



COUNCIL AGENDA
 Date: January 13, 2020 Item: 6.1

WV

6.1

DISTRICT OF WEST VANCOUVER
 750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	January 7, 2020
From:	Erik Wilhelm, Senior Community Planner
Subject:	Development Application Amendment for 303 Marine Drive
File:	1010-20-19-055

RECOMMENDATION

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5051, 2020" be read a first time.

RECOMMENDATION

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5051, 2020" be presented at a public hearing scheduled for February 3, 2020 at 6:00 p.m. in the Municipal Hall Council Chamber, and that statutory notice be given of the scheduled public hearing.

RECOMMENDATION

THAT proposed "Development Permit 19-055" be presented at a public meeting scheduled for February 3, 2020 at 6:00 p.m. in the Municipal Hall Council Chamber, to be held concurrently with the public hearing scheduled for February 3, 2020 at 6:00 p.m. in the Municipal Hall Council Chamber, and that notice be given of the scheduled public meeting.

1.0 Purpose

To present to Council a proposed zoning amendment to the Comprehensive Development Zone 55 (CD55) and revised development permit to allow an additional 35 units within a previously approved development at 303 Marine Drive.

2.0 Executive Summary

The additional residential units are created through reconfigured floorplans. The proposed form and character of the residential tower will remain generally similar while staying within the same height and density limits set forth within the CD55 Zone.

The revised application has been assessed in context of the broad objectives of the Official Community Plan (OCP) and the local policy directions set out in the Marine Drive Local Area Plan and Design Guidelines.

Staff recommends support for the application as it proposes to deliver housing diversity with smaller residential units within an area served with frequent public transit.

Staff recommends that the application be referred to a public hearing and concurrent public information meeting on February 3, 2020. Prior to the public hearing, the applicant will be required to host a public information meeting.

3.0 Legislation/Bylaw/Policy

Local Government Act

The *Local Government Act* requires that a public hearing be held on the proposed rezoning bylaw.

Zoning Bylaw

The site is currently zoned Comprehensive Development Zone 55 (CD55) (**Appendix A**) and a text amendment is required to increase the maximum number of dwelling units from 141 to 176 (among other modifications described later in this report).

4.0 Official Community Plan

The Marine Drive Local Area Plan (LAP), adopted on June 19, 2017, provides the policy at the neighbourhood scale to guide land use and development. Included are design guidelines to provide direction on the form, height, massing and character of buildings as well as the public spaces and landscape between.

The site is identified as being within the *Lions Gate – Klahanie Sub Area* of the LAP. The LAP prioritizes residential use to meet housing objectives, generate less traffic than commercial uses, and not dissipate the planned commercial core in the adjacent Lions Gate Town Centre within the District of North Vancouver. For this site, the LAP calls for:

- density between 2.5 and 3.25 Floor Area Ratio (FAR);
- built form to be a single, slender tower with a small floor plate up to 7,500 square feet;
- building height between 24 to 26 storeys; and
- public realm and open spaces that enhance pedestrian connections to the commercial core, Klahanie Park, amenities, and transit.

5.0 Background

5.1 Previous Decisions

On July 23, 2018, Council resolved to adopt/approve the following to allow a 26 storey residential tower (and townhouses) with a maximum of 141 units at 303 Marine Drive:

- Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 4962, 2018;
- Housing Agreement Authorization Bylaw No. 4964, 2018; and
- Development Permit 17-077 (303 Marine Drive).

6.0 Analysis

6.1 Discussion

Site Context

As seen in Figure 1, the site is located at the most eastern point of West Vancouver along Marine Drive, and is bounded by the District of North Vancouver (DNV) along the eastern property line. It is accessed through DNV via Curling Road and Capilano Road. To the west of the site is a BC Housing development, consisting of three storey apartment buildings. Earls Restaurant vacated the site in early 2018.

Positioned within close proximity to Klahanie Park and the emerging Lions Gate Town Centre, the site will be part of a transit-oriented community that is close to commercial services and public amenities, and includes a range of housing types.

Figure 1: Site Context (approximate jurisdictional boundary lines shown dashed)



Proposed Changes

The increase of 35 units (from 141 to 176) is realized through the reconfiguration of building floor plans. The additional units are slated to be market units with no change in proposed rental units. Figure 2 outlines the changes proposed for the unit mix from the previously approved project. The proposed changes would result in an increase in smaller units (one bedrooms), a decrease in 2-bedrooms, and a decrease in 3-bedrooms.

Figure 2: Unit Mix Comparison

Dwelling Type	Approved Unit Mix		Proposed Unit Mix	
	Number of Units	Overall Percentage	Number of Units	Overall Percentage
Studio	6	4%	0	0%
1 bedroom	36	26%	80	46%
1 bedroom + lock off	4	3%	0	0%
2 bedroom	75	53%	85	48%
3 bedroom	20	14%	11	6%

There is no increase in the maximum FAR of 3.25, number of storeys or maximum height and the site plan will remain generally unchanged. The proposed text amendment to the CD55 zone (Appendix B) would allow the following (while the remainder of the existing CD55 zone [e.g. height, number of storeys, setbacks, FAR] will not be affected by the proposed text amendment):

1. Increase the number of residential units from 141 to 176 (35 units);
2. Increase the number of guest suites from one to three (with a total floor area of 85 square metres); and
3. Increase the maximum number of parking stalls from 201 to 204.

The modified floor plans will also require a new development permit to be issued to capture the design revisions and modified floor plans. A copy of the new development permit is attached as **Appendix C**. As indicated on the next page (in Figure 3 and 4), the building will remain with a similar form and character. A comparison drawing set is provided as **Appendix D**.



Figure 3

EXISTING ZONING / DP



PROPOSED ZONING / DP



Figure 4

EXISTING ZONING / DP



PROPOSED ZONING / DP

Vehicle Parking and Trip Generation:

(1) Parking:

The applicant's traffic engineer submitted an updated addendum to the previously endorsed Transportation Impact Assessment submitted as part of the original rezoning. The addendum concludes that the proposed parking will meet the demand based the "Metro Vancouver 2018 Regional Parking Study".

The approved development included a maximum of 201 parking stalls which equates to an overall parking ratio of 1.43 stalls per unit¹. The revised proposal includes a maximum of 204 stalls which equates to an overall parking ratio of 1.16 stalls per unit². Staff further note that the total parking is allocated between rental and market condo units which provide for the following parking ratios (visitor parking excluded):

1. Rental Unit Parking Ratio: 0.67 stalls per unit (i.e. 36 stalls/54 rental units = 0.67 stalls per unit); and
2. Market Condo Unit Parking Ratio: 1.31 stalls per unit (160 stalls/122 units = 1.31 stalls per unit).

The Marine Drive LAP is supportive of parking reductions in order to enable less car dependency, encourage residents to use transit and support "Transit Supportive Development". As the site is located along Translink's "Frequent Transit Corridor" (with impending RapidBus service) and adjacent to the emerging Lions Gate Town Centre in North Vancouver, the reduced available parking onsite is largely in alignment with the Marine Drive LAP that supports approximately 1.25 stalls per unit for market condos and approximately 0.75 stalls per unit for purpose built rentals.

(2) Trip Generation (peak am/pm):

The trip generation is expected to increase between 12 – 13 vehicles relative to the approved development. This level of trip generation increase is not expected to have a significant impact compared to what was previously modelled.

6.2 Sustainability

The previous rezoning of the site, approved in July 2018, addressed sustainability measures to be incorporated into the design. The building is slated to include the following:

- Passive House design for the six townhouses; and
- Compliance with Step 2 of the BC Energy Step Code.

¹ A maximum of 201 stalls (visitor parking included) for 141 residential units (201 stalls/141 units = 1.43 stalls per unit)

² A maximum of 204 stalls (visitor parking included) for 176 residential units (204 stalls/176 units = 1.16 stalls per unit)

The revised proposal also includes 353 bicycle parking stalls that exceeds requirements of the District's Sustainable Buildings Policy.

7.0 Implementing the Project

7.1 Public Engagement and Outreach

Public Information Meeting

In compliance Development Procedures Bylaw No. 4940, 2017, should the proposal advance, the public will be given an opportunity to learn about the rezoning and associated development permit prior to the public hearing at an information meeting.

Signage

The applicant is required to install a development information sign in front of the property. Should the proposal advance, the applicant will be required to update the sign information with particulars about the required public hearing and public information meeting.

Public Hearing and Notification

In compliance with the Development Procedures Bylaw No. 4940, 2017, the proposed rezoning is subject to a public hearing. Notice of the public hearing, and concurrent public meeting for the development permit, will be given in accordance with District procedures.

Website

In alignment with current practise, a description of the proposal and applicable dates will be placed on the District website.

7.2 Condition Precedent to Adoption

As the property is located within 800 metres of a Controlled Access Highway³ interchange, ministry approval will be required for the rezoning bylaw in accordance with section 52 of the *Transportation Act*.

8.0 Financial Implications

8.1 Community Amenity Contribution

New developments provided for in the LAP are to deliver community amenities related to the impacts of new development. The value of the amenity is proportional to the increased potential of land use under the LAP in comparison with existing zoning. District policy defines a range of appropriate amenities, including housing affordability and diversity, child care and cultural facilities, heritage preservation, public art, and public space, parks and the environment. The principal amenity focus of the LAP is the delivery of housing affordability and diversity to ensure that housing

³ Lions Gate bridge deck and interchange is within ministerial jurisdiction.

stock continues to meet the needs of District residents including families with children, working professionals, youth and seniors.

In July 2018, the previous owner provided the District a voluntary cash CAC of \$2,522,628 and entered into a covenant to secure provision of 6 non-market townhouse rental units.

District staff reviewed the application and consulted with a third party financial consultant. As previously described, the proposed additional units have no associated floor area increase. Staff expect that any higher costs associated with constructing additional units would negate any increases in revenue due to the sale of additional units. As such staff recommend that an additional CAC is not applicable.

8.2 Development Cost Charges (DCCs)

At the building permit stage, the applicant is required to provide applicable DCCs as per the "Development Cost Charge Bylaw No. 3801, 1993.

9.0 Options

9.1 Recommended Option

It is recommended that Council give first reading to the proposed zoning bylaw and set a date for a public hearing and concurrent public meeting.

9.2 Considered Options

Council may:

- a) give first reading to the proposed bylaw and set an alternative date (to be specified) for a public hearing and concurrent public meeting; or
- b) defer consideration pending receipt in additional information (to be specified) be provided; or
- c) reject the proposal.

10.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable. The application is set to maintain appropriate community benefits including purpose-built rental housing, public realm improvements, and diversified housing choices and it will be a positive contribution to the emerging Lions Gate Town Centre.

The proposed amendment to the approved development permit offers an increase in residential units with no increase in floor area. This change would allow for more people to be located close to transit and amenities while still meeting the urban design and planning objectives of the Marine Drive LAP.

Subject to public input, staff recommends that the proposed bylaw be given first reading and a date for a public hearing and concurrent public meeting be scheduled for the development permit.

Date: January 7, 2020
From: Erik Wilhelm, Senior Community Planner
Subject: Development Application Amendment for 303 Marine Drive

Page 9

Author: 
Erik Wilhelm, Senior Community Planner

Concurrence 
Michelle McGuire, Manager of Current Planning and Urban Design

Appendices:

- A. CD55 Zone
- B. Proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5051, 2020".
- C. Proposed "Development Permit 19-055"
- D. Comparison Drawing Package

This page intentionally left blank



This page intentionally left blank



655 CD55 (300 Block Marine Drive)

AMENDING
BYLAW

SECTION REGULATION

#4962

655.01 Permitted Uses

- (1) accessory uses and buildings
- (2) apartment building
- (3) child care
- (4) community care
- (5) guest suite
- (6) home based business
- (7) lock-off unit
- (8) townhouse

655.02 Floor Area Ratio

- (1) Maximum: 3.25 FAR
- (2) For the purposes of calculating FAR, the site is 4,954.6 square metres, being the size prior to any required highway dedications from the parent parcel.
- (3) For the purposes of this zone, FAR is calculated on the Gross Floor Area (GFA).

655.03 Setbacks

Minimum:

- (1) Front (Klahanie Court): 3.4 metres
- (2) Rear (Marine Drive): 3.0 metres
- (3) Side (East): 5.2 metres
- (4) Side (West): 5.2 metres
- (5) For clarity, no setbacks shall apply for underground parking structures.

655.04 Building Height

- (1) Maximum:
 - (a) Apartment Building: 85 metres
 - (b) Townhouse: 10.1 metres
- (2) Despite Section 120.19, elevator penthouses, solar panels and mechanical equipment and enclosures are excluded from the calculation of building height in the CD55 Zone.

655.05 Number of Units

- (1) Maximum: 141

655.06 Conditions of Use

- (1) Lock-off units are permitted in no more than 50% of the units in an apartment building, are not permitted in townhouses, and are subject to the following additional conditions:
- (a) A lock-off unit must not be rented for less than 30 days.
 - (b) A lock-off unit must include a self-contained bathroom, washer and dryer for laundry, and at least one but no more than one kitchen.
 - (c) A lock-off unit must not be subdivided from the principal dwelling unit under the *Land Title Act* or the *Strata Property Act*.
- (2) A maximum of one guest suite not exceeding 55 square metres in floor area is permitted on the site and shall not count as a unit for the purpose of section 655.05(1).

655.07 Number of Storeys

- (1) Maximum:
- (a) Apartment Building: 26
 - (b) Townhouse: 3
 - (c) For clarity, mechanical equipment enclosures are not a storey.

655.08 Off-Street Parking

A maximum of 201 parking spaces shall be provided in the CD55 zone.



District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5051, 2020**
303 Marine Drive

Effective Date:

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5051, 2020

Table of Contents

Part 1	Citation.....	1
Part 2	Severability.....	1
Part 3	Amends the CD55 (300 Block Marine Drive) Zone.....	2

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5051, 2020

A bylaw to amend the CD55 zone to allow additional residential units

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5009, 5021 and 5024.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for additional residential units within the CD55 zone applicable to 303 Marine Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5051, 2020.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends the CD55 (300 Block Marine Drive) Zone

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones), Section CD55 (300 Block Marine Drive) is amended as follows:

- 3.1.1 Section 655.05 "Number of Units" delete "141" and replacing it with "176";
- 3.1.2 Section 655.06 "Conditions of Use" is deleted in its entirety and replacing it with:

"(1) A maximum of three guest suites, not exceeding a total of 85 sq. m. in floor area, is permitted on the site and shall not count as a unit for the purposes of section 655.05(1)."; and
- 3.1.3 Section 655.08 "Off-Street Parking" is deleted in its entirety and replacing it with the following: "No more than 204 vehicle parking stalls are allowed within the CD55 zone".

READ A FIRST TIME on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by the Ministry of Transportation and Infrastructure pursuant to Section 52 of the *Transportation Act* on

ADOPTED by the Council on

Mayor

Corporate Officer



District of West Vancouver

Development Permit No. 19-055 (Amendment #1 to DP 17-077)

CURRENT OWNER: DENNA (SENTINEL) PROPERTIES CORP., INC.NO. BC0997411

THIS DEVELOPMENT PERMIT APPLIES TO:

CIVIC ADDRESS: 303 MARINE DRIVE

LEGAL DESCRIPTION: 030-520-916
LOT A DISTRICT LOT 790 GROUP 1 NEW WESTMINSTER
DISTRICT PLAN EPP84515
(the 'LANDS')

1.0 This Development Permit:

- (a) amends Development Permit No. 17-077 and is issued subject to:
 - a. the owners compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.
 - b. the Lands shall generally be developed in accordance with the replacement plans attached as **Schedule A**.
 - c. submission of a finalized landscape plan in general compliance with **Schedule A** to the satisfaction of the Director of Planning and Development Services.

2.0 For clarity, Development Permit No. 17-077 still applies except where altered by this permit.

3.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON

MAYOR

CORPORATE OFFICER

FOR THE PURPOSES OF SECTION 3.0, THIS PERMIT IS ISSUED ON

Schedules:

A. Architectural Plans dated December 20, 2019, from DA Architects and Planners

Schedule A

303 MARINE DRIVE

District of West Vancouver, British Columbia

ZONING AND DEVELOPMENT PERMIT AMENDMENT

December 20, 2019

CONTACT LIST:

BUILDING OWNER

Darrie (Central) Properties Corp
1588 Hunter Street
North Vancouver, BC V7J 1L5
T 604 961 5000
F 604 961 5000

ARCHITECT

DA Architects + Planners
4050 1014 Hamar Street
Vancouver, BC V1B 2W9
T 604 685 0312
F 604 685 0868

LANDSCAPE ARCHITECT

Eckford Tysack + Associates
Landscape Architecture Inc
1828 West Second Avenue
Vancouver, BC V6J 3K4
T 604 683 1458
F 604 683 1458

SURVEYOR

Bentall Land Surveying Ltd
4231 278 Foll Avenue
North Vancouver, BC V7P2R5
T 604 280-4883
F 604 988 5826

DRAWING LIST:

ARCHITECTURAL

A000 Cover Sheet
A001 Project Data
A002 Project Data
A003 Project Data
A004 Survey

A100 Site Plan
A101 3D View 1
A102 3D View 2
A103 3D View 3
A104 3D View 4

A200 Parking Plan P2
A201 Parking Plan P1
A300 Floor Plan Overall Level 1
A301 Floor Plan Level 1
A304 Floor Plan Overall Level 2

A305 Floor Plan Level 2
A306 Floor Plan Overall Level 3
A307 Floor Plan Level 3
A308 Floor Plan Level 4-8

A309 Floor Plan Level 9-22
A310 Floor Plan Level 23-24
A211 Floor Plan Level 25
A212 Floor Plan Level 26

A213 Floor Plan Mechanical Room
A214 Floor Plan Elevator Machine Room
A215 Roof Plan

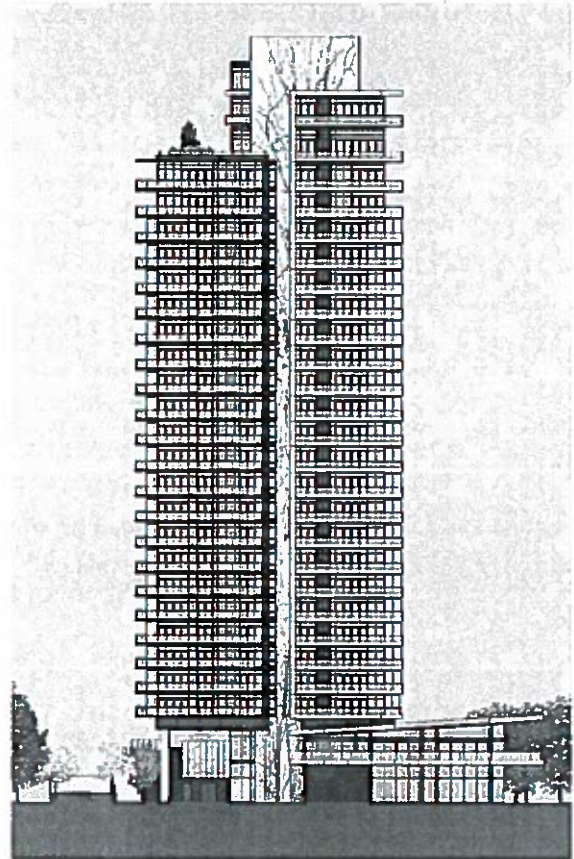
A216 Floor Plan Townhouses Level 1
A217 Floor Plan Townhouses Level 2
A218 Roof Plan Townhouses Level 3

A300 Elevation North | East
A301 Elevation South | West
A302 Elevation Townhouses

A400 Section A-A
A401 Section B-B

LANDSCAPE

Separate Index



PROJECT DEVELOPMENT DATA
303 Marine Drive, West Vancouver, British Columbia

- A. **Project**
30 Storey Residential Tower
- B. **Legal Description**
LOT 53, DISTRICT LOT 7168 PLAN 4028
- C. **zoning**
CR 95

D. Proposed Subplots

Reserve Area	707.27 sq m
Plant Reserve Area	17.47 sq m
Public Reserve Area	17.47 sq m
Reserve Area	17.47 sq m

E. Site Coverage Calculations

Green Site Area	51,131 sq m
Development	7,847 sq m
Plant Development	7,847 sq m
Other Site Area	43,284 sq m
Building Footprint Area	6,449 sq m
Site Coverage Percentage	12.6%

F. Floor Space Ratio (FSR) Calculations

Site / Use	Green Site Area	Proposed Total FSR	Proposed Area
Residential	51,131 sq m	1.75	89,479 sq m

Tenants Estimated @ 2000/ft²

Area	Area (sq ft)	Estimated	Unit	Ratio
Green	51,131 sq m	135,331 units	sq ft	174,951 sq ft
Other	17,470 sq m	43,675 units	sq ft	200,000 sq ft
Green Ratio	0.41%	27.27%	sq ft	200,000%

G. Commercial Building - Floor Area
Note: All floor areas are "Gross Floor Area"

Building	Level	Number of Floors	Level Area per Floor	Level Area	Total Commercial Area	Total Commercial Area	Total Commercial Area	Area above per Floor	Area Building Area	Total Area All Areas (GFA)	FSR	Commercial	Ratio (%)	Efficiency %
The Westbank	1	1	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1.00	1,000 sq m	100%	100%
	2	1	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1,000 sq m	1.00	1,000 sq m	100%	100%

Notes: 1. All areas are based on the floor area of the building. 2. The total area of the building is the sum of the floor areas of all floors. 3. The total area of the building is the sum of the floor areas of all floors.

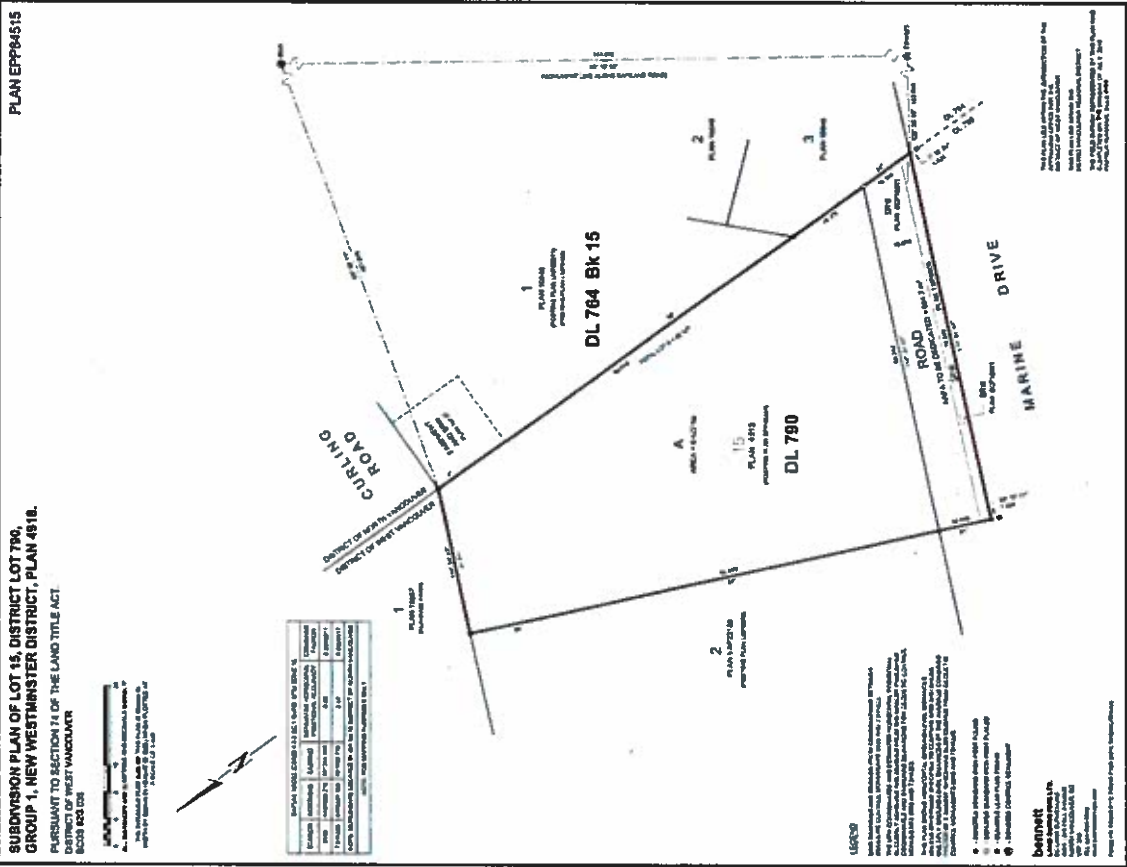
Building	Level	Number of Floors	Level Area per Floor	Total Level Area	Common Area per Floor	Total Common Area	Total Common Area	Area above per Floor	Area Building Area	Total Area All Areas (GFA)	FSR	Commercial	Ratio (%)	Efficiency %
The Westbank	01	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	02	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	03	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	04	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	05	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	06	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	07	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	08	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	09	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	10	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	11	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	12	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	13	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	14	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	15	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	16	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	17	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	18	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	19	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%
	20	1	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00 sq m	0.00	0.00 sq m	0%	0%

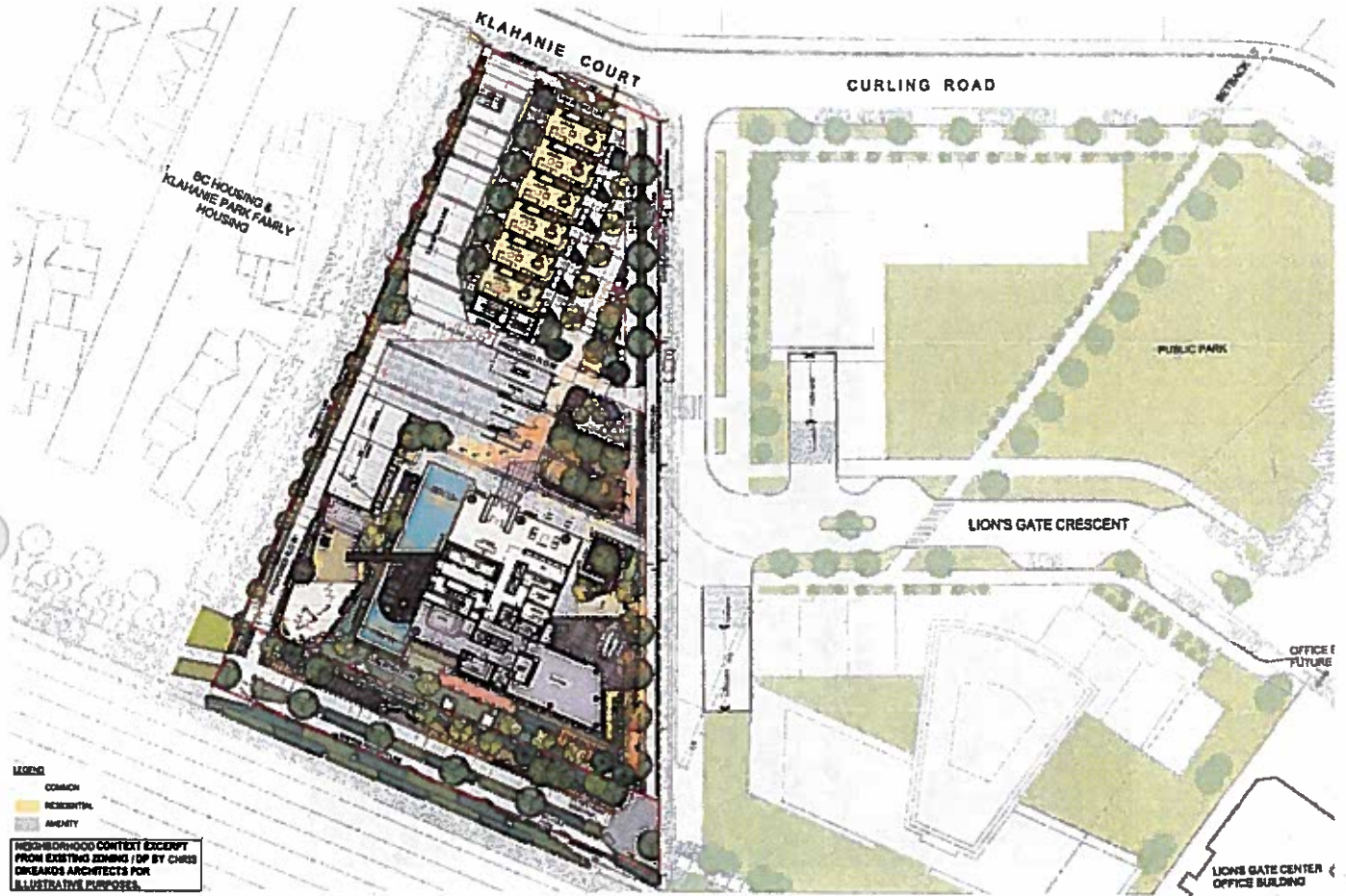


4. Roundwood Inventory - Used Counts

Level	Number of Fibres	1 Red	1 Red + Don	2 Red + Don	3 Red	3 Red + Don	3 Red Four-Pass	3 Red Four-Pass	Total use Fibre
1	1	0	0	0	0	0	0	0	1
2	1	0	0	0	0	0	0	0	1
3	1	0	0	0	0	0	0	0	1
4	1	0	0	0	0	0	0	0	1
5	1	0	0	0	0	0	0	0	1
6	1	0	0	0	0	0	0	0	1
7	1	0	0	0	0	0	0	0	1
8	1	0	0	0	0	0	0	0	1
9	1	0	0	0	0	0	0	0	1
10	1	0	0	0	0	0	0	0	1
11	1	0	0	0	0	0	0	0	1
12	1	0	0	0	0	0	0	0	1
13	1	0	0	0	0	0	0	0	1
14	1	0	0	0	0	0	0	0	1
15	1	0	0	0	0	0	0	0	1
16	1	0	0	0	0	0	0	0	1
17	1	0	0	0	0	0	0	0	1
18	1	0	0	0	0	0	0	0	1
19	1	0	0	0	0	0	0	0	1
20	1	0	0	0	0	0	0	0	1
21	1	0	0	0	0	0	0	0	1
22	1	0	0	0	0	0	0	0	1
23	1	0	0	0	0	0	0	0	1
24	1	0	0	0	0	0	0	0	1
25	1	0	0	0	0	0	0	0	1
26	1	0	0	0	0	0	0	0	1
27	1	0	0	0	0	0	0	0	1
28	1	0	0	0	0	0	0	0	1
29	1	0	0	0	0	0	0	0	1
30	1	0	0	0	0	0	0	0	1
31	1	0	0	0	0	0	0	0	1
32	1	0	0	0	0	0	0	0	1
33	1	0	0	0	0	0	0	0	1
34	1	0	0	0	0	0	0	0	1
35	1	0	0	0	0	0	0	0	1
36	1	0	0	0	0	0	0	0	1
37	1	0	0	0	0	0	0	0	1
38	1	0	0	0	0	0	0	0	1
39	1	0	0	0	0	0	0	0	1
40	1	0	0	0	0	0	0	0	1
41	1	0	0	0	0	0	0	0	1
42	1	0	0	0	0	0	0	0	1
43	1	0	0	0	0	0	0	0	1
44	1	0	0	0	0	0	0	0	1
45	1	0	0	0	0	0	0	0	1
46	1	0	0	0	0	0	0	0	1
47	1	0	0	0	0	0	0	0	1
48	1	0	0	0	0	0	0	0	1
49	1	0	0	0	0	0	0	0	1
50	1	0	0	0	0	0	0	0	1
51	1	0	0	0	0	0	0	0	1
52	1	0	0	0	0	0	0	0	1
53	1	0	0	0	0	0	0	0	1
54	1	0	0	0	0	0	0	0	1
55	1	0	0	0	0	0	0	0	1
56	1	0	0	0	0	0	0	0	1
57	1	0	0	0	0	0	0	0	1
58	1	0	0	0	0	0	0	0	1
59	1	0	0	0	0	0	0	0	1
60	1	0	0	0	0	0	0	0	1
61	1	0	0	0	0	0	0	0	1
62	1	0	0	0	0	0	0	0	1
63	1	0	0	0	0	0	0	0	1
64	1	0	0	0	0	0	0	0	1
65	1	0	0	0	0	0	0	0	1
66	1	0	0	0	0	0	0	0	1
67	1	0	0	0	0	0	0	0	1
68	1	0	0	0	0	0	0	0	1
69	1	0	0	0	0	0	0	0	1
70	1	0	0	0	0	0	0	0	1
71	1	0	0	0	0	0	0	0	1
72	1	0	0	0	0	0	0	0	1
73	1	0	0	0	0	0	0	0	1
74	1	0	0	0	0	0	0	0	1
75	1	0	0	0	0	0	0	0	1
76	1	0	0	0	0	0	0	0	1
77	1	0	0	0	0	0	0	0	1
78	1	0	0	0	0	0	0	0	1
79	1	0	0	0	0	0	0	0	1
80	1	0	0	0	0	0	0	0	1
81	1	0	0	0	0	0	0	0	1
82	1	0	0	0	0	0	0	0	1
83	1	0	0	0	0	0	0	0	1
84	1	0	0	0	0	0	0	0	1
85	1	0	0	0	0	0	0	0	1
86	1	0	0	0	0	0	0	0	1
87	1	0	0	0	0	0	0	0	1
88	1	0	0	0	0	0	0	0	1
89	1	0	0	0	0	0	0	0	1
90	1	0	0	0	0	0	0	0	1
91	1	0	0	0	0	0	0	0	1
92	1	0	0	0	0	0	0	0	1
93	1	0	0	0	0	0	0	0	1
94	1	0	0	0	0	0	0	0	1
95	1	0	0	0	0	0	0	0	1
96	1	0	0	0	0	0	0	0	1
97	1	0	0	0	0	0	0	0	1
98	1	0	0	0	0	0	0	0	1
99	1	0	0	0	0	0	0	0	1
100	1	0	0	0	0	0	0	0	1

Level	Number of Fibres	1 Red	1 Red + Don	2 Red + Don	3 Red	3 Red + Don	3 Red Four-Pass	3 Red Four-Pass	Total Spinning
1	1	0	0	0	0	0	0	0	0
2	1	0	0	0	0	0	0	0	0
3	1	0	0	0	0	0	0	0	0
4	1	0	0	0	0	0	0	0	0
5	1	0	0	0	0	0	0	0	0
6	1	0	0	0	0	0	0	0	0
7	1	0	0	0	0	0	0	0	0
8	1	0	0	0	0	0	0	0	0
9	1	0	0	0	0	0	0	0	0
10	1	0	0	0	0	0	0	0	0
11	1	0	0	0	0	0	0	0	0
12	1	0	0	0	0	0	0	0	0
13	1	0	0	0	0	0	0	0	0
14	1	0	0	0	0	0	0	0	0
15	1	0	0	0	0	0	0	0	0
16	1	0	0	0	0	0	0	0	0
17	1	0	0	0	0	0	0	0	0
18	1	0	0	0	0	0	0	0	0
19	1	0	0	0	0	0	0	0	0
20	1	0	0	0	0	0	0	0	0
21	1	0	0	0	0	0	0	0	0
22	1	0	0	0	0	0	0	0	0
23	1	0	0	0	0	0	0	0	0
24	1	0	0	0	0	0	0	0	0
25	1	0	0	0	0	0	0	0	0
26	1	0	0	0	0	0	0	0	0
27	1	0	0	0	0	0	0	0	0
28	1	0	0	0	0	0	0	0	0
29	1	0	0	0	0	0	0	0	0
30	1	0	0	0	0	0	0	0	0
31	1	0	0	0	0	0	0	0	0
32	1	0	0	0	0	0	0	0	0
33	1	0	0	0	0	0	0	0	0
34	1	0	0	0	0	0	0	0	0
35	1	0	0	0	0	0	0	0	0
36	1	0	0	0	0	0	0	0	0
37	1	0	0	0	0	0	0	0	0
38	1	0	0	0	0	0	0	0	0
39	1	0	0	0	0	0	0	0	0
40	1	0	0	0	0	0	0	0	0
41	1	0	0	0	0	0	0	0	0
42	1	0	0	0	0	0	0	0	0
43	1	0	0	0	0	0	0	0	0
44	1	0	0	0	0	0	0	0	0
45	1	0	0	0	0	0	0	0	0
46	1	0	0	0	0	0	0	0	0
47	1	0	0	0	0	0	0	0	0
48	1	0	0	0	0	0	0	0	0
49	1	0	0	0	0	0	0	0	0
50	1	0	0	0	0	0	0	0	0
51	1	0	0	0	0	0	0	0	0
52	1	0	0	0	0	0	0	0	0
53	1	0	0	0	0	0	0	0	0
54	1	0	0	0	0	0	0	0	0
55	1	0	0	0					



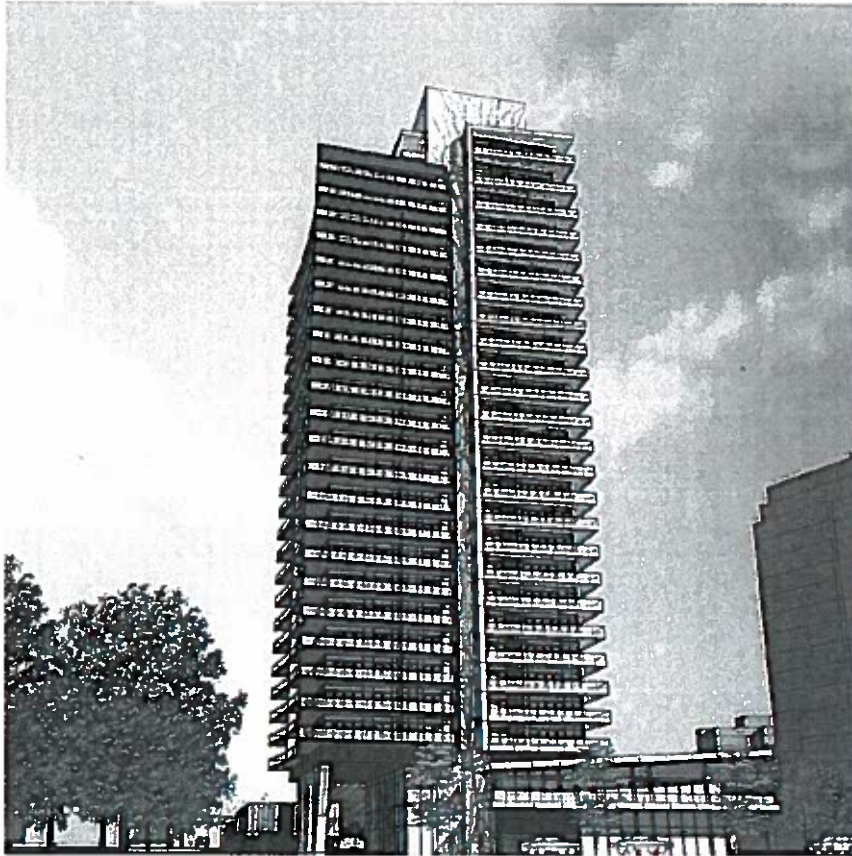


LEGEND
 COMMERCIAL
 RESIDENTIAL
 AVENUE

NEIGHBORHOOD CONTEXT EXCERPT FROM EXISTING ZONING MAP BY CHRIS ONEAKOS ARCHITECTS FOR ILLUSTRATIVE PURPOSES.



SITE PLAN - A100
303 MARINE DRIVE - WEST VANCOUVER
 1"=20'-0" / 1:240 2018.12.20



NEIGHBOURHOOD COMMITTEE EXEMPT
FROM EXISTING ZONING (DP BY CIVIC
ENGINEERS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



A101
303 MARINE DRIVE - WEST VANCOUVER
N.T.S. 2018.12.20

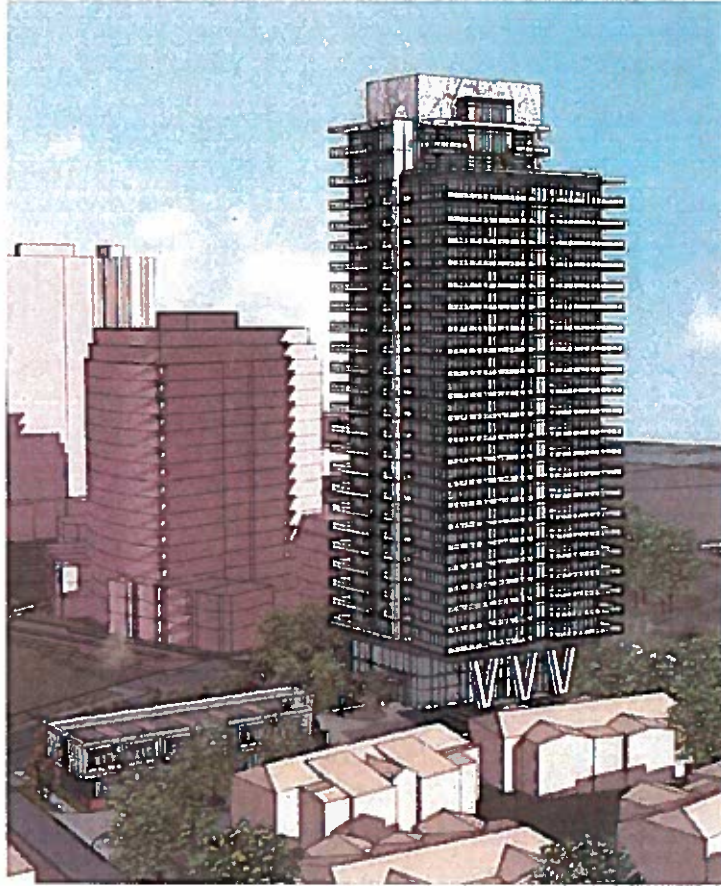


NEIGHBORHOOD CONTEXT EXCERPT
FROM EXISTING ZONING DP BY CHRIS
DEBEAUX ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

A102

303 MARINE DRIVE - WEST VANCOUVER
N.T.S. 2019.12.20

DA
Design Architects



NEIGHBORHOOD CONTEXT EXCEPT
FROM EXISTING ZONING / DP BY CHRIS
DINEAKOS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

A103

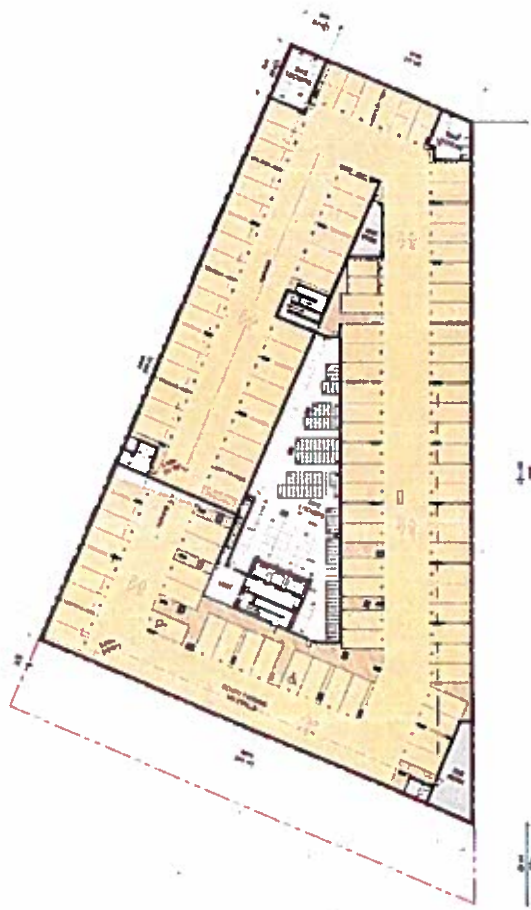
303 MARINE DRIVE - WEST VANCOUVER
NT.5 2018.12.20



NEIGHBORHOOD CONTEXT EXCERPT
FROM EXISTING ZONING I DP BY CHRIS
DIZEAUX ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

A106

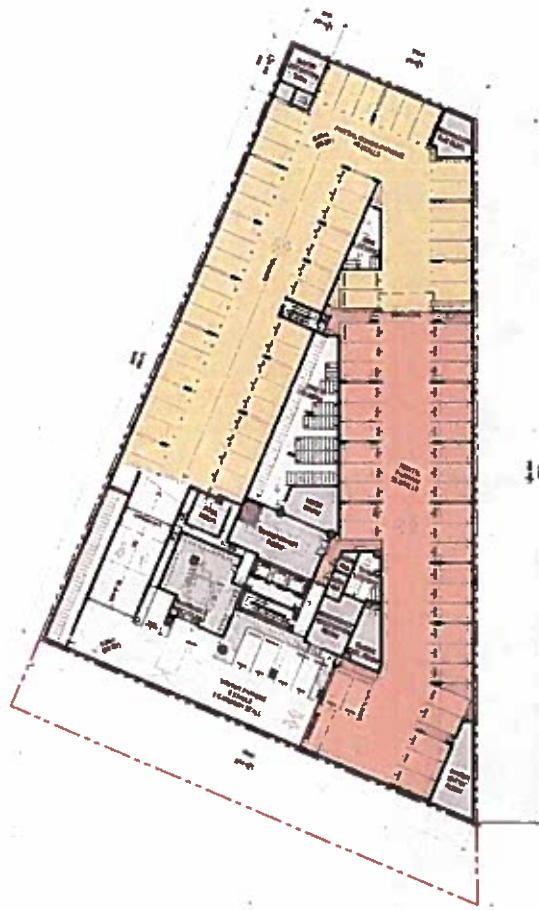
303 MARINE DRIVE - WEST VANCOUVER
N.T.S 2019.12.23



- LEGEND
- AMB SECT
 - RESIDENTIAL CORRIDOR
 - RENTAL
 - RENTAL PARKING
 - RESIDENTIAL
 - RESIDENTIAL PARKING
 - RESIDENTIAL VISITOR PARKING
 - SERVICE



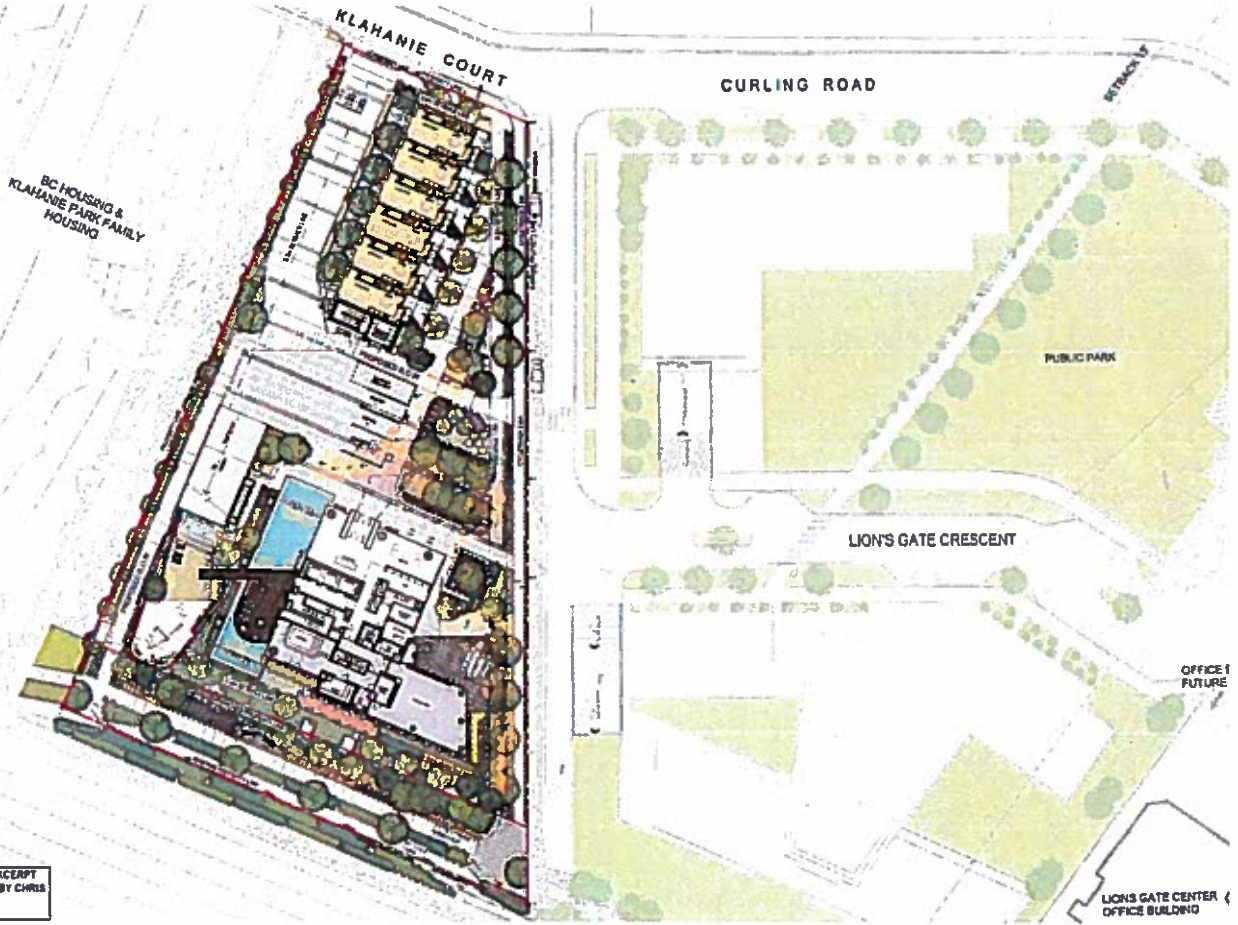
PARKING PLAN P2 - A200
303 MARINE DRIVE - WEST VANCOUVER
 1"=25'-0" / 1:240 2019.12.20



- LEGEND**
- AMENITY
 - RESIDENTIAL COMMON
 - RENTAL
 - RENTAL PARKING
 - RESIDENTIAL
 - RESIDENTIAL PARKING
 - RESIDENTIAL VISITOR PARKING
 - SERVICE



PARKING PLAN P1 - A201
303 MARINE DRIVE - WEST VANCOUVER
 1"=20'-0" / 1:240 2010.12.20



BC HOUSING & KLAHANIE PARK FAMILY HOUSING

KLAHANIE COURT

CURLING ROAD

WETLANDS

PUBLIC PARK

LION'S GATE CRESCENT

OFFICE 1 FUTURE

LION'S GATE CENTER OFFICE BUILDING

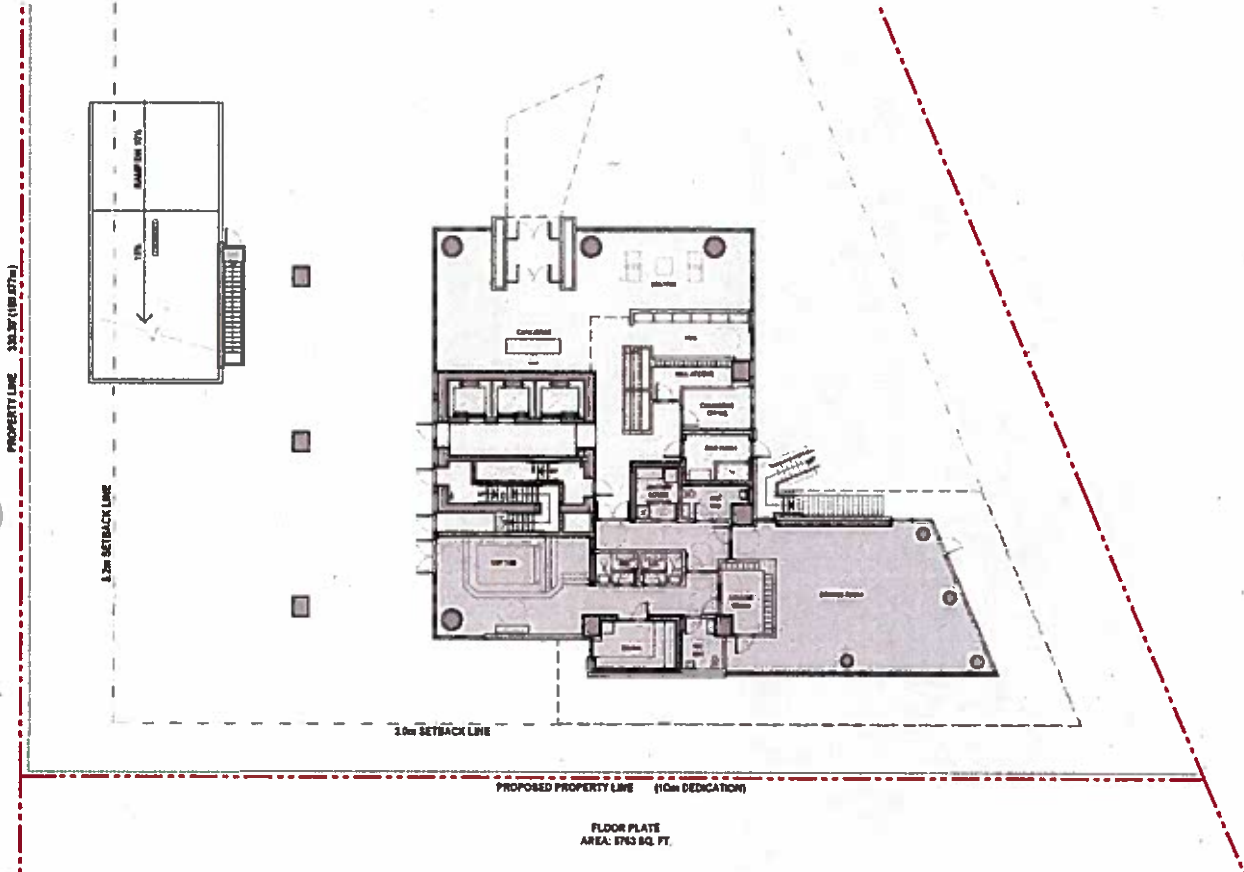


- LEGEND
- COMMON
 - RESIDENTIAL
 - AMENITY

NEIGHBORHOOD CONTEXT EXCEPT FROM EXISTING ZONING / DP BY CHRIS DRIBAKOS ARCHITECTS FOR ILLUSTRATIVE PURPOSES.



OVERALL L1 FLOOR PLAN - A202
303 MARINE DRIVE - WEST VANCOUVER
 1"=20'-0" / 1:240 2019.12.20



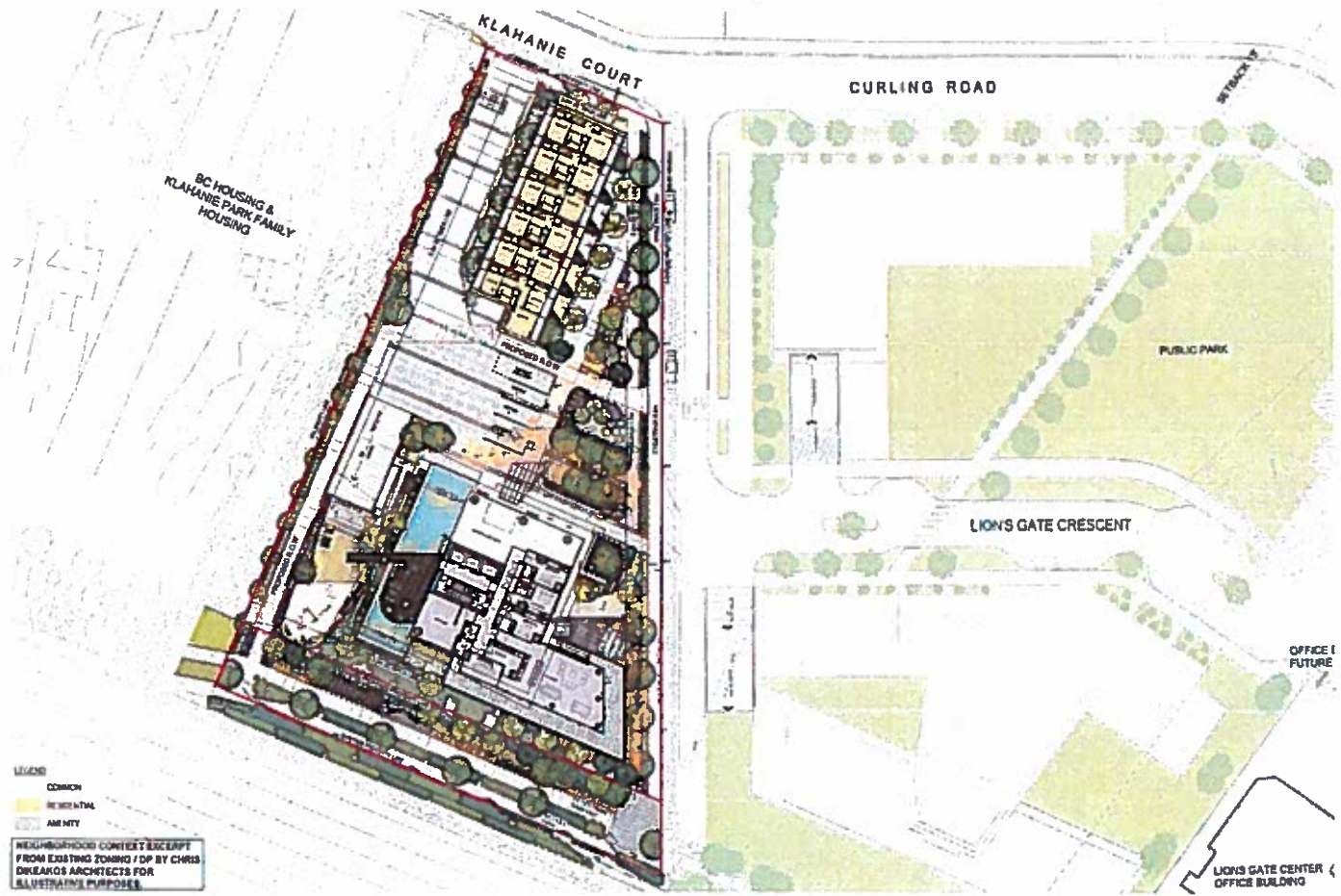
FLOOR PLATE
AREA: 8763 SQ. FT.

- LEGEND
- COMMON
 - RESIDENTIAL
 - AMBULATORY



LEVEL 1 FLOOR PLAN - A203
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:96 2010.12.20





LEGEND

- COMMON
- RESIDENTIAL
- AMENITY

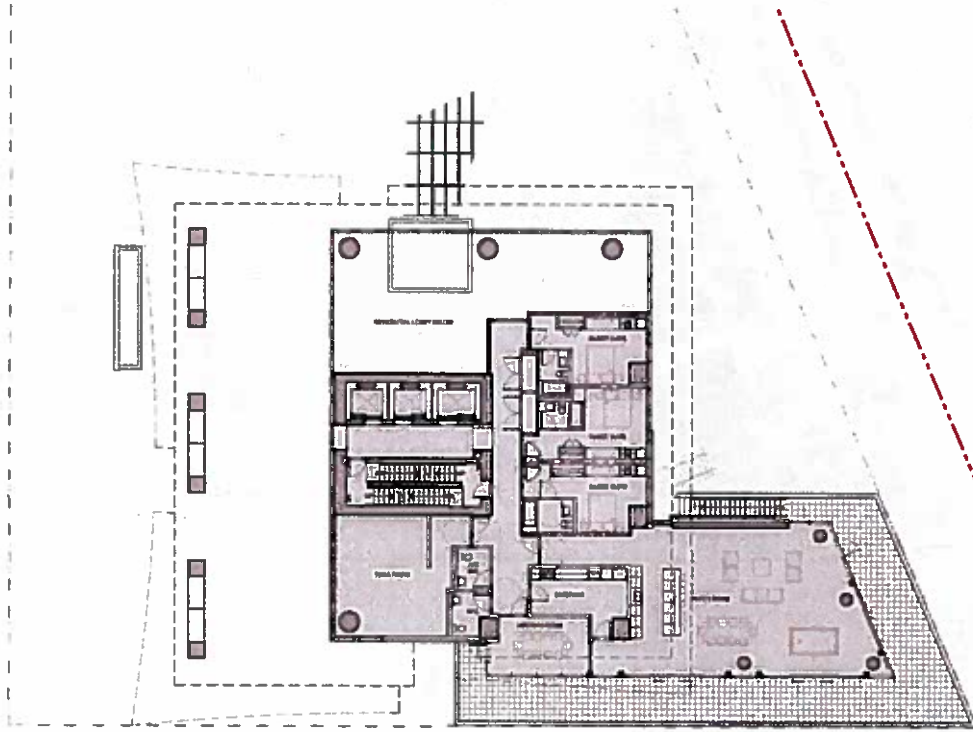
NEIGHBORHOOD CONTEXT EXCEPT FROM EXISTING ZONING / DP BY CHRIS DREKOS ARCHITECTS FOR ILLUSTRATIVE PURPOSES.

LIONS GATE CENTER OFFICE BUILDING

OFFICE 1 FUTURE



OVERALL L2 FLOOR PLAN - A204
303 MARINE DRIVE - WEST VANCOUVER
 1"=20'-0" / 1:240 2019.12.20



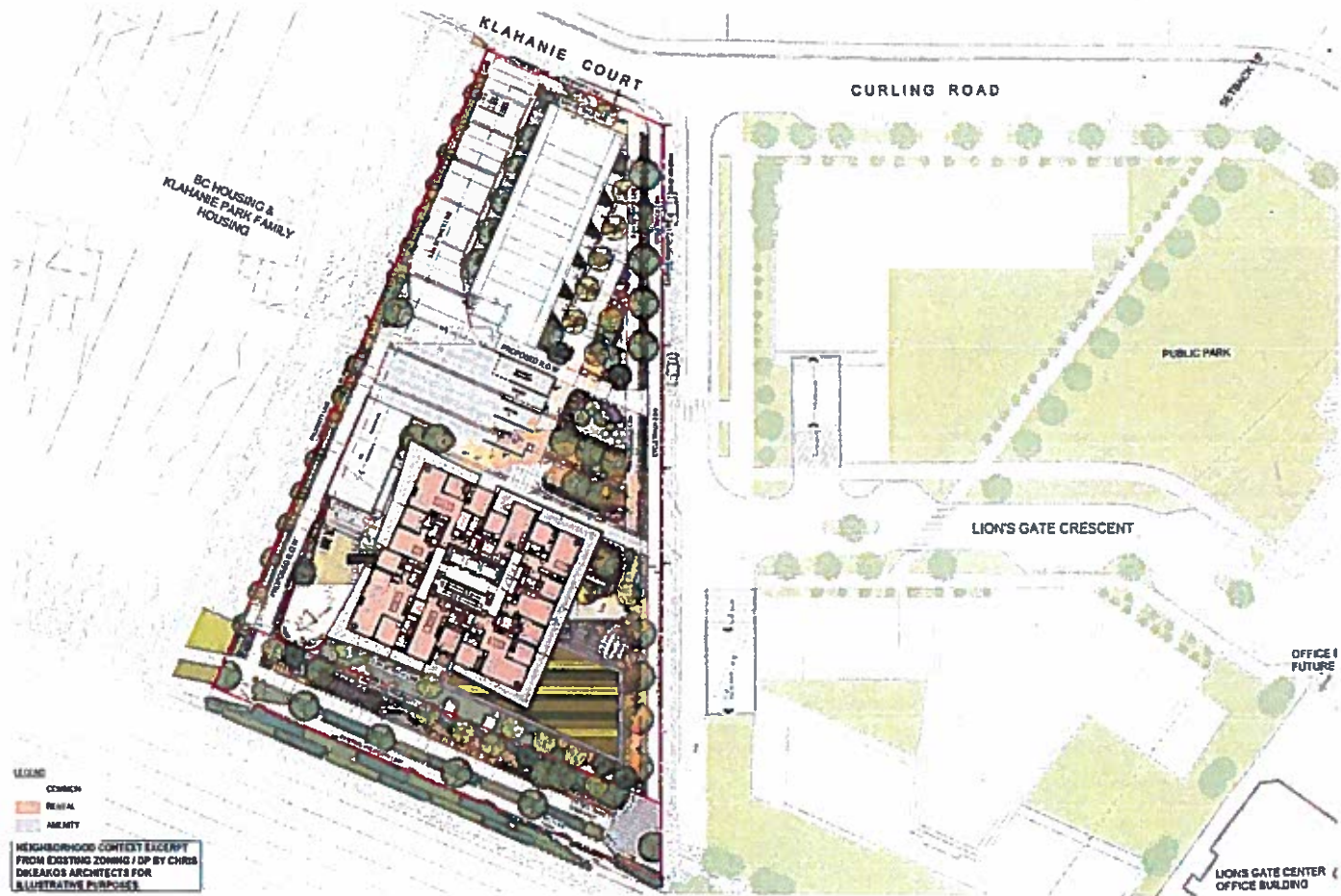
FLOOR PLATE
AREA: 4649 SQ. FT.

- LEGEND
- COMMON
 - RESIDENTIAL
 - AMENITY



LEVEL 2 FLOOR PLAN - A205
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:96 2019.12.20





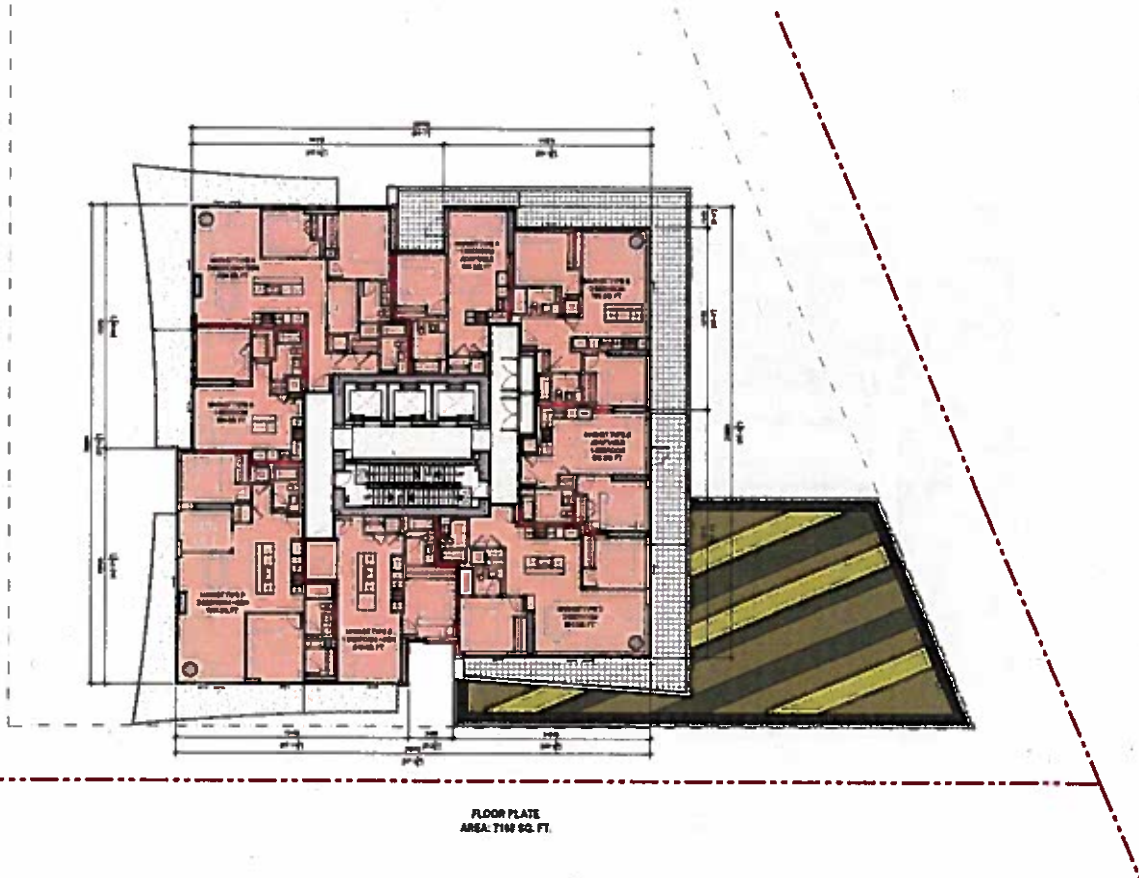
LEGEND

- COMMON
- RESIDENTIAL
- AMENITY

NEIGHBORHOOD CONTEXT EXCERPT FROM EXISTING ZONING / DP BY CHRIS DEBEAUS ARCHITECTS FOR ILLUSTRATIVE PURPOSES



OVERALL L3 FLOOR PLAN - A206
303 MARINE DRIVE - WEST VANCOUVER
 1"=30'-0" / 1:240 2019.12.20

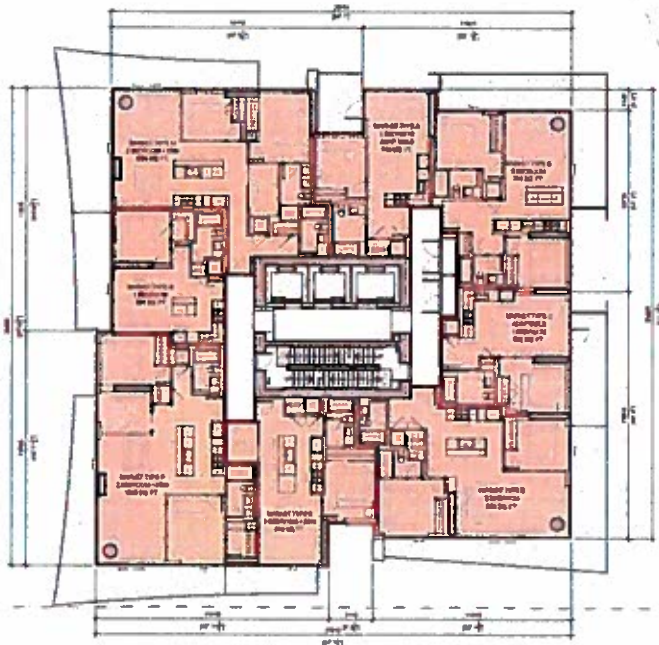


LEGEND

- COMMON
- RENTAL

LEVEL 3 RENTAL FLOOR PLAN - A207
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:96 2018.12.20





FLOOR PLATE
AREA: 7100 SQ. FT.

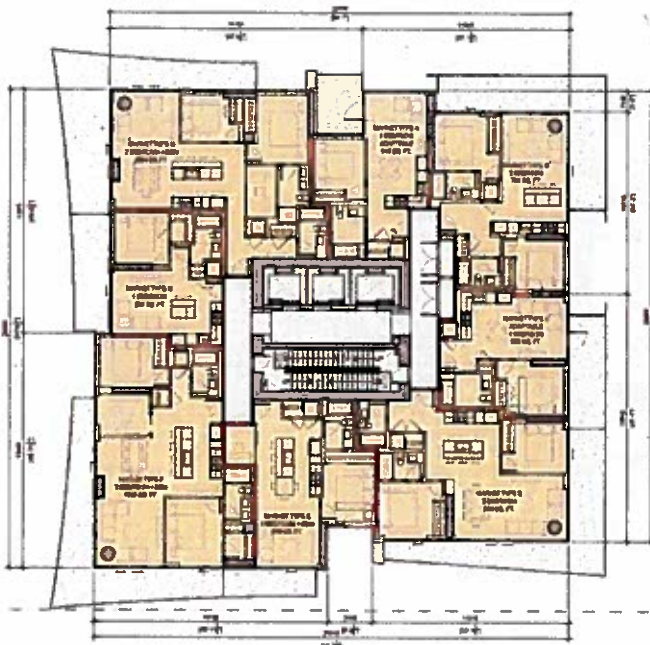
LEGEND
 COMMON
 RENTAL



LEVEL 4-8 RENTAL FLOOR PLAN - A208
303 MARINE DRIVE - WEST VANCOUVER

1/8" = 1'-0" / 1:96 2019.12.20





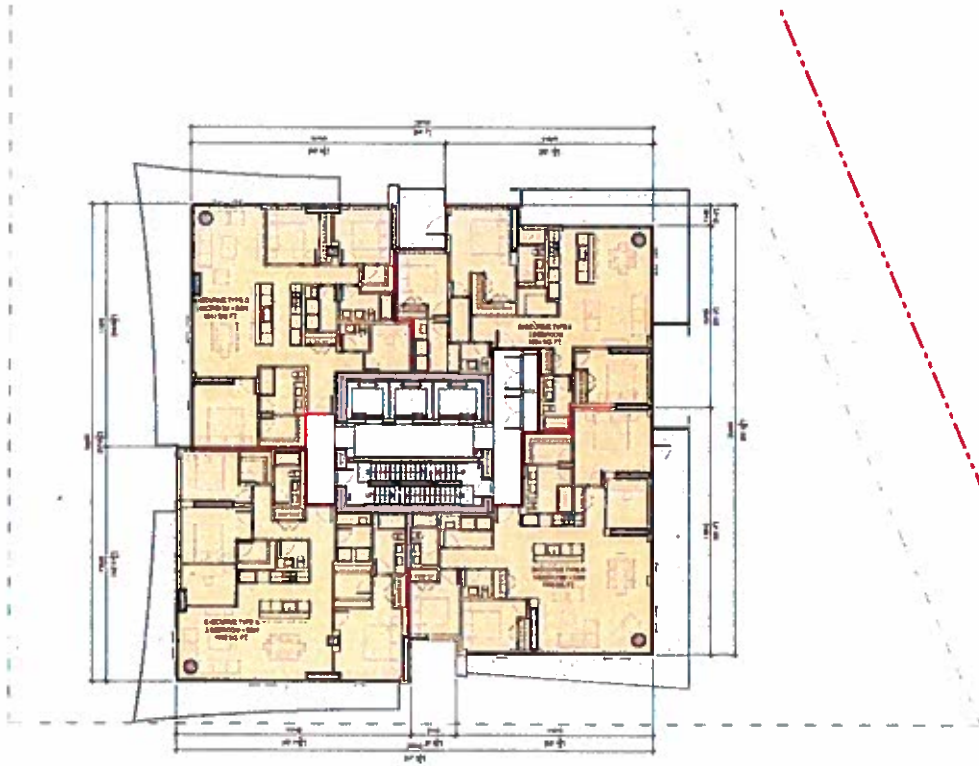
FLOOR PLATE
AREA: 7188 SQ. FT.

LEGEND
 CLASH
 RESIDENTIAL



LEVEL 9-22 TYPICAL MARKET FLOOR PLAN - A209
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:96 2019.12.20





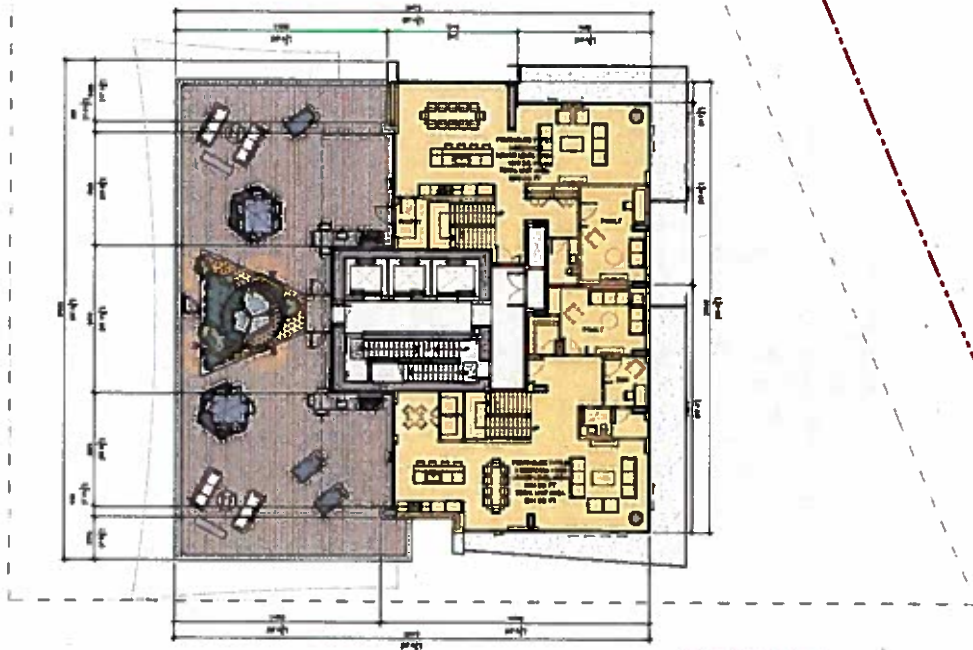
FLOOR PLATE
AREA: 7108 SQ. FT.

LEGEND
COLUMN
RESERVING



LEVEL 23-24 EXECUTIVE FLOOR PLAN - A210
303 MARINE DRIVE - WEST VANCOUVER
 1/8"=1'-0" | 1/96 2010.12.20





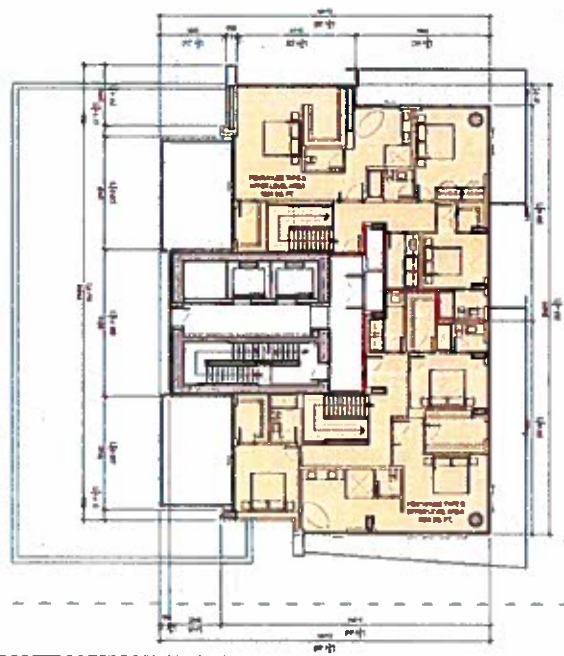
FLOOR PLATE
AREA: 4530 SQ. FT.

LEGEND
COMMON
RESIDENTIAL



LEVEL 25 PENTHOUSE FLOOR PLAN - A211
303 MARINE DRIVE - WEST VANCOUVER
1/8" = 1'-0" / 1:96 2019.12.20





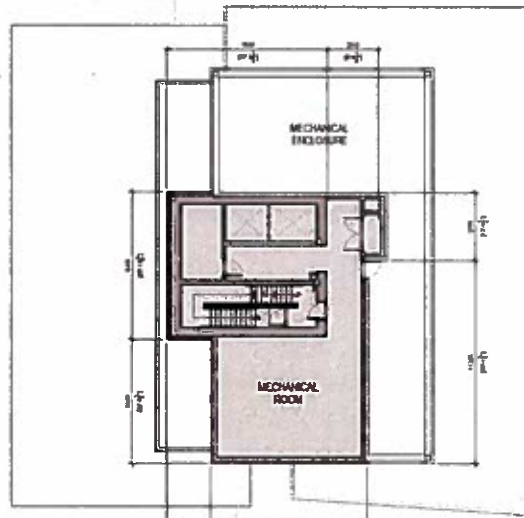
FLOOR PLATE
AREA: 4099 SQ. FT.

LEGEND
 COMMON
 RESIDENTIAL



LEVEL 26 PENTHOUSE FLOOR PLAN - A212
303 MARINE DRIVE - WEST VANCOUVER
 1/8"=1'-0" / 1:96 2010.12.20



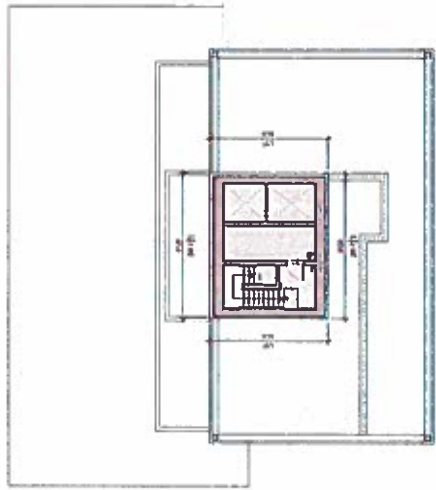


FLOOR PLATE
AREA: 1854 SQ. FT.



MECHANICAL ROOM FLOOR PLAN - A213
303 MARINE DRIVE - WEST VANCOUVER
1:8"=1'-0" / 1:95 2019.12.20



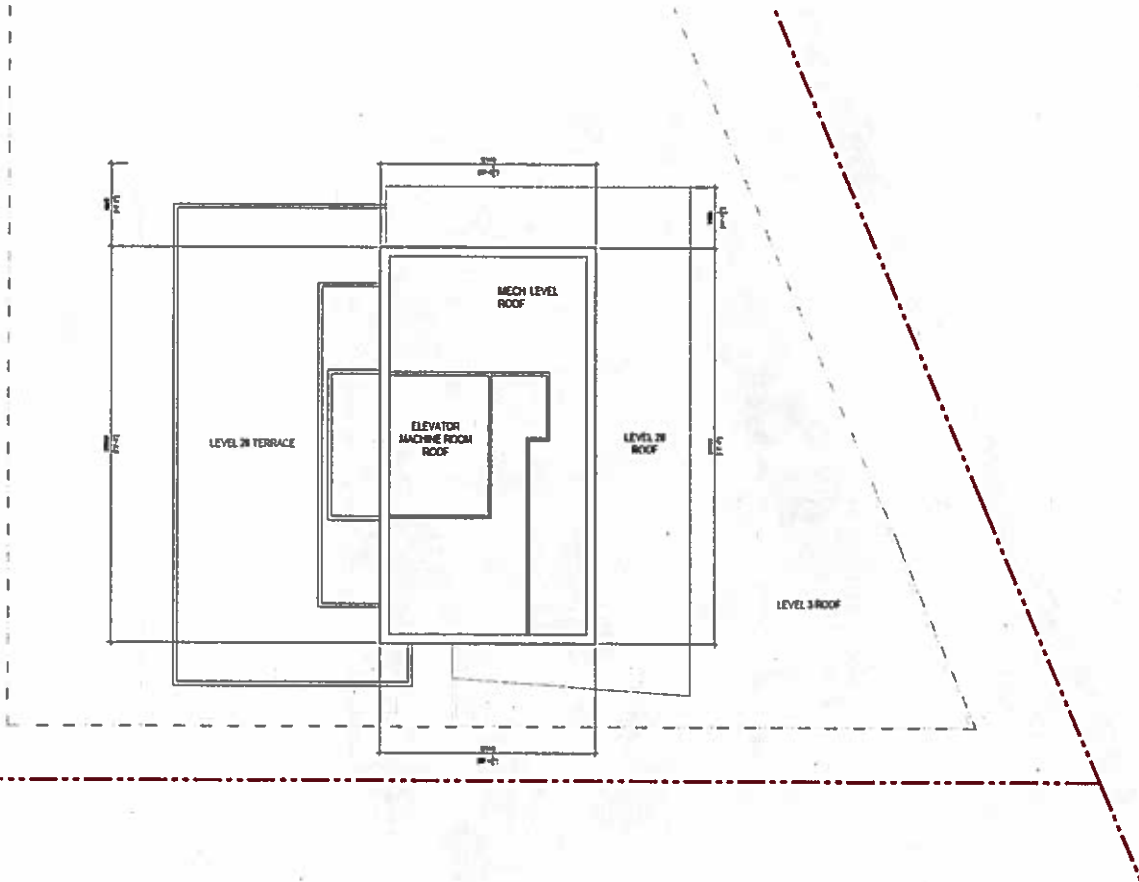


FLOOR PLATE
AREA: 506 SQ. FT.

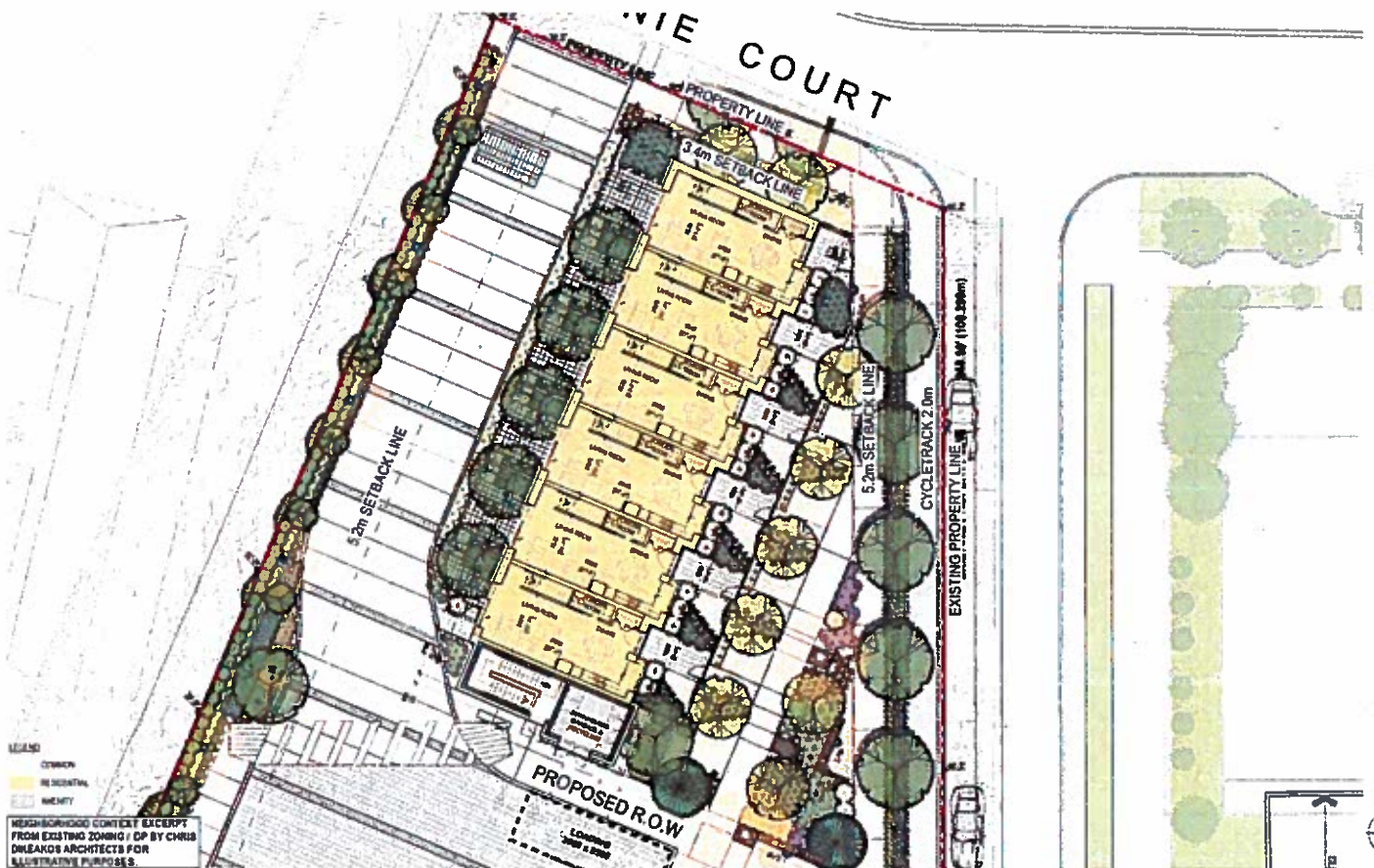


ELEVATOR MACHINE ROOM FLOOR PLAN - A214
303 MARINE DRIVE - WEST VANCOUVER
1/8" = 1'-0" / 1:96 2019.02.20





ROOF PLAN - A216
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1/8" 2018.12.20

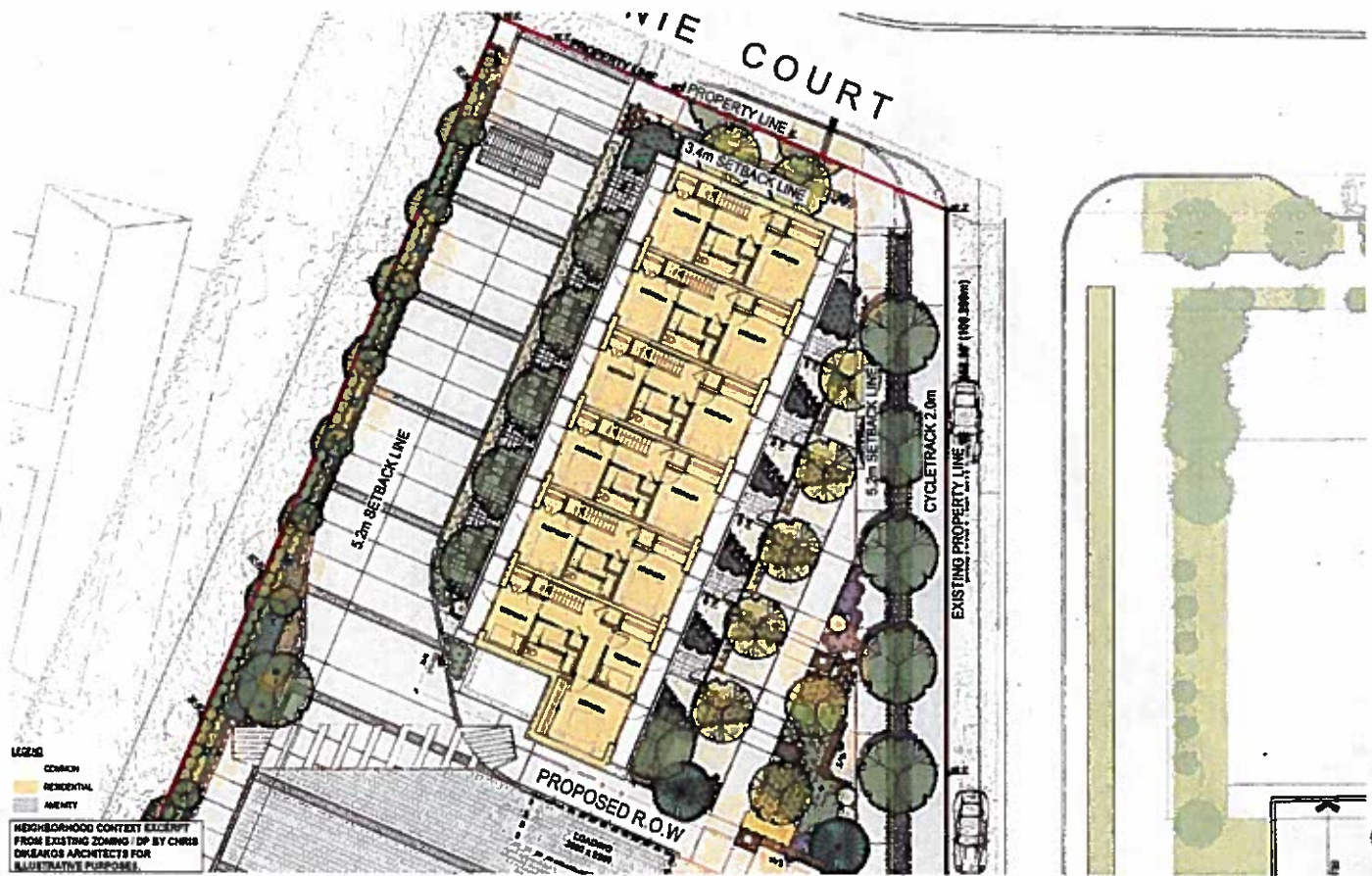


LEGEND
 COMMON
 RESIDENTIAL
 MECHTY

NEIGHBORHOOD CONTEXT EXCERPT FROM EXISTING ZONING / OP BY CHRIS DINEAKIS ARCHITECTS FOR ILLUSTRATIVE PURPOSES.

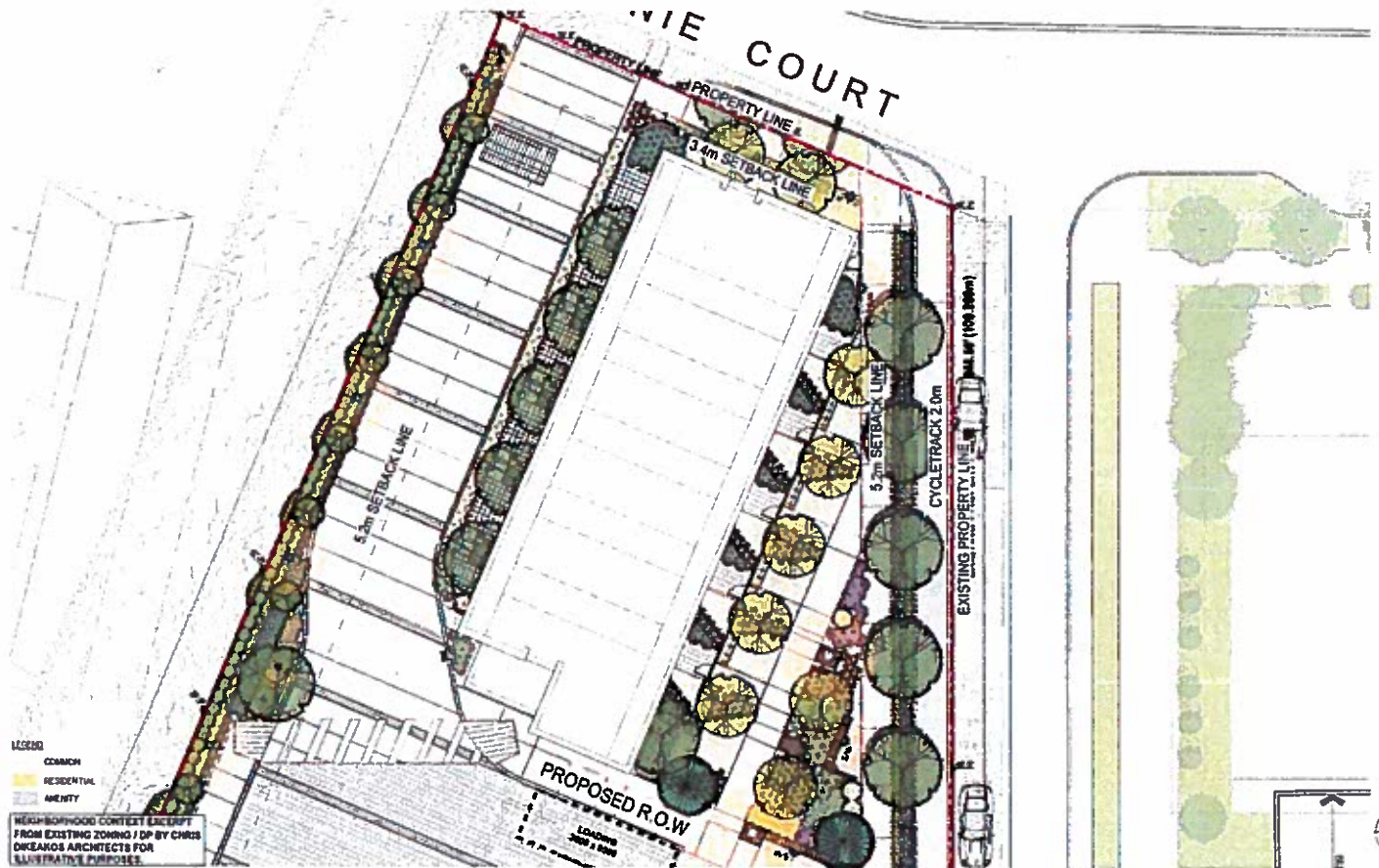


TOWNHOUSES L1 FLOOR PLAN - A216
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:24 2019.12.20



TOWNHOUSES L2 FLOOR PLAN - A217
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:96 2018.12.20



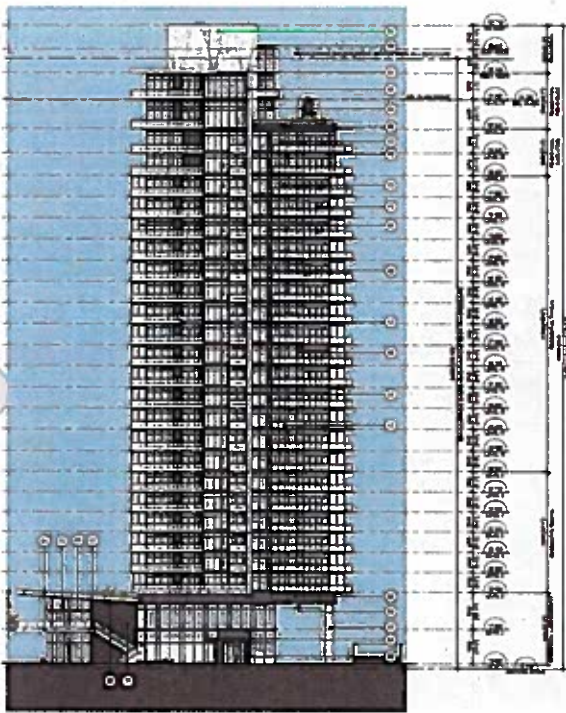


LEGEND
 COMMACH
 RESIDENTIAL
 AGENCY

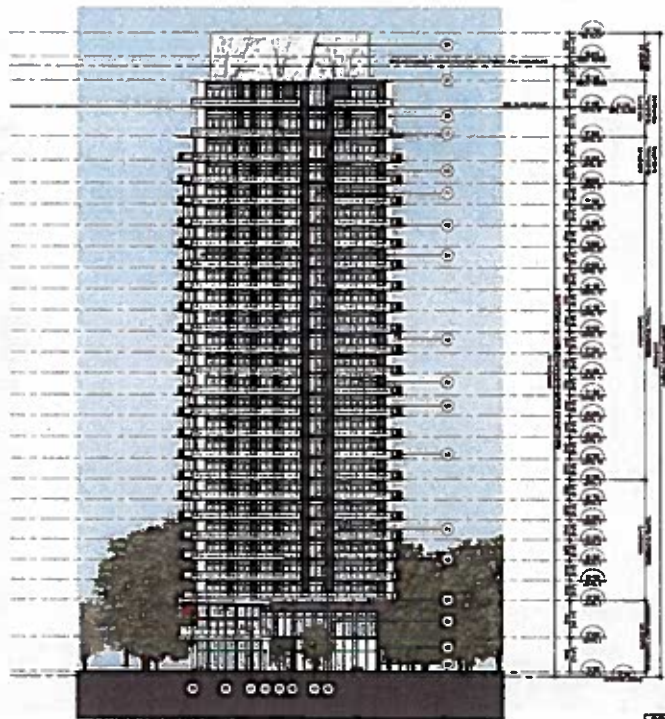
NEIGHBORHOOD CONTEXT EXEMPT FROM EXISTING ZONING / OP BY CHRIS DRINKAS ARCHITECTS FOR ILLUSTRATIVE PURPOSES.

TOWNHOUSES ROOF PLAN - A218
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" | 1:96 | 2018.12.20





⊕ NORTH ELEVATION



⊕ EAST ELEVATION

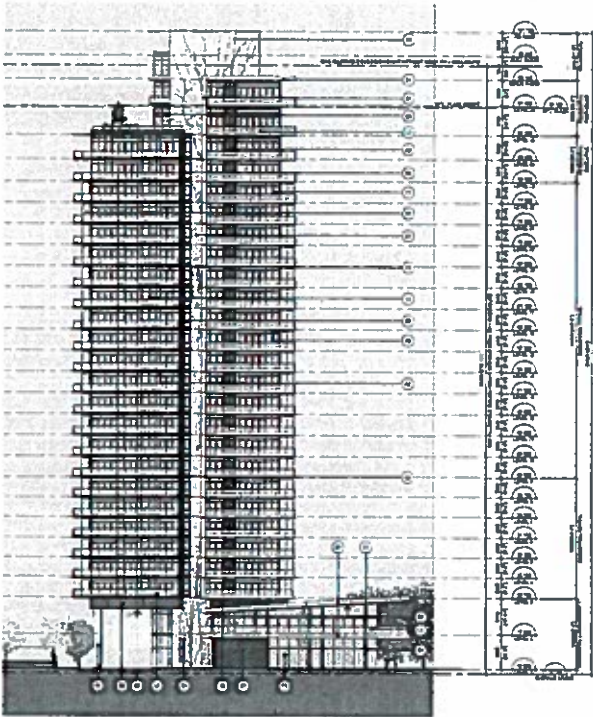
MATERIAL & FINISH SCHEDULE

1. EXTERIOR WALL SYSTEMS
 - 1.1. EXTERIOR WALL SYSTEMS
 - 1.2. EXTERIOR WALL SYSTEMS
2. GLAZING
 - 2.1. GLAZING
 - 2.2. GLAZING
3. ROOFING
 - 3.1. ROOFING
 - 3.2. ROOFING
4. INTERIORS
 - 4.1. INTERIORS
 - 4.2. INTERIORS
5. FLOORING
 - 5.1. FLOORING
 - 5.2. FLOORING
6. CEILING
 - 6.1. CEILING
 - 6.2. CEILING
7. WALLS
 - 7.1. WALLS
 - 7.2. WALLS
8. DOORS
 - 8.1. DOORS
 - 8.2. DOORS
9. STAIRS
 - 9.1. STAIRS
 - 9.2. STAIRS
10. ELEVATOR
 - 10.1. ELEVATOR
 - 10.2. ELEVATOR
11. SIGNAGE
 - 11.1. SIGNAGE
 - 11.2. SIGNAGE

COURTESY EXEMPT FROM EXISTING ZONING / DP BY CHRIS DIXON ARCHITECTS FOR ILLUSTRATIVE PURPOSES.

ELEVATIONS NORTH | EAST - A300
303 MARINE DRIVE - WEST VANCOUVER
 1"=30'-0" / 1:240 2018.12.20





⊕ SOUTH ELEVATION



⊕ WEST ELEVATION

MATERIAL & FINISH SCHEDULE

- 1. ALUMINUM CLADDING SYSTEMS
 1.1 ALUMINUM CLADDING SYSTEMS
 1.2 ALUMINUM CLADDING SYSTEMS
- 2. GLASS PANELS
 2.1 GLASS PANELS
 2.2 GLASS PANELS
- 3. STONE
 3.1 STONE
 3.2 STONE
- 4. BRICKWORK
 4.1 BRICKWORK
 4.2 BRICKWORK
- 5. CONCRETE
 5.1 CONCRETE
 5.2 CONCRETE
- 6. TERRAZZO
 6.1 TERRAZZO
 6.2 TERRAZZO
- 7. CERAMIC TILE
 7.1 CERAMIC TILE
 7.2 CERAMIC TILE
- 8. PAINT
 8.1 PAINT
 8.2 PAINT
- 9. METAL
 9.1 METAL
 9.2 METAL
- 10. WOOD
 10.1 WOOD
 10.2 WOOD
- 11. PLASTER
 11.1 PLASTER
 11.2 PLASTER
- 12. Gypsum Board
 12.1 Gypsum Board
 12.2 Gypsum Board
- 13. Acoustic Ceiling
 13.1 Acoustic Ceiling
 13.2 Acoustic Ceiling
- 14. Wall Paneling
 14.1 Wall Paneling
 14.2 Wall Paneling
- 15. Floor Paneling
 15.1 Floor Paneling
 15.2 Floor Paneling
- 16. Wall Paneling
 16.1 Wall Paneling
 16.2 Wall Paneling
- 17. Floor Paneling
 17.1 Floor Paneling
 17.2 Floor Paneling
- 18. Wall Paneling
 18.1 Wall Paneling
 18.2 Wall Paneling
- 19. Floor Paneling
 19.1 Floor Paneling
 19.2 Floor Paneling
- 20. Wall Paneling
 20.1 Wall Paneling
 20.2 Wall Paneling
- 21. Floor Paneling
 21.1 Floor Paneling
 21.2 Floor Paneling
- 22. Wall Paneling
 22.1 Wall Paneling
 22.2 Wall Paneling
- 23. Floor Paneling
 23.1 Floor Paneling
 23.2 Floor Paneling
- 24. Wall Paneling
 24.1 Wall Paneling
 24.2 Wall Paneling
- 25. Floor Paneling
 25.1 Floor Paneling
 25.2 Floor Paneling

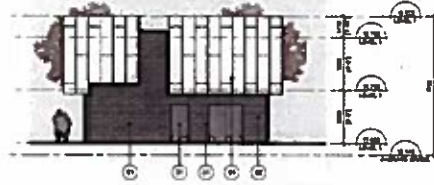
CONTEXT EXCERPT FROM EXISTING ZONING / DP BY CHRIS DEKLANDS ARCHITECTS FOR ILLUSTRATIVE PURPOSES

ELEVATIONS SOUTH | WEST - A301
303 MARINE DRIVE - WEST VANCOUVER
 1"=33'-0" / 1:240 2018.12.20

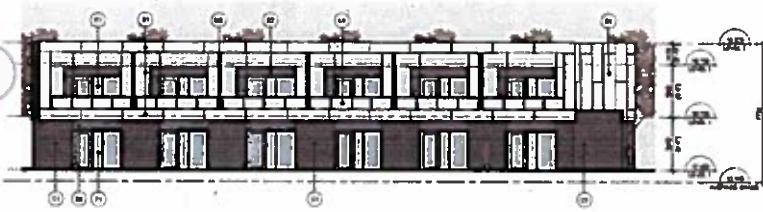




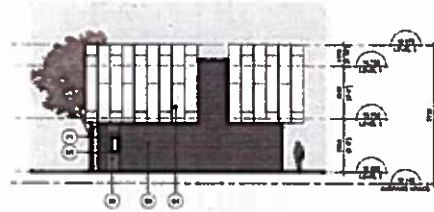
EAST ELEVATION



SOUTH ELEVATION



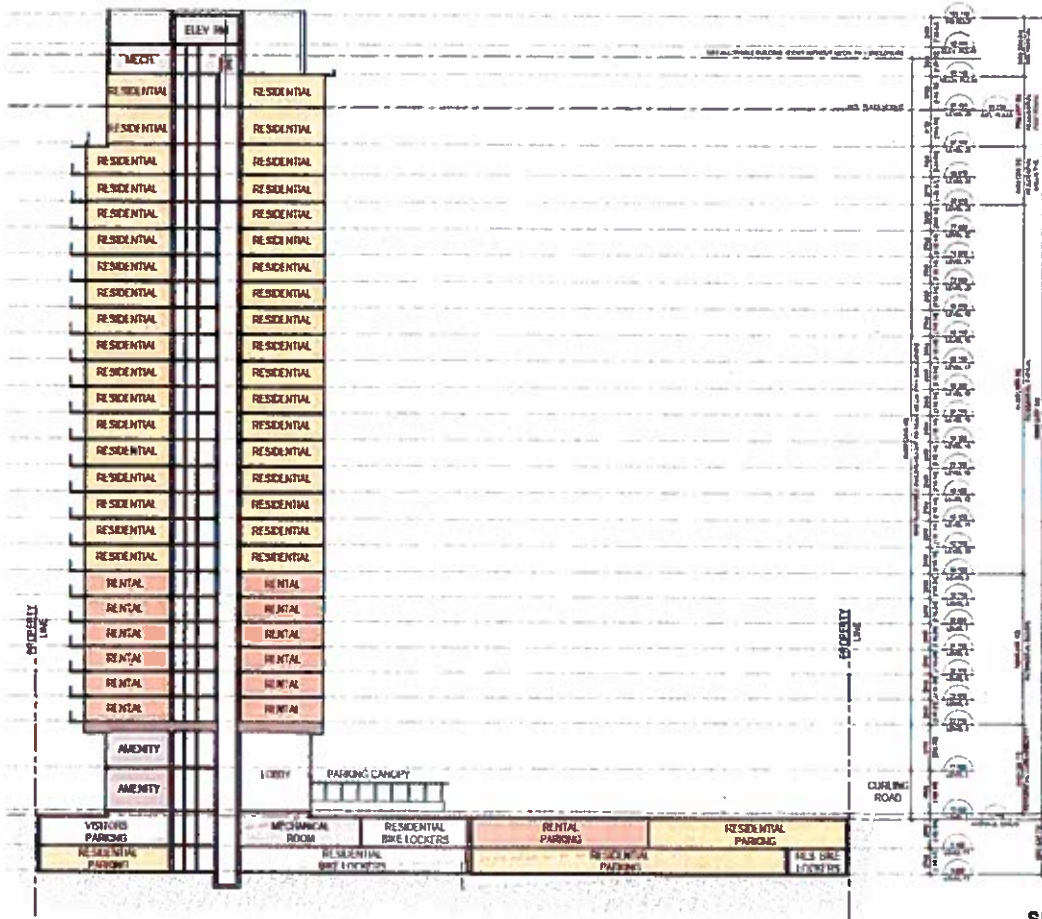
WEST ELEVATION

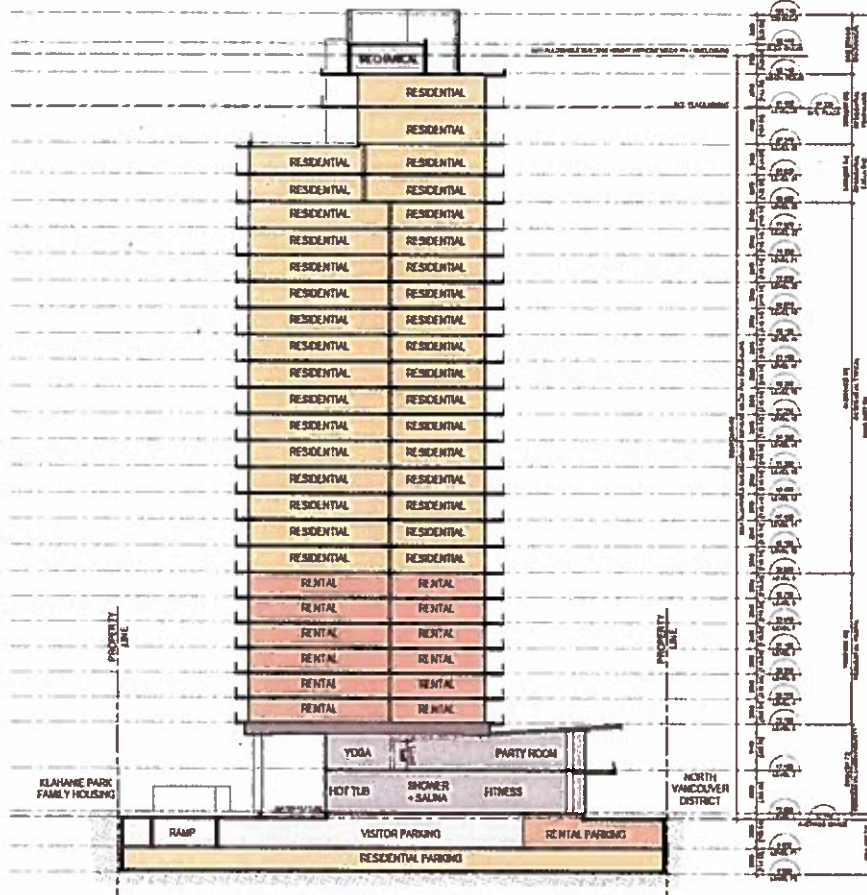


NORTH ELEVATION

MATERIAL & FINISH SCHEDULE	
1	CONCRETE WALL, EXTERIOR FINISHES to match adjacent walls to match adjacent walls
2	WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
3	WALL to match adjacent walls to match adjacent walls to match adjacent walls
4	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
5	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
6	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
7	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
8	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
9	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
10	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
11	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
12	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
13	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
14	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
15	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
16	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
17	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
18	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
19	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
20	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
21	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
22	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
23	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
24	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
25	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
26	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
27	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
28	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
29	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls
30	CONCRETE WALL PANELS to match adjacent walls to match adjacent walls to match adjacent walls







This page intentionally left blank



This page intentionally left blank



303 MARINE DRIVE

District of West Vancouver, British Columbia

COMPARISON SET BETWEEN EXISTING ZONING/DP AND PROPOSED ZONING/DP AMENDMENT

December 20, 2019

CONTACT LIST:

BUILDING OWNER

Domo (Seattle) Properties Corp
1542 Hunter Street
North Vancouver, BC V7J 1H8
T 604 967 6008
F 604 967 6008

ARCHITECT

DA Architects + Planners
4200 1014 Hunter Street
Vancouver, BC V6G 2W9
T 604 686 8312
F 604 686 8989

LANDSCAPE ARCHITECT

Leiford Tjebke + Associates
Landscape Architecture Inc.
9880 West Second Avenue
Vancouver, BC V6J 1K4
T 604 821 1456
F 604 821 1458

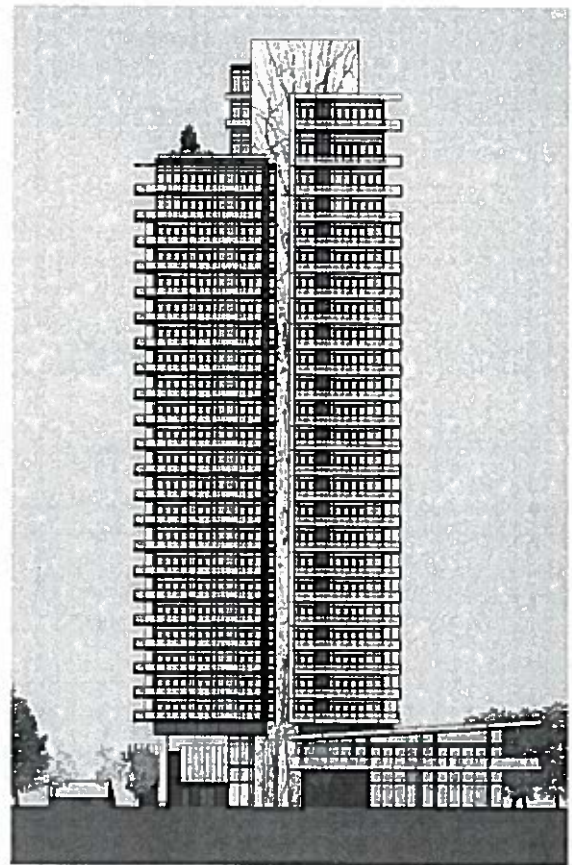
SURVEYOR

Benson Land Surveying Ltd
6281 - 275 Fall Avenue
North Vancouver, BC V7P 2P5
T 604 983-6823
F 604-983-5858

DRAWING LIST:

ARCHITECTURAL

- 00 Cover Sheet
- 01 Schematic Building Section Comparison
- 02 Project Data 1
- 03 Project Data 2
- 04 Site Plan
- 05 3D View A 001
- 06 3D View A 002
- 07 3D View A 003
- 08 3D View A 004
- 09 Parking Plan P1
- 10 Parking Plan P2
- 11 Overall L1 Floor Plan
- 12 Existing Zoning/DP Level 1 Floor Plan
- 13 Proposed Level 1 Floor Plan
- 14 Overall L2 Floor Plan
- 15 Existing Zoning/DP Level 2 Floor Plan
- 16 Proposed Level 2 Floor Plan
- 17 Overall L3 Floor Plan
- 18 Level 3 Rental Floor Plan
- 19 Level 4-8 Rental Floor Plan
- 20 Typical Market Floor Plan
- 21 Typical Market Floor Plan
- 22 Executive Floor Plan
- 23 Level 25 Penthouse Floor Plan
- 24 Level 26 Penthouse Floor Plan
- 25 Mech. Room Floor Plan
- 26 Existing Zoning/DP Section A-A
- 27 Proposed Section A-A
- 28 Existing Zoning/DP Section B-B
- 29 Proposed Section B-B



EXISTING ZONING / DP		PROPOSED ZONING / DP																															
MARKET CONDO (LEVEL 9-25)	PENTHOUSE: L25-26 2 UNITS	28	PENTHOUSE: L25-26 2 UNITS																														
	SUB-PENTHOUSE: L22-24 4 UNITS / FLOOR = 12 UNITS	25	SUB-PENTHOUSE: L23-24 4 UNITS / FLOOR = 8 UNITS																														
		24																															
		23																															
	MARKET CONDOS: L13-21 5 UNITS / FLOOR = 45 UNITS	22	MARKET CONDOS: L9-22 8 UNITS / FLOOR = 112 UNITS																														
		21																															
		20																															
		19																															
		18																															
		17																															
16																																	
RENTAL UNITS (LEVEL 3-8)	MARKET CONDOS: L9-12 7 UNITS / FLOOR = 28 UNITS	15	RENTAL UNITS: L3-8 8 UNITS / FLOOR = 48 UNITS																														
		14																															
	13																																
	12																																
	11																																
	10																																
	9																																
	8																																
RENTAL UNITS: L3-8 8 UNITS / FLOOR = 48 UNITS	7	RENTAL UNITS: L3-8 8 UNITS / FLOOR = 48 UNITS																															
	6																																
	5																																
	4																																
	3																																
	2 - AMENITY																																
	1 - LOBBY	AMENITY																															
<table border="1"> <thead> <tr> <th></th> <th>UNIT</th> <th>PARKING</th> </tr> </thead> <tbody> <tr> <td>TOTAL NON-MARKET TOWNHOUSES:</td> <td>6</td> <td>6</td> </tr> <tr> <td>TOTAL RENTAL UNITS:</td> <td>48</td> <td>30</td> </tr> <tr> <td>TOTAL MARKET CONDO:</td> <td>87</td> <td>160</td> </tr> <tr> <td>TOTAL:</td> <td>141</td> <td>201</td> </tr> </tbody> </table>			UNIT	PARKING	TOTAL NON-MARKET TOWNHOUSES:	6	6	TOTAL RENTAL UNITS:	48	30	TOTAL MARKET CONDO:	87	160	TOTAL:	141	201	<table border="1"> <thead> <tr> <th></th> <th>UNIT</th> <th>PARKING</th> </tr> </thead> <tbody> <tr> <td>TOTAL NON-MARKET TOWNHOUSES:</td> <td>6</td> <td>6</td> </tr> <tr> <td>TOTAL RENTAL UNITS:</td> <td>48</td> <td>30</td> </tr> <tr> <td>TOTAL MARKET CONDO:</td> <td>122</td> <td>160</td> </tr> <tr> <td>TOTAL:</td> <td>176</td> <td>204</td> </tr> </tbody> </table>			UNIT	PARKING	TOTAL NON-MARKET TOWNHOUSES:	6	6	TOTAL RENTAL UNITS:	48	30	TOTAL MARKET CONDO:	122	160	TOTAL:	176	204
	UNIT	PARKING																															
TOTAL NON-MARKET TOWNHOUSES:	6	6																															
TOTAL RENTAL UNITS:	48	30																															
TOTAL MARKET CONDO:	87	160																															
TOTAL:	141	201																															
	UNIT	PARKING																															
TOTAL NON-MARKET TOWNHOUSES:	6	6																															
TOTAL RENTAL UNITS:	48	30																															
TOTAL MARKET CONDO:	122	160																															
TOTAL:	176	204																															

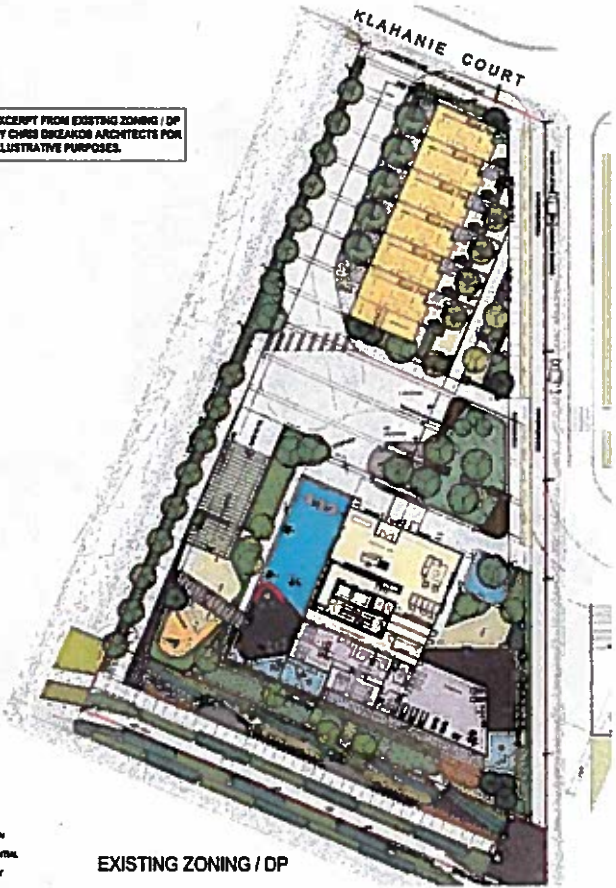
SCHEMATIC BUILDING SECTION COMPARISON - 1

303 MARINE DRIVE - WEST VANCOUVER

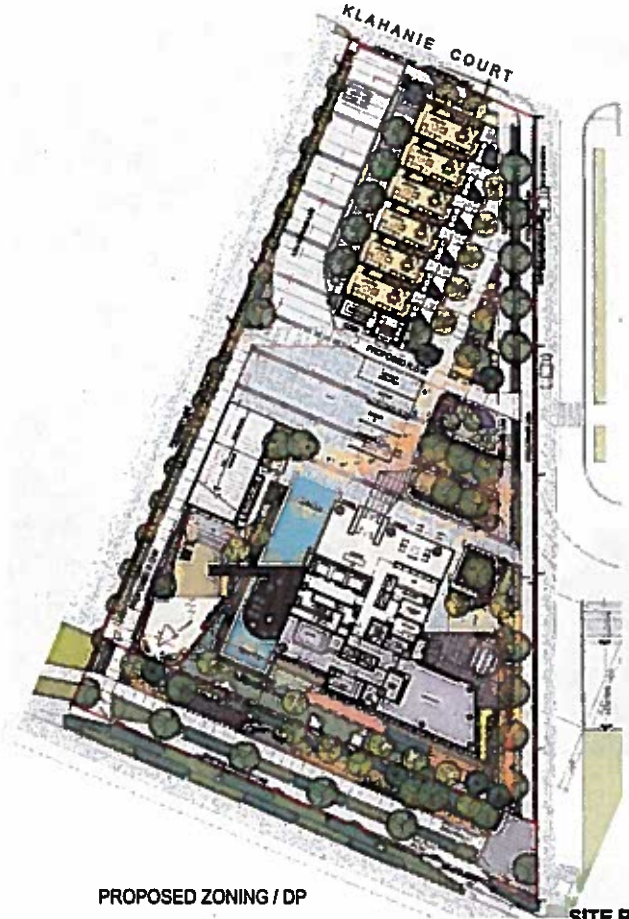
N.T.S. 2019.12.20



EXCERPT FROM EXISTING ZONING / DP
BY CHRIS BRIDGES ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



EXISTING ZONING / DP



PROPOSED ZONING / DP

- LEGEND
- COMMON
- RESIDENTIAL
- AMENITY





EXISTING ZONING / DP



PROPOSED ZONING / DP

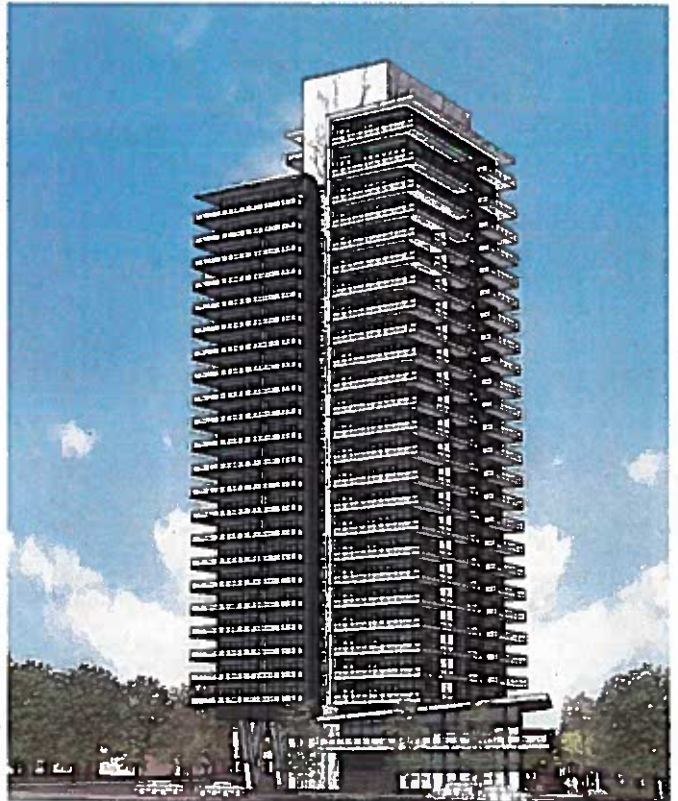
EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DREJAK'S ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



3D VIEW A101 - 5
303 MARINE DRIVE - WEST VANCOUVER
N.T.S. 2018.12.20



EXISTING ZONING / DP



PROPOSED ZONING / DP

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DIKEAKOS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.





EXISTING ZONING / DP



PROPOSED ZONING / DP

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DREJAKO ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.





EXISTING ZONING / DP

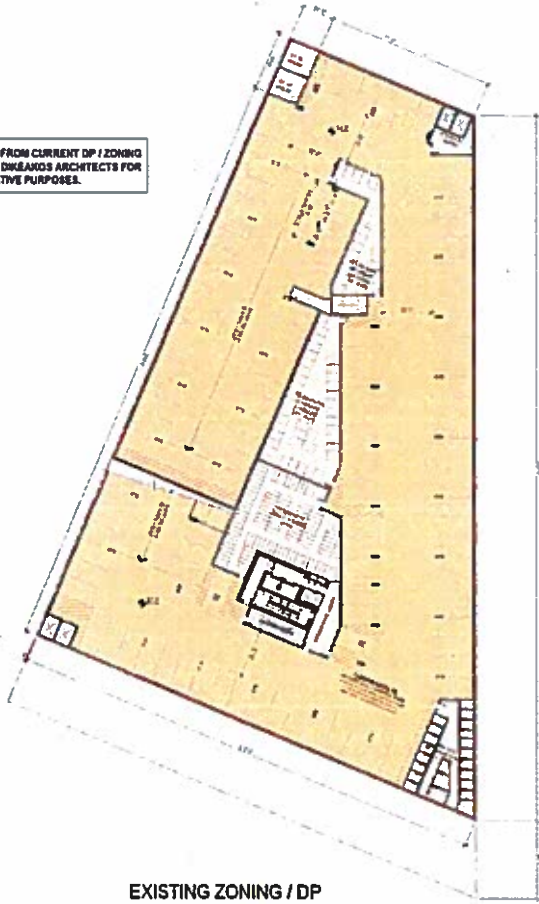


PROPOSED ZONING / DP

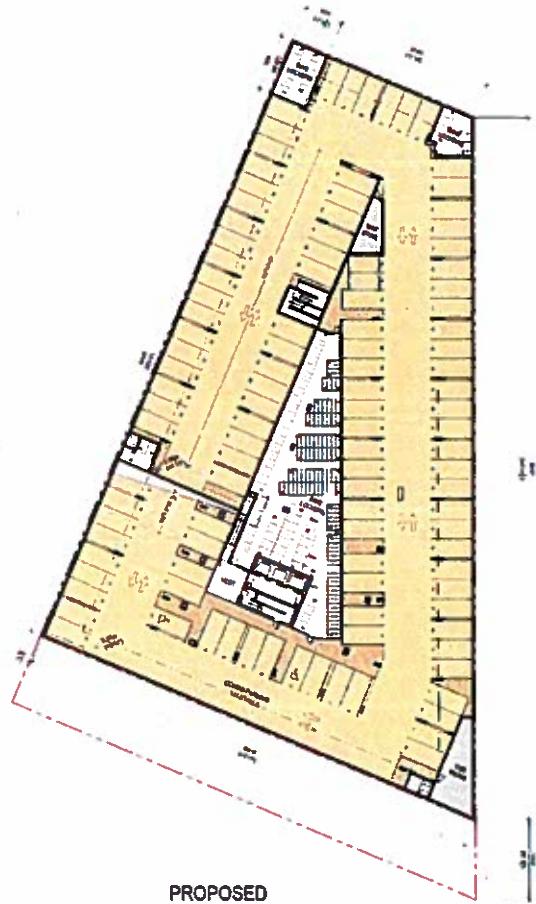
EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DUNNE ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



EXCERPT FROM CURRENT DP / ZONING
BY CHRIS DREJAUX ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



EXISTING ZONING / DP



PROPOSED

- LEGEND
- AMENITY
 - RESIDENTIAL
 - COMMERCIAL
 - RENTAL
 - RENTAL
 - PARKING
 - RESIDENTIAL
 - RESIDENTIAL
 - PARKING
 - RESIDENTIAL
 - VISIT OR PARKING
 - SERVICE

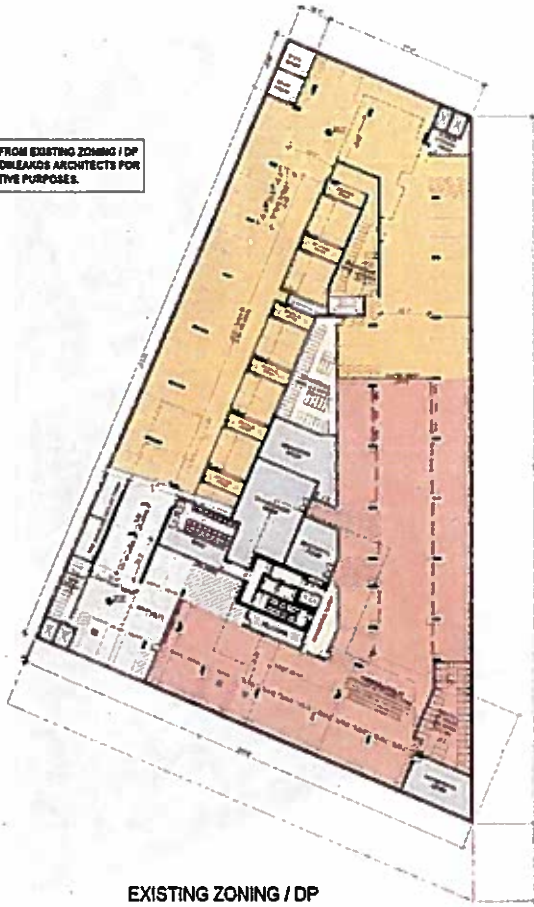
PARKING PLAN P2 - 9

303 MARINE DRIVE - WEST VANCOUVER

1"=30'-0" / 1:240 2019.12.20



EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DRILEAKOS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



EXISTING ZONING / DP

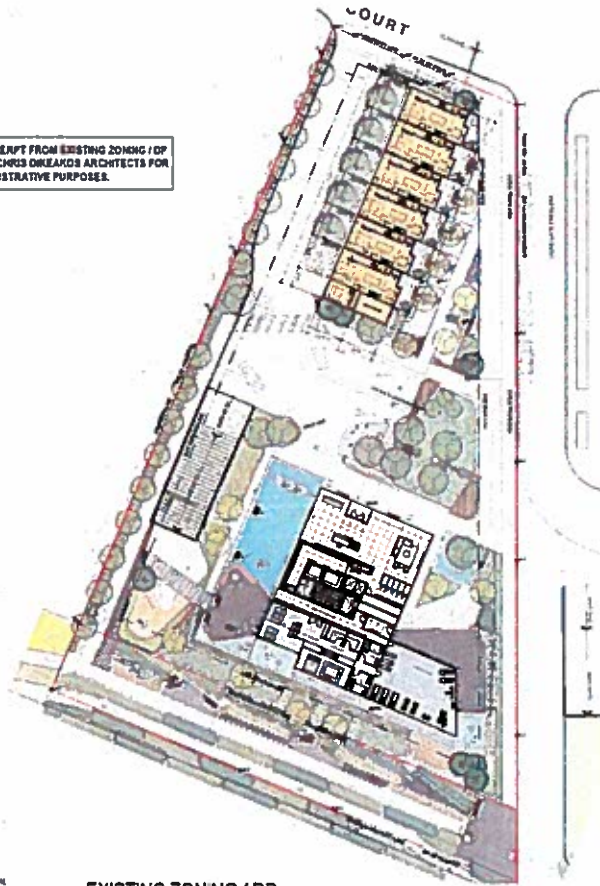


PROPOSED ZONING / DP

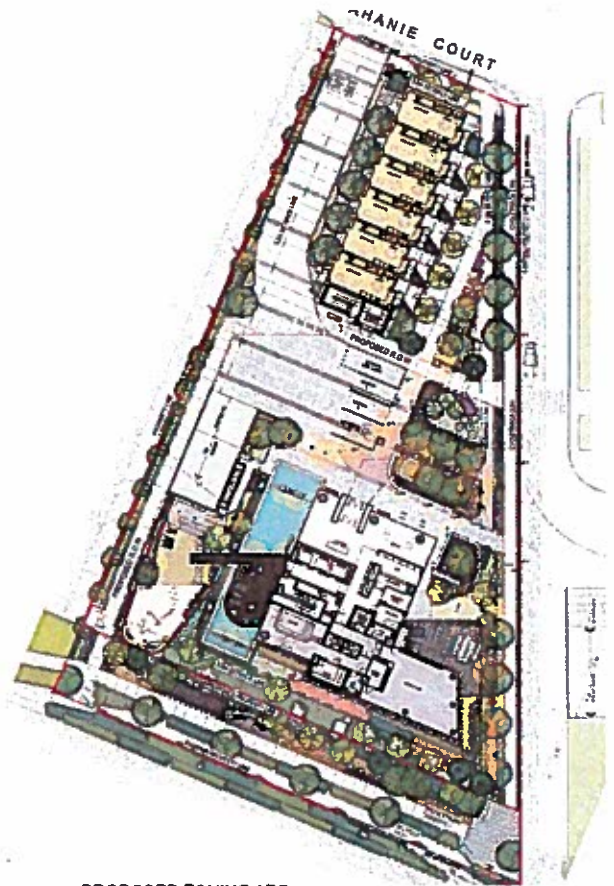
- LEGEND**
- ANCHOR
 - RESIDENTIAL COMMERCIAL
 - RESIDENTIAL
 - RESIDENTIAL PARKING
 - RESIDENTIAL
 - RESIDENTIAL PARKING
 - RESIDENTIAL
 - HISTORIC PARKING
 - SERVICE



EXCERPT FROM EXISTING ZONING / DP
BY CHRIS ORLANDO ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



EXISTING ZONING / DP

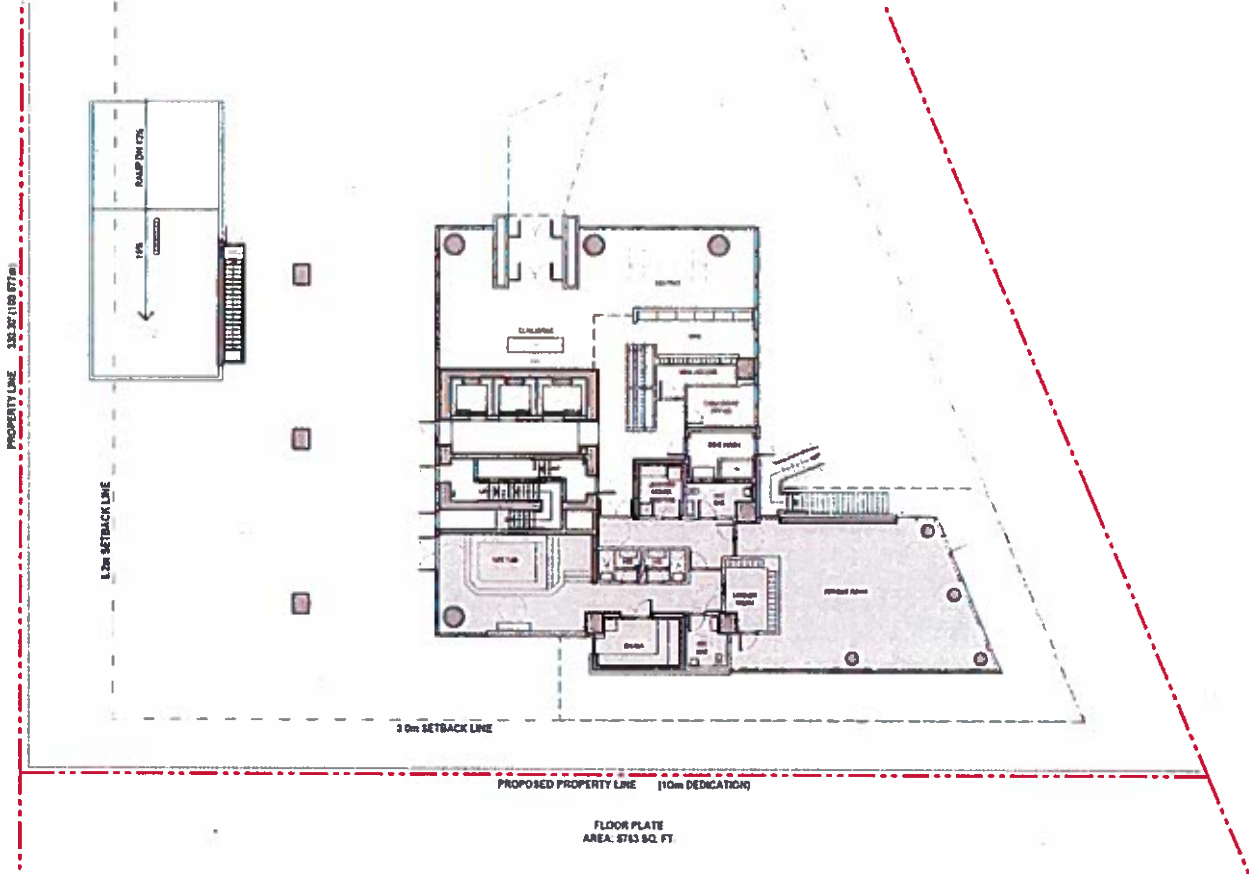


PROPOSED ZONING / DP

OVERALL L1 FLOOR PLAN - 11
303 MARINE DRIVE - WEST VANCOUVER
T=37'-0" / 1:240 2019.12.20

MS&D
 DESIGN
 DEVELOPMENT
 AMENITY





FLOOR PLATE
AREA: 5763 SQ. FT.

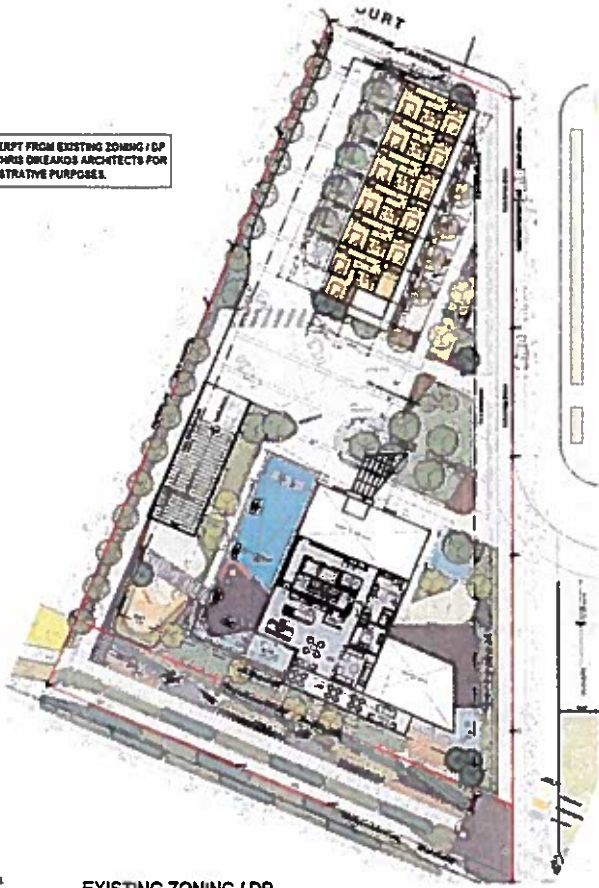
LEGEND

- COMMON
- RESIDENTIAL
- AMENITY

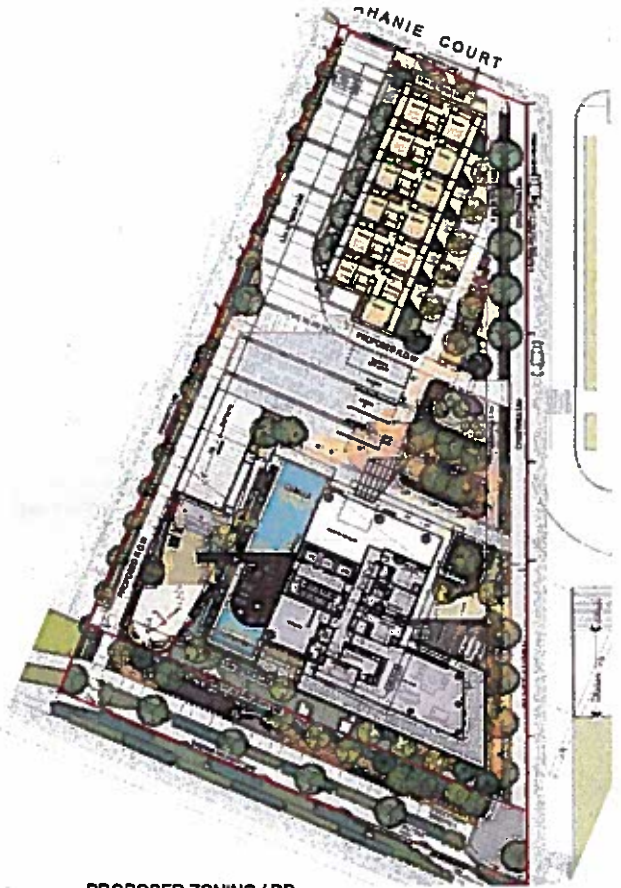
PROPOSED ZONING / DP LEVEL 1 FLOOR PLAN - 13
303 MARINE DRIVE - WEST VANCOUVER
 1/8" = 1'-0" / 1:96 2018.12.20



EXCERPT FROM EXISTING ZONING / DP
BY CHRIS ORKAKOS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



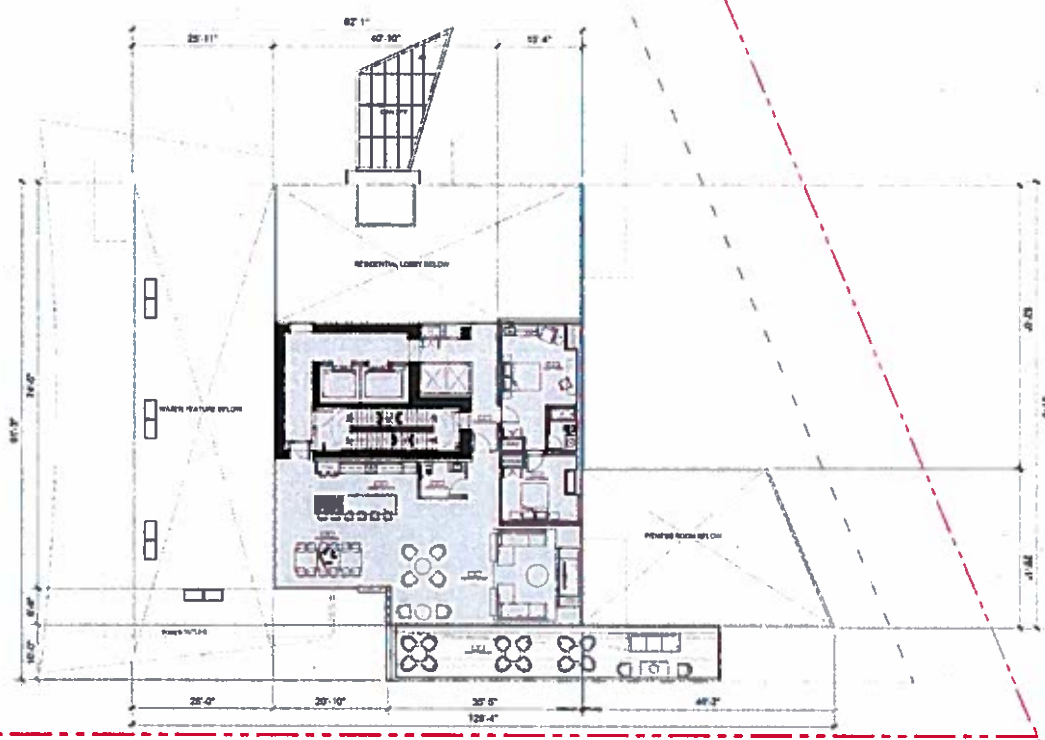
EXISTING ZONING / DP



PROPOSED ZONING / DP

- LEGEND
- COMMERCIAL
 - RESIDENTIAL
 - AMENITY





EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DRINKWATER ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

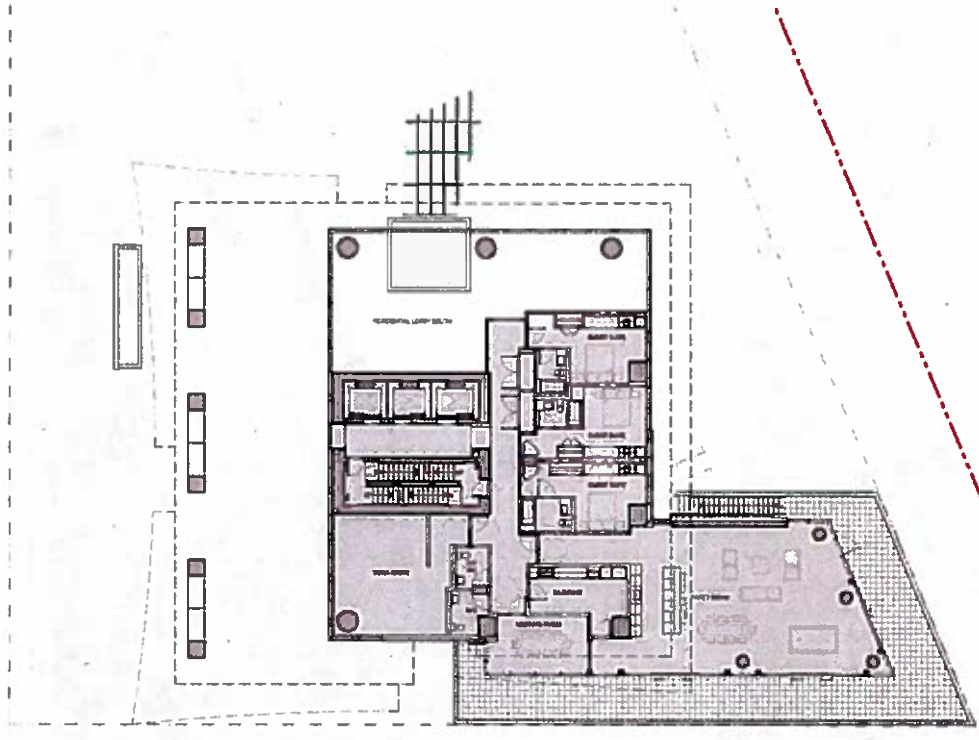
TOWER
AREA: 2985 SQ. FT.

- LEGEND
- COMMERCIAL
 - RESIDENTIAL
 - INDUSTRY



EXISTING ZONING/DP LEVEL 2 FLOOR PLAN - 15
303 MARINE DRIVE - WEST VANCOUVER
1/8"=1'-0" / 1:96 2018.12.20





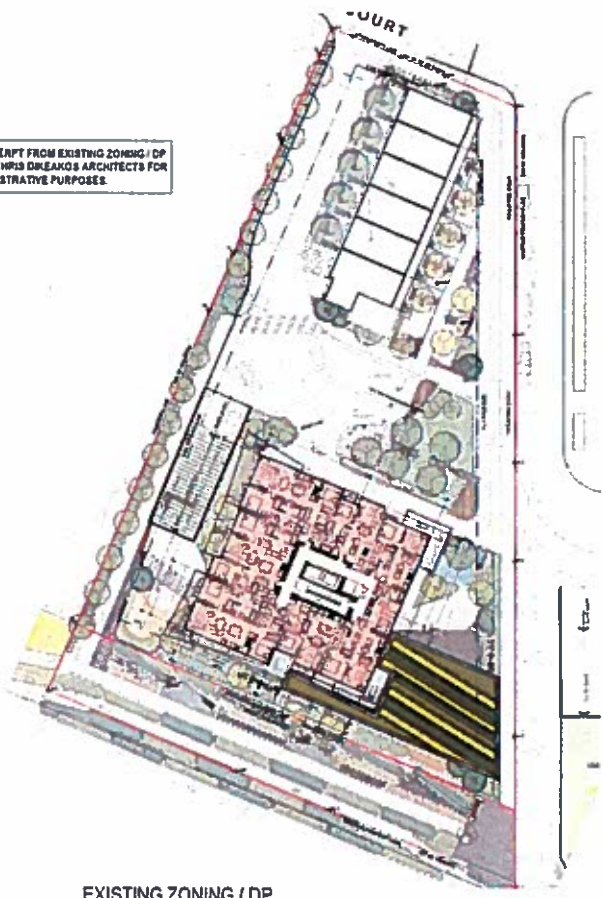
LEGEND

- COMMON
- RESIDENTIAL
- INDUSTRY

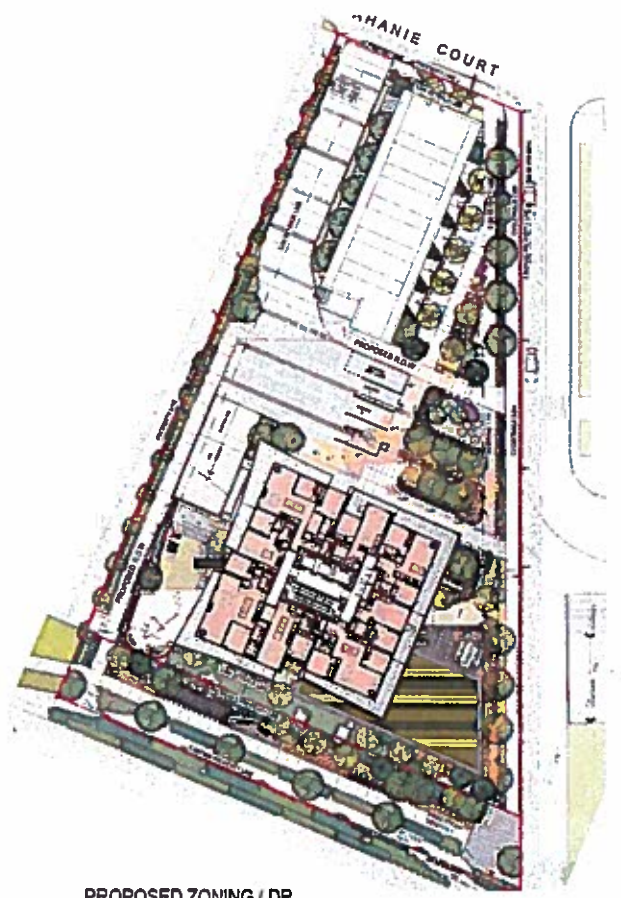
PROPOSED ZONING / DP LEVEL 2 FLOOR PLAN - 16
303 MARINE DRIVE - WEST VANCOUVER
1/8"=1'-0" / 1.00 2010.12.20



EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DIKEAKOS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.



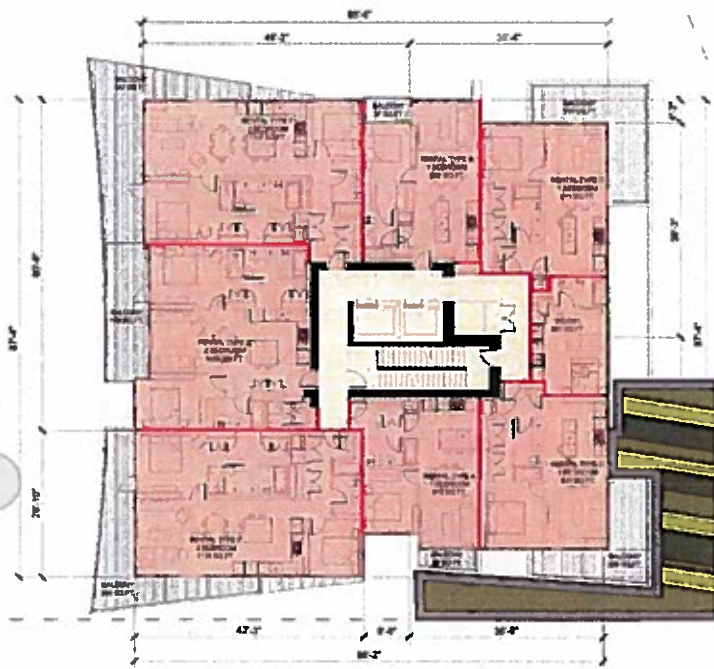
EXISTING ZONING / DP



PROPOSED ZONING / DP

LEGEND
 COMMON
 RENTAL
 AMENITY

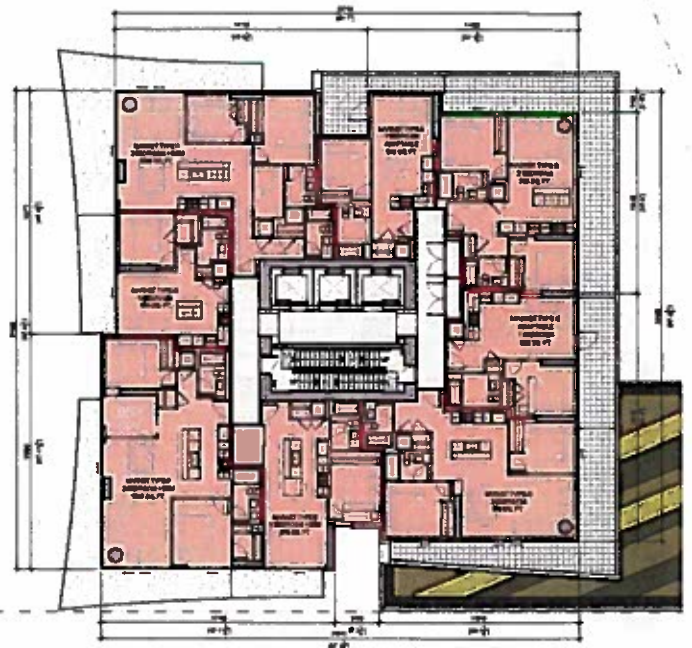




FLOOR PLATE
AREA: 7118 SQ. FT.

EXISTING ZONING / DP

UNIT MIX EXISTING	
UNIT TYPE	UNIT COUNT
1000	1
1000	1
1000	1
1000	1
1000	1
TOTAL	5



FLOOR PLATE
AREA: 7108 SQ. FT.

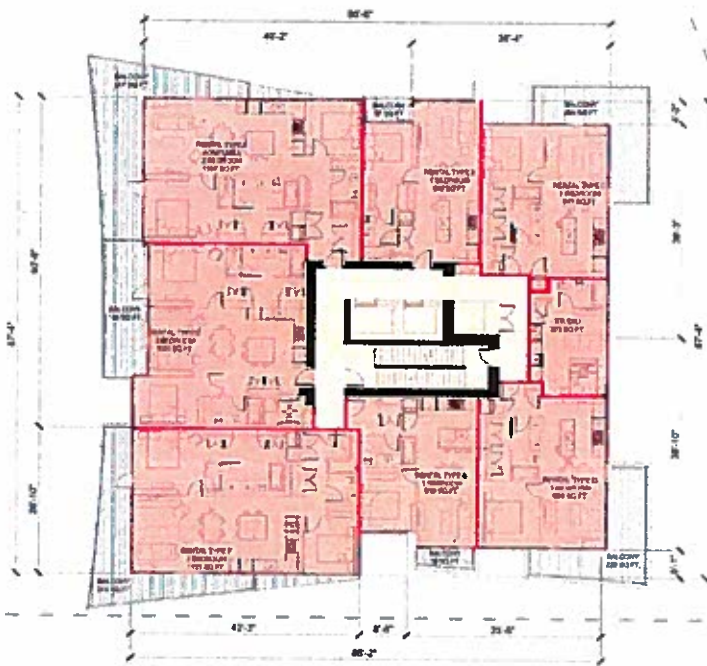
PROPOSED ZONING / DP

UNIT MIX PROPOSED	
UNIT TYPE	UNIT COUNT
1000	1
1000	1
1000	1
1000	1
1000	1
TOTAL	5

LEGEND
COMMON
RENTAL

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DRZEKADA ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

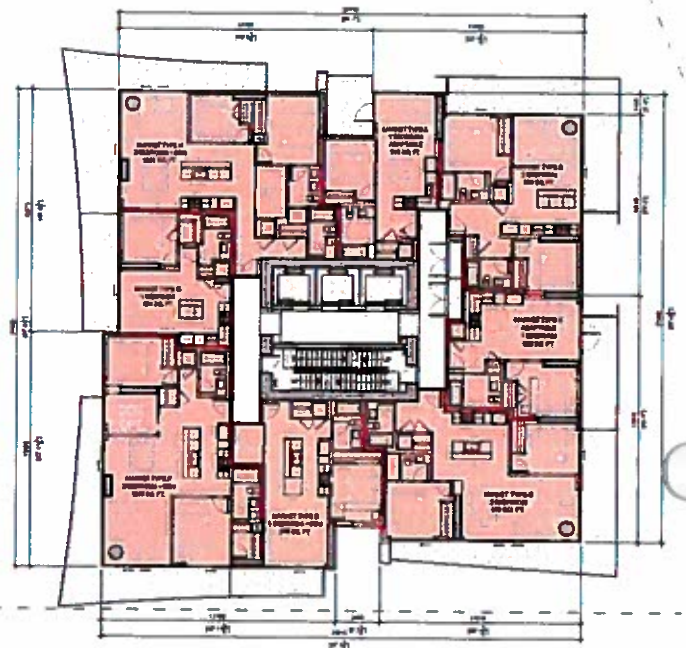




FLOOR PLATE
AREA: 7119 SQ. FT.

EXISTING ZONING / DP

LIMIT MIX EXISTING	
LIMIT TYPE	LIMIT VALUE
STORY	4
RESIDENTIAL	10
OFFICE	10
RETAIL	1



FLOOR PLATE
AREA: 7190 SQ. FT.

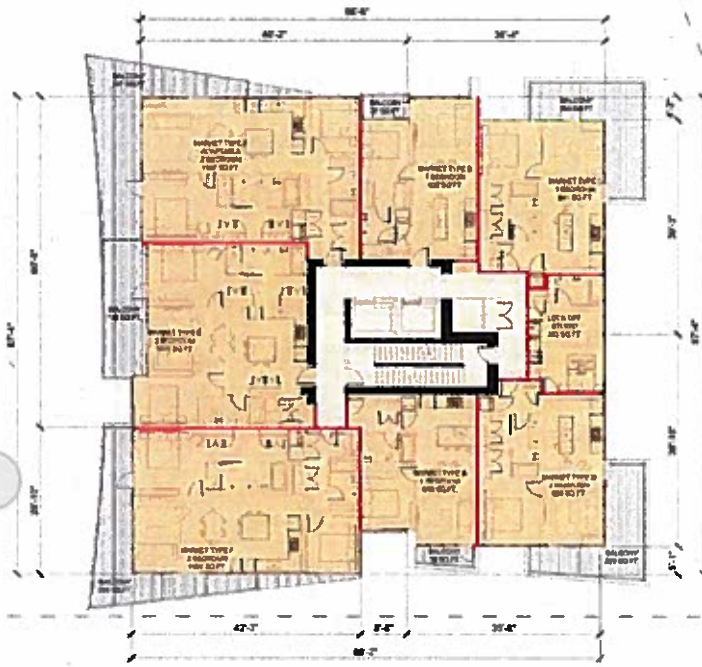
PROPOSED ZONING / DP

LIMIT MIX PROPOSED	
LIMIT TYPE	LIMIT VALUE
STORY	4
RESIDENTIAL	10
OFFICE	10
RETAIL	1

LEGEND
COMMON
RENTAL

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DISCARDO ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

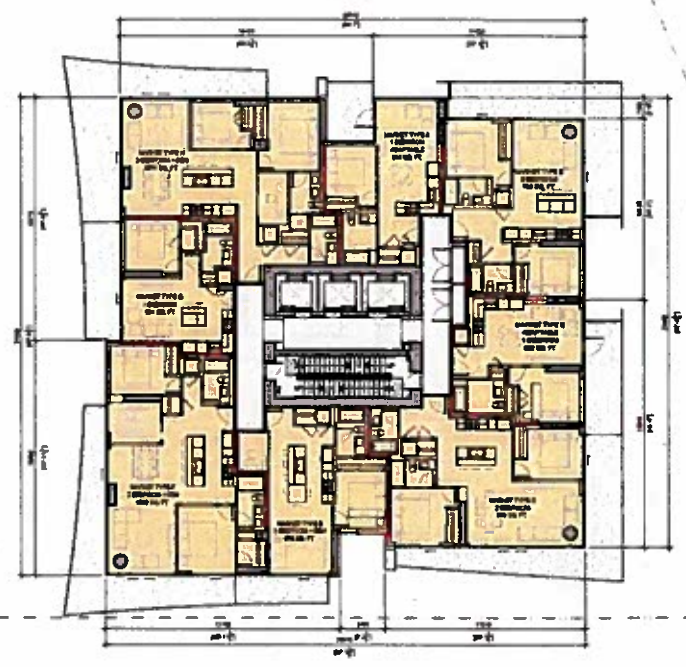




FLOOR PLATE
AREA: 7118 SQ. FT.

LEVEL 9-12 EXISTING ZONING / DP

UNIT MIX EXISTING	
UNIT TYPE	UNIT COUNT
Office	1
Lab	1
Market Type A	1
Market Type B	1
Market Type C	1
Market Type D	1
Market Type E	1
Market Type F	1
TOTAL	9



FLOOR PLATE
AREA: 7126 SQ. FT.

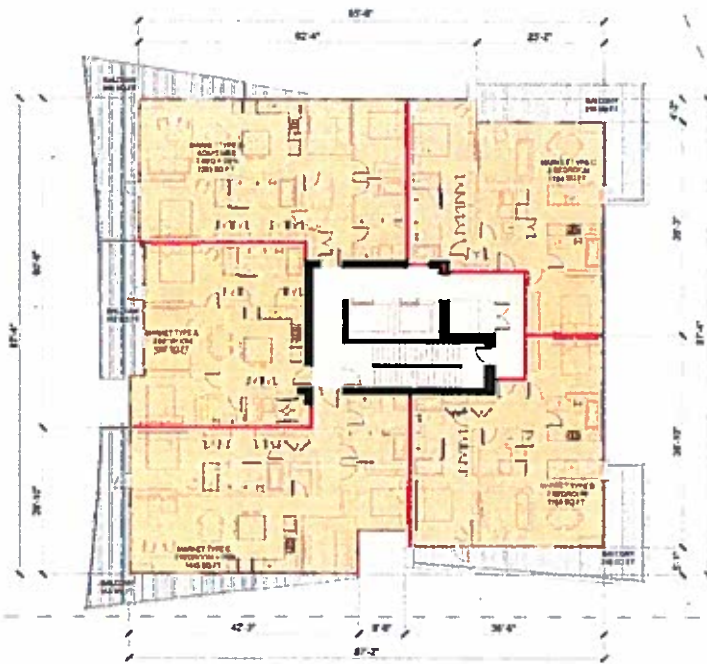
LEVEL 9-22 PROPOSED ZONING / DP

UNIT MIX PROPOSED	
UNIT TYPE	UNIT COUNT
Office	1
Lab	1
Market Type A	1
Market Type B	1
Market Type C	1
Market Type D	1
Market Type E	1
Market Type F	1
Market Type G	1
TOTAL	10

LEGEND
COMMON
RESIDENTIAL

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DICKENSON ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

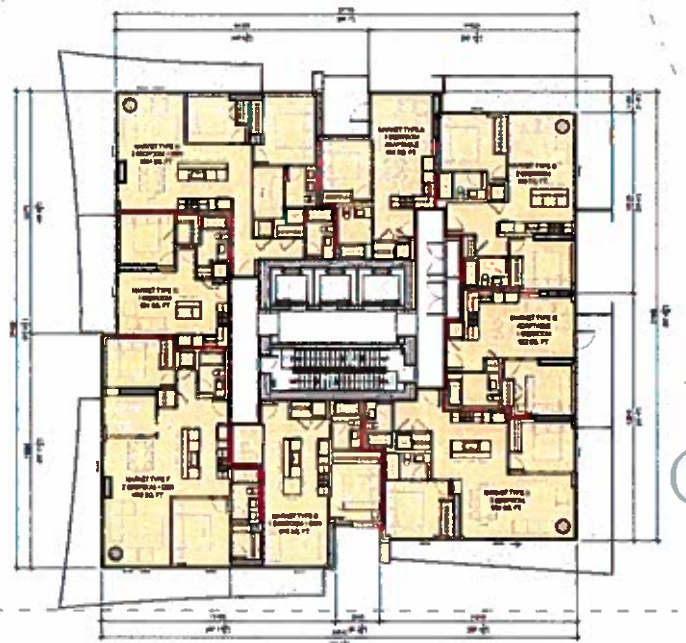




FLOOR PLATE
AREA: 7118 SQ. FT.

LEVEL 13-21 EXISTING ZONING / DP

LIMIT MIX EXISTING	
Unit Type	Unit Count
Studio	
1 Bedroom	
2 Bedroom	4
3 Bedroom	
TOTAL	4



FLOOR PLATE
AREA: 7104 SQ. FT.

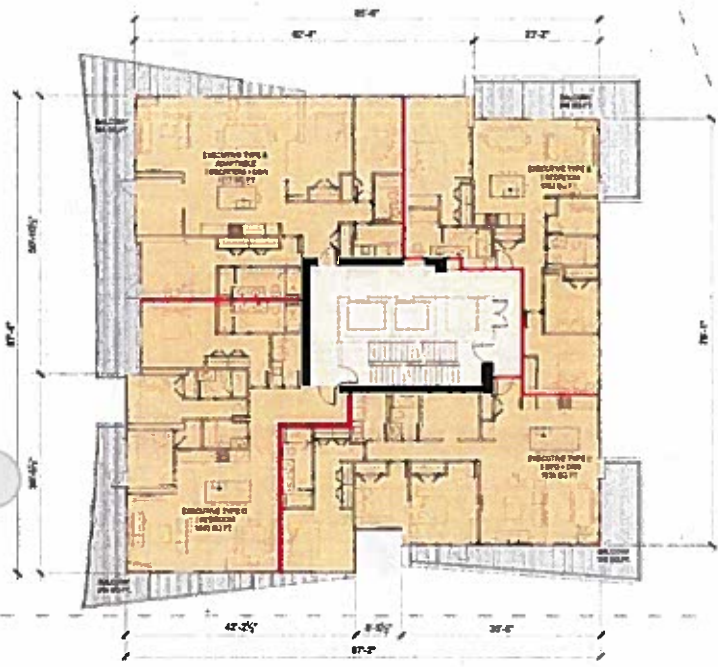
LEVEL 9-22 PROPOSED ZONING / DP

LIMIT MIX PROPOSED	
Unit Type	Unit Count
Studio	
1 Bedroom	4
2 Bedroom	4
3 Bedroom	
TOTAL	8

LEGEND
EXISTING
PROPOSED

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DRISAKOS ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.





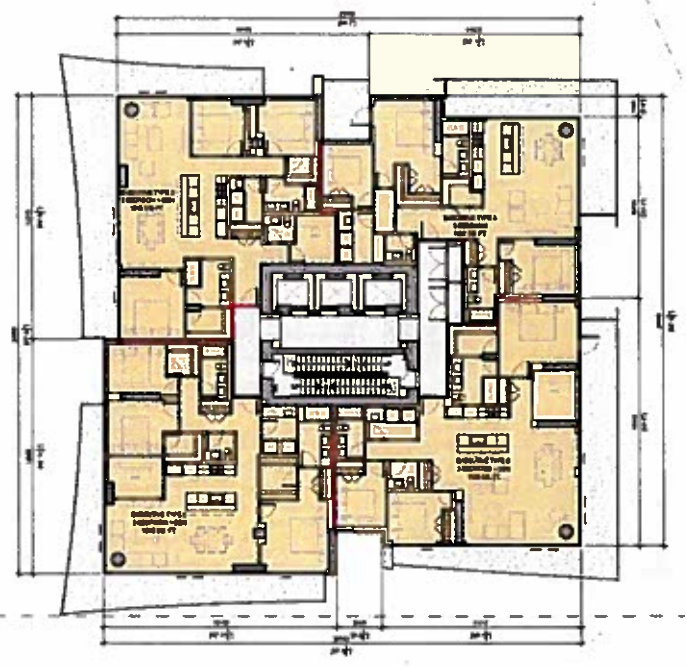
FLOOR PLATE
AREA: 7118 SQ. FT.

LEVEL 22-24 EXISTING ZONING / DP

UNIT MIX EXISTING	
UNIT TYPE	UNIT COUNT
1 Bedroom	
2 Bedroom	
3 Bedroom	4
TOTAL	4

LEGEND
COMMON
RESIDENTIAL

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS DUNCAN ARCHITECTS FOR
ILLUSTRATIVE PURPOSES.

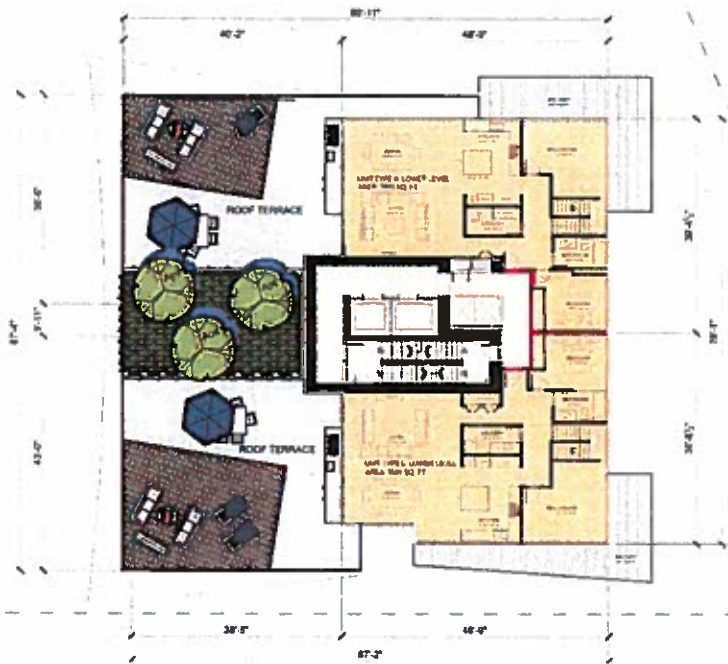


FLOOR PLATE
AREA: 7118 SQ. FT.

LEVEL 23-24 PROPOSED ZONING / DP

UNIT MIX PROPOSED	
UNIT TYPE	UNIT COUNT
1 Bedroom	
2 Bedroom	
3 Bedroom	4
TOTAL	4

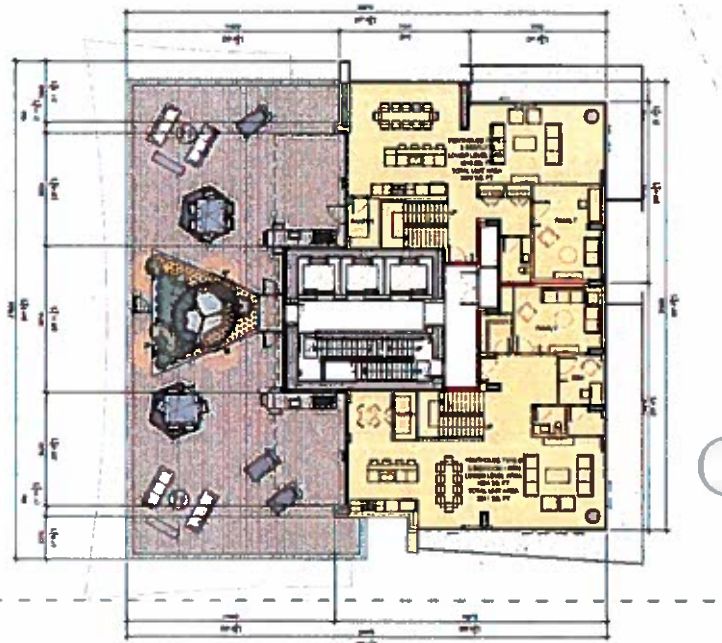




FLOOR PLATE
AREA: 3023 SQ. FT.

EXISTING ZONING / DP

UNIT MIX EXISTING	
UNIT TYPE	UNIT COUNT
STUDIO	
1 BEDROOM	
2 BEDROOM	1
TOTAL	1



FLOOR PLATE
AREA: 4888 SQ. FT.

PROPOSED ZONING / DP

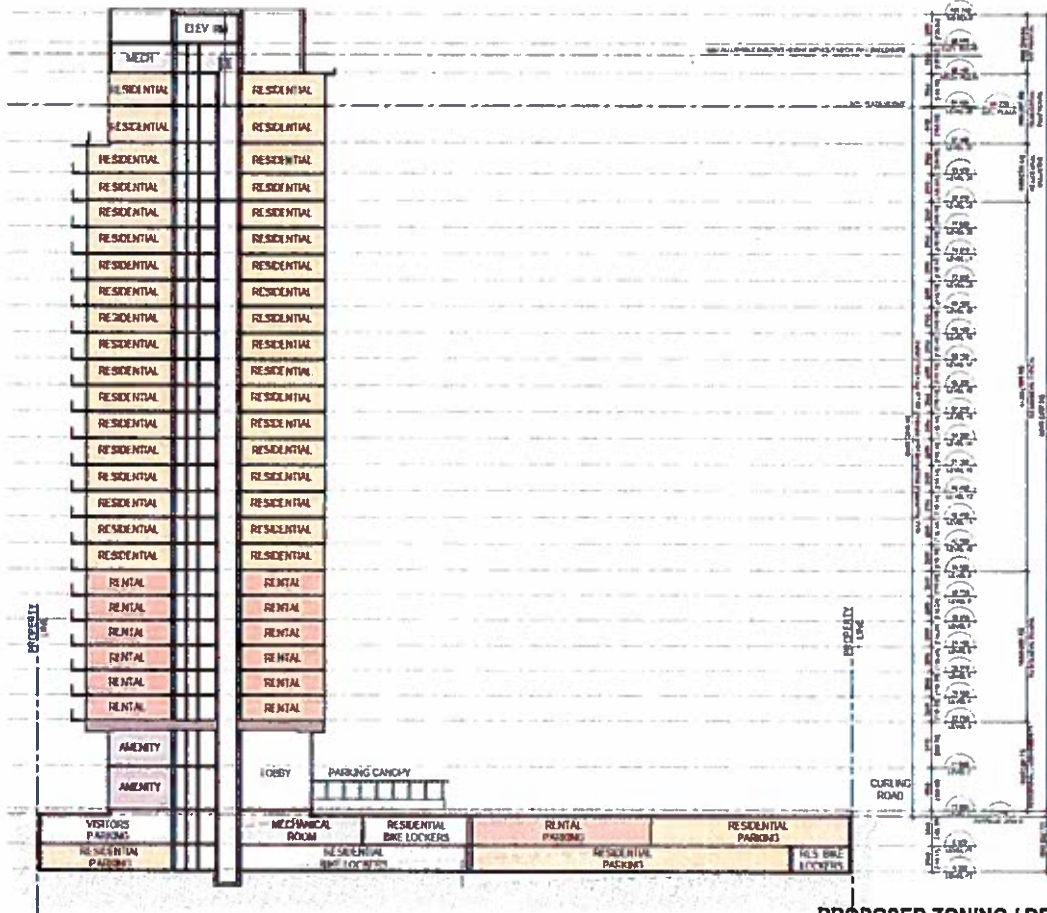
UNIT MIX PROPOSED	
UNIT TYPE	UNIT COUNT
STUDIO	
1 BEDROOM	
2 BEDROOM	2
TOTAL	2



LEGEND
COMMON
RESIDENTIAL

EXCERPT FROM EXISTING ZONING / DP
BY CHRIS OKEAKOS ARCHITECTS FIRM
ILLUSTRATIVE PURPOSES.

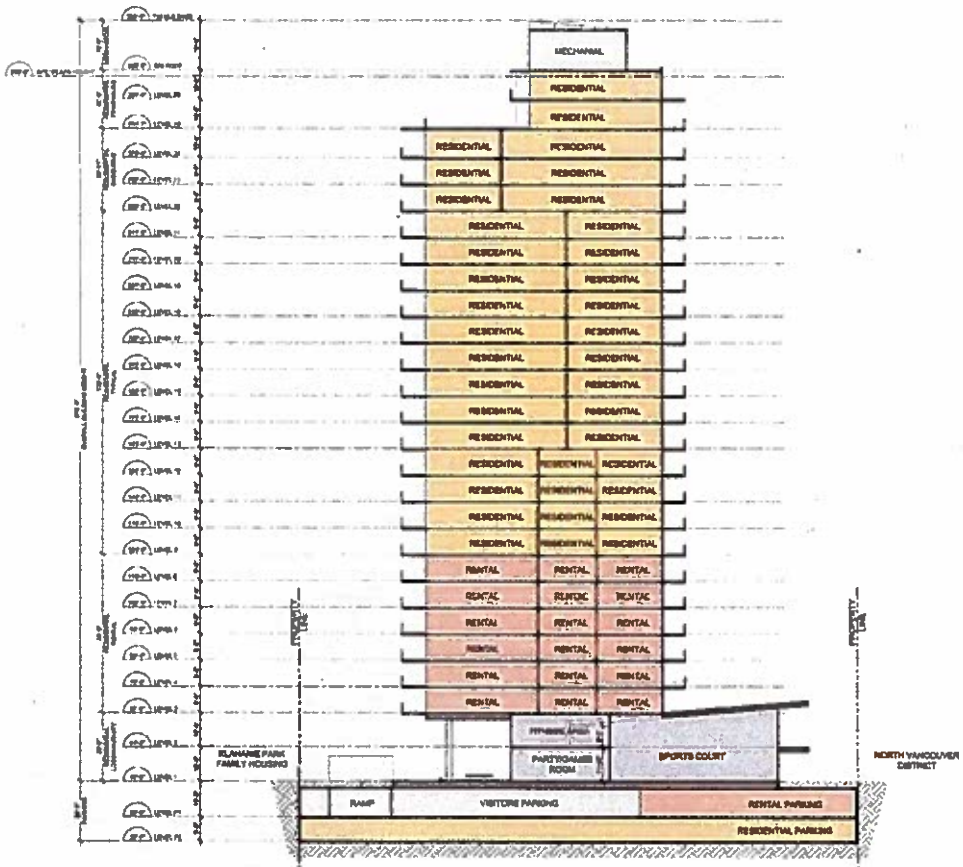




- LEGEND**
- AMENITY
 - RESIDENTIAL CONDO
 - RENTAL
 - RENTAL PARKING
 - RESIDENTIAL PARKING
 - RESIDENTIAL PARKING
 - RESIDENTIAL VISITOR PARKING
 - MECH

PROPOSED ZONING / DP SECTION A-A - 27
303 MARINE DRIVE - WEST VANCOUVER
 1/18"=1'-0" / 1:162 2019.12.20



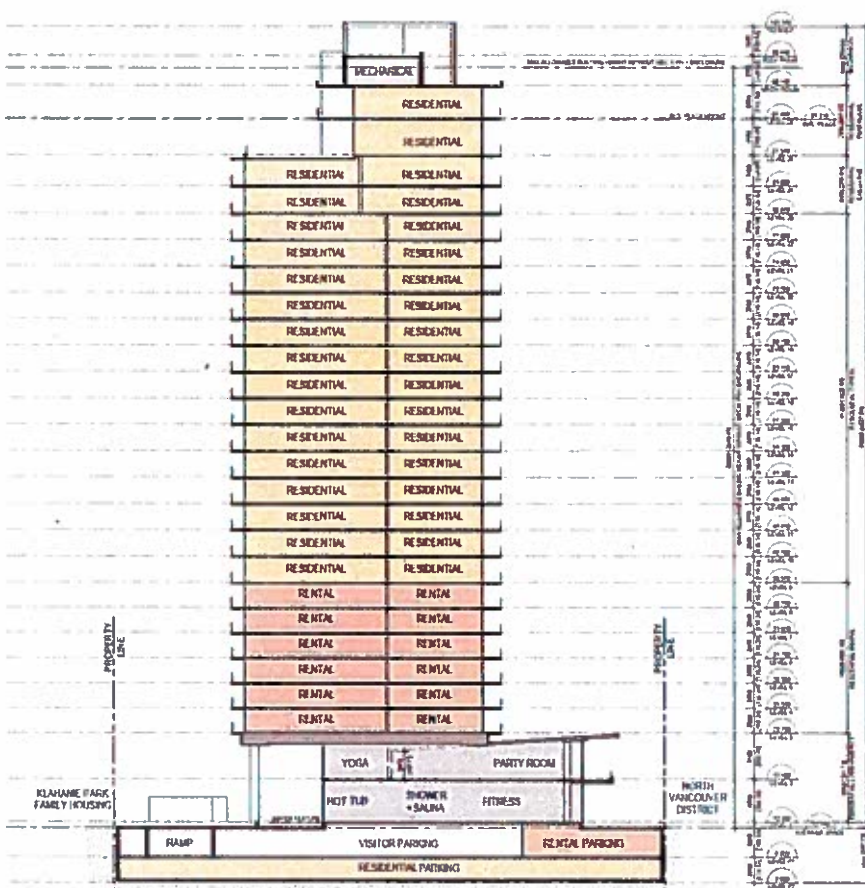


EXCEPT FROM EXISTING ZONING / DP BY CHRIS DIMAKIOS ARCHITECTS FOR ILLUSTRATIVE PURPOSES.

- AMCHTY
- RESIDENTIAL CONDO
- RENTAL
- RENTAL PARKING
- RESIDENTIAL
- RESIDENTIAL PARKING
- RESIDENTIAL VISITOR PARKING
- SERVICE

EXISTING ZONING/DP SECTION B-B - 28
303 MARINE DRIVE - WEST VANCOUVER
1/16" = 1'-0" / 1.192 2018.12.20





- LEGEND
- AMENITY
 - RESIDENTIAL COMMON
 - RESIDENTIAL
 - RENTAL PARKING
 - RESIDENTIAL
 - RESIDENTIAL PARKING
 - RESIDENTIAL
 - RENTAL
 - RENTAL

PROPOSED ZONING / DP SECTION B-B - 29
303 MARINE DRIVE - WEST VANCOUVER
 1/16"=1'-0" / 1.192 2019.12.20

