

<i>COUNCIL AGENDA</i>	
Date: September 17, 2021	Item: 10/B
November 8, 2021	6./R-1



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

6./R-1

COUNCIL REPORT

Date:	September 10, 2021
From:	Kaelin Koufogiannakis, Assistant Planner
Subject:	Proposed Development Variance Permit for 6409 Bay Street (Horseshoe Bay Park)
File:	1010-20-21-113

RECOMMENDATION

THAT proposed Development Variance Permit No. 21-113 regarding 6409 Bay Street (Horseshoe Bay Park), to vary the front setback to allow for a public washroom in Horseshoe Bay Park, as described in the report dated September 10, 2021, be considered at the October 18, 2021 Council meeting; and that notice be given of consideration of the proposed Development Variance Permit.

1.0 Purpose

The purpose of this report is to provide Council with information regarding proposed Development Variance Permit (DVP) No. 21-113 at 6409 Bay Street (**Appendix A**). The proposal is for a variance to setback regulations to allow for a new replacement public washroom in Horseshoe Bay Park. The report also requests scheduling of the application’s consideration.

2.0 Legislation/Bylaw/Policy

2.1 Legislation

Sections 498 and 499 of the *Local Government Act* apply regarding Development Variance Permits.

2.2 Bylaws

Zoning Bylaw No. 4662, 2010 (as amended)

The site is zoned RS4 (Single Family Dwelling Zone 4). All of the provisions of the RS4 zone apply. This DVP is required to vary the Front Setback regulation of the RS4 Zone.

3.0 Council Strategic Objective(s)/Official Community Plan

Horseshoe Bay Local Area Plan

The Official Community Plan (OCP) identifies the park site as just north of the Horseshoe Bay Local Area Plan (LAP). The LAP includes relevant policy:

3.6.17 Continue to improve Horseshoe Bay Park in accordance with the approved Horseshoe Bay Park Revitalization concept plan.

Official Community Plan

Other relevant policy in the OCP includes:

2.7.1 Maintain and care for the District's valuable parks and open spaces

2.7.17 Improve safety, universal accessibility and signage/wayfinding to parks, open spaces and trails for community members of all ages and abilities.

4.0 Financial Implications

The financial implications of the public washroom are incorporated within the overall Horseshoe Bay Park Revitalization Plan. The DVP will allow the proposed washroom design to move forward as planned and does not have any additional financial implications.

5.0 Background

5.1 Previous Decisions

Council, at its July 22, 2019 regular meeting, passed the following resolutions:

THAT

1. the Horseshoe Bay Park Revitalization Plan as attached to the report dated June 21, 2019, be approved;
2. the phasing strategy for the implementation of the Horseshoe Bay Park Revitalization Plan as outlined in the report dated June 21, 2019, be approved;
3. based on community input received, phased implementation of the Horseshoe Bay Streetscape Project proceed as outlined in the report dated June 21, 2019.

5.2 History

Following an extensive public consultation process, a park plan was developed for Horseshoe Bay Park to create a free-flowing connected park space from the Horseshoe Bay Pier to the BC Ferries terminal. The Park plan has been divided into two phases with the first phase west of Royal Avenue and phase two east of Royal Avenue extending to the Ferry Terminal.

Highlights of the proposed park improvements include a continuous waterfront path, removal of retaining walls, improved access to the beach and water, a picnic shelter and stage, a large open lawn area, seating opportunities, new playground, viewing platforms, plaza space, an improved boat ramp, pathway lighting, and the new washroom that is the subject of this report.

Following the public process and approval by Council, the detailed construction drawings of the park have been underway and are nearing completion. The first phase of the park is slated to begin construction this fall (2021).

6.0 Analysis

6.1 Discussion

Context

6409 Bay Street (the park) is approximately 8,706 m² in area and is zoned RS4. The lot forms the west portion of Horseshoe Bay Park, a key waterfront amenity in the community located just west of the BC Ferries Terminal (Figure 1).

The current public washroom at Horseshoe Bay Park is located along Bay Street, with part of the building located in the road right-of-way (Figure 2). The washroom is reaching the end of its serviceable life and needs to be rebuilt.

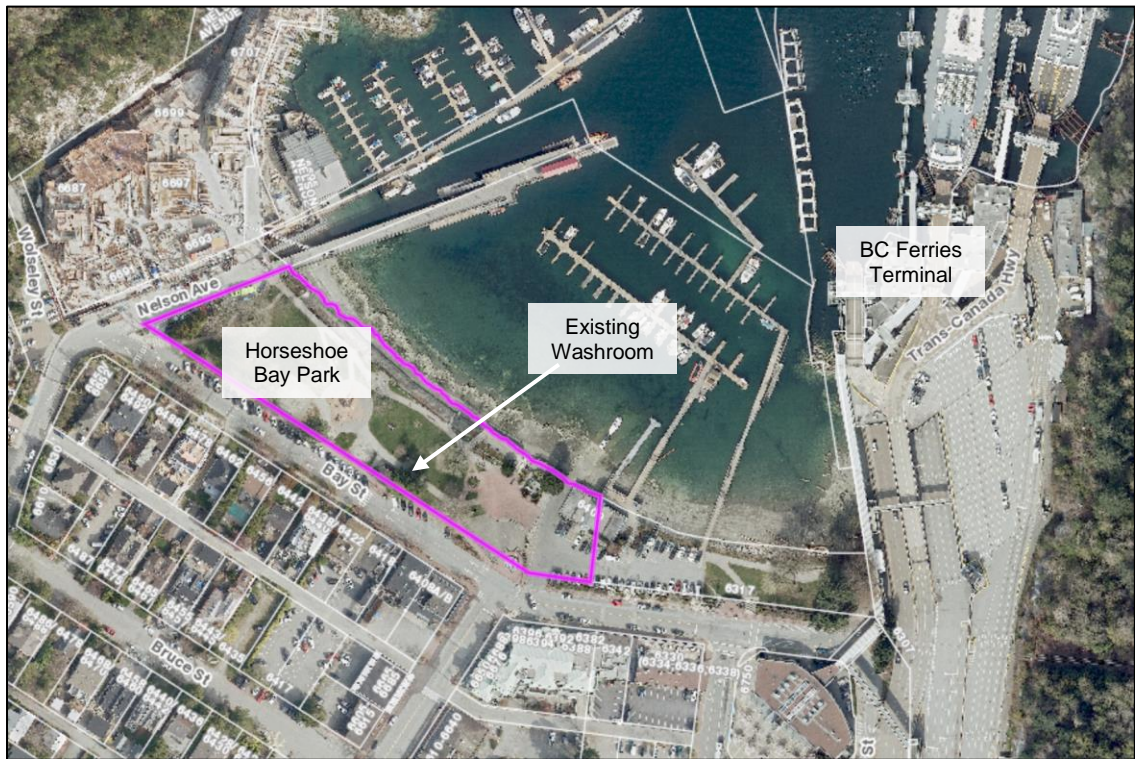


Figure 1: Location Context

The Proposal

A new washroom is proposed in a new location (Figure 2). Key design considerations in determining the location and configuration of the proposed building are as follows:

- The washroom is proposed to be pulled back out of the street right-of-way (ROW) and into the park site, while maintaining an overlapping footprint with the existing washroom to take advantage of existing servicing connections.
- The building has a changed shape to accommodate 6 gender inclusive and universally accessible washroom stalls which are individually accessed from the exterior.
- As Horseshoe Bay Park is located directly on the waterfront, the washroom building is proposed to be located opposite the foreshore and built at a slightly increased elevation, to improve future resilience to coastal flooding, erosion, and/or sea level rise.

To accommodate the proposed location, a variance to the front setback is proposed as follows:

	Bylaw (RS4)	Proposed	Variance
Front Yard	9.1m to building	1.52 m	7.58 m

The aesthetic and material design of the proposed washroom was inspired by the working waterfront and the First Nations heritage of the site (Figure 3). The metal interlocking cladding materials have an appearance reminiscent of Salmon scales in two shades of red. These are proposed for the streetscape (south) side of the building. A basic colour pallet of red and charcoal grey on the park (north) side of the washroom pays homage to the traditional waterfront boat sheds, freighters, and First Nations art.

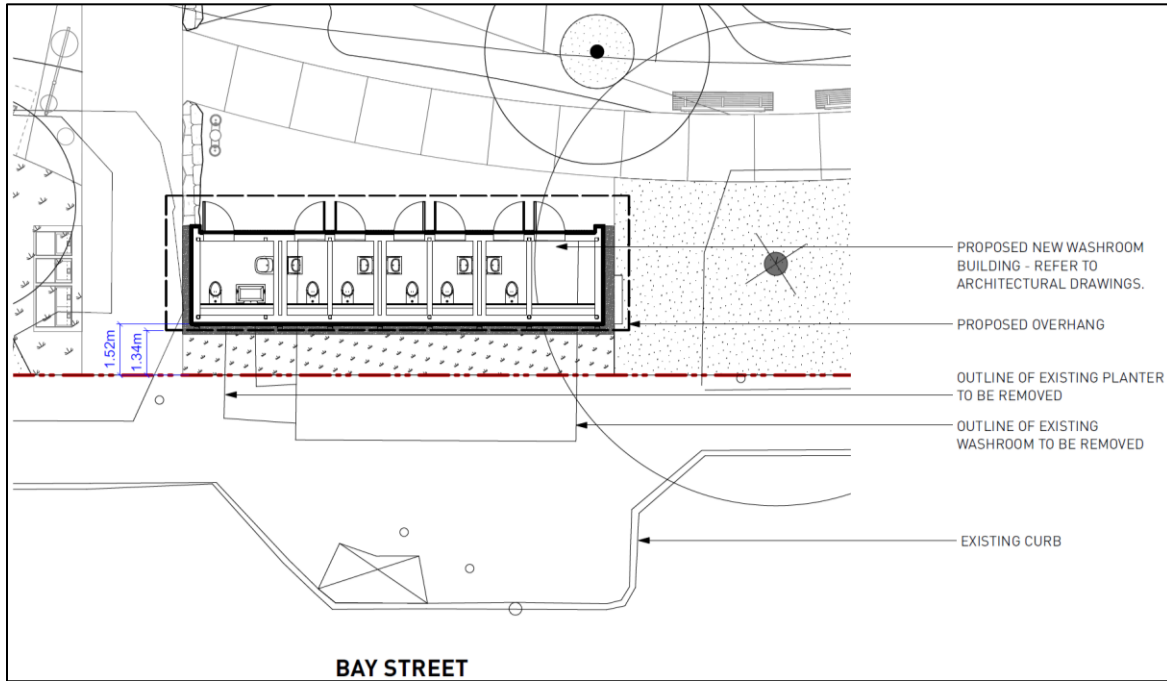


Figure 2: Washroom Plan



Figure 3: Washroom Design Elements

6.2 Sustainability

The new 6 universal washroom stalls will improve the social sustainability of public spaces in Horseshoe Bay. The building will be set at a slightly higher elevation to better meet the new sewer running down Bay Street and to improve resilience to sea level rise, contributing to the environmental sustainability of the park space.

6.3 Public Engagement and Outreach

Public Consultation

An extensive public consultation process with both the public and stakeholders was undertaken between December 2018 and February 2019 for the development of the Horseshoe Bay Park Plan. Engagement included a public open house with over 40 attendees, an online survey with 110 responses, and a meeting with the Advisory Committee on Disability Issues (ACDI).

Notification

Should the proposal advance, owners and occupants of properties located within 50 metres of the subject site will be notified of the proposed Development Variance Permit in accordance with Development Procedures Bylaw No. 4940, 2017.

Website

In alignment with current practice, a description of the proposal is available online. Applicable dates will be updated should the proposal advance.

6.4 Other Communication, Consultation, and Research

Working with Communications, Parks staff have shared current park development plans with the Western Residents Association and regular updates for the project have been posted to the District's website.

7.0 Options

7.1 Recommended Option

At the time of consideration of this report, Council may:

- a) Set the date for consideration of the application (recommended); or

7.2 Considered Options

- b) set a date for consideration of the application and request that public notification occur and/or additional information (to be specified) be provided and available to assist in consideration of the application; or
- c) defer further consideration pending receipt of additional information (to be specified); or
- d) reject the application.

8.0 Conclusion

The proposed DVP aligns with the approved Horseshoe Bay Park Revitalization Plan and allows for an upgraded public washroom that is designed to be universally accessible, efficiently serviced, and more resilient to potential flooding through a reduced front setback. The proposed washroom design is appropriate for the site and context, and will contribute to Horseshoe Bay Park as a key public amenity and well-designed building. Subject to written submissions to Council and Council consideration, staff recommend that the proposed DVP be approved.

Author:



Kaelin Koufogiannakis, Assistant Planner

Concurrence:



Michelle McGuire, Senior Manager of Current Planning and Urban Design

Appendices:

Appendix A – Proposed Development Variance Permit 21-113

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District of West Vancouver
Proposed
Development Variance Permit No. 21-113

REGISTERED OWNER: The Corporation of the District of West Vancouver

THIS DEVELOPMENT VARIANCE PERMIT APPLIES TO:

CIVIC ADDRESSES: 6409 Bay Street Park

LEGAL DESCRIPTION: Plan VAP2103 District Lot 430 Block AA
See 30-0001 Horseshoe Bay Park

PID: 014-069-229
(the 'Lands')

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1. This Development Variance Permit is issued and varies and supplements the District's Zoning Bylaw No. 4662, 2010, as amended, as follows:
 - a. Section 204.07 is varied to reduce the front setback from 9.1 metres to 1.52 metres.
 2. The proposed structure shall be developed in substantial compliance with the drawings approved by Council, attached as Schedule "A".
 3. This Development Variance Permit lapses if construction of the additions and renovations has not commenced, under an issued Building Permit, within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [Date] .

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

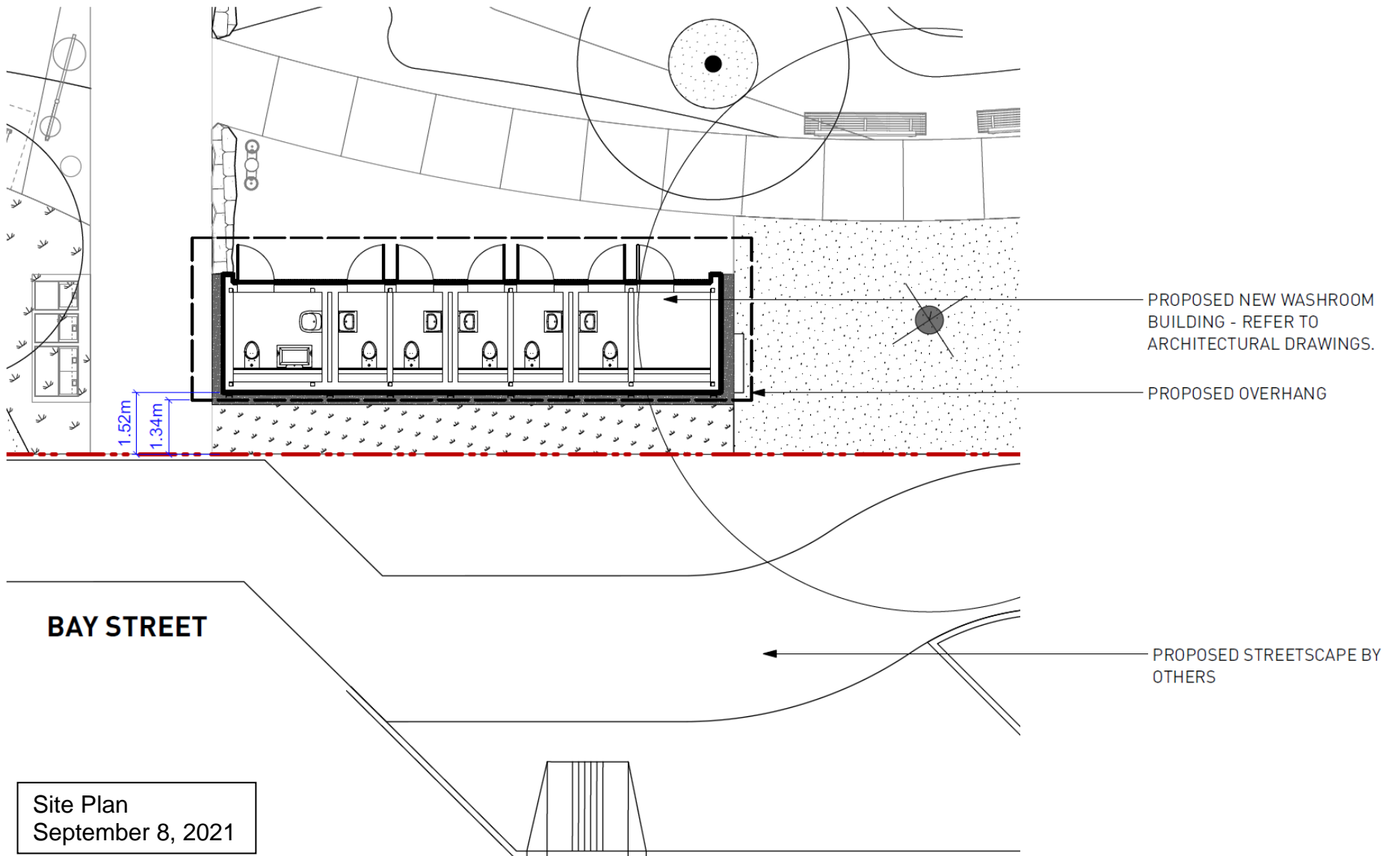
- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 3, THIS PERMIT IS ISSUED ON [Date] .

Schedules:

A – Site Plan date stamped September 8, 2021.

SCHEDULE A



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