

<i>COUNCIL AGENDA</i>	
Date: <u>June 14, 2021</u>	Item: <u>9.2</u>



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	May 25, 2021
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Development Variance Permit for 8440 Citrus Wynd
File:	05.1010.20/19-042.2019

RECOMMENDATION

THAT proposed Development Variance Permit No. 19-042 regarding 8440 Citrus Wynd to allow for variances to a single-family dwelling, as described in the report dated May 25, 2021 be considered at the July 12, 2021 Council meeting; and that notice be given of consideration of the proposed development variance permit.

1.0 Purpose

The purpose of this report is to provide information to Council regarding a single-family dwelling under construction that requires variances to allow completion of the residence and to request scheduling of Council consideration of the application.

2.0 Legislation/Bylaw/Policy

Zoning Bylaw

The site is currently zoned Single Family Dwelling Zone 10 (RS10).

3.0 Council Strategic Objective(s)/Official Community Plan

Not Applicable.

4.0 Financial Implications

There are no financial impacts to the District of West Vancouver.

5.0 Background

5.1 Previous Decisions

The Citrus Wynd subdivision was initially approved in 1993 which included a total of 10 lots accessed off of Ansell Place. This subdivision provided vehicular access to the subject site (8440 Citrus Wynd) and the neighbouring property (8442 Citrus Wynd) which were previously only accessible by water.

5.2 History

Preliminary site grading, driveway improvement and rock breaking began on the site in 2012. The property owner initially applied for a building permit

in 2013 and was issued a building permit in 2014 that allowed construction of a single-family dwelling.

As standard District inspections ensued, there were a number of changes to the plans observed by building inspectors which culminated in a 'stop work order' being issued in 2017. An initial Board of Variance application was denied on July 19, 2017. However, upon revision to the plans, the Board of Variance approved height variances to retaining walls on the north side of the property to allow for a small uncovered parking/turnaround area on November 21, 2018. This uncovered parking area is now planned to be used by both 8440 and 8442 Citrus Wynd for an emergency vehicle parking/turnaround given the site's constricted access.

Unauthorized work was then constructed to respond to the design of the two-car garage which did not provide for a functional turning radius into the garage. This required the garage to be moved westwards, rather than conduct extensive excavation and rock breaking on the east, near vertical, portion of the property. This triggered a subsequent stop work order to be issued. In order to address the situation, the original property owner applied for a Development Variance Permit (DVP) in 2019 to address the issues raised by Building inspection staff regarding unauthorized work.

In December of 2020, the property was sold to a new owner. The new owner has now been proactively working with Planning and Development Services staff to provide all necessary information and to address all required zoning variances.

6.0 Analysis

6.1 Discussion

Site and Context

The waterfront site is located at 8440 Citrus Wynd which is located off of Ansell Place (just south of the Sunset Marina Area). From Ansell Place, Citrus Wynd veers beneath the rail line to access a number of single-family waterfront properties (Figure 1). The site, 8440 Citrus Wynd, is accessed through an easement which passes through the property directly to the north.

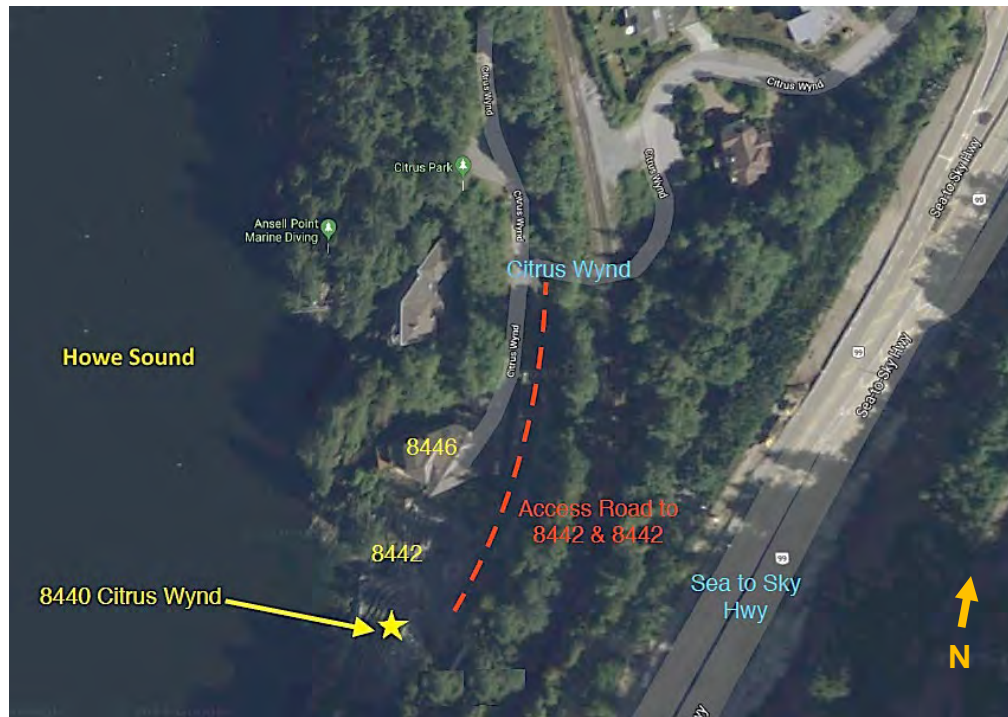


Figure 1 – Context Map/Aerial Image

The surrounding context is as follows:

- **North (8442 Citrus Wynd):** Steep property with single-family dwelling foundation under construction.
- **East:** CN Railway (the rail line is at a considerably higher elevation than the site).
- **South:** Sloped/empty lot with waterfront access only (currently with mature trees & owned by the CN railway company).
- **West:** Howe Sound.

The Proposal

The existing waterfront house previously under construction is three storeys with approximately 5,192 sq. ft. of habitable space, a two-car garage, and a swimming pool (Figure 2). The site is considerably steep with limited vegetation. Foliage is present above the residence (east) and south of the site (Figure 2). The site slopes approximately 78.2 ft., from a highpoint of 95.4 ft. above sea level (ASL) to approximately 17.2 ft. ASL. This considerable slope presents a challenging building site. Figure 3, which is a site section, provides an indication of the site slope.



Figure 2 – View from Howe Sound (looking eastwards)

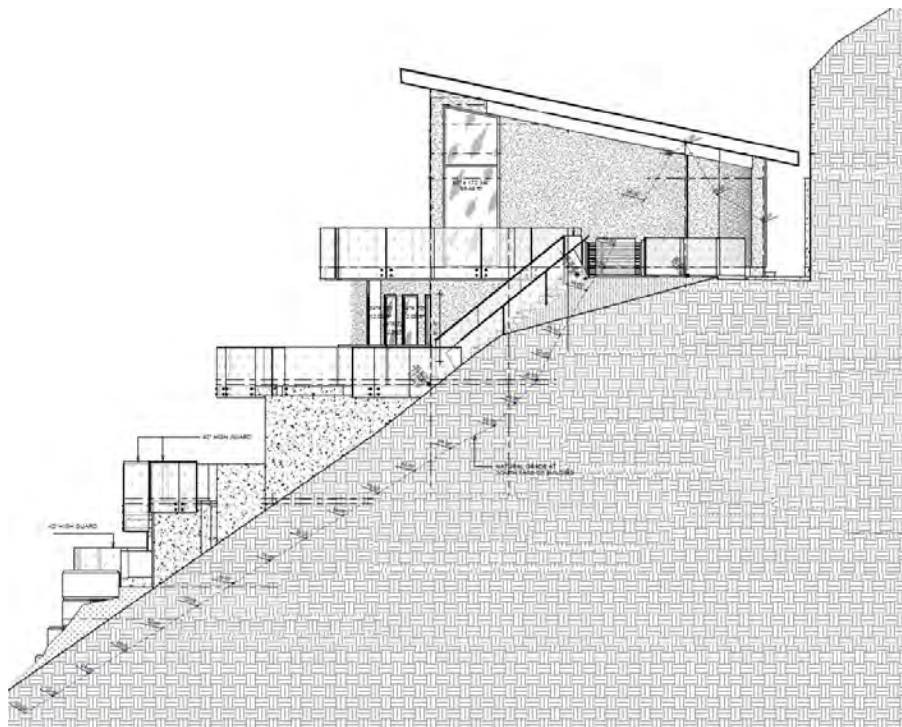


Figure 3 – Site Section of Site (looking northwards)

Proposed Zoning Variances

Figure 4 indicates the general locations of the proposed zoning variances¹.

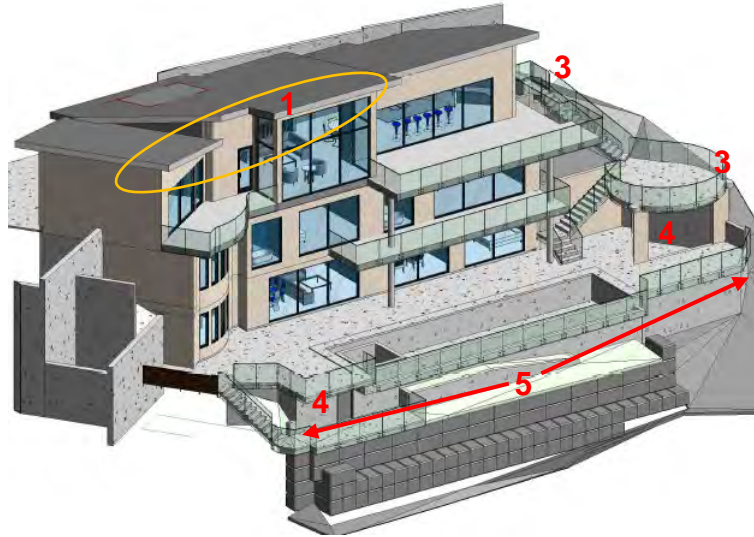


Figure 4 – Rendering of dwelling with variance locations

The proposed zoning variances are as follows:

1. Highest Building Face Envelope: The highest building face envelope in the RS10 zone is 6.7 m (22 ft.) measured from the average grade¹. The highest building face envelope is generally measured as shown in Figure 5. One-third of a single-family dwelling may encroach into the highest building face envelope and the highest building face envelope is not to include any interior space. As noted in the proposed Development Variance Permit 19-042 (Appendix A), the proposed variance allows for 67% of the length of the building to not comply with this requirement.

Due to a discrepancy in the architectural drawings and the structural framing plans, the upper portions of the dwelling seen in Figure 6 were built with rafters (versus a truss system). Therefore, the rafter design made all space beneath the roof 'interior space' and triggered a highest building face envelope variance.

Secondly, due to an error within the initial architectural drawings, there was not sufficient area to provide a useable turning radius for the two-car garage. In order to provide a functional driveway and garage, the garage was moved forward towards Howe Sound which also triggered a highest building face envelope variance.

¹ The numbers seen below correspond to the descriptions of the variances within the report.

¹ In this case, the site is measured from the finished grade.

As the maximum building height of 7.6 metres (25 ft.) is being maintained for the overall building and there is no impact on adjacent neighbours, staff support the highest building face envelope variance.

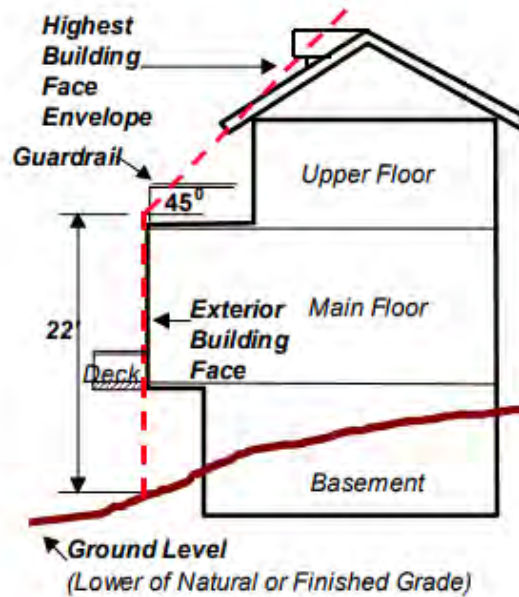


Figure 5 – Diagram from Zoning Bylaw how to measure highest building face envelope

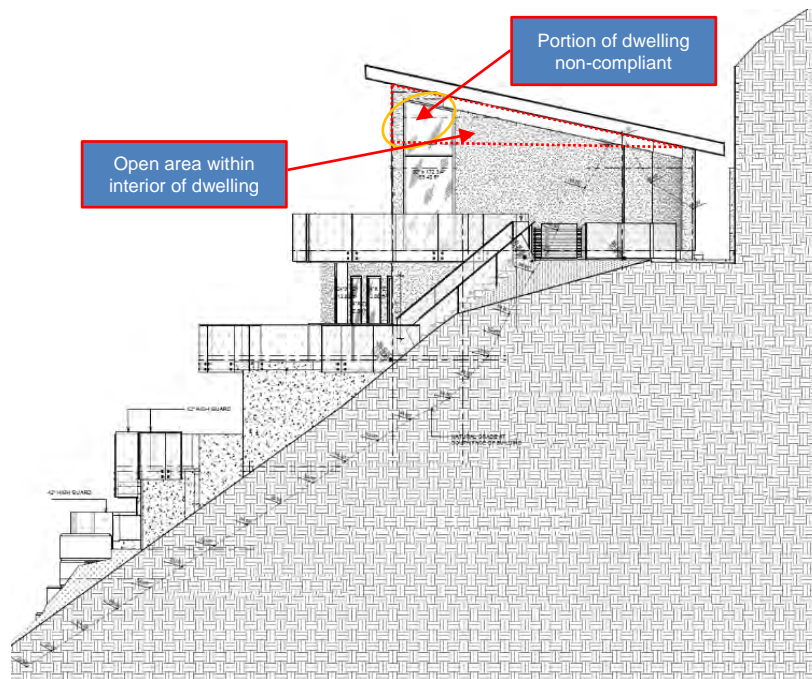


Figure 6 – Site section showing highest building face envelope

2. **Site Coverage:** The maximum site coverage in the RS10 zone is 30%² for a lot of this size. Proposed Development Variance Permit 19-042 varies the maximum site coverage from 30% to 33%. Upon building department review of the proposal, it was determined that the septic storage room underneath the pool deck, accessory wet-bar and associated concrete staircases were to be included in the site coverage calculation. As the incremental increase of 3% site coverage still allows the development to proceed and has no impact on neighbouring properties, staff support the site coverage variance.
3. **Side Yard Setback (Balcony & Stairs):** The side yard setback requirement in the RS10 zone is 10% of the lot width. Therefore, the minimum side yard setback for the subject site is 2.85 metres (9.35 ft.). Proposed Development Variance Permit 19-042 varies the side yard setback from 2.85 metres (9.35 ft.) to 1.88 metres (6.17 ft.) for the balcony and concrete stairs located on the south side of the site (Figure 7). Upon review, the concrete stairs form part of the balcony on the south side of the building and therefore form part of the building (rather than just a landscaped staircase which would not be included within the setback measurement). As the setback variance is minor and only pertains to a concrete staircase which follows grade (i.e. ground level), staff support the reduced side yard setback.

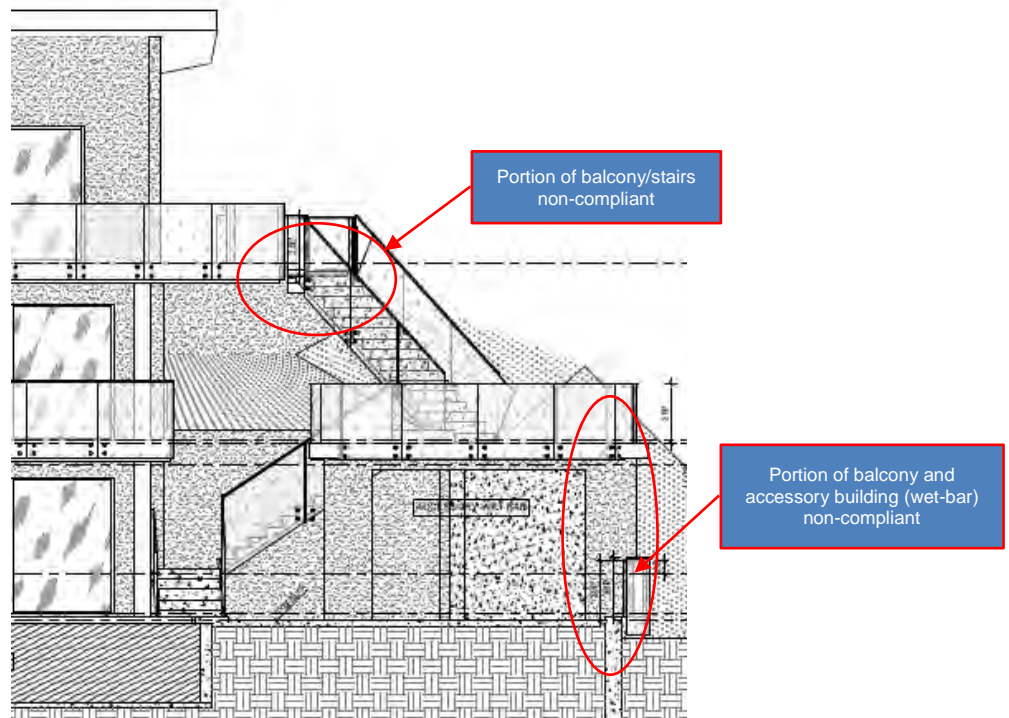


Figure 7 – Southern Balcony and Stairs

² Site coverage is the percentage obtained when the total projected area of all buildings and structures divided by the site area.

As noted previously, the minimum side yard setback for the site is 2.85 metres (9.35 ft.). The area beneath the balcony (on the middle storey) is to be used for a pool side “wet-bar” (on the lowermost storey). Accordingly, this structure is considered an accessory building. This was not apparent on the initial building drawings yet was confirmed in the field by a surveyor as part of the variance process.

Proposed Development Variance Permit 19-042 varies the minimum side yard setback “from 2.85 metres to 1.81 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands”. As there are no neighbours to the south, staff support the reduced side yard setback.

4. Accessory Building Height Variances: A height variance is needed for the accessory building on the north side of the site³ and the wet-bar on the south side of the site. The maximum height for an accessory building is 3.7 metres (12.14 ft.). The two height variances requested are:
 - to vary the maximum height from 3.7 metres (12.14 ft.) to 5.6 metres (18.37 ft.) for the concrete patio/balcony and accessory building beneath located on the south side of the site; and
 - to vary the maximum height from 3.7 metres (12.14 ft.) to 4.23 metres (13.88 ft.) for the pool deck and accessory mechanical room beneath on the west and north side of the site.

Upon confirmation from a survey, the existing slope of the site (see Figure 2) triggers these two height variances for the accessory structures.

Given the constraints (i.e. slope) of the site and that the requested height variances have no impact on adjacent neighbours, staff support the accessory building height variances.

5. Setback Variances: The zoning compliant building envelope for the single-family dwelling, above ground pool and associated accessory buildings is seen in Figure 8. All structures are intended to be located within the red dotted polygon and no structures are to be located north or south of the green dotted (side yard setback line) lines. Accordingly, the existing pool, pool deck and two pool related ‘accessory buildings’ are not compliant with the waterfront and side yard setbacks.

³ This accessory building houses pool pump infrastructure and a septic holding tank (all of which is incorporated beneath the existing pool deck).

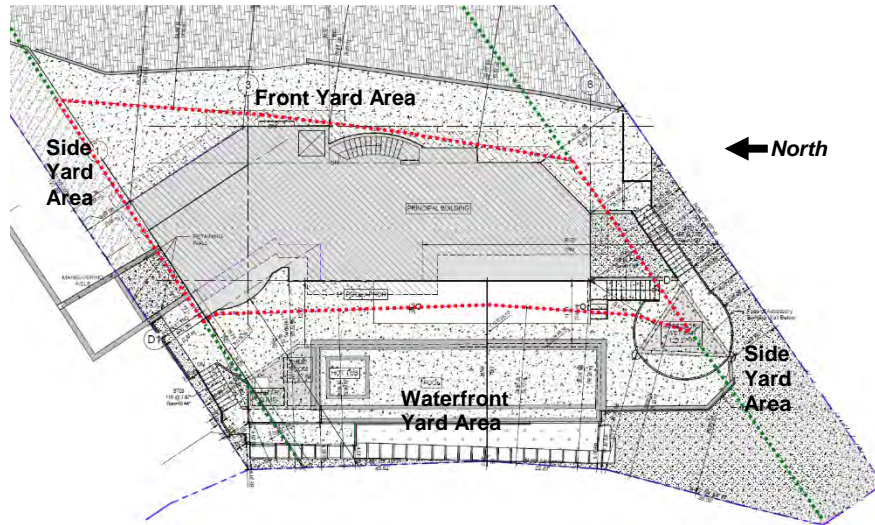


Figure 8 – Building Envelope

Upon review of the pool and pool deck retaining wall information submitted as part of the initial building permit application drawings, staff considered the pool an “in-ground pool” which only requires a 1.5 metre (4.92 ft.) setback from any lot line. However, upon review of the pool deck and retaining walls installed (confirmed by a surveyor), the ‘as-built’ pool is considered an “above ground pool” which must comply with applicable accessory structure setbacks. Although setback requirements have not been attained, the above ground pool and related retaining walls on the west side of the pool still maintain waterfront grade line requirements within the zoning bylaw (as indicated in Figure 9).

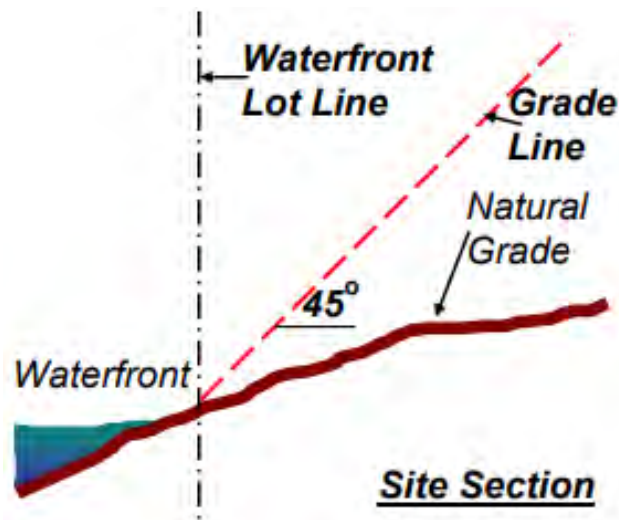


Figure 9 – Zoning Bylaw excerpt indicating waterfront grade line



Figure 10 – Site Photograph (looking northwards indicating slope)

The slope of the site presents difficulties to provide for an in-ground pool and associated facilities (e.g. pool equipment room) which would have lesser setbacks (see Figure 10). Furthermore, the building envelope seen in Figure 9 is narrow (east to west) given the configuration of the lot and applicable setbacks.

Planning staff will ensure through the submission of a landscape plan that the retaining walls viewed from Howe Sound will provide proper screening and tiering to ensure that the pool does not present as an above ground pool or appear obtrusive when viewed from Howe Sound.

The setback variances noted in proposed Development Variance Permit 19-042 (Appendix A) do not impact any neighbours and planning staff will work with the applicant to improve the aesthetic of the pool and site overall.

6.2 Sustainability

The applicant must provide a formal landscape plan, to the satisfaction of the Director of Planning and Development Services, in order to allow construction to continue on the site. The primary landscaping on the site will need to include native species yet is limited to the southern and westerly portions of the site (as the remainder of the site is hardscaped). The landscaping will improve the property and provide a more naturalized appearance from Howe Sound. The required vegetation will help ground water infiltration, foster native specie growth near the ocean environment, and provide a better alternative to the current situation of uncovered coarse gravel and dirt (Figure 10) which could be deleterious to the environment.

Furthermore, the permit requires that all construction debris be removed from the site, in the vicinity south of the site, and along the foreshore to ensure no adverse effects to the environment.

6.3 Public Engagement and Outreach

Notification

Should the proposal advance, owners and occupants of properties located within 50 metres of the subject site will be notified of the proposed Development Variance Permit in accordance with Development Procedures Bylaw No. 4940, 2017.

Website

In alignment with current practise, a description of the proposal is available online. Applicable dates will be updated should the proposal advance.

6.4 Other Communication, Consultation, and Research

Planning staff has consulted with the Permits, Inspections and Land Development staff and Environmental Protection staff on the application and proposed variances and conditions are included in the draft development variance permit addressing staff comments.

7.0 Options

7.1 Recommended Option

- a. Set the date for consideration of the development variance permit and authorize the notification to be sent to neighbours within 50 metres.

7.2 Considered Options


- a. Set an alternate date for consideration of the development variance permits (to be specified) and authorize the notification to be sent to neighbours within 50 metres; or
- b. Request further information (to be specified); or
- c. Reject the proposal.

8.0 Conclusion

Approval of the proposed variances will allow for this single-family development, which has been under construction since 2012, to be completed. The proposed variances will have no impact on surrounding neighbours and will facilitate landscaping to be installed onsite which is better for the environment and the overall aesthetics of the site. Further, the new property owner has worked cooperatively with staff in trying to address the existing issues related to work completed without permits. Staff support the proposal and recommend that Council approve the proposed Development Variance Permit subject to public input.

Date: May 25, 2021
From: Erik Wilhelm, Senior Community Planner
Subject: Proposed Development Variance Permit for 8440 Citrus Wynd

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Author: 
Erik Wilhelm, Senior Community Planner

Concurrence: 
Michelle McGuire, Senior Manger of Current Planning and Urban Design

Appendices:

A. Proposed Development Variance Permit No. 19-042 (8440 Citrus Wynd)



District of West Vancouver
Proposed
Development Variance Permit No. 19-042

REGISTERED OWNER: Andrew John Latchford and Danielle Hartman

THIS DEVELOPMENT VARIANCE PERMIT APPLIES TO:

CIVIC ADDRESSES: 8440 Citrus Wynd

LEGAL DESCRIPTION: LOT B (STATUTORY RIGHT OF WAY PLAN 16958)
OF LOT 8 BLOCK D DISTRICT LOT 2361 GROUP 1
NEW WESTMINSTER DISTRICT PLAN 6991
PID: 010-748-261
(the 'Lands')

-
1. For the purposes of this Development Variance Permit, the Lands shall be developed in substantial compliance with the drawings attached and dated April 12, 2021, approved by Council, attached as Schedule A, and specifically in compliance with the regulations and variances listed hereunder.
 2. This Development Variance Permit is issued and varies and supplements the District's Zoning Bylaw No. 4662, 2010, as amended, as follows:
 - a. Section 130.10 (Highest Building Face Envelope) is varied from "One third of the length of the building need not comply with this requirement" to "67% of the length of the building need not comply with this requirement".
 - b. Section 210.05(1) (Site Coverage) is varied from "30% of site area maximum" to "33% of site area maximum".
 - c. Section 210.09(2)(a)(ii) (Side Yard) is varied from 2.85 metres to 1.88 metres for the balcony and concrete stairs located on the south side of the lands.
 - d. Section 210.09(2)(b)(ii) (Combined Side Yard) is varied from 7.1 metres to 4.75 metres for siting of the principal dwelling and balcony and concrete stairs located on the south side of the lands.
 - e. Section 210.09(2)(a)(ii) (Side Yard) is varied from 2.85 metres to 1.81 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands.

- f. Section 130.01(3)(b) (Accessory Buildings and Structures) is varied from a maximum height of 3.7 metres to 5.6 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands.
 - g. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 6.21 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands.
 - h. Section 130.01(3)(b) (Accessory Buildings and Structures) is varied from a maximum height of 3.7 metres to 4.23 metres for the pool deck and accessory mechanical room beneath on the west and north side of the lands.
 - i. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 3.3 metres for the pool deck and accessory mechanical room beneath on the northwest side of the lands.
 - j. Section 210.09(2)(a)(ii) (Side Yard) is varied from a minimum of 2.85 metres to 1.99 metres for the concrete pool deck and mechanical room beneath on the northwest side of the lands.
 - k. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 3.3 metres for the pool deck on the west side of the lands.
 - l. Section 210.09(2)(a)(ii) (Side Yard) is varied from a minimum of 2.85 metres to 1.99 metres for the pool deck and accessory mechanical room beneath on the northwest side of the lands.
 - m. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 3.38 metres for the pool deck and accessory mechanical room beneath on the west and north side of the lands.
 - n. Section 210.09(2)(a)(ii) (Side Yard) is varied from a minimum of 2.85 metres to 0.3 metres for the exterior concrete stairs on the north side of the lands.
 - o. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 2.31 metres for the exterior concrete stairs on the north side of the lands.
3. Prior to removal of the “stop work order” applicable to the property, the following requirements and conditions shall apply to the Lands:
- (a) A landscape plan, which includes a planting list and cost estimate, acceptable to the Director of Planning and Development Services must be submitted.

4. Prior to issuance of an Occupancy Permit, the applicant must confirm with the Director of Planning and Development Services that all construction debris has been removed from the site, in the general vicinity south of the site and along the foreshore.
5. This Development Variance Permit lapses if construction of the additions and renovations has not commenced, under an issued Building Permit, within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY
RESOLUTION PASSED ON

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS
ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT
OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS /
APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR
DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

FOR THE PURPOSES OF SECTION 5, THIS PERMIT IS ISSUED ON

(Council Report Date: May 25, 2021 & Edocs No.:4255310v1)

Schedules:

A – Architectural Drawings from Inspired Architecture date stamped April 12, 2021.

Schedule A

Inspired Architecture

310-2000 MARINE DRIVE, NORTH VANCOUVER
BRITISH COLUMBIA V7V 1Y7 CANADA
EMAIL: INFO@INSPIREDARCHITECTURE.CA
TEL: 604-770-2088

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DIMENSIONS AND DATA NOTED HEREIN. PLANS, ELEVATIONS, SECTIONS AND
SCHEDULES WITH THE CONDITIONS OF BIDS AND IS RESPONSIBLE FOR
REPORTING ANY DISCREPANCY TO INSPIRED ARCHITECTURE FOR
ADJUSTMENT.



LEGAL DESCRIPTION:

PLAN 6991 DISTRICT LOT 2361 BLOCK D
LOT B

ISSUED FOR BUILDING PERMIT
FEBRUARY 18, 2021

DRAWING LIST

Number	Sheet Name	Current Revision Date
A01	COVER PAGE	2021-02-18
A02	SITE PLAN- BLDG SITING & HEIGHT ANALYSYS	2021-02-18
A03	SITE PLAN- AVERAGE GRADE CALCULATION	2021-02-18
A04	SITE PLAN- FRONT YARD IMPERMEABLE MATERIAL& SITE COVERAGE	2021-02-18
A05	ELEVATION-ACCESSORY BUILDINGS	2021-02-18
A06	ELEVATION-POOL & PUMP ROOM	2021-02-18
A07	CONSTRUCTION ASSEMBLY	2021-02-18
A08	LOWER FLOOR PLAN	2021-02-18
A09	MAIN FLOOR PLAN	2021-02-18
A10	UPPER FLOOR PLAN	2021-02-18
A11	ROOF PLAN	2021-02-18
A12	ELEVATIONS - NORTH	2021-02-18
A13	ELEVATIONS - SOUTH	2021-02-18
A14	ELEVATIONS - EAST	2021-02-18
A15	ELEVATIONS - WEST	2021-02-18
A16	BUILDING SECTION 2	2021-02-18
A17	BUILDING SECTION 1	2021-02-18
A18	BUILDING SECTION 3	2021-02-18
A19	ENLARGED INTERIOR LAYOUT	2021-02-18



GENERAL NOTES:

ALL WORK AND MATERIAL SHALL COMPLY WITH 2012 EDITION OF THE BRITISH COLUMBIA CONSISTANT WITH THE ORIGINAL DESIGN AND SUBMITTED BUILDING PERMIT APPLICATION.

DIMENSIONS

Unless otherwise noted in drawings, all dimensions in this set to read as follows:
 • To face of the stud for the interior walls.
 • To face of the exterior plywood on the exterior walls.
 • To face of the concrete walls.
 • Exterior face of the plywood to be on the Gridline.
 • Face of the foundation below to be aligned with face of the exterior plywood.

EXCAVATIONS

1. GEOTECHNICAL Engineer is to certify a site is safe for workers when the slope of the excavations exceeds 3:4 horizontal to one vertical or excavation exceeds 48".
 2. Inspections can only be done if a site is posted as safe by Professional Engineer.

FOUNDATIONS

1. Exterior Strip footings are required to have a minimum width of 10" supporting 1 floor, 14" supporting 2 floors, & 18" supporting 3 floors. Refer to structural.
 2. Interior Strip footings are required to have a minimum width of 8" supporting 1 floor, 14" supporting 2 floors, & 20" supporting 3 floors. Refer to structural.
 3. Footings are to extend 18" below grade minimum.
 4. Foundation walls of basement below grade and crawl spaces must be insulated with R12 to 24" below grade.
 5. Provide anchor bolts per structural drawings.
 6. Anchor posts to footings to resist uplift.

CRAWL SPACE

1. Provide crawl space access of 2'-0" x 3'-0", min. 18" clearance and ventilate to 1/50th of area.
 2. 2" concrete over 6 mil U.V. railed poly required.

VENTILATION

1. Unobstructed vent area shall be not less than 1/50th of the insulated ceiling area. The vent area shall be not less than 1/50th of the insulated ceiling area, where the roof slope is less than 1 in 6. Venting is required to be two-way.
 2. Min. 2x2 cross-purins to flat, vaulted ceilings, and decks over living areas to conform to BCBC 9.19.2.4.
 3. Provide min. 2 1/2" clearance between roof sheathing and insulation #8 19.1.1.1. Provide min. 1" clearance between insulation and top of roof joists.
 4. Roof vents must be uniformly distributed with a minimum of 25% at base and 25% at the rooftop.
 5. Provide attic access hatch of 2'-0" x 3'-0".
 6. Attic hatches shall be weather-tight. Mechanical Conditioning design and letter of supervision by Professional Engineer, certified HRV or HVAC Technician at frame and final inspection.
 8. Continuous or intermittent fans are required to all bedrooms and kitchens as per BCBC 9.32.3.3.
 9. It is recommended that high-density batt insulation be used in vaulted roofs in order to maintain airflow.
 See BCBC 2012 Div. B Part 5 Sentence s 19.1.2.

INSULATION REQUIREMENTS

(Prescriptive path, effective values)
 1. Insulation where subject to mechanical damage is to be covered as per 49.25.2.3.1(7) with drowsel or equivalent (e.g. Furring wall).
 2. Minimum insulation values R15.8 walls, R26.5 for flat or vaulted ceilings, and R39.2 for attic spaces. R11.3 foundation. R26.5 Floor over exterior space. R-25.8 floor over unheated space. R-14.4 Wall to unheated space. R11.1 Slab above floor line. R-13.2 Slab below floor line.
 3. provide a thermal break at slab edge.
 4. Provide insulation in a 4' perimeter under the slab with a thermal break at exterior walls.
 5. Provide insulation under entire slab area and a thermal break at the exterior walls for slabs with radiant heating.
 6. Refer to energy modeling summary sheet when building energy compliant with performance path.
 7. Piping for any plumbing or mechanical systems must be located within the thermal enclosure or are fully insulated to the required RSI value of the assembly they are in.
 8. Foundation Wall insulation to wrap to edge of window/ framing on sides and bottom of well windows and doors

STAIRS

1. Straight stair: Rise min. 4", max. 7.87"
 Run min. 8.25" max. 14"
 2. Maximum 1" nosing on stair treads.
 3. Minimum headroom is 6'-0" from a line through nosing, measured vertically.
 4. Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
 5. Wains to conform to 9.8.4.5.
 6. Primary stair minimum width 2'-10".
 7. Stairs 45° in width or greater require 2 handrails.
 8. Handrail run, on interior stairs with three or more risers.
 9. Exterior stairs with four or more risers.
 10. Handrail as a guard to be minimum 36", 38".

Exterior Stair Tread Finish

1. Provide minimum 2" clearance to be provided with slip-resistant strips (max. 1mm above tread surface)

CHIMNEY & FIREPLACES

1. Provide minimum 2" clearance between chimney and combustible framing.
 2. Provide minimum 4" clearance between fireplace and combustible framing.
 3. Masonry fireplace hearths must conform to 9.22.5.1.

GUARDRAILS

1. Guardrails to be a minimum 42" exterior and 36" interior height.
 2. Interior Guards: min 900mm (36") high;
 3. Exterior guards: min 900mm (36") high where the vertical distance to finished grade is max 1800mm (6 ft)
 4. Handrails: Min 800mm and no more than 900mm high, measured vertically from the top of the handrail to a straight line drawn tangent to the nosing of the stairs. (See BCBC 9.8.7.4.)
 5. Openings in guards shall be small enough to prevent the passage of a 100mm (4") dia. sphere (See BCBC 9.8.8.5.)
 6. Guards must not facilitate climbing (See BCBC 9.8.8.6.(2) for further clarification).
 7. Every stair requires a handrail, except interior stairs with max. 2 risers or exterior stairs with max. 3 risers See BCBC 2012 Div. B Part 9. 9.8.7. and 9.8.8.
 8. All glass guards to have top unless approved by Prof. Engineer.
 9. A minimum of 36" in height is permitted for decks within 5'-11" of grade.
 10. Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
 11. Guard required where the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2.

GLAZING

1. Contractor to double check provided window sizes with floor plan dimensions, window sill and head levels in elevation & sections prior to fabrication.
 2. Except wired glass windows, all Windows, Doors, Skylights and Other Glazed Products shall comply with WDMA/CSA 1019.1-S-04A40, "NARS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."
 3. Glass in entrance, shower and sliding doors, and windows within 6" of doors and within 36" of doublets are all to be safety glass.
 4. Exterior glass with four or more risers.
 5. Handrail as a guard to be minimum 36", 38".
 6. The bottom of an operable window in a bedroom is to not exceed 4"11" above the floor, and have a min. opening width of 10" with an area of 3.75sf, unless the jamb is protected with guards or be non-operable and designed to 46.1.5.1.6.
 7. Window wells are to be 30" minimum width when required as a bedroom egress 9.9.10.1
 8. Level 2 Bedroom windows as egress must have unobstructed opening of not less than 1 m in height and 0.55 m in width, and sill height not more than 1 m above finish floor, and 1 m above adjacent ground level 9.9.1.1
 9. 1 m bedroom window as egress must have unobstructed opening of not less than 0.35 m² in area with no dimension less than 380 mm, and maintain the required opening during an emergency without the need for additional support.
 11. Where a protective enclosure is installed over a window well, it shall be operable from the inside without the use of keys, tools, or special knowledge.
 12. Window sill that extends to less than 1 m from the floor and is located at the second must be protected by guard.

MASONRY VENEER WALLS

1. Provide masonry/veneer wall flashing ties and weep holes as per 9.20.
 2. Interior Guards: min 900mm (36") high;
 3. Exterior guards: min 900mm (36") high where the vertical distance to finished grade is max 1800mm (6 ft)
 4. Handrails: Min 800mm and no more than 900mm high, measured vertically from the top of the handrail to a straight line drawn tangent to the nosing of the stairs. (See BCBC 9.8.7.4.)
 5. Openings in guards shall be small enough to prevent the passage of a 100mm (4") dia. sphere (See BCBC 9.8.8.5.)
 6. Guards must not facilitate climbing (See BCBC 9.8.8.6.(2) for further clarification).
 7. Every stair requires a handrail, except interior stairs with max. 2 risers or exterior stairs with max. 3 risers See BCBC 2012 Div. B Part 9. 9.8.7. and 9.8.8.
 8. All glass guards to have top unless approved by Prof. Engineer.
 9. A minimum of 36" in height is permitted for decks within 5'-11" of grade.
 10. Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
 11. Guard required where the adjacent surface within 1.2 m of the walking surface has a slope of more than 1 in 2.

MOISTURE PROTECTION

1. Provide flashings between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%.
 2. Provide flashings at all wall-roof junctions, including parapets for solid guards on decks.
 3. Rainscreen assembly required for all buildings, with a minimum capillary break of 3/4".
 4. All platforms as roofs
 5. All roofs must slope 1 in 50 away from walls, this includes parapet walls surrounding decks
 6. Exterior roof membrane 6" up wall at deck floor.

MISCELLANEOUS

1. Cross bridging required @ 7'-0" o.c. maximum for floor and roof joists.
 4. For all tiled floor, install an additional layer of 3/8" exterior grade plywood on top of subfloor if concrete topping not provided.
 5. 3/8" Drywall required to ceiling between grade and siding.
 6. Provide minimum 6" clearance between grade and siding.
 7. Damp-proofing studs, including crawl spaces, are to be 6 mil "VVV" poly. fabrication.
 8. Furnace and laundry room door width of 2'-8" min.
 9. N.R.P. hinges required for outward exterior doors.
 10. Hardwired and interconnected smoke alarms required on every floor level differing by 30", within 5 meters of bedroom doors, and within 15 meters of each other.
 11. Hard wired CARBON MONOXIDE alarms shall be installed within each bedroom or within 15' of each bedroom door.
 12. A 5b A.B.C. dry chemical fire extinguisher is required near the kitchen.
 13. Heating and air conditioning equipment must be secured to the building to resist overturning and displacement.
 14. Solid Blocking shall be provided at exterior doors serving the dwelling.
 15. Window sills over stairs, ramps and landings that extend to less than 36" above the surface shall be protected with guards or be non-operable and designed to 46.1.5.1.6.
 16. Window wells are to be 30" minimum width when required as a bedroom egress 9.9.10.1
 17. Level 2 Bedroom windows as egress must have unobstructed opening of not less than 1 m in height and 0.55 m in width, and sill height not more than 1 m above finish floor, and 1 m above adjacent ground level 9.9.1.1
 18. 1 m bedroom window as egress must have unobstructed opening of not less than 0.35 m² in area with no dimension less than 380 mm, and maintain the required opening during an emergency without the need for additional support.
 11. Where a protective enclosure is installed over a window well, it shall be operable from the inside without the use of keys, tools, or special knowledge.
 12. Window sill that extends to less than 1 m from the floor and is located at the second must be protected by guard.

Waterproof Wall Finish shall be provided as follows:

1. Above the floor in shower stalls: min 1/8m (8.8")
 2. Above the rims of bathtubs equipped with showers: min 1.2m (4.8")
 3. Above the rims of bathtubs not equipped with showers: min 400mm (16")
 See BCBC 2012 Div. B Part 9 Sentence 9.29.2.
 4. For all tiled wall surfaces, provide water resistant GWB "AQUAGUARD" or approved equivalent.

Solar Hot Water Ready:

All new single family homes must comply with the provincial regulations as follows:
 1. 2x2" (inside diameter) straight, continuous, conduit runs must be provided from the mechanical room to the attic or roof, be capped/terminated at both ends and identified by markings that are permanent; or
 2. 2 x 3/4" Type L copper pipes with 1/2" insulation that must be tested 200 psi after installation.
 3. 1" electrical conduit raceway close to the 2" pipes.
 4. Pipes must be ended in a workable and accessible area, i.e. minimum 2' clearance from top of ceiling joist to underside of rafters.
 5. One 5.3 m² (100 sq ft) of south facing roof, minimum of 2.7m (9 ft dimension).
 6. Structural roof design of a load of 0.26Pa in addition to design loads required by the BCBC.

Principal Ventilation System Supply Air:

1. A principal ventilation system shall mechanically provide air to each bedroom and each floor without a bedroom. See BCBC 2012 Div. B Part 9 Section 9.32.3.4.
 2. HVAC equipment must be located within the thermal enclosure or designated to be installed outside the thermal enclosure.

Principal Ventilation System Exhaust Fan:

A principal system exhaust fan shall run continuously and provide a minimum airflow rate specified in Table 9.32.3.6.
 An exhaust fan shall be provided for every kitchen and bathroom.
 See BCBC 2012 Div. B Part 9 Section 9.32.3.5. & 9.32.3.6.

Water Conservation Plumbing Regulations:

shall be provided as follows:
 • Ultra low flow toilets (4.9 L)
 • Maximum flow rates of 8.5L/min for kitchen and lavatory faucets
 • Maximum flow rates of 9.5L/min for shower heads
 See BCBC 2012 - Part 10, 10.3.1.1. & 10.3.1.2

Combustion Spillage Hazard

A large kitchen hood fan can upset the pressure balance in a house, resulting in carbon monoxide spillage from a fireplace, hot water tank or boiler, and back into the house. Ensure that the kitchen fan outlet (CFM) does not exceed Box # as indicated on the Mechanical Ventilation Checklist

Important Considerations for Secondary Suite Fire Separation

The fire separation consists of:
 • Drywall supported on the ceiling;
 • Wall framing protected between a layer of drywall on both sides.
 AVOID penetrating this drywall with holes larger than 3" diameter or 5" x 5" squares.
 AVOID locating bathtubs, showers, furnace room equipment, electrical panels, washer/shut off boxes and back-to-back outlets, in an adjacent fire separation wall.
 Bathroom fans must be housed in a 5-sided, tightly fitted, drywall box.

AREA SCHEDULE-GROSS				
Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,989.52 m ²	184.74 m ²	124.47 COUNTABLE FAR
Lower Floor	COVERED BACK DECK	342.95 m ²	31.86 m ²	EXCLUSION
		2,331.47 m ²	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 m ²	199.83 m ²	FAR
Main Floor	BALCONY	342.95 m ²	31.86 m ²	EXCLUSION
		2,493.88 m ²	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 m ²	125.72 m ²	FAR
Upper Floor	BALCONY	218.72 m ²	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	598.62 m ²	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.53 m ²	38.16 m ²	EXCLUSION
		2,581.53 m ²	239.83 m ²	
SITE	POOL	784.86 m ²	72.92 m ²	EXCLUSION
SITE	ACCESSORY WET BAR	123.28 m ²	11.45 m ²	ACCESSORY
SITE	ACCESSORY PUMPROOM	134.82 m ²	12.53 m ²	ACCESSORY
		1,042.96 m ²	96.89 m ²	

NO.	DATE	ISSUES FOR BUILDING PERMIT	BY
1	2021-02-18	ISSUES FOR BUILDING PERMIT	AF
REV	XXXXMMDD	REVISION DRAWING ISSUE	REVIEW

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8440 CITRUS WYND, WEST VANCOUVER, BC

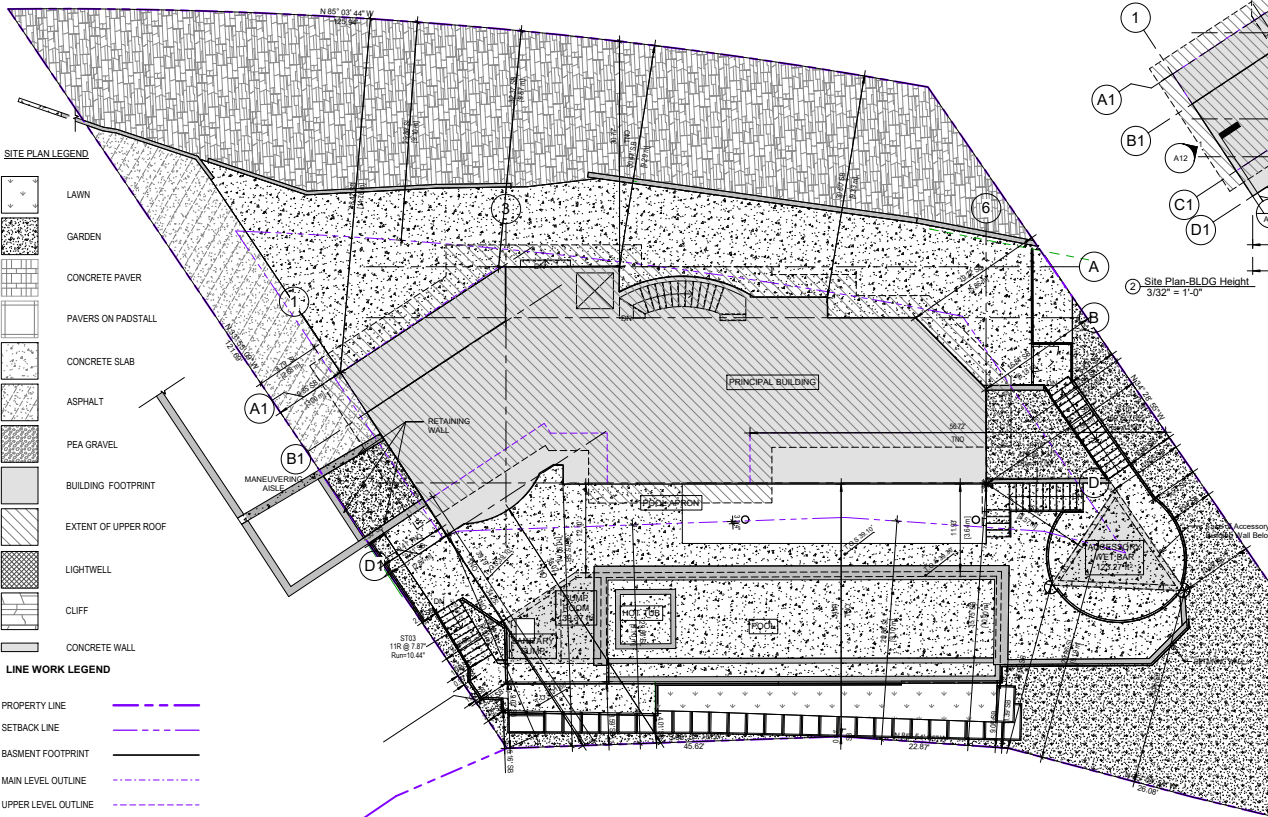
DRAWING TITLE
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DRAWING ISSUE
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PROJECT NO.	FLY DATE	DRAWN	MT
20235	FEB. 18, 2021		
DRAWING NO.	SCALE	REVISION	AF
	1/4" = 1'-0"		

A01

1



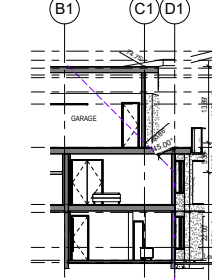
SITE PLAN LEGEND

- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- BUILDING FOOTPRINT
- EXTENT OF UPPER ROOF
- LIGHTWELL
- CLIFF
- CONCRETE WALL

LINE WORK LEGEND

- PROPERTY LINE
- SETBACK LINE
- BASEMENT FOOTPRINT
- MAIN LEVEL OUTLINE
- UPPER LEVEL OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OUTLINE
- OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE

BLDG SERVICES



SECTOR A - ENVELOPE FACE HEIGHT
 SECTION 1
 3/32" = 1'-0"

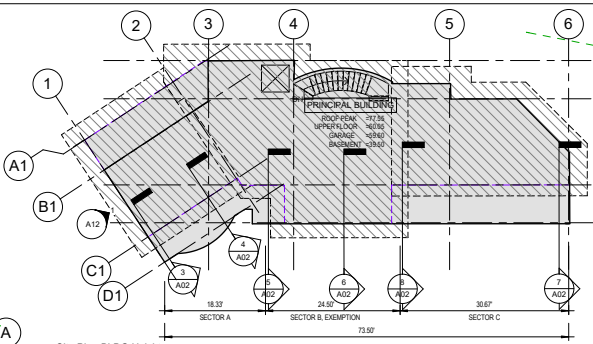
SECTOR A - ENVELOPE FACE HEIGHT
 SECTION 2
 3/32" = 1'-0"

SECTOR B - ENVELOPE FACE HEIGHT
 SECTION 1
 3/32" = 1'-0"

SECTOR B - ENVELOPE FACE HEIGHT
 SECTION 2
 3/32" = 1'-0"

SECTOR C - ENVELOPE FACE HEIGHT
 SECTION 1
 3/32" = 1'-0"

SECTOR C - ENVELOPE FACE HEIGHT
 SECTION 2
 3/32" = 1'-0"



Site Plan - BLDG Height
 3/32" = 1'-0"

Building Data		Imperial	Metric	Comments
Lot Area		11,324.00	1,052.03	RS10 ZONE
Lot Width		93.03	28.36	
Lot Depth		121.70	37.09	

Building Data		Allowed	Provided	Comments
FAR Ratio		0.35	0.332	
Back Covered Deck		0.00	0.00	
Front covered Deck/Porch		0.00	0.00	
Sun Deck / Balcony		1,160.20	107.75	
Garage area		441.32	41.00	
Accessory building area		242.10	22.50	
Total FAR		3,963.40	368.21	3,762.79
Site Coverage		50.00%	33.13%	See sheet A04
Front Yard Impermeable		40.00%	34.28%	See sheet A04

Other Countable areas		Imperial	Metric
Countable Garage	NOT APPLICABLE	0.00	0.00
Countable Upper balcony and decks	NOT APPLICABLE	0.00	0.00
Basement Projections Beyond Lot Floor Outline	NOT APPLICABLE	0.00	0.00
Area over 14'-4" ceiling height		134.12	12.46
Upper Floor (FAR)		1,353.27	125.72
Main Floor (FAR)		2,110.93	199.83
Basement area Within Level 1 outline:		1,988.52	184.74
100% exemption, projection less than 3' AFF		1,116.36	103.71
Basement area, allowed by partial exemption		872.16	81.03
Calculated partial basement exemption area		747.69	69.46
Countable Basement (FAR)		124.47	11.56
Total Proposed FAR		3,762.79	349.57
FAR Balance		200.61	18.64

Living space		Imperial	Metric
Main & Upper floor living space		3,504.20	325.95
Basement Living space		1,988.52	184.74
Total Living space area		5,492.72	510.29

Basement partial exemption calculation:		Imperial	Metric
LOWEST AVERAGE GRADE (Natural)		48.21	4.48
LEVEL 1 FINISH LEVEL (Main Floor)		49.66	4.63
BASEMENT FINISH LEVEL (Lower Floor)		39.50	3.67
BASEMENT PARTIAL EXEMPTION PERCENTAGE		85.73%	85.73%

1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
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PROJECT

**ANDREW LATCHFORD
 RESIDENCE**

8440 CITRUS WYND, WEST VANCOUVER, BC

DRAWING TITLE

**SITE PLAN- BLDG SITING &
 HEIGHT ANALYSIS**

DRAWING ISSUE

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 PERMIT**

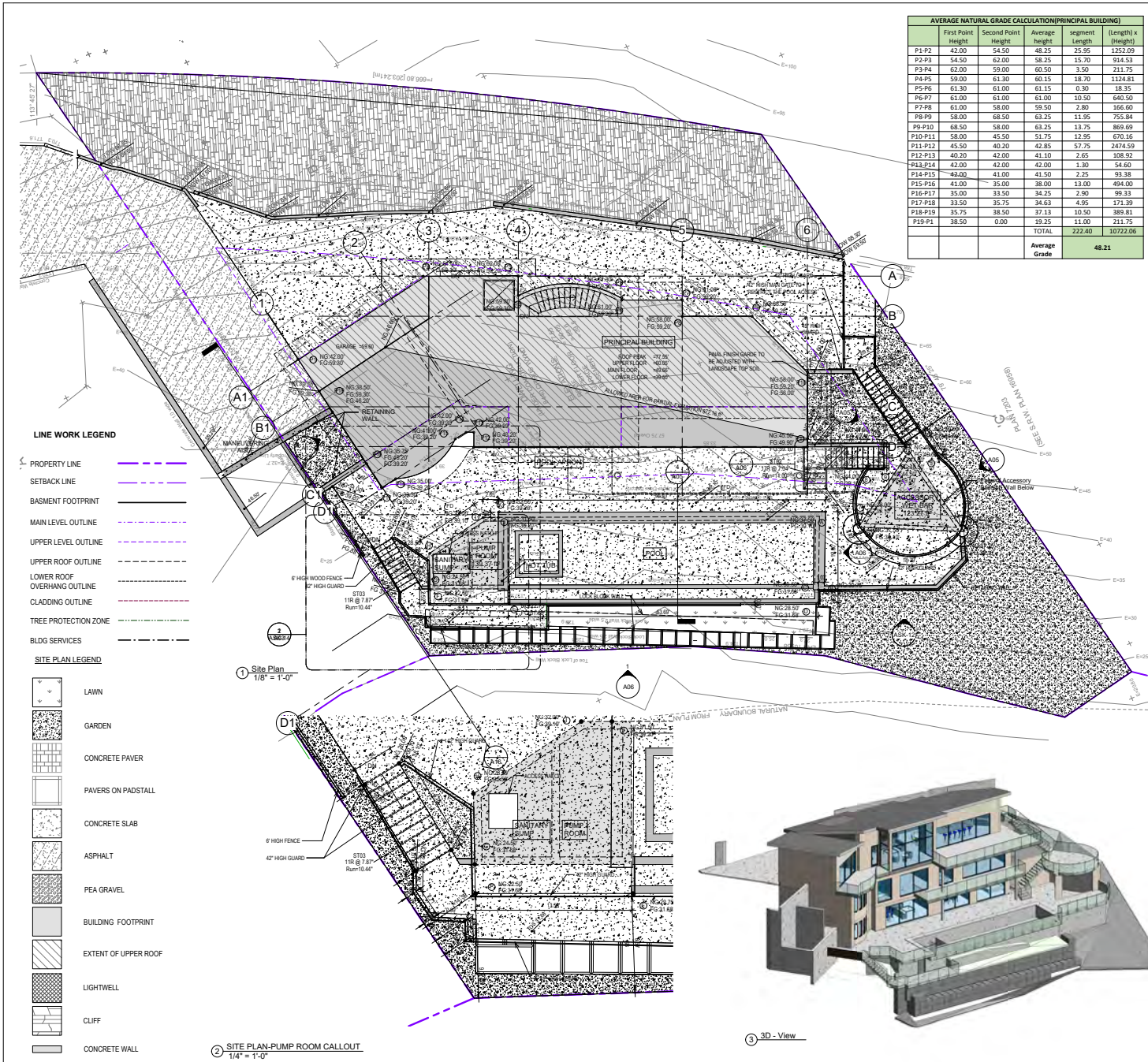
PROJECT NO. 20235

DATE FEB. 18, 2021

SCALE As indicated

A02

1



AVERAGE NATURAL GRADE CALCULATION (PRINCIPAL BUILDING)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
P1-P2	42.00	54.50	48.25	25.95	1252.09
P2-P3	54.50	61.00	58.25	15.70	914.53
P3-P4	62.00	59.00	60.50	3.50	211.75
P4-P5	59.00	61.30	60.15	18.70	1124.81
P5-P6	61.30	61.00	61.15	0.30	18.35
P6-P7	61.00	61.00	61.00	10.50	640.50
P7-P8	61.00	58.00	59.50	2.80	166.60
P8-P9	58.00	68.50	63.25	11.95	753.84
P9-P10	68.50	58.00	63.25	13.75	869.69
P10-P11	58.00	45.50	51.75	12.95	670.16
P11-P12	45.50	40.20	42.85	5.75	247.45
P12-P13	40.20	41.00	41.10	2.65	108.92
P13-P14	42.00	42.00	42.00	1.30	54.60
P14-P15	42.00	41.00	41.50	2.25	93.38
P15-P16	41.00	35.00	38.00	13.00	494.00
P16-P17	35.00	23.50	29.25	2.90	99.33
P17-P18	33.50	35.75	34.63	4.95	171.39
P18-P19	35.75	38.50	37.13	10.50	389.81
P19-P1	38.50	0.00	19.25	11.00	211.75
TOTAL					10723.06
Average Grade					48.21

AVERAGE FINISH GRADE CALCULATION (PRINCIPAL BUILDING)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
P1-P2	59.30	59.10	59.20	25.95	1536.24
P2-P3	59.10	59.20	59.15	15.70	928.66
P3-P4	59.20	59.30	59.25	3.50	207.38
P4-P5	59.30	59.20	59.25	18.70	1107.98
P5-P6	59.20	59.20	59.20	0.30	17.76
P6-P7	59.20	59.20	59.20	10.50	621.60
P7-P8	59.20	59.20	59.20	2.80	165.76
P8-P9	59.20	59.20	59.20	11.95	707.44
P9-P10	59.20	59.20	59.20	13.75	814.00
P10-P11	56.00	49.00	52.95	12.95	685.70
P11-P12	39.10	39.20	39.15	5.75	226.91
P12-P13	39.20	39.20	39.20	2.65	103.88
P13-P14	39.20	39.20	39.20	1.30	50.96
P14-P15	39.20	39.20	39.20	2.25	88.20
P15-P16	39.20	39.20	39.20	13.00	509.60
P16-P17	39.20	39.20	39.20	2.90	113.68
P17-P18	39.20	39.20	39.20	4.95	194.04
P18-P19	46.20	46.20	46.20	10.50	485.10
P19-P1	59.30	59.30	59.30	11.00	652.30
TOTAL					11253.18
Average Grade					50.59

AVERAGE NATURAL GRADE CALCULATION (ACCESSORY WET BAR)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
2-3	50.00	47.00	48.50	5.59	271.12
3-4	47.00	38.75	42.88	13.11	562.09
4-5	38.75	37.75	38.25	4.38	167.54
5-6	37.75	37.50	37.63	18.79	706.97
6-7	37.50	38.00	37.75	4.42	166.86
7-8	38.00	44.00	41.00	10.08	413.28
8-9	44.00	44.50	44.25	2.43	107.53
9-10	44.50	47.00	45.75	3.67	167.90
10-11	47.00	48.00	47.50	3.79	180.03
11-12	48.00	48.50	48.25	0.62	29.92
12-2	48.50	50.00	49.25	3.49	171.88
TOTAL					2945.10
Average Grade					41.85

AVERAGE FINISH GRADE CALCULATION (ACCESSORY WET BAR)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
2-3	49.50	48.50	49.00	5.59	273.91
3-4	48.50	39.10	43.80	13.11	574.22
4-5	39.10	39.10	39.10	4.38	171.26
5-6	39.10	39.10	39.10	18.79	734.69
6-7	39.10	39.10	39.10	4.42	172.82
7-8	39.10	39.10	39.10	10.08	394.13
8-9	39.10	49.50	44.30	2.43	107.65
9-10	49.50	49.50	49.50	3.67	181.67
10-11	49.50	49.50	49.50	3.79	187.61
11-12	49.50	49.50	49.50	0.62	30.69
12-2	49.50	49.50	49.50	3.49	172.76
TOTAL					3001.39
Average Grade					42.65

AVERAGE NATURAL GRADE CALCULATION (POOL & PUMP ROOM)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
AB	37.50	30.75	34.13	13.50	460.69
BC	30.75	30.50	30.63	1.03	31.57
CD	30.50	28.50	29.50	2.25	66.38
DE	28.50	22.75	25.63	5.69	1375.81
EF	22.75	22.50	22.63	13.52	305.89
FG	22.50	24.50	23.50	2.52	59.22
GH	24.50	28.50	26.50	6.12	162.18
HI	28.50	32.00	30.25	11.23	335.71
IJ	32.00	31.50	31.75	2.65	84.14
JK	31.50	32.50	32.00	0.89	28.48
KA	32.50	37.50	35.00	56.63	1982.05
TOTAL					4886.11
Average Grade					29.85

AVERAGE FINISH GRADE CALCULATION (POOL & PUMP ROOM)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
AB	39.10	31.68	35.39	13.50	477.77
BC	31.68	31.68	31.68	1.03	32.66
CD	31.68	31.68	31.68	2.25	71.28
DE	31.68	31.68	31.68	5.69	1700.90
EF	31.68	31.68	31.68	13.52	428.31
FG	31.68	31.68	31.68	2.52	79.83
GH	31.68	35.58	33.63	6.12	205.82
HI	35.58	39.10	37.34	11.23	419.33
IJ	39.10	39.20	39.15	2.65	103.75
JK	39.20	39.20	39.20	0.89	34.89
KA	39.20	39.10	39.15	56.63	2217.06
TOTAL					5771.60
Average Grade					35.19

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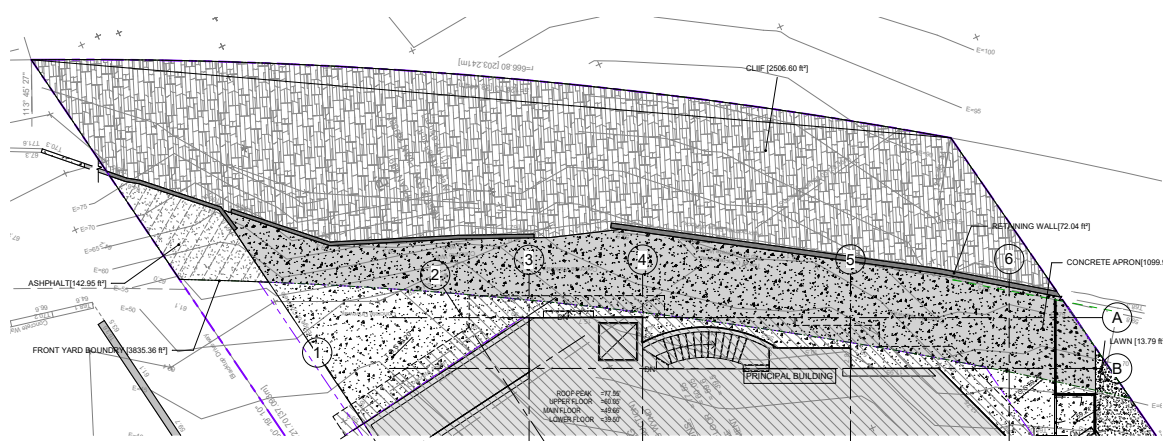
PROJECT: **ANDREW LATCHFORD RESIDENCE**
 8440 CITRUS WYND, WEST VANCOUVER BC

DRAWING TITLE: **SITE PLAN-AVERAGE GRADE CALCULATION**

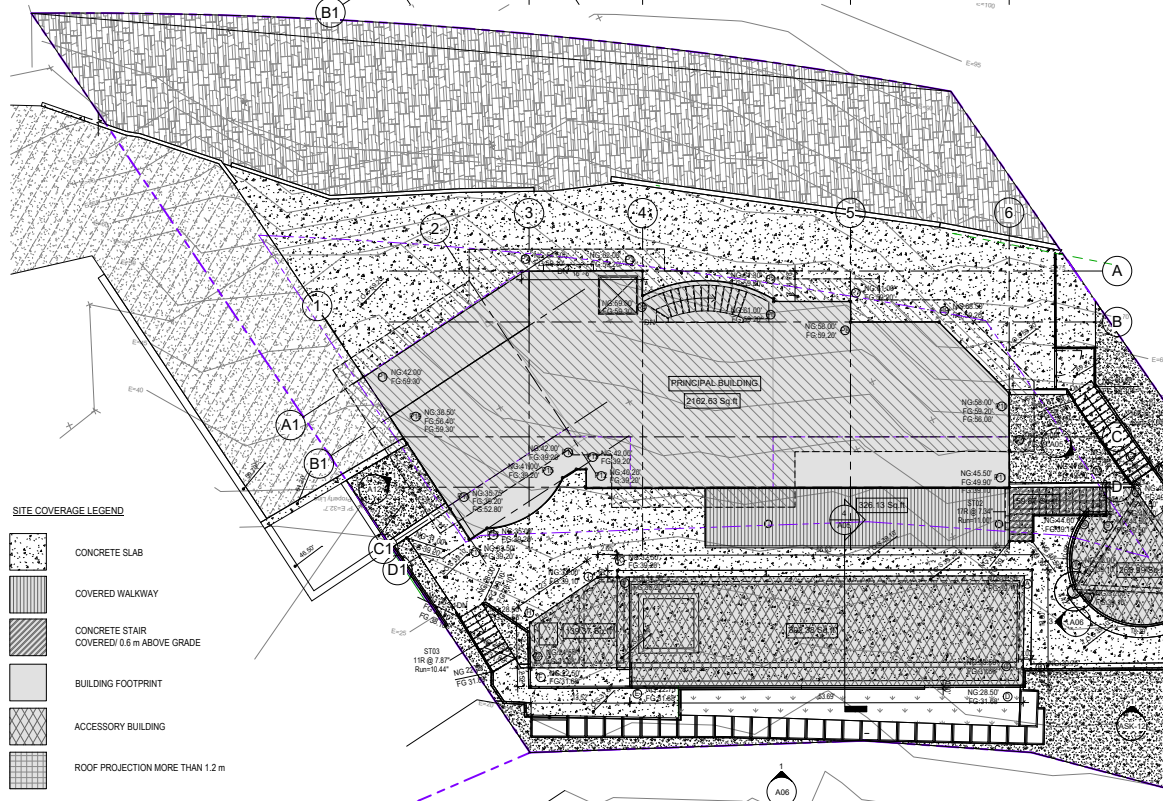
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PROJECT NO.	DATE	SCALE	DRAWN	REVIEWED	MT
20235	FEB. 18, 2021	As indicated			
PROJECT NO.	DATE	SCALE	DRAWN	REVIEWED	MT

A03 1



1 Site Plan-Front Yard Impermeable Material
1/8" = 1'-0"



2 Site Plan-Site Coverage
1/8" = 1'-0"

MATERIAL LEGEND

- LAWN
- GARDEN
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- CLIFF
- CONCRETE WALL
- FRONT YARD BOUNDARY

FRONT YARD IMPERMEABLE AREA BREAKDOWN

DESCRIPTION	PROVIDED AREA (m ²)	PROVIDED AREA (ft ²)
FRONT YARD AREA	356.32	3,835.34
NONE-BUILDING		
RETAINING WALLS	6.69	72.04
CONCRETE APRON	102.18	1,099.90
ASPHALT	13.28	142.95
TOTAL IMPERMEABLE AREA	122.16	1,314.89
IMPERMEABLE AREA %	34.28%	34.28%
ALLOWED IMPERMEABLE AREA	178.16	1,917.68
ALLOWED IMPERMEABLE AREA %	50%	50%

AREA SCHEDULE-GROSS

Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 ft ²	184.74 m ²	124.47 COUNTABLE FAR
Lower Floor	COVERED BACK DECK	342.95 ft ²	31.86 m ²	EXCLUSION
		2,331.47 ft ²	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 ft ²	199.83 m ²	FAR
Main Floor	BALCONY	342.95 ft ²	31.86 m ²	EXCLUSION
		2,493.88 ft ²	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 ft ²	125.72 m ²	FAR
Upper Floor	BALCONY	218.72 ft ²	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	598.62 ft ²	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.93 ft ²	38.18 m ²	EXCLUSION
		2,581.53 ft ²	239.83 m ²	
SITE	POOL	784.86 ft ²	72.92 m ²	EXCLUSION
SITE	ACCESSORY WET BAR	123.28 ft ²	11.45 m ²	ACCESSORY
SITE	ACCESSORY PUMPROOM	134.82 ft ²	12.53 m ²	ACCESSORY
		1,042.96 ft ²	96.89 m ²	

SITE COVERAGE BREAKDOWN

DESCRIPTION	LOT AREA			PROVIDED
	ft ²	m ²	ft ²	
SITE COVERAGE	4,529.60	420.81	3,754.37	348.79
SITE COVERAGE	40.00%			33.15%
HARD SURFACE IN FRONT YARD	5,662.00	526.02	1,314.89	122.10
HARD SURFACE IN FRONT YARD	50.00%			34.28%

AREA DESCRIPTION	PROVIDED AREA	
	ft ²	m ²
PRINCIPAL BUILDING & ATTACHED GARAGE	2,162.63	200.91
ACCESSORY BUILDING (POOL WETBAR)	263.99	24.51
ACCESSORY BUILDING (POOL PUMP HOUSE)	139.37	12.95
ACCESSORY BUILDING (POOL)	802.38	74.54
COVERED EXTERIOR STAIRS OR MORE THAN 0.6 m ABOVE GRADE	99.87	5.56
ENCLOSED/ COVERED WALKWAY	326.13	30.30
EAVES AND ROOF PROJECTIONS MORE THAN 1.2 m FROM BUILDING FACE	0.00	0.00
TOTAL	3,754.37	348.79

LINE WORK LEGEND

- PROPERTY LINE
- SETBACK LINE
- BASMENT FOOTPRINT
- MAIN LEVEL OUTLINE
- UPPER LEVEL OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE
- BLDG SERVICES

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NO.	DATE	ISSUES FOR BUILDING PERMIT	REV.
1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
		REVISION DRAWING ISSUE	REVIEW

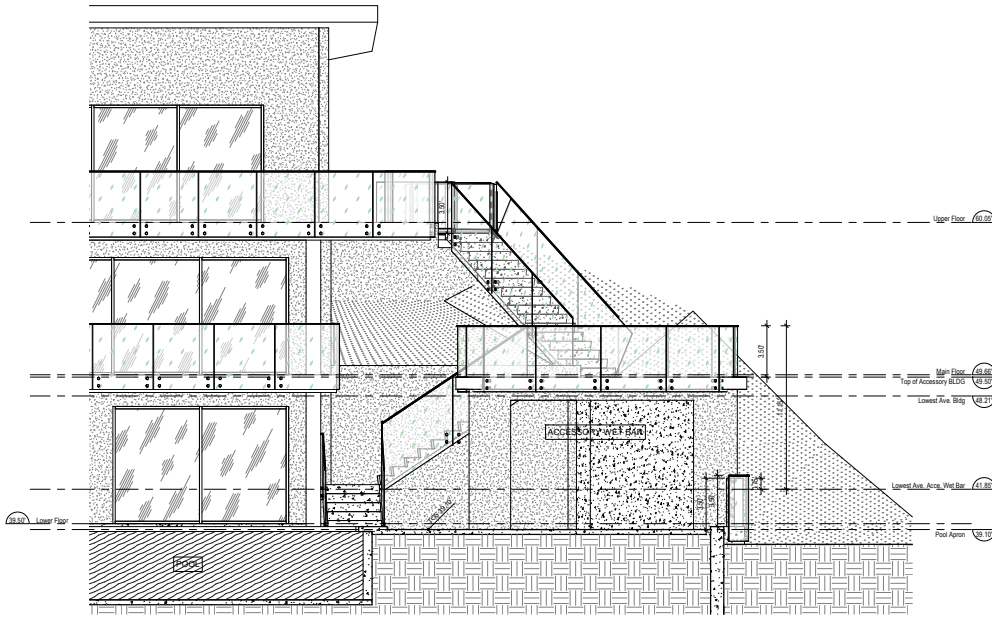
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PROJECT: **ANDREW LATCHFORD RESIDENCE**
 8440 CITRUS WYND, WEST VANCOUVER BC

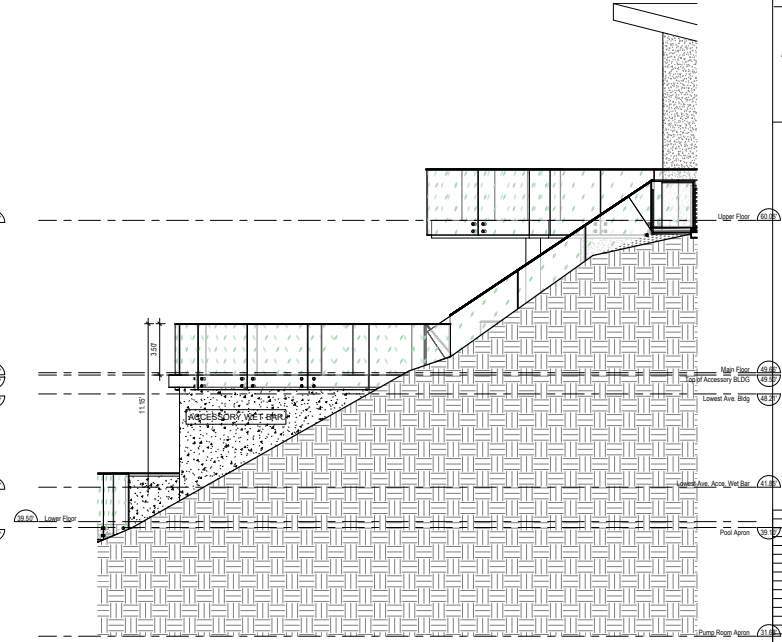
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DRAWING ISSUE: **ISSUED FOR BUILDING PERMIT**

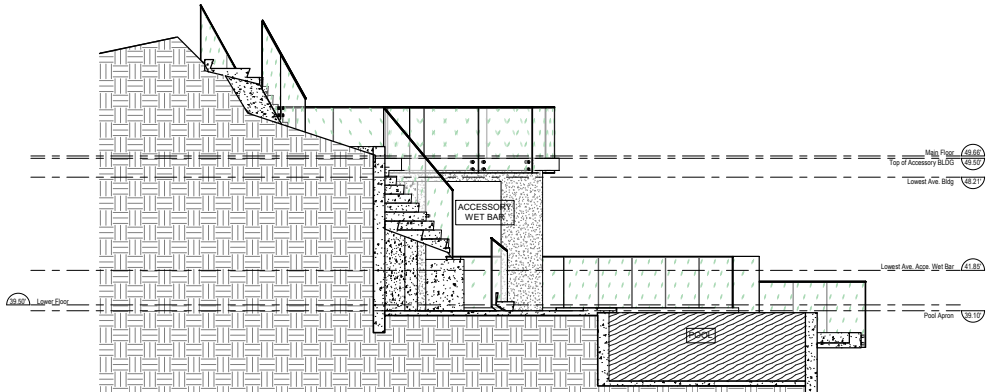
PROJECT NO. 20235	SCALE As indicated	DATE FEB. 18, 2021	DRAWN BY AF	MT
DRAWING NO. A04			REVIEWED BY	AF
				REVISION 1



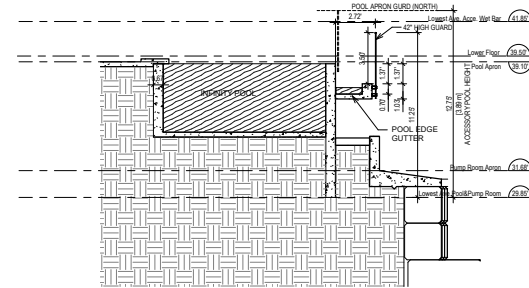
1 WEST ELEVATION
 ACCESSORY WET BAR
 1/4" = 1'-0"



2 SOUTH ELEVATION
 ACCESSORY WET BAR
 1/4" = 1'-0"



3 NORTH ELEVATION
 ACCESSORY WET BAR
 1/4" = 1'-0"



4 POOL SECTION
 1/4" = 1'-0"

REV	DATE	ISSUES FOR BUILDING PERMIT	REVISION	DRAWING ISSUE	REV
1	2021-02-22	ISSUES FOR BUILDING PERMIT	REVISION	DRAWING ISSUE	REV

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PROJECT

**ANDREW LATCHFORD
 RESIDENCE**

8440 CITRUS WYND, WEST VANCOUVER, BC

DRAWING TITLE

**ELEVATION-ACCESSORY
 BUILDINGS**

DRAWING ISSUE

**ISSUED FOR BUILDING
 PERMIT**

PROJECT NO. 20235

PLANT DATE: FEB. 18, 2021

SCALE: 1/4" = 1'-0"

DRAWING NO. A05

DRAWN: MT

REVIEWED: AF

REVISION: 1

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BCBC 2012, Urban centres in Climate Zone 4 consistent with original BP application

WALL ASSEMBLY

W1 Exterior Wall - "RAIN SCREEN"

Fire rating not required
Nominal RSI Value 3.5 (R-20)
Required RSI Value 2.70 (15.8)
Provided effective RSI value 2.56 (R-16.8)

- Sluice or stone veneer (refer to elevation drawings for location, finished color)
- 1/2" T.I. vertical strapping @ 16" O.C. (concrete cavity)
- 2 layers 30 minute building paper installed straight style, lapped and staggered
- 1/2" exterior grade plywood (refer to structural)
- 2 x 6 wood studs (refer to structural for spacing) cavity filled with R-20 best insulation or approved equal
- 6 mils polyethylene air/vapour barrier sealed at penetrations and perimeter
- 1/2" GWB
- Finish as per ID schedule

W2 Exterior Wall, concrete at basement

Fire rating not required
Nominal RSI Value 2.66 (R-16)
Required RSI Value 1.90 (11.3)
Provided effective RSI value 2.49 (R-14.1)

- Two layers dampproofing from bottom of foundation up to grade
- Delta MS drainage structure, to extend at base also cover the top of the footing
- Cast in place concrete wall (refer to structural)
- 2x4 studs @ 24" O.C. foam fill cavity under floor plate, spaced 1/2" away from face of concrete wall, cavity filled with 7" rigid insulation (R15 min.)
- 1 mil polyethylene vapour barrier
- 1/2" GWB
- Finish as per ID schedule

W3 Interior Wall, bearing and non-bearing

Fire rating not required

- 1/2" GWB
- 2 x 6 studs @ 400mm or 600mm O.C (refer to structural for spacing)
- 1/2" plywood sheathing only where noted as shear wall on structural drawings
- 1/2" GWB
- Finish as per ID schedule

W4 Interior Wall, Interior Wall to Garage

Required rating 30 min.
Provided rating: 45 min. as per BCBC table 9.10.3.1.A wall type W1e

SAME AS W3 except:

- Replace 1/2" GWB with 1/2" Type "C" GWB
- Fill wall cavity with mineral wool insulation
- Add 6 mils polyethylene vapour barrier at interior side.

W4 Interior Wall, bearing and non-bearing

Fire rating not required

- Finish as per ID schedule
- 1/2" GWB
- 2 x 4 wood stud (refer to structural for spacing)
- 1/2" plywood sheathing only where noted as shear wall on structural drawings
- 1/2" GWB
- Finish as per ID schedule

W5 Exterior Wall, concrete Un-Insulated

Fire rating not required

- Two layers dampproofing from bottom of foundation up to grade
- Delta MS drainage structure, to extend at base also cover the top of the footing
- Cast in place concrete wall (refer to structural)
- Finish as per ID schedule

W6 Exterior Wall, concrete Un-Insulated

Fire rating not required

- Two layers dampproofing from bottom of foundation up to grade
- Delta MS drainage structure, to extend at base also cover the top of the footing
- Cast in place concrete wall (refer to structural)
- Finish as per ID schedule

W7 Retaining Wall, concrete Un-Insulated

Fire rating not required

- Two layers dampproofing from bottom of foundation up to grade
- Cast in place concrete wall (refer to structural)
- Finish as per ID schedule

FLOOR ASSEMBLY

F1 Floors within units

- Floor finish as per ID schedule
- 1/12" concrete topping (radiant heating floor)
- 5/8" TAG plywood sub-floor
- 11 7/8" T.J. Floor joists as per eng spec, cavity filled with batt insulation (R15 min.)
- 1/2" Drywall ceiling
- Floor finish as per ID schedule

F1a Floors over Basement

Provided rating 0 min.
Required rating 45 min. fire resistance rating required per BCBC table 9.10.3.1.B wall type F1a

- 1/2" GWB ceiling
- Finish as per ID schedule
- Floor finish as per ID schedule
- 1 1/2" concrete topping (radiant heating floor)
- 5/8" TAG plywood sub-floor
- 11 7/8" T.J. Floor joists spaced not more than 600mm O.C. (refer to structural) cavity filled with mineral wool insulation
- 2 layers of 5/8" type X GWB
- Floor finish as per ID schedule

F2 Floor above exterior space

Nominal RSI Value 5.28 (R-30)
Required RSI Value 4.07 (R-26.5)
Provided effective RSI value 5.08 (R-28.7)

- Floor finish as per ID schedule
- 1 1/2" concrete topping (radiant heating floor)
- 5/8" TAG plywood sub-floor
- 6 mils polyethylene vapour barrier (sealed at penetrations and on perimeter)
- 11 7/8" T.J. Floor joists as per eng spec, cavity filled with batt insulation
- 2x4 strapping as required
- 1x4 reclaimed wood soffit

F2a Floor above unheated interior space (Garage)

Nominal RSI Value 5.28 (R-30)
Required RSI Value 4.51 (R-28.8)
Provided effective RSI value 5.08 (R-28.8)

Required rating 45 min.
Provided rating: 45 min. fire resistance rating required per BCBC table 9.10.3.1.B wall type F1a

- Floor finish as per ID schedule
- 1 1/2" concrete topping
- 2 Ply SSS Membrane min. 6" up wall
- 1 1/2" concrete topping
- 5/8" TAG plywood sub-floor
- 6 mils polyethylene vapour barrier (sealed at penetrations and on perimeter)
- 3 1/2" 1/2" PSL Floor joists spaced not more than 300mm O.C. (refer to structural) cavity filled with mineral wool insulation
- 2 layers of 5/8" type X GWB
- Floor finish as per ID schedule

F3 Slab on grade (below frost line)

Nominal RSI Value 2.2 (R-12.5)
Required RSI Value 2.5 (R-15.2)
Provided effective RSI value 2.4 (R-13.6)

- Floor finish as per ID schedule
- 4" concrete topping (radiant heating floor)
- 6 mils polyethylene vapour barrier (sealed on perimeter)
- 2" R-12 continuous EPS insulation
- 1" gravel (see structural)
- Compacted soil (Refer to GEOTECHNICAL)

F4 Deck/Porch

- Finish Per I.D. Specs
- Removable 24" X 24" Concrete Or Stone Pavers On Adjustable Pedestals
- Floor finish as per ID schedule
- Liquid applied traffic membrane. **
- 4" concrete slab on grade (see structural) sloped towards drain or garage floor (see detail)
- 6" compacted sand (see structural)
- Compacted soil (Refer to GEOTECHNICAL)

**Provide 2 ply SSS membrane when living space below applicable

ROOF ASSEMBLY

R1 Sloped or flat Insulated Roof Rafter

Nominal RSI Value 5.28 (R-30)
Required RSI Value 4.67 (R-26.5)
Provided effective RSI value 4.92 (R-27.9)

- R-24 High HD Insulation in 2x6 wood framing at 16" O.C.
- 2 Ply SSS Membrane
- 5/8" plywood sheathing with h clip connectors (see structural)
- 2x4 strapping for cross ventilation @ 16" o.c.
- 11 7/8" T.J. Roof joists 16" O.C. (w/ P (R-30) batt or blown insulation)
- 6 mils polyethylene air/vapour barrier sealed at perimeter and all penetrations
- 1/2" GWB ceiling
- Finish as per ID schedule

R2 Roof overhang with sloped soffit.

- 2 Ply SSS Membrane
- 5/8" plywood sheathing with h clip connectors (see structural)
- 5/8" TAG plywood sub-floor
- 11 7/8" T.J. Roof joists 16" O.C.
- 1x3 strapping soffit substrate @ 16" o.c.
- 1x4 Reclaimed wood soffit, Gwy (sloped)

R3 Roof overhang with horizontal soffit.

SAME AS R2

R4 Insulated Roof Deck

Nominal RSI Value 5.28 (R-30)
Required RSI Value 4.67 (R-26.5)
Provided effective RSI value 4.92 (R-27.9)

- Finish Per I.D. Specs
- Removable 24" X 24" Concrete Or Stone Pavers On Adjustable Pedestals
- 2 Ply SSS Membrane
- 3/4" plywood sheathing with h clip connectors (see structural)
- 2x4 strapping for cross-ventilation @ 16" o.c.
- 11 7/8" T.J. Roof joists 16" O.C. (w/ P (R-30) batt or blown insulation)
- 6 mils polyethylene air/vapour barrier sealed at perimeter and all penetrations
- 1/2" GWB ceiling
- Finish as per ID schedule

R4a Roof Balcony

- Finish Per I.D. Specs
- Removable 24" X 24" Concrete Or Stone Pavers On Adjustable Pedestals
- 2 Ply SSS Membrane
- 3/4" plywood sheathing with h clip connectors (see structural)
- 11 7/8" T.J. Roof joists 16" O.C.
- 1x3 strapping soffit substrate @ 16" o.c.
- 1x4 Reclaimed wood soffit, Gwy.

NOTE:
1. For all tiled floor, install an additional layer of 3/8" exterior grade plywood on top of subfloor (concrete joist not provided)

W1 Above Grade Wall Assembly (RSI 2.78, R-15.8 required)

Item	Description	Nominal RSI	Effective RSI
1	R-24 High HD Insulation in 2x6 wood framing at 16" O.C.	4.23	2.66
2	Exterior air film	0.03	
3	Cladding	0.02	
4	Air cavity	0.18	
5	Sheathing membrane	-	0.54
6	Playwood 1/2"	0.11	
7	polyethylene	-	
8	Gypsum board 1/2"	0.08	
9	Interior air film	0.12	
Minimum effective thermal resistance (RSI)		3.2	
Minimum effective thermal resistance (R)		18.2	

W2 FOUNDATION WALL (RSI 1.99, R-11.3 required)

Item	Description	Nominal...	Effective...
1	3" XPS Insulation 2x4 wood framing at 24" o.c.	2.66	1.99
2	8" Concrete Wall	0.08	
3	Cladding & air cavity	0.18	
4	Gypsum board 1/2"	0.08	
5	Interior air film	0.16	0.5
6	polyethylene	-	
7		-	
8		-	
9		-	
Total effective insulation value (RSI)		2.49	
Total effective insulation value (R)		14.1	

W3b Wall to unheated spaces (RSI 2.62, R-14.4 required)

Item	Description	Nominal RSI	Effective RSI
1	R-20 batt insulation in 2x6 wood framing at 16" o.c.	3.52	2.43
2	Exterior air film	0.03	
3	Cladding & air cavity	0.18	
4	Sheathing membrane	-	0.34
5	Plywood 1/2"	0.11	
6	polyethylene	-	
7	Gypsum board 1/2"	0.08	
8	Interior air film	0.12	2.77
Minimum effective thermal resistance (RSI)		2.4	
Minimum effective thermal resistance (R)		13.7	

Wf1 2x4 FLAT SLAT (RSI 1.99, R-11.3 required)

Item	Description	Nominal RSI	Effective RSI
1	2x4 stud flat filled with 1.5" rigid insulation	1.76	1.05
2	Exterior air film	0.03	
3	5/8" R-11.4 EPS insulation	2	
4	6" Concrete Wall	0.06	2.26
5	Plywood 1/2"	-	
6	polyethylene	-	
7	Gypsum board 1/2"	0.08	
8	Interior air film	0.12	3.31
Minimum effective thermal resistance (RSI)		1.99	
Minimum effective thermal resistance (R)		18.8	

Wf2 2x4 stud (RSI 1.99, R-11.3 required)

Item	Description	Nominal RSI	Effective RSI
1	2x4 stud c/w 3" rigid insulation	2.64	1.93
2	Exterior air film	0.03	
3	1" rigid insulation	-	
4	6" Concrete Wall	0.06	0.29
5	Plywood 1/2"	-	
6	polyethylene	-	
7	Gypsum board 1/2"	0.08	
8	Interior air film	0.12	2.22
Minimum effective thermal resistance (RSI)		1.99	
Minimum effective thermal resistance (R)		12.6	

F2 Floor over exterior space (RSI 4.67, R-26.5 required)

Item	Description	Nominal RSI	Effective RSI
1	R 30 2x11.88 TJI Joists @ 16" O.C	5.28	4.58
2	Exterior air film	0.03	
3	Soffit & air cavity	0.18	
4	Sheathing membrane	-	0.48
5	Plywood 5/8"	0.14	
6	polyethylene	-	
7	1 1/2" Concrete Topping	0.01	
8	Interior air film	0.12	
Minimum effective thermal resistance (RSI)		5.06	
Minimum effective thermal resistance (R)		28.7	

F2a Floor over unheated space (RSI 4.51, R-25.6 required)

Item	Description	Nominal RSI	Effective RSI
1	R 30 3 1/2" X 11.88 PSL @ 12" O.C	5.28	4.58
2	Exterior air film	0.03	
3	Gypsum board 5/8"	0.1	
4	Gypsum board 5/8"	0.1	
5	Sheathing membrane	-	0.51
6	Plywood 5/8"	0.14	
7	polyethylene	-	
8	2x1 1/2" Concrete Topping	0.02	
9	Interior air film	0.12	5.09
Minimum effective thermal resistance (RSI)		5.09	
Minimum effective thermal resistance (R)		28.9	

***F3 Slab on Grade Basement (RSI 2.32, R-13.2 required)**

Item	Description	Nominal RSI	Effective RSI
1	2.5" XPS Insulation	2.2	2.2
2	4" Concrete Slab	0.04	
3	Interior air film	0.16	
4		-	
5		-	0.2
6		-	
7		-	
8		-	
Total effective insulation value (RSI)		2.4	
Total effective insulation value (R)		13.6	

* Slab below frost line

R1 Cathedral Roof Assembly (RSI 4.67, R-26.5 required)

Item	Description	Nominal RSI	Effective RSI
1	R 30 2x11.88 TJI Joists @ 16" O.C	5.28	4.58
2	Exterior air film	0.03	
3	Sheathing membrane	-	
4	Air Cavity	0.03	
5	Plywood 1/2"	0.11	0.34
6	polyethylene	-	
7	Gypsum board 1/2"	0.08	
8	Interior air film	0.12	
9		-	
Minimum effective thermal resistance (RSI)		4.92	
Minimum effective thermal resistance (R)		27.9	

R3 Insulated Roof Deck (RSI 4.67, R-26.5 required)

Item	Description	Nominal RSI	Effective RSI
1	R 30 2x11.88 TJI Joists @ 16" O.C	5.28	4.58
2	Exterior air film	0.03	
3	Concrete Paving	-	
4	Sheathing membrane	-	0.34
5	Plywood 1/2"	0.11	
6	polyethylene	-	
7	Gypsum board 1/2"	0.08	
8	Interior air film	0.12	4.92
Minimum effective thermal resistance (RSI)		4.92	
Minimum effective thermal resistance (R)		27.9	



REV	DATE	ISSUED FOR BUILDING PERMIT	BY
1	2023-02-18	ISSUED FOR BUILDING PERMIT	AF
REV	YYYYMMDD	REVISION DRAWING ISSUE	REVIEW

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PROJECT

ANDREW LATCHFORD RESIDENCE

8440 CITRUS WYND, WEST VANCOUVER BC

DRAWING TITLE

CONSTRUCTION ASSEMBLY

DRAWING ISSUE

ISSUED FOR BUILDING PERMIT

PROJECT NO. 20235

FLAT DATE FEB. 18, 2021

SCALE 1/4" = 1'-0"

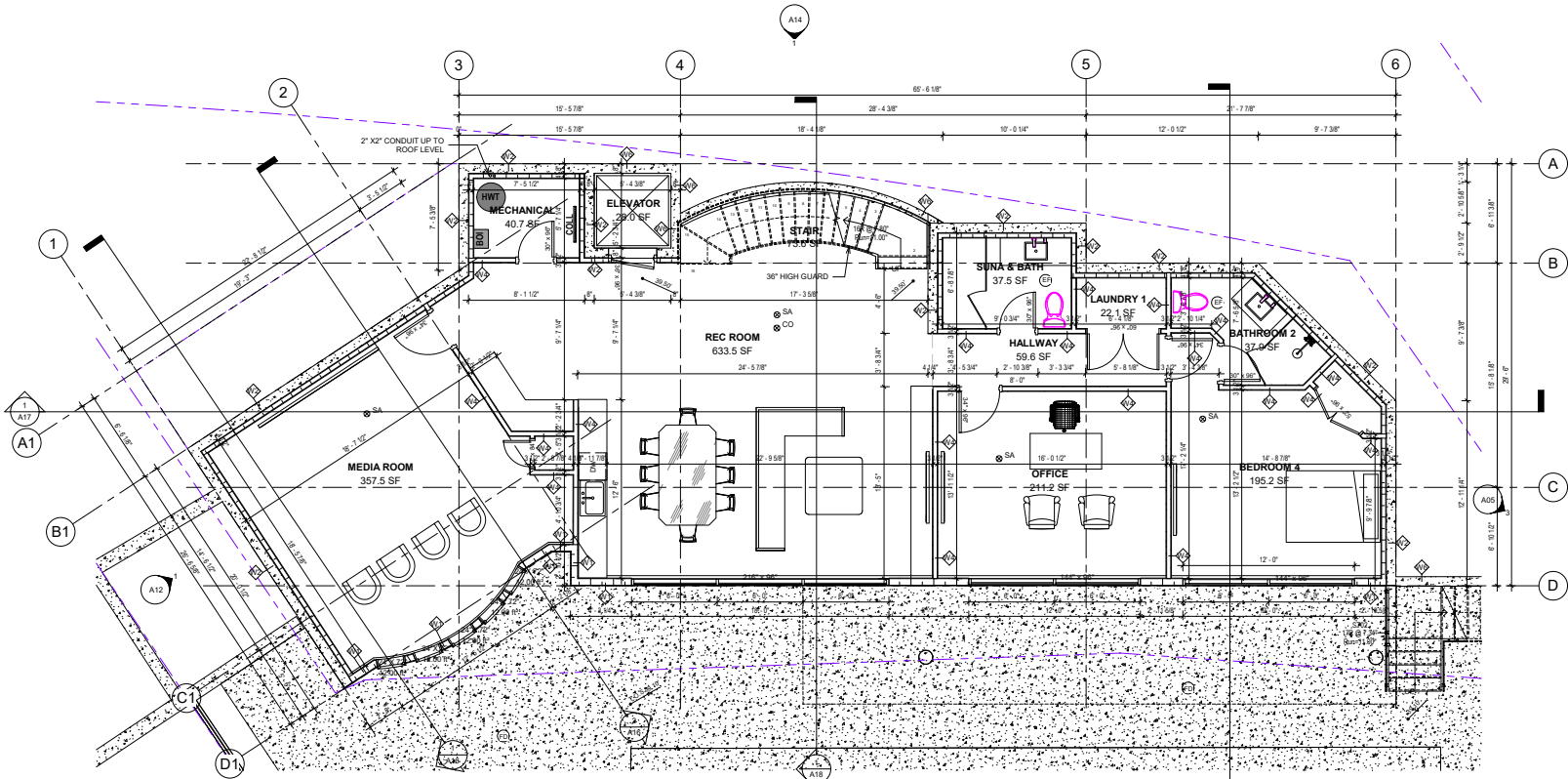
DRAWING NO.

A07

REVISION **1**

DRAWN AF

REVIEWED AF



①-02-LOWER FLOOR PLAN
 1/4" = 1'-0"

LINE WORK LEGEND

- PROPERTY LINE ————
- SETBACK LINE - - - - -
- BASMENT FOOTPRINT ————
- MAIN LEVEL OUTLINE - - - - -
- UPPER LEVEL OUTLINE - - - - -
- UPPER ROOF OUTLINE - - - - -
- LOWER ROOF OVERHANG OUTLINE - - - - -
- CLADDING OUTLINE - - - - -
- TREE PROTECTION ZONE - - - - -
- BLDG SERVICES - - - - -

AREA SCHEDULE-GROSS				
Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 SF	184.74 m ²	124.47 COUNTABLE FAR
Lower Floor	COVERED BACK DECK	342.95 SF	31.86 m ²	EXCLUSION
		2,331.47 SF	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 SF	199.83 m ²	FAR
Main Floor	BALCONY	342.95 SF	31.86 m ²	EXCLUSION
		2,493.88 SF	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 SF	125.72 m ²	FAR
Upper Floor	BALCONY	218.72 SF	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	596.62 SF	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.93 SF	38.18 m ²	EXCLUSION
		2,581.53 SF	239.83 m ²	
SITE	POOL	784.86 SF	72.92 m ²	EXCLUSION
SITE	ACCESSORY WET BAR	123.28 SF	11.45 m ²	ACCESSORY
SITE	ACCESSORY PUMPROOM	134.82 SF	12.53 m ²	ACCESSORY
		1,042.96 SF	96.89 m ²	

NO.	DATE	ISSUES FOR BUILDING PERMIT	REV.
1	2023-02-22	ISSUED FOR BUILDING PERMIT	AF
REV.	YYYYMMDD	REVISION DRAWING ISSUE	REVIEW

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 Permits Dept.

PROJECT

**ANDREW LATCHFORD
 RESIDENCE**

8440 CITRUS WYND, WEST VANCOUVER, BC

DRAWING TITLE

LOWER FLOOR PLAN

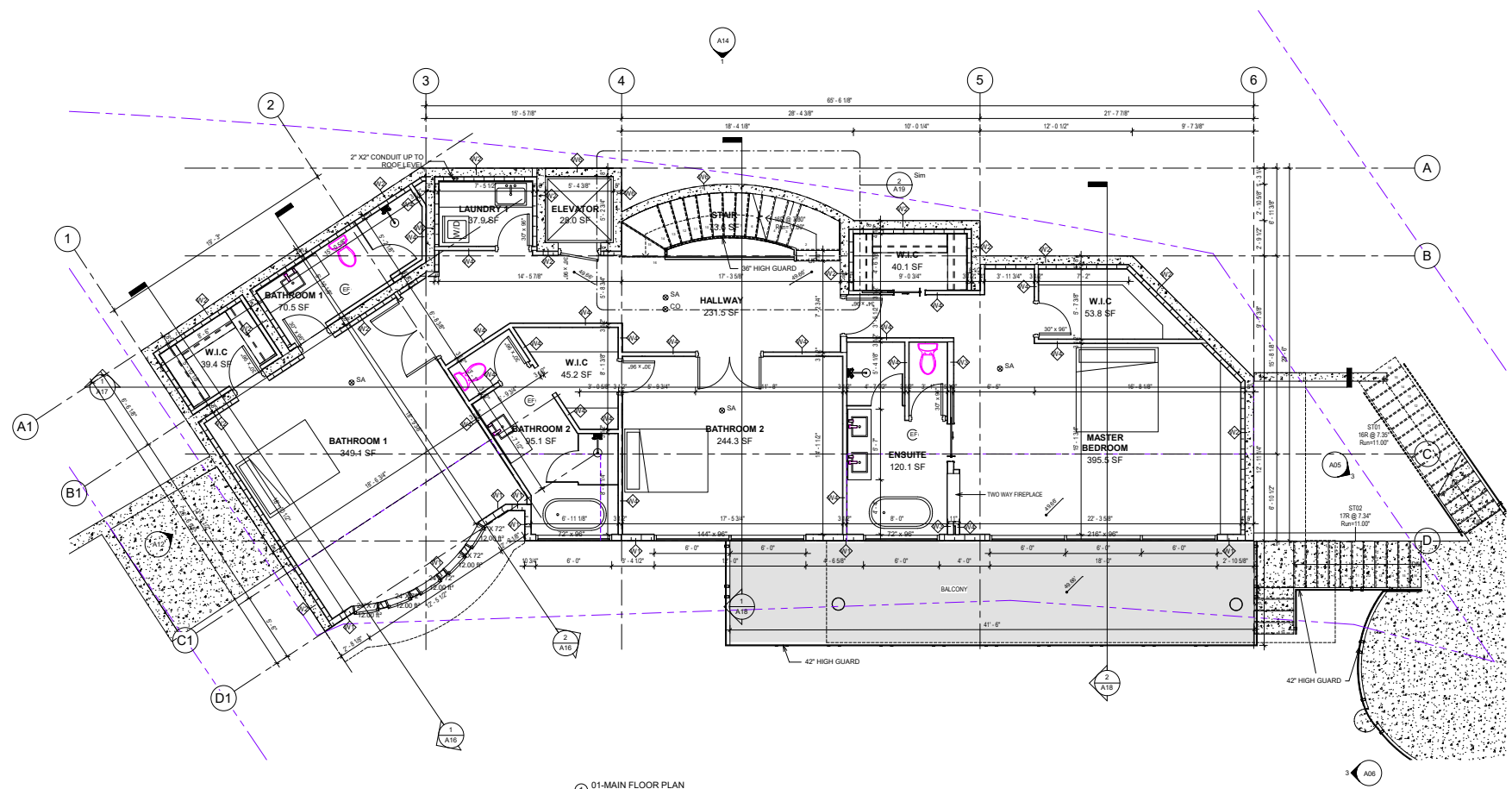
DRAWING ISSUE

**ISSUED FOR BUILDING
 PERMIT**

PROJECT NO. 20235
 SCALE 1/4" = 1'-0"
 DRAWN BY AF
 DATE FEB. 18, 2021
 REVIEWED BY MT

REVISION NO. **A08**

1



① 01-MAIN FLOOR PLAN
 1/4" = 1'-0"

LINE WORK LEGEND

- PROPERTY LINE ————
- SETBACK LINE ————
- BASMENT FOOTPRINT ————
- MAIN LEVEL OUTLINE - - - - -
- UPPER LEVEL OUTLINE - - - - -
- UPPER ROOF OUTLINE - - - - -
- LOWER ROOF OVERHANG OUTLINE - - - - -
- CLADDING OUTLINE - - - - -
- TREE PROTECTION ZONE - - - - -
- BLDG SERVICES ————

AREA SCHEDULE-GROSS

Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 ft ²	184.74 m ²	124.47 COUNTABLE FAR
Lower Floor	COVERED BACK DECK	342.95 ft ²	31.86 m ²	EXCLUSION
		2,331.47 ft ²	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 ft ²	199.83 m ²	FAR
Main Floor	BALCONY	342.95 ft ²	31.86 m ²	EXCLUSION
		2,493.88 ft ²	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 ft ²	125.72 m ²	FAR
Upper Floor	BALCONY	218.72 ft ²	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	598.62 ft ²	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.93 ft ²	38.18 m ²	EXCLUSION
		2,581.53 ft ²	239.83 m ²	
SITE	POOL	784.86 ft ²	72.92 m ²	EXCLUSION
SITE	ACCESSORY WET BAR	123.28 ft ²	11.45 m ²	ACCESSORY
SITE	ACCESSORY PLUMBOOM	134.82 ft ²	12.53 m ²	ACCESSORY
		1,042.96 ft ²	96.89 m ²	

REV	DATE	ISSUES FOR BUILDING PERMIT	REVISION	DRAWING ISSUE	BY	CHK
1	2023-02-22	ISSUES FOR BUILDING PERMIT	REVISION	DRAWING ISSUE		
REV	YYYYMMDD	REVISION	DRAWING ISSUE			

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8440 CITRUS WYND, WEST VANCOUVER, BC

DRAWING TITLE

MAIN FLOOR PLAN

DRAWING ISSUE

**ISSUED FOR BUILDING
 PERMIT**

PROJECT NO. 20235

FLIGHT DATE FEB. 18, 2021

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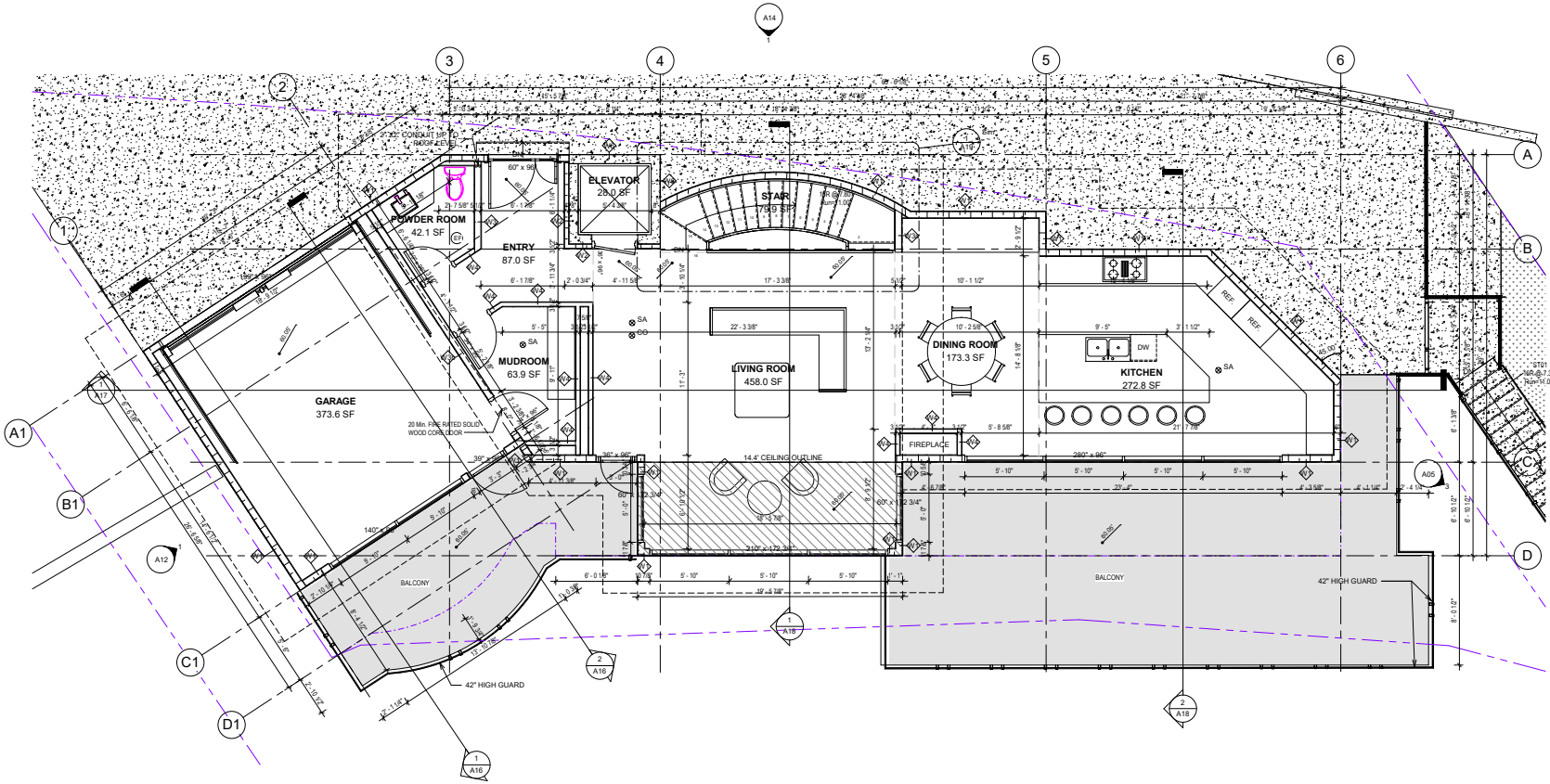
SCALE 1/4" = 1'-0"

REVIEWED BY AF

DRAWING NO.

A09

1



1 00-UPPER FLOOR PLAN
 1/4" = 1'-0"

LINE WORK LEGEND

- PROPERTY LINE ---
- SETBACK LINE ---
- BASMENT FOOTPRINT ---
- MAIN LEVEL OUTLINE ---
- UPPER LEVEL OUTLINE ---
- UPPER ROOF OUTLINE ---
- LOWER ROOF OVERHANG OUTLINE ---
- CLADDING OUTLINE ---
- TREE PROTECTION ZONE ---
- BLDG SERVICES ---

AREA SCHEDULE-GROSS					
Level	Name	Area	Area sqm	Comments	
Lower Floor	LOWER FLOOR	1,988.52 sq ft	184.74 m ²	124.47 COUNTABLE FAR	
	COVERED BACK DECK	342.95 sq ft	31.86 m ²	EXCLUSION	
		2,331.47 sq ft	216.60 m ²		
Main Floor	MAIN FLOOR	2,150.93 sq ft	199.83 m ²	FAR	
	BALCONY	342.95 sq ft	31.86 m ²	EXCLUSION	
		2,493.88 sq ft	231.69 m ²		
Upper Floor	UPPER FLOOR	1,353.27 sq ft	125.72 m ²	FAR	
	BALCONY	218.72 sq ft	20.32 m ²	EXCLUSION	
		588.52 sq ft	55.61 m ²		
Upper Floor	BALCONY	588.52 sq ft	55.61 m ²	EXCLUSION	
	GARAGE	410.93 sq ft	38.18 m ²	EXCLUSION	
		2,581.53 sq ft	239.83 m ²		
SITE	POOL	784.86 sq ft	72.92 m ²	EXCLUSION	
	ACCESSORY WET BAR	123.28 sq ft	11.45 m ²	ACCESSORY	
	ACCESSORY PUMPROOM	134.82 sq ft	12.53 m ²	ACCESSORY	
		1,042.96 sq ft	96.89 m ²		

REV	DATE	ISSUES FOR BUILDING PERMIT	REV
1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
		REVISION DRAWING ISSUE	REVIEW

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PROJECT
ANDREW LATCHFORD RESIDENCE
 8440 CITRUS WYND, WEST VANCOUVER, BC

DRAWING TITLE
UPPER FLOOR PLAN

DRAWING ISSUE
ISSUED FOR BUILDING PERMIT

PROJECT NO.	20235	FLAT DATE	FEB. 18, 2021	DRAWN	AF
SCALE	1/4" = 1'-0"	REVIEWED		REVISION	AF



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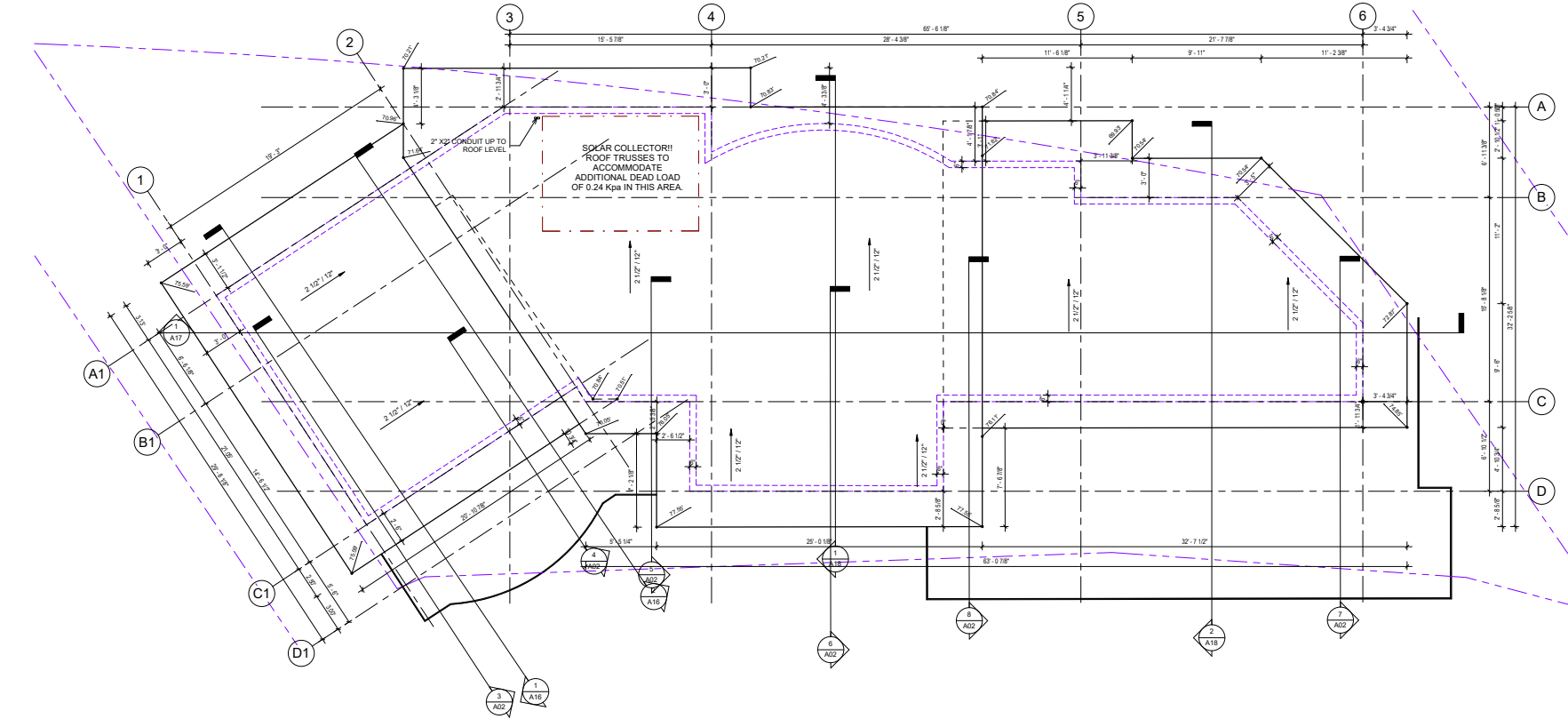
ROOF PLAN

DRAWING ISSUE

**ISSUED FOR BUILDING
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PROJECT NO. 20235
 FLOT DATE FEB. 18, 2021
 SCALE 1/4" = 1'-0"

DRAWING NO. A11
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LINE WORK LEGEND

- PROPERTY LINE ————
- SETBACK LINE ————
- BASMENT FOOTPRINT ————
- MAIN LEVEL OUTLINE ————
- UPPER LEVEL OUTLINE ————
- UPPER ROOF OUTLINE ————
- LOWER ROOF OVERHANG OUTLINE ————
- CLADDING OUTLINE ————
- TREE PROTECTION ZONE ————
- BLDG SERVICES ————

1 Roof Plan
 1/4" = 1'-0"



SPATIAL SEPARATION SCHEDULE

SPRINKLERED BUILDING: YES

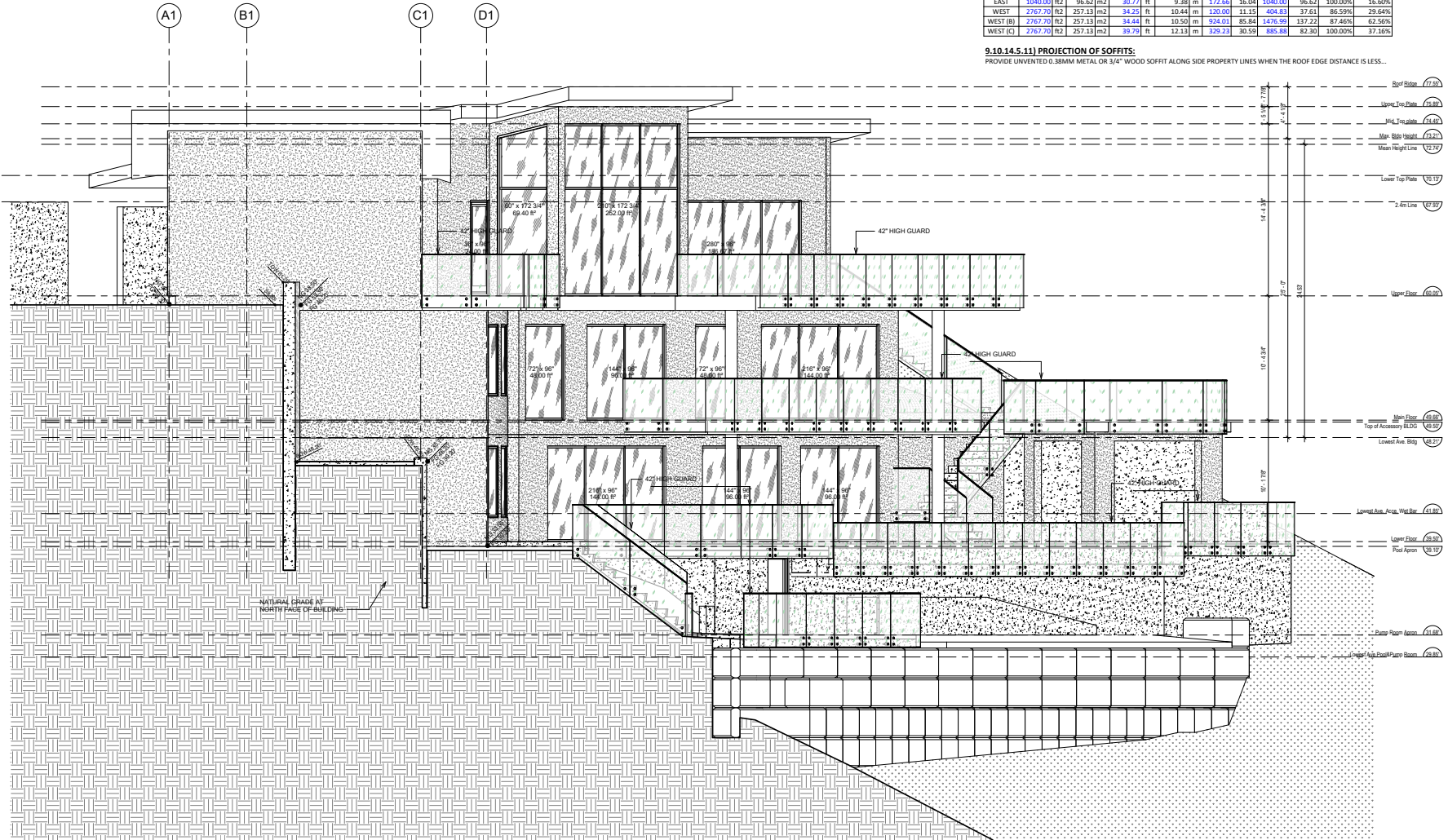
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE							
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED	
NORTH	551.48 m ²	51.23 m ²	9.41 ft	2.87 m	0.00	0.00	551.48
SOUTH	424.98 m ²	39.48 m ²	56.72 ft	17.29 m	69.40	6.45	424.98
							39.48
					100.00%		16.33%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE							
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED	
EAST	1040.00 m ²	36.62 m ²	30.77 ft	9.38 m	172.60	16.04	1040.00
WEST	2767.70 m ²	257.13 m ²	34.25 ft	10.44 m	120.00	11.15	494.83
WEST (B)	2767.70 m ²	257.13 m ²	34.44 ft	10.50 m	924.01	85.84	1476.99
WEST (C)	2767.70 m ²	257.13 m ²	39.79 ft	12.13 m	329.23	30.59	885.88
							82.30
					100.00%		37.16%

9.10.14.5.11) PROJECTION OF SOFFITS:

PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS...



North Elevation-side
1/4" = 1'-0"

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DRAWING TITLE

ELEVATIONS - NORTH

DRAWING ISSUE

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PROJECT NO. 20235

SCALE 1/4" = 1'-0"

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1

PLANT DATE FEB. 18, 2021

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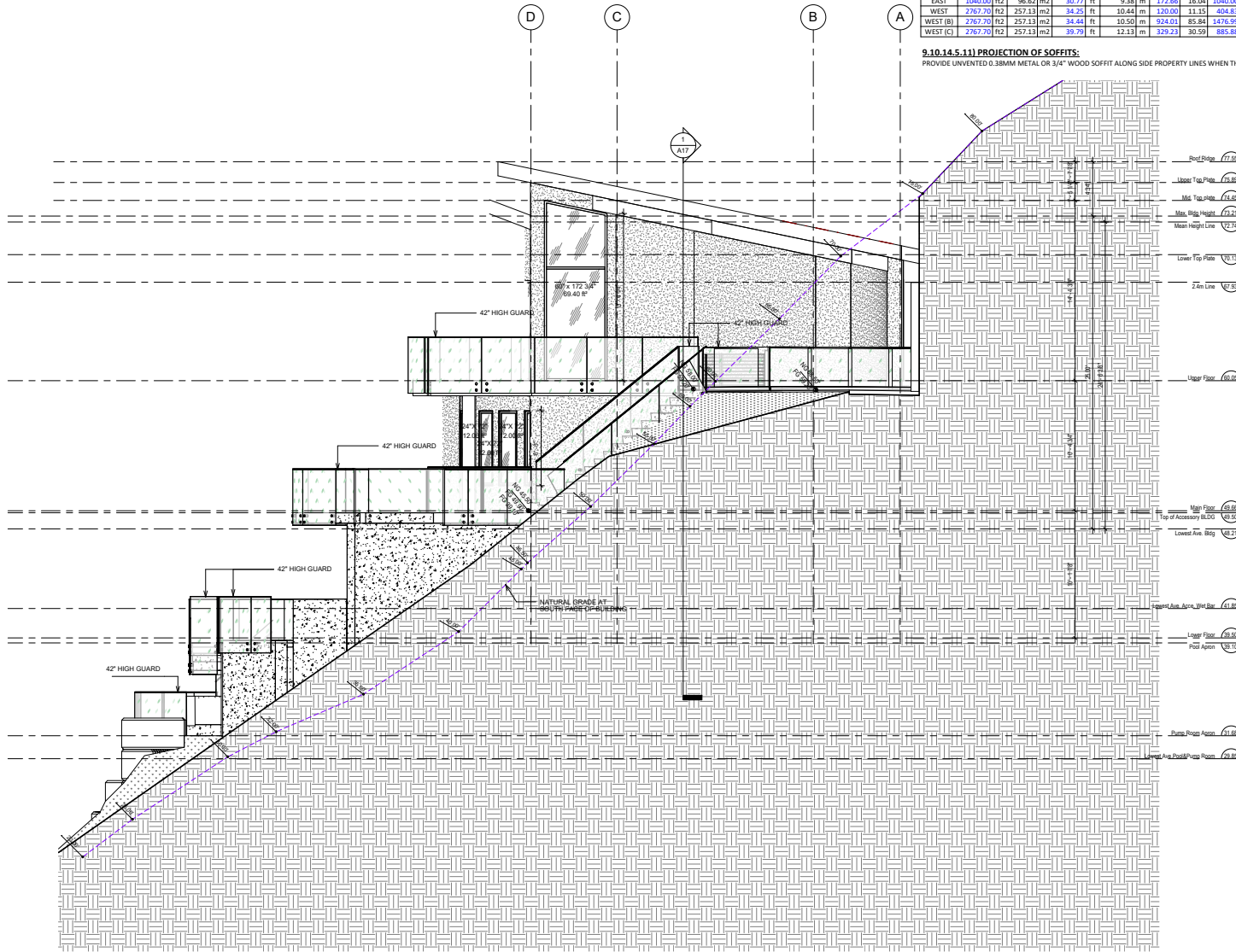
REVIEWED BY AF

REVISION

SPATIAL SEPARATION SCHEDULE					SPRINKLERED BUILDING: YES		
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE							
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED	
NORTH	551.48 m ²	9.41 m	2.87 m	551.48	51.23	0.00%	
SOUTH	424.98 m ²	56.72 m	17.25 m	69.40	6.45	424.98	
				39.48	100.00%	16.33%	

SPATIAL SEPARATION SCHEDULE						
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE						
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
EAST	1040.00 m ²	30.77 m	172.66	1040.00	56.62	100.00%
WEST	2767.70 m ²	34.25 m	120.00	404.83	37.61	86.59%
WEST (B)	2767.70 m ²	34.44 m	10.50 m	924.01	85.84	1476.99
WEST (C)	2767.70 m ²	39.79 m	12.13 m	329.23	30.59	885.68
				82.30	100.00%	37.16%

9.10.14.5.11) PROJECTION OF SOFFITS:
 PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS...



1 South Elevation-side
 1/4" = 1'-0"

Inspired Architecture

310-2000 MARINE DRIVE, NORTH VANCOUVER
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DRAWING TITLE

ELEVATIONS - SOUTH

DRAWING ISSUE

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PROJECT NO. 20235

SCALE 1/4" = 1'-0"

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A13

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PLANT DATE FEB. 18, 2021

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SPATIAL SEPARATION SCHEDULE **SPRINKLERED BUILDING: YES**

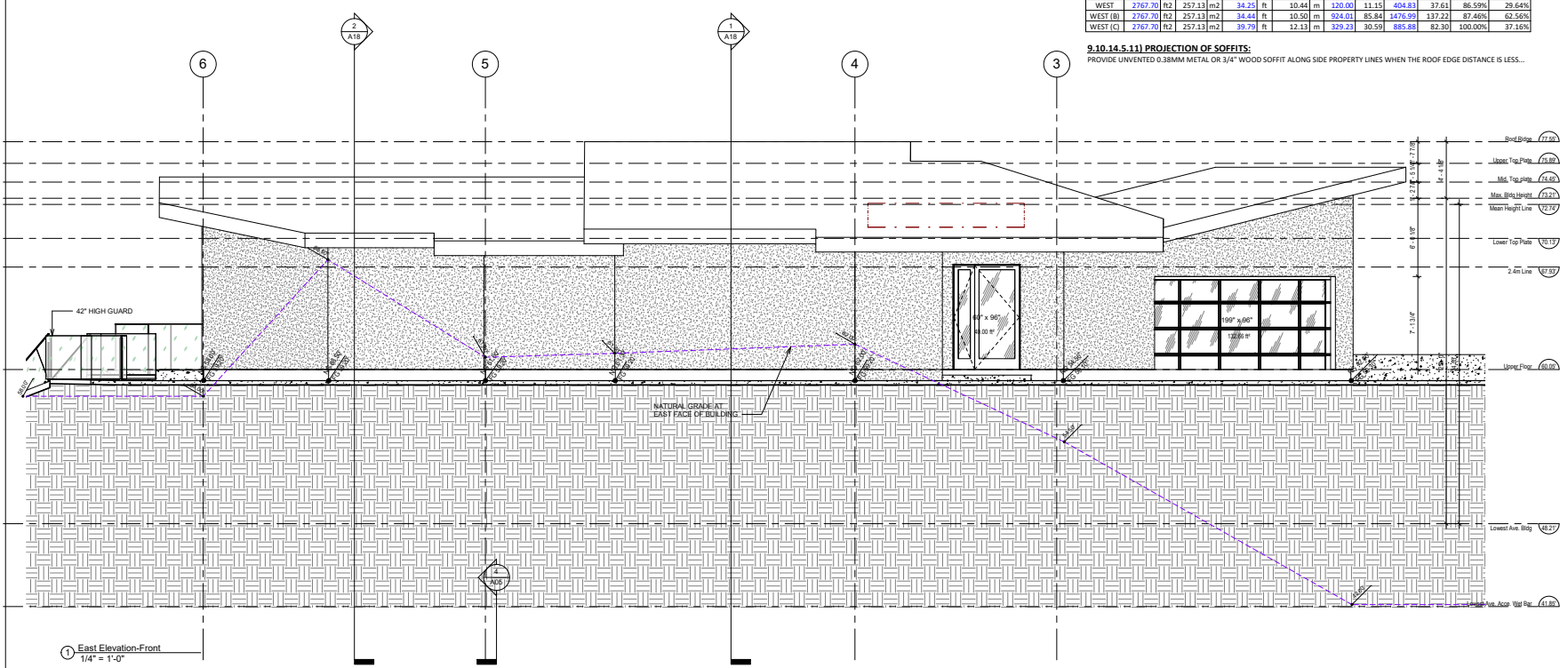
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
NORTH	551.48 m ²	51.23 m	9.41 m ²	0.00	551.48	51.23
SOUTH	434.95 m ²	39.48 m	56.72 m ²	17.29 m	69.40	6.45
					424.98	39.48
					100.00%	16.33%

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
EAST	1040.00 m ²	96.62 m	30.77 m ²	9.38 m	172.66	16.04
WEST	2767.70 m ²	257.13 m	34.25 m ²	10.44 m	120.00	11.15
WEST (B)	2767.70 m ²	257.13 m	34.44 m ²	10.50 m	924.01	85.84
WEST (C)	2767.70 m ²	257.13 m	39.79 m ²	12.13 m	329.23	30.59
					885.88	82.30
					100.00%	37.16%

9.10.14.S.11) PROJECTION OF SOFFITS:
PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS..



REV	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	2023-02-22
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DRAWING TITLE
ELEVATIONS - EAST

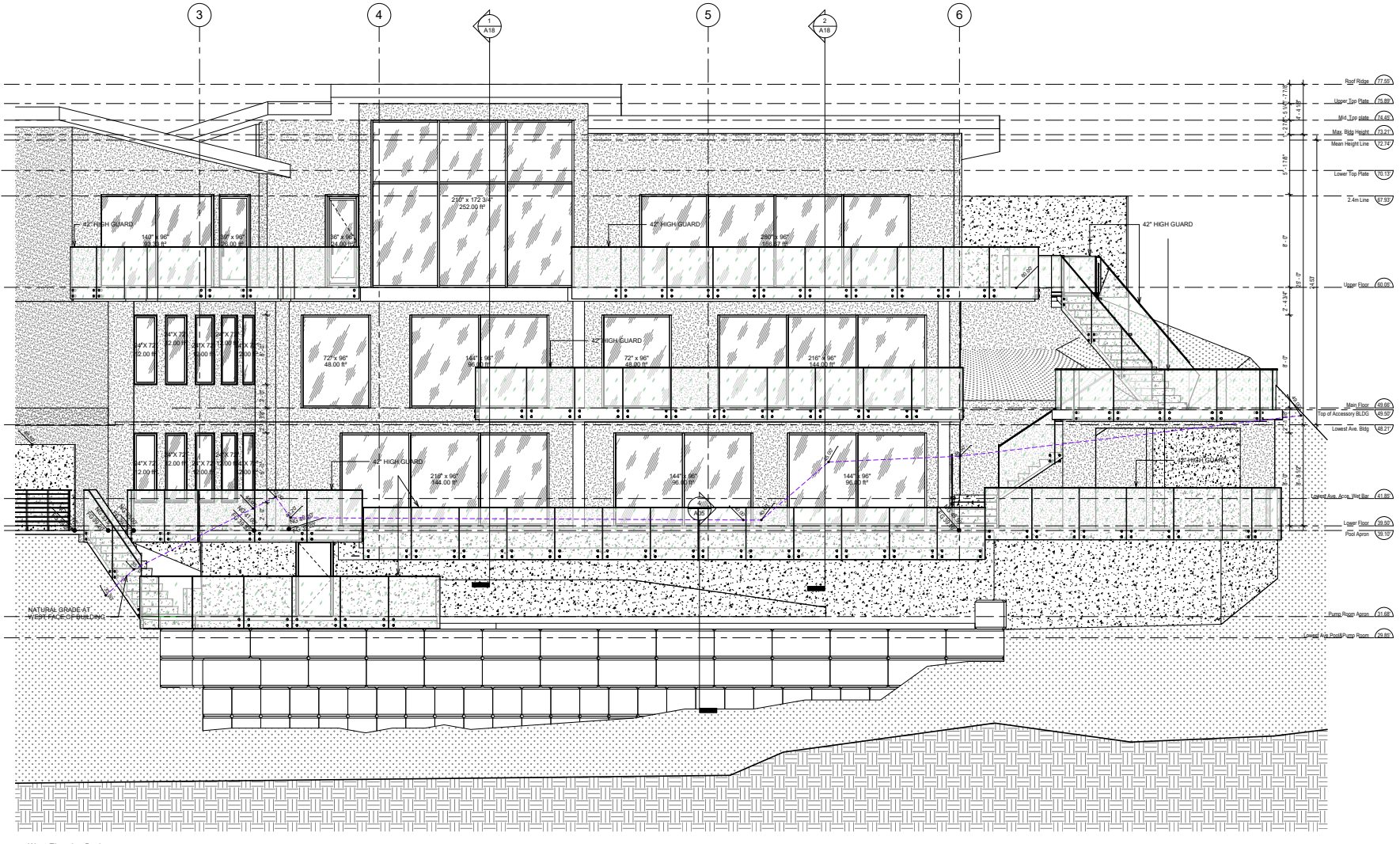
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PROJECT NO. 20235	PLAT DATE FEB. 18, 2021	DRAWN MT
SCALE 1/4" = 1'-0"	REVIEWED	AF
DRAWING NO. A14		REVISION 1

SPATIAL SEPARATION SCHEDULE						SPRINKLERED BUILDING: YES		
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE								
FAÇADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED		
NORTH	551.48 m ²	51.23 m	2.41 m ²	0.00	551.48	51.23	35.38%	0.00%
SOUTH	424.98 m ²	39.48 m	56.73 m ²	6.45	424.98	39.48	100.00%	16.33%

SPATIAL SEPARATION SCHEDULE								
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE								
FAÇADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED		
EAST	1040.00 m ²	96.62 m	30.77 m ²	9.38 m	172.66	16.04	1040.00	96.62
WEST	2767.70 m ²	257.33 m	34.25 m ²	10.44 m	120.00	11.15	404.83	37.61
WEST (B)	2767.70 m ²	257.33 m	34.44 m ²	10.50 m	924.01	85.84	1476.99	137.22
WEST (C)	2767.70 m ²	257.33 m	39.79 m ²	12.13 m	329.23	30.59	685.83	62.30

9.10.14.5.11) PROJECTION OF SOFFITS:
 PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS.



1 West Elevation-Back
 1/4" = 1'-0"

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DRAWING TITLE: ELEVATIONS - WEST

DRAWING ISSUE: ISSUED FOR BUILDING PERMIT

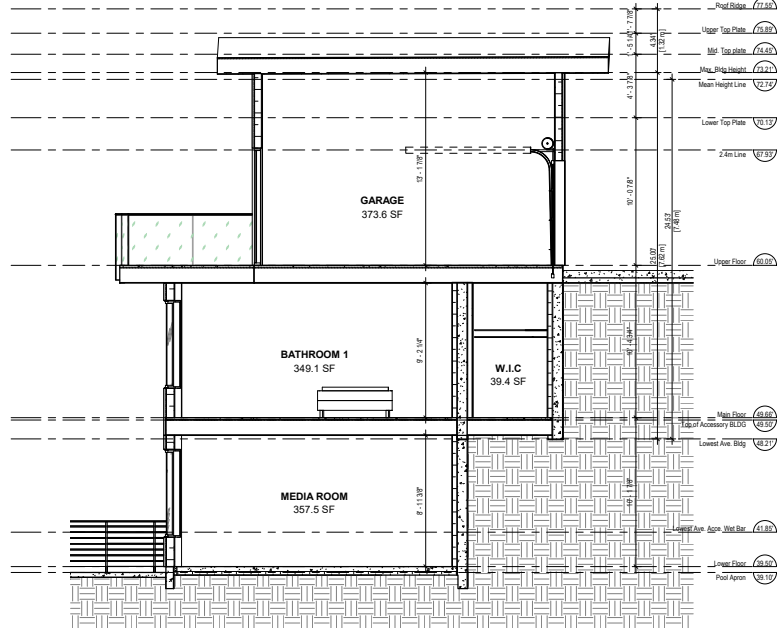
PROJECT NO: 20235
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 SCALE: 1/4" = 1'-0"

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 CHECKER: [Blank]

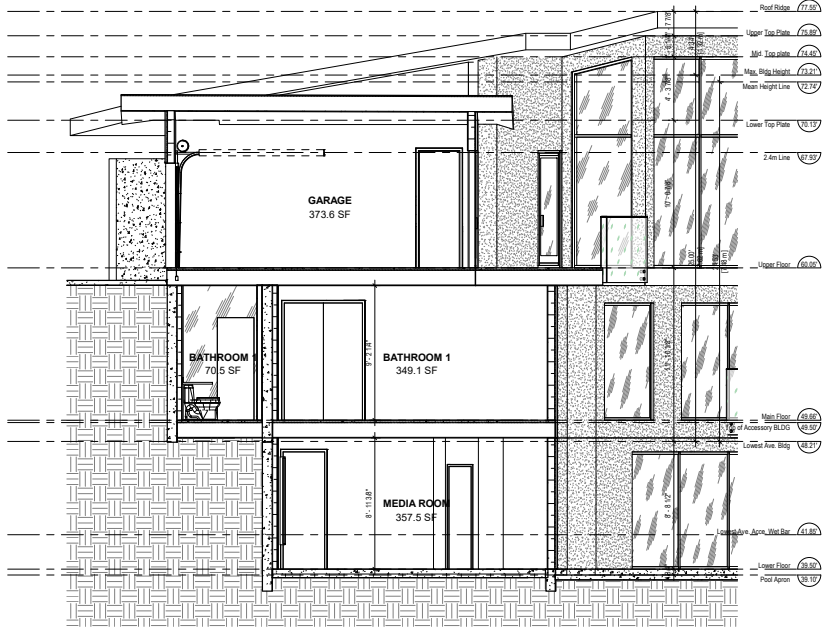
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① BUILDING SECTION 2
 1/4" = 1'-0"



② BUILDING SECTION 3
 1/4" = 1'-0"

REV	DATE	ISSUES FOR BUILDING PERMIT	REV
1	2023-02-22	ISSUED FOR BUILDING PERMIT	AF
REV	YYYYMMDD	REVISION DRAWING ISSUE	REVIEW

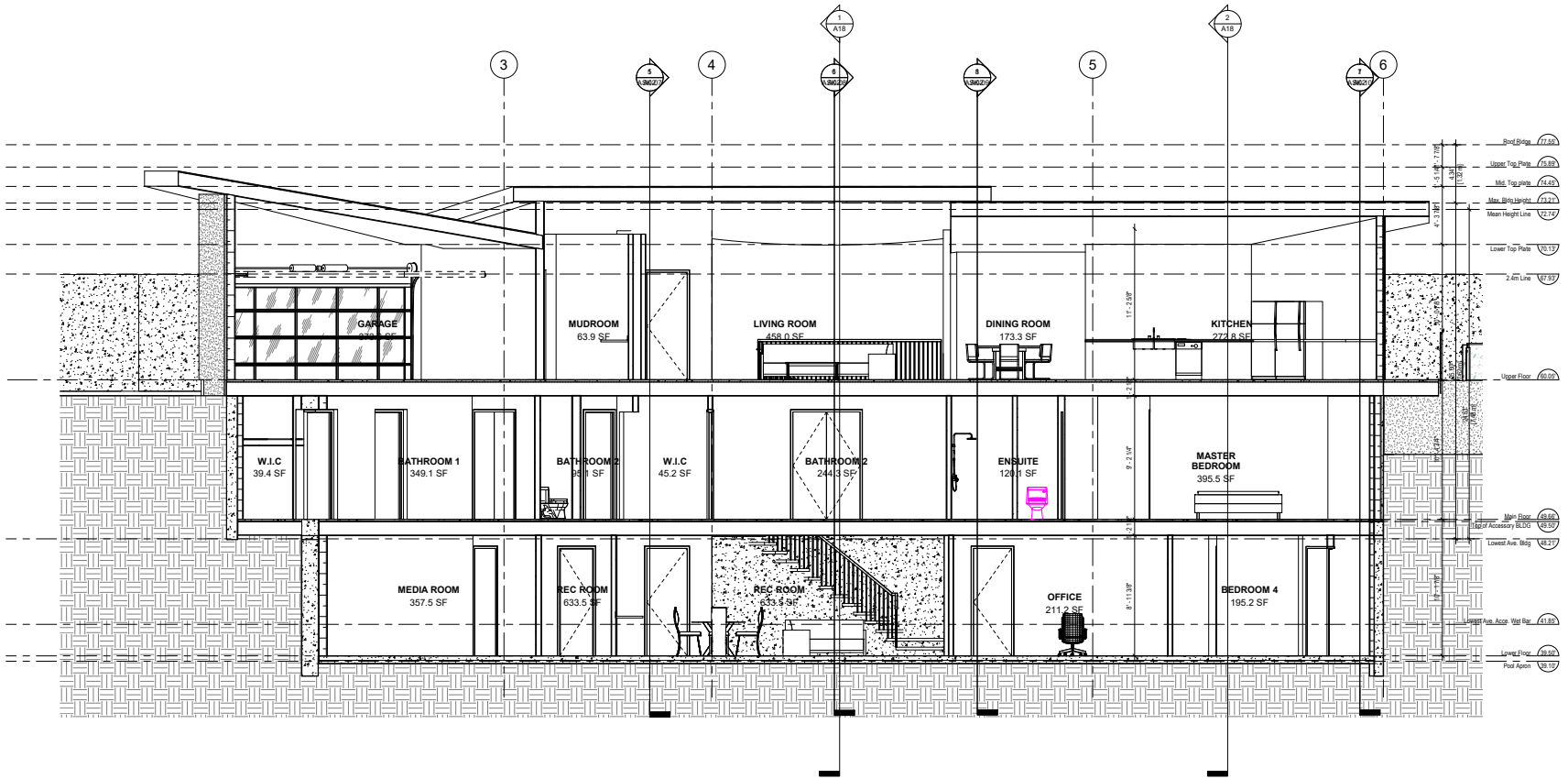
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DRAWING TITLE
BUILDING SECTION 2

DRAWING ISSUE
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1 BUILDING SECTION 1
 1/4" = 1'-0"

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1	2023-02-18	ISSUED FOR BUILDING PERMIT	AM	AM
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DRAWING TITLE
BUILDING SECTION 1

DRAWING ISSUE
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PROJECT NO. 20235	DATE FEB. 18, 2021	DRAWN AM	AUTHOR AM
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DRAWING NO. A17		REVISION 1	



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1	2023-02-18			

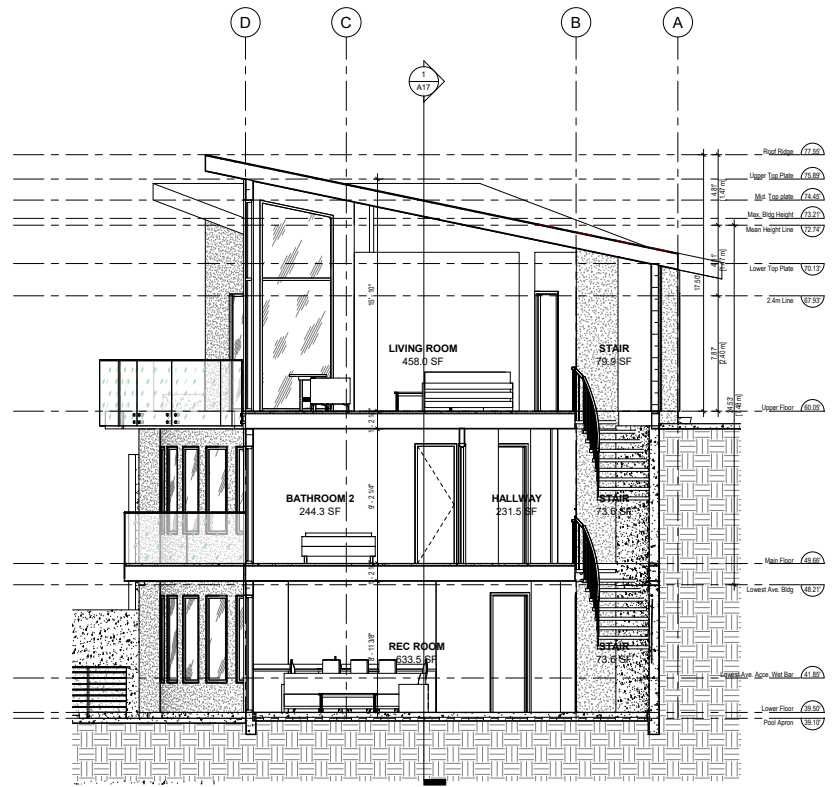
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PROJECT
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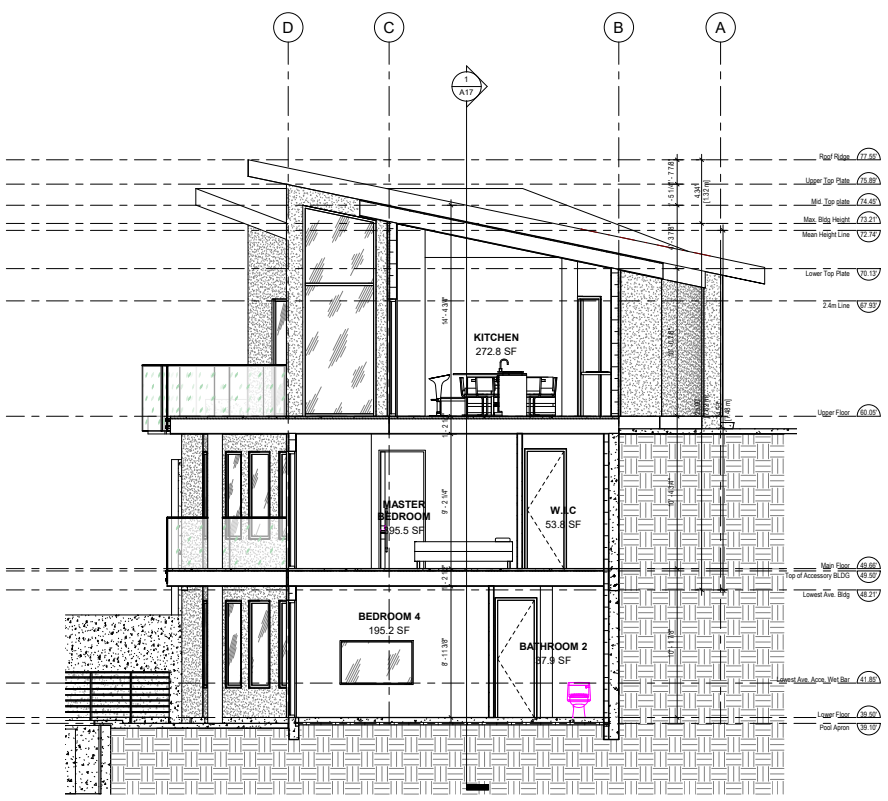
DRAWING TITLE
BUILDING SECTION 3

DRAWING ISSUE
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DRAWING NO.	SCALE 1/4" = 1'-0"	REVISION	1



① BUILDING SECTION 4
 1/4" = 1'-0"



② BUILDING SECTION 5
 1/4" = 1'-0"

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