

DRAWING INDEX

- A-0 SITE PLAN
- ZONING ANALYSIS
- A-0a SITE PLAN (LARGER SCALE 1/8":1)
- A-0.1 SITE PLAN W/ NATURAL & FINISHED ELEVS
- AVERAGE GRADE CALCULATIONS
- A-0.2 FLOOR AREA OVERLAYS & CALCULATIONS
- A-1.1 EXIST/PROP FOUNDATION PLAN
- CONSTRUCTION ASSEMBLY SCHEDULE
- GENERAL CONSTRUCTION NOTES
- A-1.2 EXIST/PROP UPPER FLOOR PLANS
- A-1.3 EXIST/PROP LOWER FLOOR PLANS
- A-1.4 EXIST/PROP ROOF PLAN
- WINDOW NOTES & DETAILS
- RAINSCREEN DETAIL
- A-2.1 BUILDING SECTIONS A-A & B-B
- CONSTRUCTION ASSEMBLY SCHEDULE
- A-3.1 EXIST/PROP EAST & NORTH ELEVATIONS
- A-3.2 EXIST/PROP SOUTH ELEVATIONS
- A-3.3 EXIST/PROP WEST ELEVATIONS

SEE A-0.2 FOR NATURAL & FINISHED GRADE PLAN

ZONING ANALYSIS

MUNICIPALITY:	DISTRICT OF WEST VANCOUVER.		
ZONING:	RS3		
PID:	006-580-181		
LEGAL DESCRIPTION:	PLAN 7542 DISTRICT LOT 557 BLOCK 2 LOT 16		
CIVIC ADDRESS:	1421 31st Street, West Vancouver, BC		
LOT AREA:	1314.9 sm (14,154 sf)	Variance of 8.04 ft (2.45m) Requested	
DT AREA:	YES (EDP # 20-061)		
SETBACKS (DWELLING):	ALLOWED	EXISTING	PROPOSED
FRONT (EAST):	29.86 ft (9.1 m)	23'-3 1/2" (7.10 m)	21'-8" (6.65 m)
REAR (WEST):	29.86 ft (9.1 m)	28'-0" (8.53 m)	25'-0" (7.4 m)
NORTH SIDAYARD:	9.84 ft (3.0 m or 10%)	6'-8 3/4" (2.05 m)	6'-8 3/4" (2.05 m)
SOUTH SIDAYARD:	9.84 ft (3.0 m) or 10%	30'-0" (27.43 m)	34'-0" (25.90 m)
HIGHEST BUILDING FACE:	22'-0" ft (6.7 m)	19'-3 1/2" (5.89m)	19'-3 1/2" (5.89m)
LOT WIDTH:	149.99' (45.716m)		
BUILDING HEIGHT:	25'-0" (7.62 m)	14'-5" (4.39m)	14'-5" (4.39m)
SURVEY COMPLETED BY:	BYBENNETT LAND SURVEYING LTD.		
STRUCTURAL ENGINEER:	SARTORI ENVIRONMENTAL INC.		
QEP:			

FLOOR AREAS:

EXIST UPPER FLOOR:	1,684 sf	
UPPER FLOOR ADD:	99.7 sf	
EXIST LOWER FLOOR:	1,320 sf	
LOWER FLOOR ADDITION:	201 sf	
TOTAL FLOOR AREA:	3,304.7 sf	
CARPORATIOV PARKING:	MAX: 41sm (441.32 sf)	PROPOSED: 29.17 sm (314 sq ft)
FAR:	MAX FAR: 0.35 (4,853.9 sf)	PROPOSED FAR: 0.23 (3,304.7 sf)
UPPER FLOOR AREA:	1,783.7 sf	
LOWER FLOOR AREA:	1,521 sf	
SEE FLOOR AREA OVERLAYS ON A-0.2		
LOT COVERAGE:	EXIST DWELLING: 1,684 sf	
30% OF LOT AREA:	PROPOSED WATERPROOF DECK: 394 sf	
MAX: 4,246.2 sf (394.48 sm)	MAIN FLOOR ADDITION: 99.7 sf	
	EXISTING CARPORT: 314 sf	
	PROPOSED: 17.61% (2,491.7 sf / 231.49 sm)	

Colin Durcan Vancouver, BC
604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP. - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT. - PRESSURE TREATED
CONT. - CONTINUOUS
ELEV. - ELEVATION
O/H - OVERHANG
ENG. - ENGINEERED
T & G - TONGUE AND GROOVE
EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 70 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3275 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

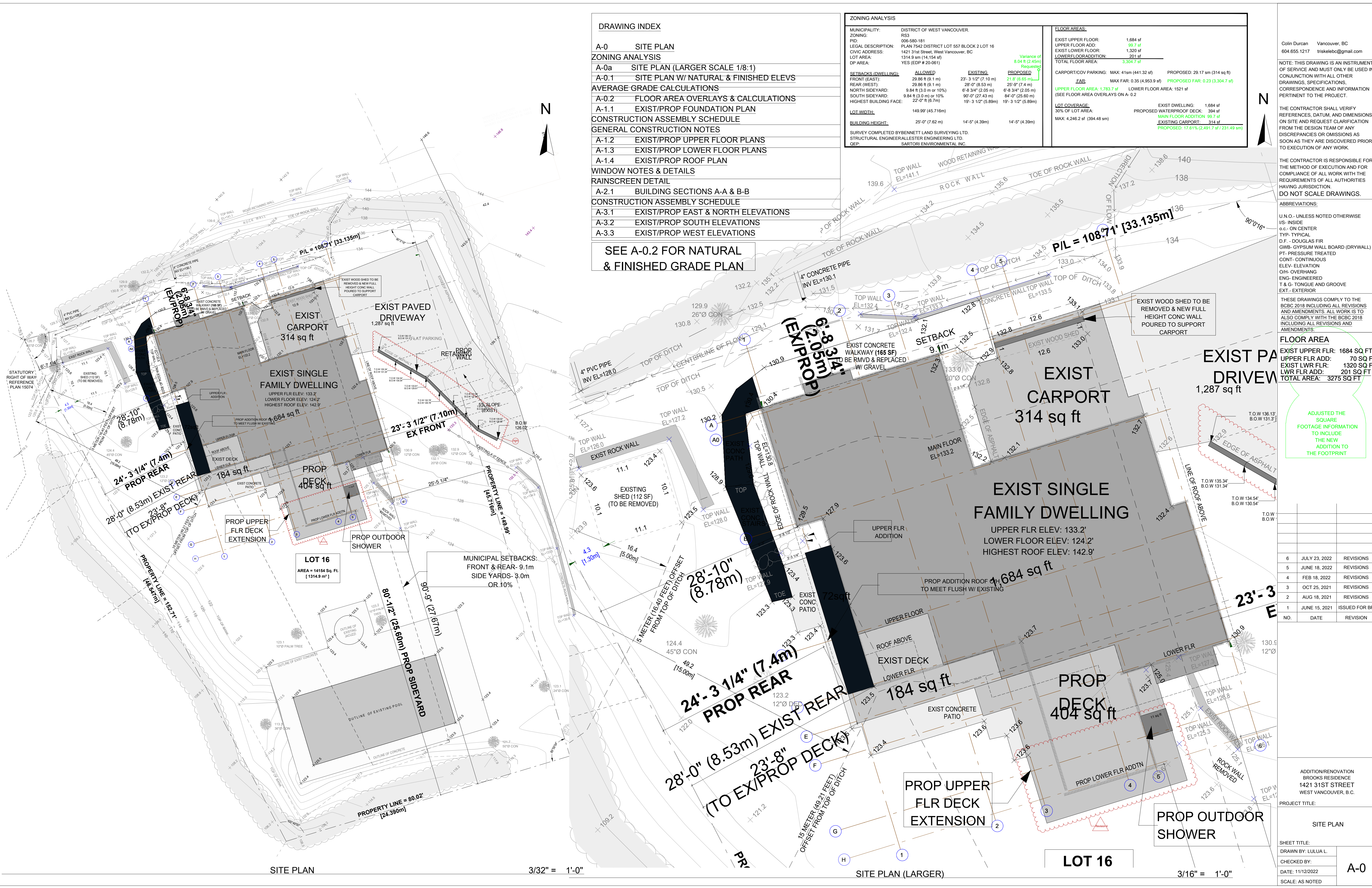
NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:
SITE PLAN

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 11/12/2022
SCALE: AS NOTED



SITE PLAN

3/32" = 1'-0"

SITE PLAN (LARGER)

3/16" = 1'-0"

A-0

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT - PRESSURE TREATED
CONT - CONTINUOUS
ELEV - ELEVATION
O/H - OVERHANG
ENG - ENGINEERED
T & G - TONGUE AND GROOVE
EXT - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

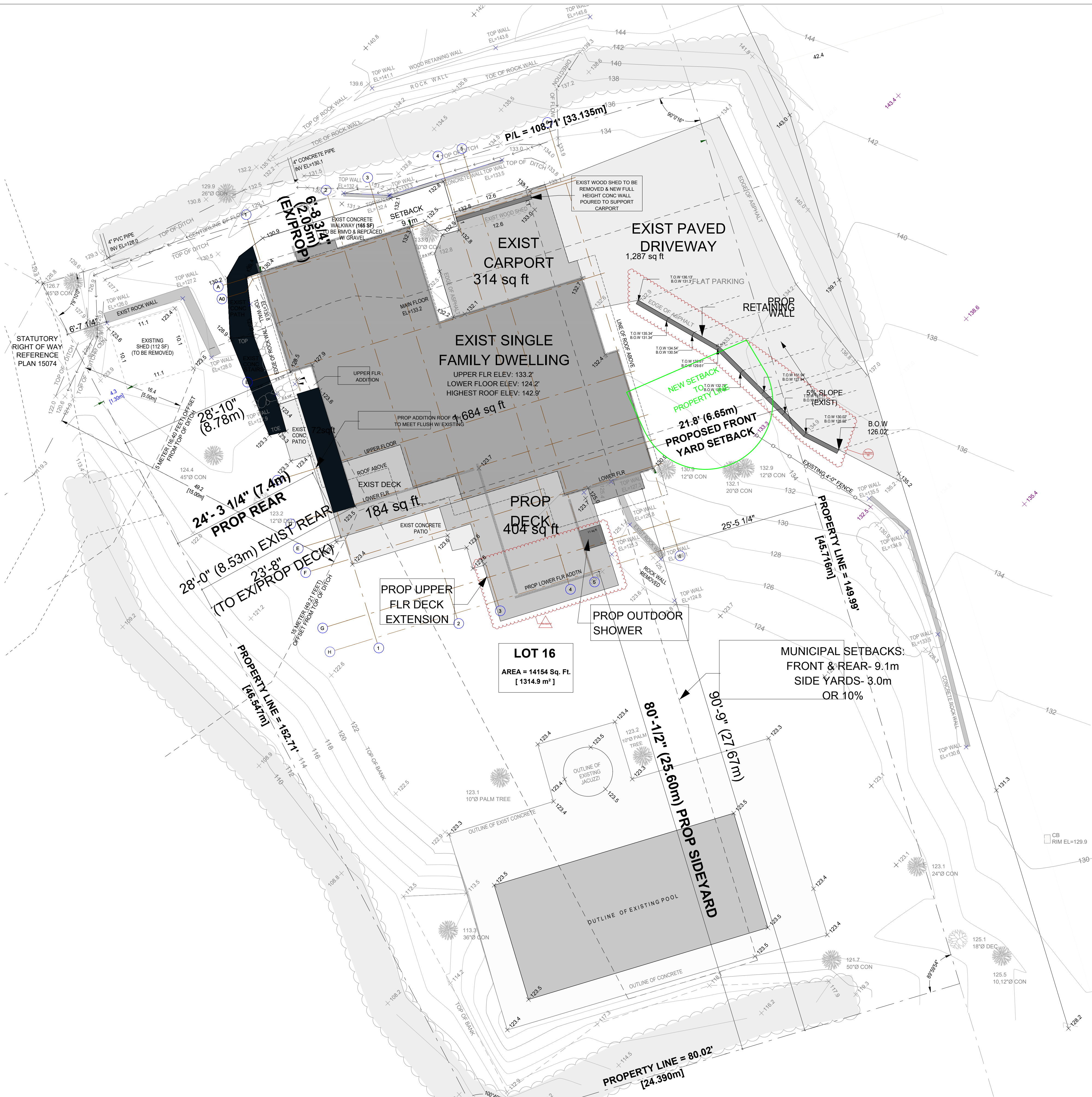
ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

SITE PLAN

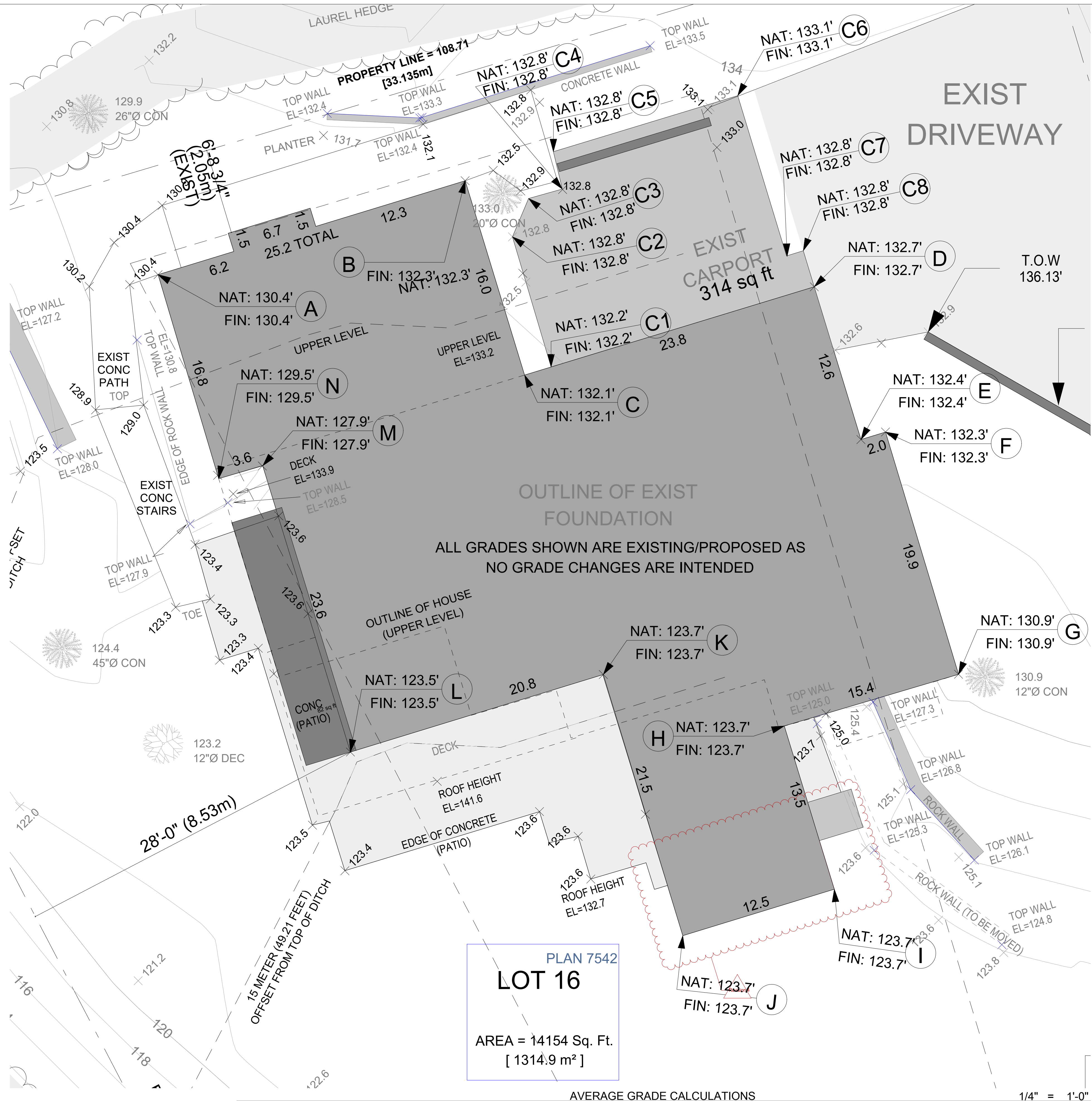
SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 11/12/2022
SCALE: AS NOTED

A-0a



SITE PLAN

1/8" = 1'-0"



AVERAGE NATURAL/FINISHED GRADE CALCULATIONS

	ELEV (FT)		ELEV (FT)			LENGTH (FT)	TOTAL (FT)	
A-B	130.40	+	132.30	/2 =	131.35	x	25.20	3310.02
B-C	132.30	+	132.10	/2 =	132.20	x	16.00	2115.20
C-C1	132.10	+	132.20	/2 =	132.15	x	2.00	264.3
C1-C2	132.20	+	132.80	/2 =	132.50	x	8.5	1126.25
C2-C3	132.80	+	132.80	/2 =	132.80	x	3.2	424.96
C3-C4	132.80	+	132.80	/2 =	132.80	x	2.6	345.28
C4-C5	132.80	+	132.80	/2 =	132.80	x	2.8	371.84
C5-C6	132.80	+	133.10	/2 =	132.95	x	15.7	2087.32
C6-C7	133.10	+	132.80	/2 =	132.95	x	13.3	1768.24
C7-C8	132.80	+	132.80	/2 =	132.80	x	4.3	571.04
C8-D	132.80	+	132.70	/2 =	132.75	x	3.2	424.80
D-E	132.70	+	132.40	/2 =	132.55	x	12.60	1670.13
E-F	132.40	+	132.30	/2 =	132.35	x	2.00	264.70
F-G	132.30	+	130.90	/2 =	131.60	x	19.90	2618.84
G-H	130.90	+	123.70	/2 =	127.30	x	15.40	1960.42
H-I	123.70	+	123.70	/2 =	123.70	x	13.50	1669.95
I-J	123.70	+	123.70	/2 =	123.70	x	12.50	1546.25
J-K	123.70	+	123.70	/2 =	123.70	x	21.50	2659.55
K-L	123.70	+	123.50	/2 =	123.60	x	20.80	2570.88
L-M	123.50	+	127.90	/2 =	125.70	x	23.60	2966.52
M-N	127.90	+	129.50	/2 =	128.70	x	3.60	463.32
N-A	129.50	+	130.40	/2 =	129.95	x	16.80	2183.16
SUBTOTALS							259	33,382.97
AVERAGE NATURAL/ FINISHED GRADE:							128.9	

Colin Durcan Vancouver, BC
604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT - PRESSURE TREATED
CONT - CONTINUOUS
ELEV - ELEVATION
O/H - OVERHANG
ENG - ENGINEERED
T & G - TONGUE AND GROOVE
EXT - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

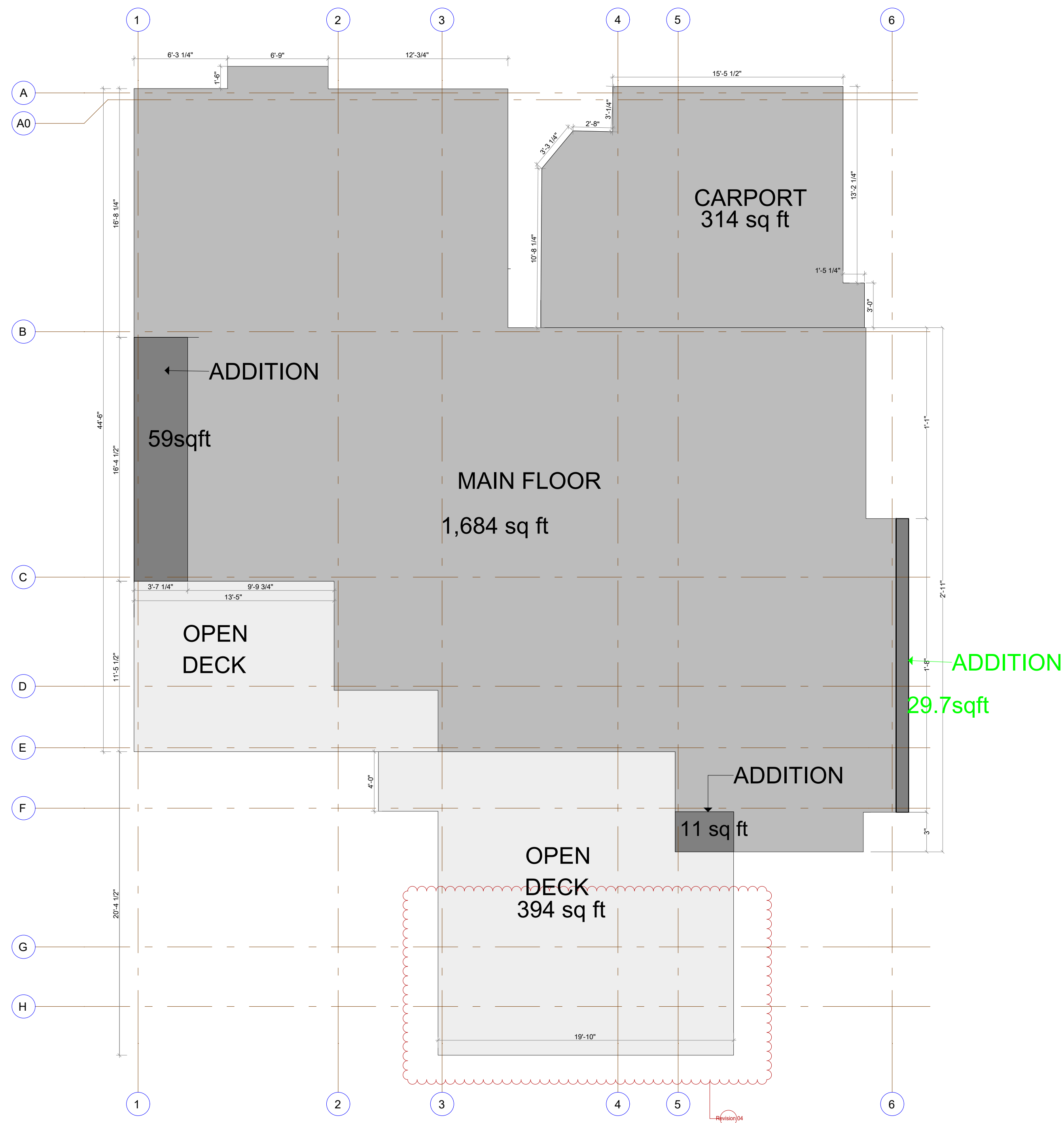
NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

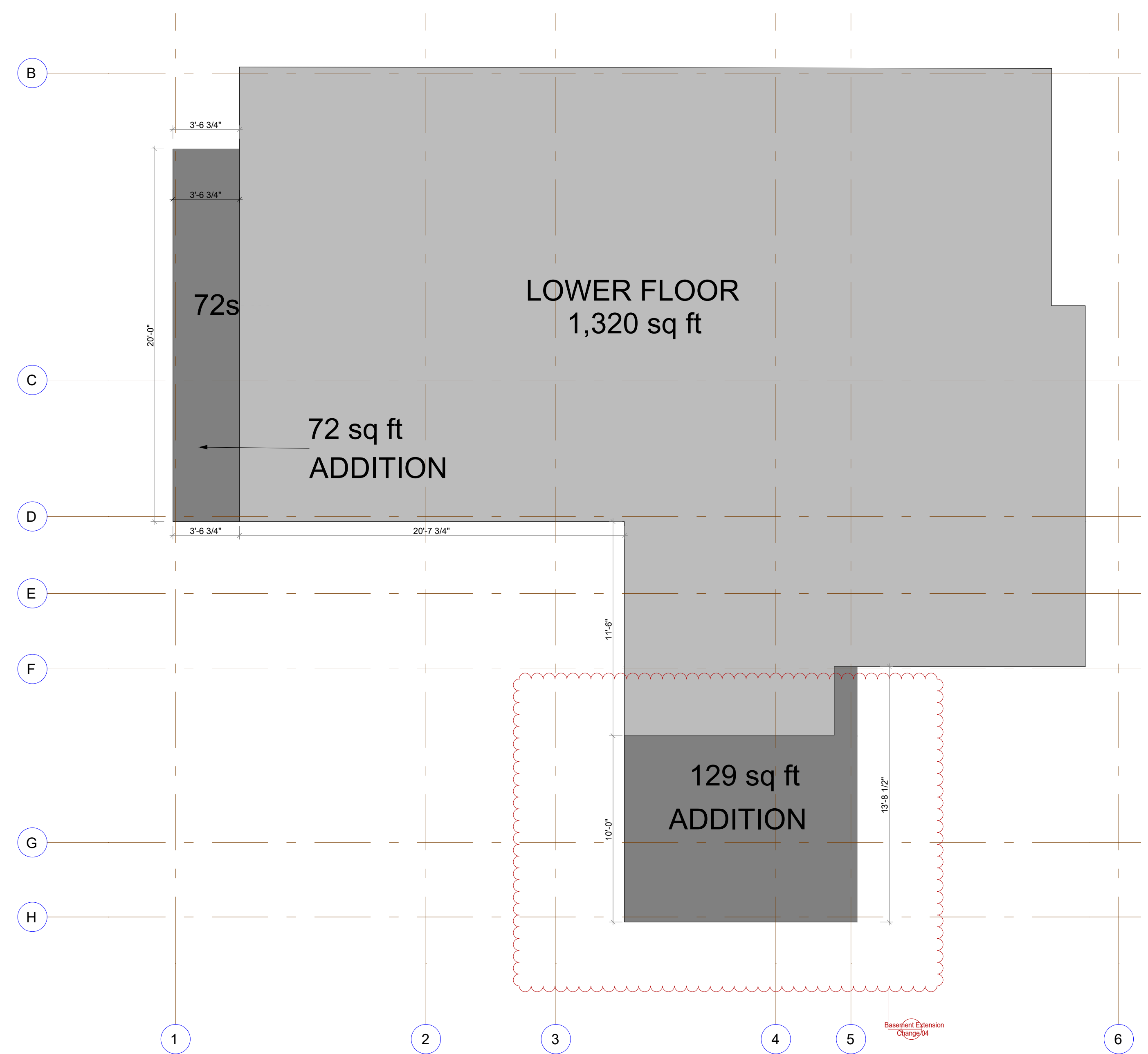
AVERAGE GRADE CALCULATIONS

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 9/28/2022
SCALE: AS NOTED



MAIN FLOOR AREA OVERLAY 1/4" = 1'-0"

MAIN FLOOR AREA = 1,684 + 59 + 11 = 1,754 SF



LOWER FLOOR AREA OVERLAY 1/4" = 1'-0"

LOWER FLOOR- FLOOR AREA:
 AVG NAT/FIN GRADE - LOWER FLOOR ELEVATION X 100
 MAIN FLOOR ELEVATION- LOWER FLOOR ELEVATION X 100
 $\frac{128.49' - 124.2'}{133.2' - 124.2'} \times 100 = 47.67\%$ LOWER FLOOR AREA EXEMPTION
 LOWER FLOOR AREA = 1,320 + 72 + 129 = 1521 SF
 $1521 - 725.061 = 795.94$ SF

Colin Durcan Vancouver, BC
 604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
 U.N.O. - UNLESS NOTED OTHERWISE
 I/S- INSIDE
 o.c.- ON CENTER
 TYP- TYPICAL
 D.F. - DOUGLAS FIR
 G.W.B- GYPSUM WALL BOARD (DRYWALL)
 PT- PRESSURE TREATED
 CONT- CONTINUOUS
 ELEV- ELEVATION
 O/H- OVERHANG
 ENG- ENGINEERED
 T & G- TONGUE AND GROOVE
 EXT.- EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
 EXIST UPPER FLR: 1684 SQ FT
 UPPER FLR ADD: 99.7 SQ FT
 EXIST LWR FLR: 1320 SQ FT
 LWR FLR ADD: 201 SQ FT
 TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
 BROOKS RESIDENCE
 1421 31ST STREET
 WEST VANCOUVER, B.C.

PROJECT TITLE:

FLOOR AREA OVERLAYS & CALCS

SHEET TITLE:
 DRAWN BY: LULUA L.
 CHECKED BY:
 DATE: 9/28/2022
 SCALE: AS NOTED

GENERAL CONSTRUCTION NOTES:

COVERING CODE: B.C. BUILDING CODE 2018, INCLUDING ALL AMENDMENTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH MUNICIPAL BY-LAWS, B.C. BUILDING CODE 2018, WORKSAFE BC REGULATIONS, AND AUTHORITIES HAVING JURISDICTION. ERRORS OR OMISSIONS IN THE PLANS OR SPECIFICATIONS WILL NOT REMOVE THE OBLIGATION FOR THE CONTRACTOR OR SUBCONTRACTOR TO ENSURE ALL CONSTRUCTION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS.

ALL WORK TO BE COMPLETED TO CURRENT STANDARDS BY SKILLED TRADES.

ALL MATERIALS TO BE OF GOOD QUALITY, AND PROPERLY TRANSPORTED, STORED AND PROTECTED.

BEARING SOIL TO BE INSPECTED BY PROPER AUTHORITIES BEFORE COMMENCEMENT OF FORMWORK.

PROVIDE MINIMUM 6" CLEARANCE BETWEEN ANY WOOD MEMBERS AND SOIL.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS, INFORMATION, SPECIFICATIONS, SITE CONDITIONS, ETC., PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS NOT REPORTED TO THE DESIGN TEAM, ETC., BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

WRITTEN SPECIFICATIONS OR AMENDMENTS BY AUTHORITIES HAVING JURISDICTION SHALL OVERRIDE ANY SPECIFICATIONS OR NOTATIONS ON DRAWINGS. CONTRACTORS, SUPPLIERS, SUBTRADES, ETC., ARE TO ENSURE THEY ARE WORKING WITH CURRENT DRAWINGS AND SHOULD VERIFY THAT THEY ARE IN POSSESSION OF LATEST ISSUE. OBSOLETE DRAWINGS TO BE RECYCLED.

ANY VARIANCES FROM THESE DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE SHALL BE RESOLVED BY THE CONTRACTOR AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.

THE CONTRACTOR SHALL SUPERVISE THE WORK OF SUBCONTRACTORS AND BE RESPONSIBLE TO THE OWNER FOR SUCH WORK AS IF IT WERE CARRIED OUT BY THEM-SELF. THE CONTRACTOR SHALL ENSURE THAT ALL SUBCONTRACTORS RECEIVE A COPY OF RELEVANT WRITTEN SPECIFICATIONS AND DRAWINGS.

ALL FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS. WHERE NOTES AND DETAILS ON DRAWINGS EXCEED MINIMUMS OF GENERAL NOTES AND TYPICAL DETAILS, THEY SHALL TAKE PRECEDENCE.

CIVIL, ELECTRICAL, MECHANICAL, SOILS, GEOTECHNICAL, STRUCTURAL ENGINEERING, ETC., MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. IT IS THE DEVELOPER OR CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND PAY FOR THESE SERVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE NEW RESIDENCE ON THE PROPERTY AND FOR CONFIRMATION OF ALL REQUIREMENTS FOR SITING.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED FOR CONSTRUCTION LOADS AND STABILITY UNTIL THE PROJECT IS COMPLETED. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF MATERIALS SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADS.

THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE JOB SITE AND CONFORMANCE TO WORKSAFE BC REGULATIONS THROUGHOUT CONSTRUCTION.

WELLS AND SEPTIC DISPOSAL SYSTEMS ARE TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH REGULATIONS DURING CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT WATER COLLECTED IN THE GUTTERS, DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS IS DISCHARGED IN ACCORDANCE WITH REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.

CONCRETE FOOTINGS ARE TO BE PLACED ON COMPACT FILL, OR SOLID UNDISTURBED BEARING AND BELOW FROST LINE.

GRADES SHOWN ON ELEVATIONS ARE ESTIMATED. ADJUST ON SITE AS REQUIRED. RETAINING WALLS OTHER THAN THE FOUNDATION WALLS OF THE RESIDENCE, ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS NOTED OTHERWISE.

ALL CONCRETE FOUNDATION WALLS ARE TO HAVE MINIMUM 1-15 M CONTINUOUS BAR AT TOP. ALL CONCRETE FOOTINGS ARE TO HAVE MINIMUM 2-15 M CONTINUOUS BARS. CONCRETE REINFORCING SHALL BE SUPPORTED BY APPROVED SUPPORTS, SPACERS, OR HANGERS PER BCBC 2018.

FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH, OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITIES HAVING JURISDICTION.

ALL FRAMING, BRIDGING, BLOCKING, NAILING, ETC., SHALL CONFORM TO B.C. BUILDING CODE, 2018, SECTION 9.23.

WOOD PLATES ARE TO BE ANCHORED TO FOUNDATION WALL WITH 1/2" INCH DIAM. ANCHOR BOLTS AT MAXIMUM 6 FEET O/C. WOOD PLATES ARE TO BE SEPARATED FROM CONCRETE WITH FOAM SILL GASKET.

UNLESS NOTED OTHERWISE, LUMBER SHALL BE 1/2" PLYWOOD (WITH H CLIPS) FOR ROOF SHEATHING, 5/8" INCH T&G PLYWOOD (GLUED AND SCREWED) FOR FLOOR SHEATHING, 1/2" PLYWOOD FOR WALL SHEATHING, K.D. SPF NO 2 AND BETTER FOR BUILT-UP BEAMS, K.D. SPF NO 2 AND BETTER FOR FLOOR JOISTS AND ROOF FRAMING, D.FIR NO.1 FOR POSTS, AND K.D. SPF NO.2 AND BETTER FOR WALL STUDS. (ALL EXTERIOR PORCH AND DECK FRAMING TO BE TREATED LUMBER.)

USE MGA OR SIMPSON STRONGTIE CONNECTOR HARDWARE WHERE REQUIRED.

ALL LINTELS OVER WINDOW AND DOOR OPENINGS TO BE 2-2 X 10 UNLESS NOTED OTHERWISE. SPANS OVER 6 FEET TO HAVE 2 CRIPPLES AND 3-2 X 10 LINTEL.

PROVIDE SOLID BLOCKING BETWEEN JOISTS AT ALL LOAD BEARING WALLS, TOP OF BEAMS OR HEADERS, BUILT-UP POSTS AND AT ALL SUPPORTS FOR CANTILEVERED JOISTS.

PROVIDE CONTINUOUS CROSS BRIDGING BETWEEN FLOOR JOISTS AT MAX. 6'-10" APART ALONG THE SPAN OF THE JOIST. MINIMUM ONE ROW.

PROVIDE DOUBLE JOISTS UNDER ALL PARTITION WALLS PARALLEL TO JOIST SPAN.

CONTINUE ALL POSTS AND CRIPPLES DOWN TO FOUNDATION COMPLETE WITH BLOCKING IN JOIST SPACE.

MANUFACTURED WOOD TRUSSES, JOISTS, AND/OR BEAMS ARE TO BE ENGINEERED BY THE MANUFACTURER AND INSTALLED AND BRACED PER THE MANUFACTURER'S INSTRUCTIONS. LAYOUT SHOWN ON PLANS TO BE CONFIRMED WITH MANUFACTURER PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR IS TO OBTAIN AN ENGINEER'S CERTIFICATE FROM THE MANUFACTURER OF ROOF TRUSSES, JOISTS, AND/OR BEAMS. PROVIDE A MINIMUM OF 4 SETS OF ENGINEERED SEALED SHOP DRAWINGS WITH NAME OF PROJECT ON DRAWINGS AND DATE ISSUED.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL INSTALLATION OF ELECTRICAL ITEMS COMPLY WITH LOCAL ELECTRICAL CODES AND REGULATIONS AND WITH LOCAL ELECTRICAL POWER SUPPLY REQUIREMENTS IN ALL RESPECTS.

APPROVED INTERCONNECTED SMOKE & CO2 DETECTORS TO BE INSTALLED AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.

SAFETY GLASS- ALL GLAZING WITHIN 36" OF DOOR LOCKS TO BE SAFETY GLASS. ALL GLAZING WITHIN 8" OF FLOOR TO BE SAFETY GLASS. ALL GLAZING OVER 20" (THAT COULD BE MISTAKEN FOR DOORS) TO BE SAFETY GLASS. ALL GLAZING IN EXTERIOR DOORS TO BE SAFETY GLASS. ALL GLAZING IN WALLS ENCLOSING BATHTUBS OR SHOWERS TO BE SAFETY GLASS AND WATERPROOFED TO THE SATISFACTION OF AUTHORITIES HAVING JURISDICTION.

SUPPLY AND INSTALL EXHAUST FANS AND DUCTING IN ALL BATHROOMS AND KITCHENS AS REQ'D.

WATERPROOF MEMBRANE TO BE INSTALLED AND FITTED TIGHTLY TO WALLS AND FLOOR OF ALL TILED SHOWERS, AND NOT TO BE PENETRATED BY FASTENERS OF ANY KIND.

INSTALLATION OF ENTIRE HEATING SYSTEM, WHETHER ELECTRIC, FORCED WARM AIR, HOT WATER, SOLID FUEL, ETC., SHALL COMPLY WITH MANUFACTURER'S DIRECTIONS WHERE APPLICABLE AND CONFORM WITH LOCAL CODES AND REGULATIONS IN ALL RESPECTS. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.

FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIRE PLACES, WOOD STOVES, ETC., ARE TO BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH CURRENT NATIONAL, PROVINCIAL, AND LOCAL BUILDING CODES.

6 MIL POLY VAPOUR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION. INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS AND LOCAL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INSULATION VALUES COMPLY WITH WITH LOCAL REQUIREMENTS.

ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFITS.

ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSE-ABLE VENTS.

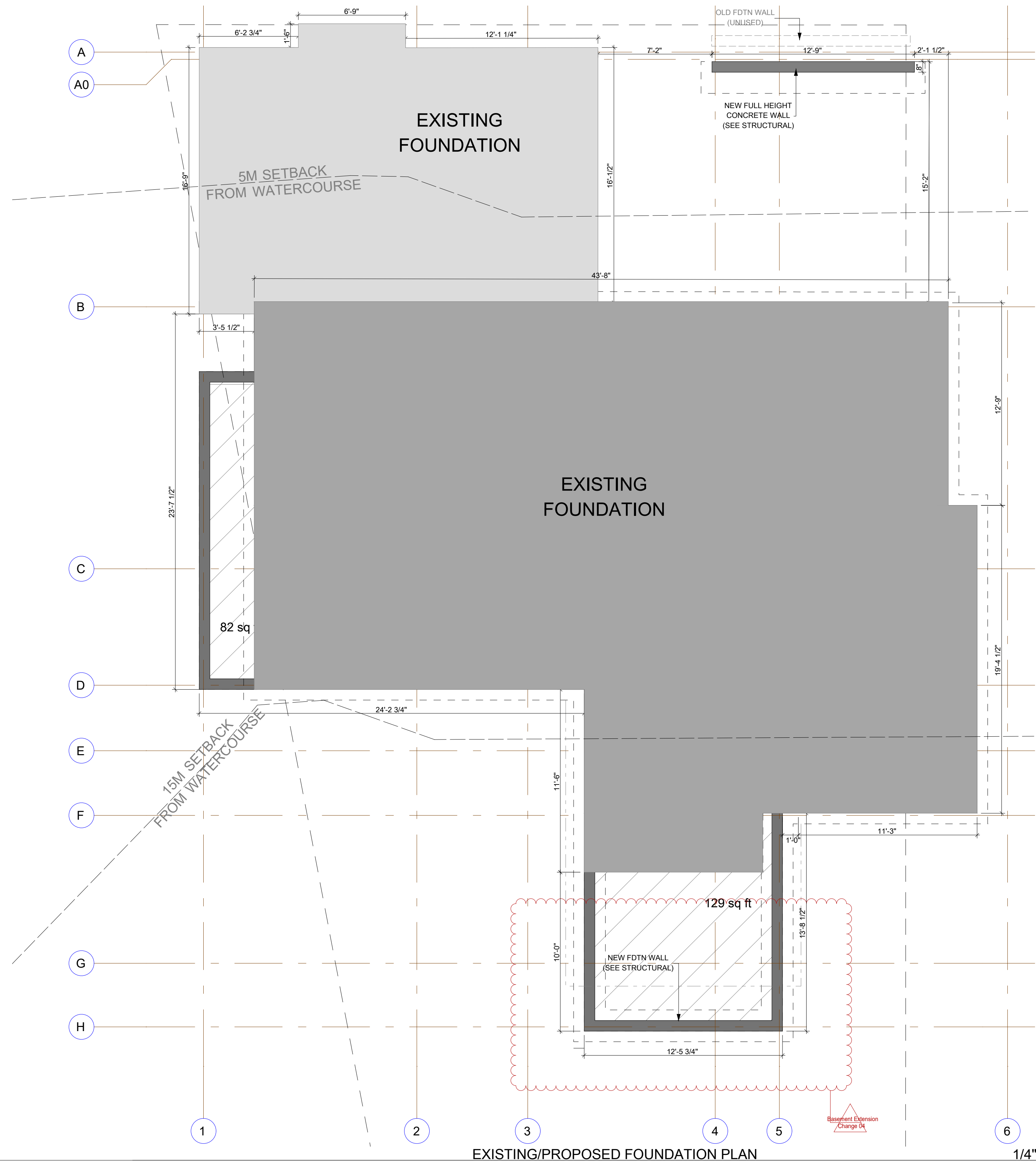
ALL MASONRY APPLICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ALL FIREPLACE AND CHIMNEY INSTALLATIONS SHALL BE GOVERNED, INSPECTED AND APPROVED BY MUNICIPAL AUTHORITIES. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.

ZERO CLEARANCE TYPE METAL FIREPLACES AND METAL CHIMNEYS TO BE CSA APPROVED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

CONSTRUCTION ASSEMBLY SCHEDULE

- 1 **2 X 6" EXTERIOR WALL**
WOOD SIDING ON
3/8" RAINDRAIN SYSTEM ON
HOUSE WRAP ON
1/2" PLYWOOD SHEATHING ON
2 X 6" STUDS (SEE STRUCTURAL FOR DETAILS) W/
R-24 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" INTERIOR WALL GYPSUM BOARD (PAINTED)
- 2 **2 X 4" INTERIOR PARTITION**
2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 3 **2 X 6" INTERIOR PARTITION**
2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 4 **FLOOR ASSEMBLY A (COLD FLOOR)**
FINISHED FLOOR ON
5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON
ENGINEERED FLOOR JOISTS W/
R-31 SPRAY FOAM INSULATION
3/4" T&G WOOD SOFFITS (PAINTED/STAINED)
(SEE STRUCTURAL FOR DETAILS)
- 5 **FLOOR ASSEMBLY B**
FINISHED FLOOR ON
4" CONC SLAB ON 3" RIGID XPS INSUL. ON
6 MIL POLY V.B. ON 6" GRANULAR FILL ON
COMPACT FILL
- 6 **TYP EXTERIOR FOUNDATION WALL**
DELTA DRAIN MAT ON
8" CONCRETE FOUNDATION WALL W/
DAMP-PROOFING AS REQ'D
(SEE STRUCTURAL FOR DETAILS)
- 7 **WATERPROOF DECK/FLAT ROOF**
WATERPROOF DECKING MEMBRANE
(MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON
1/2" T&G PT PLYWOOD SHEATHING ON
PT SLEEPERS @ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON
DECK JOISTS (SEE STRUCTURAL) W/
R-31 SPRAY FOAM INSULATION
1/2" CD BOARD (PAINTED)
- 8 **EXTERIOR DECK STAIR**
TOTAL RISE = 9'-8"
16 RISERS
10" RUNS PLUS 1" NOSING
MINIMUM 6'-6" HEADROOM
36" HIGH CONTINUOUS GRASPABLE HANDRAIL
PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
- 9 **DRAINAGE**
ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.)
TO BE 4" PERF. PIPE 3" BELOW T/O SLAB
(HOLES DOWN) W/ FILTER FABRIC
(TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON
MIN 6" COMPACT GRANULAR FILL ON
(ON, AROUND AND BELOW PIPE) ON
COMPACT FILL
- 10 **EXIST/PROP ROOF**
2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE
(@ 1/4" PER FOOT SLOPE TO DRAINS) ON
1/2" FIBRE BOARD SHEATHING ON
TAR & GRAVEL ROOF SYSTEM
2 LAYERS 1/2" FIBRE BOARD SHEATHING ON
T&G TRUCK DECKING ON
STRUCTURAL BEAMS (SEE STRUCT)



- DIMENSION NOTES:**
- ALL EXTERIOR DIMENSIONS TAKEN TO EXT. FACE OF SHEATHING.
 - ALL FOUNDATION DIMENSIONS ARE TAKEN TO FACE OF ICF WALL OR EXTERIOR FACE OF CONCRETE FOR STANDARD CONC WALLS.
 - ALL INTERIOR DIMENSIONS ARE TAKEN TO FACE OF FRAMING.
 - WINDOW AND DOOR DIMENSIONS READ LENGTH BY HEIGHT (EG- 6040 MEANS 6'-0" WIDE BY 4'-0" HIGH).
 - *****
CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.
- SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDN DETAILS.
- NOTES:**
- ALL FRAMING IS TO BE DONE PER THE STRUCTURAL DRAWINGS. ANY "EQUIVALENT METHODS" MUST BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO INSTALLATION.
 - ALL BLOCKING TO BE INSTALLED IN FLOOR SYSTEM AT FULL DIMENSION, GLUED & SCREWED ALONG WITH THE REST OF THE FLOOR. BLOCKING SHALL BE INSTALLED ON EITHER SIDE OF A SNAPPED CHALK LINE AND IS TO BE STRAIGHT AND PLUMB.
 - ALL POINT LOADS ARE TO BE INSTALLED RIGHT AWAY.
 - ALL SONO TUBES ARE TO BE ACCURATELY LOCATED AND BRACED. POSTS MUST HAVE FULL BEARING ON CONCRETE COLUMNS.

Colin Durcan Vancouver, BC
604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

U.N.O. - UNLESS NOTED OTHERWISE
I/S- INSIDE
O.C. - ON CENTER
TYP- TYPICAL
D.F. - DOUGLAS FIR
GWB- GYPSUM WALL BOARD (DRYWALL)
PT- PRESSURE TREATED
CONT- CONTINUOUS
ELEV- ELEVATION
O/H- OVERHANG
ENG- ENGINEERED
T & G- TONGUE AND GROOVE
EXT.- EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:
EXISTING & PROPOSED FOUNDATION PLAN

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 9/28/2022
SCALE: AS NOTED

A-1.1

LIST OF CHANGES
WEST ELEVATION:
 C-1s: DOOR IN GREAT ROOM REMOVED. NEW CONSTRUCTION OF WALL TO MATCH EXISTING.
 C-1j: SIZE OF POSTS CHANGED TO 3" IN BETWEEN THE WINDOWS AND CORNER OF KITCHEN
 C-1a: DOOR AT MAIN FLOOR REMOVED AND REPLACED WITH WINDOW (3070).
 C-1L: DOOR (3070) AND WINDOW (11070) REPLACED WITH SLIDING DOOR (5770)
 C-1L: EAST SIDE DINING ROOM WALL EXTENDED.

SOUTH ELEVATION:
 C1-L: EAST SIDE DINING ROOM WALL EXTENDED.
 Revision 5: PROPOSED RETAINING WALL

EAST ELEVATION:
 C-1t: WINDOW (60010) REPLACED WITH SLIDING DOOR (10078)
 C-1j: SIZE OF POSTS CHANGED TO 3" IN BETWEEN CORNERS OF OFFICE
 Revision 4: NEW WATERPROOF DECK
 Revision 5: PROPOSED RETAINING WALL

NORTH ELEVATION:
 C-1g: NEW WINDOW (1330) ADDED TO BATHROOM
 C-1j: SIZE OF POSTS CHANGED TO 3" IN BETWEEN CORNERS OF OFFICE
 Revision 5: PROPOSED RETAINING WALL

NOTES:

ALL FRAMING IS TO BE DONE PER THE STRUCTURAL DRAWINGS. ANY "EQUIVALENT METHODS" MUST BE APPROVED IN WRITING BY THE DEVELOPER PRIOR TO INSTALLATION.

ALL BLOCKING TO BE INSTALLED IN FLOOR SYSTEM AT FULL DIMENSION, GLUED & SCREWED ALONG WITH THE REST OF THE FLOOR. BLOCKING SHALL BE INSTALLED ON EITHER SIDE OF A SNAPPED CHALK LINE AND IS TO BE STRAIGHT AND PLUMB.

ALL POINT LOADS ARE TO BE INSTALLED RIGHT AWAY.

ALL SONO TUBES ARE TO BE ACCURATELY LOCATED AND BRACED. POSTS MUST HAVE FULL BEARING ON CONCRETE COLUMNS.

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.

DIMENSION NOTES:

ALL EXTERIOR DIMENSIONS TAKEN TO EXT. FACE OF SHEATHING.

ALL FOUNDATION DIMENSIONS ARE TAKEN TO FACE OF ICF WALL OR EXTERIOR FACE OF CONCRETE FOR STANDARD CONC WALLS.

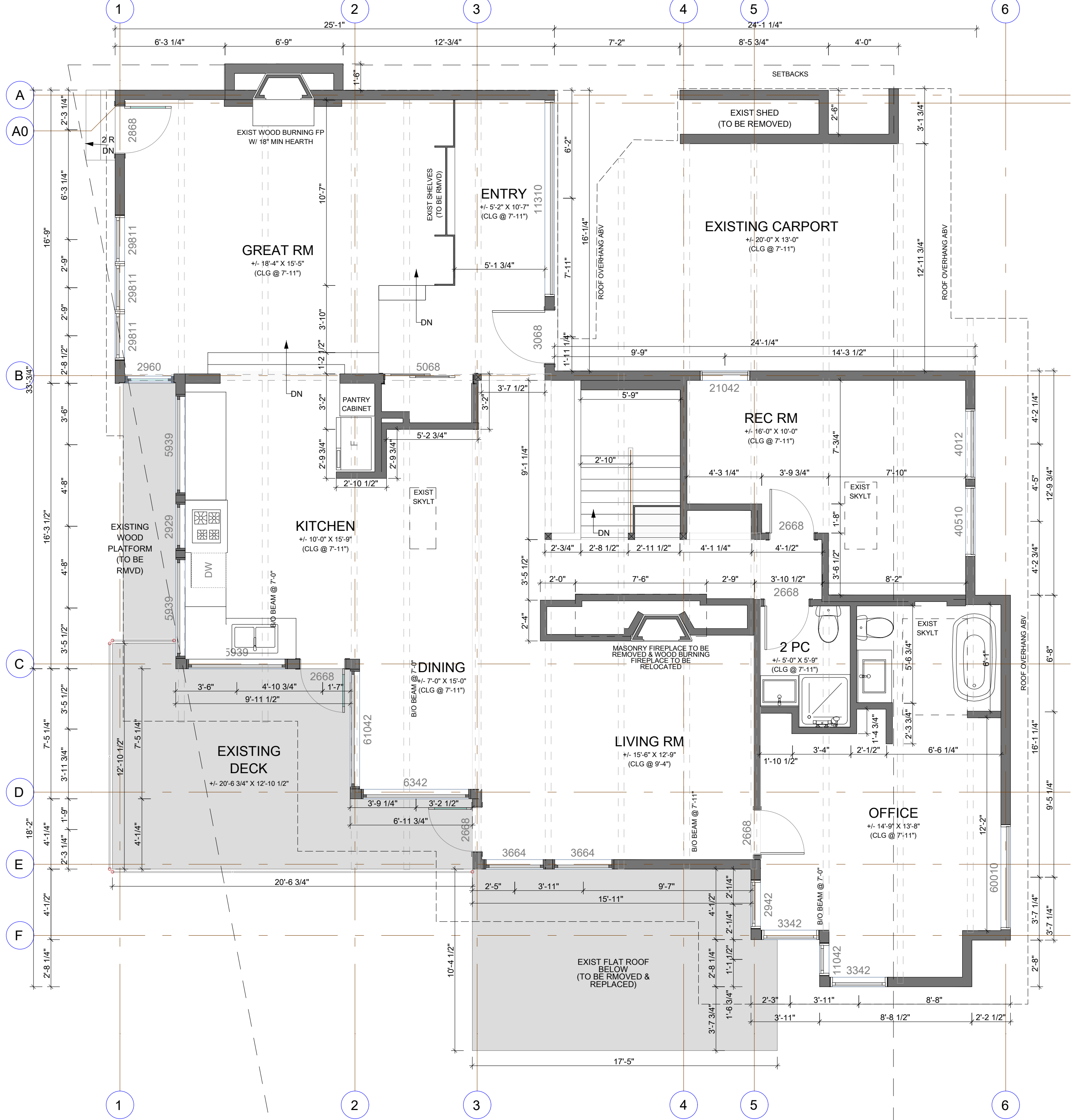
ALL INTERIOR DIMENSIONS ARE TAKEN TO FACE OF FRAMING.

WINDOW AND DOOR DIMENSIONS READ LENGTH BY HEIGHT (EG- 6040 MEANS 6'-0" WIDE BY 4'-0" HIGH).

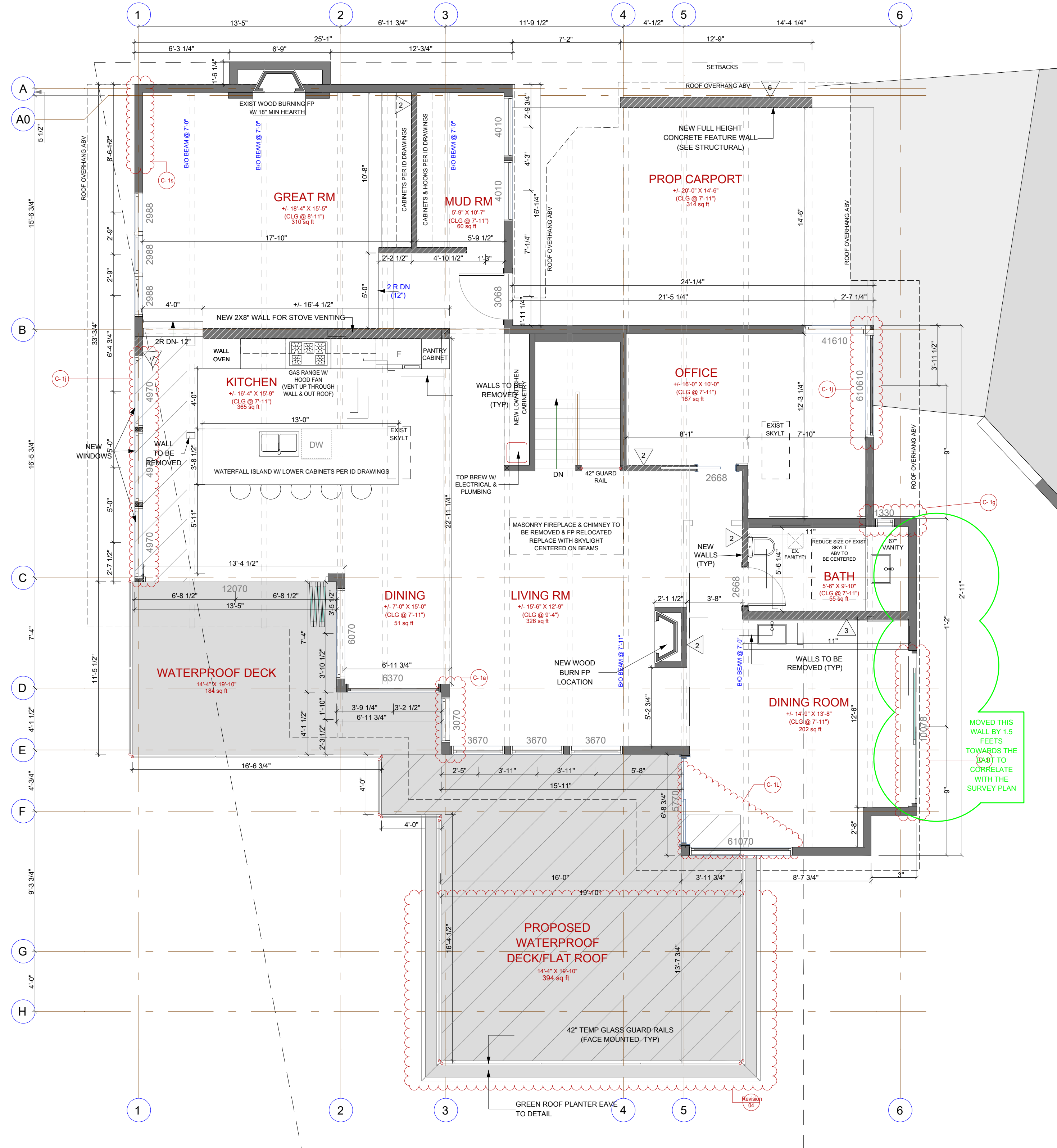
CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.

CONSTRUCTION ASSEMBLY SCHEDULE

- 1 2 X 6" EXTERIOR WALL
WOOD SIDING ON
3/8" RAINSREEN SYSTEM ON
1/2" PLYWOOD SHEATHING ON
HOUSE WRAP ON
- 2 2 X 4" INTERIOR PARTITION
2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 3 2 X 6" INTERIOR PARTITION
2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 4 FLOOR ASSEMBLY A (COLD FLOOR)
FINISHED FLOOR ON
5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON
ENGINEERED FLOOR JOISTS W/
R-31 SPRAY FOAM INSULATION
3/4" T&G WOOD SOFFITS (PAINTED/STAINED)
(SEE STRUCTURAL FOR DETAILS)
- 5 FLOOR ASSEMBLY B
FINISHED FLOOR ON
4" CONC SLAB ON 3" RIGID XPS INSUL ON
6 MIL POLY V.B. ON 6" GRANULAR FILL ON
COMPACT FILL
- 6 TYP EXTERIOR FOUNDATION WALL
8" CONCRETE FOUNDATION WALL W/
DAMP-PROOFING AS REQ'D
(SEE STRUCTURAL FOR DETAILS)
- 7 WATERPROOF DECK/FLAT ROOF
WATERPROOF DECKING MEMBRANE
(MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON
1/2" T&G PT PLYWOOD SHEATHING ON
PT SLEEPERS @ 14" PER FOOT SLOPE AWAY FROM DWELLING) ON
DECK JOISTS (SEE STRUCTURAL) W/
R-31 SPRAY FOAM INSULATION
1/2" CD BOARD (PAINTED)
- 8 EXTERIOR DECK STAIR
TOTAL RISE = 9'-8"
@ 1/4" PER FOOT SLOPE TO DRAINS) ON
16 RISERS
10" RUNS PLUS 1" NOSING
MINIMUM 6" HEADROOM
36" HIGH CONTINUOUS GRASPABLE HANDRAIL
PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
- 9 DRAINAGE
ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.)
TO BE 4" PERF. PIPE 3" BELOW T/O SLAB
(HOLES DOWN) W/ FILTER FABRIC
(TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON
MIN 6" COMPACT GRANULAR FILL ON
(ON, AROUND AND BELOW PIPE) ON
COMPACT FILL
- 10 EXIST/PROP ROOF
2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE
(@ 1/4" PER FOOT SLOPE TO DRAINS) ON
1/2" FIBRE BOARD SHEATHING ON
TAR & GRAVEL ROOF SYSTEM
2 LAYERS 1/2" FIBRE BOARD SHEATHING ON
T&G TRUCK DECKING ON
STRUCTURAL BEAMS (SEE STRUCT)



EXISTING MAIN FLOOR PLAN 1/4" = 1'-0"



PROPOSED MAIN FLOOR PLAN 1/4" = 1'-0"

Colin Durcan Vancouver, BC
 604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

U.N.O. - UNLESS NOTED OTHERWISE
 I/S - INSIDE
 o.c. - ON CENTER
 TYP. - TYPICAL
 D.F. - DOUGLAS FIR
 GWB - GYPSUM WALL BOARD (DRYWALL)
 PT - PRESSURE TREATED
 CONT - CONTINUOUS
 ELEV - ELEVATION
 O/H - OVERHANG
 ENG - ENGINEERED
 T & G - TONGUE AND GROOVE
 EXT - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
 EXIST UPPER FLR: 1684 SQ FT
 UPPER FLR ADD: 99.7 SQ FT
 EXIST LWR FLR: 1320 SQ FT
 LWR FLR ADD: 201 SQ FT
 TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
 BROOKS RESIDENCE
 1421 31ST STREET
 WEST VANCOUVER, B.C.

PROJECT TITLE:

EXIST & PROP MAIN FLOOR PLANS

SHEET TITLE:
 DRAWN BY: LULUA L.
 CHECKED BY:
 DATE: 9/28/2022
 SCALE: AS NOTED

LIST OF CHANGES
WEST ELEVATION:
C1-j: SIZE OF POSTS CHANGED TO 3" BETWEEN THE CORNER WINDOWS IN EXISTING BEDROOM 2
C1-u: WINDOWS IN BEDROOM 1 AND 2 CHANGED FROM 7054 TO 61070. WINDOW IN PROPOSED MASTER BEDROOM CHANGED FROM 5068 TO 61070

SOUTH ELEVATION:
C1-v: SLIDING DOOR 10068 REPLACED WITH WINDOW 61070

NOTES:

ALL FRAMING IS TO BE DONE PER THE STRUCTURAL DRAWINGS. ANY "EQUIVALENT METHODS" MUST BE APPROVED IN WRITING BY THE DEVELOPER PRIOR TO INSTALLATION.

ALL BLOCKING TO BE INSTALLED IN FLOOR SYSTEM AT FULL DIMENSION, GLUED & SCREWED ALONG WITH THE REST OF THE FLOOR. BLOCKING SHALL BE INSTALLED ON EITHER SIDE OF A SNAPPED CHALK LINE AND IS TO BE STRAIGHT AND PLUMB.

ALL POINT LOADS ARE TO BE INSTALLED RIGHT AWAY.

ALL SONO TUBES ARE TO BE ACCURATELY LOCATED AND BRACED. POSTS MUST HAVE FULL BEARING ON CONCRETE COLUMNS.

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.

DIMENSION NOTES:

ALL EXTERIOR DIMENSIONS TAKEN TO EXT. FACE OF SHEATHING.

ALL FOUNDATION DIMENSIONS ARE TAKEN TO FACE OF ICF WALL OR EXTERIOR FACE OF CONCRETE FOR STANDARD CONC WALLS.

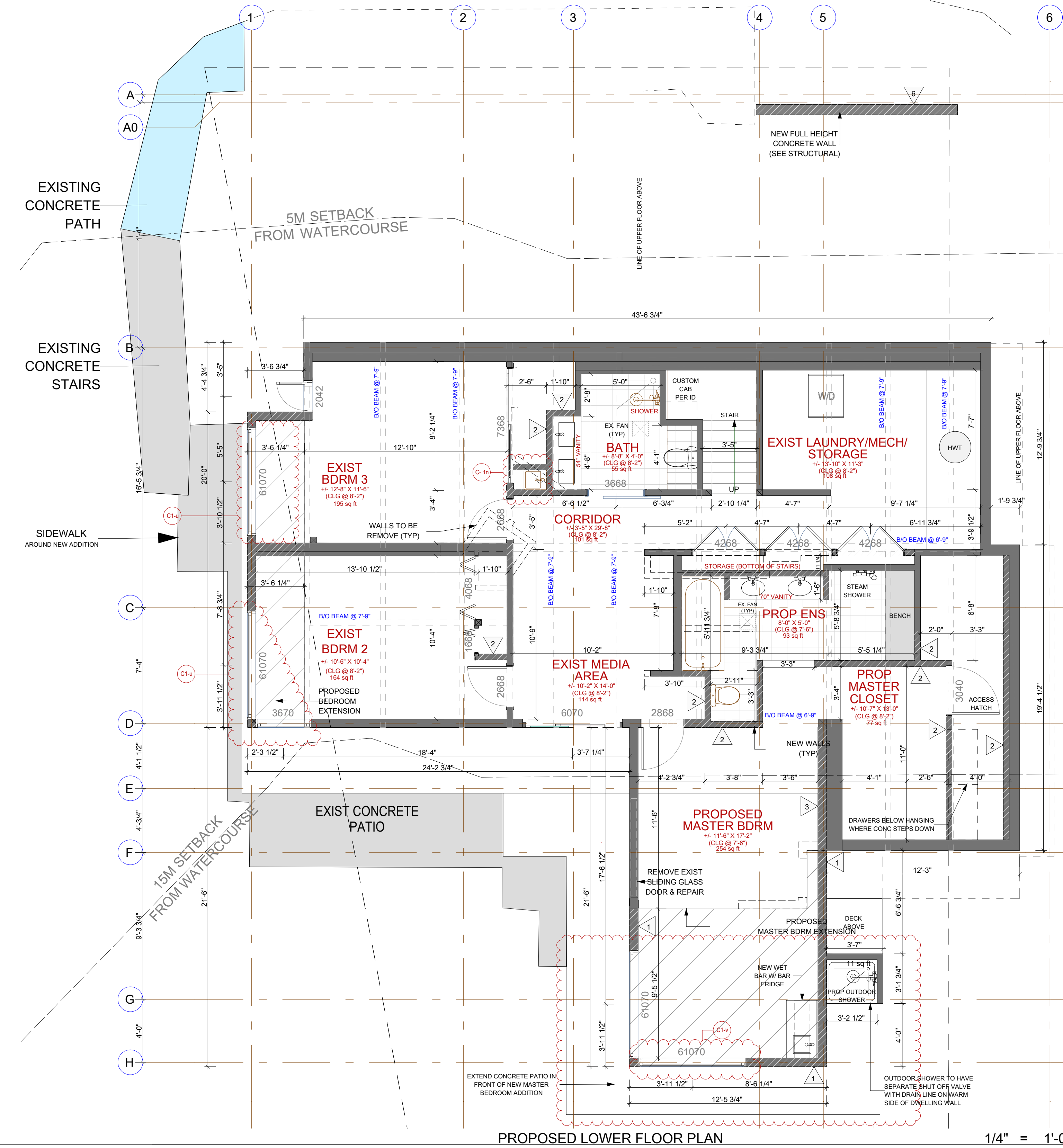
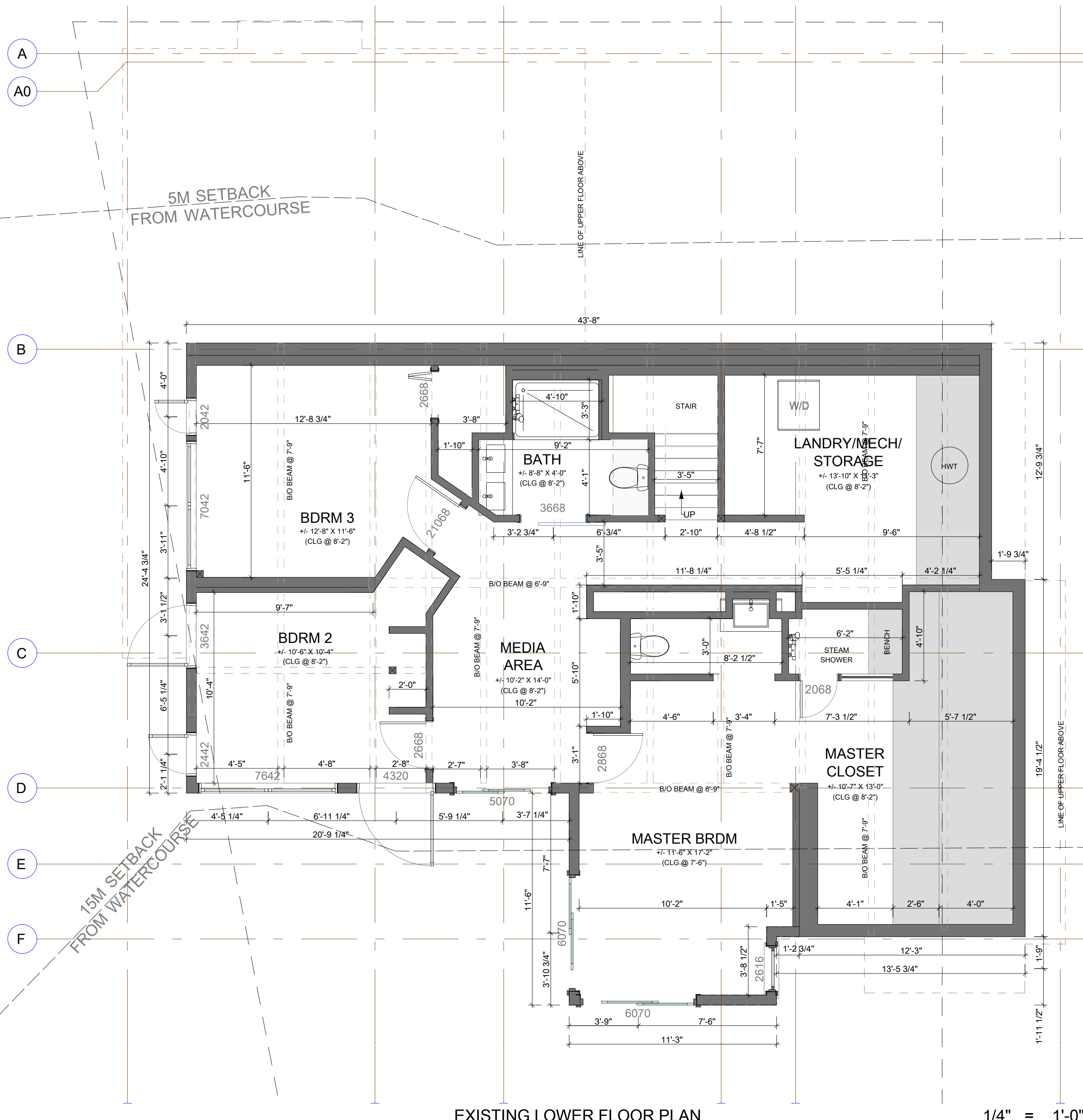
ALL INTERIOR DIMENSIONS ARE TAKEN TO FACE OF FRAMING.

WINDOW AND DOOR DIMENSIONS READ LENGTH BY HEIGHT (EG- 6040 MEANS 6'-0" WIDE BY 4'-0" HIGH).

CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.

CONSTRUCTION ASSEMBLY SCHEDULE

- 1 2 X 6" EXTERIOR WALL
WOOD SIDING ON
3/8" RAINDRAIN SYSTEM ON
HOUSE WRAP ON
- 2 2 X 4" INTERIOR PARTITION
2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 3 2 X 6" INTERIOR PARTITION
2 X 6 STUDS (SEE STRUCTURAL FOR DETAILS)
1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 4 FLOOR ASSEMBLY A (COLD FLOOR)
FINISHED FLOOR ON
5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON
ENGINEERED FLOOR JOISTS W/
R-31 SPRAY FOAM INSULATION
3/4" T&G WOOD SOFFITS (PAINTED/STAINED)
(SEE STRUCTURAL FOR DETAILS)
- 5 FLOOR ASSEMBLY B
FINISHED FLOOR ON
4" CONC SLAB ON 3" RIGID XPS INSUL ON
6 MIL POLY V.B. ON 6" GRANULAR FILL ON
COMPACT FILL
- 6 TYP EXTERIOR FOUNDATION WALL
DELTA DRAIN MAT ON
8" CONCRETE FOUNDATION WALL W/
DAMP-PROOFING AS REQ'D
(SEE STRUCTURAL FOR DETAILS)
- 7 WATERPROOF DECK/FLAT ROOF
WATERPROOF DECKING MEMBRANE
(MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON
1/2" T&G PT PLYWOOD SHEATHING ON
PT SLEEPERS @ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON
DECK JOISTS (SEE STRUCTURAL) W/
R-31 SPRAY FOAM INSULATION
1/2" CD BOARD (PAINTED)
- 8 EXTERIOR DECK STAIR
TOTAL RISE = 9'-8"
18 RISERS
10" RUNS PLUS 1" NOSING
MINIMUM 6" HEADROOM
36" HIGH CONTINUOUS GRASPABLE HANDRAIL
PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
- 9 DRAINAGE
ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.)
TO BE 4" PERF. PIPE 3" BELOW T/O SLAB
(HOLES DOWN) W/ FILTER FABRIC
(TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON
MIN 6" COMPACT GRANULAR FILL ON
(ON, AROUND AND BELOW PIPE) ON
COMPACT FILL
- 10 EXIST/PROP ROOF
2 PLY WATERPROOF TORCH DOWN ROOF MEMBRANE
(@ 1/4" PER FOOT SLOPE TO DRAINS) ON
1/2" FIBRE BOARD SHEATHING ON
TAR & GRAVEL ROOF SYSTEM
2 LAYERS 1/2" FIBRE BOARD SHEATHING ON
T&G TRUCK DECKING ON
STRUCTURAL BEAMS (SEE STRUCT)



Colin Durcan Vancouver, BC
604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:

- U.N.O. - UNLESS NOTED OTHERWISE
- I/S - INSIDE
- O.C. - ON CENTER
- TYP. - TYPICAL
- D.F. - DOUGLAS FIR
- GWB - GYPSUM WALL BOARD (DRYWALL)
- PT - PRESSURE TREATED
- CONT - CONTINUOUS
- ELEV - ELEVATION
- O/H - OVERHANG
- ENG - ENGINEERED
- T & G - TONGUE AND GROOVE
- EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:
EXIST & PROP LOWER FLOOR PLANS

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 9/28/2022
SCALE: AS NOTED

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
 U.N.O. - UNLESS NOTED OTHERWISE
 I/S - INSIDE
 O.C. - ON CENTER
 TYP. - TYPICAL
 D.F. - DOUGLAS FIR
 G.W.B. - GYPSUM WALL BOARD (DRYWALL)
 P.T. - PRESSURE TREATED
 CONT. - CONTINUOUS
 ELEV. - ELEVATION
 O/H - OVERHANG
 ENG. - ENGINEERED
 T & G - TONGUE AND GROOVE
 EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
 EXIST UPPER FLR: 1684 SQ FT
 UPPER FLR ADD: 99.7 SQ FT
 EXIST LWR FLR: 1320 SQ FT
 LWR FLR ADD: 201 SQ FT
 TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

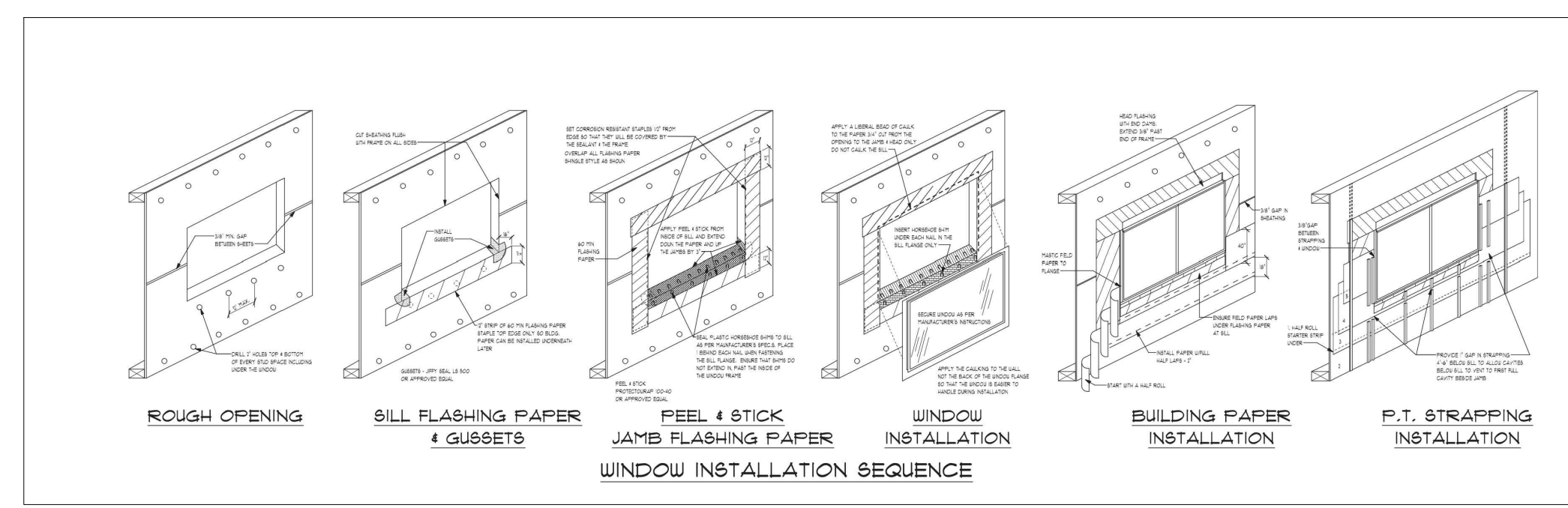
ADDITION/RENOVATION
 BROOKS RESIDENCE
 1421 31ST STREET
 WEST VANCOUVER, B.C.

PROJECT TITLE:
EXIST & PROP ROOF PLANS & DOOR/WINDOW DETAILS

SHEET TITLE:
 DRAWN BY: LULUA L.
 CHECKED BY:
 DATE: 9/28/2022
 SCALE: AS NOTED

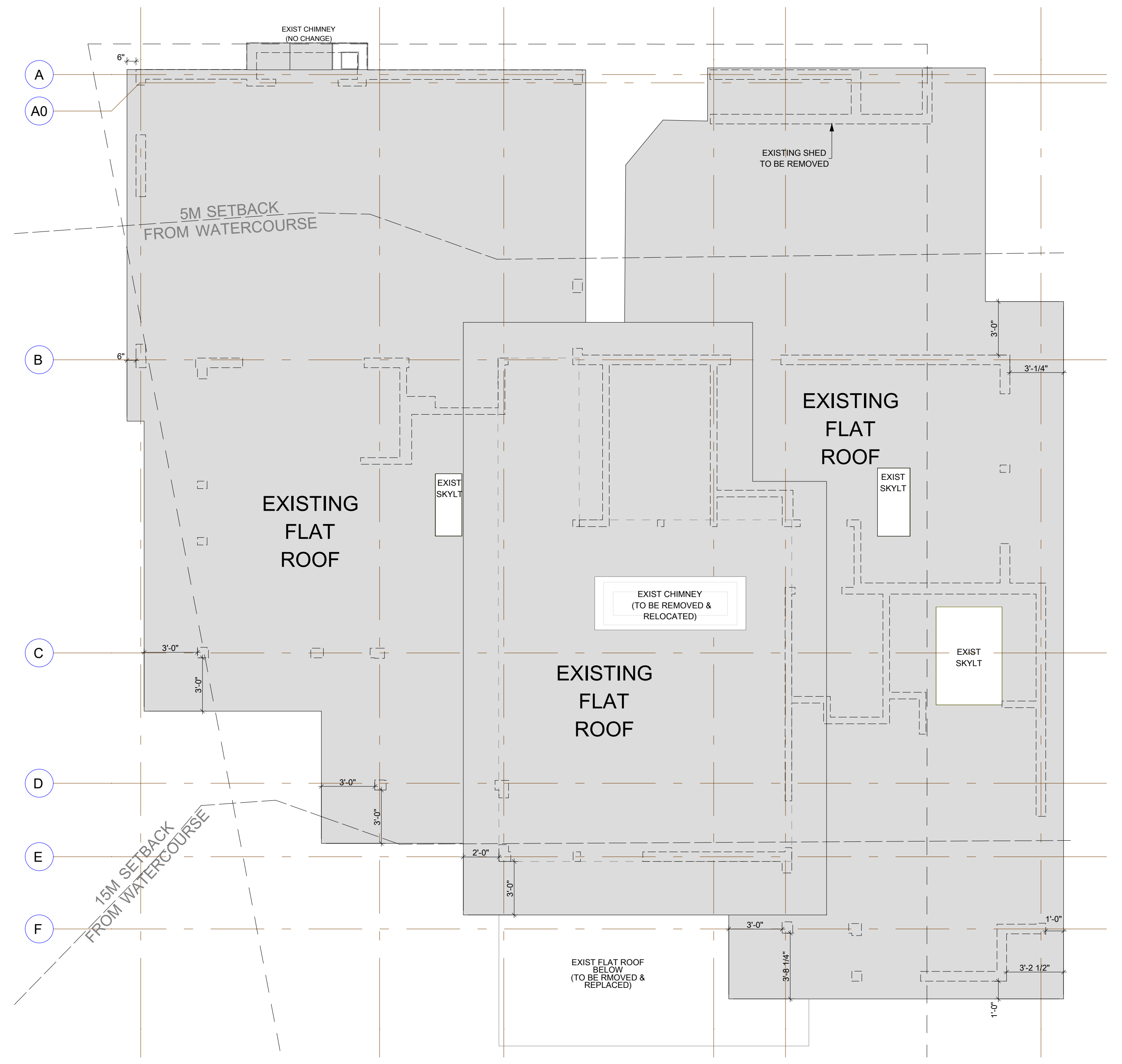
WINDOW AND DOOR NOTES:

- CONTRACTOR TO CONFIRM ALL WINDOW AND DOOR ROUGH OPENINGS IN ADVANCE OF FRAMING. OPENINGS TO BE PER THE WINDOW OR DOOR MANUFACTURER'S SPECIFICATIONS.
- ALL WINDOW DIMENSIONS ARE TAKEN TO THE FRAME SIZE.
- ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.
- BEDROOM WINDOWS TO COMPLY WITH BCBC 9.7.1.2.
- ALL EXTERIOR DOORS ARE DIMENSIONED TO THE DOOR SIZE.
- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- FRAMER TO SEE MANUFACTURER'S SPECS FOR ROUGH OPENINGS.
- ALL WINDOWS AND DOORS TO HAVE U FACTOR OF 1.8 OR BETTER.
- ASHRAE 90.1-2010 (U VALUE 0.35 MAX)

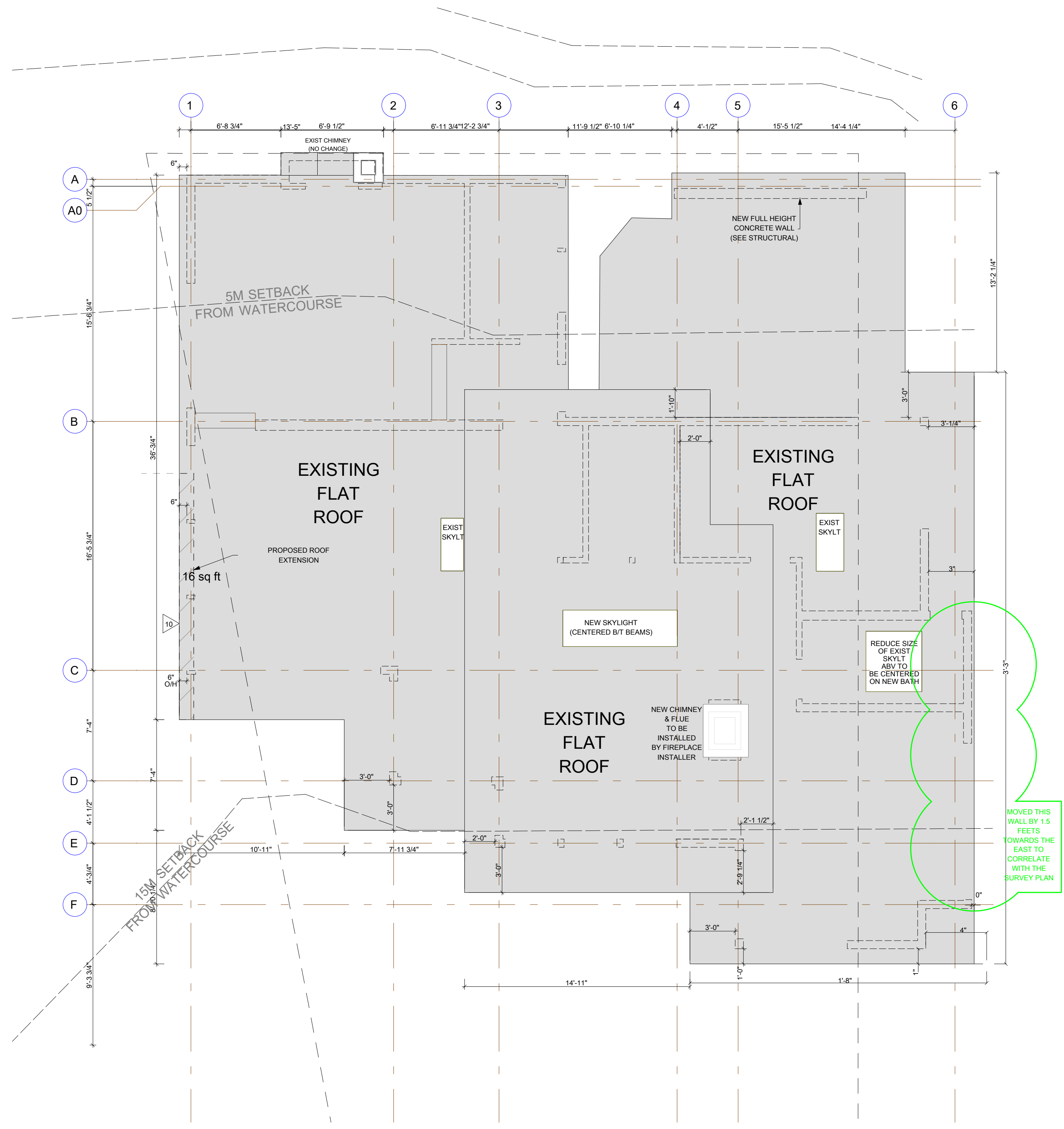


CONTRACTOR TO DETERMINE LOCATIONS OF RAIN WATER LEADERS ON SITE.

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.



EXISTING ROOF PLAN 1/4" = 1'-0"

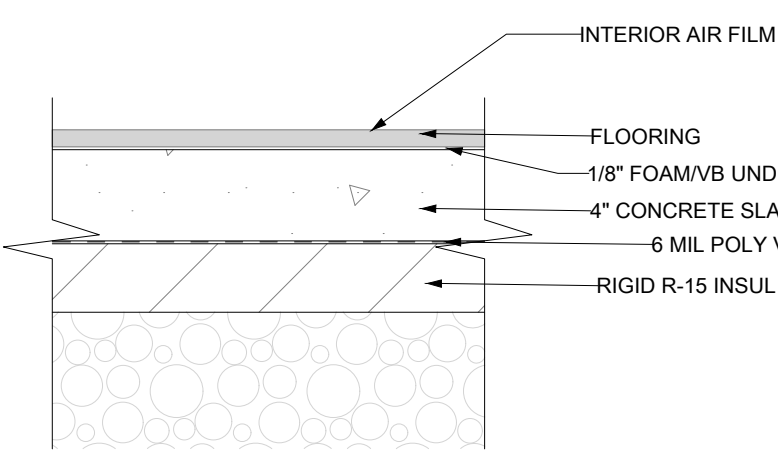


PROPOSED ROOF PLAN 1/4" = 1'-0"

AVERAGE NATURAL/FINISHED GRADE CALCULATIONS

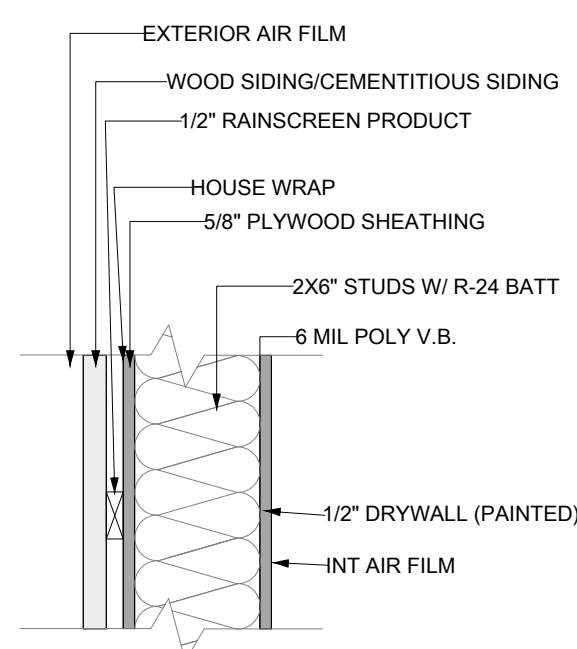
	ELEV (FT)	ELEV (FT)		LENGTH (FT)	TOTAL (FT)
A-B	130.40	+ 132.30	/2 = 131.35	x 25.20	3310.02
B-C	132.30	+ 132.10	/2 = 132.20	x 16.00	2115.20
C-C1	132.10	+ 132.20	/2 = 132.15	x 2.00	264.3
C1-C2	132.20	+ 132.80	/2 = 132.50	x 8.5	1126.25
C2-C3	132.80	+ 132.80	/2 = 132.80	x 3.2	424.96
C3-C4	132.80	+ 132.80	/2 = 132.80	x 2.6	345.28
C4-C5	132.80	+ 132.80	/2 = 132.80	x 2.8	371.84
C5-C6	132.80	+ 133.10	/2 = 132.95	x 15.7	2087.32
C6-C7	133.10	+ 132.80	/2 = 132.95	x 13.3	1768.24
C7-C8	132.80	+ 132.80	/2 = 132.80	x 4.3	571.04
C8-D	132.80	+ 132.70	/2 = 132.75	x 3.2	424.80
D-E	132.70	+ 132.40	/2 = 132.55	x 12.60	1670.13
E-F	132.40	+ 132.30	/2 = 132.35	x 2.00	264.70
F-G	132.30	+ 130.90	/2 = 131.60	x 19.90	2618.84
G-H	130.90	+ 123.70	/2 = 127.30	x 15.40	1960.42
H-I	123.70	+ 123.70	/2 = 123.70	x 13.50	1669.95
I-J	123.70	+ 123.70	/2 = 123.70	x 12.50	1546.25
J-K	123.70	+ 123.70	/2 = 123.70	x 21.50	2659.55
K-L	123.70	+ 123.50	/2 = 123.60	x 20.80	2570.88
L-M	123.50	+ 127.90	/2 = 125.70	x 23.60	2966.52
M-N	127.90	+ 129.50	/2 = 128.70	x 3.60	463.32
N-A	129.50	+ 130.40	/2 = 129.95	x 16.80	2183.16
SUBTOTALS				259	33,382.97

AVERAGE NATURAL / FINISHED GRADE: 128.9



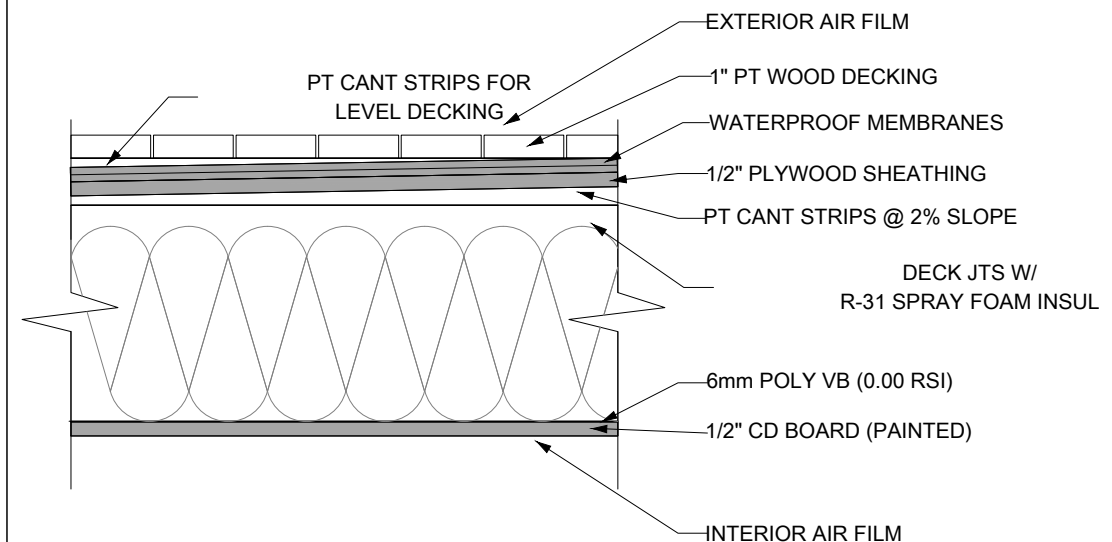
HEATED SLAB (FLOOR) 1 1/2" = 1'-0"

Material	Interior air film	0.91	0.160
R-15 Rigid Slab			
4" Reinforced Concrete Slab	0.23	0.041	
R-15 Rigid Insulation	15.00	2.642	



ABOVE GRADE WALL 1 1/2" = 1'-0"

Material	Exterior air film	0.17	0.030
2x6 @ 16" o/c R-24 Batt			
Rain screen (1/2" air space)	0.05	0.150	
1/2" Plywood	0.63	0.110	
6 mil Vapour barrier	0.00	0.000	
Interior Air Film	0.68	0.120	



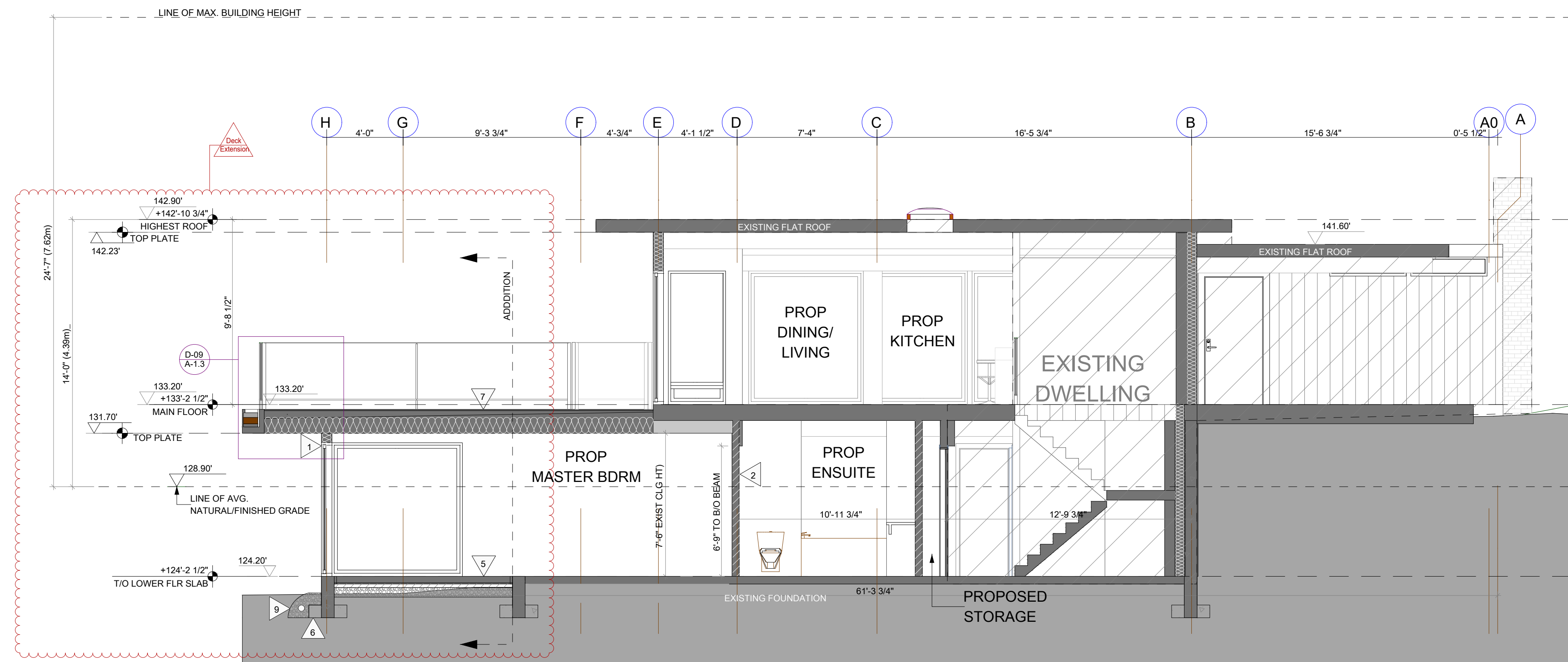
FLAT ROOF/DECK (@ MASTER) 1 1/2" = 1'-0"

Material	Exterior air film	0.17	0.030
2x10 @ 16" o/c R-31 batt or spray foam			
1/2" Plywood	0.63	0.110	
6 mil Vapour barrier	0.00	0.000	
Interior Air Film	0.68	0.120	

CONSTRUCTION ASSEMBLY SCHEDULE

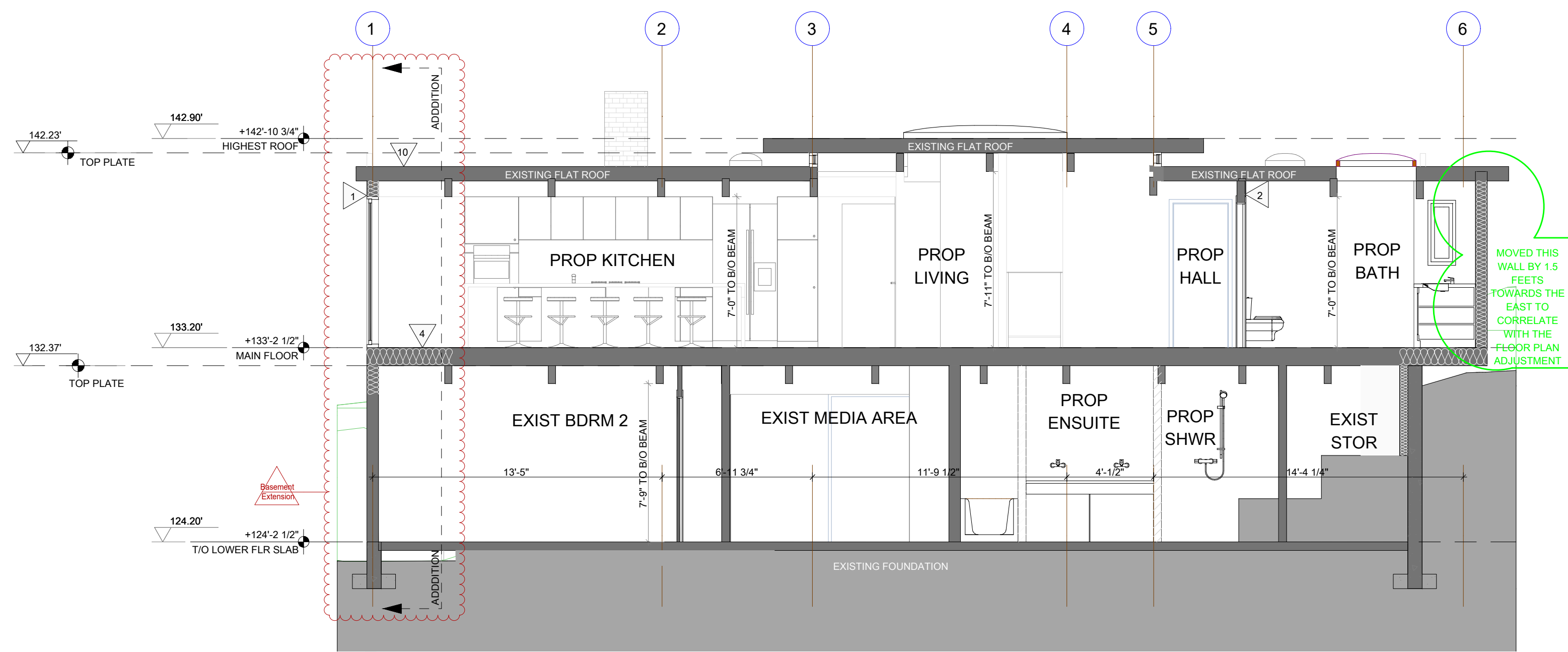
- 1 2 X 6" EXTERIOR WALL
WOOD SIDING ON 3/8" RAINSCREEN SYSTEM ON HOUSE WRAP ON 1/2" PLYWOOD SHEATHING ON 2 X 6" STUDS (SEE STRUCTURAL FOR DETAILS) W/ R-24 BATT INSULATION 6 MIL POLY VAPOUR BARRIER
- 2 2 X 4" INTERIOR PARTITION
1/2" INTERIOR WALL GYPSUM BOARD (PAINTED)
- 3 2 X 6" INTERIOR PARTITION
2 X 4 STUDS (SEE STRUCTURAL FOR DETAILS) 1/2" WALL GYPSUM BOARD TO BOTH SIDES (PAINTED)
- 4 FLOOR ASSEMBLY A (COLD FLOOR)
FINISHED FLOOR ON 5/8" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON ENGINEERED FLOOR JOISTS W/ R-31 SPRAY FOAM INSULATION 3/4" T&G WOOD SOFFITS (PAINTED/STAINED) (SEE STRUCTURAL FOR DETAILS)
- 5 FLOOR ASSEMBLY B
FINISHED FLOOR ON 4" CONG SLAB ON 3" RIGID XPS INSUL ON 6 MIL POLY V.B. ON 6" GRANULAR FILL ON COMPACT FILL
- 6 TYP EXTERIOR FOUNDATION WALL
DELTA DRAIN MAT ON 8" CONCRETE FOUNDATION WALL W/ DAMPPROOFING AS REQD (SEE STRUCTURAL FOR DETAILS)
- 7 WATERPROOF DECK/FLAT ROOF
WATERPROOF DECKING MEMBRANE (MEMBRANE TO WRAP 8" UP EXTERIOR WALLS BEHIND SIDING) ON 1/2" T&G PT PLYWOOD SHEATHING ON PT SLEEPERS (@ 1/4" PER FOOT SLOPE AWAY FROM DWELLING) ON DECK JOISTS (SEE STRUCTURAL) W/ R-31 SPRAY FOAM INSULATION 1/2" CD BOARD (PAINTED)
- 8 EXTERIOR DECK STAIR
TOTAL RISE = 9'-8"
16 RISERS
10" RUNS PLUS 1" NOSING
MINIMUM 6'-6" HEADROOM
3/8" HIGH CONTINUOUS GRASPABLE HANDRAIL
PRESSURE TREATED WOOD W/ APPROPRIATE FASTENERS
- 9 DRAINAGE
ALL SITE DRAINAGE (FOUNDATION, STORM, ETC.) TO BE 4" PERF. PIPE 3" BELOW T/O SLAB (HOLES DOWN) W/ FILTER FABRIC (TO CONNECT TO EXIST PERIMETER/STORM DRAINAGE) ON MIN 6" COMPACT GRANULAR FILL ON (ON, AROUND AND BELOW PIPE) ON COMPACT FILL
- 10 EXIST/PROP ROOF
2 FLY WATERPROOF TORCH DOWN ROOF MEMBRANE (@ 1/4" PER FOOT SLOPE TO DRAINS) ON 1/2" FIBRE BOARD SHEATHING ON TAR & GRAVEL ROOF SYSTEM 2 LAYERS 1/2" FIBRE BOARD SHEATHING ON T&G TRUCK DECKING ON STRUCTURAL BEAMS (SEE STRUCT)

SEE STRUCTURAL DRAWINGS FOR ALL TRUSS, JOIST, BEAM & POST LOCATIONS & SPECS, AS WELL AS CONCRETE SLAB & FDTN DETAILS.



BUILDING SECTION A-A

1/4" = 1'-0"



BUILDING SECTION B-B

1/4" = 1'-0"

Colin Durcan Vancouver, BC
604.655.1217 triskelebc@gmail.com

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
i/s- INSIDE
o.c.- ON CENTER
TYP- TYPICAL
D.F. - DOUGLAS FIR
GWB- GYPSUM WALL BOARD (DRYWALL)
PT- PRESSURE TREATED
CONT- CONTINUOUS
ELEV- ELEVATION
O/H- OVERHANG
ENG- ENGINEERED
T & G- TONGUE AND GROOVE
EXT- EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

BUILDING SECTIONS

SHEET TITLE:

DRAWN BY: LULUA L.

CHECKED BY:

DATE: 9/28/2022

SCALE: AS NOTED

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP. - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT. - PRESSURE TREATED
CONT. - CONTINUOUS
ELEV. - ELEVATION
O/H - OVERHANG
ENG. - ENGINEERED
T & G - TONGUE AND GROOVE
EXT. - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

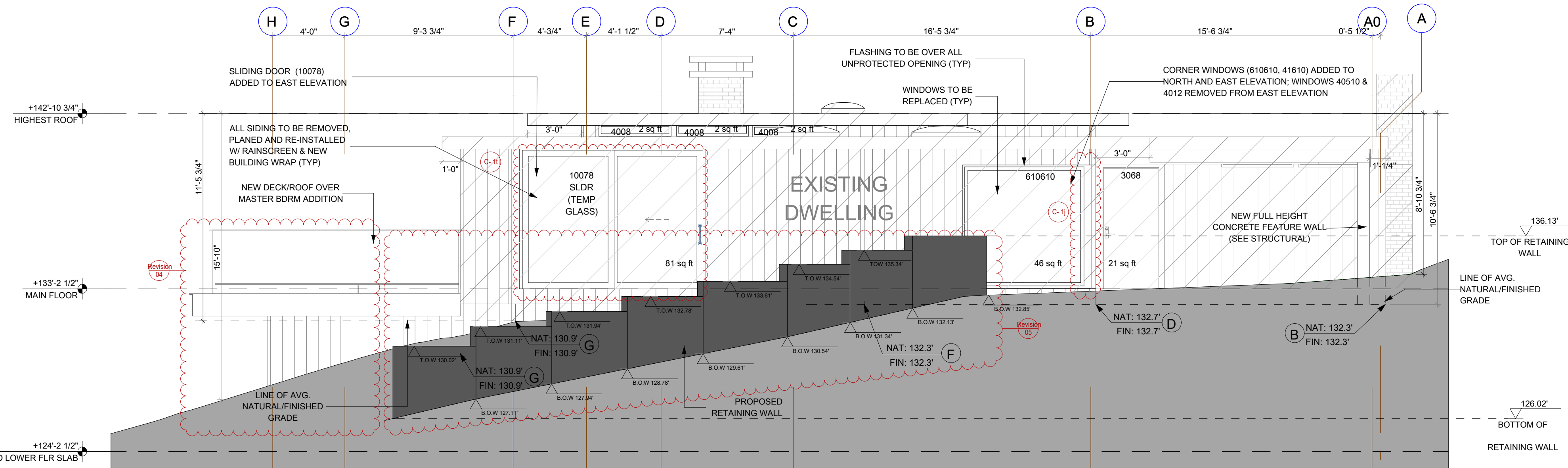
PROJECT TITLE:
**EXISTING & PROPOSED
EAST & NORTH
ELEVATIONS**

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 11/12/2022
SCALE: AS NOTED



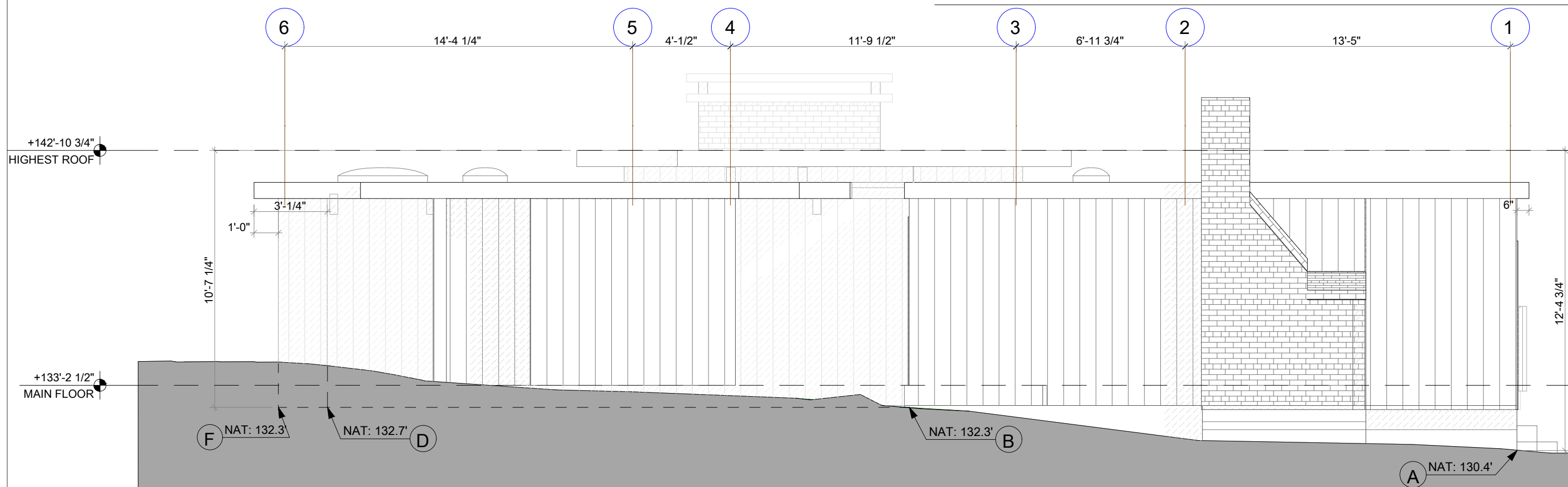
EXISTING EAST ELEVATION

1/4" = 1'-0"



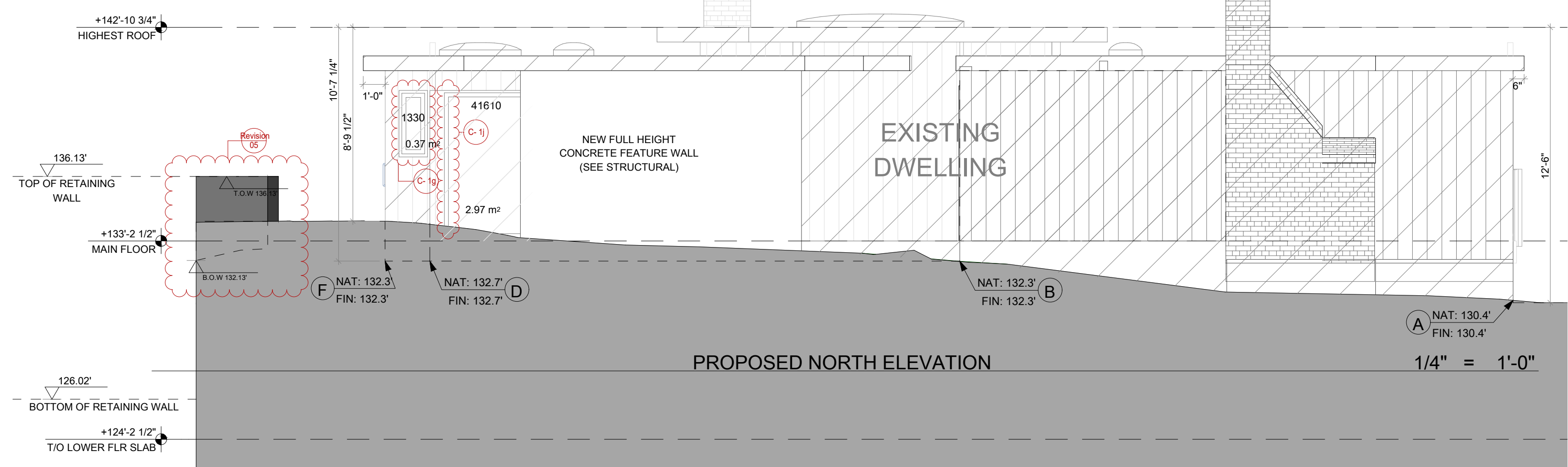
PROPOSED EAST ELEVATION

1/4" = 1'-0"



EXISTING NORTH ELEVATION

1/4" = 1'-0"



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: EXISTING EAST WALL
LIMITING DISTANCE: 7.10 m
EXTERIOR WALL AREA: 31.68 sq m (458 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 57% = 24.25 sq m (261.06 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 5.48 sq m (59.0 sq ft)

WINDOW/DOOR NOTE:
WINDOW/DOOR DIMENSIONS SHOW WIDTH & HEIGHT (WWHH FT/IN/FT/IN).
DIMENSIONS SHOWN IN BOLD ARE NEW WINDOWS/DOORS. DIMENSIONS SHOWN IN REGULAR FONT ARE REPLACEMENTS ONLY WITH NO STRUCTURAL CHANGES.
BUILDER & WINDOW SUPPLIER TO CONFIRM DIMENSIONS PRIOR TO ORDERING.

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: PROPOSED EAST WALL (NO CHANGE)
LIMITING DISTANCE: 7.10 m
EXTERIOR WALL AREA: 31.68 sq m (458 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 57% = 24.25 sq m (261.06 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 14.45 sq m (155.54 sq ft)

LIST OF CHANGES
EAST ELEVATION:
C-1: WINDOW (60010) REPLACED WITH SLIDING DOOR (10078)
C-1j: SIZE OF POSTS CHANGED TO 3" IN BETWEEN CORNERS OF OFFICE
Revision 4: NEW WATERPROOF DECK
Revision 5: PROPOSED RETAINING WALL

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: EXISTING NORTH WALL
LIMITING DISTANCE: 2.05 m
EXTERIOR WALL AREA: 42.09 sq m (453 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 11% = 4.62 sq m (49.83 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 0.0 sq m (0.0 sq ft)

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: PROPOSED NORTH WALL (NO CHANGE)
LIMITING DISTANCE: 2.05 m
EXTERIOR WALL AREA: 42.09 sq m (453 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 11% = 4.62 sq m (49.83 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 3.34 sq m (35.95 sq ft)

LIST OF CHANGES
NORTH ELEVATION:
C-1g: NEW WINDOW (1330) ADDED TO BATHROOM
C-1j: SIZE OF POSTS CHANGED TO 3" IN BETWEEN CORNERS OF OFFICE
Revision 5: PROPOSED RETAINING WALL

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
I/S - INSIDE
O.C. - ON CENTER
TYP - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT - PRESSURE TREATED
CONT - CONTINUOUS
ELEV - ELEVATION
O/H - OVERHANG
ENG - ENGINEERED
T & G - TONGUE AND GROOVE
EXT - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA
EXIST UPPER FLR: 1684 SQ FT
UPPER FLR ADD: 99.7 SQ FT
EXIST LWR FLR: 1320 SQ FT
LWR FLR ADD: 201 SQ FT
TOTAL AREA: 3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT

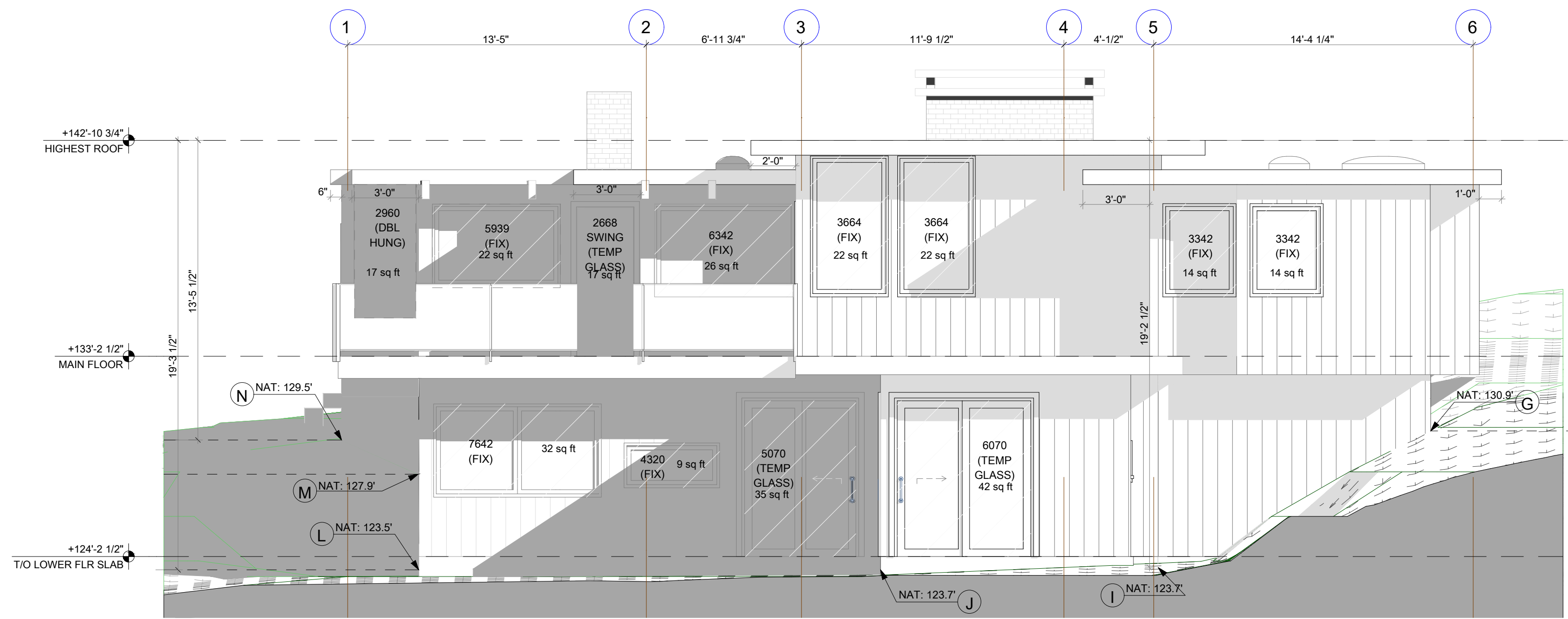
NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

EXISTING & PROPOSED
SOUTH ELEVATIONS

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 11/12/2022
SCALE: AS NOTED

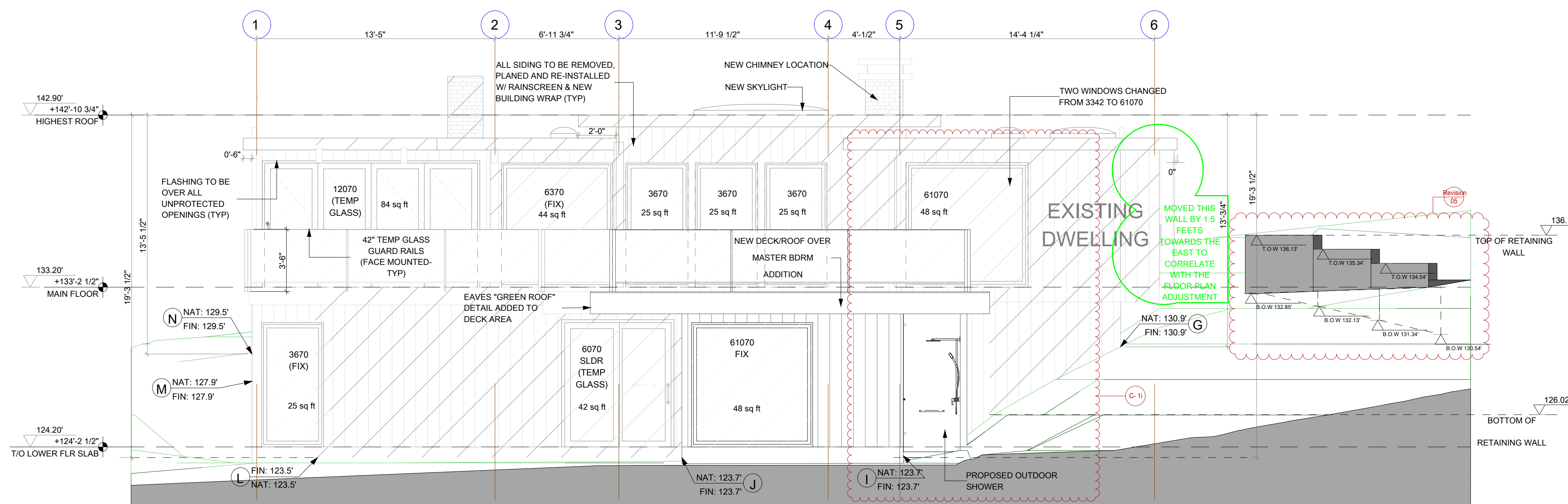


EXISTING SOUTH ELEVATION

1/4" = 1'-0"

WINDOW/DOOR NOTE:
WINDOW/DOOR DIMENSIONS SHOW WIDTH & HEIGHT (W/HH FT/IN/FT/IN).
DIMENSIONS SHOWN IN BOLD ARE NEW WINDOWS/DOORS. DIMENSIONS SHOWN IN REGULAR FONT ARE REPLACEMENTS ONLY WITH NO STRUCTURAL CHANGES.
BUILDER & WINDOW SUPPLIER TO CONFIRM DIMENSIONS PRIOR TO ORDERING.

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: EXISTING SOUTH WALL
LIMITING DISTANCE: 27.67 m
EXTERIOR WALL AREA: 77.57 sq m (835 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 100% = 77.57 sq m (835 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 25.27 sq m (272.0 sq ft)



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

LIST OF CHANGES
SOUTH ELEVATION:
C11: EAST SIDE DINING ROOM WALL EXTENDED.
Revision 5: PROPOSED RETAINING WALL

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: PROPOSED SOUTH WALL
LIMITING DISTANCE: 27.67 m
EXTERIOR WALL AREA: 77.57 sq m (835 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 100% = 77.57 sq m (835 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 33.80 sq m (363.82 sq ft)

NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE AND MUST ONLY BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, CORRESPONDENCE AND INFORMATION PERTINENT TO THE PROJECT.

THE CONTRACTOR SHALL VERIFY REFERENCES, DATUM, AND DIMENSIONS ON SITE AND REQUEST CLARIFICATION FROM THE DESIGN TEAM OF ANY DISCREPANCIES OR OMISSIONS AS SOON AS THEY ARE DISCOVERED PRIOR TO EXECUTION OF ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF EXECUTION AND FOR COMPLIANCE OF ALL WORK WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS.

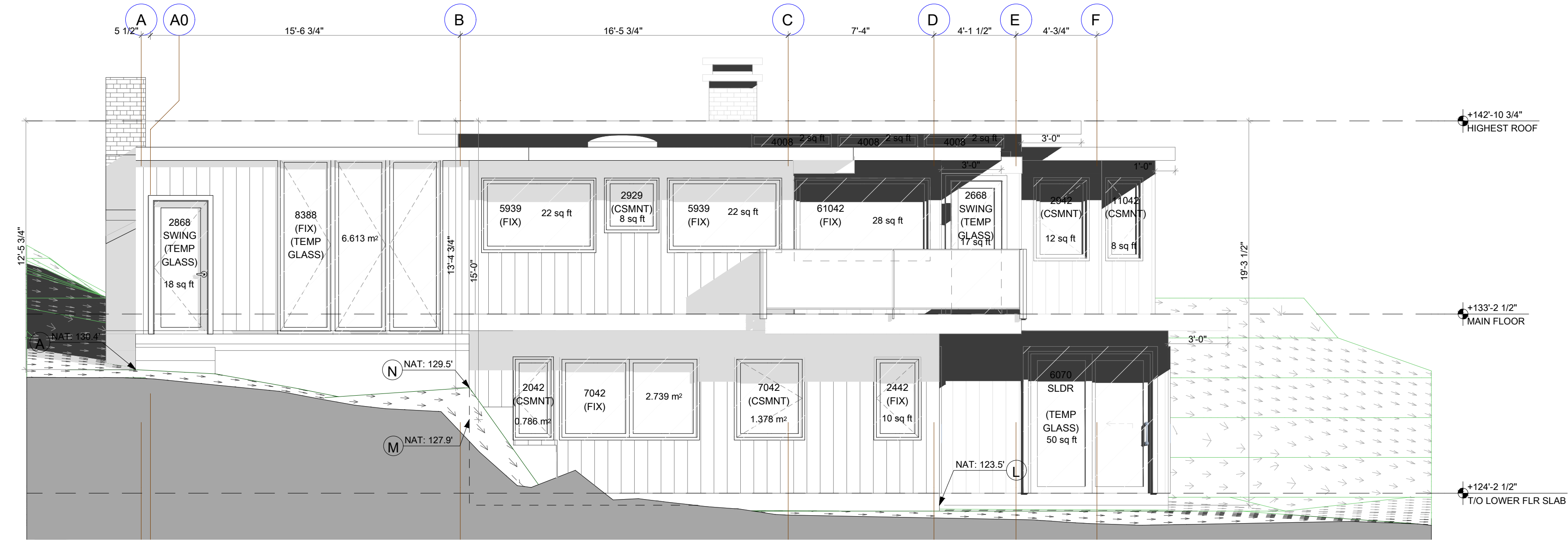
ABBREVIATIONS:
U.N.O. - UNLESS NOTED OTHERWISE
i/s - INSIDE
o.c. - ON CENTER
TYP - TYPICAL
D.F. - DOUGLAS FIR
GWB - GYPSUM WALL BOARD (DRYWALL)
PT - PRESSURE TREATED
CONT - CONTINUOUS
ELEV - ELEVATION
O/H - OVERHANG
ENG - ENGINEERED
T & G - TONGUE AND GROOVE
EXT - EXTERIOR

THESE DRAWINGS COMPLY TO THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS. ALL WORK IS TO ALSO COMPLY WITH THE BCBC 2018 INCLUDING ALL REVISIONS AND AMENDMENTS.

FLOOR AREA

EXIST UPPER FLR:	1684 SQ FT
UPPER FLR ADD:	99.7 SQ FT
EXIST LWR FLR:	1320 SQ FT
LWR FLR ADD:	201 SQ FT
TOTAL AREA:	3304.7 SQ FT

ADJUSTED THE SQUARE FOOTAGE INFORMATION TO INCLUDE THE NEW ADDITION TO THE FOOTPRINT



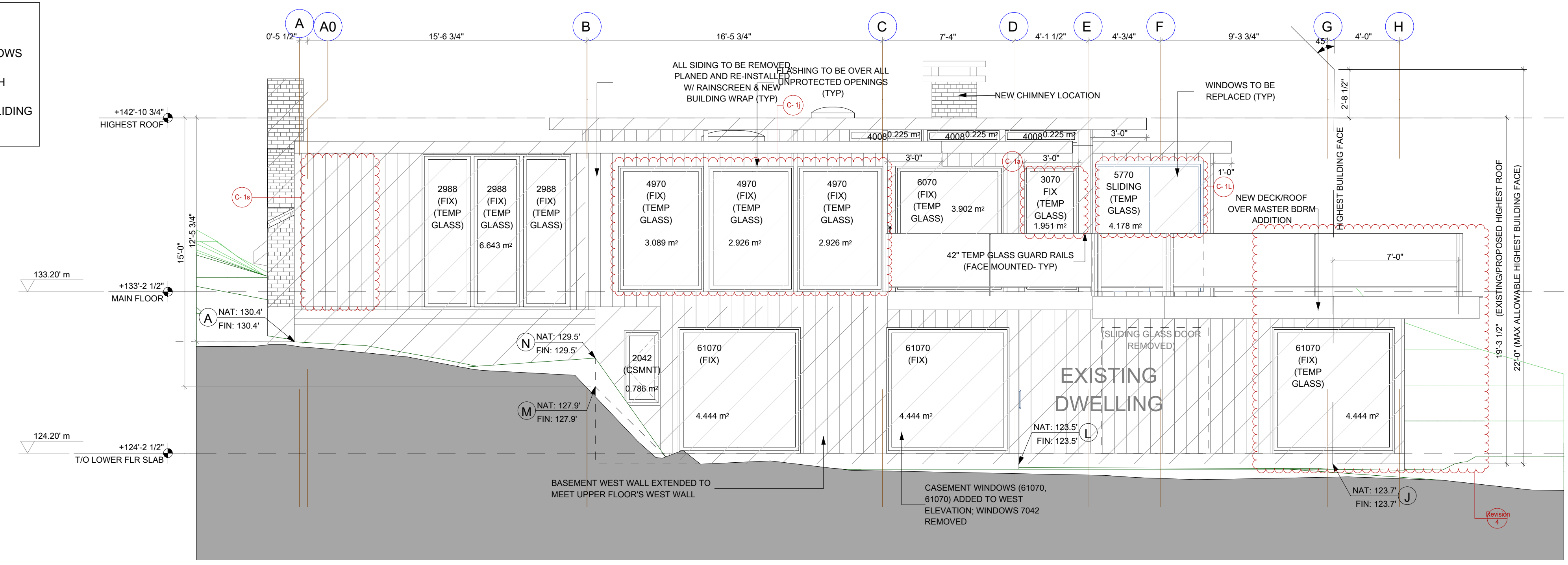
EXISTING WEST ELEVATION

1/4" = 1'-0"

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: EXISTING WEST WALL
LIMITING DISTANCE: 8.78 m
EXTERIOR WALL AREA: 68.10 sq m (733 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 100% = 68.10 sq m (733 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 29.36 sq m (316.0 sq ft)

WINDOW/DOOR NOTE:
WINDOW/DOOR DIMENSIONS SHOW WIDTH & HEIGHT (WVHH FT/IN/FT/IN).
DIMENSIONS SHOWN IN BOLD ARE NEW WINDOWS/DOORS. DIMENSIONS SHOWN IN REGULAR FONT ARE REPLACEMENTS ONLY WITH NO STRUCTURAL CHANGES.
BUILDER & WINDOW SUPPLIER TO CONFIRM DIMENSIONS PRIOR TO ORDERING.

LIST OF CHANGES WEST ELEVATION:
C-1s: DOOR IN GREAT ROOM REMOVED.
C-1j: SIZE OF POSTS CHANGED TO 3" IN BETWEEN THE WINDOWS AND CORNER OF KITCHEN
C-1a: DOOR AT MAIN FLOOR REMOVED AND REPLACED WITH WINDOW (3070)
C-1L: DOOR (3070) AND WINDOW (11070) REPLACED WITH SLIDING DOOR (5770)
C-1L: EAST SIDE DINING ROOM WALL EXTENDED.



PROPOSED WEST ELEVATION

1/4" = 1'-0"

SPATIAL SEPARATION CALCULATION:
DESCRIPTION: PROPOSED WEST WALL
LIMITING DISTANCE: 7.85 m
EXTERIOR WALL AREA: 72.55 sq m (781 sq ft)
MAXIMUM AREA OF GLAZED OPENINGS: 57% = 41.36 sq m (445.17 sq ft)
ACTUAL AREA OF GLAZED OPENINGS: 38.57 sq m (415.16 sq ft)

NO.	DATE	REVISION
6	JULY 23, 2022	REVISIONS
5	JUNE 18, 2022	REVISIONS
4	FEB 18, 2022	REVISIONS
3	OCT 25, 2021	REVISIONS
2	AUG 18, 2021	REVISIONS
1	JUNE 15, 2021	ISSUED FOR BP

ADDITION/RENOVATION
BROOKS RESIDENCE
1421 31ST STREET
WEST VANCOUVER, B.C.

PROJECT TITLE:

EXISTING & PROPOSED WEST ELEVATIONS

SHEET TITLE:
DRAWN BY: LULUA L.
CHECKED BY:
DATE: 9/28/2022
SCALE: AS NOTED