</sup>  
(8.4 = 121) 100 = 7%

**SOUTH ELEVATION**  
AREA OF GLAZED OPENINGS = 13.7 M<sup>2</sup>  
EXPOSING BUILDING FACE AREA = 81 M<sup>2</sup>  
(13.7 = 81) 100 = 17%

**GARAGE**  
EAST ELEVATION  
AREA OF GLAZED OPENINGS = 8.0 M<sup>2</sup>  
EXPOSING BUILDING FACE AREA = 22.0 M<sup>2</sup>  
(8.0 = 22.0) 100 = 40%



1 SITE COVERAGE / LIMITING DISTANCE DIAGRAM  
SCALE: 3/32" = 1'-0"



**SITE COVERAGE**  
LOT AREA: 14,940 SQFT (1,387 M<sup>2</sup>)  
ALLOWABLE SITE COVERAGE: 30% OF SITE AREA MAXIMUM, IF SITE AREA IS GREATER THAN 865 M<sup>2</sup>  
MAX. ALLOWED COVERAGE: 30 X 14,940 = 4,482 SQFT (414 M<sup>2</sup>)

PROPOSED COVERAGE: 28%  
GARAGE: 680 SQFT (63 M<sup>2</sup>)  
COVERED WALKWAY: 249 SQFT (23 M<sup>2</sup>)  
PRINCIPAL DWELLING: 2,969 SQFT (276 M<sup>2</sup>)  
TOTAL: 3,798 SQFT (352 M<sup>2</sup>)

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Principal architect: W.T. Leung  
Project manager: W.T. Leung  
Drawn by: BC-00  
Checked by: W.T. Leung  
Date: 01/10/2022

Revisions:

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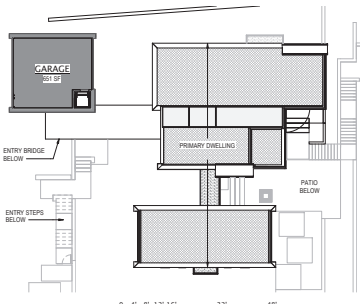
principal architect: W.T. Leung  
project manager: W.T. Leung  
drawn by: BC-00  
checked by: W.T. Leung  
date: 01/10/2022

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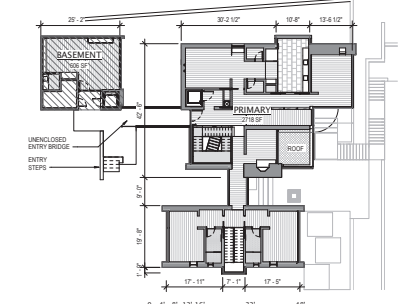
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SITE COVERAGE AND LIMITING DIST CALCS

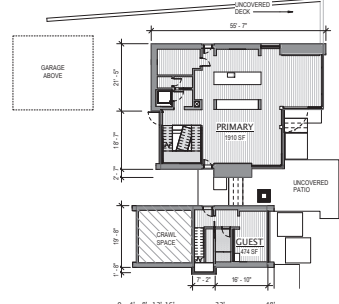
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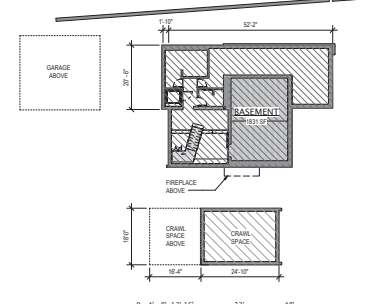
AREA PLAN - ROOF  
SCALE: 1/16" = 1'-0"



AREA PLAN - UPPER LEVEL  
SCALE: 1/16" = 1'-0"



AREA PLAN - MAIN LEVEL  
SCALE: 1/16" = 1'-0"



AREA PLAN - LOWER LEVEL  
SCALE: 1/16" = 1'-0"

FLOOR AREA DEFINITIONS

BASEMENT FLOOR AREA CAN BE 100% EXEMPT FROM FAR WHERE THE MAIN FLOOR ELEVATION IS 8' OR GREATER ABOVE THE LOWER OF NATURAL OR FINISHED GRADE AT THE PERIMETER WALLS.  
A GARAGE (WHETHER ATTACHED TO, DETACHED FROM, OR PART OF THE PRINCIPAL DWELLING TO A MAXIMUM OF 4190 SQ FT (22,950 M<sup>2</sup>)).  
AN ACCESSORY BUILDING TO A MAXIMUM OF 22,950 M<sup>2</sup> (413.3 SQ FT).  
CRAWL SPACES LESS THAN 1.8M (5.9') IN HEIGHT (TOP OF THE GROUND TO THE UNDERSIDE OF FLOOR JOISTS ABOVE).

AREA PLANS LEGEND



| Level       | Name        | Gross Area | FAR     |
|-------------|-------------|------------|---------|
| LOWER LEVEL | BASEMENT    | 1631 SF    | 0.50    |
| LOWER LEVEL | CRAWL SPACE | 481 SF     | 0.00    |
| LOWER LEVEL | CRAWL SPACE | 2277 SF    | 0.00    |
| MAIN LEVEL  | PRIMARY     | 1910 SF    | 1910 SF |
| MAIN LEVEL  | GUEST       | 411 SF     | 411 SF  |
| MAIN LEVEL  | CRAWL SPACE | 335 SF     | 0.00    |
| MAIN LEVEL  | CRAWL SPACE | 2712 SF    | 2364 SF |
| UPPER LEVEL | BASEMENT    | 636 SF     | 0.00    |
| UPPER LEVEL | PRIMARY     | 2718 SF    | 2718 SF |
| UPPER LEVEL | PRIMARY     | 3324 SF    | 2718 SF |
| GARAGE      | GARAGE      | 651 SF     | 210 SF  |
| GARAGE      | GARAGE      | 651 SF     | 210 SF  |
| GARAGE      | GARAGE      | 884 SF     | 3312 SF |

BASED ON DESIGN (RATIONAL) ALLOWED FAR TO BE 5.58 SQ FT (\$1.75 M)  
ADDITIONAL PROPOSED "BASEMENT" UNDER GARAGE WILL REQUIRE RELATION OF DEFINITION FOR EXEMPTION  
PROPOSED FAR 5.312 (461.5 M<sup>2</sup>)

AVERAGE FINISH AND NATURAL GRADE CALCULATION - DWELLING

| POINT | NATURAL ELEV. | FINISH ELEV. | AVG. NATURAL | AVG. FINISH | LENGTH | TOTAL NATURAL | TOTAL FINISH |
|-------|---------------|--------------|--------------|-------------|--------|---------------|--------------|
| A     | 36            | 56 A-B       | 42.5         | 60.0        | 35.8   | 1503.1        | 2145.0       |
| B     | 35            | 44 B-C       | 35.5         | 42.0        | 21     | 745.5         | 882.0        |
| C     | 36            | 40 C-D       | 37.5         | 42.8        | 13.5   | 506.3         | 577.8        |
| D     | 39            | 45.6 D-E     | 39.5         | 44.8        | 21.5   | 845.3         | 963.2        |
| E     | 40            | 44 E-F       | 43.0         | 44.8        | 20.8   | 864.4         | 931.8        |
| F     | 46            | 45.6 F-G     | 46.5         | 45.0        | 9.0    | 418.5         | 418.6        |
| G     | 47            | 45.6 G-H     | 44.3         | 45.8        | 17.8   | 788.5         | 797.4        |
| H     | 41.5          | 44 H-I       | 41.9         | 44.0        | 19.7   | 825.4         | 866.8        |
| I     | 42.3          | 44 I-J       | 42.4         | 51.8        | 45.2   | 2322.6        | 2341.4       |
| J     | 56.5          | 59.5 J-K     | 56.3         | 59.8        | 19.7   | 1109.1        | 1178.1       |
| K     | 55            | 60 K-L       | 52.8         | 52.8        | 20.8   | 1088.2        | 1088.2       |
| L     | 49.5          | 45.6 L-M     | 49.3         | 45.6        | 11.5   | 567.0         | 524.4        |
| M     | 49            | 45.6 M-N     | 51.3         | 45.3        | 13.2   | 677.2         | 598.0        |
| N     | 53.5          | 45 N-A       | 51.8         | 50.5        | 40.0   | 2072.0        | 2020.0       |
|       |               |              | 641.3        | 645.5       | 329    | 15147         | 15870        |

AVERAGE FINISHED GRADE = 48.3  
AVERAGE NATURAL GRADE = 46.0

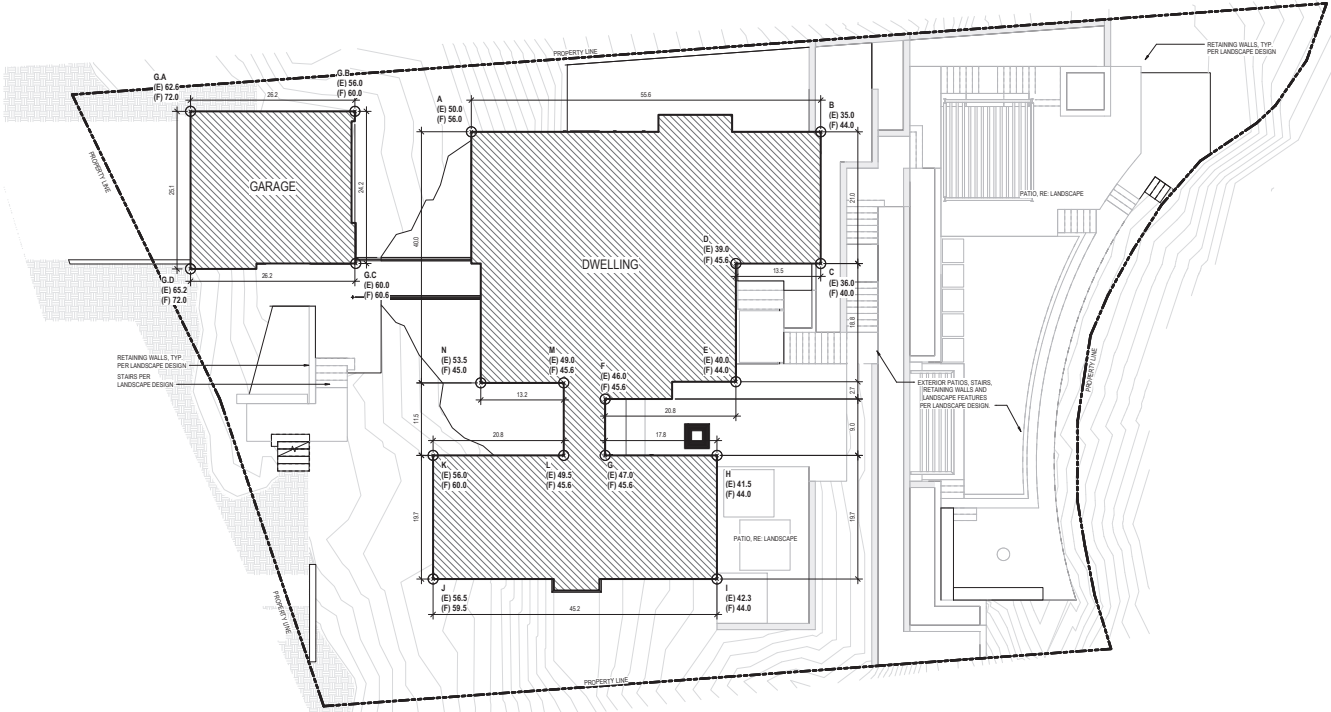
NOTE: AVERAGE NATURAL GRADE IS LOWER THAN THE AVERAGE FINISH GRADE. THEREFORE, AVERAGE NATURAL GRADE WILL BE USED FOR HEIGHT AND AREA CALCULATIONS.

AVERAGE FINISH AND NATURAL GRADE CALCULATION - GARAGE

| POINT | NATURAL ELEV. | FINISH ELEV. | AVG. NATURAL | AVG. FINISH | LENGTH | TOTAL NATURAL | TOTAL FINISH |
|-------|---------------|--------------|--------------|-------------|--------|---------------|--------------|
| G.A   | 62.6          | 72 G.A-G.B   | 66.0         | 66.0        | 26.2   | 1533.7        | 1729.2       |
| G.B   | 56            | 60 G.B-G.C   | 58.0         | 60.0        | 24.2   | 1402.6        | 1459.3       |
| G.C   | 60            | 60.6 G.C-G.D | 62.6         | 60.3        | 26.2   | 1640.1        | 1737.1       |
| G.D   | 65.2          | 72 G.D-G.A   | 63.5         | 72.0        | 25.1   | 1623.9        | 1807.2       |
|       |               |              | 243.8        | 244.8       | 101.7  | 6091.3        | 6732.7       |

AVERAGE FINISHED GRADE = 66.3  
AVERAGE NATURAL GRADE = 61.0

NOTE: AVERAGE NATURAL GRADE IS LOWER THAN THE AVERAGE FINISH GRADE. THEREFORE, AVERAGE NATURAL GRADE WILL BE USED FOR HEIGHT AND AREA CALCULATIONS.



1 AVERAGE GRADE CALCULATION PLAN  
SCALE: 1/8" = 1'-0"



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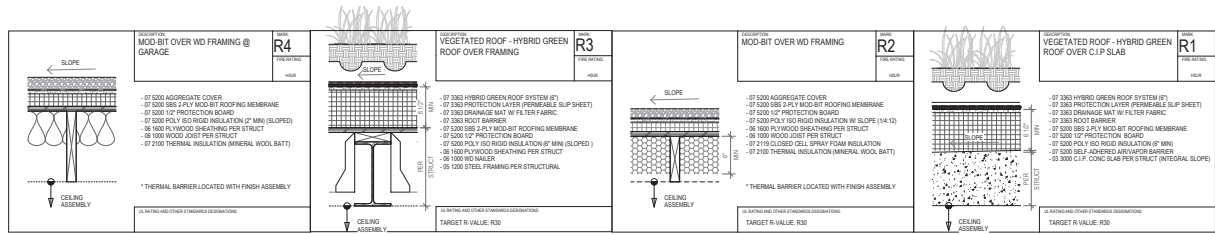
principal architect: \_\_\_\_\_  
project manager: \_\_\_\_\_  
drawn by: BC-00  
checked by: \_\_\_\_\_  
job no.: 2020  
date: 01/10/2022  
revisions: \_\_\_\_\_  
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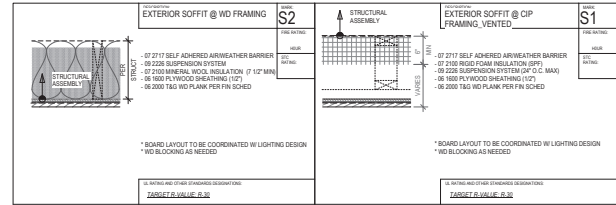
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AVERAGE GRADE CALCS & AREA PLANS

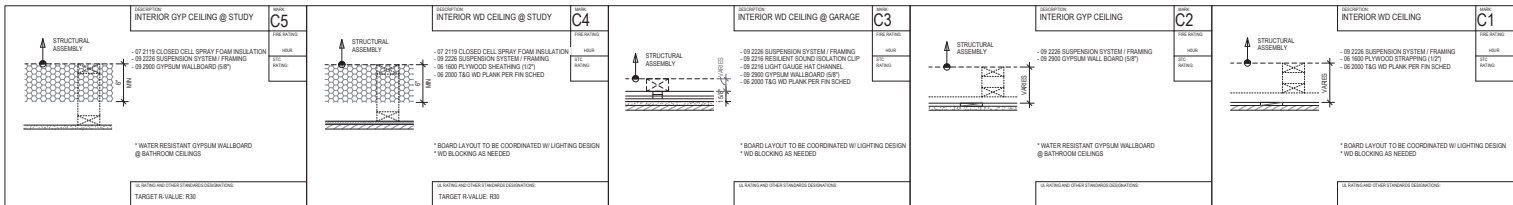
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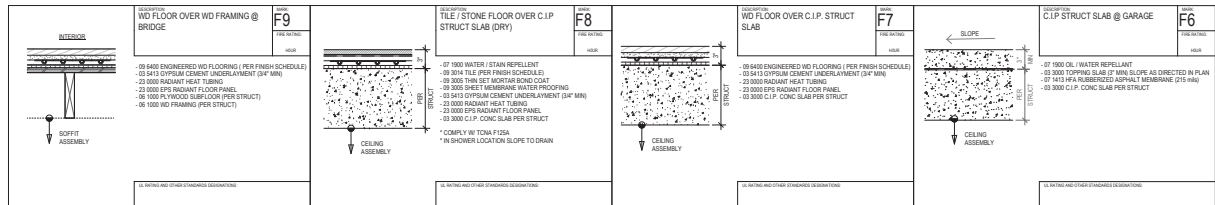
**3 ROOF TYPES R1-R5**  
SCALE: 1/12" = 1'-0"



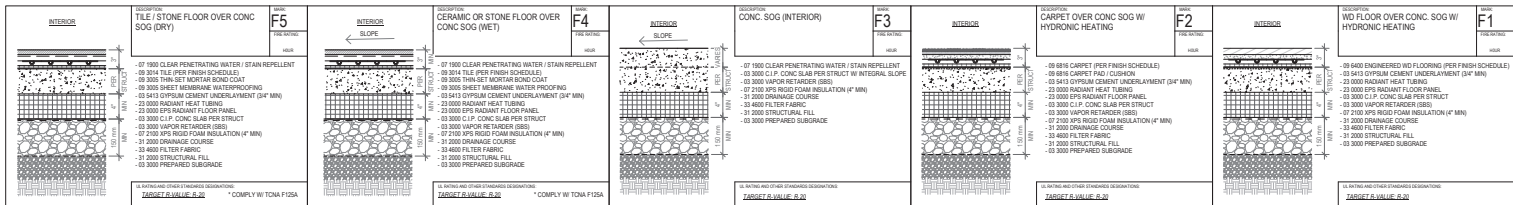
**4 EXTERIOR SOFFIT S1-S2**  
SCALE: 1/12" = 1'-0"



**5 CEILING TYPES C1-C5**  
SCALE: 1/12" = 1'-0"



**6 FLOOR TYPES F6-F9**  
SCALE: 1/12" = 1'-0"



**1 FLOOR TYPES F1-F5**  
SCALE: 1/12" = 1'-0"

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drawn by:   
checked by:   
date: 01/10/2022

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ASSEMBLIES - FLOORS, CEILINGS, ROOFS

**A0.10**

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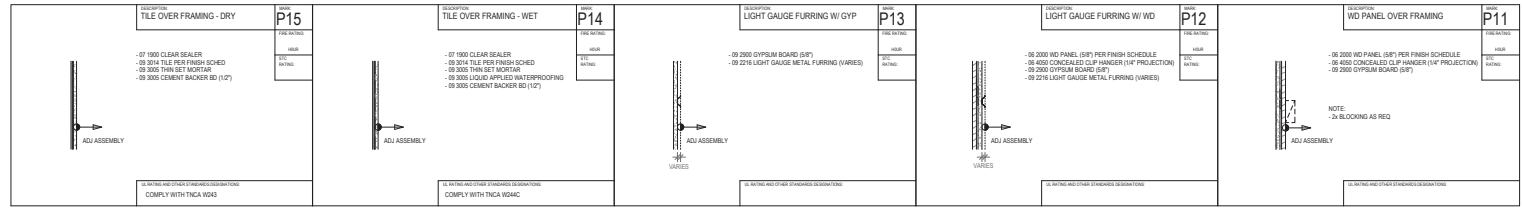
principal architect: \_\_\_\_\_  
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drawn by: BC-00  
checked by: \_\_\_\_\_  
date: 01/10/2022

revisions:  
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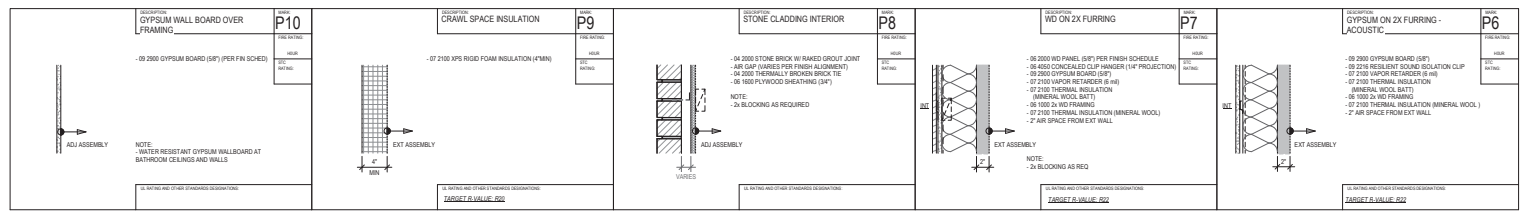
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ASSEMBLY - EXTERIOR WALLS, INTERIOR PARTITIONS

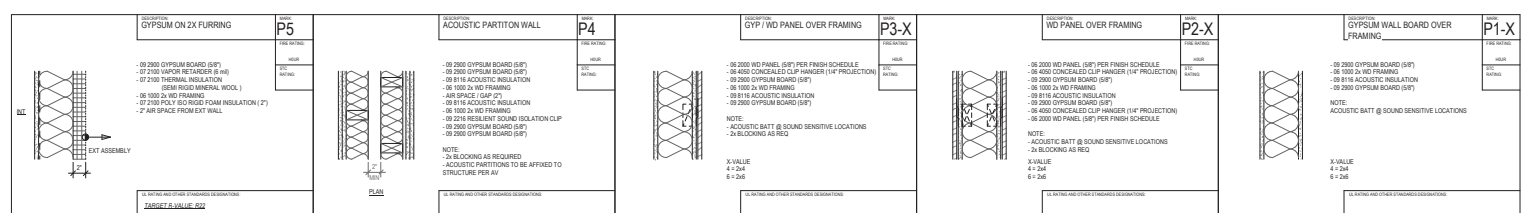
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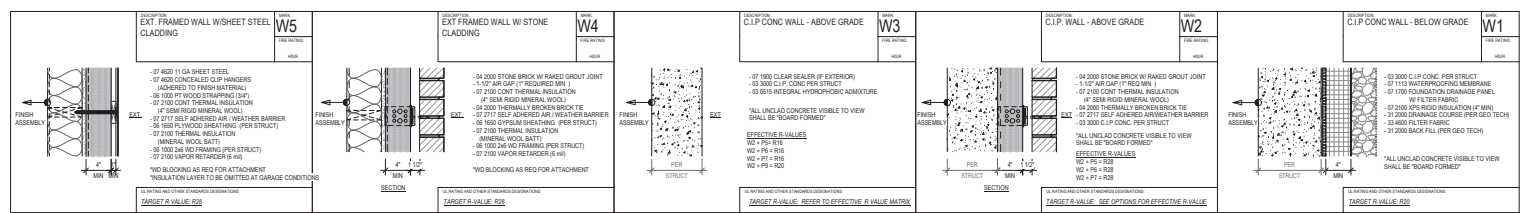
4 INTERIOR PARTITION TYPES P11-P16  
SCALE: 1/16" = 1'-0"



3 INTERIOR PARTITION TYPES P6-P10  
SCALE: 1/16" = 1'-0"

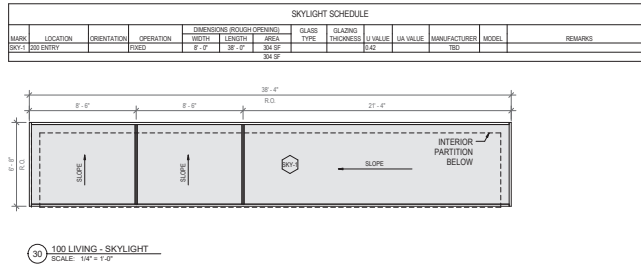


2 INTERIOR PARTITION TYPES P1-P5  
SCALE: 1/16" = 1'-0"



1 EXTERIOR WALL TYPES W1-W5  
SCALE: 1/16" = 1'-0"

| WINDOW SCHEDULE |                |             |           |                            |            |        |              |                   |         |           |              |         |                           |
|-----------------|----------------|-------------|-----------|----------------------------|------------|--------|--------------|-------------------|---------|-----------|--------------|---------|---------------------------|
| MARK            | LOCATION       | ORIENTATION | OPERATION | DIMENSIONS (ROUGH OPENING) |            |        | FRAME FINISH | GLAZING THICKNESS | U VALUE | I/A VALUE | MANUFACTURER | MODEL   | REMARKS                   |
|                 |                |             |           | WIDTH                      | HEIGHT     | AREA   |              |                   |         |           |              |         |                           |
| 01              | 100 DINING     | EAST        | FIXED     | 16'-3 3/4"                 | 14'-1 1/2" | 233 SF | FRD          |                   |         |           | MHS          |         |                           |
| 02              | 100 DINING     | SOUTH       | FIXED     | 9'-2 1/2"                  | 13'-1 1/2" | 123 SF | FRD          |                   |         |           | MHS          |         |                           |
| 03              | 100 LIVING     | EAST        | FIXED     | 8'-1 1/2"                  | 24'-2"     | 197 SF | FRD          |                   |         |           | MHS          |         |                           |
| 04              | 100 LIVING     | EAST        | FIXED     | 11'-8 1/8"                 | 16'-1 1/2" | 193 SF | FRD          |                   |         |           | MHS          |         |                           |
| 05              | 100 LIVING     | SOUTH       | FIXED     | 8'-3 3/4"                  | 14'-1 1/2" | 123 SF | FRD          |                   |         |           | MHS          |         |                           |
| 06              | 101 STAIR 1    | WEST        | FIXED     | 11'-5 3/4"                 | 24'-0"     | 275 SF | FRD          |                   |         |           | MHS          |         |                           |
| 07              | 101 STAIR 1    | WEST        | FIXED     | 8'-0 1/2"                  | 13'-2"     | 106 SF | FRD          |                   |         |           | MHS          |         |                           |
| 08              | 105 GUEST RM   | SOUTH       | CASEMENT  | 1'-8"                      | 2'-4"      | 4 SF   | MD           |                   |         |           | QUANTUM      |         |                           |
| 09              | 105 WYCHEN     | NORTH       | FIXED     | 6'-2"                      | 8'-0"      | 50 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 10              | 105 GUEST RM   | EAST        | FIXED     | 16'-2"                     | 14'-1 1/2" | 228 SF | FRD          |                   |         |           | MHS          |         |                           |
| 11              | 105 BATH RM    | SOUTH       | CASEMENT  | 2'-4"                      | 2'-4"      | 5 SF   | MD           |                   |         |           | QUANTUM      | EXPRESS |                           |
| 12              | 105 GUEST RM   | SOUTH       | CASEMENT  | 1'-8"                      | 2'-4"      | 4 SF   | MD           |                   |         |           | QUANTUM      |         |                           |
| 13              | 110 STAR       | SOUTH       | FIXED     | 1'-3 1/2"                  | 17'-5 3/4" | 31 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 13A             | 110 STAR       | SOUTH       | FIXED     | 7'-1 1/4"                  | 17'-5 3/4" | 124 SF | FRD          |                   |         |           | MHS          |         |                           |
| 13B             | 110 STAR       | WEST        | FIXED     | 1'-3 1/2"                  | 17'-5 3/4" | 31 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 14              | 205 M BEDROOM  | EAST        | FIXED     | 10'-2"                     | 9'-3 1/2"  | 95 SF  | FRD          |                   |         |           | MHS          |         | SHUTTER ON OPERABLE GLASS |
| 21              | 205 M BEDROOM  | SOUTH       | FIXED     | 12'-2"                     | 8'-3 1/2"  | 102 SF | FRD          |                   |         |           | MHS          |         |                           |
| 22              | 211 BRIDGE     | EAST        | FIXED     | 11'-0"                     | 8'-4"      | 94 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 24              | 214 GUEST RM 2 | EAST        | FIXED     | 16'-2"                     | 9'-3 1/2"  | 149 SF | FRD          |                   |         |           | MHS          |         |                           |
| 25              | 214 G. BATH 2  | SOUTH       | CASEMENT  | 2'-4"                      | 2'-4"      | 5 SF   | MD           |                   |         |           | QUANTUM      | EXPRESS |                           |
| 26              | 214 GUEST RM 2 | SOUTH       | CASEMENT  | 1'-8"                      | 2'-4"      | 4 SF   | MD           |                   |         |           | QUANTUM      |         |                           |
| 27              | 214 G. BATH 1  | SOUTH       | CASEMENT  | 1'-8"                      | 2'-4"      | 4 SF   | MD           |                   |         |           | QUANTUM      | EXPRESS |                           |
| 28              | 214 GUEST RM 1 | SOUTH       | CASEMENT  | 2'-4"                      | 2'-4"      | 5 SF   | MD           |                   |         |           | QUANTUM      |         |                           |
| 29              | 218 GUEST RM 1 | WEST        | FIXED     | 16'-1"                     | 9'-3 1/2"  | 147 SF | FRD          |                   |         |           | MHS          |         |                           |
| 30              | 218 BRIDGE     | WEST        | FIXED     | 11'-8 1/2"                 | 8'-4"      | 100 SF | FRD          |                   |         |           | MHS          |         |                           |
| 31              | 202 M BATH     | NORTH       | FIXED     | 7'-11 1/2"                 | 6'-8"      | 55 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 32              | 202 M BATH     | NORTH       | FIXED     | 1'-9"                      | 2'-9"      | 11 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 33              | 202 M BATH     | NORTH       | FIXED     | 1'-9"                      | 2'-9"      | 11 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 40              | 202 STUDY      | EAST        | FIXED     | 16'-4 1/4"                 | 7'-9"      | 124 SF | FRD          |                   |         |           | MHS          |         |                           |
| 41              | 202 STUDY      | SOUTH       | FIXED     | 7'-2"                      | 9'-3 1/2"  | 67 SF  | FRD          |                   |         |           | MHS          |         |                           |
| 42              | 300 GARAGE     | EAST        | FIXED     | 16'-4 1/4"                 | 8'-7 3/4"  | 141 SF | FRD          |                   |         |           | MHS          |         |                           |



**SHEET NOTES:**  
 ALL WINDOW OPENINGS ARE TO BE VERIFIED IN FIELD (I/F).  
 EXTERIOR DOOR SIZES ARE ROUGH OPENING SIZE, UNLESS NOTED OTHERWISE.  
 ALL GLAZED DOORS TO HAVE SAFETY GLASS.  
 SHOCK-RESISTANT GLASS TO BE 2" LARGER THAN OPENING SIZE INDICATED TO ACCOMMODATE POCET HEAD AND JAMB.  
 EXTERIOR GLAZED DOORS ARE SHOWN ON CERTAIN PANEL DOOR/PULL AND HEAD HEIGHT TO BE APPROVED BY CLIENT.

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 100-1000-1000-1000  
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 ARCHITECTS  
 1000 Burrard Inlet Residence  
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**W.T. LEUNG ARCHITECTS INC.**  
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 1000 Burrard Inlet Residence  
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 project manager: [blank]  
 drawn by: [blank]

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 date: 01/10/2022

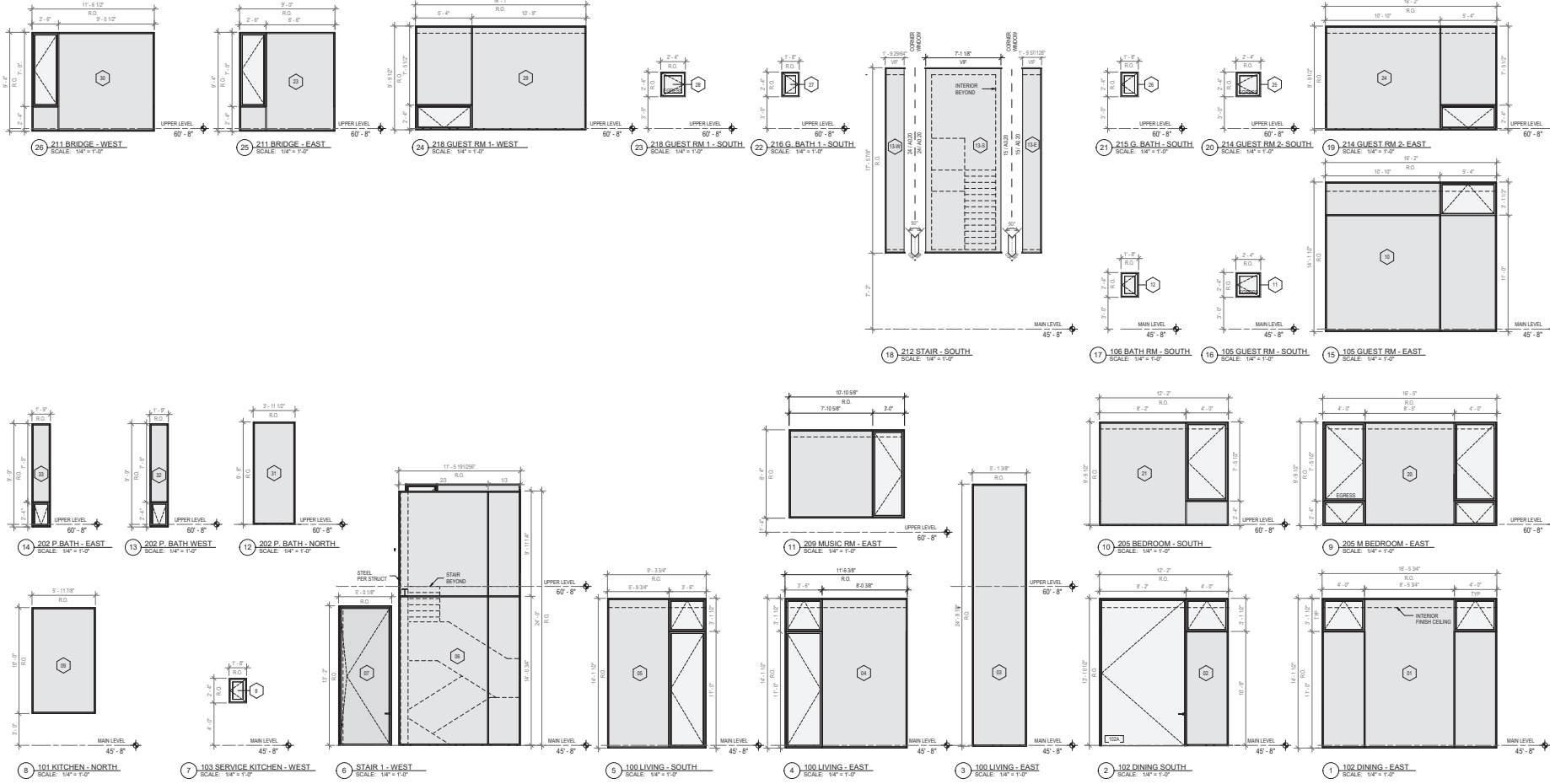
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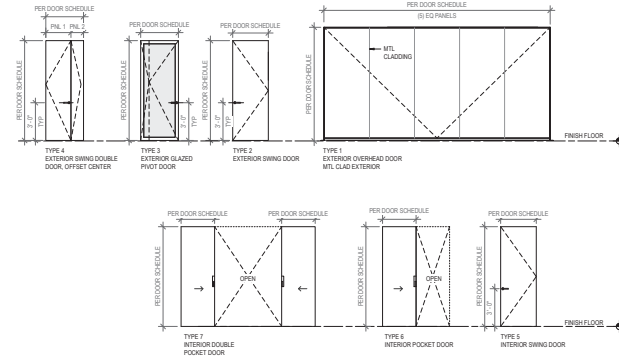
WINDOW ELEVATIONS

A0.20



**SHEET NOTES**  
 ALL DOOR OPENINGS ARE TO BE VERIFIED IN FIELD (I.F.)  
 EXTERIOR DOOR SIZES ARE ROUGH OPENING SIZE, LINC.  
 INTERIOR DOOR SIZES ARE FINISH FRAME OPENINGS  
 ALL GLAZED DOORS TO HAVE SAFETY GLASS  
 POCKET GLAZED DOORS TO BE 2" LARGER THAN OPENING SIZE  
 INDICATED TO ACCOMMODATE POCKET HEAD AND JAMB  
 EXTERIOR GLAZED DOORS ARE SHOWN ON CERTAIN WALL  
 DOOR PULL AND HEAD HEIGHT TO BE APPROVED BY CLIENT

| DOOR SCHEDULE      |                    |                               |      |              |                |           |          |          |          |            |         |        |       |   |
|--------------------|--------------------|-------------------------------|------|--------------|----------------|-----------|----------|----------|----------|------------|---------|--------|-------|---|
| MARK               | LOCATION           | OPERATION                     | TYPE | DIMENSIONS   |                |           | JAMB     | SILL     | HEAD     | FRAME TYPE | U Value | FINISH |       | REMARKS   |
|                    |                    |                               |      | WIDTH        | HEIGHT         | THICKNESS |          |          |          |            |         | PANEL  | FRAME |   |
| <b>LOWER LEVEL</b> |                    |                               |      |              |                |           |          |          |          |            |         |        |       |   |
| 011A               | LALCARY R02        | SWING                         | 5    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 011A               | CORRIDOR 0         | SWING                         | 5    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MTL        |         |        |       |   |
| 011A               | CORRIDOR 1         | SWING                         | 5    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       | ELEV 1 OUTSWING DOOR  |
| 020B               | FRN1 STORAGE       |                               | 420  | 0'-0"        | 7'-0"          |           |          |          |          |            |         |        |       |   |
| <b>MAIN LEVEL</b>  |                    |                               |      |              |                |           |          |          |          |            |         |        |       |   |
| 100A               | LVING              | SWING                         | 2    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MTL        | 0.2     | PTD    | PTD   |   |
| 100A               | KITCHEN            | SWING                         | 2    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MTL        | 0.2     | PTD    | PTD   | 60MIN FIRE PROTECTION NATING OF CLOSURE @ 18/15/1 BC BUILDING CODE 2018 |
| 100A               | DINING             | SWING                         | 3    | 2'-9 1/2/28" | 10'-8 7/32/28" | 1 3/4"    | XXLXX XX | XXLXX XX | XXLXX XX | MD         | 0.23    | GLASS  | PTD   | APART OF RATED WINDOW SYSTEM  |
| 100A               | KITCHEN            | SWING                         | 5    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 100A               | POWDER             | POCKET                        | 5    | 2'-6 1/2"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 100B               | POWDER             | SWING                         | 5    | 2'-4"        | 8'-11 1/2"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 100A               | GLAZED RFL         | POCKET                        | 5    | 0'-0"        | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 100A               | G. BATH#1          | SWING                         | 5    | 2'-8"        | 12'-11 1/2"    | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 100A               | ELEV 1             | SWING                         | 5    | 2'-0"        | 12'-0"         | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 100A               | CORRIDOR 1         | PIVOT                         | 3    | 2'-9 1/2/28" | 10'-8 7/32/28" | 1 3/4"    |          |          |          | MTL        |         | GLASS  | PTD   | APART OF RATED WINDOW SYSTEM  |
| 211A               | GUEST ENTRY        | SWING                         | 2    | 2'-10 1/2"   | 8'-11 1/4"     | 1 3/4"    |          |          |          | MTL        | 0.2     | PTD    | PTD   | STAR 2  |
| <b>UPPER LEVEL</b> |                    |                               |      |              |                |           |          |          |          |            |         |        |       |   |
| 200A               | ENTRY              | SWING DOUBLE                  | 4    | 6'-0"        | 8'-0"          | 1 3/4"    |          |          |          | MD         |         |        |       | 60MIN FIRE PROTECTION NATING OF CLOSURE @ 18/15/1 BC BUILDING CODE 2018 |
| 201A               | CORRIDOR           | POCKET                        | 6    | 2'-0"        | 8'-7 3/4"      | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 200A               | B. BATH            | POCKET DOUBLE                 | 7    | 2'-0"        | 8'-0"          | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 200A               | B. BATH            | SWING                         | 5    | 2'-4"        | 8'-11"         | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 200C               | B. BATH            | SWING                         | 5    | 2'-4"        | 8'-11"         | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 201A               | CORRIDOR           | POCKET                        | 7    | 2'-0"        | 8'-0"          | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 200A               | ELEV 1             | SWING                         | 5    | 2'-0"        | 8'-11"         | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 200A               | GLAZED RFL         | POCKET                        | 5    | 0'-0"        | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 210A               | G. BATH 2          | SWING                         | 5    | 2'-8"        | 8'-11"         | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 210A               | G. BATH 1          | SWING                         | 5    | 2'-8"        | 8'-11"         | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 210A               | CORRIDOR 0         | POCKET                        | 5    | 2'-8"        | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 220A               | STUDY              | PIVOT                         | 3    | 2'-5 1/2/28" | 8'-9 18/32/28" | 1 3/4"    |          |          |          | MTL        |         | GLASS  | PTD   |   |
| 221A               | STUDY              | POCKET                        | 5    | 2'-6 1/2"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MD         |         |        |       |   |
| 222A               | MEDIA RM / STORAGE | SWING                         | 3    | 2'-6 1/4"    | 7'-11 1/4"     | 1 3/4"    |          |          |          | MTL        |         |        |       |   |
| 223A               | ELEV 2             | SWING                         | 3    | 2'-6 1/4"    | 7'-11 1/4"     | 1 3/4"    |          |          |          | MTL        |         |        |       |   |
| <b>GARAGE</b>      |                    |                               |      |              |                |           |          |          |          |            |         |        |       |   |
| 300A               | GARAGE             | SHINGLE-PIECE HYDRONALIC DOOR | 1    | 17'-11"      | 8'-0"          | 2"        |          |          |          | MTL        |         | PTD    | PTD   | GARAGE DOOR   |
| 300B               | GARAGE             | SWING                         | 2    | 2'-6 1/4"    | 8'-11 1/4"     | 1 3/4"    |          |          |          | MTL        | 0.2     | PTD    | PTD   |   |
| 300C               | GARAGE             | SWING                         | 5    | 2'-7"        | 8'-8 5/8"      | 1 3/4"    |          |          |          | MTL        |         | PTD    | PTD   |   |
| 301A               | ENTRY GATE         | SWING                         | 3    | 2'-0"        | 8'-0"          | 1 3/4"    |          |          |          | MTL        |         | PTD    | PTD   | CUSTOM GATE   |



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principal architect: \_\_\_\_\_  
 project manager: \_\_\_\_\_  
 drawn by: BC, OO  
 checked by: \_\_\_\_\_  
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 date: 01/10/2022  
 revisions: \_\_\_\_\_  
 no. date by

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DOOR ELEVATIONS & SCHEDULE, SKYLIGHT ELEVATIONS & SCHEDULE

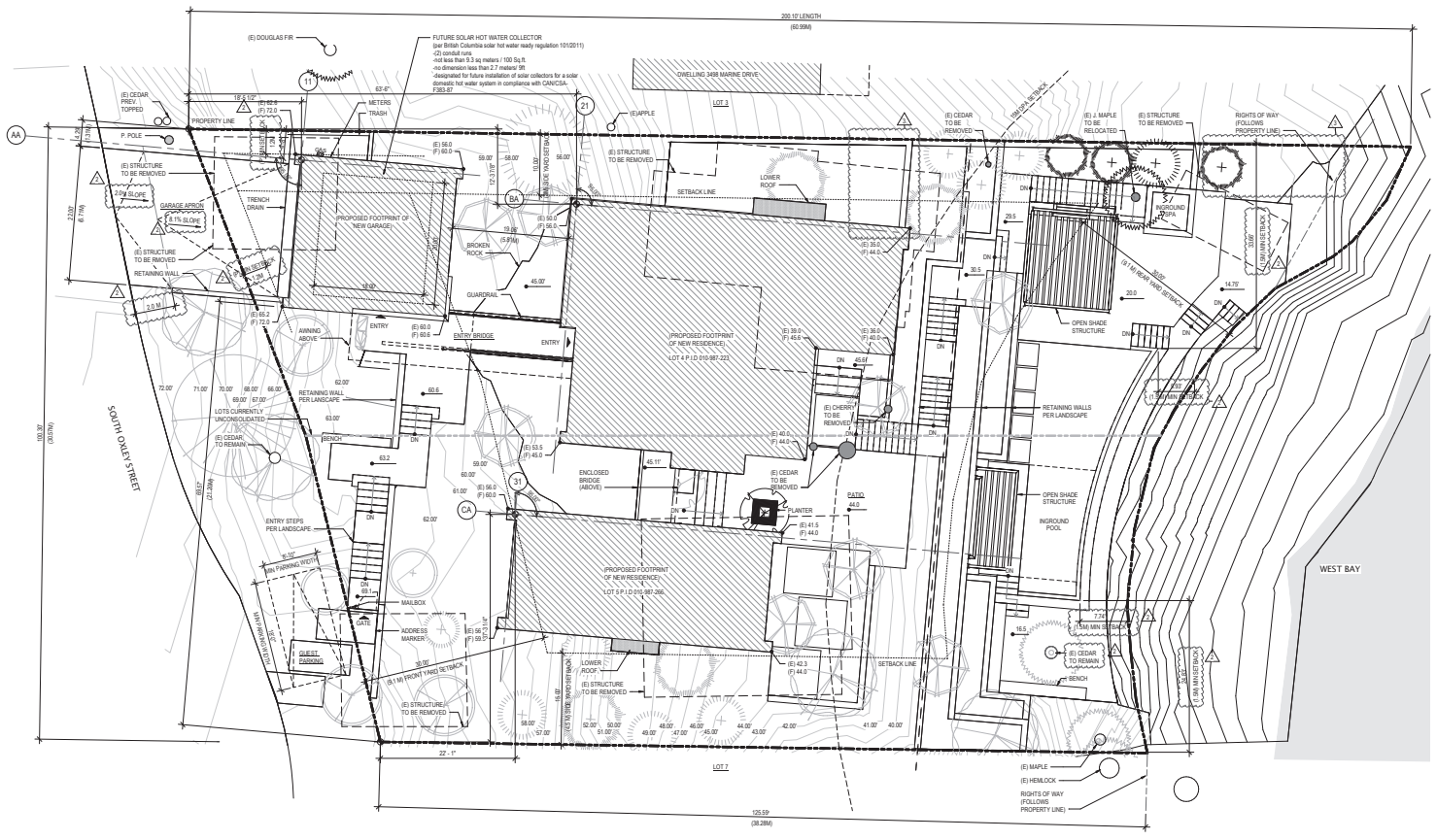
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**SHEET NOTES**

- REFER TO I.10.05 FOR NATURAL AND FINISH GRADE CALCULATIONS
- REFER TO I.10.06 FOR CORNER ELEVATIONS (NATURAL AND FINISH)
- REFER TO I.10.09 FOR ALL SITE DIMENSIONS RELATIVE TO BATHING DISTANCE
- ALL WORK OUTSIDE OF BUILDING ENVELOPE REFER TO LANDSCAPE DRAWINGS
- INCLUDES BUT NOT LIMITED TO RETAINING WALL AND PLANTER LOCATION AND HEIGHTS
- AREA OF FURNISH SURFACES AND LOCATION OF NEW PLANTING LOCATION AND HEIGHTS
- NO DVP OVERLAYS APPEAR ON PROJECT SITE (WILDFIRE OR WATERCOURSE DVP)
- PERMISSIBLE AREA SUMMARY:  
 Front yard area - 315 SF  
 Permissible impermeable area in front yard - 27% = 158 SF  
 Proposed impermeable area in front yard - 147 SF (47%)

**SITE PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- RIGHTS OF WAY LINE
- EXISTING STRUCTURES TO BE REMOVED
- EXISTING TREE TO BE REMOVED / RELOCATE
- WATER



1 SITE PLAN  
 SCALE: 1/8" = 1'-0"

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COLLABORATING ARCHITECT  
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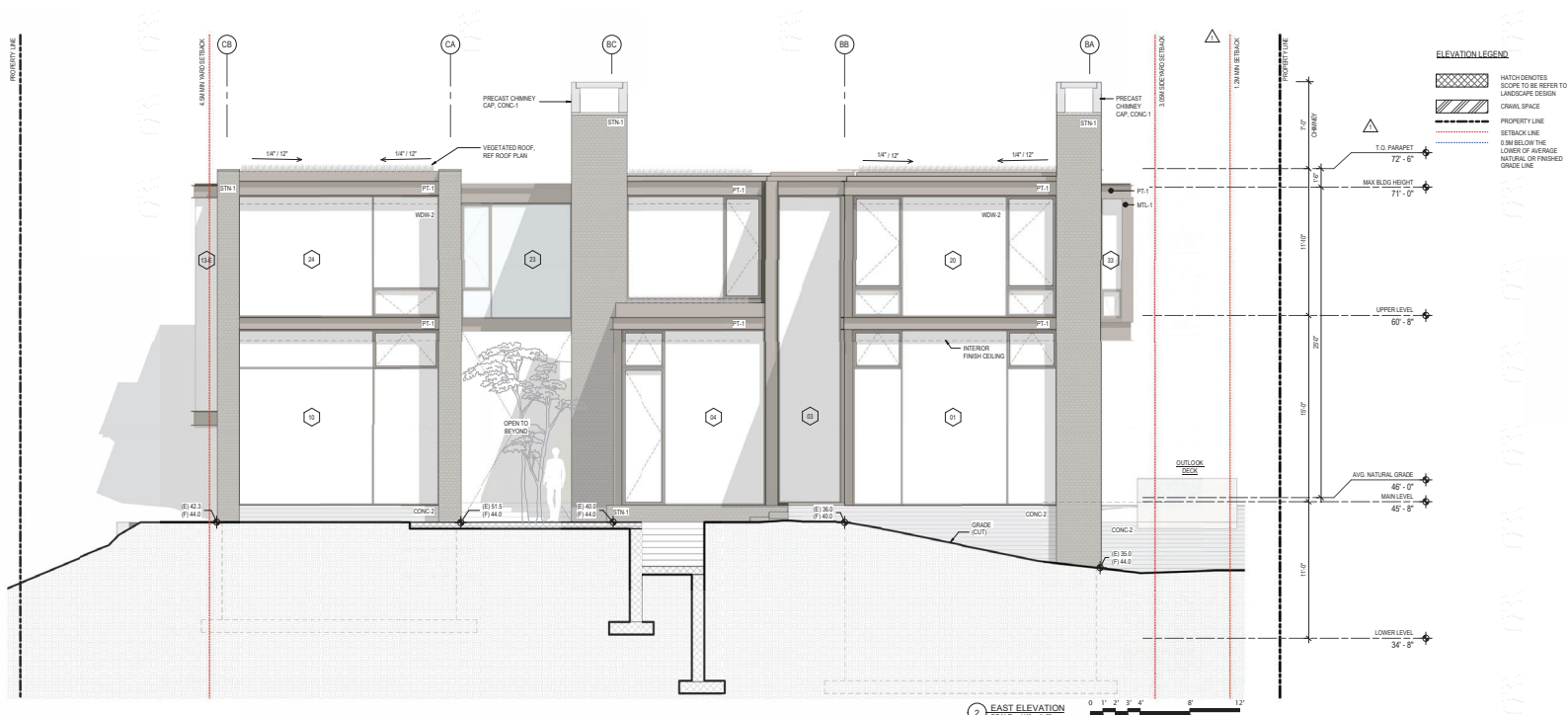
principal architect: \_\_\_\_\_  
 project manager: \_\_\_\_\_  
 drawn by: \_\_\_\_\_  
 checked by: \_\_\_\_\_  
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SITE PLAN  
**A1.01**

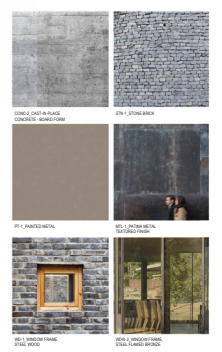


- ### ELEVATION LEGEND
- (Pattern swatch) MATCH-DIMENSIONED SCOPE TO BE REFER TO LANDSCAPE DESIGN
  - (Pattern swatch) CRINAL SPACE
  - (Dashed line) PROPERTY LINE
  - (Dotted line) SETBACK LINE
  - (Hatched area) 0.3M BELOW THE LOWER OF AVERAGE NATURAL OR FINISHED GRADE LINE

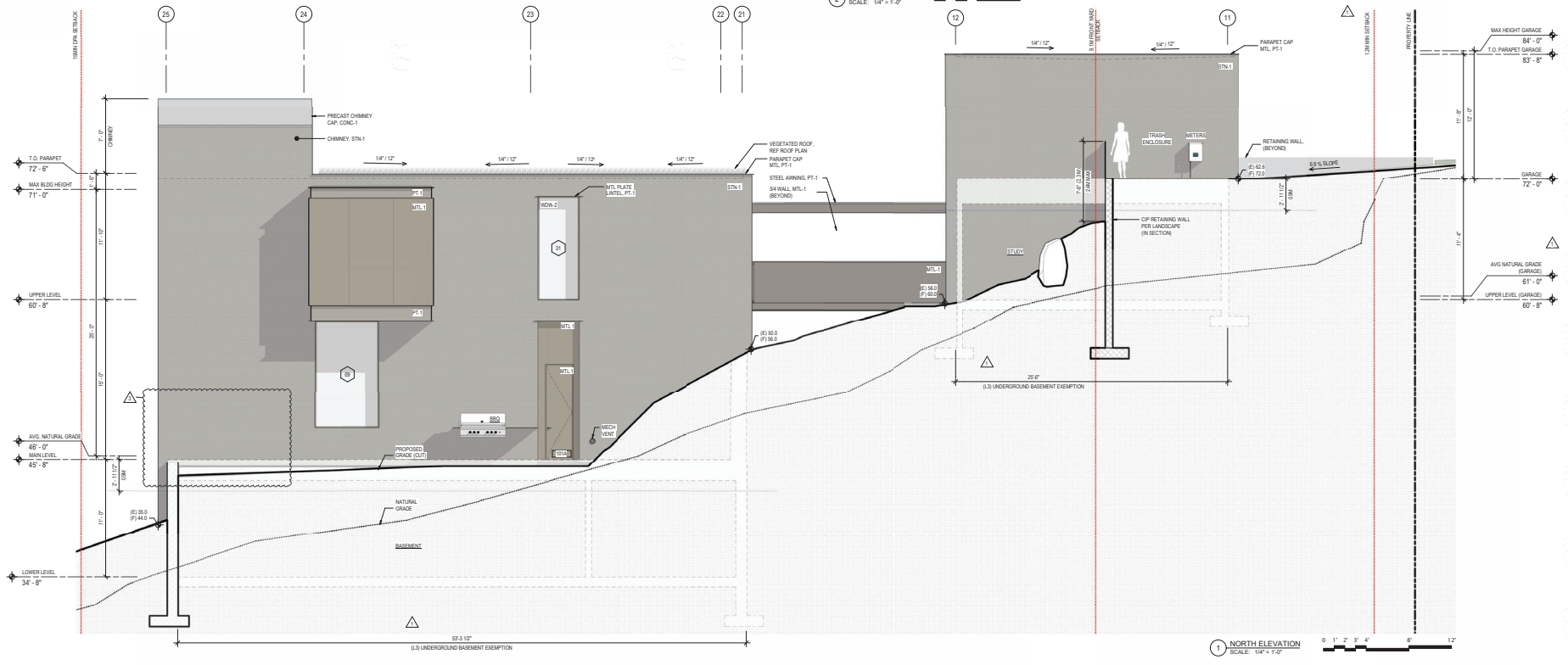
- ### SHEET NOTES
- REFER TO SHEETS A3.20, A3.22 FOR DETAILED WINDOW DIMENSIONS, AREAL WINDOW MATERIALS AND FINISHES.
  - PROPOSED BUILDING HEIGHT IS DETERMINED BY USING THE LOWER OF AVERAGE FINISH GRADE AND AVERAGE NATURAL GRADE.
  - REFER TO 11.00.06 FOR DETAILED GRADE ELEVATIONS AROUND PERIMETER OF BUILDINGS.
  - REFER TO 11.00.05 FOR SPATIAL SEPARATION CALCULATIONS FOR ALL BUILDING ELEVATIONS.
  - REFER TO BUILDING SECTIONS FOR DETAILED HIGHEST BUILDING FACE MEASUREMENTS.

### EXTERIOR FINISH LEGEND

| ABBV.  | MATERIAL      | DESCRIPTION                            |
|--------|---------------|--|
| CONC-1 | CONCRETE      | PRE-CAST CONCRETE                      |
| CONC-2 | CONCRETE      | CAST-IN-PLACE CONCRETE (FORMED) FINISH |
| MTL-1  | METAL         | PATINA METAL, TEXTURED/FINISH          |
| PT-1   | PAINTED METAL | METAL PAINTED TO MATCH MTL-1           |
| STN-1  | STONE         | CLIFFSIDE STONE                        |
| WDB-1  | WOOD          | WINDOW FRAME, STEEL, WOOD              |
| WDB-2  | METAL         | WINDOW FRAME, STEEL, FLAMED BRONZE     |



2 EAST ELEVATION SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION SCALE: 1/4" = 1'-0"

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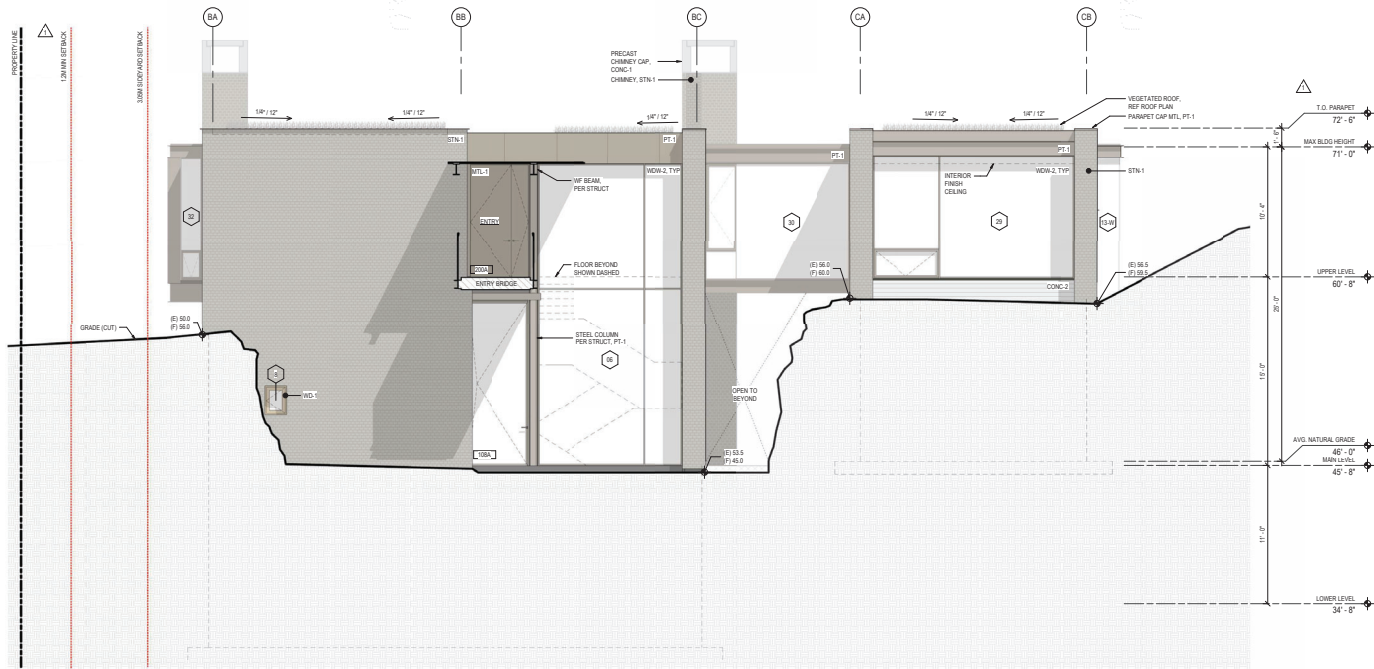
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EXTERIOR ELEVATIONS  
**A3.01**





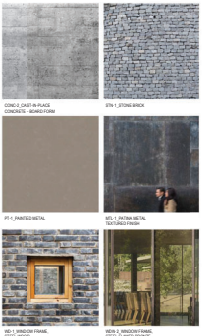
**ELEVATION LEGEND**

- [Cross-hatch pattern] MATCH EXISTING SCOPE TO BE REFER TO LANDSCAPE DESIGN
- [Diagonal line pattern] CRIML SPACE
- [Dotted line] PROPERTY LINE
- [Solid line] SETBACK LINE
- [Dashed line] 0.5M BELOW THE LOWER OF AVERAGE NATURAL OR FINISHED GRADE LINE

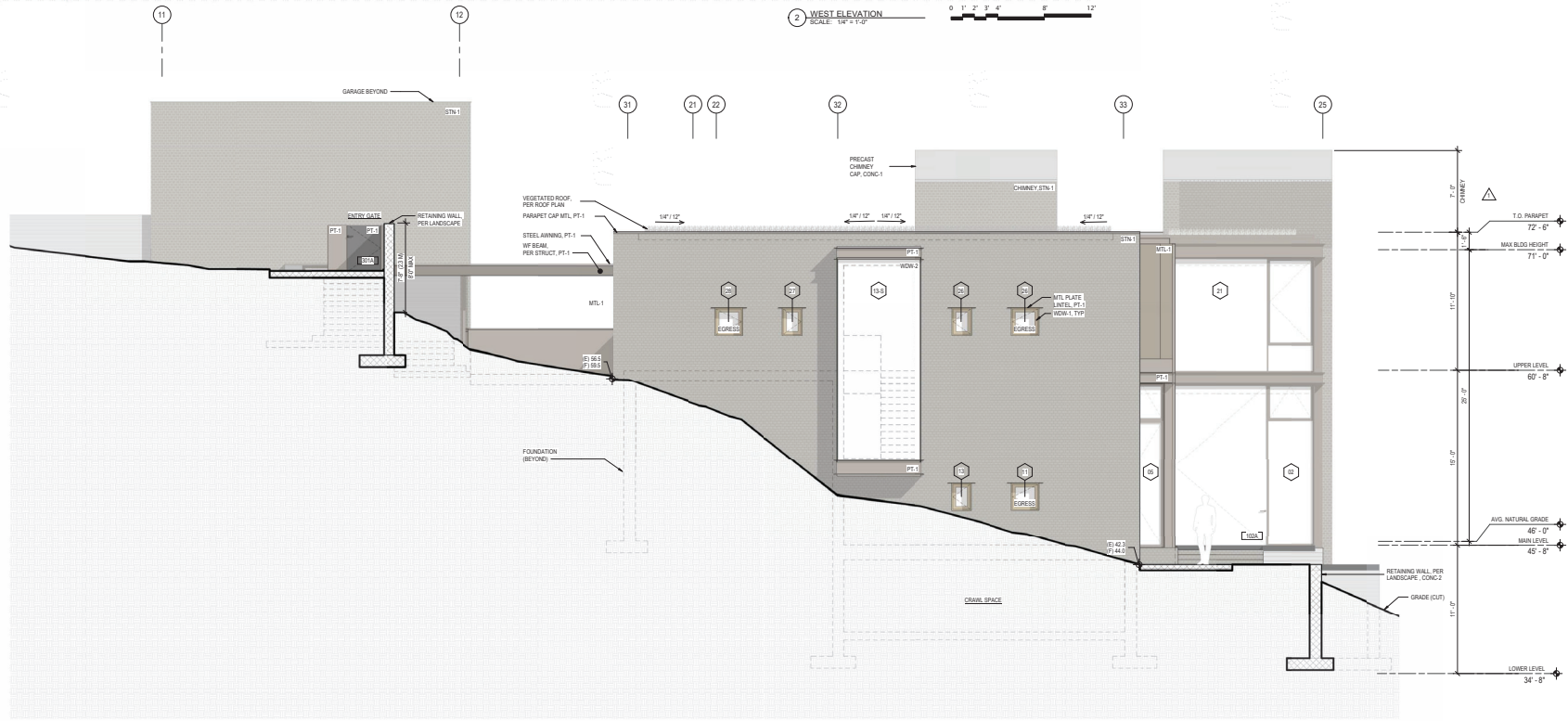
**SHEET NOTES**

- REFER TO SHEETS A3.20 - A3.22 FOR DETAILED WINDOW DIMENSIONS, AREAL, WINDOW MATERIALS, AND FINISHES
- PROPOSED BUILDING HEIGHT IS DETERMINED BY USING THE LOWER OF AVERAGE FINISH GRADE AND AVERAGE NATURAL GRADE
- REFER TO 1.1 A3.05 FOR DETAILED GRADE ELEVATIONS AROUND PERIMETER OF BUILDINGS
- REFER TO 1.1 A3.05 FOR SPATIAL SEPARATION CALCULATIONS FOR ALL BUILDING ELEVATIONS
- REFER TO BUILDING SECTIONS FOR DETAILED HIGHEST BUILDING FACE MEASUREMENTS

| ABBV.  | MATERIAL      | DESCRIPTION                          |
|--------|---------------|--------------------------------------|
| CONC-1 | CONCRETE      | PRECAST CONCRETE                     |
| CONC-2 | CONCRETE      | CAST-IN-PLACE CONCRETE - FORMED FORM |
| MTL-1  | METAL         | PATINA METAL TEXTURED FINISH         |
| PF-1   | PAINTED METAL | METAL PAINTED TO MATCH MTL-1         |
| STR-1  | STONE         | TYPIC BRICK                          |
| WDB-1  | WOOD          | WINDOW FRAME STEEL WOOD              |
| WDB-2  | METAL         | WINDOW FRAME STEEL FLAMED BRONZE     |



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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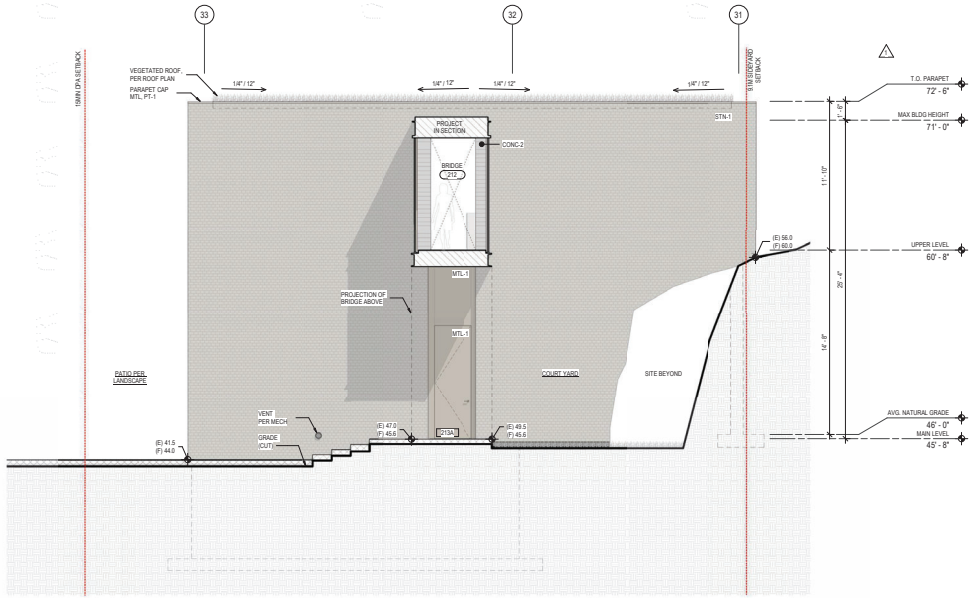
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project manager:                       
drawn by:                       
checked by:                       
date: 01/10/2022

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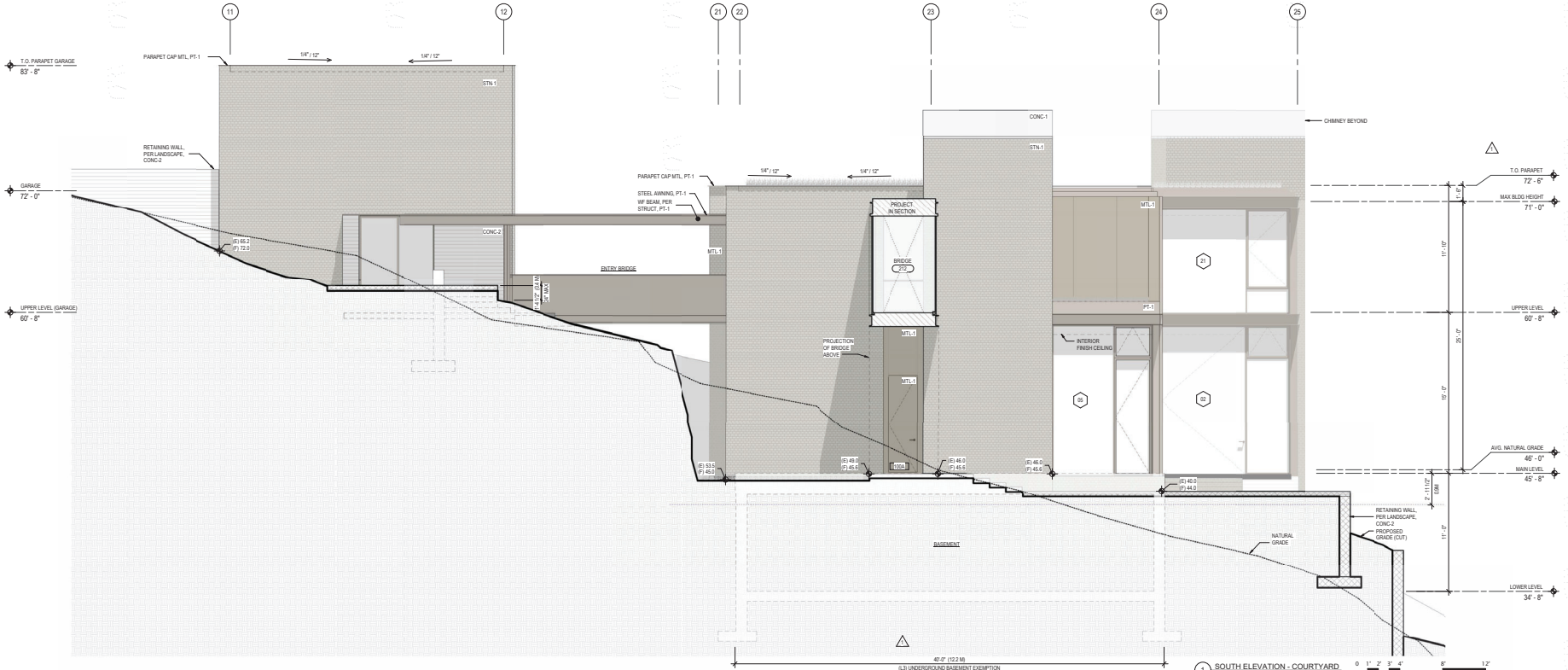
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no. date by

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EXTERIOR ELEVATIONS  
**A3.02**



2 NORTH ELEVATION COURTYARD SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION - COURTYARD SCALE: 1/4" = 1'-0"

**ELEVATION LEGEND**

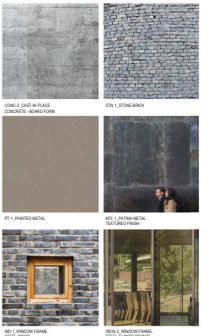
- MATCH DIMENSIONED SCOPE TO REFER TO LANDSCAPE DESIGN
- CROWN SPACE
- PROPERTY LINE
- SETBACK LINE
- 0.9M BELOW LOWER OF AVERAGE NATURAL OR FINISHED GRADE LINE

**SHEET NOTES**

- REFER TO SHEETS A3.01 - A3.22 FOR DETAILED WINDOW DIMENSIONS, AREAS, WINDOW MATERIALS, AND FINISHES
- PROPOSED BUILDING HEIGHT IS DETERMINED BY USING THE LOWER OF AVERAGE FINISH GRADE AND AVERAGE NATURAL GRADE
- REFER TO 1.1 A3.06 FOR DETAILED GRADE ELEVATIONS AROUND PERIMETER OF BUILDINGS
- REFER TO 1.1 A3.05 FOR SPATIAL SEPARATION CALCULATIONS FOR ALL BUILDING SECTIONS
- REFER TO BUILDING SECTIONS FOR DETAILED HIGHEST BUILDING FACE MEASUREMENTS

**EXTERIOR FINISH LEGEND**

| ABBV.  | MATERIAL      | DESCRIPTION                         |
|--------|---------------|-------------------------------------|
| CONC-1 | CONCRETE      | PRECAST CONCRETE                    |
| CONC-2 | CONCRETE      | CAST-IN-PLACE CONCRETE - BOARD FORM |
| MTL-1  | METAL         | PATINA METAL TEXTURED FINISH        |
| PT-1   | PAINTED METAL | METAL PAINTED TO MATCH MTL-1        |
| STN-1  | STONE         | TUFFE BRICK                         |
| WDB-1  | WOOD          | WINDOW FRAME: STEEL WOOD            |
| WDB-2  | METAL         | WINDOW FRAME: STEEL FLAMED BRONZE   |



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**Olson Kundig**  
ARCHITECTS  
1777 Burrard Inlet Residence  
165 & 172 South Osler Street  
West Vancouver, BC V7V 1G8, Canada

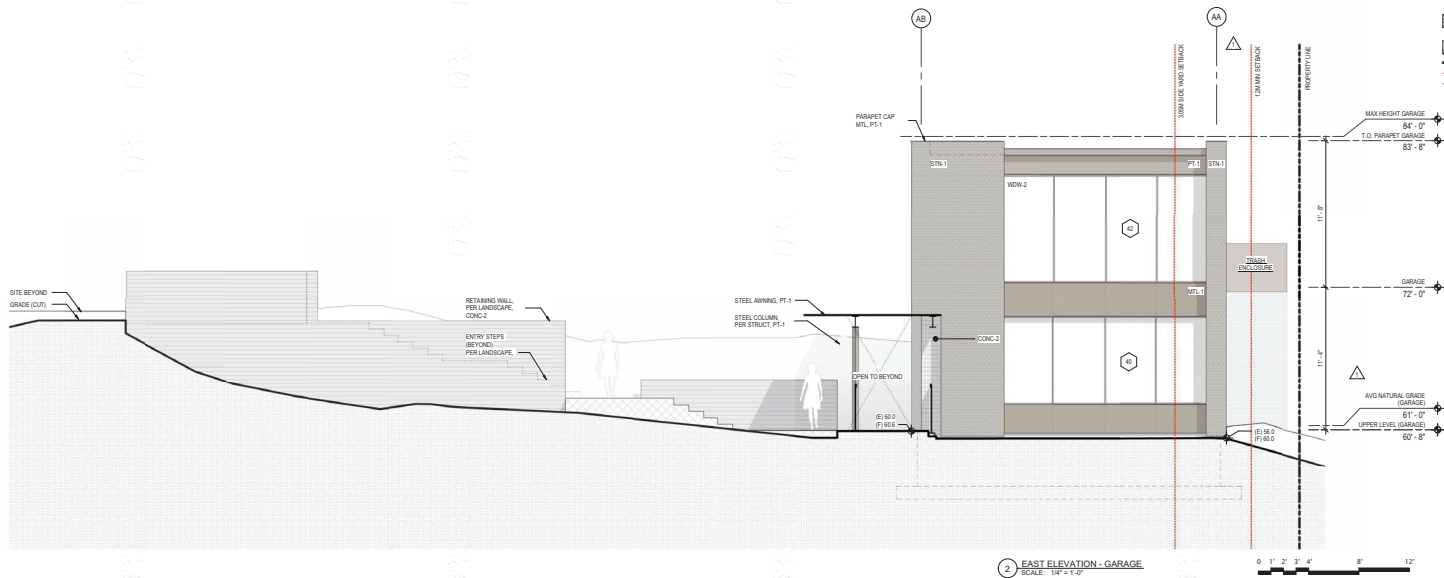
CONSULTING ARCHITECT  
**W.T. LEUNG ARCHITECTS INC.**  
Suite 1005, 1075 West Broadway,  
Vancouver, British Columbia  
Canada V6Z 0V3  
Telephone: 604 759-8711

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principal architect: \_\_\_\_\_  
 project manager: \_\_\_\_\_  
 drawn by: BC.OO  
 checked by: \_\_\_\_\_  
 300 No. 1028  
 date: 01/10/2022  
 revisions:  
 \_\_\_\_\_  
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EXTERIOR ELEVATIONS  
**A3.03**



2 EAST ELEVATION - GARAGE  
SCALE: 1/4" = 1'-0"

**ELEVATION LEGEND**

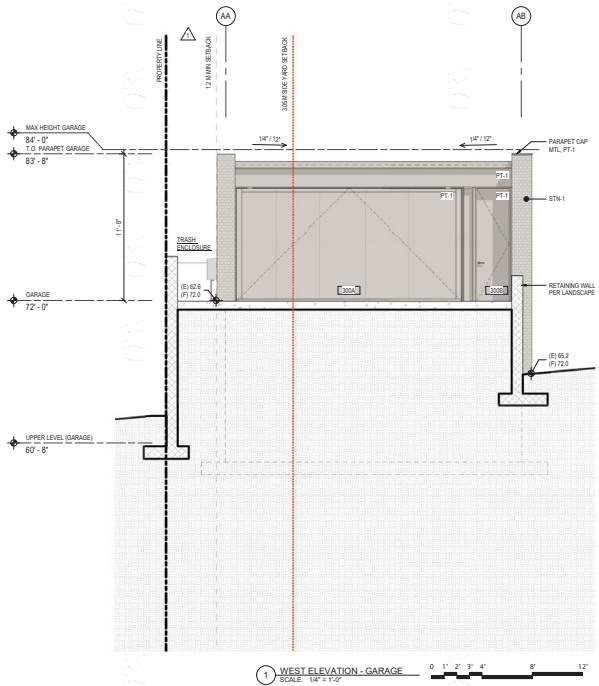
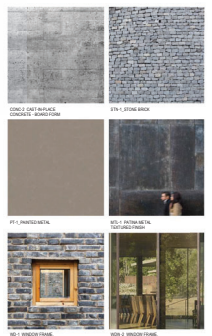
- HATCH DENOTES MATERIALS AND FINISHES
- SCOPE TO BE REFERRED TO LANDSCAPE DESIGN
- CRAWL SPACE
- PROPERTY LINE
- SETBACK LINE
- 0.9M BELOW THE LOWER OF AVERAGE NATURAL OR FINISHED GRADE LINE

**SHEET NOTES:**

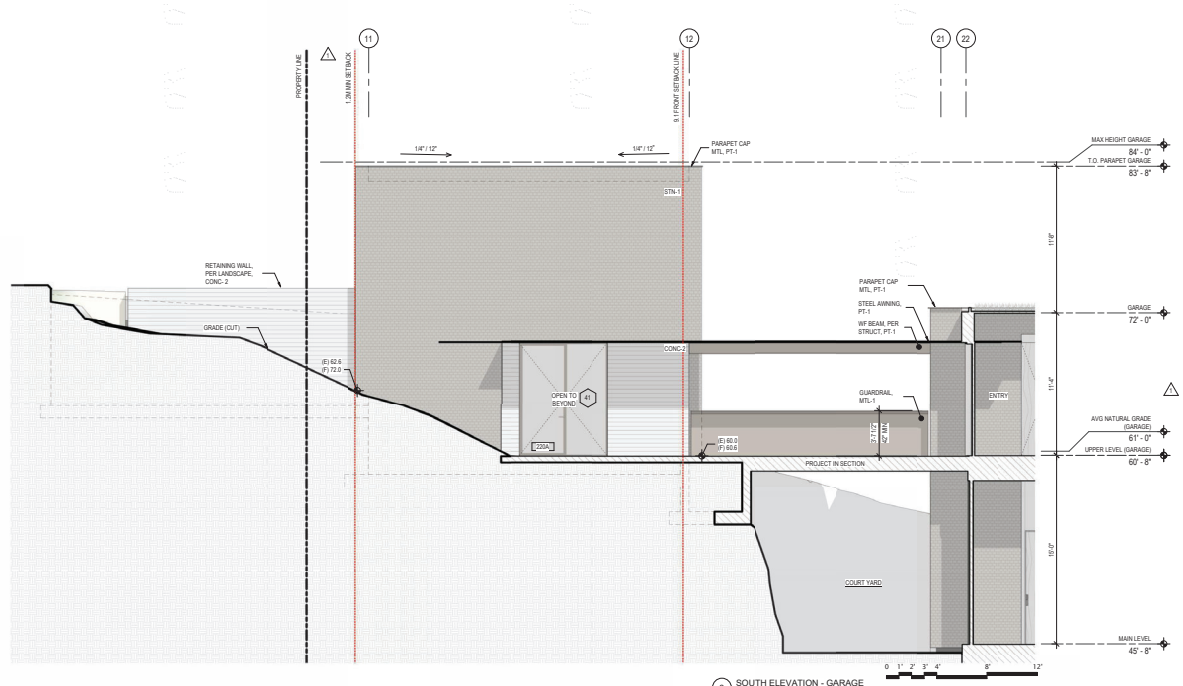
- REFER TO SHEETS A0.20, A0.22 FOR DETAILED WINDOW DIMENSIONS, AREAS, MATERIALS AND FINISHES
- PROPOSED BUILDING HEIGHT IS DETERMINED BY USING THE LOWER OF AVERAGE FINISH GRADE AND AVERAGE NATURAL GRADE
- REFER TO 1 | A0.05 FOR DETAILED GRADE ELEVATIONS AROUND PERIMETER OF BUILDING
- REFER TO 1 | A0.05 FOR SPATIAL SEPARATION CALCULATIONS FOR ALL BUILDING ELEVATIONS
- REFER TO BUILDING SECTIONS FOR DETAILED 'HIGHEST BUILDING FACE' MEASUREMENTS

**EXTERIOR FINISH LEGEND**

| ABBV.  | MATERIAL      | DESCRIPTION                         |
|--------|---------------|-------------------------------------|
| CONC.1 | CONCRETE      | PRECAST CONCRETE                    |
| CONC.2 | CONCRETE      | CAST-IN-PLACE CONCRETE (BOARD FORM) |
| MET.1  | METAL         | PATINA METAL TECHNOLOGIES           |
| PT.1   | PAINTED METAL | METAL PAINTED TO MATCH MET.1        |
| STN.1  | STONE         | STONE BRICK                         |
| WOD.1  | WOOD          | WINDOW FRAME, STEEL WOOD            |
| WOD.2  | METAL         | WINDOW FRAME, STEEL FLAME BRONZE    |



1 WEST ELEVATION - GARAGE  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - GARAGE  
SCALE: 1/4" = 1'-0"

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**Olson Kundig**

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Telephone: 604-738-0711

Reserved for architects stamp

principal: archtech\_03  
project manager: BC\_00  
drawn by: BC\_00  
checked by: JRM  
304-01-2022  
date: 01/10/2022

revisions:

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| 1   | 2022.03 | CP/REV 1 |  |
| no. | date    | by       |  |

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EXTERIOR ELEVATIONS  
**A3.04**