

<i>COUNCIL AGENDA</i>	
Date: <u>June 14, 2021</u>	Item: <u>6.2</u>



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	May 26, 2021
From:	Erika Syvokas, Community Planner
Subject:	Proposed Zoning Amendment to Allow Subdivision of 6779 Dufferin Avenue
File:	1010-20-19-109

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5106, 2020” be read a first time.

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5106, 2020” be presented at a public hearing scheduled for July 13, 2021 at 6:00 p.m. in the Municipal Hall Council Chamber, and that the Municipal Clerk give statutory notice of the scheduled public hearing.

RECOMMENDATION

THAT Proposed “Development Variance Permit 19-109” be presented at a public meeting scheduled for July 13, 2021 at 6:00 p.m. in the Municipal Hall Council Chamber, to be held concurrently with the public hearing scheduled for July 13, 2021, at 6:00 p.m. in the Municipal Hall Council Chamber, and that notice be given of the scheduled public meeting.

1.0 Purpose

The purpose of this report is to present to Council a proposed zoning amendment to the Residential Single Family Dwelling Zone 4 (RS4) zone and development variance permit to allow subdivision of the subject property into two lots.

2.0 Legislation/Bylaw/Policy

Local Government Act

The *Local Government Act* requires that a public hearing be held on the proposed rezoning of land.

The proposed amending bylaw would require approval by the provincial government under section 52 of the *Transportation Act*.

Zoning Bylaw No. 4662, 2010

The subject site is currently zoned Residential Single Family Dwelling Zone 4 (RS4) and a text amendment is required to amend the subdivision

standards within the RS4 zone facilitate the proposed infill subdivision. Further, additional zoning bylaw variances are requested for the proposed development.

3.0 Official Community Plan

Official Community Plan, Bylaw No. 4985, 2018 encourages regenerating existing neighbourhoods with new sensitive infill units. Policy 2.1.1 allows consideration of site-specific applications to enable the development of smaller houses on smaller lots in existing detached residential areas.

Although a rezoning is required to allow the subdivision, the proposal is consistent with the Official Community Plan (OCP) and an amendment to the OCP is not required.

4.0 Financial Implications

4.1 Community Amenity Contribution (CAC)

New developments are to deliver community amenities related to the impacts of new development. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning. District policy defines a range of appropriate amenities including public realm enhancements, arts and cultural facilities, public art, parks and environmental protection, heritage conservation, greater housing choice including adaptable design features, child care facilities, and similar features or facilities.

Consistent with District policy and through a negotiated approach, the applicant offers a voluntary CAC of \$186,750 in cash. The contribution would flow into the District's amenity reserve account(s) to contribute to future amenity projects as determined by Council.

5.2 Development Cost Charges (DCCs)

At the subdivision permit stage, the applicant is required to provide applicable DCCs for one new single-family lot as per the "Development Cost Charge Bylaw No. 3801, 1993.

5.0 Background

5.1 Previous Decisions

Not applicable.

6.0 Analysis

6.1 Description of the Site

The subject site is zoned RS4 and is 1,039.5 m² (11,189 sq. ft.) in area. The site is developed with a one-storey single family dwelling with vehicle access from Dufferin Avenue. The property, located within the Whitecliff neighbourhood, is surrounded by single-family dwellings. The site is a through lot, abutting Marine Drive to the northwest and Dufferin Avenue to the southeast (**Appendix A**). The site is heavily treed.

6.2 The Proposal

The applicant proposes to subdivide the subject lot into two smaller lots. A rezoning is required to allow the subdivision as the proposed lots do not comply with the current minimum site area (Figure 1).

	Area:
Lot A (Marine Drive)	508.9 m ² (5,478 sq. ft.)
Lot B (Dufferin Avenue)	530.6 m ² (5,711 sq. ft.)
Minimum Zoning Bylaw Requirement:	836 m² (8,998.6 sq. ft.)

Figure 1: Proposed Lot Sizes and RS4 Minimum Lot Area

In order to permit the creation of the new lots and accommodate the proposed development zoning variances are required as described in Figure 2.

Zoning Bylaw Section	Zoning Bylaw Requirement	Proposed Lot A (Marine Drive)	Proposed Lot B (Dufferin Avenue)	Required Variance
Section 204.04 Minimum Site Width	22.9 m	21.94 m	22.79 m	0.96 m (for Lot A) 0.11 m (for Lot B)
Section 204.07 Minimum Front Yard Setback	9.1 m	7.5 m	7.5 m	1.6 m for both lots
Section 204.08 Minimum Rear Yard Setback	9.1 m	7.5 m	7.5 m	1.6 m for both lots
Section 120.26 Minimum building site conditions for new lots	Floor plate of the building must have min area of 186 m ² or 20% of the lot area whichever is less Lot A – 508.9 m ² x 0.20 = 101.78 m ² / 1,096 sq. ft. Lot B – 530.6 m ² x 0.20 = 106.12 m ² / 1,142.3 sq. ft.	114.8 m ² / 1,236 sq. ft. Compliant	86.1 m ² / 927 sq. ft.	Lot B – 20 m ² / 215.3 sq. ft.

Figure 2: Proposed Zoning Variances

The variances are indicated in the attached proposed Development Variance Permit No. 19-109 (**Appendix B**).

6.3 Staff Evaluation

Subdivision and Neighbourhood Character

The immediate neighbourhood is comprised of modest single family homes built in the 1960-1970s. The site sizes within a 100 m radius of the subject property range from 416.37 m² to 1902.86 m².

The subject site is bordered by two properties to the southwest and one property to the northeast (Figure 3). The shared rear property line of the neighbouring properties to the southwest intersects the subject property near the mid-point. Continuing this property line through the subject property creates two relatively equal sized lots upon subdivision. As such, the proposed subdivision would be consistent with the lot pattern in the immediate area. Further, the proposed new lots would be in keeping with the range of sizes of lots in the neighbourhood.



Figure 3: Subject Site and Existing Lot Pattern

Due to the curving nature of the two fronting streets, the proposed 7.5 m front yard setback aligns with the locations of the homes to the southwest. The site benefits from large municipal boulevards (approximately 6 m on Marine and 7.62 m on Dufferin Avenue). The large boulevards will reduce the visual impact of the homes on the streetscape.

Under existing zoning regulations, the lot could be developed with a house of approximately 363.8 m² (3,916 sq. ft.) plus additional basement area located below grade (larger than the majority of houses on the block).

The proposed subdivision will have a positive impact on the Marine Drive streetscape as the creation of a new home fronting onto Marine Drive will improve the residential feel of Marine Drive, potentially helping to slow traffic and make it safer for residents.

The proposal for two relatively smaller houses will also provide a positive benefit to the neighbourhood character by reducing overall building bulk. If approved, the resulting houses on each of the new lots will be consistent with surrounding properties as the new homes are proposed to be 198 m² (2,127 sq. ft.) for the lot on Dufferin Avenue and 168 m² (1,805 sq. ft.) for the lot on Marine Drive. Further, the proposed combined site coverage of 24% is less than the 30% permitted on the existing un-subdivided lot.

Smaller houses would be in keeping with the scale and character of the existing homes within the neighbourhood. Subdivision of the lot also helps to meet objectives in the OCP by preserving neighbourhood character with regeneration of an existing single-family neighbourhood. The proposal offers a relatively more affordable family-friendly smaller detached housing project. Also, the subdivision would avoid the current trend of constructing houses in existing neighbourhoods that are much larger than those around them.

Building Design

The applicant has designed the proposed homes to fit in with the existing neighbourhood character by incorporating mid-century elements into the contemporary designs. Flat roofs lower the massing and preserve view corridors. Proposed materials for Lot A (Marine Drive) include horizontal lap siding, architectural concrete foundation, vinyl windows and fire rated wood or wood-look soffits. Proposed materials for Lot B (Dufferin Avenue) include vertical aluminum siding and soffits, architectural concrete foundation, and vinyl windows.

The design of the proposed new homes is proposed to be secured through the proposed Development Variance Permit No. 19-109.

Tree Retention and Removal

The arborist report identified a total of 36 trees on the subject property including on-site trees (12 trees), boulevard trees (17 trees) and neighbouring trees with critical root zones encroaching onto the subject property (7 trees) (**Appendix C**). The site planning was sensitive to tree retention and the driveway locations were selected to save as many trees

as possible. The proposed subdivision and construction of the new homes will require the removal of:

- 10 trees on the subject site: Eight trees (#5, #6, #7, #8, #13, #14, #23, #35) not of protected tree size and two protected trees greater than 75 cm DBH (#22 & #24) which are within the excavation area for the proposed house and driveway; and
- 2 trees (tree #20 & #21) on the Marine Drive boulevard located within the proposed driveway. The driveway location was selected as this location minimizes the number of boulevard trees requiring removal.

The District's *Tree Bylaw No. 4892, 2016* requires replacement of 1 tree for removal of a protected tree. However, in recognition of the impact that trees have on the form and character of the built environment, the applicant proposes to replace the on-site trees proposed for removal at a 2:1 ratio with a minimum size based on the replacement tree requirements specified in the Tree Bylaw of a minimum caliper of 5 cm for deciduous trees and a minimum height of 3 m for coniferous trees

Tree removal permits are required for the bylaw sized trees on private property and for the trees on the municipal boulevard at the building permit stage. Tree retention and replacement will be secured through the proposed Development Variance Permit No.19-109.

Wildfire Hazard Development Permit

The subject property falls within the Wildfire Hazard Development Permit area. The applicant has submitted a wildfire assessment report from a qualified forest professional and the recommendations have been incorporated into the building plans for the proposed new homes. Approval of the development permit is a condition of subdivision.

6.4 Implementing Bylaw

Zoning Bylaw Amendment (Appendix D)

The RS4 zone would be amended to allow the proposed subdivision of 6779 Dufferin Avenue only (via the legal description of the property to permit an alternative site area).

6.5 Sustainability

The proposed rezoning will facilitate an infill subdivision recognized as a sustainable land use tool within the OCP. Infill subdivisions allow new ground oriented family friendly housing to be integrated within exiting neighbourhoods including utilization of existing infrastructure such as roads, sewer and water.

As stipulated within the District's current *Sustainable Building Policy*, all new buildings facilitated through the rezoning process "should comply with the Low-Carbon Energy System pathway and should meet the step higher of the *BC Energy Step Code* than is otherwise required by Building Bylaw No. 4400, 2004". This requirement will be a condition of the proposed Development Variance Permit No.19-109.

6.6 Public Engagement and Outreach

Public Information Meetings

In accordance with the *Preliminary Development and Public Consultation Policy*, the applicant held a pre-application information meeting on July 31, 2019 from 6:30-8:00 pm at Gleneagles Community Centre to discuss the proposal with neighbourhood residents. Ten (10) residents were in attendance.

Concerns raised regarding the proposal were related to loss of privacy though altering existing site lines, tree removal, and concerns regarding the uncertainty of the size/design of the of the homes to be built on the subdivided properties. More generally, concerns were identified related to the impacts of densification including change to the existing neighbourhood character, safety with respect to adding density in an area with only one access route into and out of the neighbourhood (Marine Drive), increase in vehicle traffic due to lack of transit service in the neighbourhood, lack of street parking and the potential of a precedent being set in terms of subdivision. The proposal responds these concerns by proposing relatively smaller sized homes with the design secured through the proposed Development Variance Permit No.19-109, the proposed tree replacement and the provision of on-site parking.

In compliance with the *Development Procedures Bylaw*, should the proposal advance, the public will be given an opportunity to learn about the rezoning and provide feedback on the proposal prior to the public hearing at a virtual information meeting hosted by the applicant.

In accordance with the *Interim COVID-19 Public Consultation Strategy for Development Projects*, public consultation on the proposed development will be provided virtually through an applicant-hosted project webpage. Neighbours within 100 m of the subject site will be notified. District staff will make themselves available by phone and email to provide information and answer questions. Staff will report back to Council at the Public Hearing regarding the public feedback received.

Public Hearing and Notification

In compliance with the *Local Government Act (LGA) and Development Procedures Bylaw No. 4940, 2017*, the proposed rezoning is subject to a public hearing. Notice of the public hearing will be given in accordance with LGA requirements and District procedures.

Signage

The applicant is required to install a development information sign in front of the property prior to the public hearing. Should the proposal advance, the applicant will be required to update the sign information with particulars about the required public hearing and virtual public information meeting.

Website

In alignment with current practice, a description of the proposal is available online and should the proposal advance, applicable dates will be updated.

7.7 Condition Precedent to Adoption

As the property is located within 800 metres of a Controlled Access Highway¹ interchange, ministry approval will be required for the rezoning bylaw in accordance with section 52 of the *Transportation Act*.

Payment of the Community Amenity Contribution is required prior to adoption of the proposed rezoning bylaw.

7.0 Options

7.1 Recommended Option

It is recommended that Council give first reading to the proposed zoning bylaw and set a date for a public hearing and concurrent public meeting.

Scheduling the application for a public hearing will give the public the formal opportunity to make representations to Council on the proposal.

7.2 Considered Options

Council may:

- a) give first reading to the proposed bylaw and set an alternative date (to be specified) for a public hearing and concurrent public meeting; or
- b) defer consideration pending the receipt of additional information (to be specified) be provided; or
- c) reject the proposal.

8.0 Conclusion

Staff assessment of the rezoning application has concluded that the proposed subdivision is appropriate in terms of density and preservation of neighbourhood character. The application would allow for two lots to be created, and two smaller houses built, rather than a single larger house.

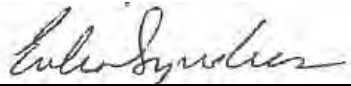
The application demonstrates that the proposed subdivision resulting in two smaller houses would have low impact to the adjacent neighbours as it would result in less building mass with a more appropriate scale of development and would help to preserve neighbourhood character.

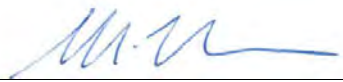
Staff supports the application and recommends that it be scheduled for a public hearing and concurrent public meeting be scheduled for the development variance permit.

¹ Trans-Canada Highway and intersection of Trans-Canada Highway and Marine Drive is within ministerial jurisdiction.

Date: May 26, 2021
From: Erika Syvokas, Community Planner
Subject: Proposed Zoning Amendment to Allow Subdivision of 6779 Dufferin Avenue

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Author: 
Erika Syvokas, Community Planner

Concurrence: 
Michelle McGuire,
Senior Manager of Current Planning and Urban Design

Appendices:

- A. Context Plan
- B. Proposed Development Variance Permit 19-109
- C. Arborist Report dated April 15, 2021
- D. Proposed Zoning Amendment Bylaw No.4662, 2010 Amendment Bylaw No. 5106, 2020

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District of West Vancouver
Proposed
Development Variance Permit No. 19-109

REGISTERED OWNER: Brodie David Gunn and Carmen Elizabeth Gunn

THIS DEVELOPMENT VARIANCE PERMIT APPLIES TO:

CIVIC ADDRESSES: 6779 Dufferin Avenue

LEGAL DESCRIPTION: Lot 2 BLOCK 23 DISTRICT LOT 430 PLAN 9925
 PID: 009-294-520
 (the 'Lands')

1. For the purposes of this Development Variance Permit, the Lands shall be developed in substantial accordance with the subdivision plan approved by Council, attached as **Schedule A**, and the drawings attached, approved by Council, attached as **Schedule B**, and specifically in compliance with the regulations and variances listed hereunder.
2. Notwithstanding the conditions of this, the Approving Officer may determine that the subdivision plan conforms to the Development Variance Permit if there is a minor difference between the Development Variance Permit and Subdivision Plan that does not materially affect the intent of the plans attached to this Development Variance Permit or is a technical requirement of the subdivision.
3. This Development Variance Permit is issued and varies and supplements the District's Zoning Bylaw No. 4662, 2010, as amended, to allow construction of the buildings and structures described in the attached **Schedule B** as follows:
 - (i) Section 204.04 (Minimum site width and depth) site width is varied from 22.9 m minimum to 21.94 m for Lot A (Marine Drive) and 22.79 m for Lot B (Dufferin Avenue).
 - (ii) Section 204.07 (Front Yard) is varied to allow the required rear yard to be varied from 9.1 m to 7.5 m for both lots.
 - (iii) Section 204.08 (Rear Yard) is varied to allow the required rear yard to be varied from 9.1 m to 7.5 m for both lots.
 - (iv) Section 120.26 (Minimum building site conditions for new lots) is varied to enable infill lots on the subject Land with a floor plate on proposed Lot B (Dufferin Avenue) that is less than the lesser of 186 square metres or 20% of the lot size.
4. The proposed structures must generally be constructed and finished in substantial compliance with attached **Schedule B**.

5. The minimum energy performance of the proposed new dwellings shall conform to a minimum Step 4 with Low-Carbon Energy System pathway or Step 5, as defined by the British Columbia Energy Step Code. Compliance with the required step shall be demonstrated through provision of sufficient documentation to the satisfaction of the Chief Building Official.
6. All trees proposed for retention on public boulevard adjacent to the property and trees on neighbouring properties which have their critical root zone located on or within the building site as indicated in **Schedule C** shall be protected during construction and site works.
7. Prior to commencing any works onsite, building demolition or issuance of a building permit, the Owners shall install measures to protect the trees identified under 3 above in accordance with the District's Tree Protection Specifications.
8. No construction activity may occur within the tree protection barrier extent to the extent that those activities are monitored by an ISA certified arborist for the duration of any required construction activities impeded by the tree protection barrier.
9. In addition to Section 130.15 - Site Landscaping of the Zoning Bylaw, prior to issuance of building occupancy, landscaping of the Lands shall be installed to the satisfaction of the Director of Planning and Development Services and include the following:
 - a) exclude invasive plants identified in the District's Invasive Plan Strategy; and
 - b) a minimum of 20 new trees having a minimum height of 3 m (coniferous) or 5 cm diameter (deciduous) at time of planting from the list of approved tree species identified in the Tree Bylaw.
10. Prior to final approval of the subdivision of the Lands, the Owners shall pay a security in the amount of \$10,000 for the trees proposed to be retained and replaced.
11. This Development Variance Permit lapses if construction of the additions and renovations has not commenced, under an issued Building Permit, within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [Date] .

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

FOR THE PURPOSES OF SECTION 2, THIS PERMIT IS ISSUED ON [Date] .

Schedules:

A – Proposed Subdivision Plan, prepared by 360 Land Surveying Ltd., dated October 31, 2018

B – Architectural Plans, prepared by Brad Dore, Dore Design & Media Solutions Inc. dated May 26, 2021

C – Tree Retention and Removal plan

Subdivision 6779 Dufferin Avenue Proposed Marine Drive House



Project Summary

Proposal	Rezoning / Subdivision
Address	Marine Drive (6779 Dufferin)
Zoning	RS4

Lot Size		
Site width	Variance requested	71.96 ft. 21.93 m.
Site length		75.74 ft. 23.1 m.
Site Area	Variance requested	5,478 s.f. 509 m ²

ALLOWABLE

Areas		
Site Coverage Sites < 664m ² @ 40%		2191 s.f. 204 m ²
Floor Area Ratio (sites 474m ² to 677m ²)		2551 s.f. 237 m ²

Building Heights

Maximum Building Height		25.0 ft. 7.62 m.
MaxStores(plusbmt)		2 2
Highest Building Face		22.0 ft. 6.7 m.

Required Yards & Setbacks

Front Yard		25 ft. 7.5 m.
Rear Yard		25 ft. 7.5 m.
Side Yard Dwelling 2 full storeys 10%		7 ft. 2.19 m.
Combined Side Yards: 2 storeys 25% min. 4.50m (Step 4 -0.15m)		18 ft. 5.62 m.

PROPOSED

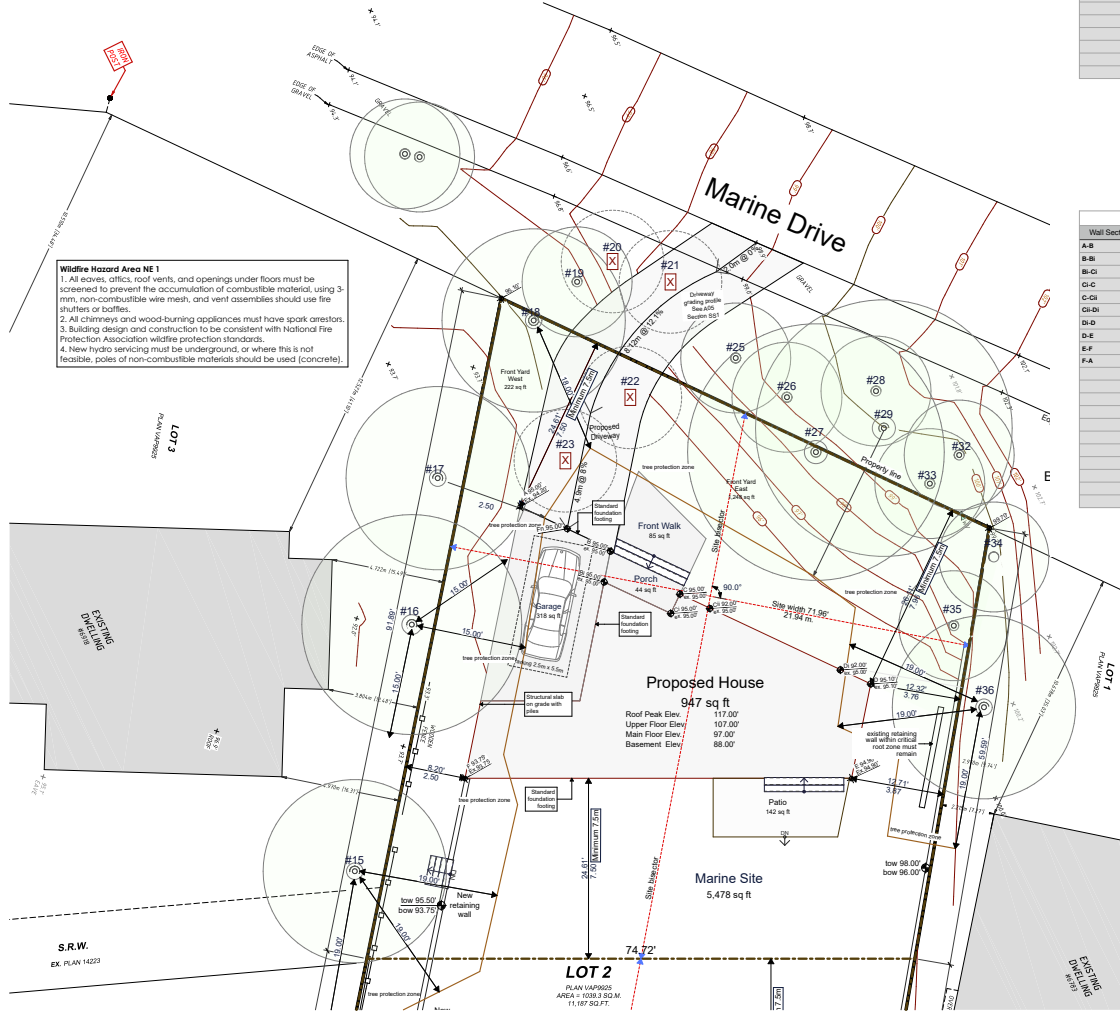
Areas		
Site Coverage		1485 s.f. 138 m ²
Front Yard Permeable Surface Area		1660 s.f. 154 m ²
Floor Area		1880 s.f. 175 m ²
Floor Area FAR Step 4 High-Performance Buildings 4%		-75 s.f. -7 m ²
		1805 s.f. 168 m ²

Building Heights

Building Height		22.1 ft. 6.7 m.
Stores(plusbmt)		2 2
Highest Building Face		21.8 ft. 6.6 m.

Required Yards & Setbacks

Front Yard	Variance requested	25 ft. 7.50 m.
Rear Yard	Variance requested	25 ft. 7.50 m.
Side Yard		8 ft. 2.50 m.
Combined Side Yards		21 ft. 6.26 m.



Wildfire Hazard Area NE 1
 1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
 2. All chimneys and wood-burning appliances must have spark arrestors.
 3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
 4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible material should be used (concrete).

Site Plan

1/8" = 1'-0"

LOT 2
 PLAN 9925
 AREA = 1039.3 SQ.M.
 11,187 SQ.FT.

LOT 2 BLOCK 23 DISTRICT
 LOT 430 PLAN 9925

SCHEDULE B TO DVP-19-109

Marine Finished Grades				
Average Finished Grade Calculation for Building and Structure Height				
Wall Section	Grade Start	Grade End	Average Grade	Y Value
A-B	95.00	95.00	95.00	1330.00
B-B	95.00	95.00	95.00	1045.00
B-C1	95.00	95.00	95.00	1045.00
C1-C	95.00	95.00	95.00	1045.00
C-C1	95.00	92.00	93.50	420.75
C1-D	92.00	92.00	92.00	1988.70
D1-D	92.00	95.00	93.50	420.75
D-E	95.10	94.90	95.00	1425.00
E-F	94.90	93.75	94.33	4987.15
F-A	93.75	95.00	94.38	3507.60
			94.27	17020.00 94.27
			97.00	< 3 ft. 100%
				Basement Floor Area Excluded 100%
				Above Grade Floor Area 1880
				Basement Floor Area 790
				Basement Area Excluded 100%
				Total Floor Area 1880
				120.29 High-Performance Step 4 @ 0.04 1805

Marine Existing Grades				
Average Existing Grade Calculation for Building and Structure Height				
Wall Section	Grade Start	Grade End	Average Grade	Y Value
A-B	94.30	95.00	94.65	1420
B-B	95.00	95.00	95.00	1100
B-C1	95.00	95.00	95.00	1100
C1-C	95.00	95.00	95.00	1100
C-C1	95.00	95.00	95.00	421.50
C1-D	95.00	95.00	95.00	1988.70
D1-D	95.00	95.10	95.05	420.75
D-E	95.10	94.90	95.00	1425.00
E-F	94.90	93.75	94.33	4987.15
F-A	93.75	94.00	93.88	3507.60
			94.80	181.07 17122.04 94.56
			97.00	< 3 ft. 100%
				Basement Floor Area Excluded 100%
				Above Grade Floor Area 1880
				Basement Floor Area 790
				Basement Area Excluded 100%
				Total Floor Area 1880
				120.29 High-Performance Step 4 @ 0.04 1805

Brad Doré
 Residential Design
 604-752-8240
 brad_dore@icloud.com
 www.bradore.com
 Doré Design & Media Solutions Inc.

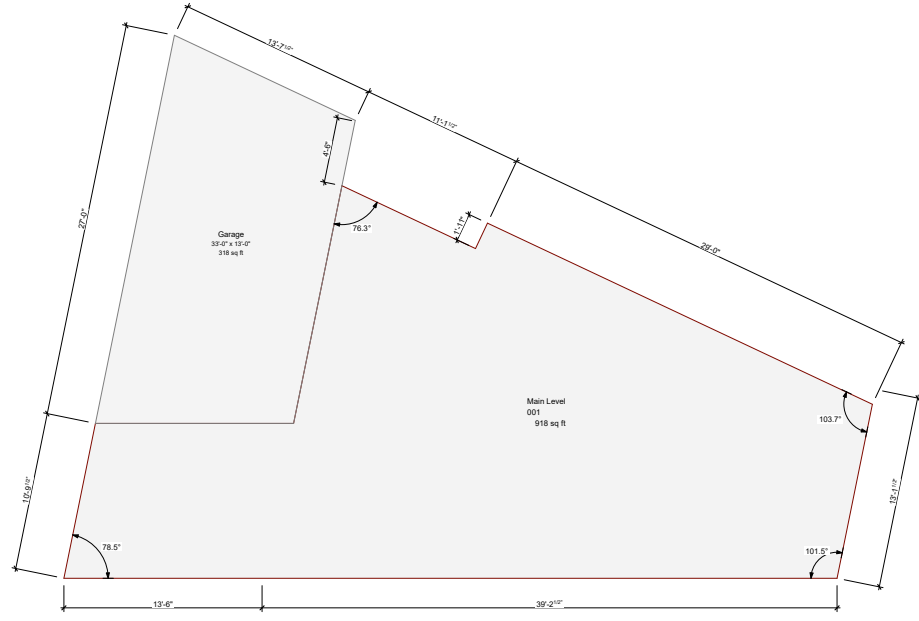
Curate Marine
 6779 Marine Drive
 West Vancouver, BC

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 The design and specifications of all drawings conform to BCBC 2018

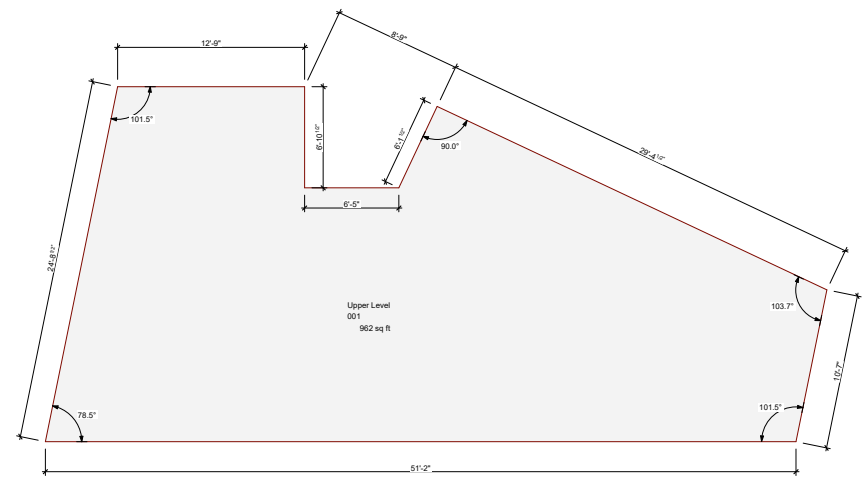
Cover Sheet

Sheet Index Permit	Layout Name
A01	Cover Sheet
A02	Area Overlay
A03	Marine Drive Floor Plans
A04	Marine Drive Elevations
A05	Sections

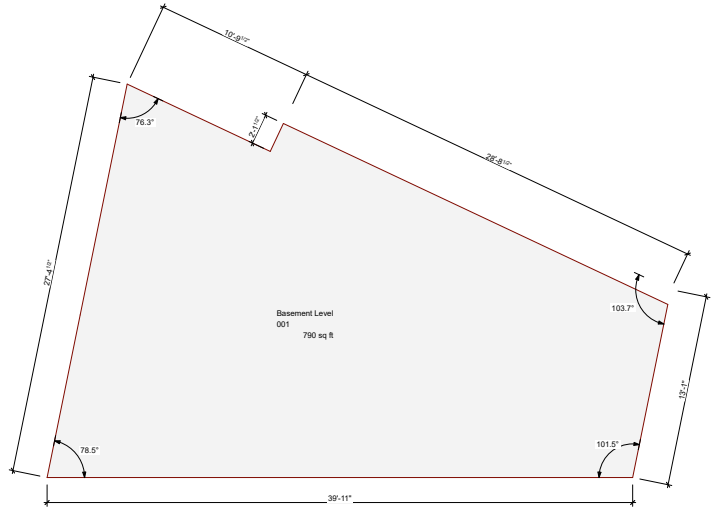
A01



0. Main Level
1/4" = 1'-0"



1. Upper Level
1/4" = 1'-0"



-1. Basement
1/4" = 1'-0"

Upper Level	962
Main Level	918
	1,880 sq ft

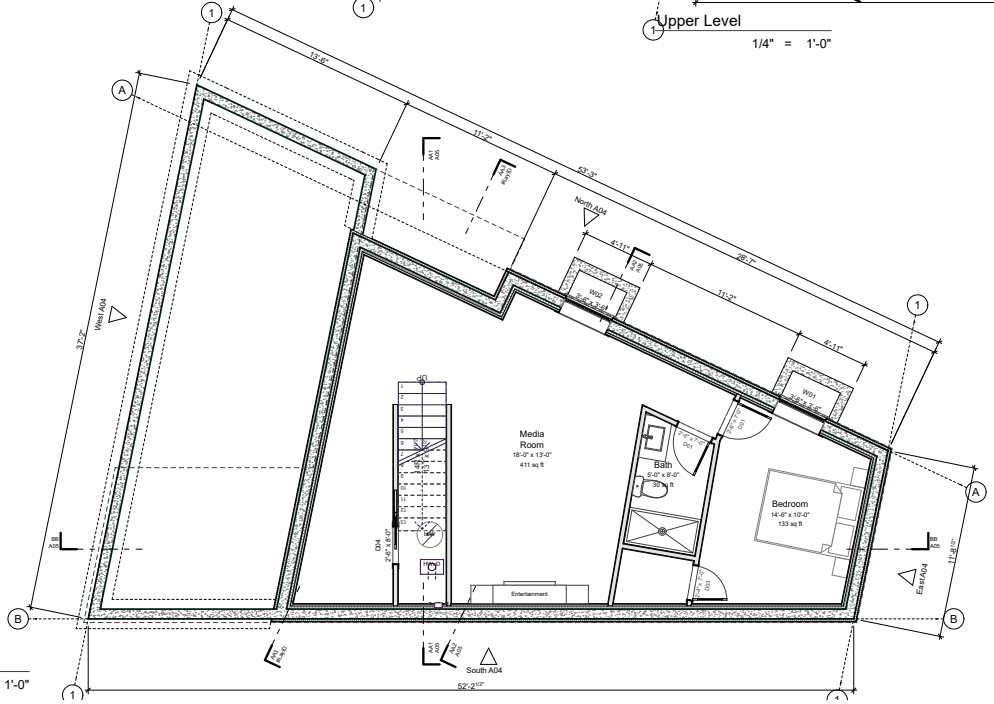
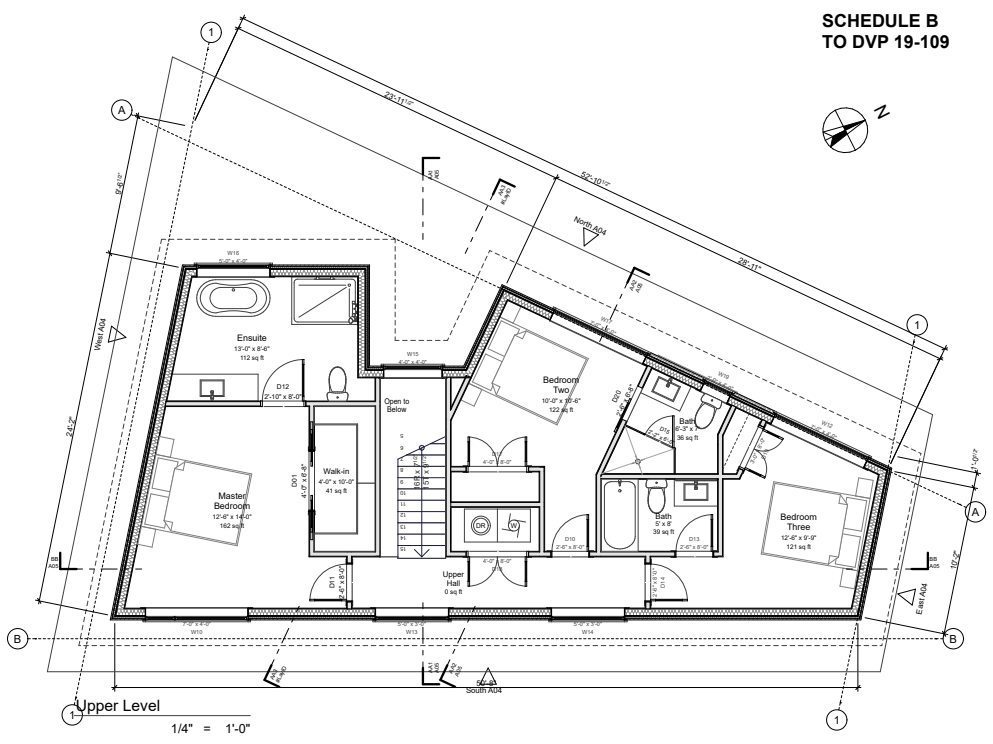
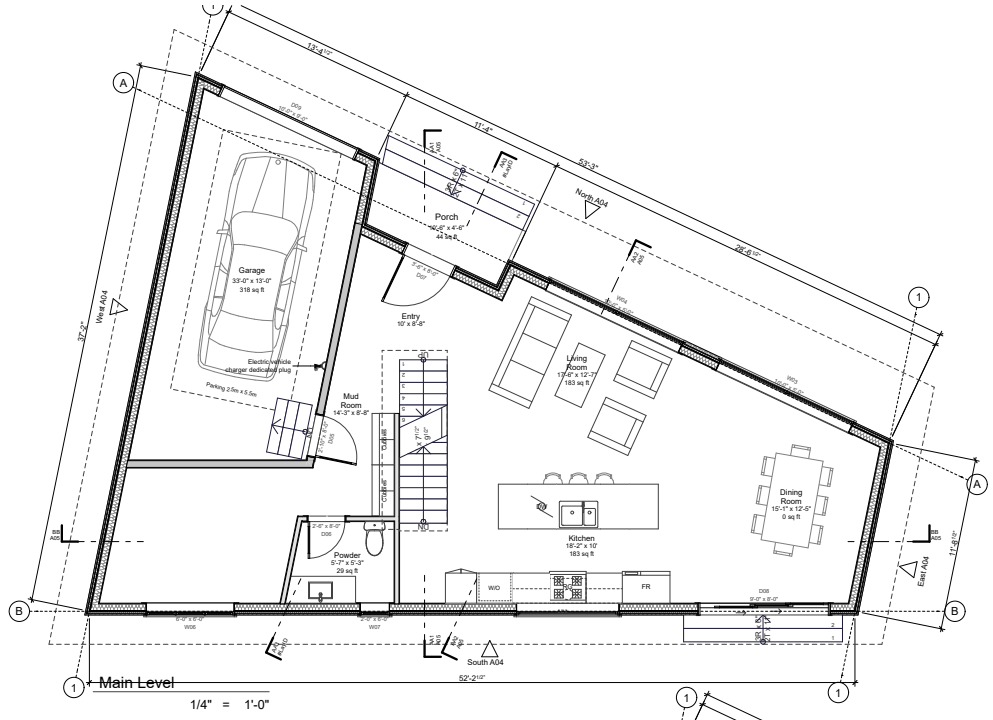
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Curate Marine
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The design and specifications of all drawings conform to BCBC 2018

Area Overlays	
Status	Date
Development Permit Revisions	2021-05-26
A02	



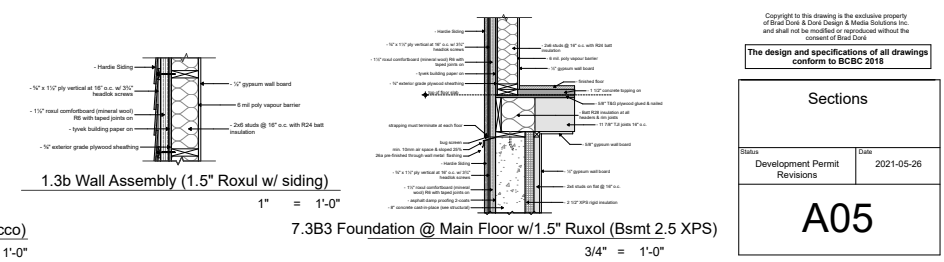
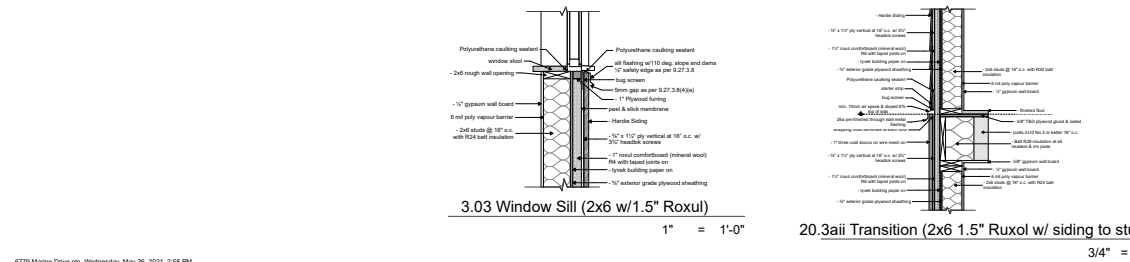
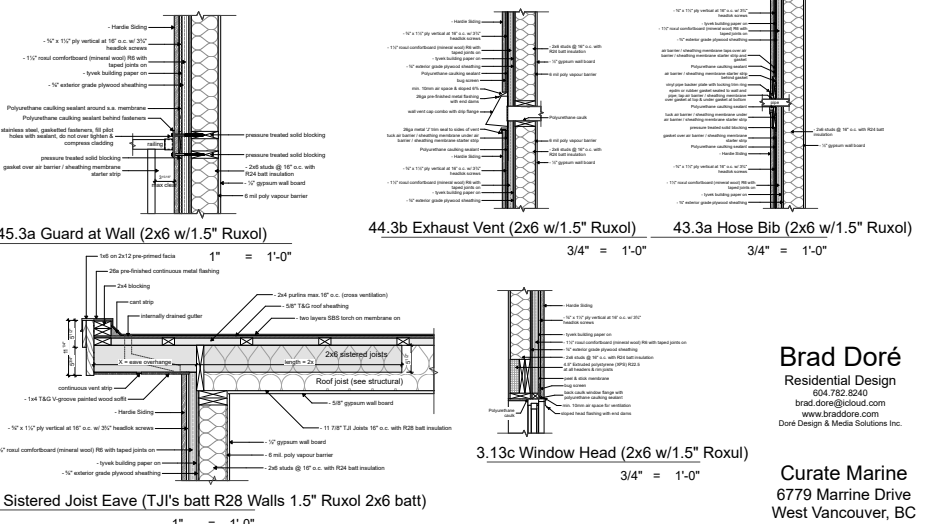
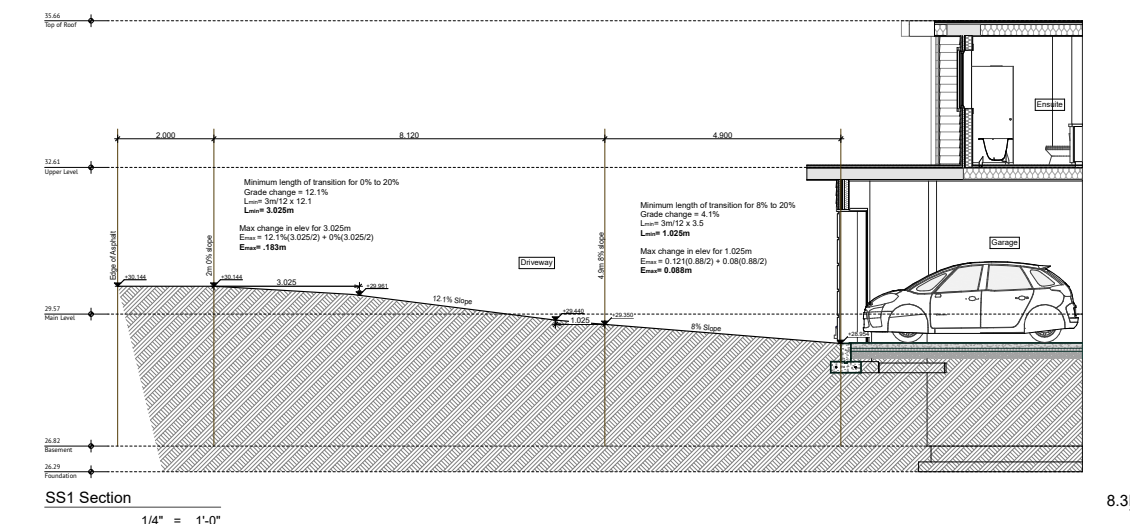
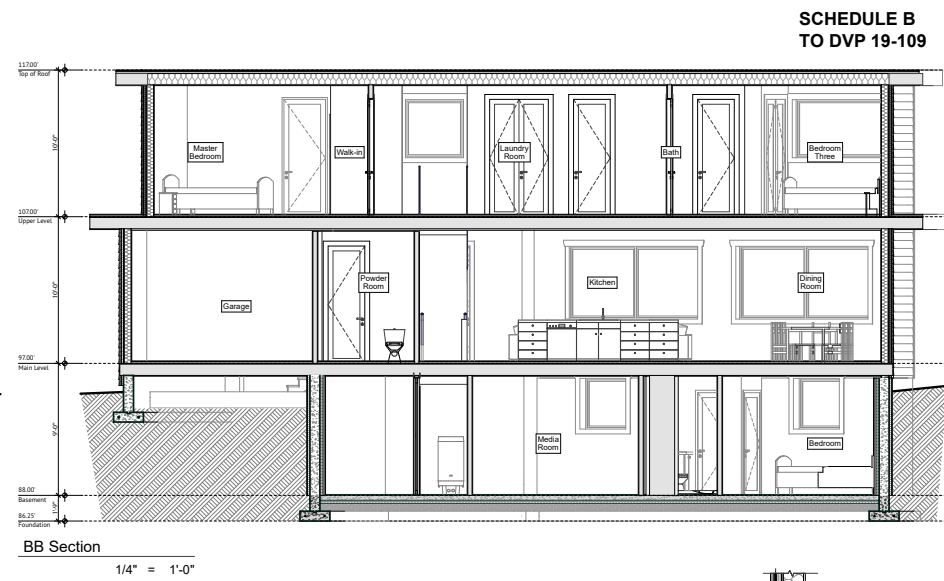
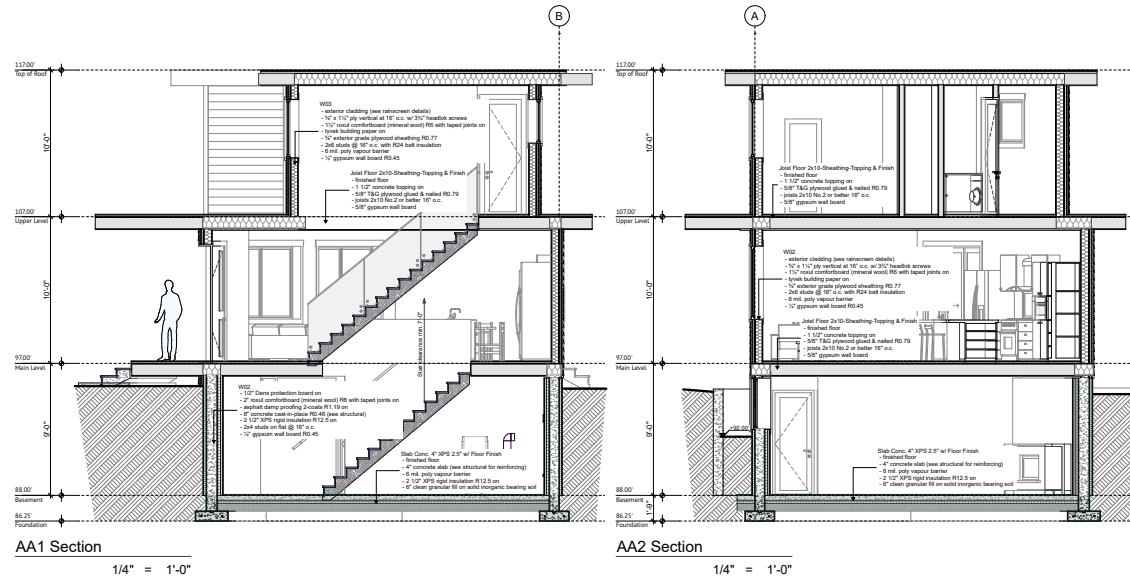
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Curate Marine
6779 Marine Drive
West Vancouver, BC

Marine Drive Floor Plans	
Status Development Permit Revisions	Date 2021-05-26
A03	

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6779 Marine Drive pt. West Vancouver, May 26, 2021, 2:38 PM



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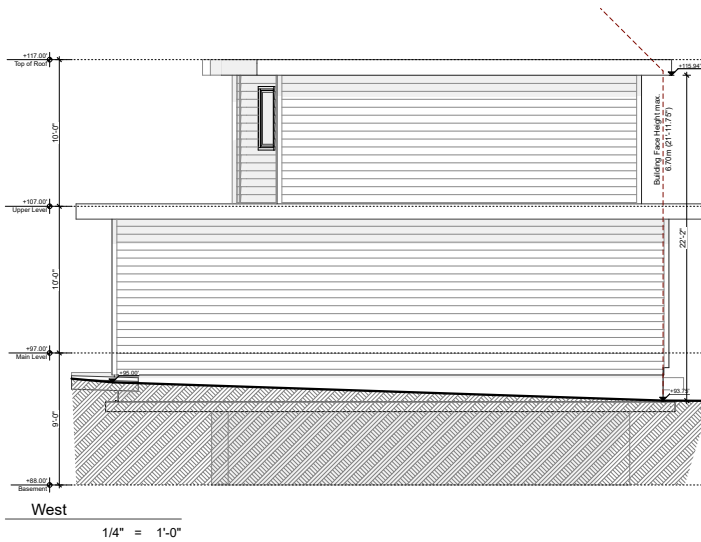
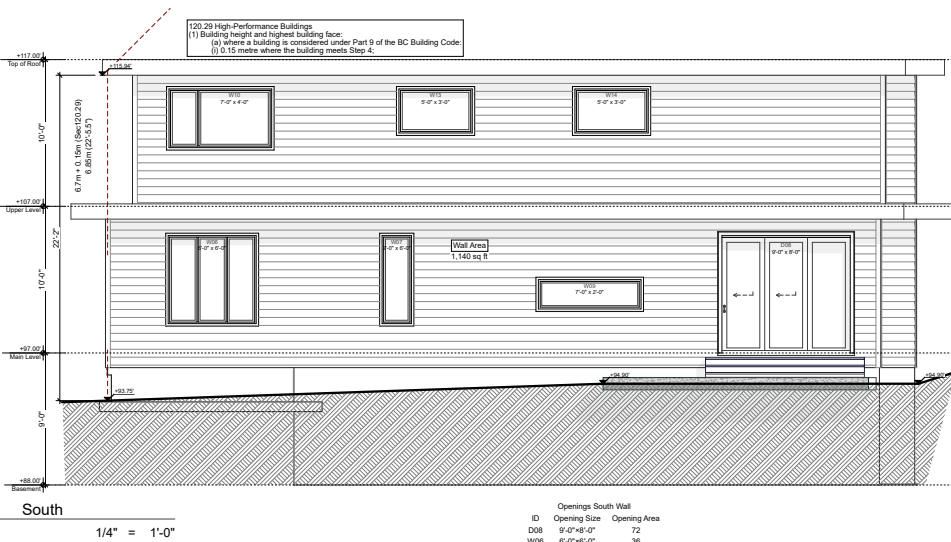
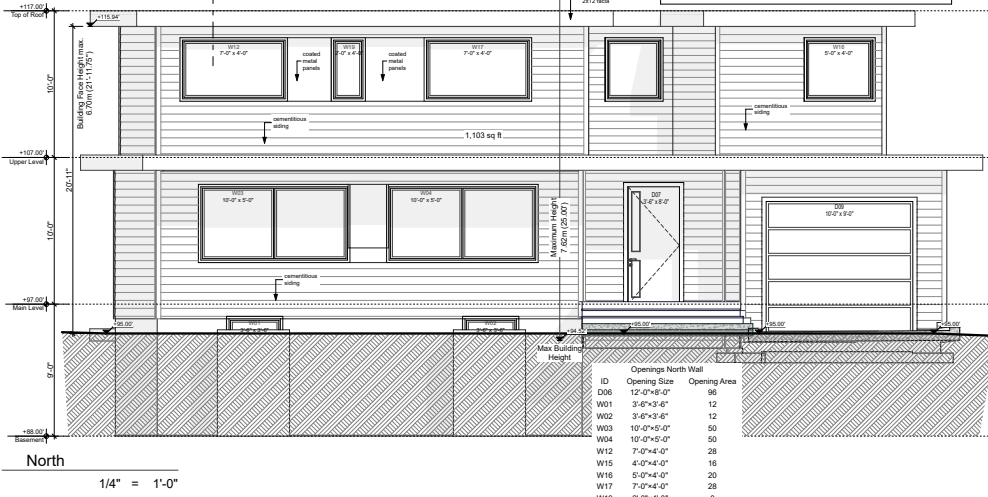
Sections	
Section	Date
Development Permit	2021-05-26
Revisions	

A05

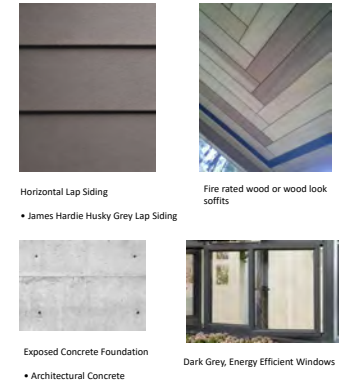
**SCHEDULE B
TO DVP 19-109**

120.29 High-Performance Buildings
(1) Building height and highest building face:
(a) where a building is considered under Part 9 of the BC Building Code;
(i) 0.15 metre where the building meets Step 4;

Wildfire Hazard Area NE 1
1. All eaves, soffits, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3 mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.



Marine Drive Materials Board



Marine Drive Elevations

Status	Date
Development Permit Revisions	2021-05-26

A04

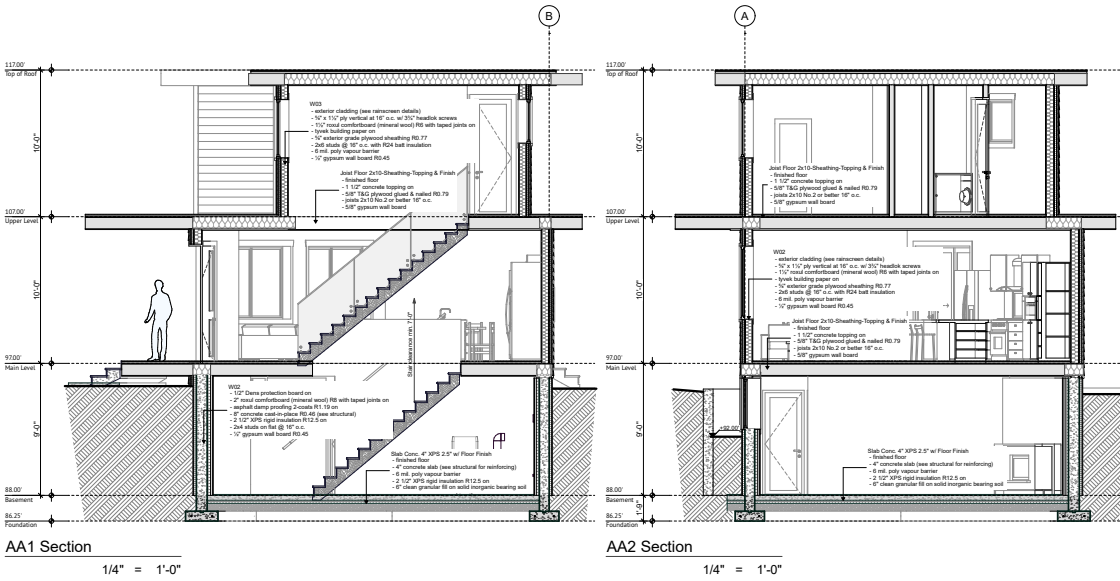
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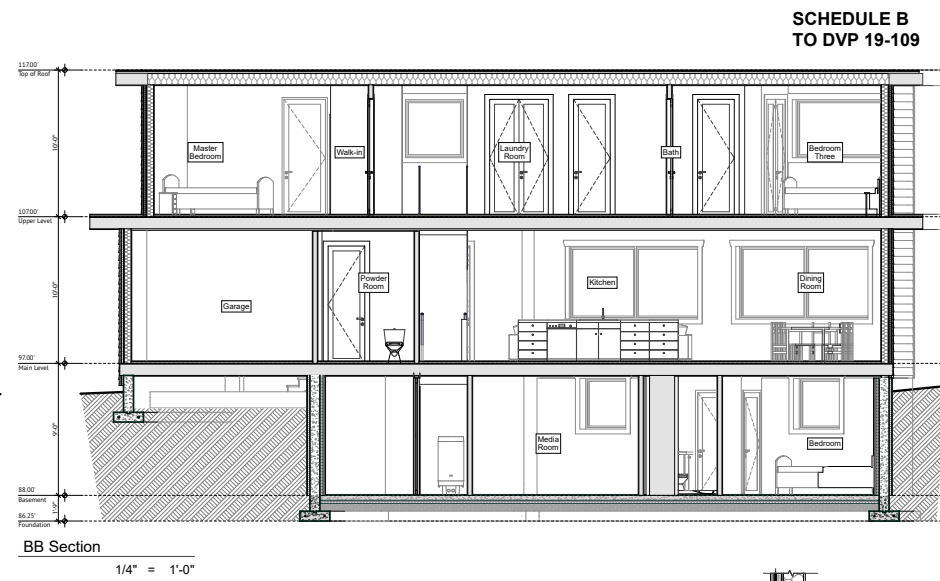
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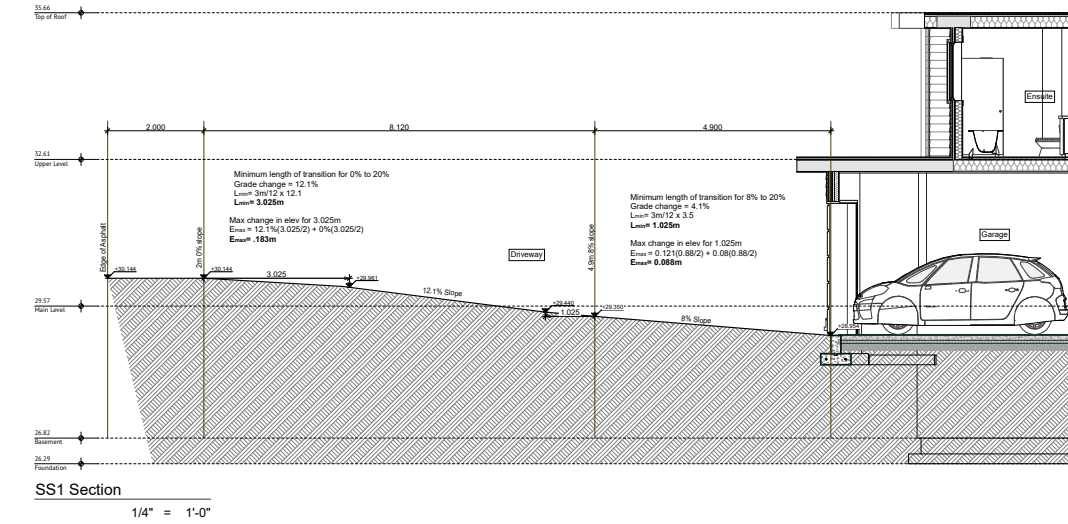
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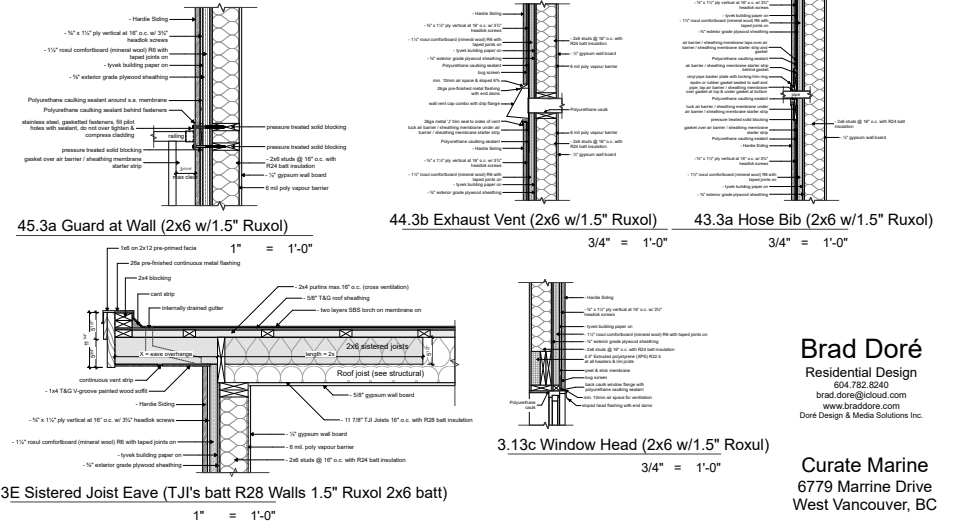
AA1 Section 1/4" = 1'-0"
AA2 Section 1/4" = 1'-0"



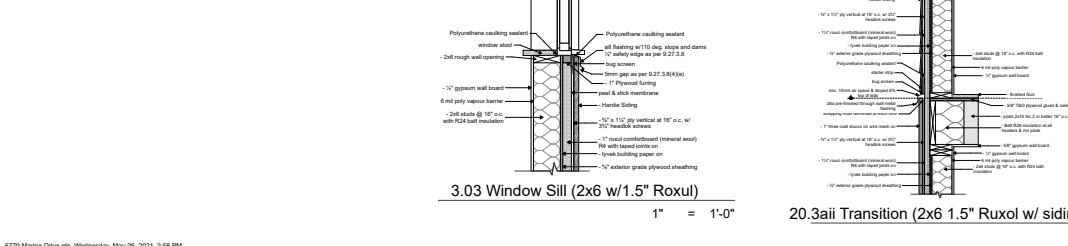
BB Section 1/4" = 1'-0"



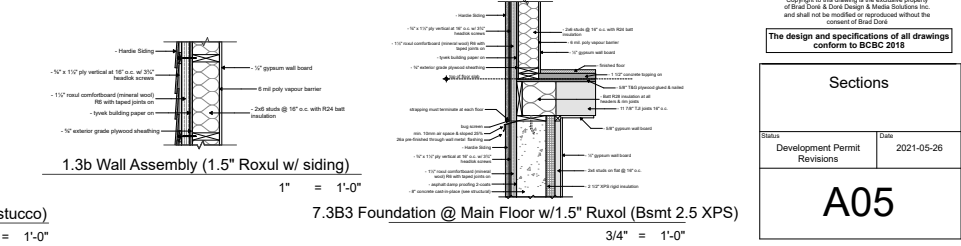
SS1 Section 1/4" = 1'-0"



45.3a Guard at Wall (2x6 w/1.5" Roxul) 1" = 1'-0"
44.3b Exhaust Vent (2x6 w/1.5" Roxul) 3/4" = 1'-0"
43.3a Hose Bib (2x6 w/1.5" Roxul) 3/4" = 1'-0"
3.13c Window Head (2x6 w/1.5" Roxul) 3/4" = 1'-0"
8.3E Sistered Joist Eave (TJI's batt R28 Walls 1.5" Roxul 2x6 batt) 1" = 1'-0"
1.3b Wall Assembly (1.5" Roxul w/ siding) 1" = 1'-0"



3.03 Window Sill (2x6 w/1.5" Roxul) 1" = 1'-0"
20.3aii Transition (2x6 1.5" Roxul w/ siding to stucco) 3/4" = 1'-0"



7.3B3 Foundation @ Main Floor w/1.5" Roxul (Bsmt 2.5 XPS) 3/4" = 1'-0"

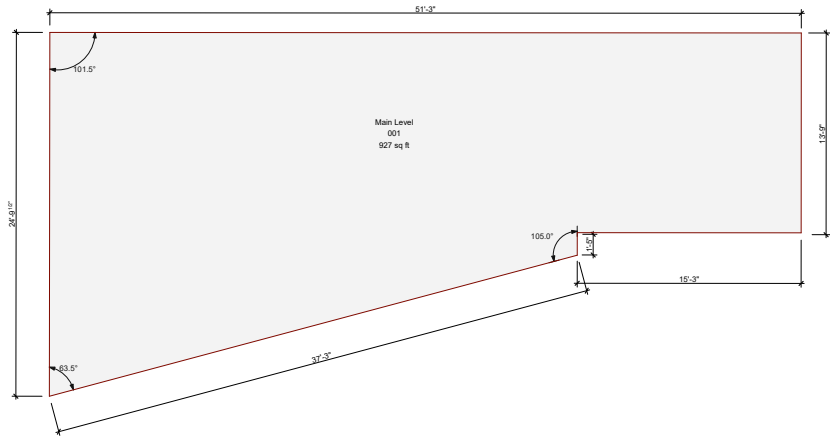
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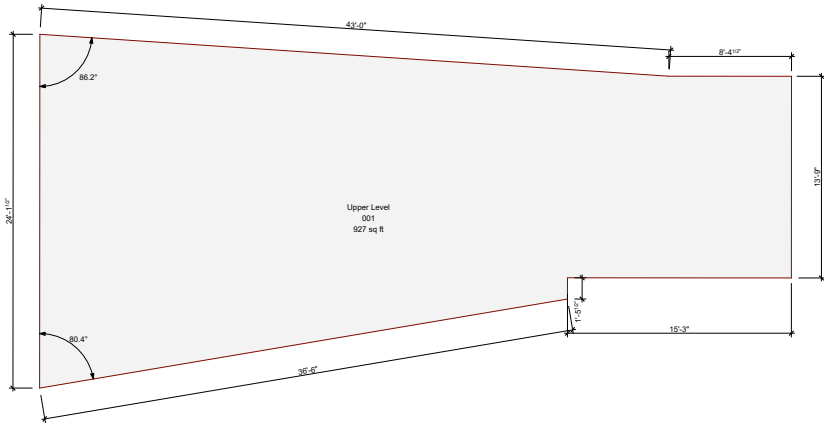
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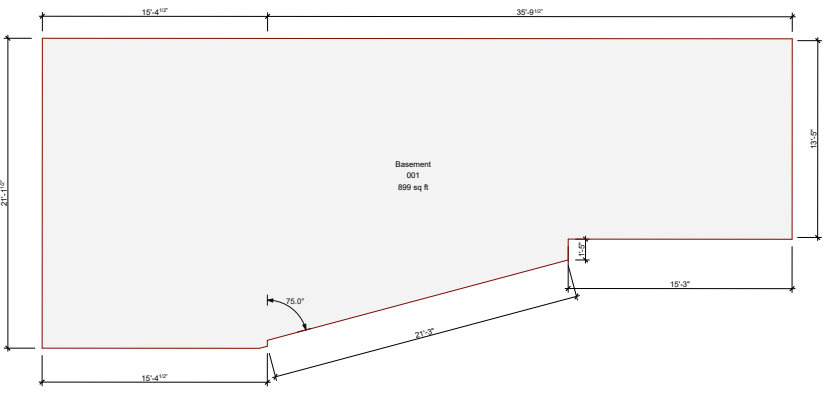
Sections	
Station	Date
Development Permit	2021-05-26
Revisions	
A05	



Main Level
1/4" = 1'-0"



Upper Level
1/4" = 1'-0"



Basement
1/4" = 1'-0"

Upper Level 927
Main Level 927
1,854 sq ft

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Subdivision**
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West Vancouver, BC

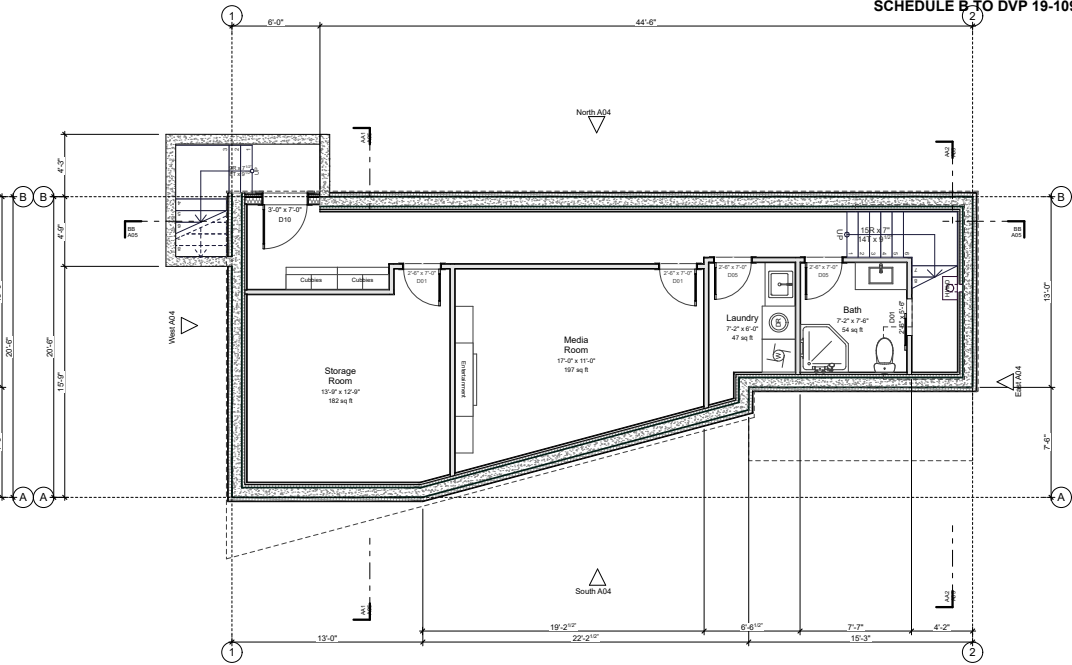
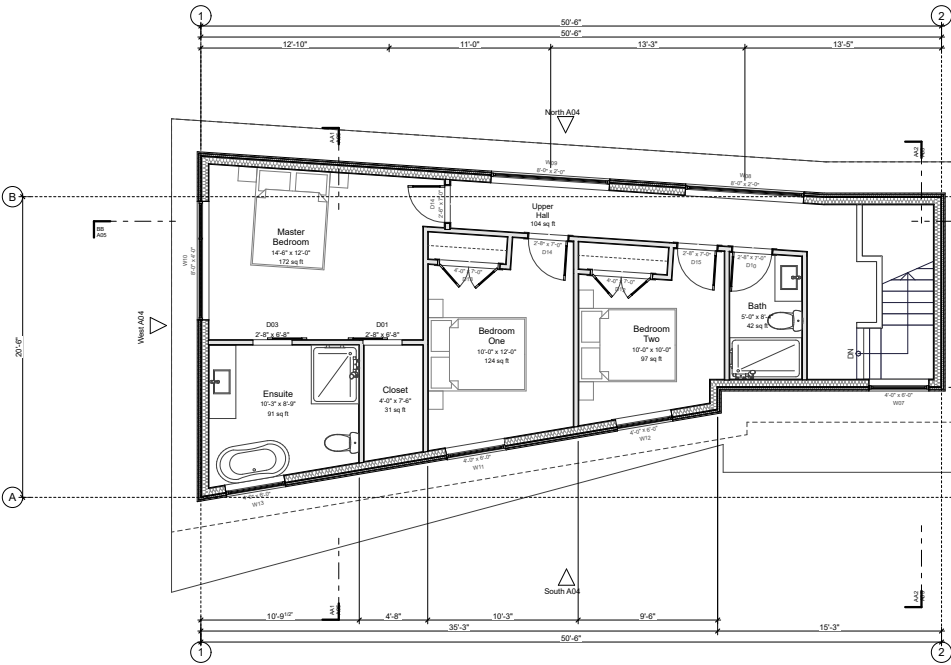
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Area Overlays

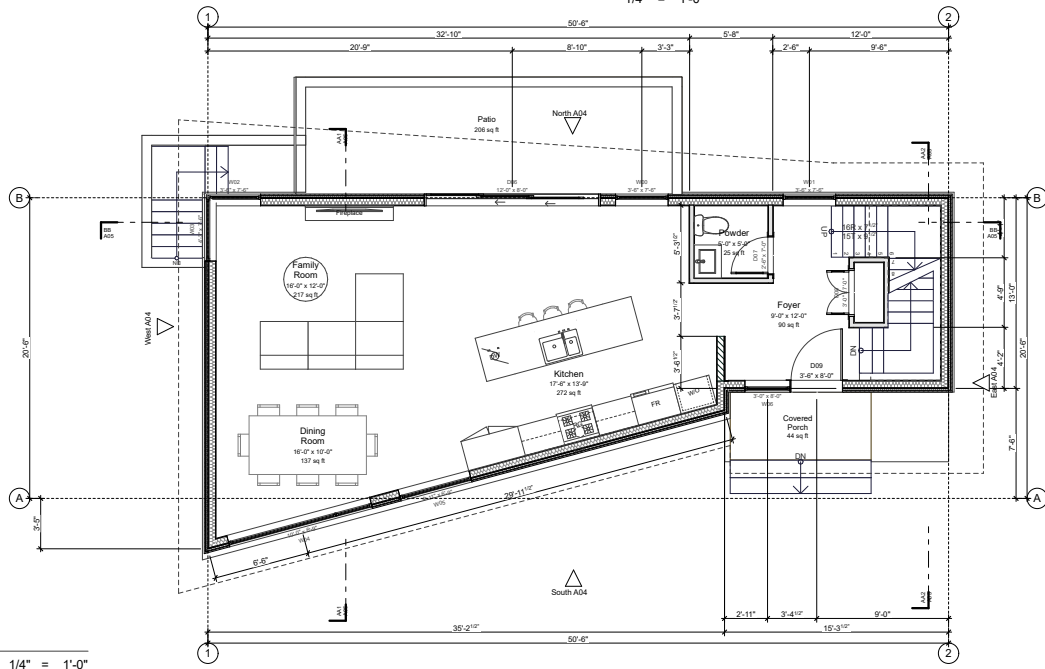
Status	Date
Development Permit Revisions	2021-06-01

A02



Upper Level
1/4" = 1'-0"

Basement
1/4" = 1'-0"



Main Level
1/4" = 1'-0"

Upper Level 927
Main Level 927
1,854 sq ft

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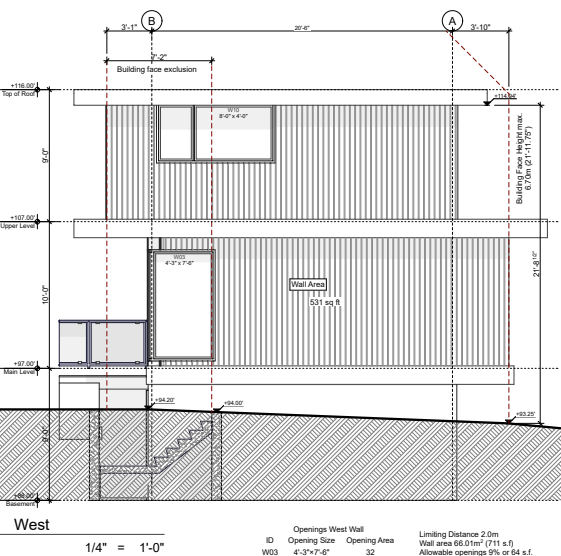
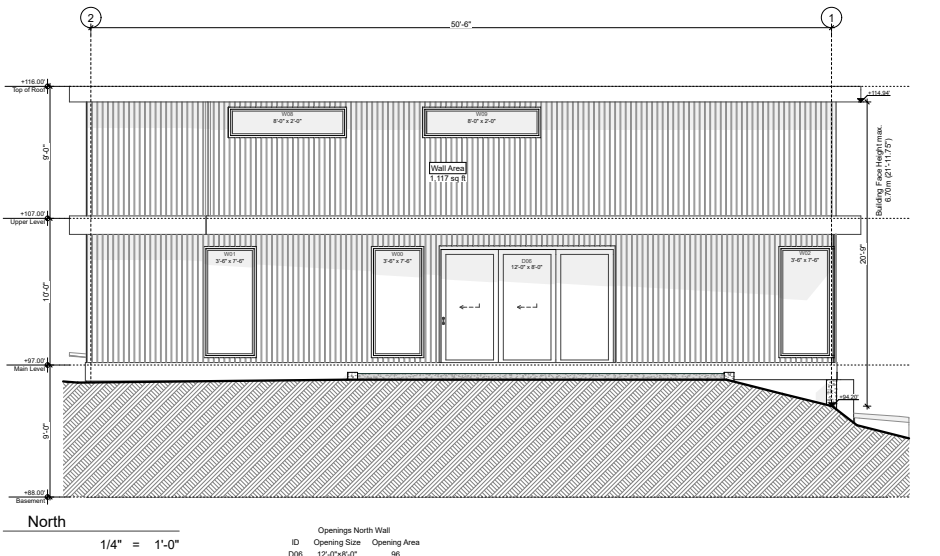
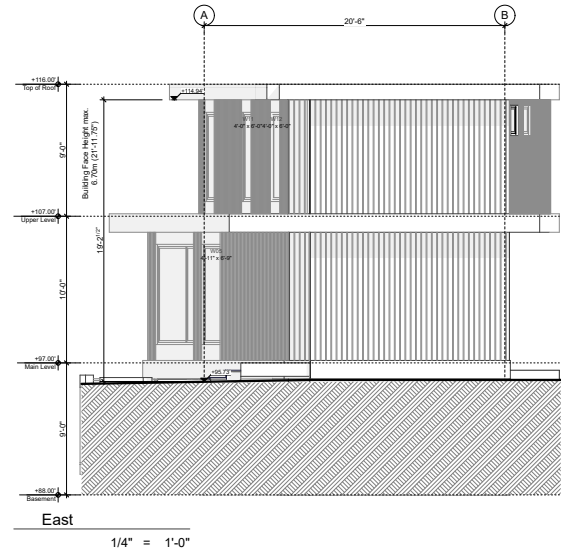
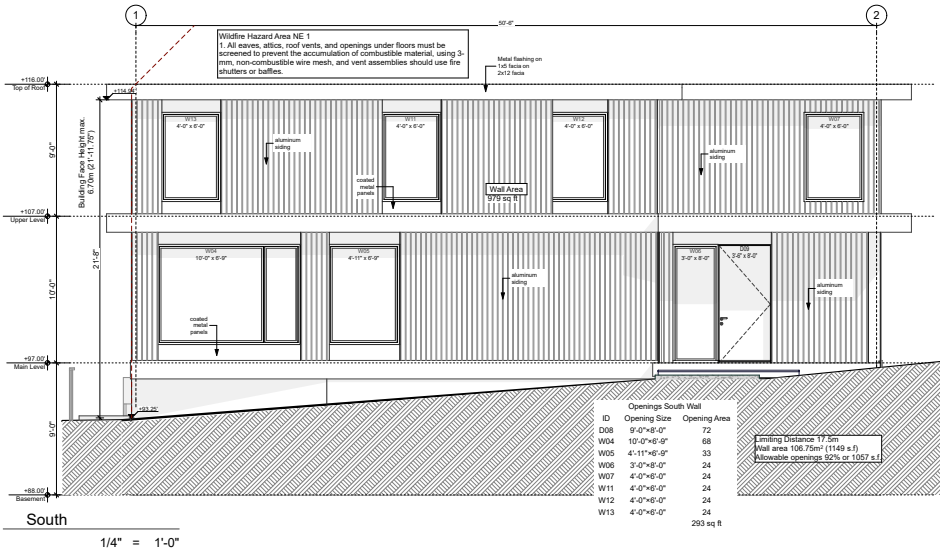
Dufferin Floor Plans	
Status	Date
Development Permit	2021-06-01
Revisions	
A03	

Dufferin Finished Grades

Average Finished Grade Calculation for Building and Structure Height							
Wall Section	Grade Start	Grade End	Average Grade	Wall Length	Y Value		
A-Ai	88.00	88.00	88.00	9.80	862.40		
Al-B	88.00	93.25	90.63	14.00	1268.75		
B-C	93.25	95.50	94.38	37.50	3529.31		
C-D	95.50	95.75	95.62	2.00	191.23		
D-E	95.75	95.75	95.75	15.25	1458.88		
E-F	95.75	95.50	95.62	13.50	1296.80		
F-G	95.50	94.20	94.85	58.77	5574.33		
G-A	94.20	88.00	91.10	1.00	91.10		
				151.65	14261.52	94.54	
Average Grade - Basement Floor Elevation					93.82 - 88.00	6.84	
main floor elevation - basement floor elevation					98.00 - 88.00	10.00	x 100
					Basement Floor Area Factor	65.42%	
Above Grade Floor Area					1855.00		
Basement Floor Area					899.00		
Basement Area Excluded					65.42%		
Total Floor Area					2190.80		
120.29 High-Performance Step 4 Excl. @ 0.04					2103.16		

Dufferin Existing Grades

Average Existing Grade Calculation for Building and Structure Height							
Wall Section	Grade Start	Grade End	Average Grade	Wall Length	Y Value		
A-Ai	94.20	93.50	93.85	9.80	919.73		
Al-B	93.50	93.25	93.38	14.00	1307.25		
B-C	93.25	94.80	94.03	37.50	3508.56		
C-D	94.80	94.80	94.80	2.00	189.60		
D-E	94.80	97.20	96.00	15.25	1484.00		
E-F	97.20	95.00	96.15	13.50	1300.73		
F-G	95.00	94.20	94.60	58.77	5589.64		
G-A	94.20	93.00	93.60	1.00	93.60		
				151.65	14344.50	94.59	
Average Grade - Basement Floor Elevation					94.59 - 88.00	6.59	
main floor elevation - basement floor elevation					98.00 - 88.00	10.00	x 100
					Basement Floor Area Factor	65.90%	
Above Grade Floor Area					1855.00		
Basement Floor Area					899.00		
Basement Area Excluded					65.90%		
Total Floor Area					2141.80		
120.29 High-Performance Step 4 @ 0.04					2055.94		



Dufferin Avenue Materials Board



- Exterior Siding and Soffits
- Vertical Aluminum Siding (dark brown or black in colour)
- Solid coloured fire rated soffits

Windows

- Black Vinyl Energy Efficient Windows



- Exposed Concrete Foundation
- Architectural Concrete

Dufferin Marine Subdivision
6779 Dufferin Avenue
West Vancouver, BC

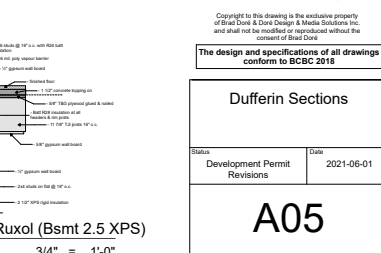
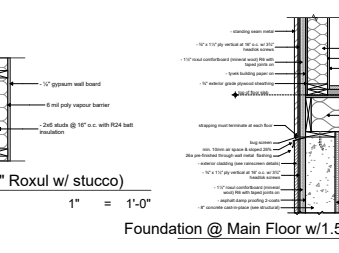
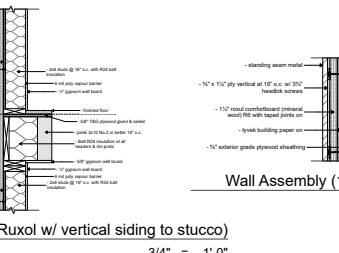
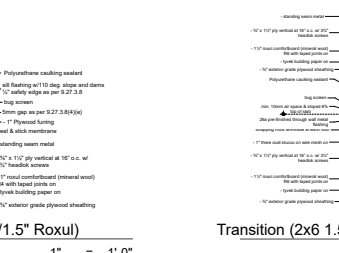
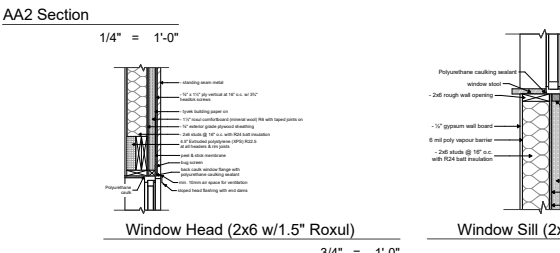
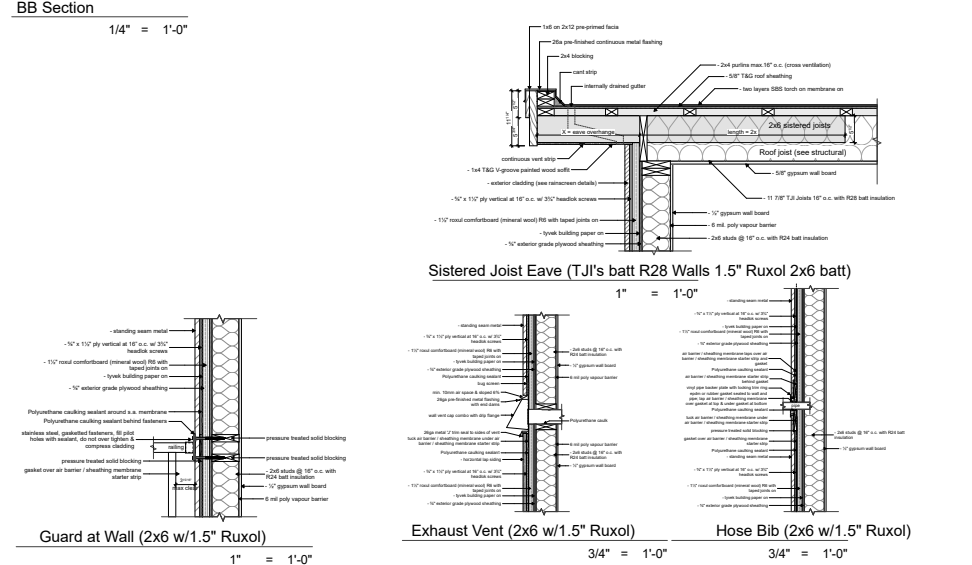
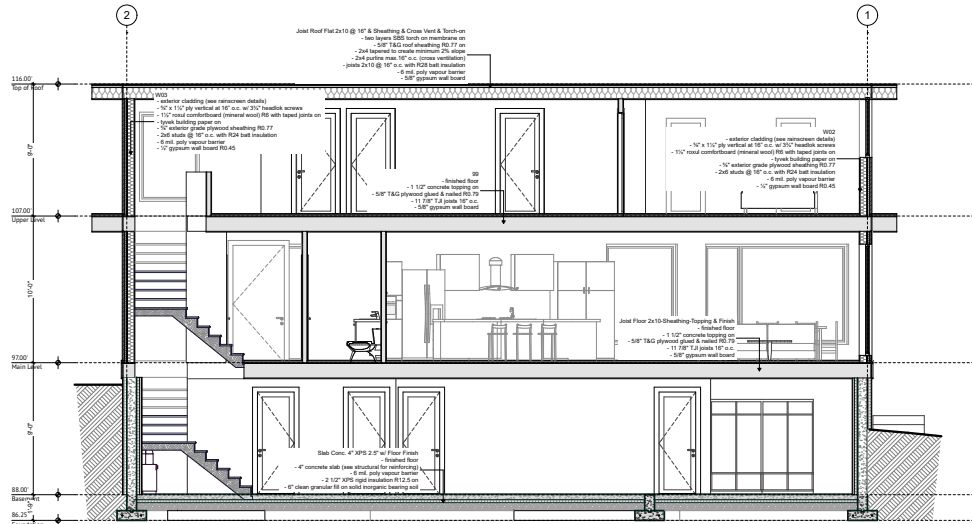
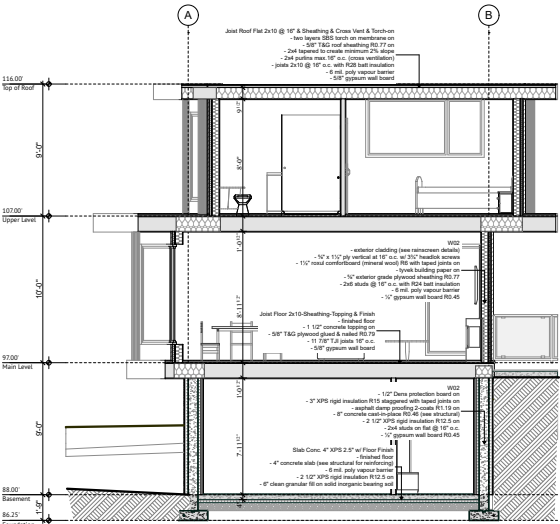
Dufferin Elevations	
Status	Date
Development Permit Revisions	2021-06-01

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A04

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Dufferin Sections

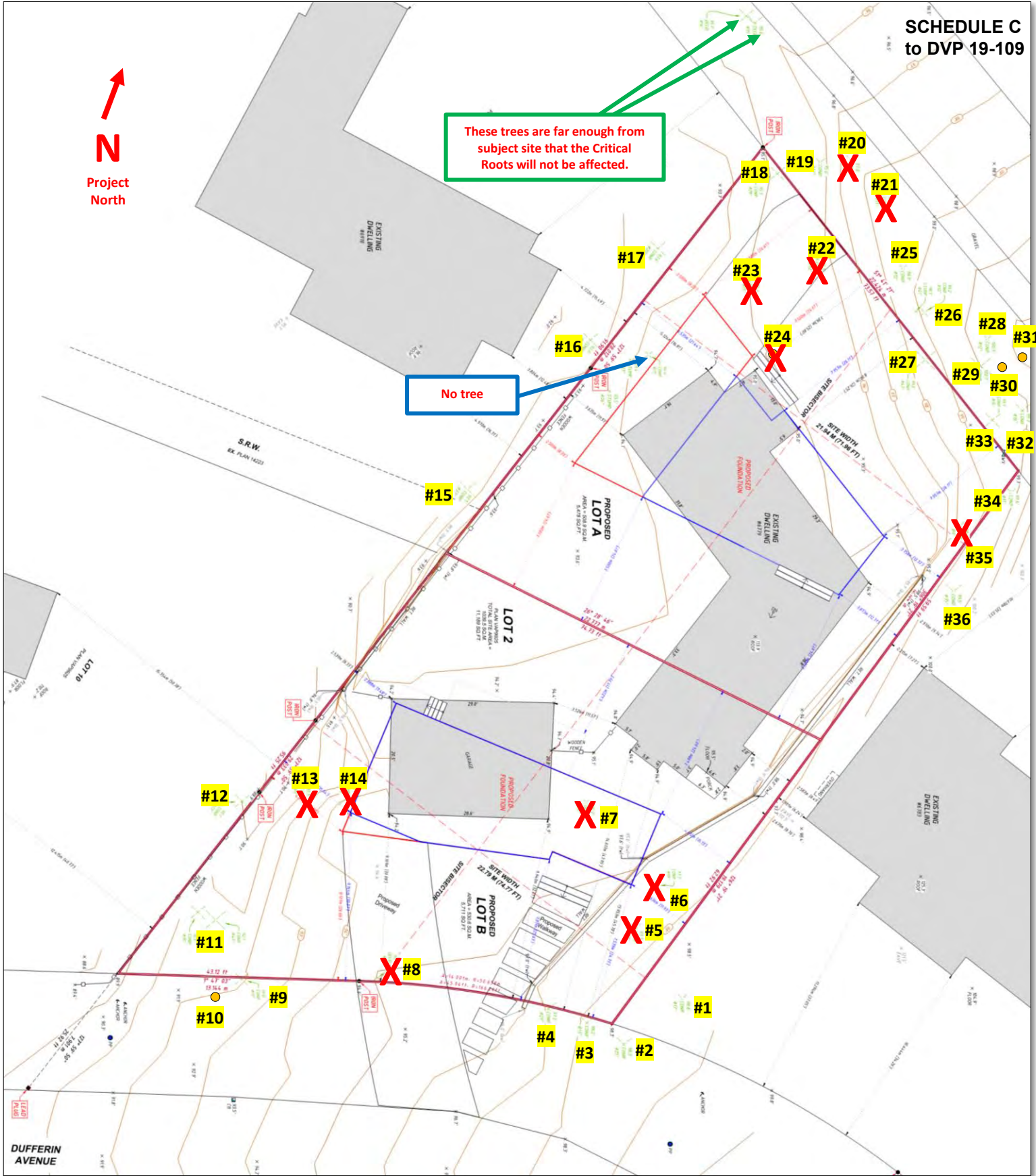
Station	Description	Date
	Development Permit Revisions	2021-06-01

A05



These trees are far enough from
subject site that the Critical
Roots will not be affected.

No tree

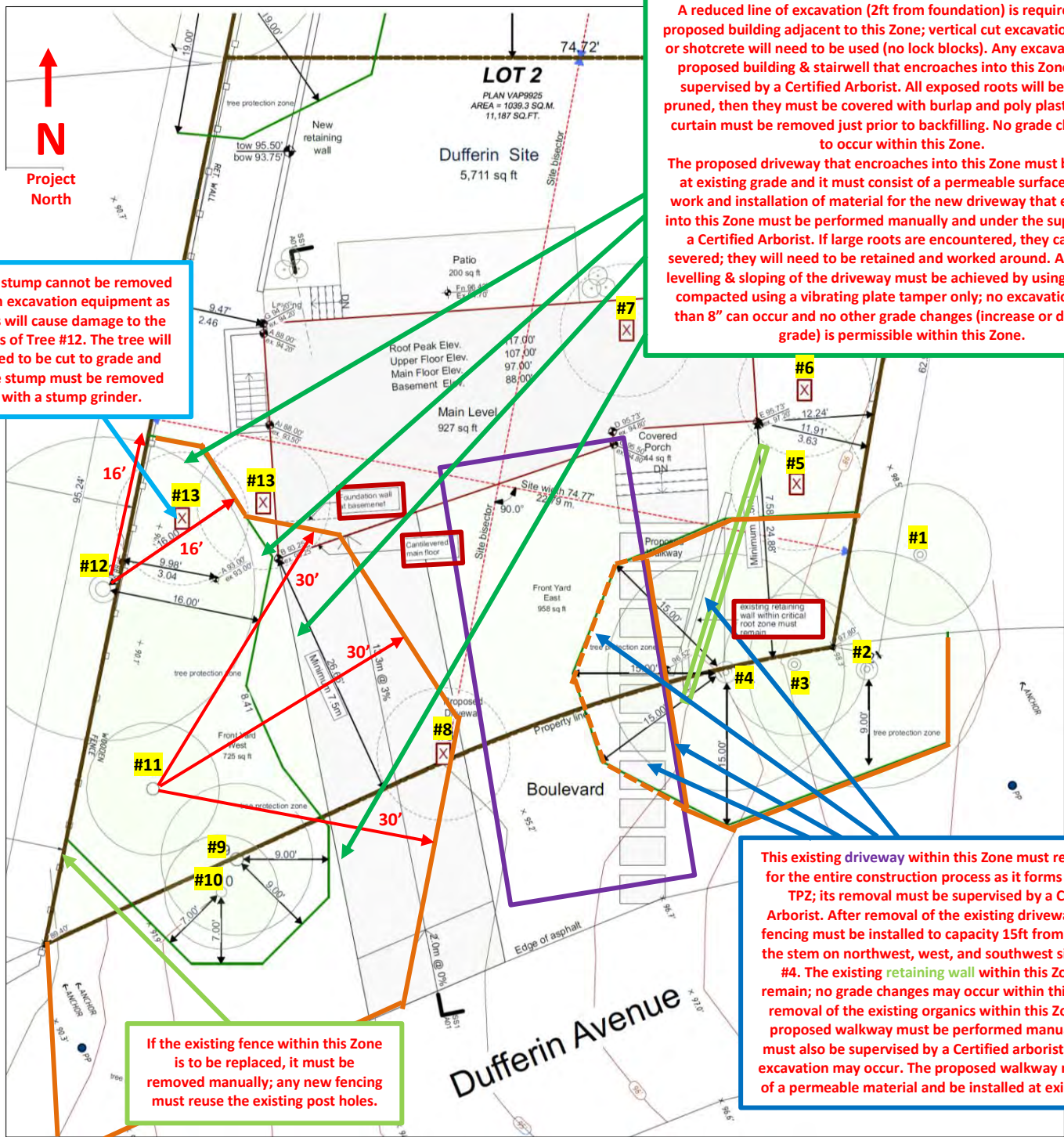


Site Survey, Not to Scale

This stump cannot be removed with excavation equipment as this will cause damage to the roots of Tree #12. The tree will need to be cut to grade and the stump must be removed with a stump grinder.

A reduced line of excavation (2ft from foundation) is required for the proposed building adjacent to this Zone; vertical cut excavation & shoring or shotcrete will need to be used (no lock blocks). Any excavation for the proposed building & stairwell that encroaches into this Zone must be supervised by a Certified Arborist. All exposed roots will be properly pruned, then they must be covered with burlap and poly plastic; this root curtain must be removed just prior to backfilling. No grade changes are to occur within this Zone.

The proposed driveway that encroaches into this Zone must be installed at existing grade and it must consist of a permeable surface. All prep work and installation of material for the new driveway that encroaches into this Zone must be performed manually and under the supervision of a Certified Arborist. If large roots are encountered, they cannot be severed; they will need to be retained and worked around. Any grading, levelling & sloping of the driveway must be achieved by using gravel and compacted using a vibrating plate tamper only; no excavation greater than 8" can occur and no other grade changes (increase or decrease in grade) is permissible within this Zone.



If the existing fence within this Zone is to be replaced, it must be removed manually; any new fencing must reuse the existing post holes.

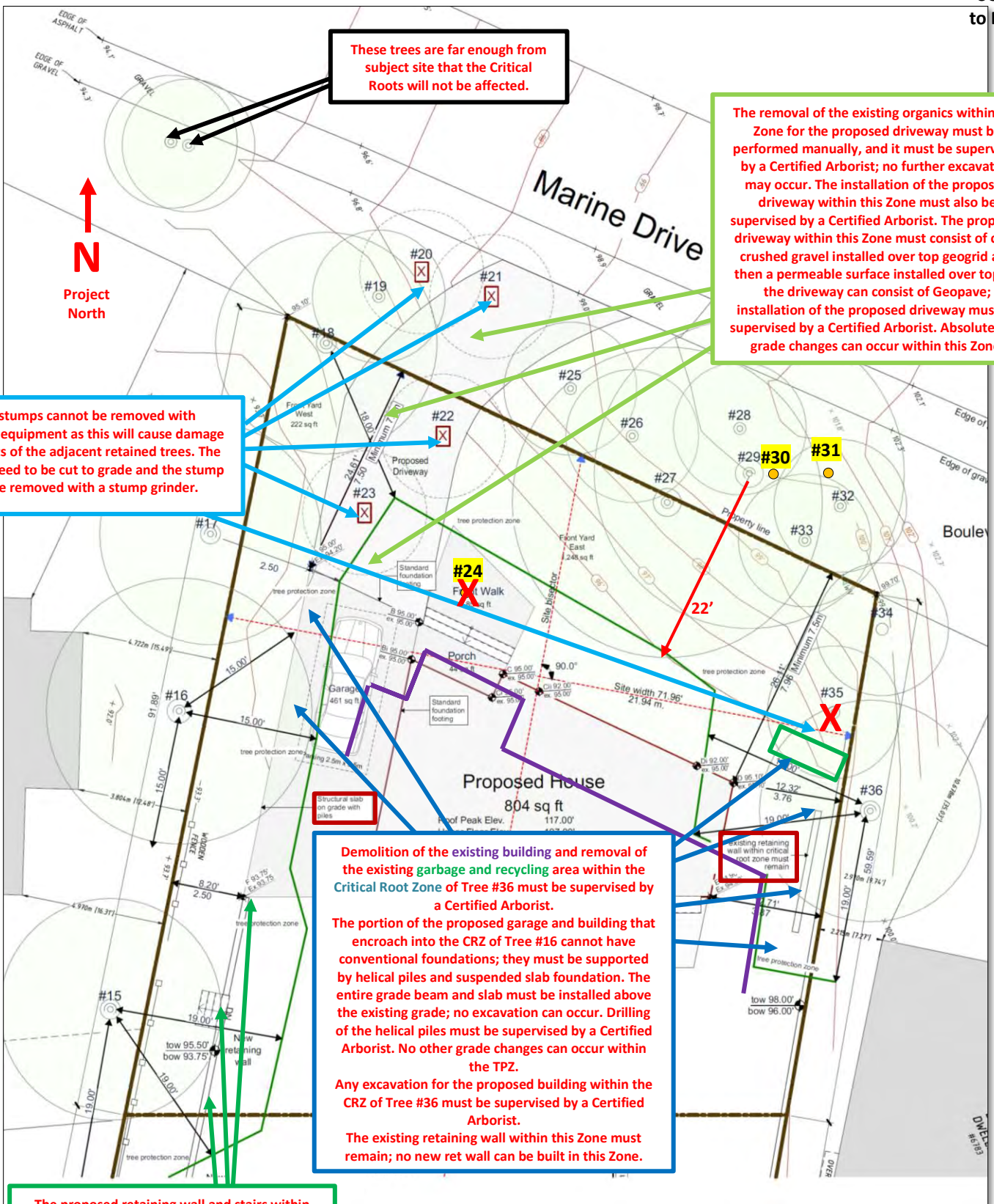
This existing driveway within this Zone must remain intact for the entire construction process as it forms part of the TPZ; its removal must be supervised by a Certified Arborist. After removal of the existing driveway, the TPZ fencing must be installed to capacity 15ft from the base of the stem on northwest, west, and southwest sides of Tree #4. The existing retaining wall within this Zone must remain; no grade changes may occur within this Zone. The removal of the existing organics within this Zone for the proposed walkway must be performed manually, and it must also be supervised by a Certified arborist; no further excavation may occur. The proposed walkway must consist of a permeable material and be installed at existing grade.

Dufferin Ave (Lot #2) Tree Management Plan, Scale 1/16" = 1'

Wildfire Hazard Area NE 1

1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
2. All chimneys and wood-burning appliances must have spark arrestors.
3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible materials should be used (concrete).

The proposed lawn that encroaches into any TPZ must be installed at or near existing grade and at least 3ft from the base of the stem of any tree. No more than 3" of additional good quality landscape soil may be added within this Zone; no further grade changes can occur.



These trees are far enough from subject site that the Critical Roots will not be affected.

The removal of the existing organics within this Zone for the proposed driveway must be performed manually, and it must be supervised by a Certified Arborist; no further excavation may occur. The installation of the proposed driveway within this Zone must also be supervised by a Certified Arborist. The proposed driveway within this Zone must consist of clear crushed gravel installed over top geogrid and then a permeable surface installed over top, or the driveway can consist of Geopave; installation of the proposed driveway must be supervised by a Certified Arborist. Absolutely no grade changes can occur within this Zone.

These stumps cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained trees. The trees will need to be cut to grade and the stump must be removed with a stump grinder.

Demolition of the existing building and removal of the existing garbage and recycling area within the Critical Root Zone of Tree #36 must be supervised by a Certified Arborist. The portion of the proposed garage and building that encroach into the CRZ of Tree #16 cannot have conventional foundations; they must be supported by helical piles and suspended slab foundation. The entire grade beam and slab must be installed above the existing grade; no excavation can occur. Drilling of the helical piles must be supervised by a Certified Arborist. No other grade changes can occur within the TPZ. Any excavation for the proposed building within the CRZ of Tree #36 must be supervised by a Certified Arborist. The existing retaining wall within this Zone must remain; no new ret wall can be built in this Zone.

The proposed retaining wall and stairs within this Zone must be shifted farther east. Any excavation for the proposed building, retaining wall, and stairs within this Zone must be supervised by a Certified Arborist.

Marine Dr (Lot #1) Tree Management Plan, Scale 1/16" = 1'

- Wildfire Hazard Area NE 1**
1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
 2. All chimneys and wood-burning appliances must have spark arrestors.
 3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
 4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible materials should be used (concrete).



April 15, 2021

RE: Arborist Report for Gallery Homes - For property located at 6779 Dufferin Ave., West Vancouver, BC

Applicant: Gallery Homes
C/o: Brodie Gunn
Phone: 778 - 891 - 9066
Email: brodie@galleryhomes.ca

Further to the revised Arborist Report dated March 9, 2021, this is to serve as another revision. Due to a subdivision proposal, it was requested that a report be compiled discussing trees located at and adjacent to the address named above. This site was inspected on October 9, 2019, and again on December 10, 2020 and January 27, 2021. Thirty-six trees were assessed; they have been numbered 1 - 36 for the purpose of this report. Forty-seven photographs, and copies of the site survey, site plans, and the floor plans and elevations have been included as part of this report. Servicing details have not been provided yet; the services and the lines of excavation required must avoid the protection zones of any retained trees.

An original large scaled copy of the site plan indicating trees marked for removal, and the locations of Tree Protection Zone fencing has *not* been included with this report; this will be provided by the applicant if required.

GENERAL CONSTRUCTION & LANDSCAPING NOTES:

- Any permitted tree removal(s) must be performed by qualified professional to avoid contravention of Work Safe BC regulations.
- No grade changes are to occur within the Critical Root Zones of any retained trees. Any roots exposed from lines of excavation must be covered with burlap and then poly plastic in an effort to prevent desiccation of exposed roots; this root curtain must be removed prior to backfilling. Trees must be adequately watered during the entire construction process.
- The removal of existing organics within the Critical Root Zones of retained trees must be performed manually. When installing new plant material within the Critical Root Zones of retained trees, if large roots (1.5" diameter and larger) are encountered, then new plantings and must be shifted to accommodate. No more than 3" of additional soil for new landscaping may be added within any Critical Root Zone.
- Any excavation or work within the Protection Zone of retained trees requires the supervision of a Certified Arborist. This includes, but is not limited to; demolition, the installation or removal of any permeable or impermeable surfaces (concrete, asphalt, pavers, etc.), installation of permanent or temporary services (gas, sewer, storm, sanitary, communications, electrical, irrigation, etc.), during the installation of patios, driveways, or any hardscape, during the installation of footings for fences, walls, decorative walls, retaining walls, decks, and deck footings.
- Construction materials must not be stored within the Tree Protection Zones (TPZ) of trees to be retained, and TPZ fencing is to remain intact for the entire construction process. Signage must be clearly posted on each side of the barrier indicating 'TREE PROTECTION ZONE – DO NOT ENTER OR MODIFY'. Contact your project Arborist for any TPZ barrier issues.

Limitations: This report is based on a visual assessment, from the ground only. No core or tissue samples were taken; no root crown excavations were performed. This report provides no undertakings regarding the future condition or behaviour of the trees reviewed in it. Tree hazards and conditions do change over time, and the evaluation period for this report is valid for the day on which it was performed only. Recommendations are to serve only as a guideline for the care, retention, and protection of the tree(s), and are made according to commonly accepted arboricultural practises, and do not guarantee the survival and/or safety of the specimen(s). No responsibility is assumed for any legal matters as a result of this report. The consultant shall not be required to give testimony or attend court by any reason of this report unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this report invalidates the entire report. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this report shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,

Charmaine Hermann – sent electronically
Consulting Arborist
ISA Certified Arborist #PN – 8140A
ISA TRAQ Certified Tree Risk Assessor
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<u>TREE</u>	<u>SPECIES</u>	<u>DBH</u>	<u>HEIGHT</u>	<u>CRZ</u>	<u>Condition</u>	<u>OBSERVATIONS & RECOMMENDATIONS</u>
#		(cm)	(m) est.	radius (ft.)		
1	Western red cedar (<i>Thuja plicata</i>)	42	9	8.7'	Good	<p>This tree belongs to the neighbouring property. The crown has not been raised. There are ivy and ferns growing at the base; this impeded a thorough inspection. The grade of the property slopes downward west of the stem. The Critical Root Zone radius is 8.7ft.</p> <p>RECOMMENDATIONS: RETAIN. One large Zone shall protect Trees #1 - #4. Install Tree Protection Zone fencing 9ft from the base of the stem on south side of Tree #2, 15ft from the base of the stem on the south and north sides of Tree #4, and adjacent to the existing driveway on the west side of the stem of Tree #4.</p> <p>This existing driveway must remain intact for the entire construction process as it forms part of the Tree Protection Zone; its removal must be supervised by a Certified Arborist. After removal of the existing driveway, the TPZ fencing must be installed to capacity 15ft from the base of the stem on northwest, west, and southwest sides of Tree #4. The existing retaining wall within this Zone must remain; no grade changes may occur within this Zone.</p> <p>The removal of the existing organics within this Zone for the proposed walkway must be performed manually, and it must also be supervised by a Certified arborist; no further excavation may occur. The proposed walkway must consist of a permeable material and be installed at existing grade.</p> <p>The proposed lawn that encroaches into the TPZ must be installed at or near existing grade and at least 3ft from the base of the stem of any tree. No more than 3" of additional good quality landscape soil (not construction fill) may be added within this Zone; no further grade changes can occur.</p>
2	Western red cedar (<i>Thuja plicata</i>)	57	9	11.8'	Good	<p>This tree belongs to the Municipality. It forms part of a group. It has multiple stems commencing at the base and a slight basal sweep to the northeast. The canopy has also been raised. Due to their proximity, Trees #2 & #3 form one crown. The grade of the property slopes downward west of the stem. The existing concrete with rock face retaining wall is 2ft from the west side of the stem. The Critical Root Zone radius is 11.8ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #1. One large Zone shall protect Trees #1 - #4.</p>
3	Western red cedar (<i>Thuja plicata</i>)	37	9	7.6'	Good	<p>This tree belongs to the Municipality. It forms part of a group. It has a corrected lean to the southeast. Exposed tension roots were noted on the west side of the stem. Due to their proximity, Trees #2 & #3 form a shared crown. The grade of the property slopes downward west of the stem. The existing concrete with rock face retaining wall is 9ft from the west side of the stem. The Critical Root Zone radius is 7.6ft.</p> <p>RECOMMENDATIONS:</p>

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#		(cm)	(m) est.	radius (ft.)		
						RETAIN. See recommendations for Tree #1. One large Zone shall protect Trees #1 - #4.
4	Western red cedar (<i>Thuja plicata</i>)	69	9	14.2'	Fair	<p>This tree mostly belongs to the Municipality. It is somewhat stressed. It forms part of a group. It appears to be growing from a large old stump. It originally had two stems commencing at the base; one stem has been previously removed 1ft north of the remaining stem. It has a corrected lean to the south. The crown has been raised and pruning stubs remain on the lower part of the stem. There is also some dieback and moderate browning of the foliage. Large roots measuring 11" and 8" in diameter have been severed 3ft from the base on the south side of the stem. The grade of the property slopes downward southwest of the stem. The existing 1.5ft tall rock and mortar retaining wall is 2ft from the west side of the stem, and the existing asphalt driveway is 5ft from the southwest side of the stem. The Critical Root Zone radius is 14.2ft. The proposed walkway is 4ft from the west side of the stem. There is also a proposed lawn within the CRZ.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #1. One large Zone shall protect Trees #1 - #4.</p>
5	Western red cedar (<i>Thuja plicata</i>)	37	9	7.5'	Fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. The canopy has been raised; some pruning stubs remain. There is ivy growing at the base of the stem; this impeded a thorough inspection. There is some branch and twig dieback throughout the canopy. The existing 2ft tall rock and mortar retaining wall is 5ft from the west side of the stem. The Critical Root Zone radius is 7.5ft. The proposed building is 6ft from the northwest side of the stem, and the proposed covered porch is 8.5ft from the northwest side of the stem, not including the excavation required.</p> <p>RECOMMENDATIONS: REMOVE. This is not a protected tree. Its removal will also enable the lines of excavation required for the proposed building and covered porch.</p>
6	Western red cedar (<i>Thuja plicata</i>)	49	9	10.1'	Fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. The canopy has been raised; some pruning stubs remain. There is ivy growing at the base of the stem; this impeded a thorough inspection. There is some branch and twig dieback throughout the canopy. The existing 2ft tall rock and mortar retaining wall is 1.5ft from the west side of the stem. The Critical Root Zone radius is 10.1ft. The proposed building is 5ft from the west side of the stem, not including the excavation required.</p> <p>RECOMMENDATIONS: REMOVE. This is not a protected tree. Its removal will also enable the proposed building.</p>
7	Japanese maple (<i>Acer palmatum</i>)	39 combined (17+14+8)	6	8'	Good/Fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. It has two stems commencing at 3ft; these stems divide again farther up. There is minor twig dieback throughout the canopy. The crown is in contact with the roof of the</p>

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						garage. The existing garage is 5ft from the west side of the stem, and the existing paver walkway is 3ft from the south side of the stem. The Critical Root Zone radius is 8ft. It is within the footprint of the proposed building. RECOMMENDATIONS: REMOVE. This is not a protected tree. Its removal will also enable the proposed building.
8	Japanese maple (<i>Acer palmatum</i>)	34 combined (15+11+8)	6	7'	Good/Fair	This tree is not of a size or species that requires it to be protected under the interim tree by-law. It has two stems commencing at 2ft; these stems divide again farther up. There is minor branch and twig dieback throughout the canopy. The existing asphalt driveway is 5.5ft from the east side of the stem. The Critical Root Zone radius is 7ft. It is within the footprint of the proposed driveway. RECOMMENDATIONS: REMOVE. This is not a protected tree. Its removal will enable the proposed driveway.
9	Western red cedar (<i>Thuja plicata</i>)	40	7	8.2'	Good/Fair	This tree is shared ownership with the Municipality. It has a slight corrected lean to the south. The crown has not been raised. The grade of the property slopes downward west of the stem. The Critical Root Zone radius is 8.2ft. RECOMMENDATIONS: RETAIN. One large Zone shall protect Trees #9 - #12. Install Tree Protection Zone fencing 16ft from the base of the stem on the north and northeast sides of Tree #12, 30ft from the base of the stem on the northeast and east sides of Tree #11, and adjacent to the roadway on the south side of Trees #9 - #11. No grade changes are to occur within this Zone. A reduced line of excavation (2ft from foundation) is required for the proposed building adjacent to this Zone; vertical cut excavation and shoring or shotcrete will need to be used (no lock blocks). Any excavation for the proposed building and stairwell that encroaches into this Zone must be supervised by a Certified Arborist. All exposed roots will be properly pruned, then they must be covered with burlap and poly plastic in an effort to prevent desiccation of exposed roots; this root curtain must be removed just prior to backfilling. No grade changes are to occur within this Zone. The proposed driveway that encroaches into this Zone must be installed at existing grade and it must consist of a permeable surface. All prep work and installation of material for the new driveway that encroaches into this Zone must be performed manually and under the supervision of a Certified Arborist. If large roots (1.5" diameter and larger) are encountered, they cannot be severed; they will need to be retained and worked around. Any grading, levelling and sloping of the driveway must be achieved by using gravel (not construction fill) and compacted using a vibrating plate tamper only; no excavation greater than 8" can occur and no other grade changes (increase or decrease in grade) is permissible within this Zone.

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#		(cm)	(m) est.	radius (ft.)		
						<p>If the existing fence within this Zone is to be replaced, it must be removed manually; any new fencing must reuse the existing post holes.</p> <p>The proposed lawn that encroaches into the TPZ must be installed at or near existing grade and at least 3ft from the base of the stem of any tree. No more than 3' of additional good quality landscape soil (not construction fill) may be added within this Zone; no further grade changes can occur.</p>
10	Hazelnut (<i>Corylus sp.</i>)	30 est. combined (12+10+8)	7	6.2'	Fair	<p>This tree belongs to the Municipality. It was not included on the site survey; therefore, its approximate location has been identified. It appears to be a volunteer rather than a planted specimen. It has multiple stems commencing at the base. The crown has been cut back on the south side to provide clearance to the reduction lines and communication cables. The Critical Root Zone radius is 6.2ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #9. One large Zone shall protect Trees #9 - #12.</p>
11	Douglas fir (<i>Pseudotsuga menziesii</i>)	157 combined (99+58)	21	32.2'	Good/fair	<p>This tree has two large stems commencing at the base; it is marked on the survey as two trees. It is on a steep slope; the grade slopes downward west of the stem. The existing wood fence is 2.5ft from the west side of the stem. The grade of the neighbouring property drops steeply immediately west of this fence, leaving limited rooting capacity west of the stem. The Critical Root Zone radius is 32.2ft; this is somewhat skewed based on the combined diameter of stems. The proposed building is 30ft from the northeast side of the stem, not including the excavation required. There is also a proposed driveway 17ft from the northeast and east sides of the stem; the excavation required is no greater than 8inches. There is a proposed lawn within the CRZ.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #9. One large Zone shall protect Trees #9 - #12.</p>
12	Western red cedar (<i>Thuja plicata</i>)	58 per survey	9	11.9'	Good/fair	<p>This tree belongs to the neighbouring property. It was viewed from the subject site only. The crown is asymmetrical and more heavily weighted to the south. The grade of the neighbouring property drops steeply immediately west of this fence, leaving limited rooting capacity west of the stem. The existing wood fence is adjacent to the east side of the stem. The Critical Root Zone radius is 11.9ft; this is inadequate given the limited rooting capacity west of the stem, the degree of slope, and the supportive/anchoring roots being on the uphill side. The proposed building foundation is 18ft from the east side, and the proposed stairwell is 20ft from the northeast side of the stem, not including the excavation required. There is also a proposed driveway 17.5ft from the northeast and east sides of the stem.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #9. One large Zone shall protect Trees #9 - #12.</p>

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#		(cm)	(m) est.	radius (ft.)		
13	Western red cedar (<i>Thuja plicata</i>)	21	8	4.3'	Good/fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. There is ivy surrounding the base; this impeded a thorough inspection. It is somewhat suppressed by larger adjacent trees, and the crown has not been raised. It is on a steep slope; the grade slopes downward west of the stem. The Critical Root Zone radius is 4.3ft. The proposed building is 8.5ft from the east side of the stem, not including the excavation required.</p> <p>RECOMMENDATIONS: REMOVE. This is not a protected tree. Removal is necessary since it is within close proximity to the proposed building and the line of excavation required.</p> <p>The stump of this tree cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained tree. The tree will need to be cut to grade and the stump must be removed with a stump grinder.</p>
14	Western red cedar (<i>Thuja plicata</i>)	72	15	14.9'	Good/fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. The crown has been raised to provide clearance to the existing garage. The canopy is wide spreading and there is a rope tied around the stem at 8ft. It is on a steep slope; the grade slopes downward west of the stem. The existing garage on slab foundation is 5.5ft from the east side of the stem. There is also a gravel walkway adjacent to the east side of the stem. The Critical Root Zone radius is 14.5ft. The proposed building is adjacent to the east side of the stem; it is within the line of excavation required.</p> <p>RECOMMENDATIONS: REMOVE. This is not a protected tree. Its removal will enable the proposed building.</p>
15	Western red cedar (<i>Thuja plicata</i>)	94 per survey	15	19.4'	Good	<p>This tree belongs to the neighbouring property. It was viewed from the subject site only, access to this portion of the yard was limited and could be viewed from the north side of the existing building only. The crown has been raised to provide clearance to the existing fence and neighbouring yard. It has two stems commencing at 18ft. It is on a steep slope; the grade slopes downward west of the stem. The Statutory Right of Way runs adjacent to the south side of the stem. There is an existing wood fence on the east side of the stem. The Critical Root Zone radius is 19.4ft. The proposed stairs are 9ft from the east side of the stem, the proposed retaining wall is 11ft from the east side of the stem, and the proposed garage and building is 18ft from the northeast side of the stem, not including the excavation required.</p> <p>RECOMMENDATIONS: RETAIN. One large Zone shall protect Trees #15 - #19 & #25 - #36. Install Tree Protection Zone fencing 19ft from the base of the stem on the south, southeast, and east sides of Tree #15, 15ft from the base of the stem on the south and east sides of Tree #16, 18ft from the southeast side of Tree #18, 22ft from the south side of Tree #29, 19ft from the northwest, west, and south sides of Tree #36, adjacent to the existing building on the southwest side of Tree #36, and</p>

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#		(cm)	(m) est.	(ft.)		
						<p>adjacent to the Municipal roadway on the north side of Trees #19 - #32.</p> <p>The proposed retaining wall and stairs east of Tree #15 must be shifted farther east. Any excavation for the proposed building, retaining wall, and stairs within this Zone must be supervised by a Certified Arborist. All exposed roots will be properly pruned, then they must be covered with burlap and poly plastic in an effort to prevent desiccation of exposed roots; this root curtain must be removed just prior to backfilling.</p> <p>Demolition of the existing building and removal of the existing garbage and recycling area within the Critical Root Zone of Tree #36 must be supervised by a Certified Arborist.</p> <p>The portion of the proposed garage and building that encroach into the Critical Root Zone of Tree #16 cannot have a conventional foundation; this portion of the building must be supported by helical piles and suspended slab foundation. The entire grade beam and slab must be installed above the existing grade; no excavation can occur. Drilling of the helical piles must be supervised by a Certified Arborist. No other grade changes can occur within the TPZ.</p> <p>Any excavation for the proposed building within the Critical Root Zone of Tree #36 must be supervised by a Certified Arborist. All exposed roots will be properly pruned, then they must be covered with burlap and poly plastic in an effort to prevent desiccation of exposed roots; this root curtain must be removed just prior to backfilling.</p> <p>The existing retaining wall within this Zone must remain. Tree #36 is a mature specimen that is located immediately adjacent to the existing retaining wall.</p> <p>The removal of the existing organics within this Zone for the proposed driveway must be performed manually, and it must be supervised by a Certified arborist; no further excavation may occur. The proposed driveway within this Zone must consist of clear crushed gravel installed over top geogrid and then a permeable surface installed over top, or the driveway can consist of Geopave; installation of the proposed driveway must be supervised by a Certified Arborist. Absolutely no grade changes can occur within this Zone.</p>
16 (Tag #213)	Western red cedar (<i>Thuja plicata</i>)	91	15	18.8'	Good	<p>This tree belongs to the neighbouring property. The crown has been raised to provide clearance to the neighbouring building. It has two stems commencing at 18ft. The grade of the property slopes downward west of the stem. There are boulders on the east side of the stem. The Critical Root Zone radius is 18.8ft. The proposed garage/building supported on helical piles with slab foundation suspended above existing grade is 10ft from the east side of the stem.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>

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#		(cm)	(m) est.	radius (ft.)		
17	Douglas fir (<i>Pseudotsuga menziesii</i>)	64	15	13.2'	Fair	<p>This tree belongs to the neighbouring property. It has a basal sweep to the south. It may have shed its leader at about 22ft and the stem has continued to grow. The crown has been raised to provide clearance to the neighbouring building and shed. It is also somewhat sparse and lacks vigor. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 13.2ft. The proposed garage is 11ft from the east side of the stem, and the proposed driveway is 10ft from the northeast side of the stem.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
18	Big leaf maple (<i>Acer macrophyllum</i>)	83	17	17.5'	Fair	<p>This tree is shared ownership with the Municipality. It forms part of a group. It has two stems commencing at 18ft; these stems divide again farther up. The canopy has been raised to provide clearance to the existing driveway and roadway. There is dead wood throughout the crown. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 17.5ft. The proposed driveway is 4.5ft from the east side of the stem.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
19	Western red cedar (<i>Thuja plicata</i>)	27	5	5.6'	Fair	<p>This tree belongs to the Municipality. It forms part of a group. It has a slight basal sweep to the south and the canopy has been raised. It is also somewhat suppressed by larger adjacent trees. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 15.6ft. The proposed driveway is 4ft from the east side of the stem.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
20	Big leaf maple (<i>Acer macrophyllum</i>)	44	16	9.1'	Good/fair	<p>This tree belongs to the Municipality. It forms part of a group. It has a phototropic lean to the north. The canopy has been raised to provide clearance to the roadway; it is also asymmetrical and heavily weighted to the north. It has two stems commencing at 7ft. It is at the top of a slope; the grade slopes downward southwest of the stem. The Critical Root Zone radius is 9.1ft. The proposed driveway is 2.5ft from the southeast side of the stem.</p> <p>RECOMMENDATIONS: REMOVE. Removal of this tree is necessary to enable the proposed driveway. Consent for removal of this tree was confirmed at a site meeting with the City Arborist on Jan 27, 2021.</p> <p>This stump cannot be removed with excavation equipment as this will cause damage to the roots of adjacent trees. The tree will need to be cut to grade and the stump must be removed with a stump grinder.</p>
21	Western red cedar (<i>Thuja plicata</i>)	24	6	4.9'	Good	<p>This tree belongs to the Municipality. It has a basal sweep to the west. There are exposed roots east of the stem as the soil has eroded away. It is on a slope; the</p>

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						<p>grade slopes downward south of the stem. The grade of the property also slopes downward southwest of the stem. The Critical Root Zone radius is 4.9ft. It is within the footprint of the proposed driveway.</p> <p>RECOMMENDATIONS: REMOVE. Obtain consent from the Municipality and remove this tree to enable the proposed driveway. This location of the proposed driveway is most suitable as there are fewer trees at the west end of the lot.</p> <p>The stump cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained trees. The tree will need to be cut to grade and the stump must be removed with a stump grinder.</p>
22	Western red cedar (<i>Thuja plicata</i>)	75	19	15.5'	Good/fair	<p>The crown of this tree is asymmetrical and heavily weighted to the west. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 15.5ft. It is within the footprint of the proposed driveway.</p> <p>RECOMMENDATIONS: REMOVE. The removal of this tree is necessary to enable the proposed driveway. This location of the proposed driveway is most suitable as there are fewer trees at the west end of the lot.</p> <p>The stump cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained trees. The tree will need to be cut to grade and the stump must be removed with a stump grinder.</p>
23	Western red cedar (<i>Thuja plicata</i>)	29	5	6'	Fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. The lower crown is dead. It is suppressed by larger adjacent trees. A large surface root with decay was noted west of the stem. The Critical Root Zone radius is 6ft. It is within the footprint of the proposed driveway.</p> <p>RECOMMENDATIONS: REMOVE. This is not a protected tree. Its removal will enable the proposed driveway.</p> <p>The stump cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained trees. The tree will need to be cut to grade and the stump must be removed with a stump grinder.</p>
24	Western red cedar (<i>Thuja plicata</i>)	131	19	26.9'	Fair	<p>This tree was not included on the site survey; therefore, its approximate location has been identified. The crown has been raised to provide clearance to the existing building. The canopy is asymmetrical and more heavily weighted to the south. Some dieback was observed throughout the crown. There is also a small cavity at the base on the northwest side of the stem. A large surface root was noted northeast of the stem. The grade of the property slopes downward southwest of the stem. The existing building is 6ft from the south side of the stem. The Critical Root Zone radius is 26.9ft. It is within the footprint of the proposed stairs and walkway. The proposed building</p>

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						is 8.5ft from the stem on the south and southeast sides, not including the lines of excavation required. There is also proposed driveway 2.5ft from the west side of the stem. RECOMMENDATIONS: REMOVE. The removal of this tree is necessary to enable the proposed building, driveway, stairs, and walkway. The excavation required for the proposed building will result in extensive Critical Root loss and soil disturbance causing instability and decline. Also, the removal of the existing building will result in significant root damage.
25	Western red cedar (<i>Thuja plicata</i>)	29	6	6'	Good/fair	This tree belongs to the Municipality. It has a slight basal sweep to the south. The crown has been raised to provide clearance to the roadway. There are also large boulders within the Critical Root Zone on the north side and piles of trimming debris south of the stem. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 6ft. The proposed driveway is 4ft from the west side of the stem. RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.
26	Western red cedar (<i>Thuja plicata</i>)	31	9	6.4'	Fair	This tree belongs to the Municipality. It is somewhat suppressed by larger adjacent trees. The crown is asymmetrical and heavily weighted to the north. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 6.4ft. RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.
27	Big leaf maple (<i>Acer macrophyllum</i>)	53	19	10.9'	Fair	This tree is not of a size or species that requires it to be protected under the interim tree by-law. It forms part of a group. It has two stems commencing at 4.5ft. The south stem has been previously removed; suckering growth was noted at the pruning site. The south side of the canopy has been cut back to provide clearance to the existing building and yard. The existing service drop runs adjacent to the east side of the stem. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 10.9ft. RECOMMENDATIONS: RETAIN. Although this tree is not protected, it forms part of a group and should be retained. Its removal would put other trees in the group at risk of decline or failure. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.
28	Western red cedar (<i>Thuja plicata</i>)	25	6	5'	Fair	This tree belongs to the Municipality. It forms part of a group. It appears to have partially failed at the base and continued to grow. The crown is asymmetrical and heavily weighted to the north; the crown is also suppressed on the south side by larger adjacent trees. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 5ft.

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#		(cm)	(m) est.	(ft.)		
						<p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
29	Douglas fir (<i>Pseudotsuga menziesii</i>)	104	22	21.3'	Good/fair	<p>This tree belongs to the Municipality. It forms part of a group; it is also the dominant tree of the group. The lower canopy is suppressed. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 21.3ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
30	Western red cedar (<i>Thuja plicata</i>)	26	8	5.4'	Fair	<p>This tree belongs to the Municipality. It was not included on the site survey; therefore, its approximate location has been identified. It forms part of a group. The crown has been raised and the lower canopy is dead. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 5.4ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
31	Western red cedar (<i>Thuja plicata</i>)	40	9	8.2'	Fair	<p>This tree belongs to the Municipality. It was not included on the site survey; therefore, its approximate location has been identified. It forms part of a group. The crown is asymmetrical and heavily weighted to the north; the crown is also suppressed on the south side by larger adjacent trees. There is branch and twig dieback throughout the crown. There is also a large boulder west of the stem. Trimming debris has been piled east of the stem. It is at the bottom of a 2ft slope; the grade slopes upward north and east of the stem. The existing roadway is about 4ft from the north side of the stem. The Critical Root Zone radius is 8.2ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
32	Western red cedar (<i>Thuja plicata</i>)	38	12	7.8'	Fair	<p>This tree belongs to the Municipality. It forms part of a group. The crown has not been raised and the lower canopy is dead. Branch and twig dieback were also observed through the crown. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 7.8ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
33	Western red cedar (<i>Thuja plicata</i>)	110 combined (86+24)	14	22.6'	Good/fair	<p>This tree belongs to the Municipality. It forms part of a group. It has two stems commencing at the base. The existing service drop runs adjacent to the southwest side of the stem. The grade of the property slopes downward southwest of the stem. The existing tiered stacked rock retaining wall is 1.5ft from the south side and the existing railway tie retaining wall and garbage/recycling area is about 16ft southeast of the stem. The Critical Root Zone radius is 22.6ft; this is somewhat skewed based on the combined diameter of the stems.</p>

<u>TREE</u>	<u>SPECIES</u>	<u>DBH</u>	<u>HEIGHT</u>	<u>CRZ</u>	<u>Condition</u>	<u>OBSERVATIONS & RECOMMENDATIONS</u>
#		(cm)	(m) est.	radius (ft.)		
						<p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
34	Western red cedar (<i>Thuja plicata</i>)	29	8	6'	Fair	<p>This tree belongs to the neighbouring property. It is somewhat suppressed by larger adjacent trees. The crown has not been raised and some dieback was observed throughout. There is trimming debris east of the stem. The grade of the property slopes downward southwest of the stem. The Critical Root Zone radius is 6ft.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>
35	Western red cedar (<i>Thuja plicata</i>)	52 combined (20+19+13)	8	10.7'	Fair	<p>This tree is not of a size or species that requires it to be protected under the interim tree by-law. It has three stems commencing at 2ft. The crown is wide spreading and asymmetrical; it is heavily weighted to the southeast. The existing 3ft tall wood retaining wall and garbage/recycling area is 2ft from the southeast side of the stem. The grade of the property slopes downward southeast of the stem. Critical Root Zone radius is 10.7ft.</p> <p>RECOMMENDATIONS: REMOVE. This is not a protected tree. The stump cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained trees. Cut the remaining tree to grade and due to the sloping grade, leave the stump intact.</p>
36	Western red cedar (<i>Thuja plicata</i>)	89 per survey	12	18.4'	Good/fair	<p>This tree belongs to the neighbouring property. The canopy has been cut back on the east side to provide clearance to the existing neighbouring building. The existing 2.5ft tall wood retaining wall is 1.5ft from the west side of the stem. The corner of the existing building is 14ft from the southwest side of the stem. The Critical Root Zone radius is 18.4ft. The proposed building is 15ft from the west side of the stem, not including the excavation required.</p> <p>RECOMMENDATIONS: RETAIN. See recommendations for Tree #15. One large Zone shall protect Trees #15 - #19 & #25 - #36.</p>



Trees #11 - #1



Trees #4 - #1



Trees #1 - #4



Trees #8 - #1 – existing site conditions



Trees #6 - #1



Tree #4 – growing in decayed stump & one stem removed



Tree #4 – east large roots severed



Tree #7



Trees #8 - #14



Tree #4



Trees #9 & #10 – west side



Tree #10 – south side, cut for reduction lines and communication cables



Trees #12 - #14



Tree #11 – two stems at base, west side



Tree #11 – west side, limited rooting capacity south of stem



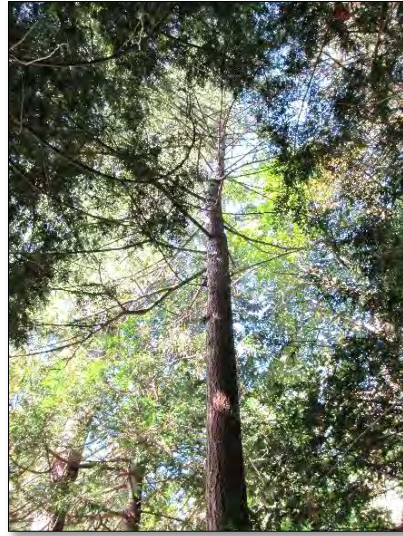
Tree #13



Tree #14 – east side, existing site conditions



Tree #15 – west side



Tree #17



Tree #17

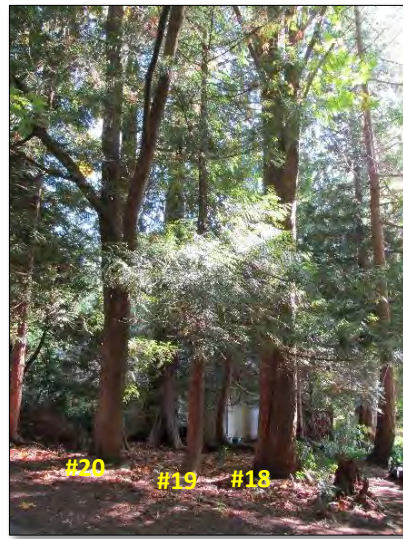
Trees #18 - #20



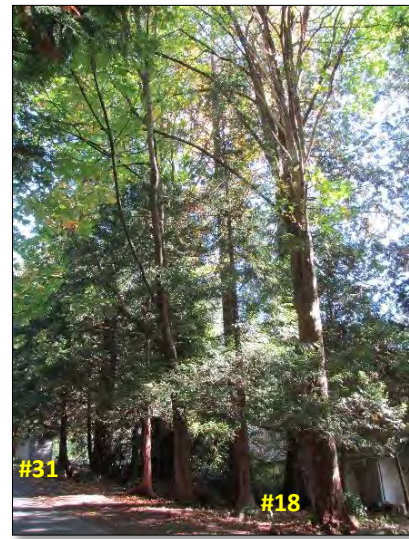
Trees #16 & #17 and #22 - #24



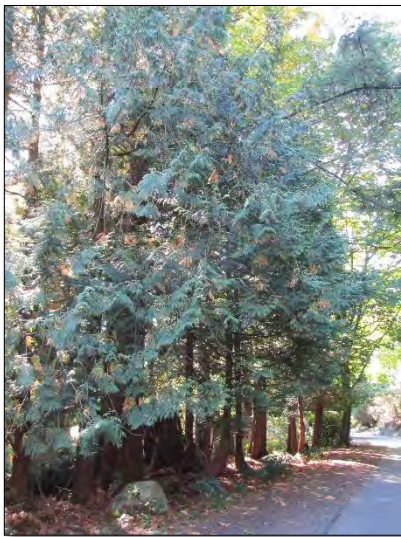
Tree #18



Trees #20 - #18



Trees #31 - #18 – from roadway



Trees #31 - #18 – north side



Tree #21



Tree #22



Tree #24



Tree #23

Tree #23 – exposed root with decay



Tree #24 – south side, existing site conditions



Tree #24 – north side, existing site conditions



Tree #24



Tree #25



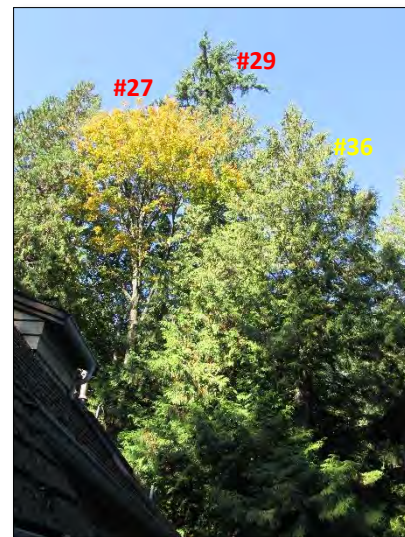
Tree #26



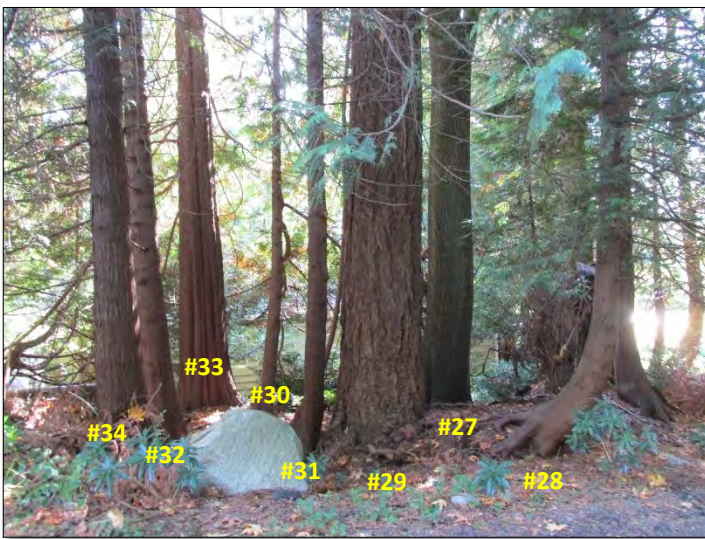
Tree #27



Trees #27 - #30 – north side



Trees #27 - #36



Trees #27 - #34



Tree #31 – south side



Tree #29



Tree #33



Tree #34 - #36 – south side, existing site conditions



Tree #35 – low & wide crown southeast of stem and existing ret. wall & garbage/recycling area



Tree #36 – south side



Tree #36 – west side, anchoring uphill roots



Tree #36 – existing site conditions

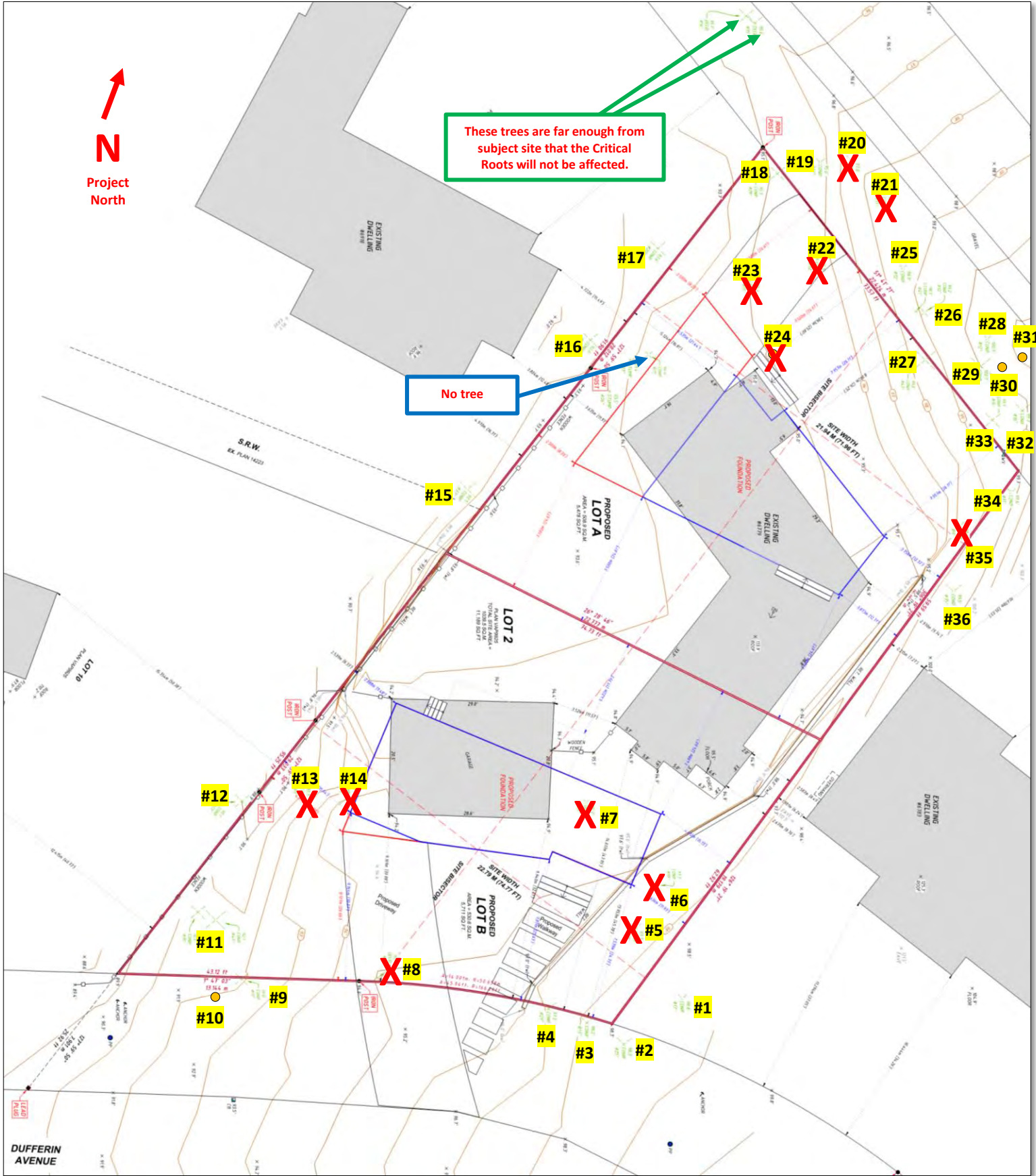


Tree #36

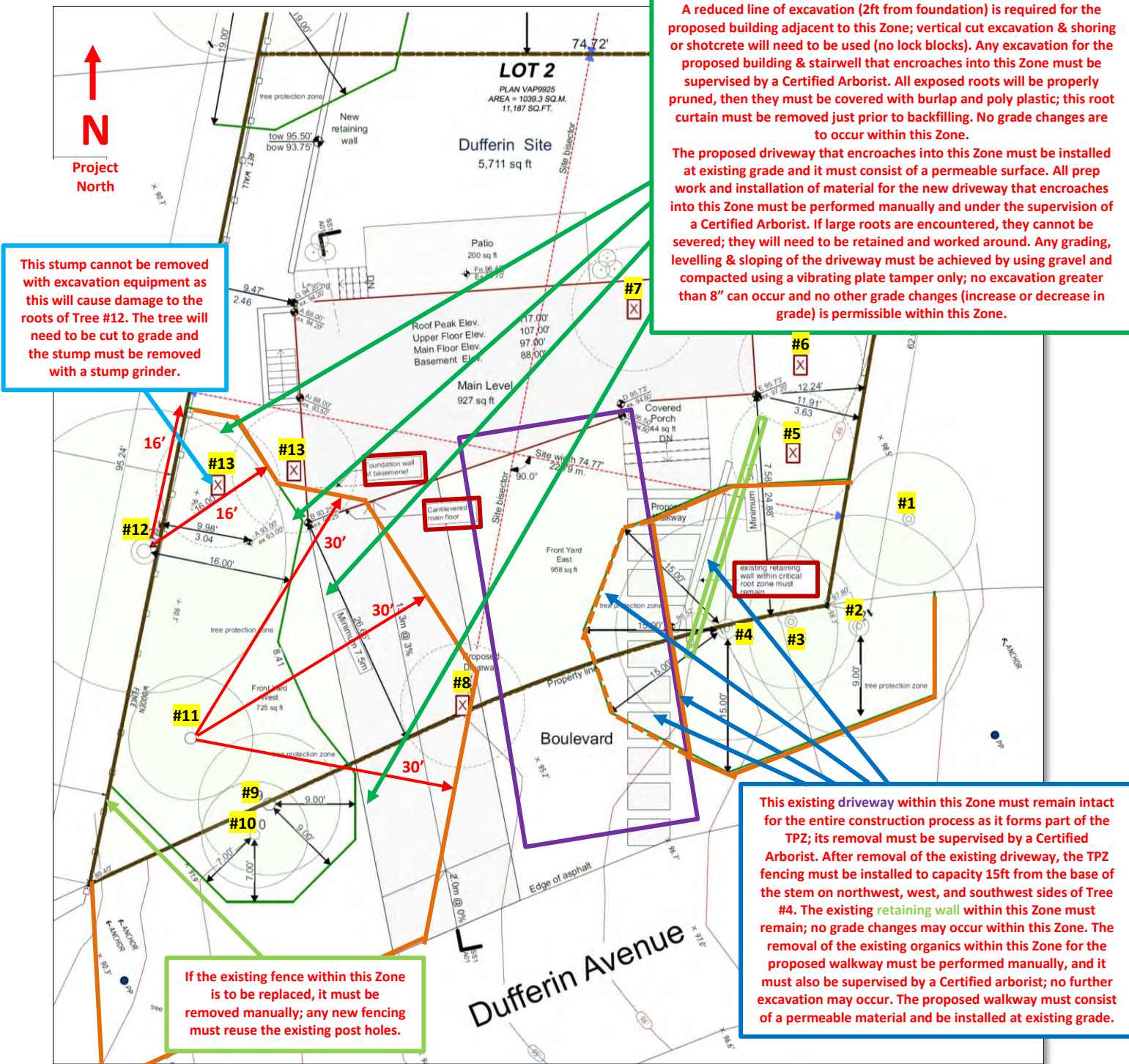
N
Project North

These trees are far enough from subject site that the Critical Roots will not be affected.

No tree



Site Survey, Not to Scale

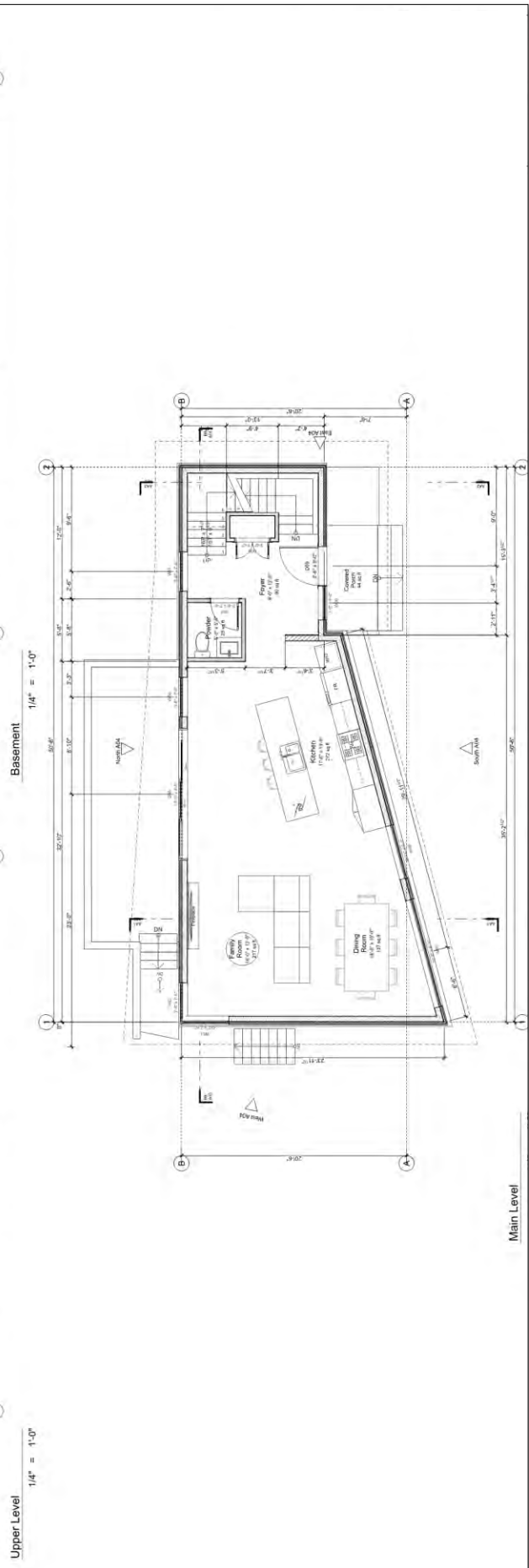
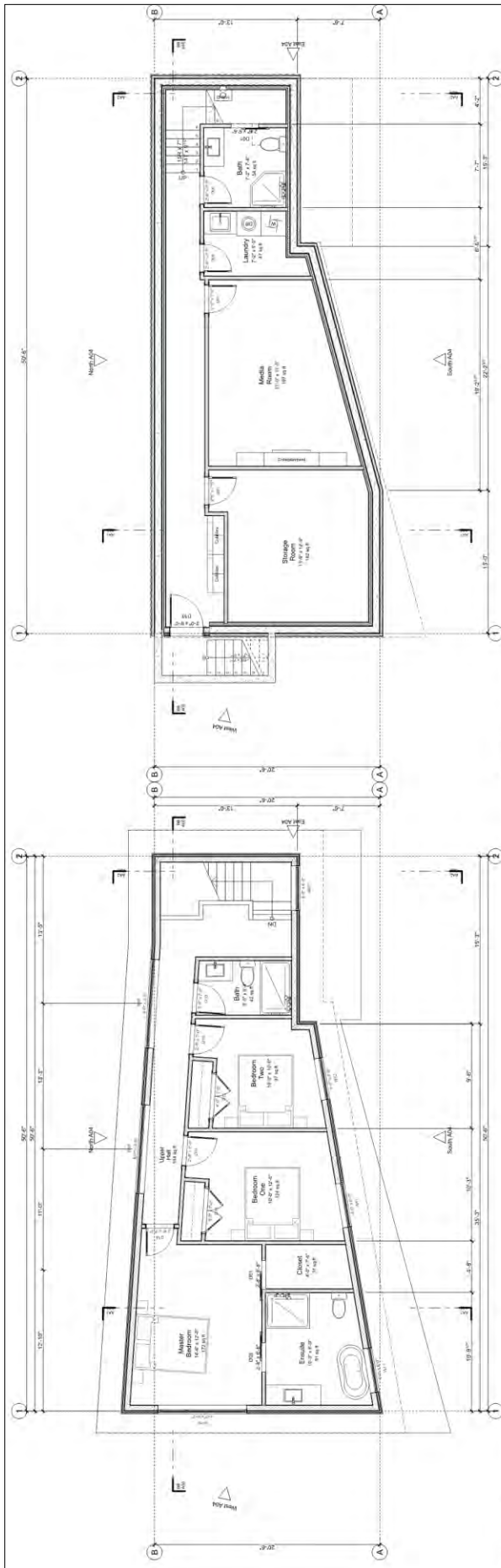


Dufferin Ave (Lot #2) Tree Management Plan, Scale 1/16" = 1'

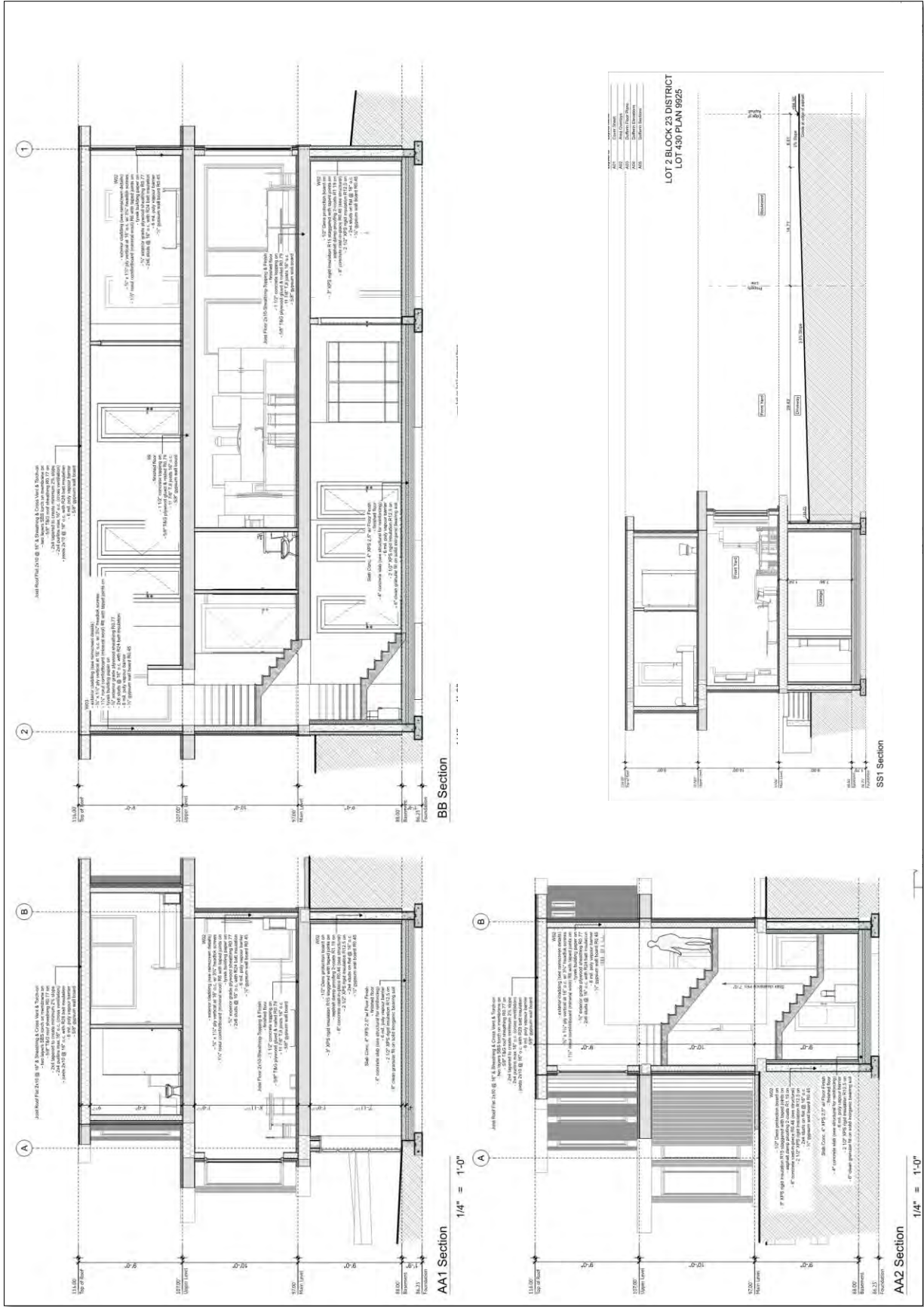
Wildfire Hazard Area NE 1

1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
2. All chimneys and wood-burning appliances must have spark arrestors.
3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible materials should be used (concrete).

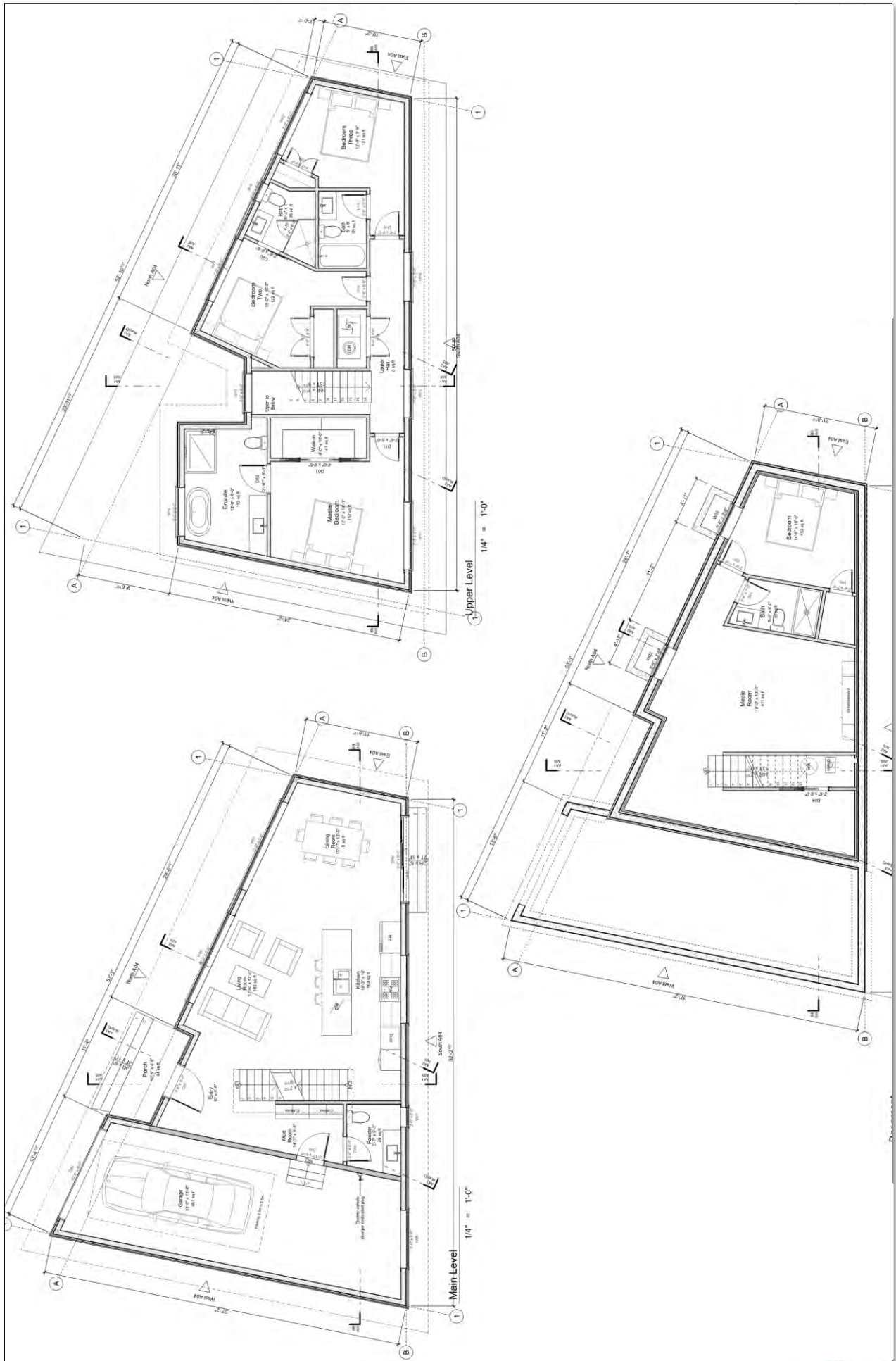
The proposed lawn that encroaches into any TPZ must be installed at or near existing grade and at least 3ft from the base of the stem of any tree. No more than 3" of additional good quality landscape soil may be added within this Zone; no further grade changes can occur.



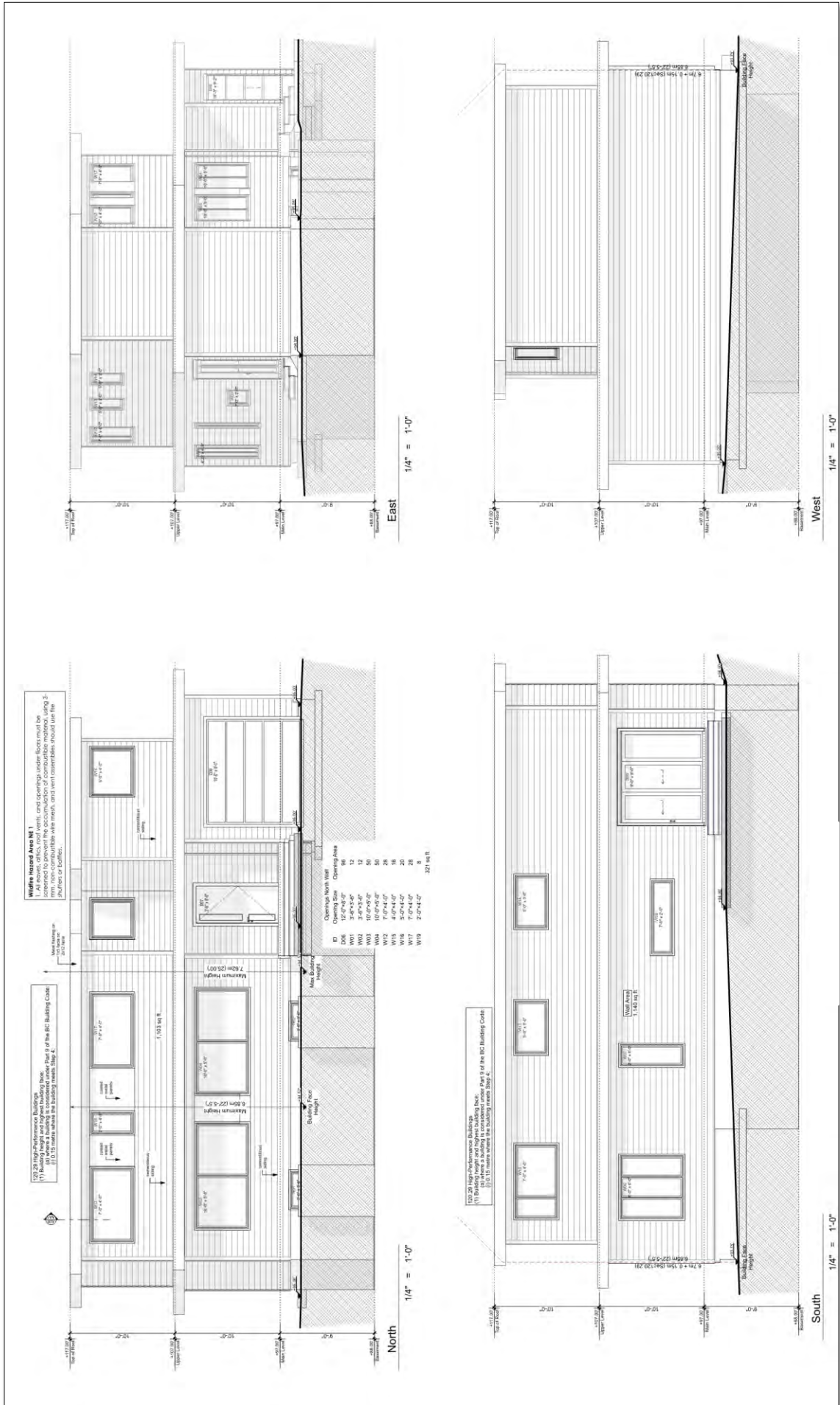
Dufferin Avenue Floor Plans, Not to Scale



Dufferin Avenue Sections with Elevations, Not to Scale



Marine Drive Floor Plans, Not to Scale



Marine Drive Elevations, Not to Scale



Marine Drive Sections with Elevations, Not to Scale



District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5106, 2020
(6779 Dufferin Avenue)**

Effective Date:

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5106, 2020

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5106, 2020

A bylaw to amend the subdivision standards within the RS4 zone to facilitate an infill subdivision at 6779 Dufferin Avenue

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087 and 5110.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an infill subdivision at 6779 Dufferin Avenue;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5106, 2020.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Zoning Bylaw Amendments

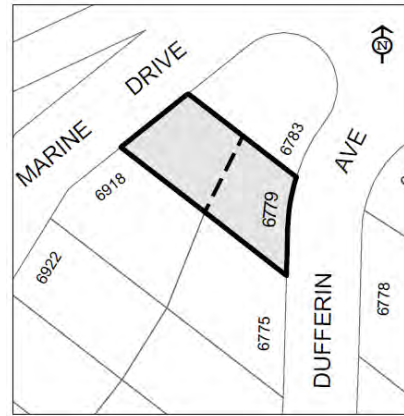
- 3.1 Zoning Bylaw No. 4662, 2010, Section 204 (RS4 Single Family Dwelling Zone 4) is hereby amended by adding the following text to section 204.15:

(2) "Notwithstanding section 204.03 for the Land legally known as Lot 2 Block 23 District Lot 430 Plan 9925 at 6779 Dufferin Avenue as shown in

”

the map below, for the purposes of subdivision infill the following shall apply:”

Lots created by subdivision of 6779 Dufferin Avenue	Minimum Site Area (square metres)
Lot A fronting Marine Drive	508.9 m2
Lot B fronting Dufferin Avenue	530.6 m2



Part 4 Offence and Penalty

- 4.1 Every person who violates a provision of this bylaw, or who consents, allows or permits an act or thing to be done in violation of a provision of this bylaw, or who neglects to or refrains from doing anything required to be done by a provision of this bylaw, is guilty of an offence and is liable to the penalties imposed under this bylaw, and is guilty of a separate offence each day that a violation continues to exist.
- 4.2 Every person who commits an offence is liable on summary conviction to a fine or to imprisonment, or to both a fine and imprisonment, not exceeding the maximum allowed by the *Offence Act*.

READ A FIRST TIME on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by the Ministry of Transportation and Infrastructure, in accordance with section 52 (3) (a) of the *Transportation Act* on

ADOPTED by the Council on

Mayor

Corporate Officer

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