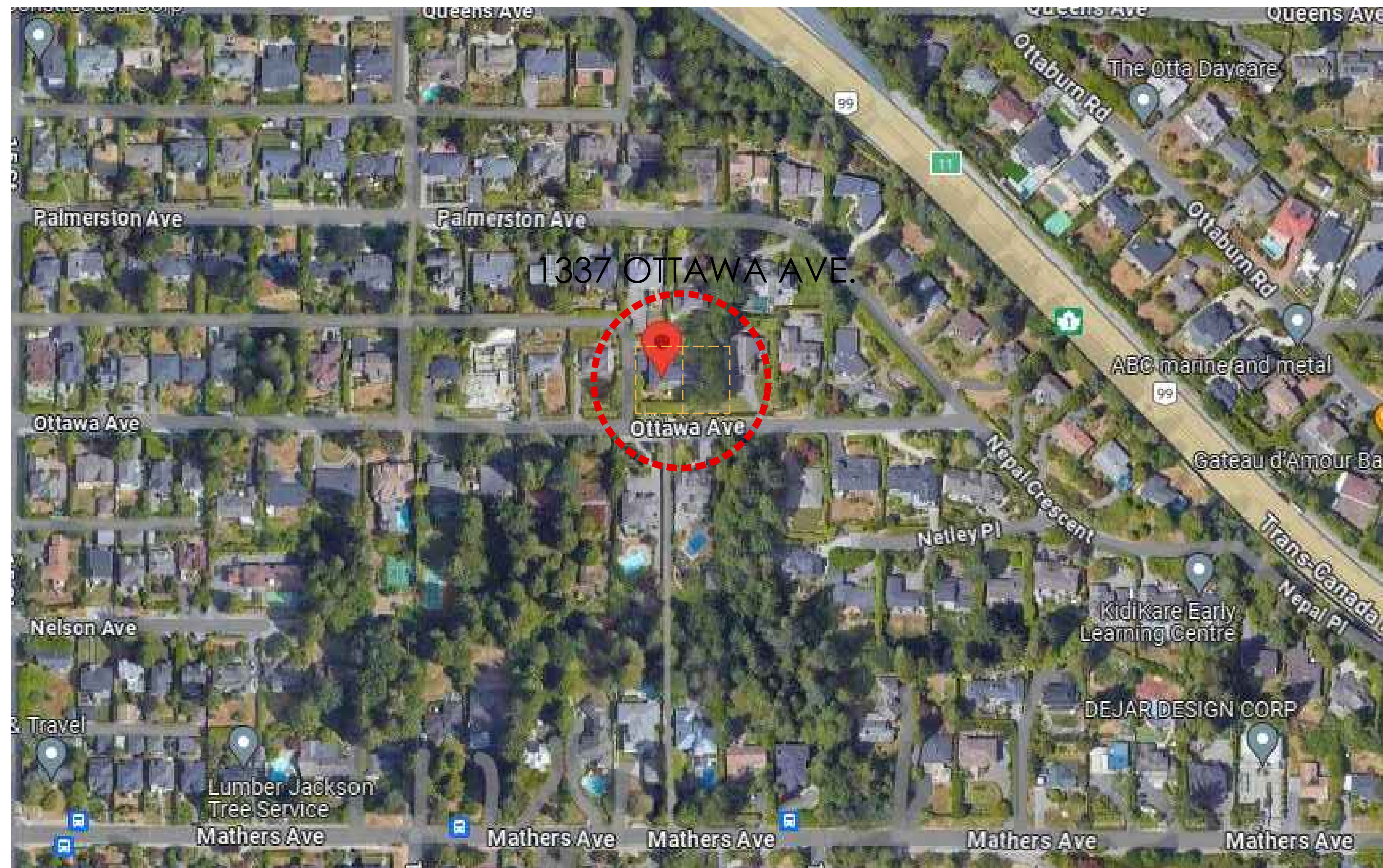
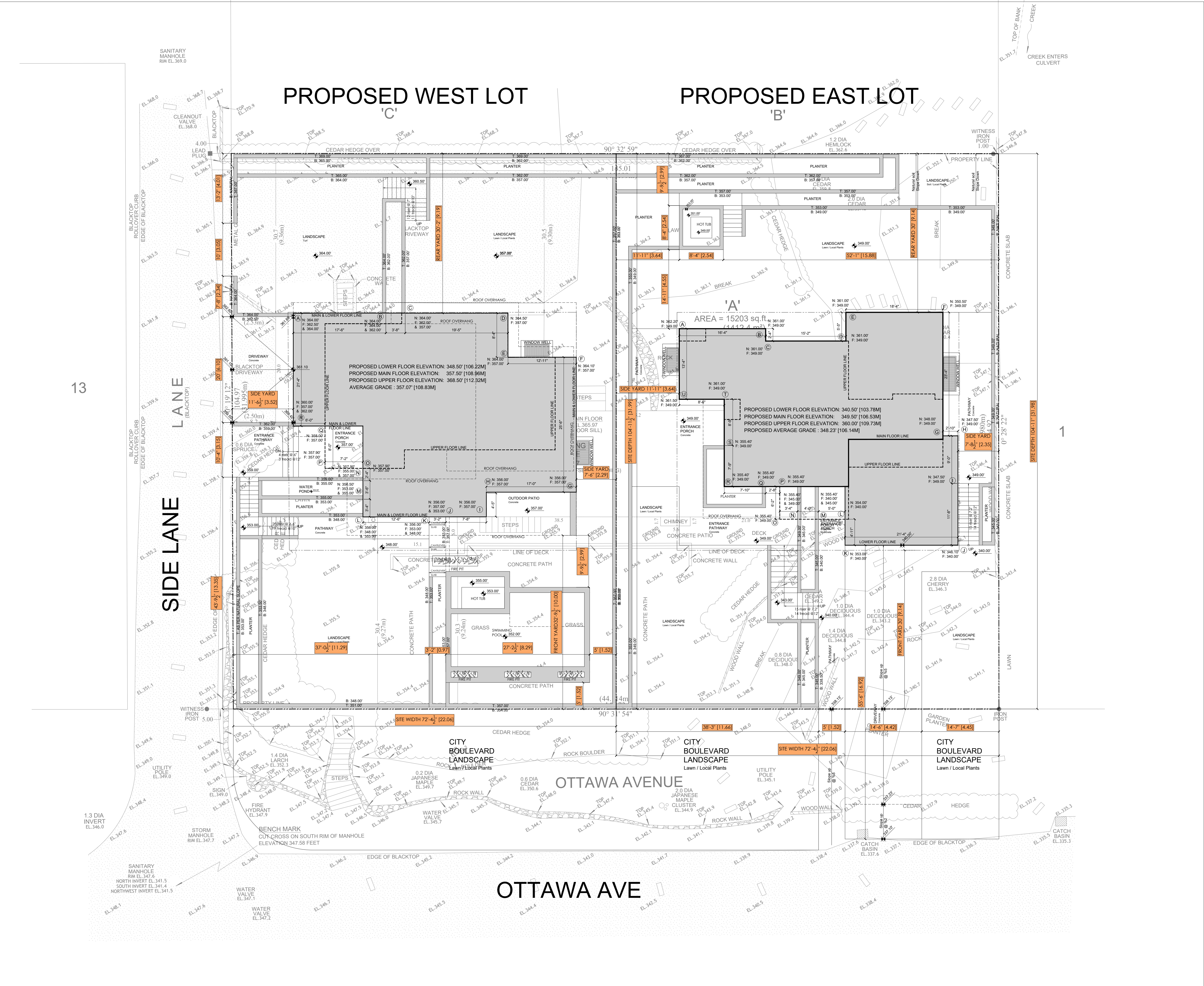


PROPOSED NEW SUBDIVISION 1337 OTTAWA AVE. WEST VANCOUVER





morez@morezdesign.ca
www.morezdesign.ca
C: 604-727-2664
T: 778-319-6489



13

1

NOTES:

PROJECT:
**PROPOSED SUBDIVISION
 TWO SINGLE FAMILY
 WITH LEGAL SUITE**

CIVIC ADDRESS:
**1337 OTTAWA AVE.
 WEST VANCOUVER, BC**

LEGAL DESCRIPTION:
**PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A**

LOT PID:
004-317-556

TITLE:
COMBINED SITE PLAN

CLIENT:
RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01:
 REV- 02:

SCALE:
1/8" = 1'-0"

DWG NO.



PROPOSED NEW SINGLE FAMILY HOME
WITH SECONDARY SUITE
1337 OTTAWA AVE. WEST VANCOUVER
(WEST LOT)

LANDSCAPE
1337 OTTAWA AVE. WEST VANCOUVER
(WEST LOT)



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MOREZ DESIGN INC



LIFESTYLES DESIGNED
LANDSCAPE ARCHITECTURE

MAHSA AZARI
MAHSA@LIFESTYLESDESIGNED.COM
CELL: 778-919-7783

PROJECT:

1337 OTTAWA AVE
WEST LOT
WEST VANCOUVER, BC

DRAWING DATE:
JAN 15, 2024

DRAWING STAGE:
PERMIT

REV DATE ISSUED FOR
JAN 15, 2024 CLIENT REVIEW

TREE & PLANTING
PLAN

SCALE: 1/8"=1'-0"

L-1.02

GENERAL NOTES:

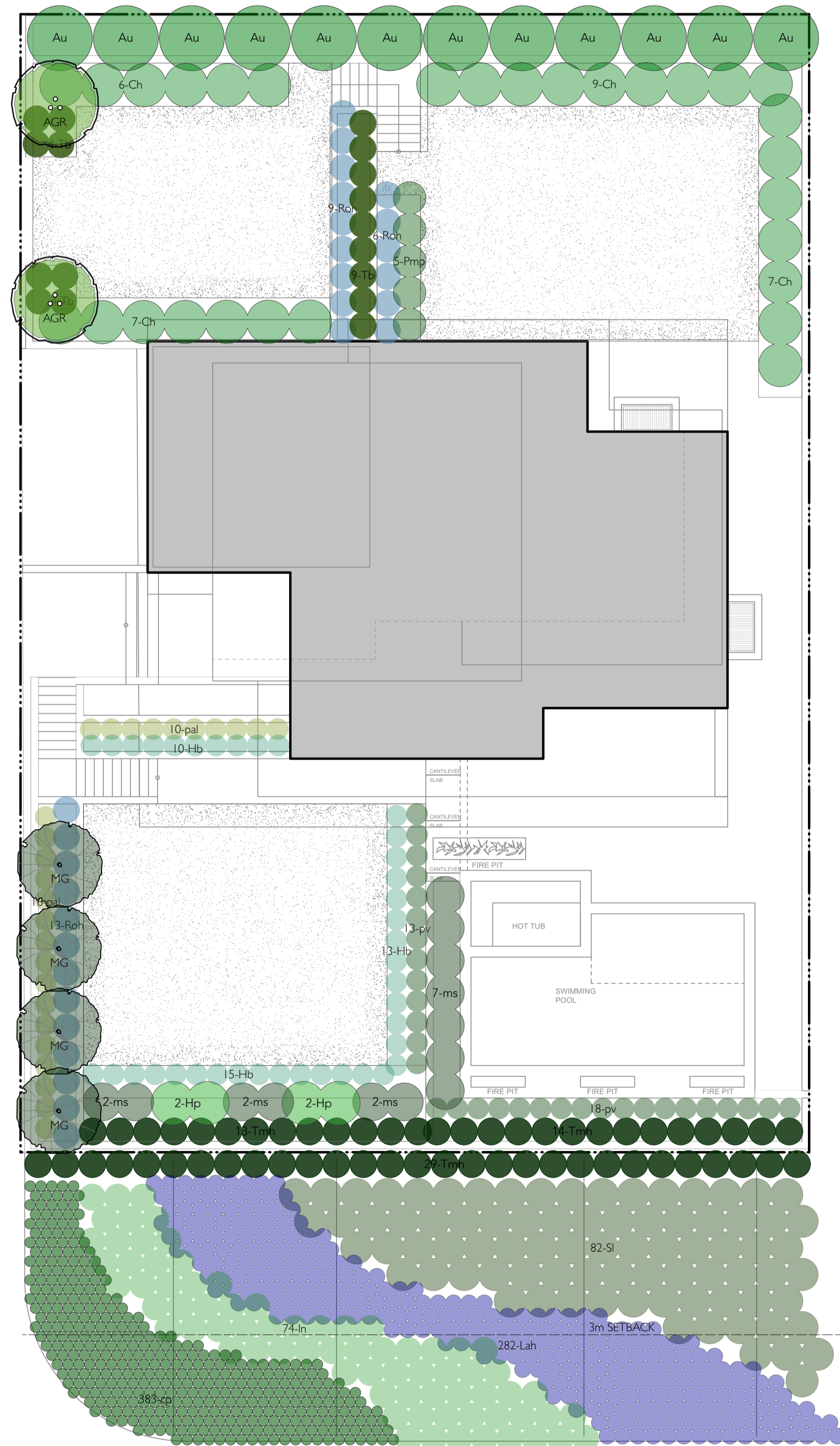
1. ALL MATERIAL & WORK TO MEET OR EXCEED THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.
2. ALL DIMENSIONS, ELEVATIONS, & GRADES ARE APPROXIMATE & ARE TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION BY CONTRACTORS. ANY DISCREPANCIES OR MISSING INFORMATION TO BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS ON THE JOB SITE. CONTRACTOR TO PROTECT THE EXISTING TREES & VEGETATION.
4. TYPICAL SUB-BASE FOR HARDSCAPE TO CONSIST OF 6" OF COMPACTED 3/4" MINUS CRUSHED ROCK ON COMPACTED SUB-GRADE (98% SPD) OR ON BED ROCK.
5. FILL MATERIAL TO BE FREE DRAINING & WITHOUT ORGANIC MATERIAL.
6. INSTALL LIGHTING & IRRIGATION SLEEVES REQUIRED BY LIGHTING PLAN & IRRIGATION PLAN. IRRIGATION/LIGHTING SLEEVES (MIN. 3" DIA) TO BE INSTALLED UNDER NEW PAVING, THROUGH WALLS BELOW GRADE FOR ALL PLANTING BEDS TO BE ACCESSIBLE.
7. ALL DIMENSIONS ARE IN FEET & INCHES. ALL PROPOSED GRADES ARE IN FEET.

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL DURING CONSTRUCTION.
2. ALL TREES & PLANT MATERIAL SUPPLIED BY CONTRACTOR TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE & DELIVERY TO SITE.
3. PLANT SIZES SHALL BE AS THE CURRENT EDITION OF CANADIAN LANDSCAPE STANDARD WHERE THE PLANT LIST SPECIFIES FOR #5 CLASS CONTAINER. PLANT SIZE SHALL BE DEFINED AS PER CNLA (ANSI) STANDARD UNLESS OTHERWISE NOTED.
4. TOP DRESS ALL PLANTING BEDS WITH 1-1/2" OF WEST CREEK FARMS AGED BLACK BARK MULCH.
5. SUB-SURFACE GRADE TO BE SLOPED TOWARDS DRAINAGE PIPE. ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING WHERE PLANTING SOIL IS AGAINST THE BUILDING FACE.
6. CONTRACTOR TO PROVIDE SOIL REPORT WITH RECOMMENDATIONS TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. RECOMMENDATIONS TO BE FOLLOWED BY CONTRACTOR.
7. ALL SOIL SHALL BE FREE OF PLASTIC & ANY OTHER FOREIGN OBJECTS.
8. PROVIDE MIN. 5 CUBIC METERS OF SOIL PER TREE. UNLESS OTHERWISE NOTED ON SOIL DEPTH/PLANTING PLAN, MINIMUM SOIL DEPTHS ARE: 12" IN LAWN, 18" IN GROUND COVER, 24" IN SHRUB AREAS.

PLANTING NOTES:

9. IRRIGATION PLAN TO BE PROVIDED FOR REVIEW & APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. ALL PLANTING AREAS TO BE FREE DRAINING. IRRIGATION TO BE PROVIDED FOR ALL ON SITE 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWINGS.
11. THE IRRIGATION SYSTEM DESIGN & INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS & GUIDELINES.
12. PLANTERS & PLANT POTS TO BE IRRIGATED WITH A HIGH EFFICIENCY IRRIGATION SYSTEM.
13. DO NOT CUT TREE LEADER. PROTECT TREES FROM DAMAGE DURING PLANTING. ENSURE ROOTBALL IS PROTECTED FROM SUN, FROST, & DESICCATION.
14. ENSURE TREE LOCATIONS DO NOT CONFLICT WITH UNDERGROUND SERVICES.
15. ENSURE TOP OF ROOTBALL IS AT OR SLIGHTLY ABOVE FINISHED GRADE. REMOVE TOP 1/3 OF THE BURLAP FROM ROOTBALL & TWINE FROM BASE OF TRUNK. REMOVE ANY SOIL ON TOP OF THE ORIGINAL ROOTBALL.



OTTAWA AVE



Magnolia grandiflora (MG)



Acer griseum (AGR)

TREE SCHEDULE				
ID	QTY	BOTANICAL NAME	COMMON NAME	COMMENTS
TREES				
AGR	2	<i>Acer griseum</i>	paperbark maple	4" cal B&B. PECIMEN TREE.
MG	4	<i>Magnolia grandiflora</i>	Southern magnolia	4" CAL. 5' STD. B&B. SPECIMEN TREE.
Total	6			

PLANT SCHEDULE					
ID	QTY	BOTANICAL NAME	COMMON NAME	GRADE	COMMENTS
SHRUBS					
Au	12	<i>Arbutus unedo 'Compacta'</i>	compact strawberry bush	#10 pot	@ 5'-0" OC. Bird-friendly
Ch	29	<i>Choisya ternata</i>	Mexican orange blossom	#5 pot	@ 4" OC
Roh	28	<i>Rosmarinus officinalis 'Huntington Carpet'</i>	huntington carpet rosemary	#2 pot	@ 3'-0" OC, trailing rosemary
Tmh	56	<i>Taxus x media 'Hicksii'</i>	Hicks yew	2ft wide	FULL, THICK, 6'-0" TALL, @ 2'-6" OC
Hp	4	<i>Hydrangea paniculata 'Limelight'</i>	Limelight hydrangea	#5 pot	@ 4'-0" OC
Hb	38	<i>Hebe pinguifolia 'Sutherlandii'</i>	Sutherland hebe	#1 pot	@ 2'-0" OC
Sl	62	<i>Salix purpurea 'Nana'</i>	dwarf arctic willow	#3 pot	@ 2'-6" OC
Pmp	5	<i>Pinus mugo var. pumilio</i>	dwarf mugo pine	#5 pot	@ 2'-6" OC
Tb	17	<i>Taxus baccata 'Repandens'</i>	Repandens English yew	#2 pot	@ 2'-6" OC
PERENNIALS, FERNS, AND GRASSES					
cp	383	<i>Carex pensylvanica</i>	Pensylvania sedge	#1 pot	@ 1'-0" OC
Lah	282	<i>Lavandula angustifolia 'Hidcote'</i>	French lavender	#1 pot	@ 1'-6" OC
ms	13	<i>Miscanthus sinensis 'Silberfeder'</i>	Chinese silver grass	#3 pot	@ 4'-0" OC
pv	31	<i>Panicum virgatum 'Northwind'</i>	Northwind switch grass	#2 pot	@ 2'-0" OC
pal	26	<i>Pennisetum alopecuroides</i>	fountain grass	#1 pot	@ 2'-0" OC
GROUNDCOVERS					
In	74	<i>Lonicera nitida</i>	box honeysuckle	#2 pot	@ 2'-6" OC
Total	1080				

OTTAWA Subdivision

TREES & PLANTS IMAGES

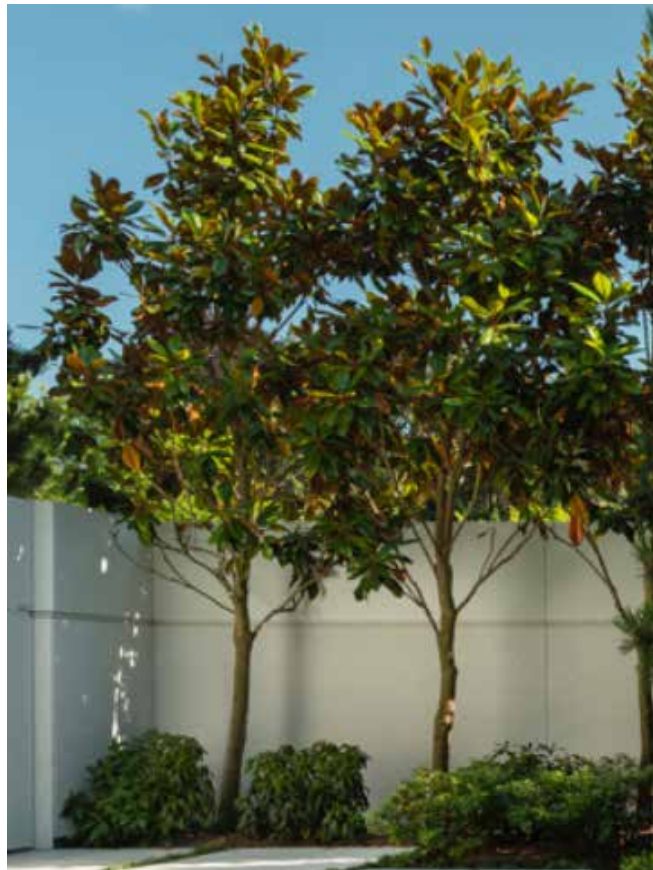
JANUARY 2024



LIFESTYLES DESIGNED LANDSCAPE ARCHITECTURE



Acer griseum (AGR)



Magnolia grandiflora (MG)





Pennisetum alopecuroides (pal)



Salix purpurea (Sl)



Pinus mugo (Pmp)



Rosmarinus 'Huntington Carpet' (Roh)



Lavandula 'Hidcote' (Lah)



Panicum virgatum Northwind (pv)



Taxus baccata 'Repandens' (Tb)



Arbutus unedo (Au)



Hydrangea paniculata 'Limelight' (Hp)



Miscanthus sinensis 'Silberfeder' (ms)



Choisya ternata (Ch)



Hebe 'Sutherlandii' (Hb)



Lonicera nitida (Ln)



Carex pensylvanica (cp)



Taxus x media 'Hicksii' (Tmh)



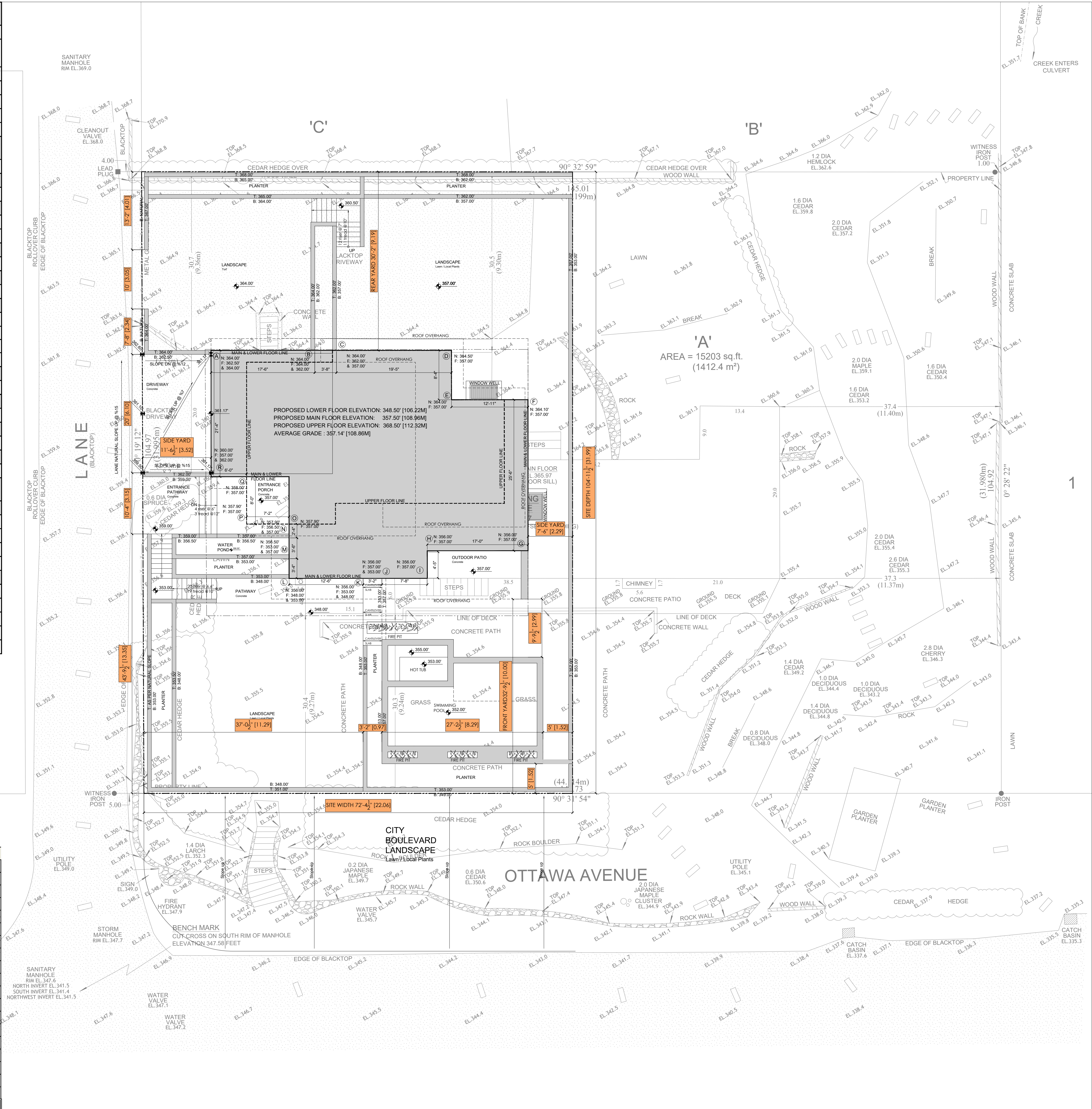
morez@morezdesign.ca
www.morezdesign.ca
C: 604-727-2664
T: 778-319-6489

EXISTING PROPERTY INFORMATION	
Address :	1337 Ottawa Ave., West Vancouver, BC
Legal Description	PLAN 15681 DISTRICT LOT 1083 WEST 1/2 OF NORTH EAST 1/4 LOT A
LTOPID	004-317-556
Lot Depth:	104.92' [31.980m]
Lot Width:	144.73' [44.114m]
Lot Area:	15,203 SQ.FT. [1,412.4 SQ.M]
Zone:	RS3

PROPOSED PROPERTY ZONING DATA		
	RS-3 Zoning	Proposed
SITE AREA	957 SQ.M.	707.53 SQ.M.
SITE WIDTH & DEPTH		
Width	18.30 M	22.06 M
Depth	91.50 M	31.98 M
SITE COVERAGE	266 SQ.M.	195 SQ.M.
FLOOR AREA RATIO	212.26 Sq.M. (30%)	211.68 Sq.M. (29.9%)
SETBACKS		
Front Yard	9.1 M (29' 10")	10 M (32' 9.5")
Rear Yard	9.1 M (29' 10")	9.19 M (30' 2")
Min. Side Yard	2.2 M (7' 3")	2.29 M (7' 6")
Combined Side Yards	5.51 M (18' 1")	5.81 M (19' 0")
BUILDING HEIGHT	7.62 M (25' 0")	7.62 M (25' 0")
NUMBER OF STOREYS	2 Plus Basement	2 Plus Basement
HIGHEST BUILDING FACE	6.7 M (22' 0")	6.7 M (22' 0")
BASEMENT FSR CALCULATION		Fully Exempted

PROPOSED PROPERTY INFORMATION		
GRADES & ELEVATIONS		
AVERAGE GRADE	108.86 M	357.14 Ft.
LOWER FLOOR ELEVATION	106.22 M	348.50 Ft.
MAIN FLOOR ELEVATION	108.96 M	357.50 Ft.
UPPER FLOOR ELEVATION	112.32 M	368.50 Ft.
AREA CALCULATION		
LOWER FLOOR	152.99 Sq.M.	1,646.75 Sq.Ft.
MAIN FLOOR	112 Sq.M.	1,205.75 Sq.Ft.
UPPER FLOOR	99.68 Sq.M.	1,073 Sq.Ft.
GARAGE	40.97 Sq.M.	441 Sq.Ft.
Total Gross Area	405.64 Sq.M.	4,366.27 Sq.Ft.

MAIN BUILDING GRADE CALCULATION					
AB	(	364.00 +	364.00)	/2=	364.00 x 17.33 = 6308.12
BC	(	362.00 +	362.00)	/2=	362.00 x 3.50 = 1267.00
CD	(	357.00 +	357.00)	/2=	357.00 x 19.58 = 6990.06
DE	(	357.00 +	357.00)	/2=	357.00 x 8.33 = 2973.81
EF	(	357.00 +	357.00)	/2=	357.00 x 12.92 = 4612.44
FG	(	357.00 +	356.00)	/2=	356.50 x 25.50 = 9090.75
GH	(	356.00 +	356.00)	/2=	356.00 x 17.00 = 6052.00
HI	(	356.00 +	356.00)	/2=	356.00 x 4.42 = 1573.52
IJ	(	356.00 +	356.00)	/2=	356.00 x 7.66 = 2726.96
JK	(	353.00 +	353.00)	/2=	353.00 x 3.20 = 1129.60
KL	(	347.00 +	348.00)	/2=	347.50 x 12.50 = 4343.75
LM	(	353.00 +	353.00)	/2=	353.00 x 3.33 = 1175.49
MN	(	357.00 +	356.50)	/2=	356.75 x 3.50 = 1248.63
NO	(	357.00 +	357.00)	/2=	357.00 x 2.33 = 831.81
OP	(	357.00 +	357.00)	/2=	357.00 x 7.20 = 2570.40
PQ	(	357.00 +	357.00)	/2=	357.00 x 8.00 = 2856.00
QR	(	357.00 +	357.00)	/2=	357.00 x 6.00 = 2142.00
RA	(	360.00 +	361.00)	/2=	360.50 x 21.33 = 7689.47
					183.63
					65581.80
					AVERAGE GRADE ELEVATION 357.14



NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(WEST LOT)

CIVIC ADDRESS :
1337 OTTAWA AVE.
WEST VANCOUVER , BC

LEGAL DESCRIPTION :
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID :
004-317-556

TITLE :
SITE PLAN

CLIENT:
RAMIN BAGHERI

NORTH ARROW

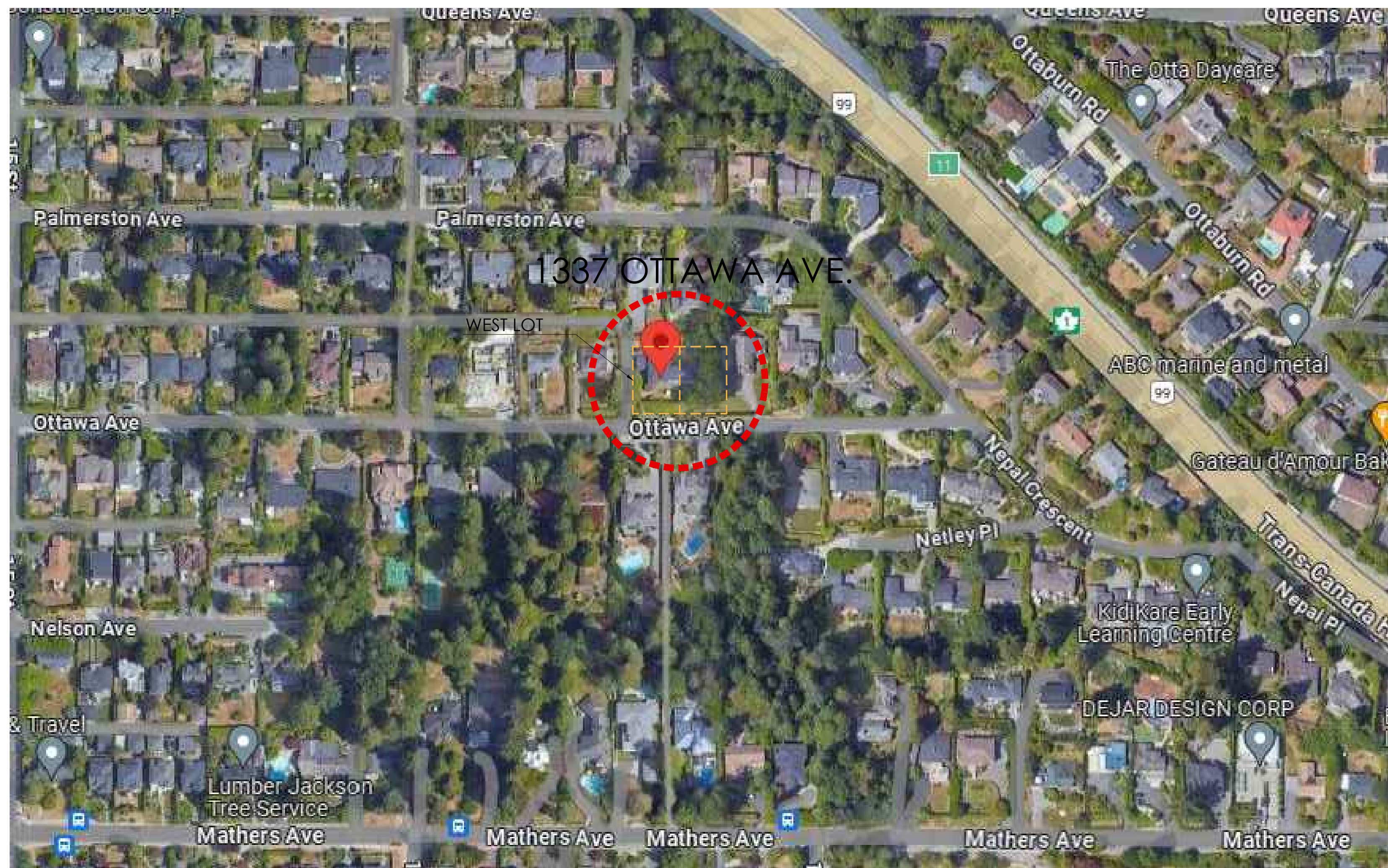
CAD FILE:

DESIGN BY :
MOREZ DESIGN INC

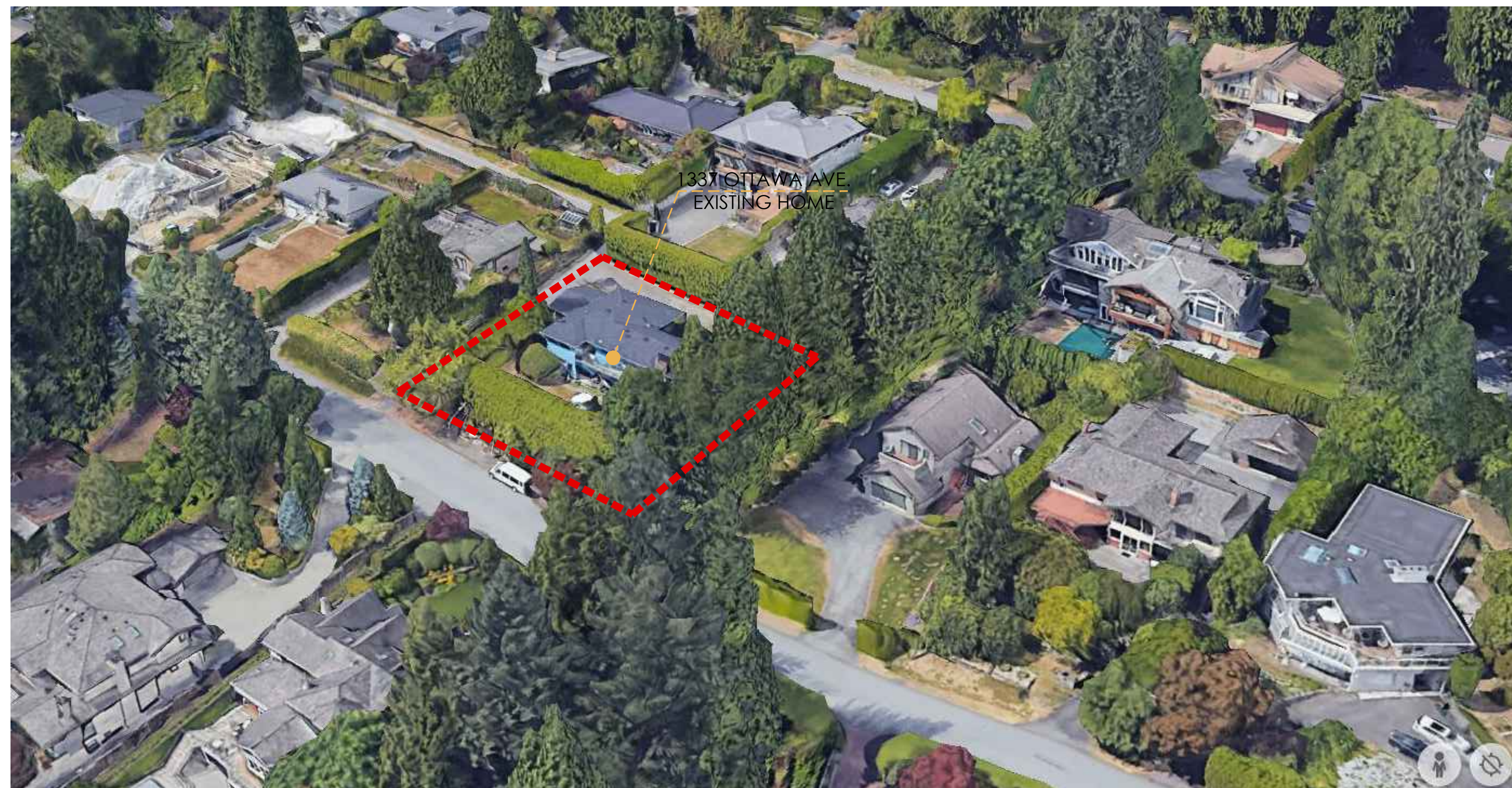
DATE:
FEBRUARY 19th 2024

REV- 01 :
REV- 02 :

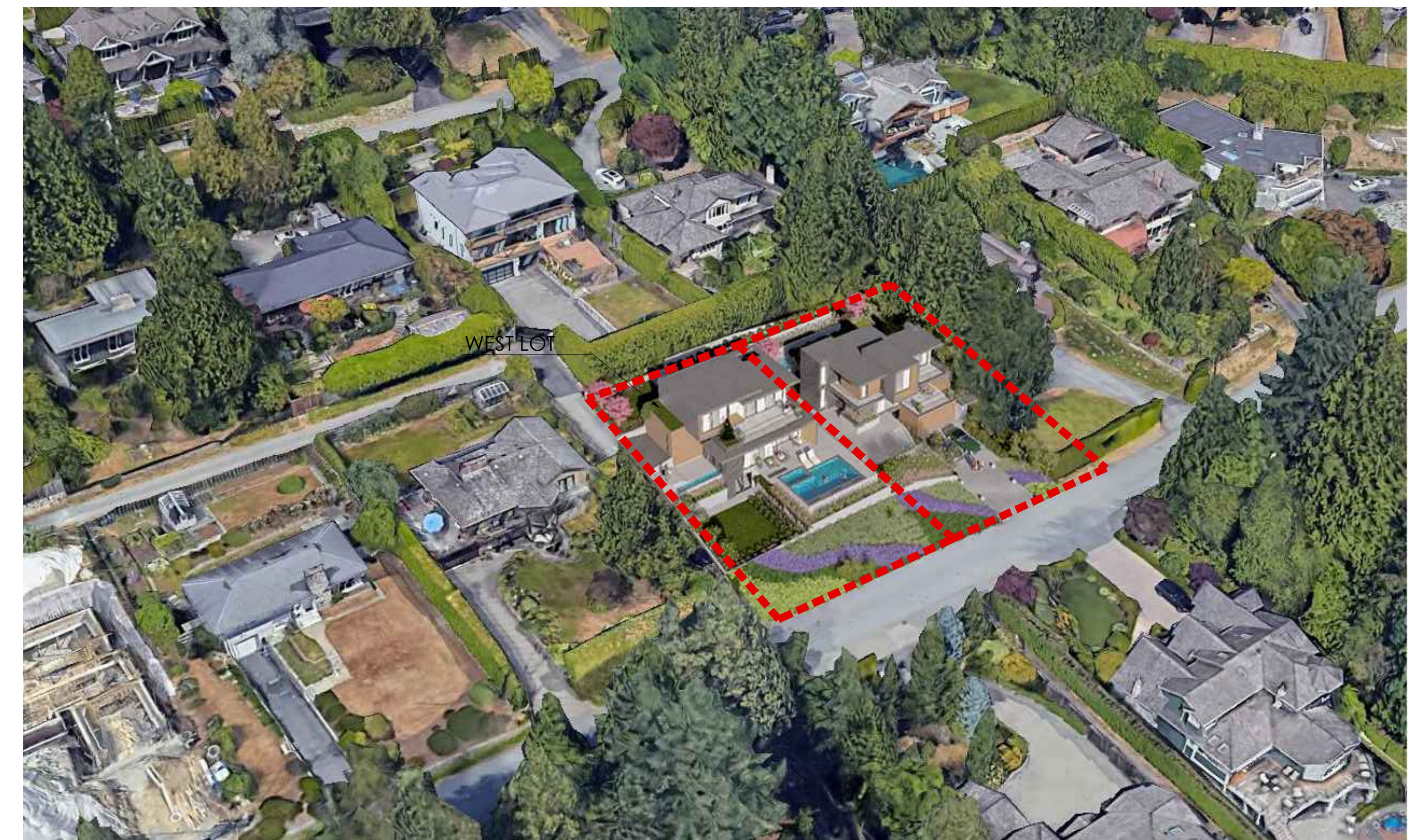
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DWG NO. A-1.1



1337 OTTAWA AVE. - PROPOSED TWO SINGLE FAMILY HOME
BIRD EYE VIEW

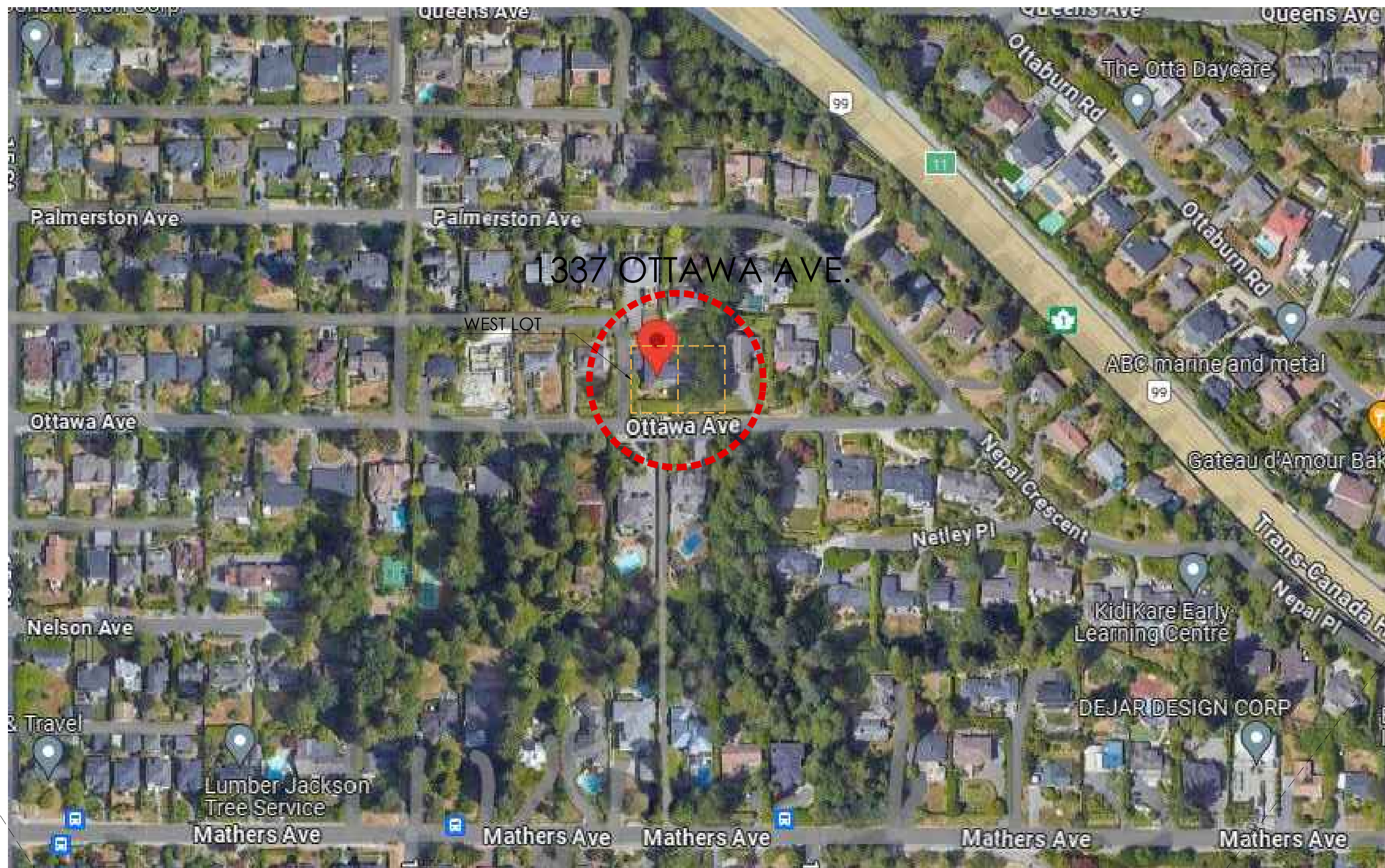


1337 OTTAWA AVE. - EXISTING HOME



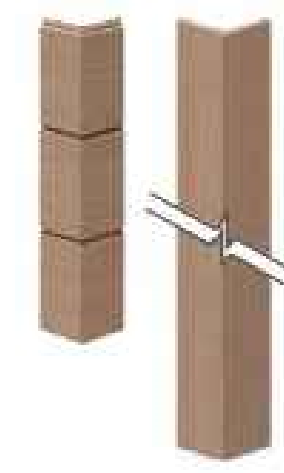
1337 OTTAWA AVE. - PROPOSED TWO SINGLE FAMILY HOME

1337 OTTAWA AVE. LOCATION & CONTEXT MAP



1337 OTTAWA AVE.
LOCATION & CONTEXT MAP

MATERIALS & SPECIFICATIONS



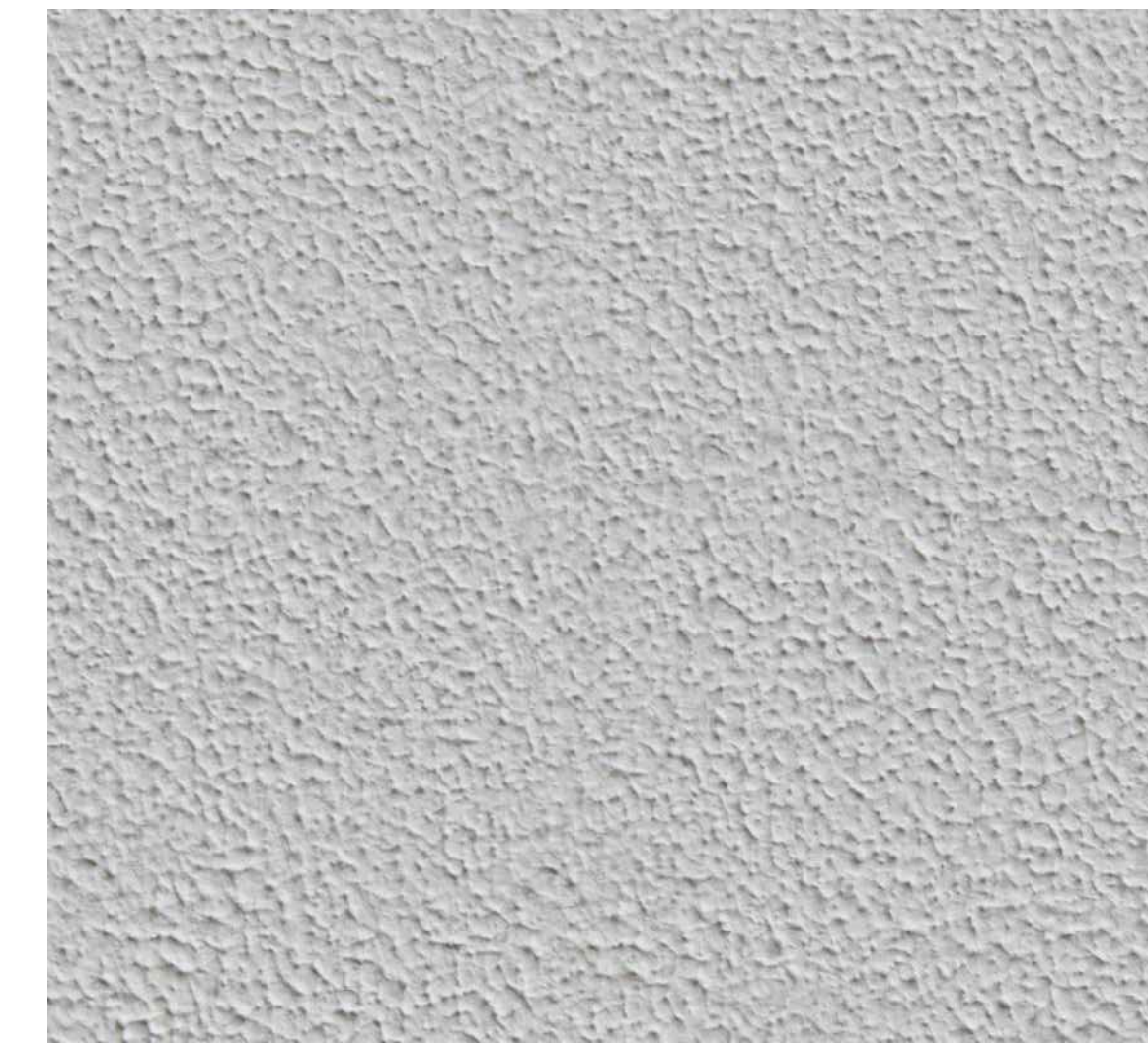
BASIC SPECIFICATIONS	
Panel Type	Extruded
Application Method	Vertical or Horizontal
Coating Options	Triple Coated (4 colors)
Dimensions	W: 18" (455 mm) L: 10' (3050 mm) T: 5/8" (16 mm)
Coverage	35 sq. ft. (3.24 m ²)
Weight	49 lb. (22 kg)
The Triple Coating is super weather resistant, low maintenance, and backed by a 20-year limited warranty.	
Please visit our website for additional CERACLAD product information including:	
<ul style="list-style-type: none"> Product samples Custom color samples Specifications CAD details Product performance and approval documents MSDS 	



- The product color shown on this sheet may appear slightly different from the actual products. Final color selection should be made from product samples.
- Colors and textures can change over time.
- Damage caused by any product installation, repair, or replacement that is not in accordance with KMEW's technical manual, or with any damage caused by product installation or inappropriate handling, is specifically excluded from warranty coverage. Please review KMEW's technical manual and website for this product.

1- FIBER CEMENT BOARD (WOOD TEXTURE)
Cappuccino

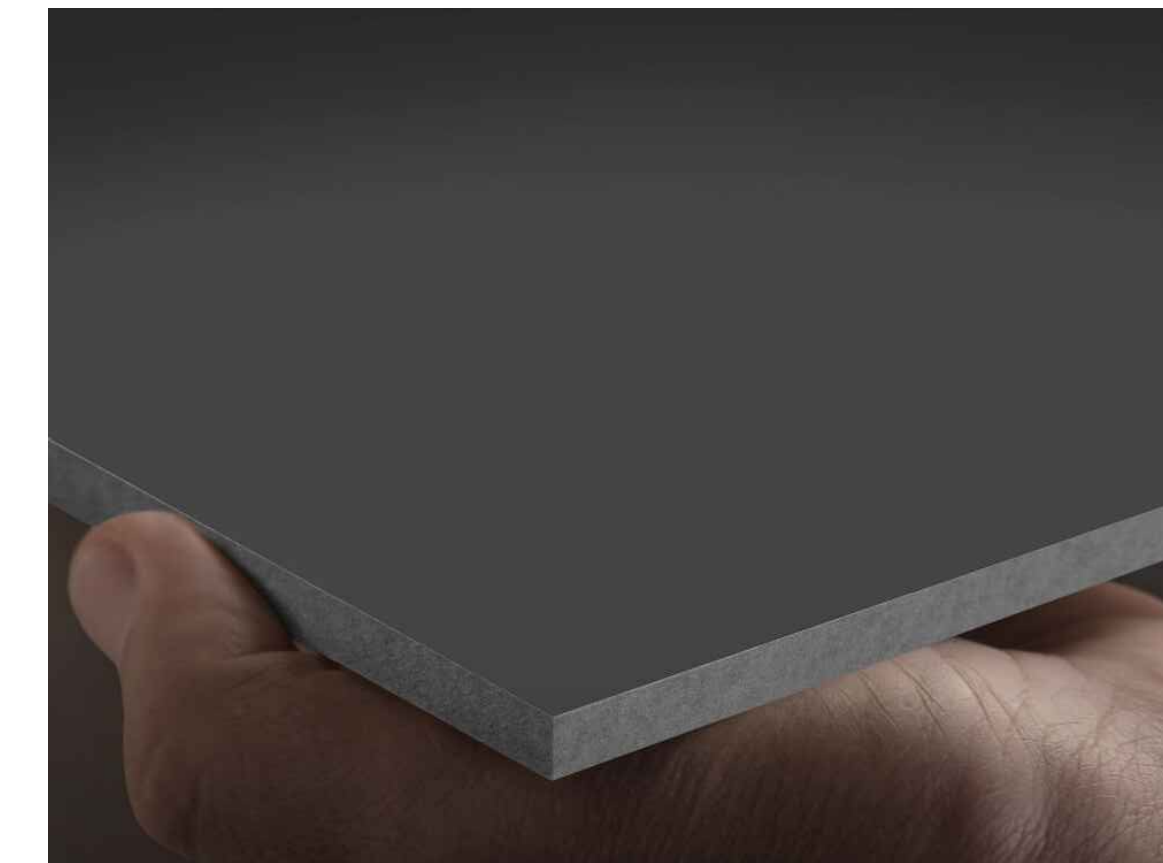
<p>Quality raw materials Materie prime di qualità / Materia prima de calitate / Qualitäts hochwertiger Rohstoffe / Высококачественные сырье</p>	<p>Versatile for any project Versatile per qualsiasi progetto / Polyvalentes für fast jeden Einsatzfall / Versatile für jeden Projekt / Универсальные для любого проекта</p>
<p>Non-absorbent Non-assorbente / Non absorbant / Не абсорбирует / Водонепроницаемая</p>	<p>Frost-resistant Resistente al gelo / Résistantes au gel / Resistente a las heladas / Frostbeständig / Морозостойкая</p>
<p>Heat-resistant Resistente al calor / Résistantes à la chaleur / Resistente al calor / Hitzebeständig / Жароустойчивая</p>	<p>No colour alteration Nessuna alterazione cromatica / Aucune altération chromatique / No se altera el color / Farbbeständig / Устойчивая окраска</p>
<p>Easy workability Facile lavorabilità / Facile a travailler / Fácil de trabajar / Einfach zu verarbeiten / Легкая обработка</p>	<p>Resistant to heavy loads Resistente a carichi elevati / Résistantes aux charges élevées / Resistente a cargas elevadas / Beständig gegen hohe Belastungen / Устойчивость к высоким нагрузкам</p>
<p>Easy to clean Facile da pulire / Facile a nettoyer / Fácil de limpiar / Reinigungsbereit / Простая очистка</p>	<p>Hygienic surface Superficie igienica / Surface hygiénique / Superficie higiénica / Hygienische Oberfläche / Тщательная чистота</p>
<p>Scratch and abrasion resistant Resistente a graffi e alle abrasioni / Résistantes aux égratignures et aux abrasions / Resistente a los rasguños y a la abrasión / Kratz- und abriebfest / Устойчивая к царапинам и истиранию</p>	<p>Resistant to liquids and acids Resistente ai liquidi e agli acidi / Résistantes aux liquides et aux acides / Resistente a los líquidos y ácidos / Resistend gegen Flüssigkeiten und Säuren / Устойчивость к жидкостям и кислотам</p>
<p>Non-toxic and microparticle-free slabs Lamine innocue e senza inclusioni di microparticelle / Plaque non toxique et sans inclusion de micro-particules / Placa no tóxica y sin inclusion de micropartículas / Ungefährge Platten, die keine Mikropartikel abgeben / Не токсичные плиты, не выделяющие микропыль</p>	<p>Surface suitable for food contact Superficie idonea al contatto con alimenti / Surface adaptée au contact des aliments / Superficie apta para el contacto con alimentos / Oberfläche für den Kontakt mit Lebensmitteln geeignet / Подходящая для контакта с пищевыми продуктами</p>



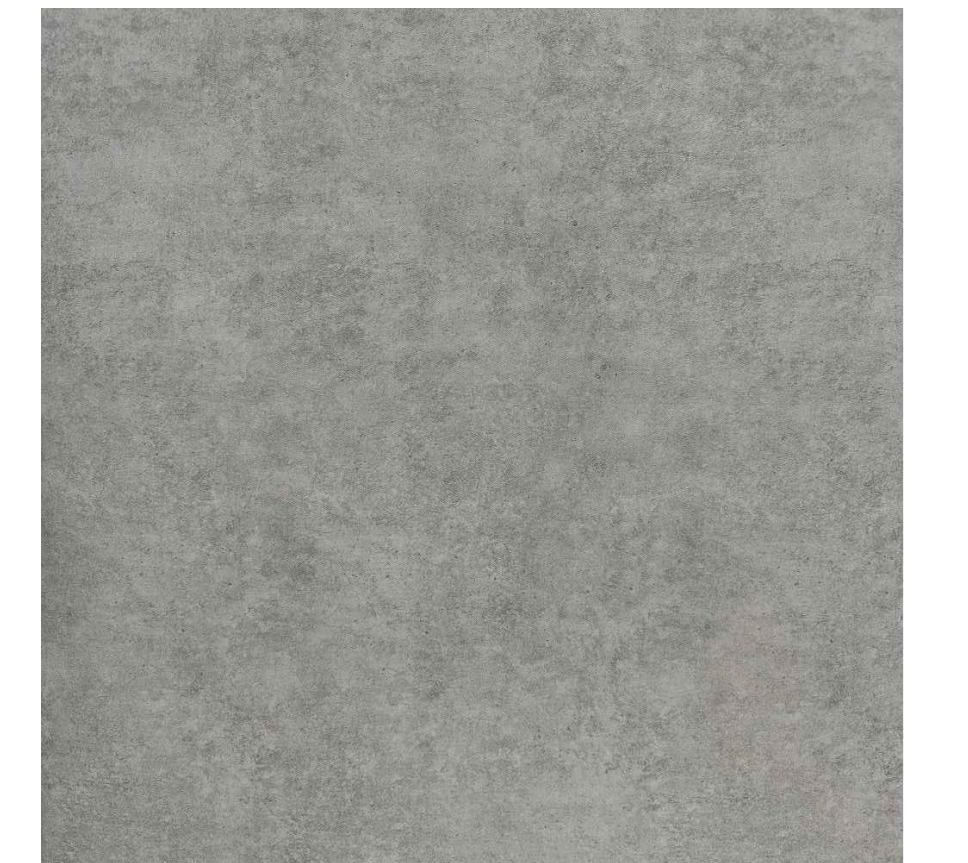
3-STUCCO - SMOOTH
Off White



5-WOODEN SOFFIT
Natural



4-FIBER CEMENT FASCIA/CLADDING
CHARCOAL GRAY



6-BRUSHED CONCRETE
Light Gray



2-PORCELAIN CLADDING
Pietra Grey

MATERIAL SUSTAINABILITY DATASHEET EQUITONE [pictura]
This document provides an overview of the most important environmental performance data of EQUITONE [pictura]. It is assessed and updated periodically to ensure accuracy and transparency.



ENVIRONMENTAL PERFORMANCE
The environmental performance assessment of our materials is based on international standards (ISO 14025) and verified by external experts. For more detailed information, see the full Environmental Product Declaration.

DURABILITY EQUITONE [pictura]
With an expected lifetime of 50 years or more, EQUITONE panels offer excellent durability. They are designed for durability with reinforced bonding systems, allowing reuse in facade cladding or other applications.

3D VISUALIZATION



SOUTH ELEVATION



SOUTH - EAST ELEVATION



NORTH - EAST ELEVATION



SOUTH - WEST ELEVATION



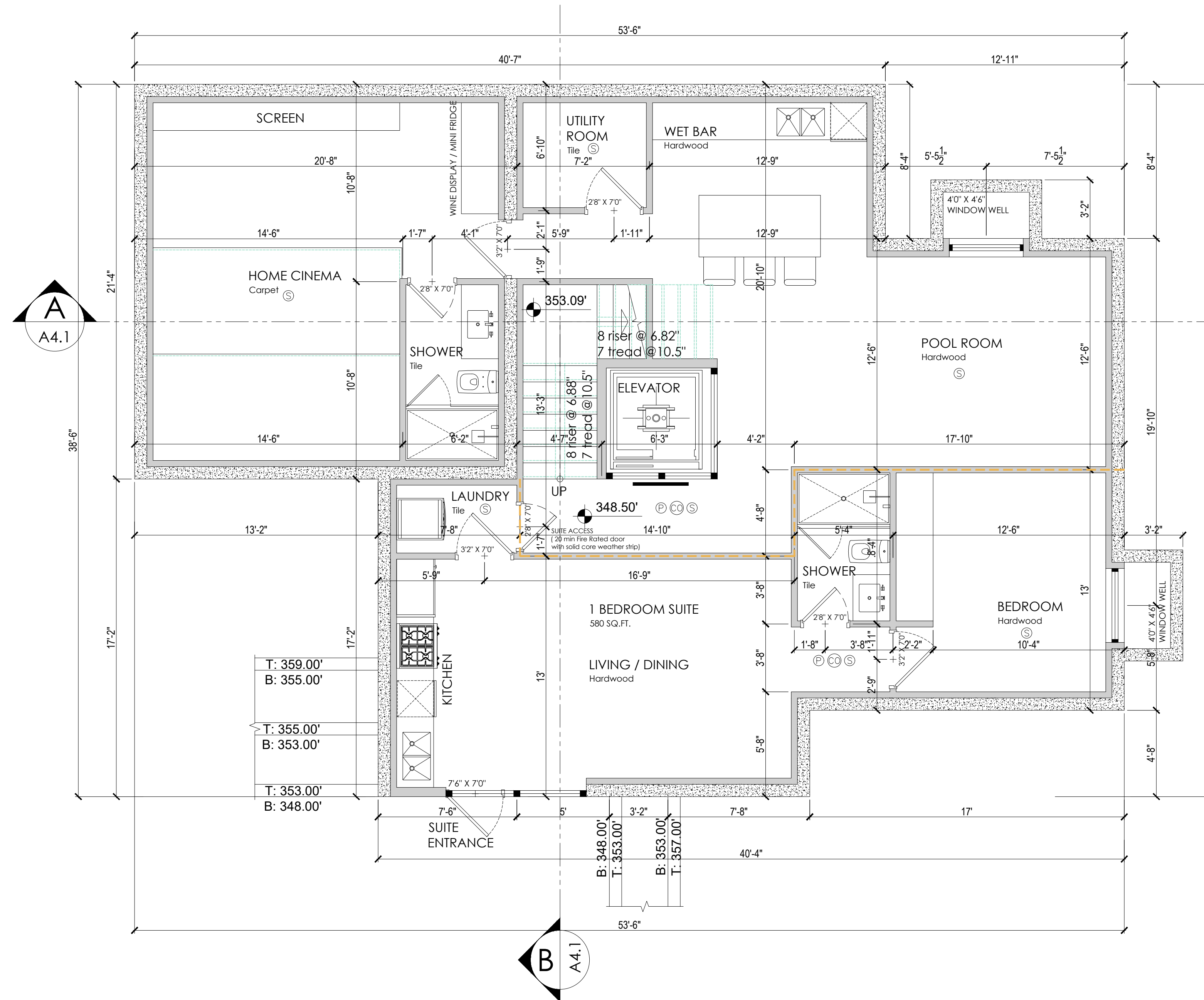
330 - 638 Broughton St.
Vancouver, BC, V7G 3K3
morez@morezdesign.ca
www.morezdesign.ca
C: 604 - 727 2664
T: 778 - 319 6489

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

- ⊙ SMOKE DETECTOR
- ⊙ CO DETECTOR
- ☒ EXHAUST FAN ABOVE
- S.G. : SAFETY GLASS WINDOW
- E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



LOWER FLOOR PLAN

1,647 S.F. Including 580 sqft suite



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www.morezdesign.ca
C: 604-727-2664
T: 778-319-6489

NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(WEST LOT)

CIVIC ADDRESS:
1337 OTTAWA AVE.
WEST VANCOUVER, BC

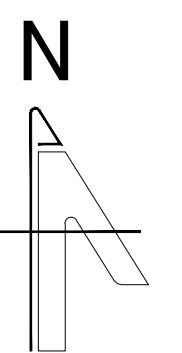
LEGAL DESCRIPTION:
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:
004-317-556

TITLE:
LOWER FLOOR PLAN

CLIENT:
RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY:

MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01 :
REV- 02 :

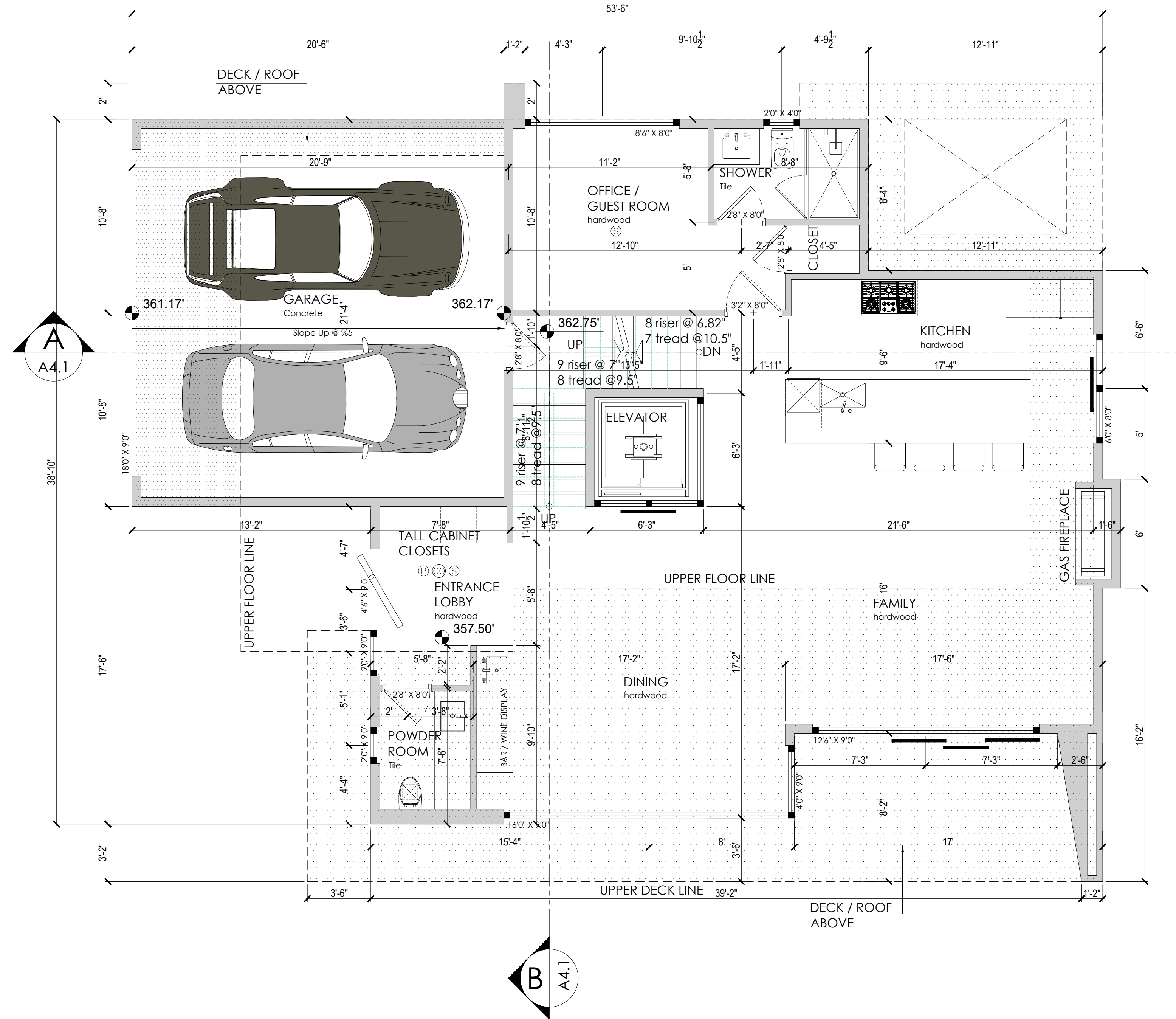
SCALE: 1/4" = 1'-0" DWG NO. A - 1.2

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

- ⊙ SMOKE DETECTOR
- ⊙ CO DETECTOR
- ☒ EXHAUST FAN ABOVE
- S.G. : SAFETY GLASS WINDOW
- E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



MAIN FLOOR PLAN

1,647 S.F. (441 S.F. Garage Included)



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 www.morezdesign.ca
 C: 604-727-2664
 T: 778-319-6489

NOTES:

PROJECT:
 PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (WEST LOT)

CIVIC ADDRESS:
 1337 OTTAWA AVE.
 WEST VANCOUVER, BC

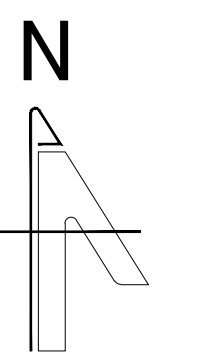
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 PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID:
 004-317-556

TITLE:
 MAIN FLOOR PLAN

CLIENT:
 RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY:

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01:

REV- 02:

SCALE:
 1/4" = 1'-0"

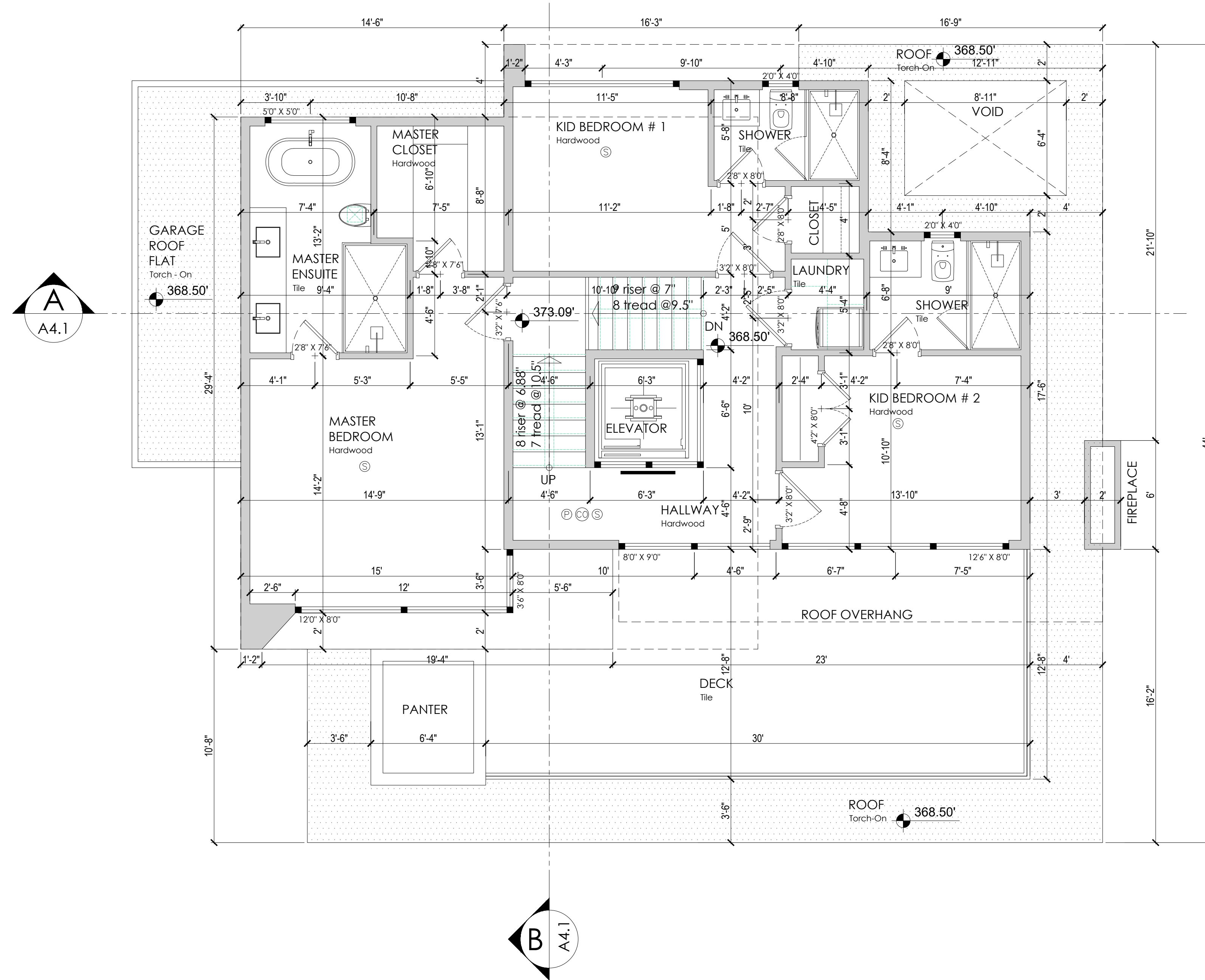
DWG NO.
 A - 1.3

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

- ⊙ SMOKE DETECTOR
- ⊙ CO DETECTOR
- ☒ EXHAUST FAN ABOVE
- S.G. : SAFETY GLASS WINDOW
- E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



UPPER FLOOR PLAN

1,073 S.F.



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NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(WEST LOT)

CIVIC ADDRESS :
1337 OTTAWA AVE.
WEST VANCOUVER , BC

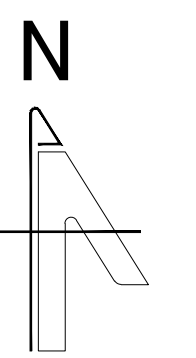
LEGAL DESCRIPTION :
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID :
004-317-556

TITLE :
UPPER FLOOR PLAN

CLIENT:
RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY :

MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01 :
REV- 02 :

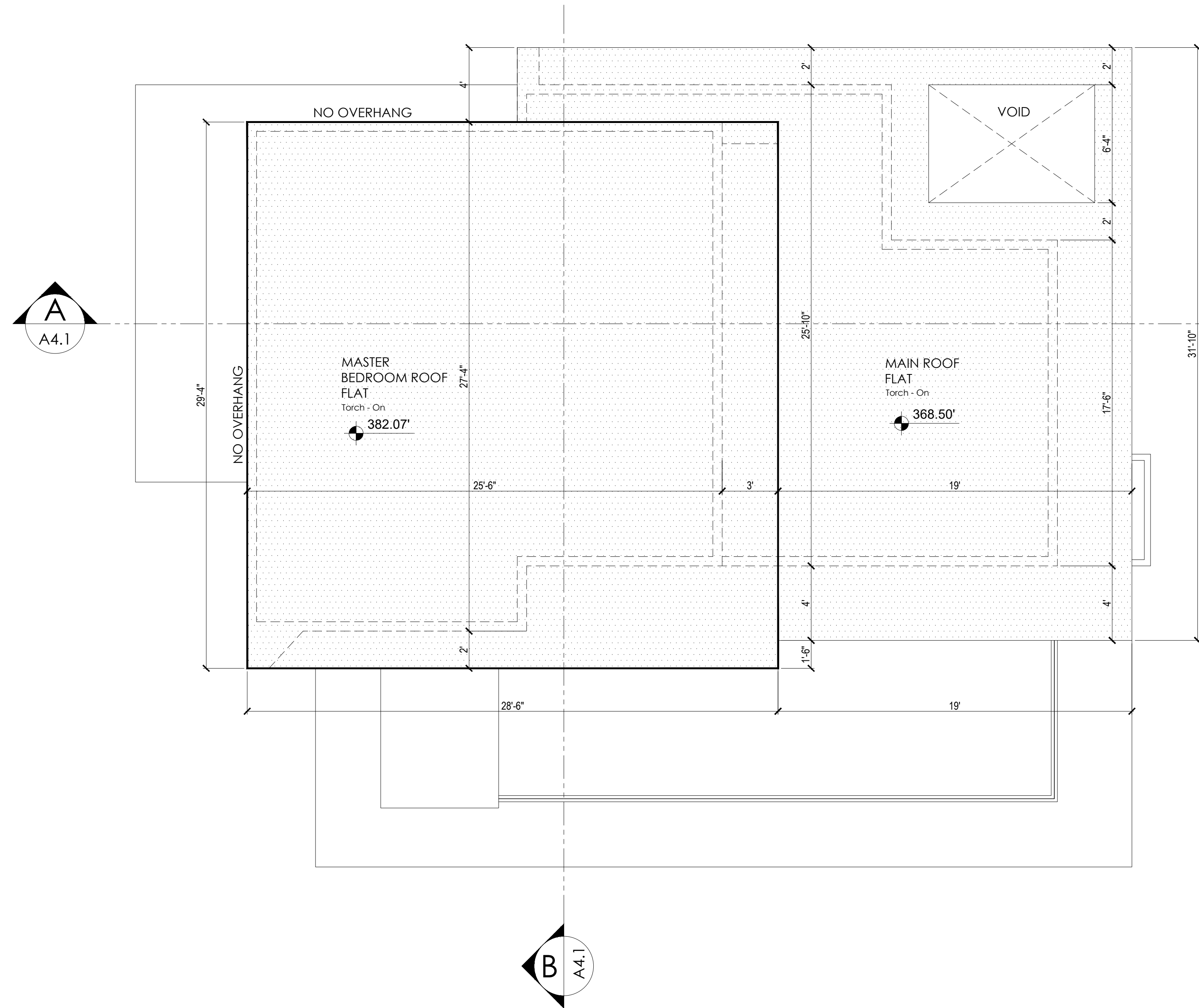
SCALE: 1/4" = 1'-0" DWG NO. A - 1.4

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

- ⊙ SMOKE DETECTOR
- ⊙ CO DETECTOR
- ☒ EXHAUST FAN ABOVE
- S.G. : SAFETY GLASS WINDOW
- E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



UPPER FLOOR PLAN

1,073 S.F.



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 C: 604-727-2664
 T: 778-319-6489

NOTES:

PROJECT:

PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (WEST LOT)

CIVIC ADDRESS :

1337 OTTAWA AVE.
 WEST VANCOUVER , BC

LEGAL DESCRIPTION :

PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID :

004-317-556

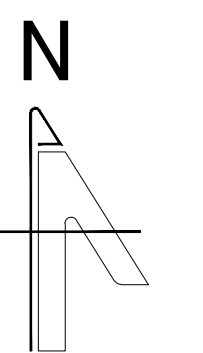
TITLE :

ROOF FLOOR PLAN

CLIENT:

RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY :

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01 :

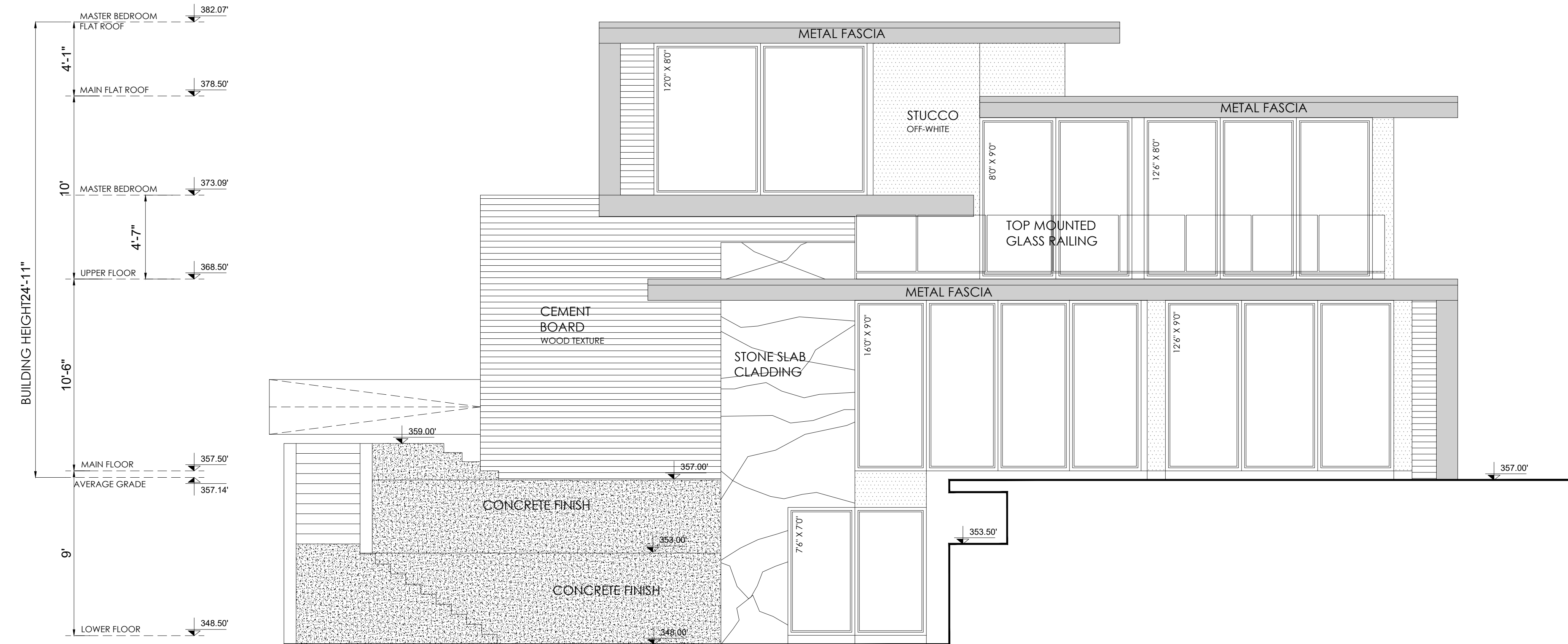
REV- 02 :

SCALE:

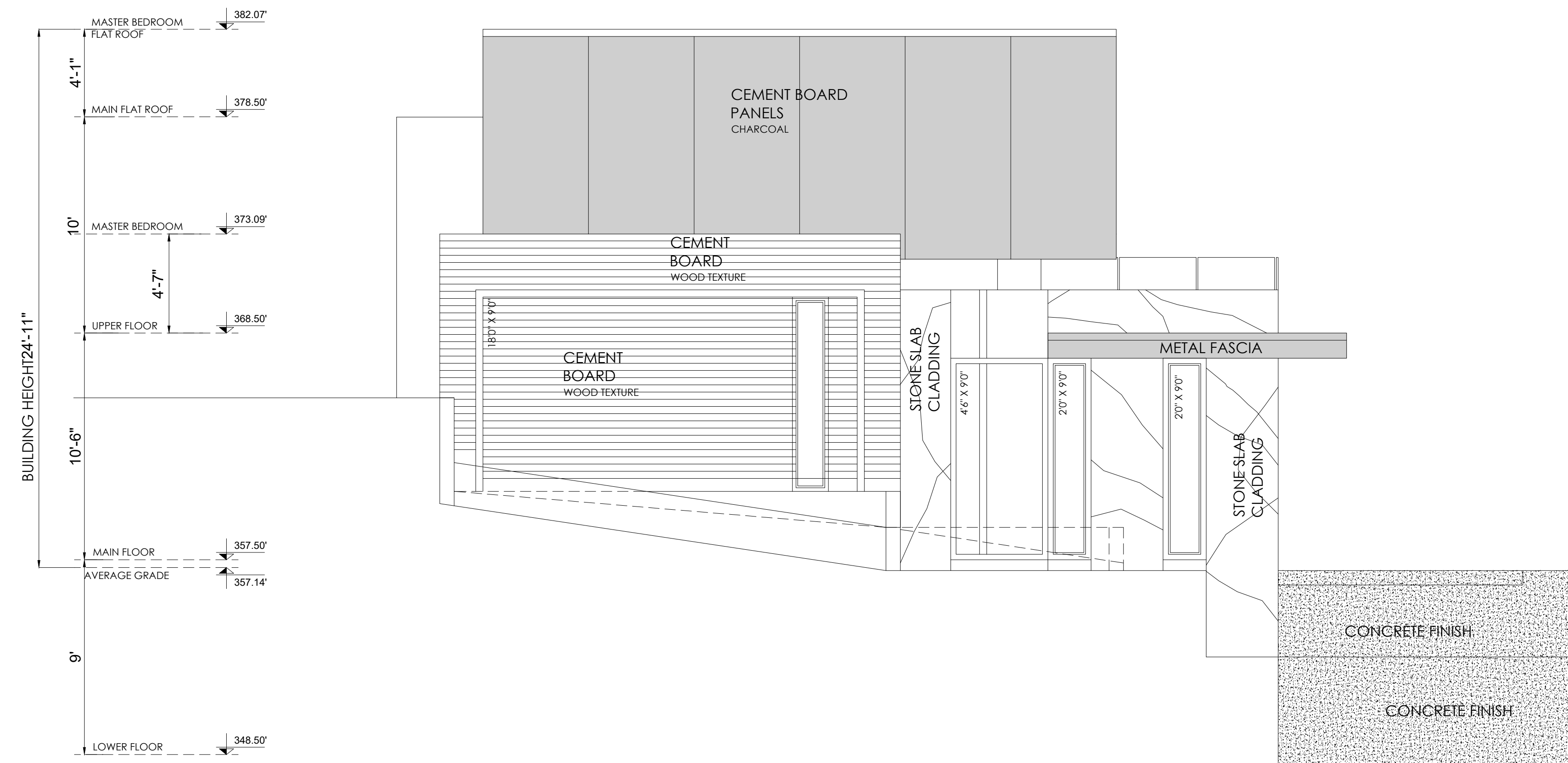
1/4" = 1'-0"

DWG NO.

A - 1.5



SOUTH ELEVATION



WEST ELEVATION

Maximum Area of Glazed Openings in Exterior Walls of Houses
 Table 9.10.15.4., B.C.B.C. 2018
 West Elevation

TOTAL AREA OF EXPOSING BUILDING FACE	LIMITING DISTANCE TO MIDDLE OF LANE	MAXIMUM ALLOWABLE UNPROTECTED OPENING % OF EXPOSING BUILDING FACE AREA	PROPOSED UNPROTECTED OPENING
550 SQ.FT. OR 51 SQ.M.	27.50 FT. OR 8.38 M.	99 % = 544 SQ.FT.	80 SQ.FT.

NOTES:

PROJECT:
 PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (WEST LOT)

CIVIC ADDRESS:
 1337 OTTAWA AVE.
 WEST VANCOUVER, BC

LEGAL DESCRIPTION:
 PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID:
 004-317-556

TITLE:
 ELEVATIONS

CLIENT:
 RAMIN BAGHERI

NORTH ARROW

CAD FILE:

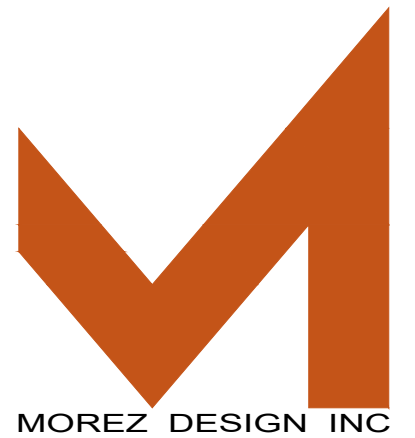
DESIGN BY:
 MOREZ DESIGN INC

DATE:
 FEBRUARY 19th 2024

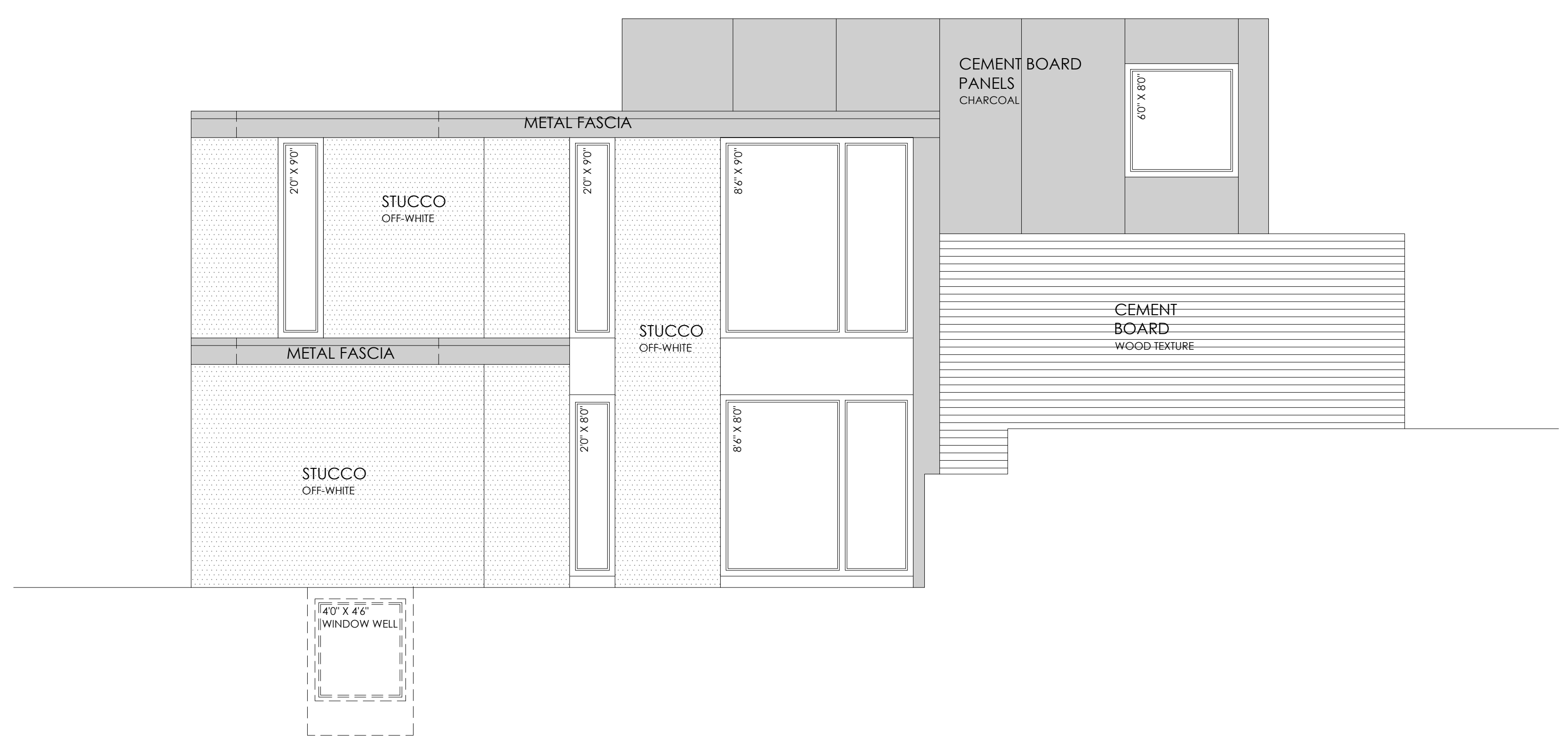
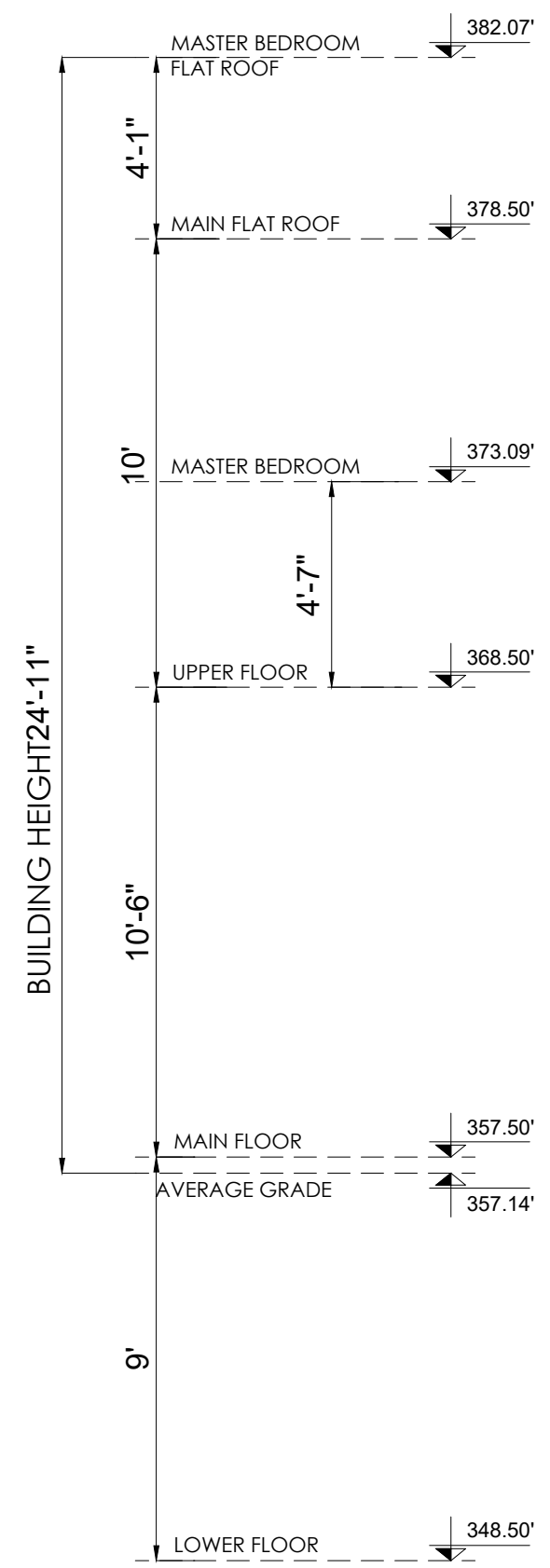
REV- 01:
 REV- 02:

SCALE:
 1/4" = 1'-0"

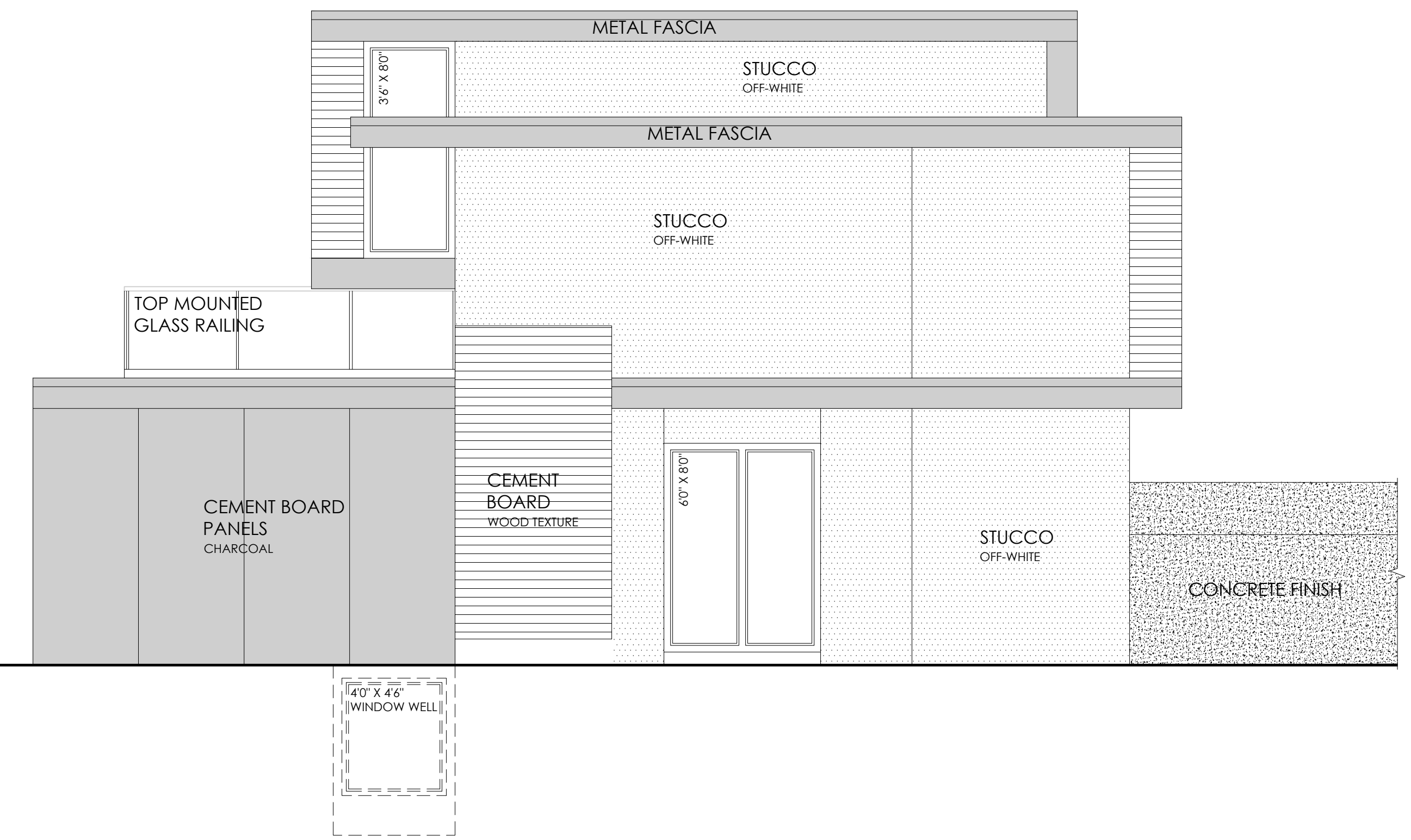
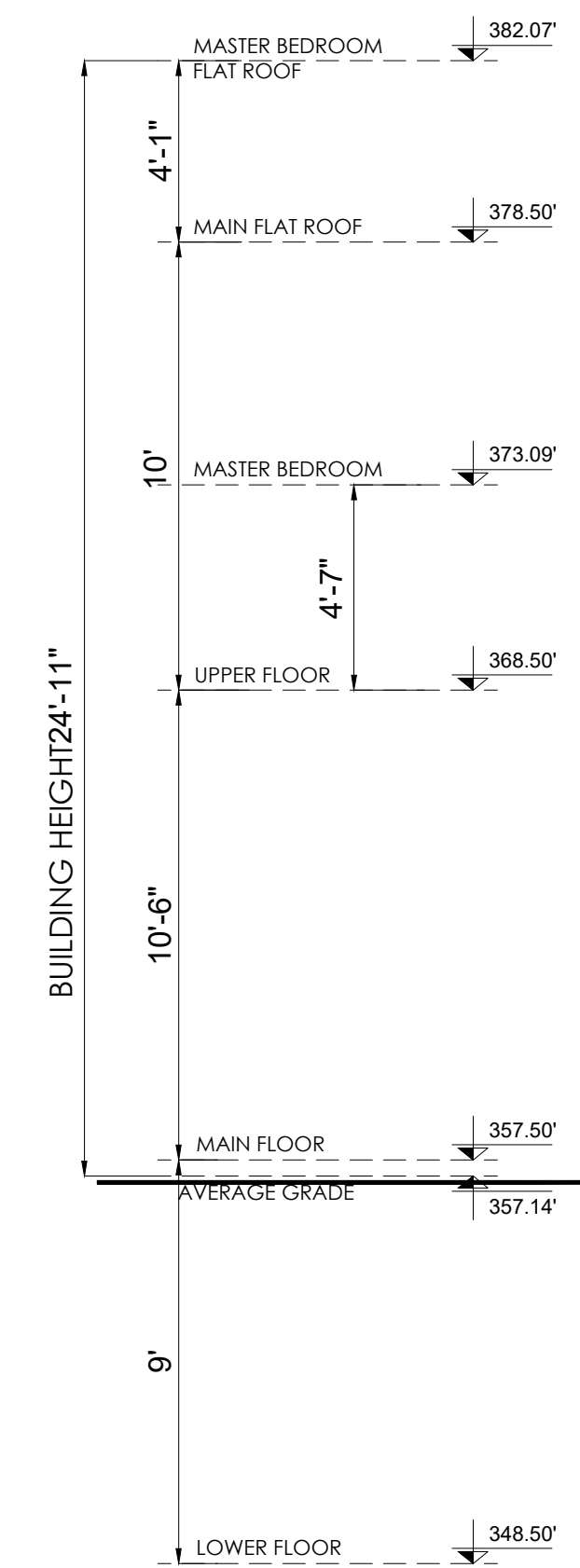
DWG NO.
 A - 2.1



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NORTH ELEVATION



EAST ELEVATION

Maximum Area of Glazed Openings in Exterior Walls of Houses
 Table 9.10.15.4., B.C.B.C. 2018
 East Elevation

TOTAL AREA OF EXPOSING BUILDING FACE	LIMITING DISTANCE	MAXIMUM ALLOWABLE UNPROTECTED OPENING % OF EXPOSING BUILDING FACE AREA	PROPOSED UNPROTECTED OPENING
770 SQ.FT. OR 71.50 SQ.M.	7.5 FT. OR 2.29 M.	11 % = 85 SQ.FT.	80 SQ.FT.

NOTES:

PROJECT:
 PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (WEST LOT)

CIVIC ADDRESS:
 1337 OTTAWA AVE.
 WEST VANCOUVER, BC

LEGAL DESCRIPTION:
 PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID:
 004-317-556

TITLE:
 ELEVATIONS

CLIENT:
 RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:
 MOREZ DESIGN INC

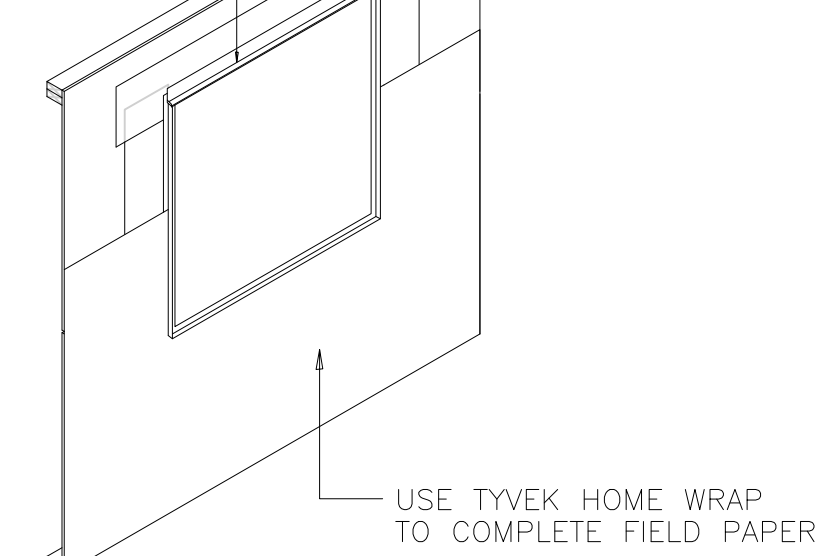
DATE:
 FEBRUARY 19th 2024

REV- 01:
 REV- 02:

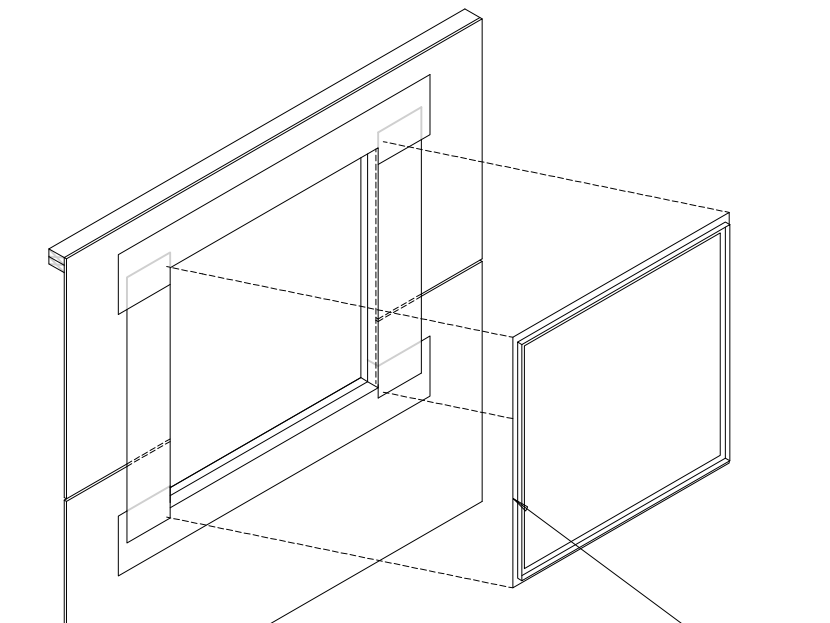
SCALE:
 1/4" = 1'-0"

DWG NO.
 A - 2.2

WINDOW HEAD FLASHING
W/ 3" BACKLEG & 3/8" HIGH
END DAMS

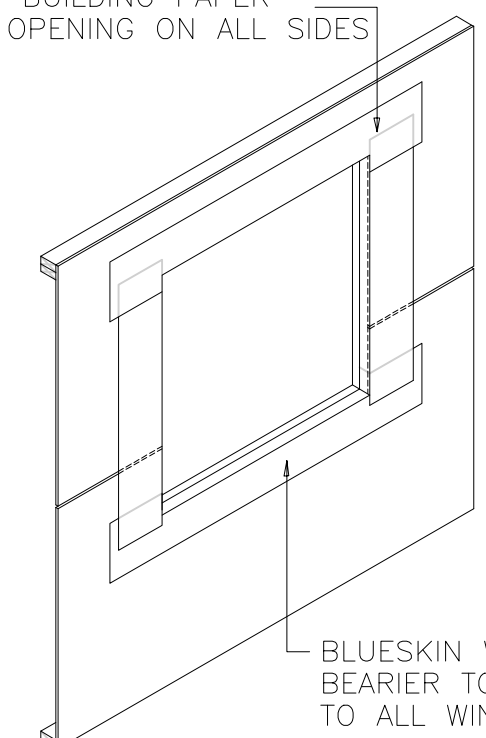


HOME WRAP INSTALLATION

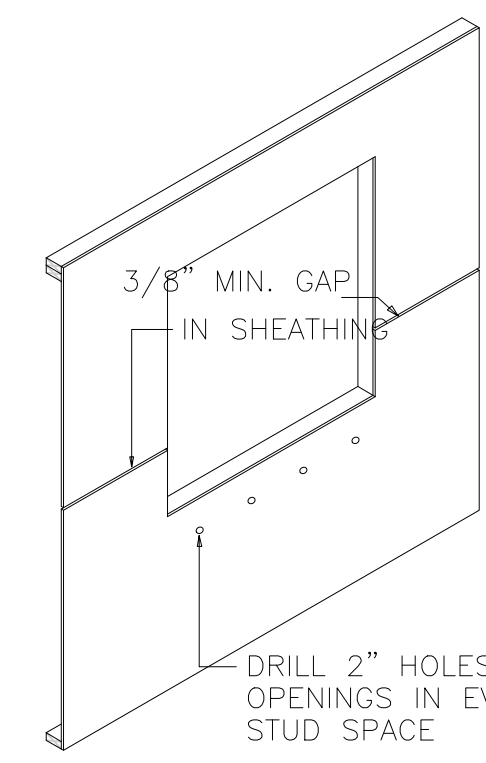


WINDOW INSTALLATION DETAIL

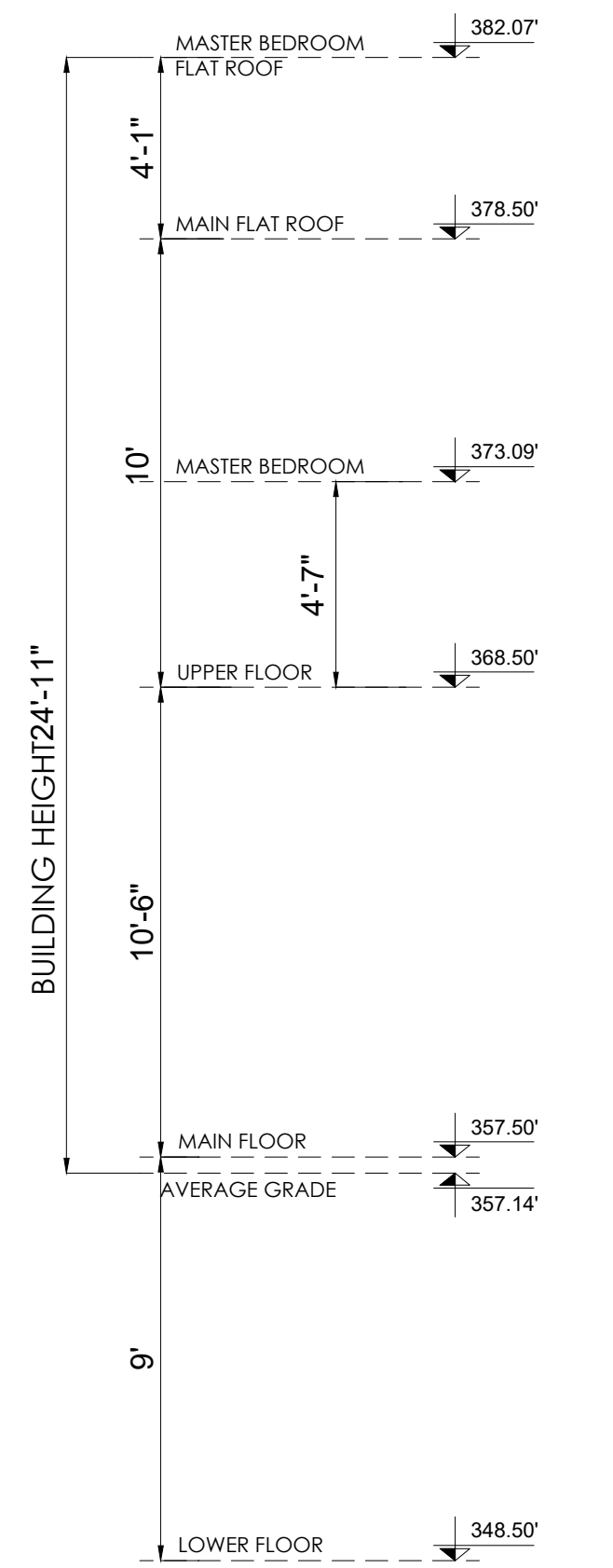
WRAP BUILDING PAPER
INTO OPENING ON ALL SIDES



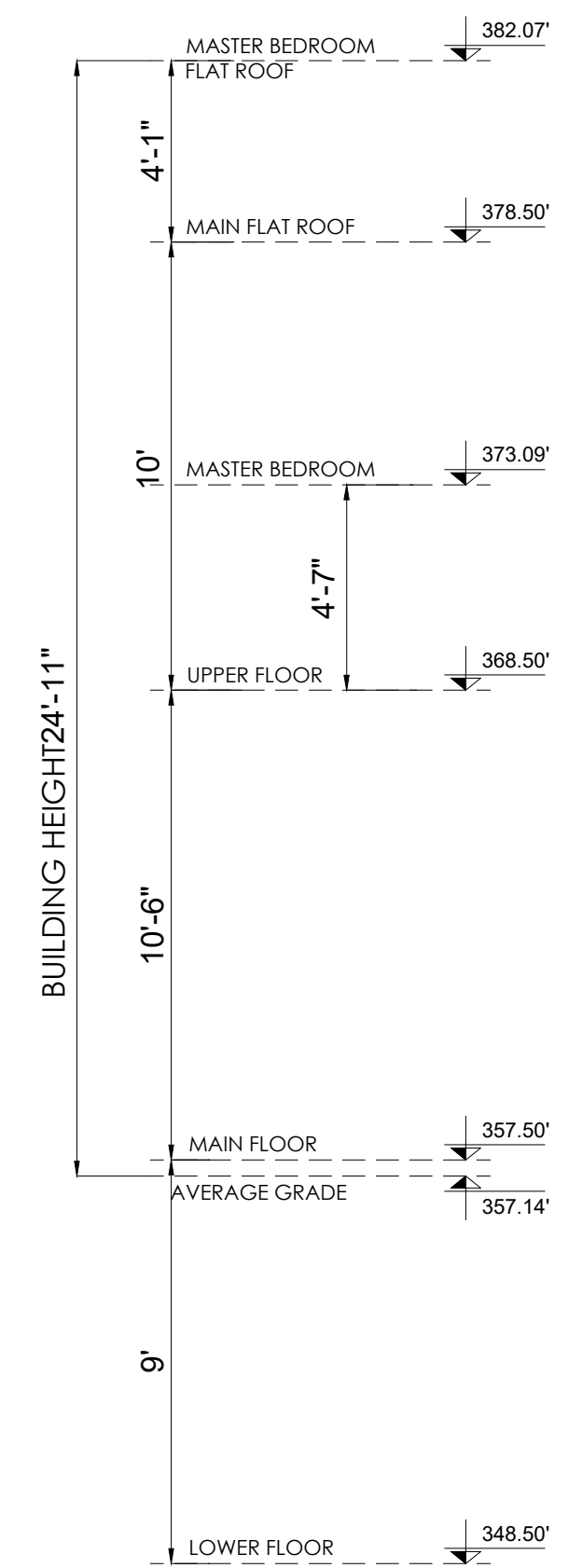
HOME WRAP @ OPENING DETAIL



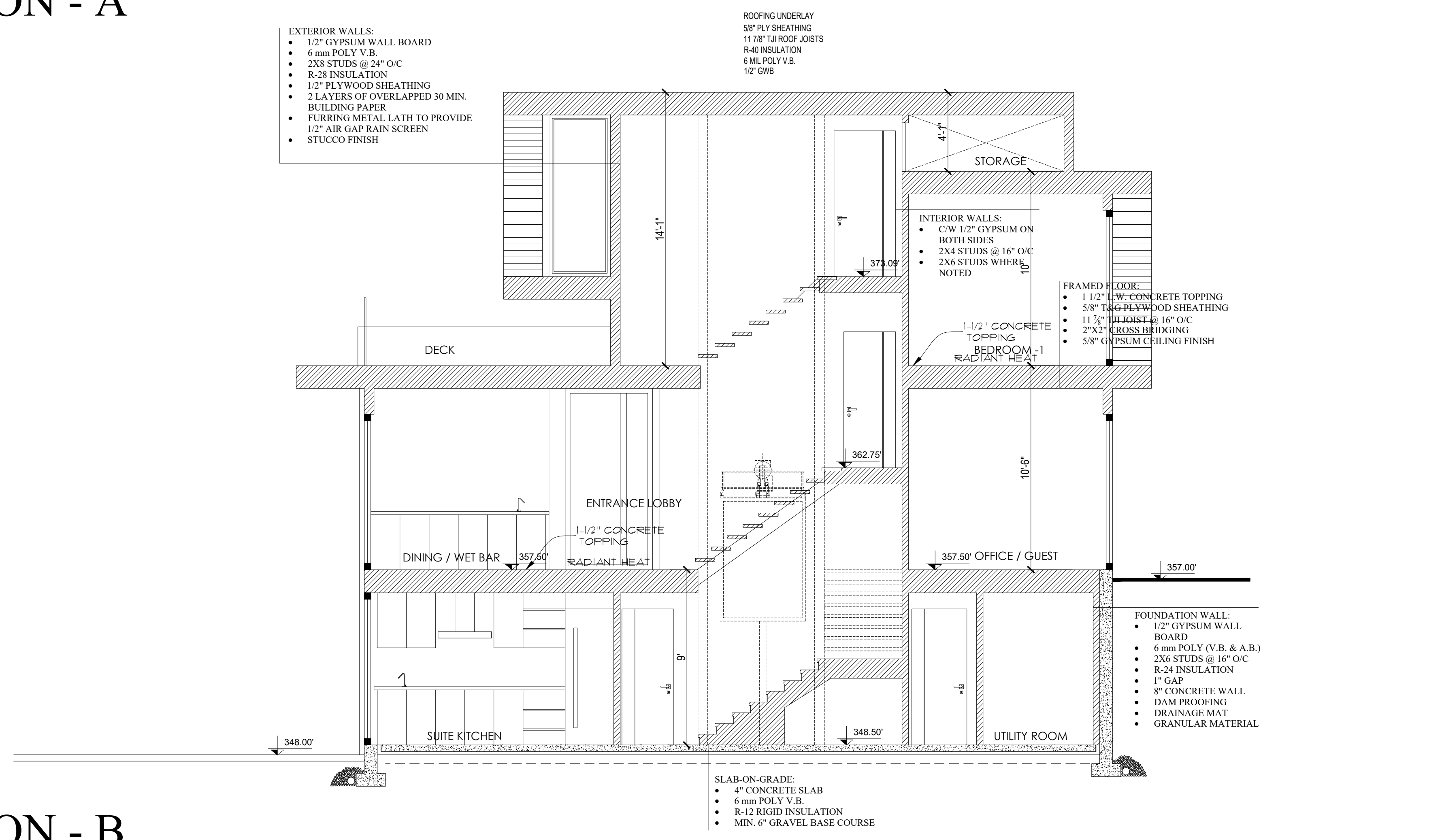
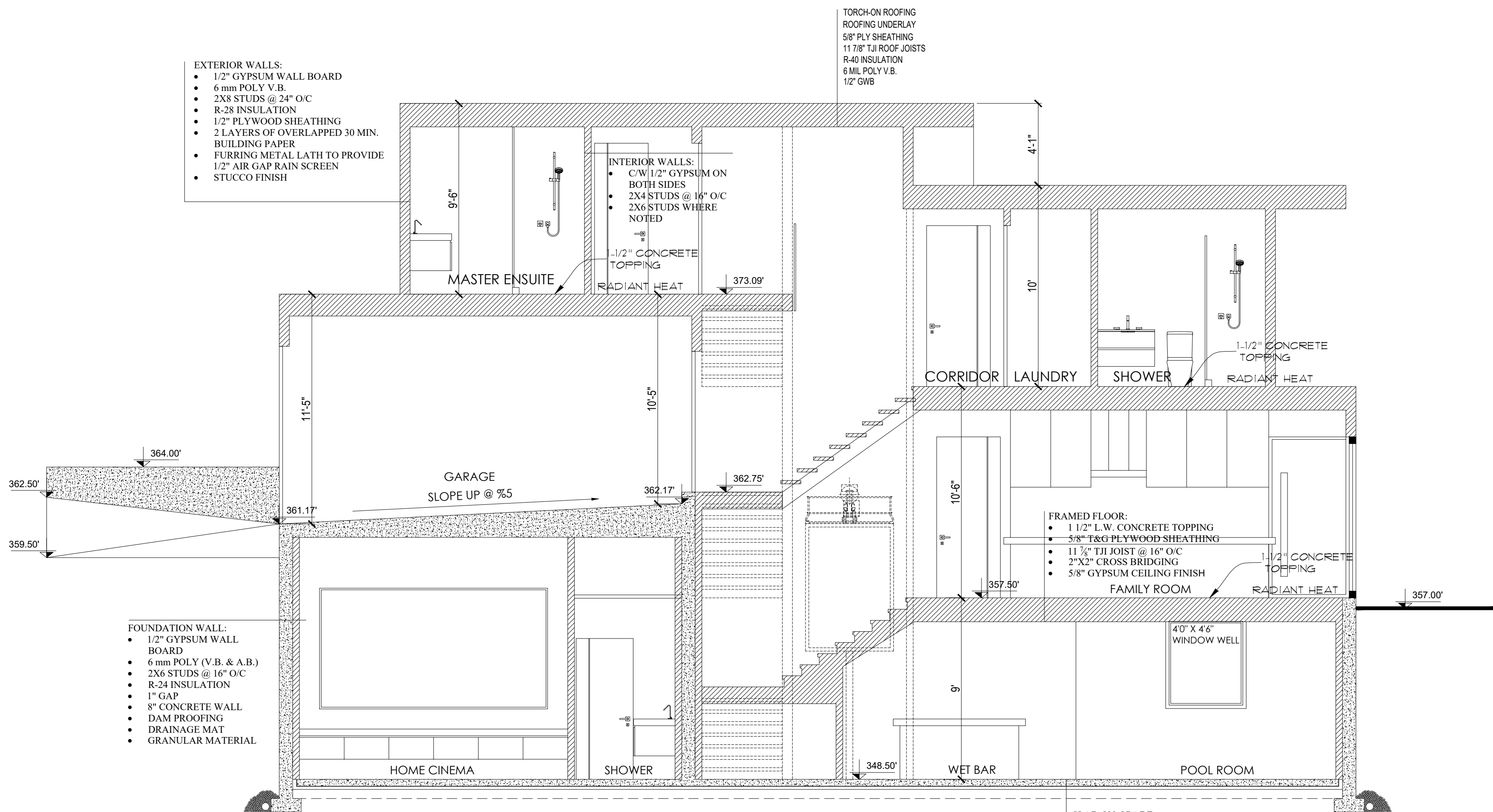
ROUGH OPENING DETAIL



SECTION - A



SECTION - B



NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(WEST LOT)

CIVIC ADDRESS:
1337 OTTAWA AVE.
WEST VANCOUVER, BC

LEGAL DESCRIPTION:
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:
004-317-556

TITLE:
SECTIONS

CLIENT:
RAMIN BAGHERI

NORTH ARROW

CAD FILE:

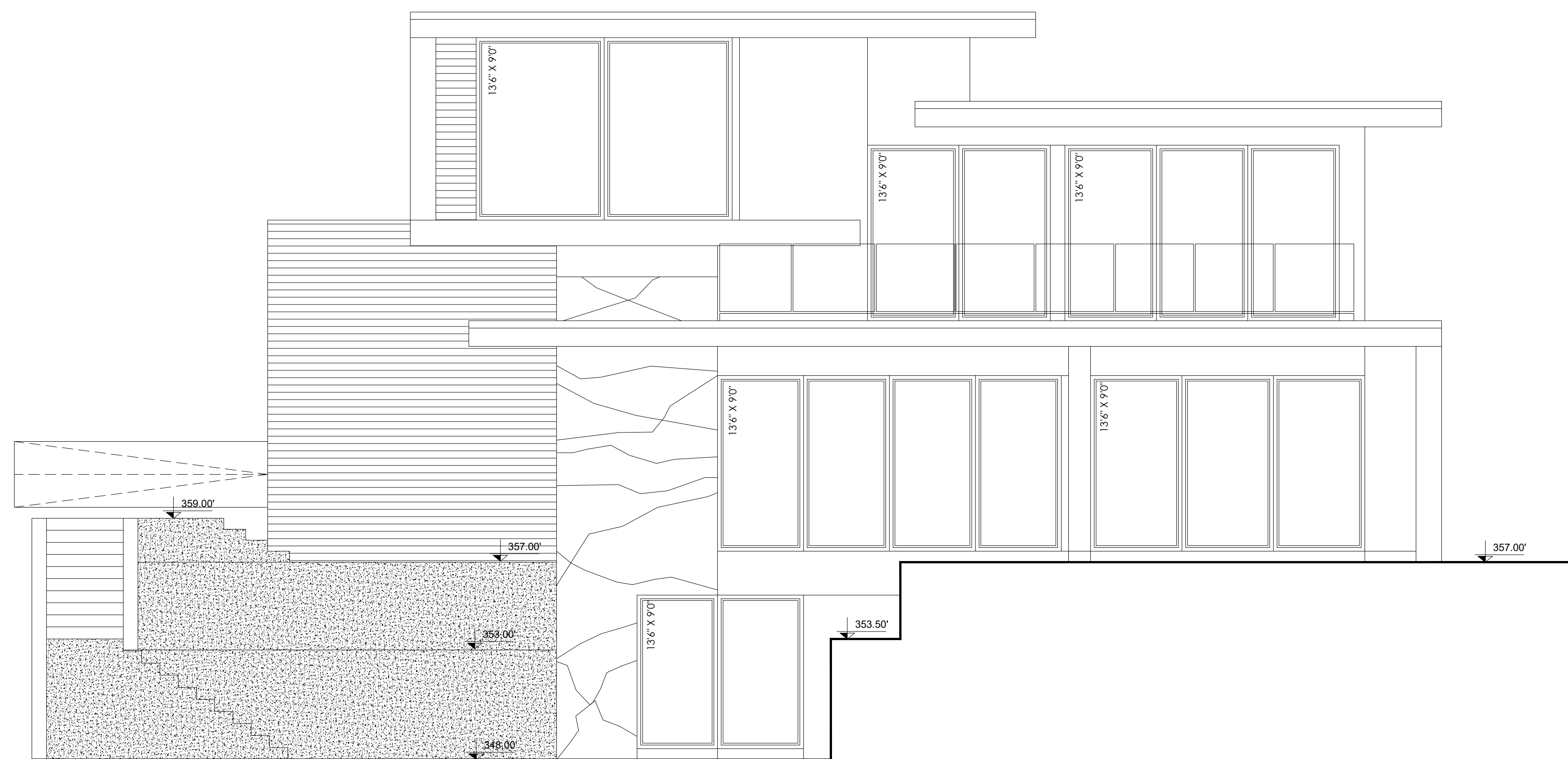
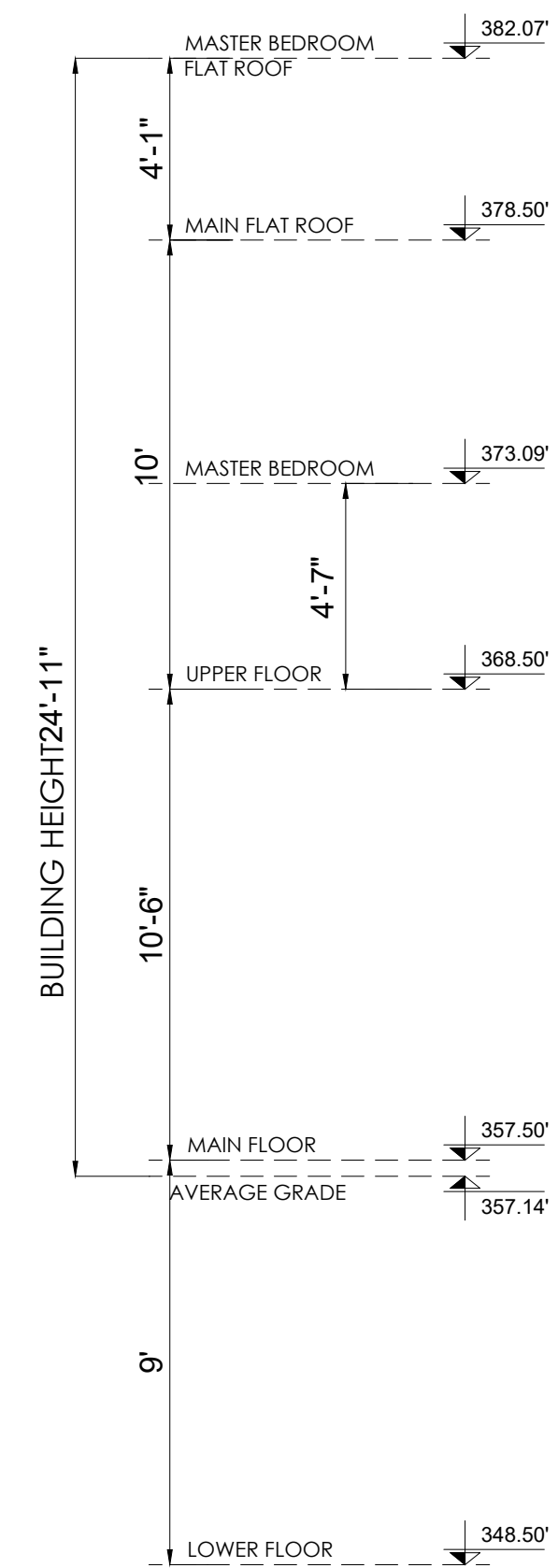
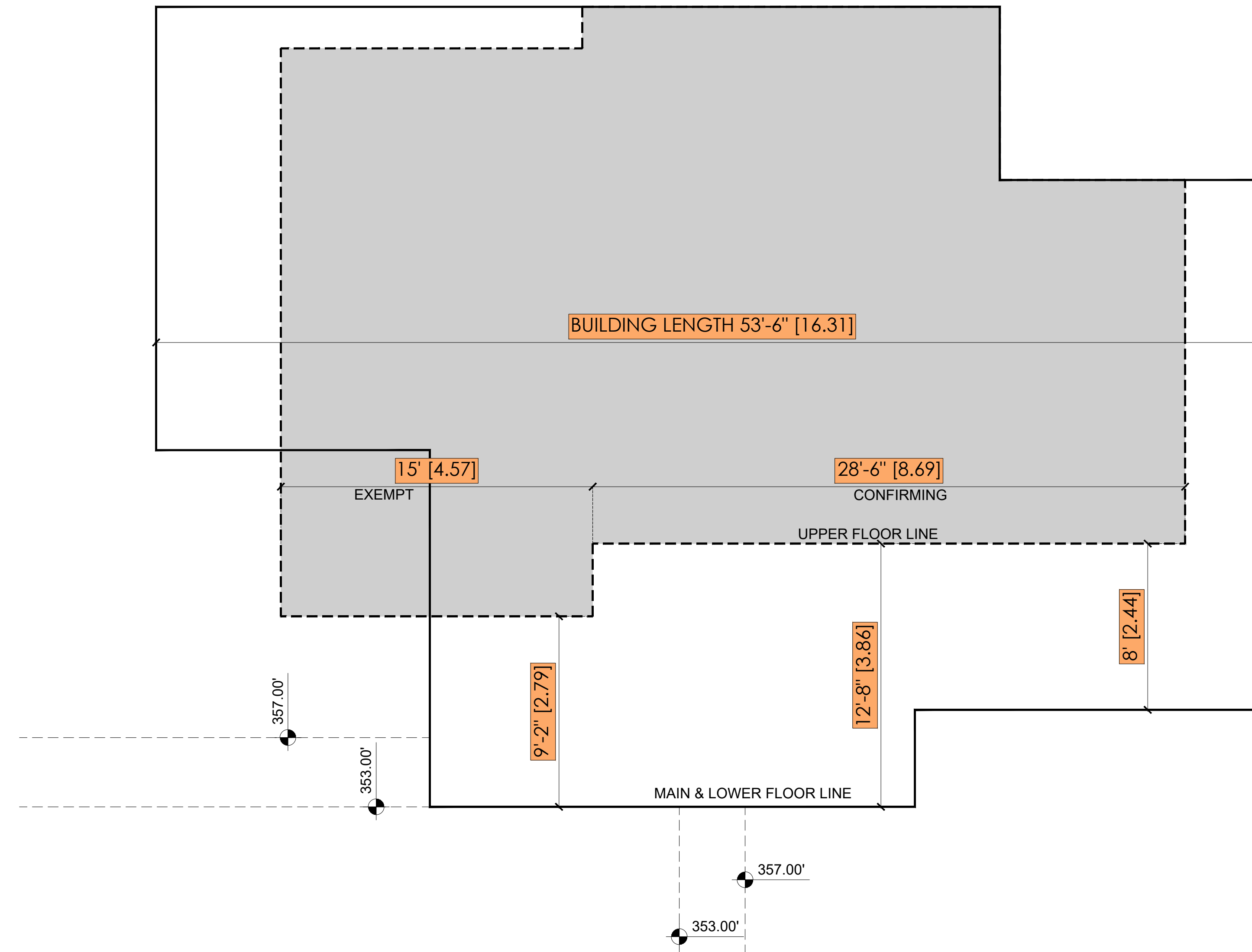
DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01:
REV- 02:

SCALE:
1/4" = 1'-0"

DWG. NO.
A - 3.1



SOUTH ELEVATION

NOTES:

PROJECT:
 PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (WEST LOT)

CIVIC ADDRESS:
 1337 OTTAWA AVE.
 WEST VANCOUVER, BC

LEGAL DESCRIPTION:
 PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID:
 004-317-556

TITLE:
 HIGHEST BUILDING FACE
 CALCULATION

CLIENT:
 RAMIN BAGHERI

NORTH ARROW

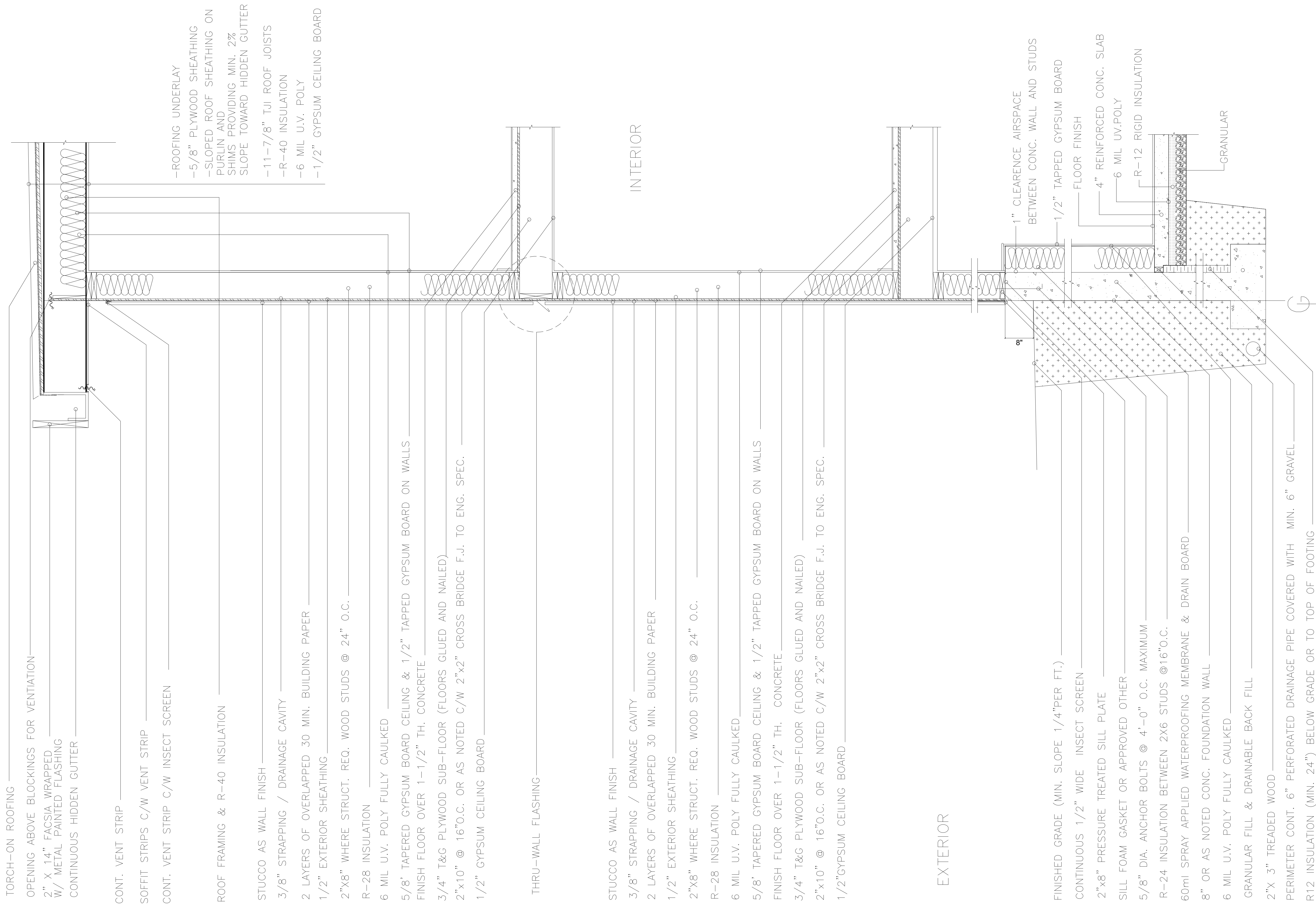
CAD FILE:

DESIGN BY:
 MOREZ DESIGN INC

DATE:
 FEBRUARY 19th 2024

REV- 01:
 REV- 02:

SCALE: 1/4" = 1'-0" DWG NO. A - 3.2



- ROOFING UNDERLAY
- 5/8" PLYWOOD SHEATHING
- SLOPED ROOF SHEATHING ON PURLIN AND SHIMS PROVIDING MIN. 2% SLOPE TOWARD HIDDEN GUTTER
- 11-7/8" TJI ROOF JOISTS
- R-40 INSULATION
- 6 MIL U.V. POLY
- 1/2" GYPSUM CEILING BOARD

- TORCH-ON ROOFING
- OPENING ABOVE BLOCKINGS FOR VENTILATION
- 2" X 14" FASCIA WRAPPED W/ METAL PAINTED FLASHING
- CONTINUOUS HIDDEN GUTTER
- CONT. VENT STRIP
- SOFFIT STRIPS C/W VENT STRIP
- CONT. VENT STRIP C/W INSECT SCREEN
- ROOF FRAMING & R-40 INSULATION
- STUCCO AS WALL FINISH
- 3/8" STRAPPING / DRAINAGE CAVITY
- 2 LAYERS OF OVERLAPPED 30 MIN. BUILDING PAPER
- 1/2" EXTERIOR SHEATHING
- 2"x8" WHERE STRUCT. REQ. WOOD STUDS @ 24" O.C.
- R-28 INSULATION
- 6 MIL U.V. POLY FULLY CAULKED
- 5/8' TAPERED GYPSUM BOARD CEILING & 1/2" TAPPED GYPSUM BOARD ON WALLS
- FINISH FLOOR OVER 1-1/2" TH. CONCRETE
- 3/4" T&G PLYWOOD SUB-FLOOR (FLOORS GLUED AND NAILED)
- 2"x10" @ 16"O.C. OR AS NOTED C/W 2"x2" CROSS BRIDGE F.J. TO ENG. SPEC.
- 1/2" GYPSUM CEILING BOARD
- THRU-WALL FLASHING
- STUCCO AS WALL FINISH
- 3/8" STRAPPING / DRAINAGE CAVITY
- 2 LAYERS OF OVERLAPPED 30 MIN. BUILDING PAPER
- 1/2" EXTERIOR SHEATHING
- 2"x8" WHERE STRUCT. REQ. WOOD STUDS @ 24" O.C.
- R-28 INSULATION
- 6 MIL U.V. POLY FULLY CAULKED
- 5/8' TAPERED GYPSUM BOARD CEILING & 1/2" TAPPED GYPSUM BOARD ON WALLS
- FINISH FLOOR OVER 1-1/2" TH. CONCRETE
- 3/4" T&G PLYWOOD SUB-FLOOR (FLOORS GLUED AND NAILED)
- 2"x10" @ 16"O.C. OR AS NOTED C/W 2"x2" CROSS BRIDGE F.J. TO ENG. SPEC.
- 1/2" GYPSUM CEILING BOARD
- EXTERIOR
- FINISHED GRADE (MIN. SLOPE 1/4"PER FT.)
- CONTINUOUS 1/2" WIDE INSECT SCREEN
- 2"x8" PRESSURE TREATED SILL PLATE
- SILL FOAM GASKET OR APPROVED OTHER
- 5/8" DIA. ANCHOR BOLTS @ 4'-0" O.C. MAXIMUM
- R-24 INSULATION BETWEEN 2X6 STUDS @16"O.C.
- 60ml SPRAY APPLIED WATERPROOFING MEMBRANE & DRAIN BOARD
- 8" OR AS NOTED CONC. FOUNDATION WALL
- 6 MIL U.V. POLY FULLY CAULKED
- GRANULAR FILL & DRAINABLE BACK FILL
- 2"x 3" TREADED WOOD
- PERIMETER CONT. 6" PERFORATED DRAINAGE PIPE COVERED WITH MIN. 6" GRAVEL
- R12 INSULATION (MIN. 24") BELOW GRADE OR TO TOP OF FOOTING



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 www.morezdesign.ca
 C: 604-727-2664
 T: 778-319-6489

NOTES:	
PROJECT:	PROPOSED SUBDIVISION SINGLE FAMILY WITH LEGAL SUITE (WEST LOT)
CIVIC ADDRESS:	1337 OTTAWA AVE. WEST VANCOUVER, BC
LEGAL DESCRIPTION:	PLAN 15681 DISTRICT LOT 1083 WEST 1/2 OF NORTH EAST 1/4 LOT A
LOT PID:	004-317-556
TITLE:	TYPICAL DETAILS
CLIENT:	RAMIN BAGHERI
NORTH ARROW	
CAD FILE:	
DESIGN BY:	MOREZ DESIGN INC
DATE:	FEBRUARY 19th 2024
REV-01:	
REV-02:	
SCALE:	DWG NO.
1/4" = 1'-0"	A - 4.1



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www.morezdesign.ca
C: 604-727-2664
T: 778-319-6489

NOTES:

PROJECT:
**PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(WEST LOT)**

CIVIC ADDRESS:
**1337 OTTAWA AVE.
WEST VANCOUVER, BC**

LEGAL DESCRIPTION:
**PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A**

LOT PID:
004-317-556

TITLE:
TYPICAL DETAILS

CLIENT:
RAMIN BAGHERI

NORTH ARROW

CAD FILE:

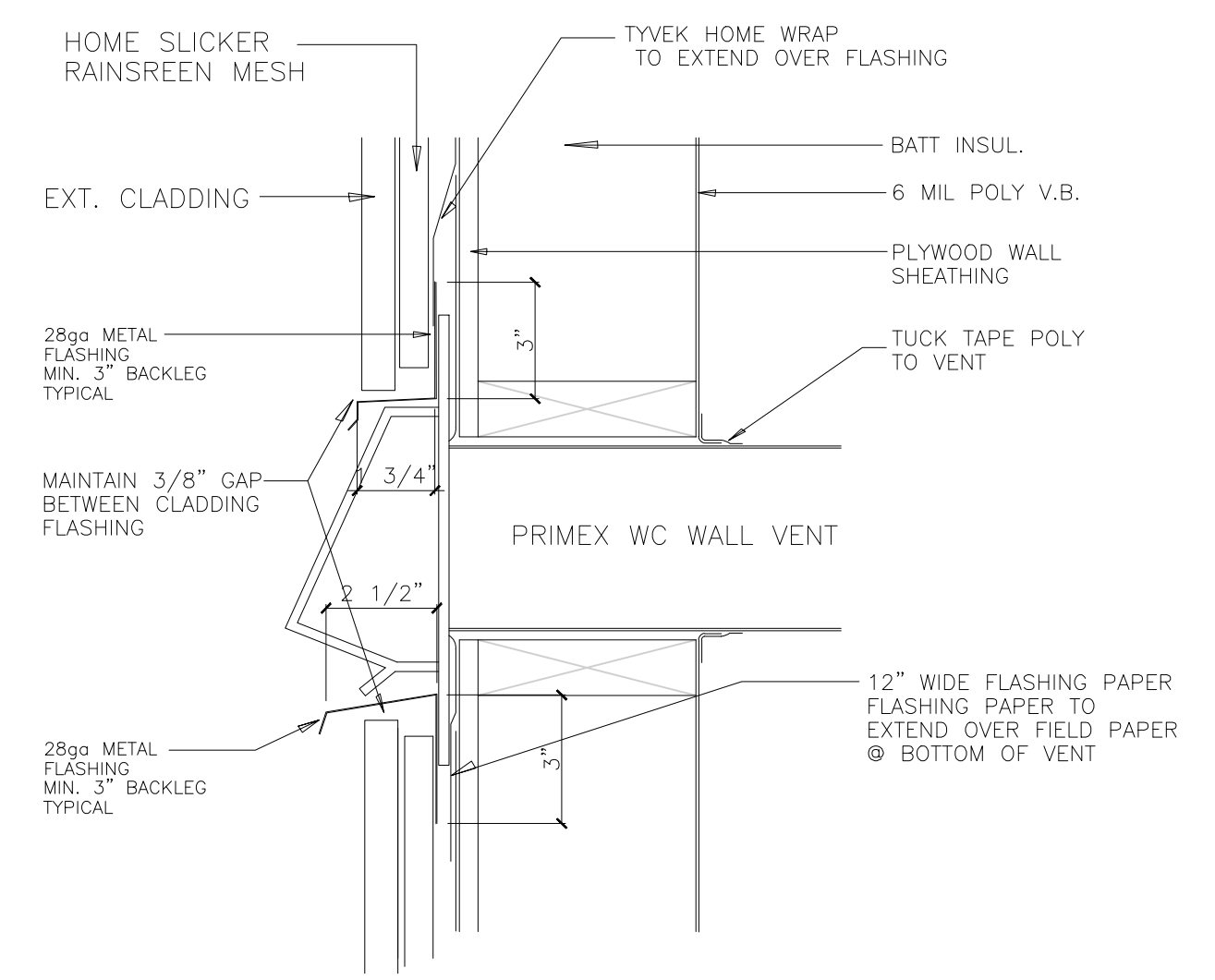
DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

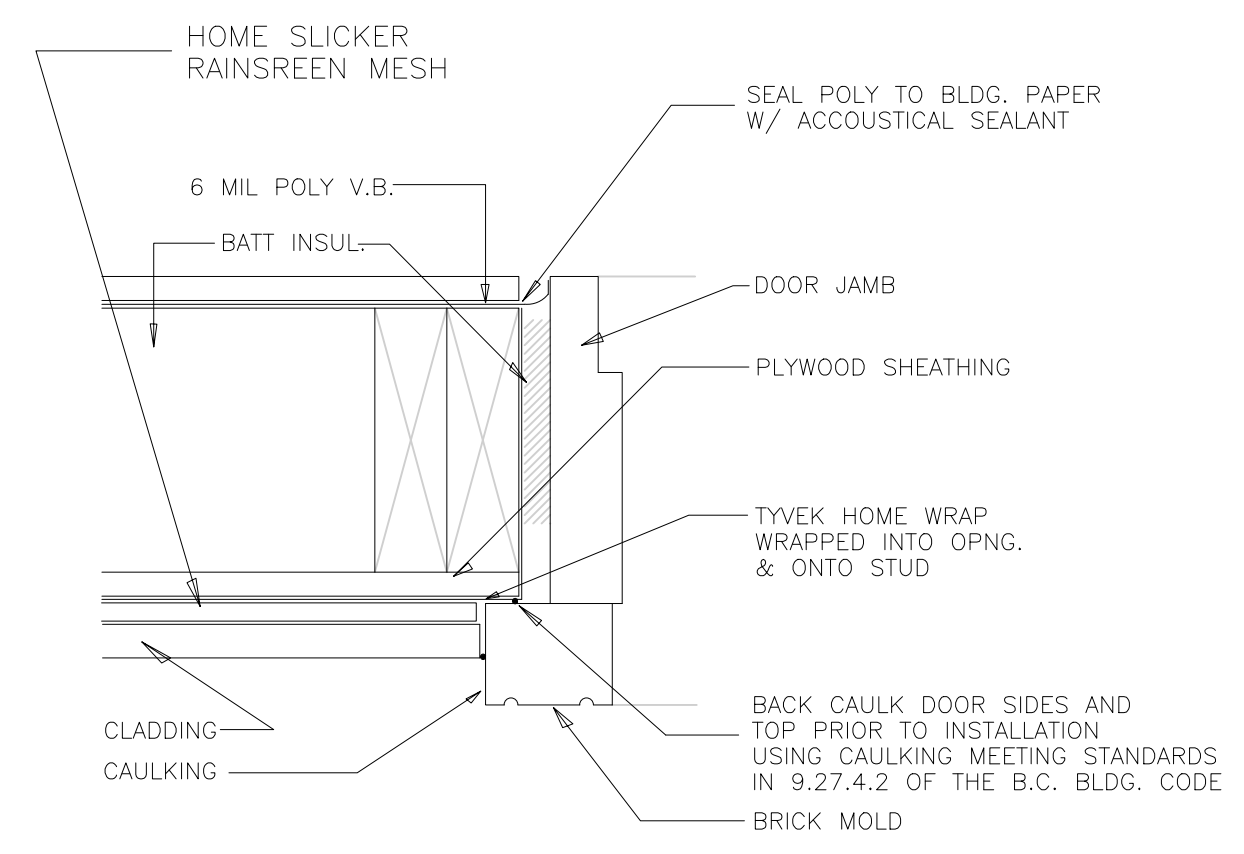
REV-01:
REV-02:

SCALE:
1/4" = 1'-0"

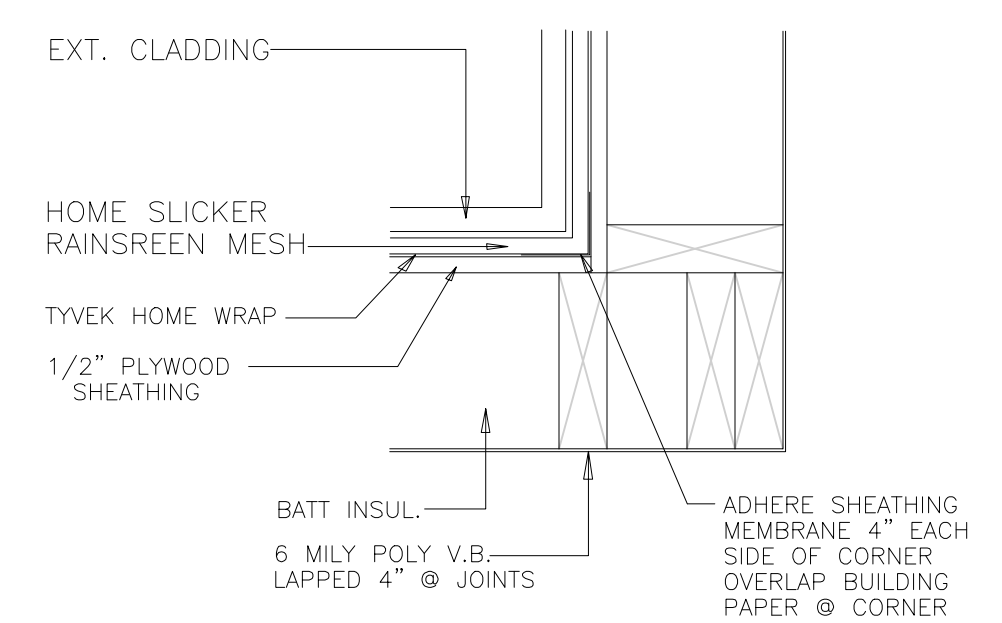
DWG NO.
A - 42



WALL VENT DETAIL

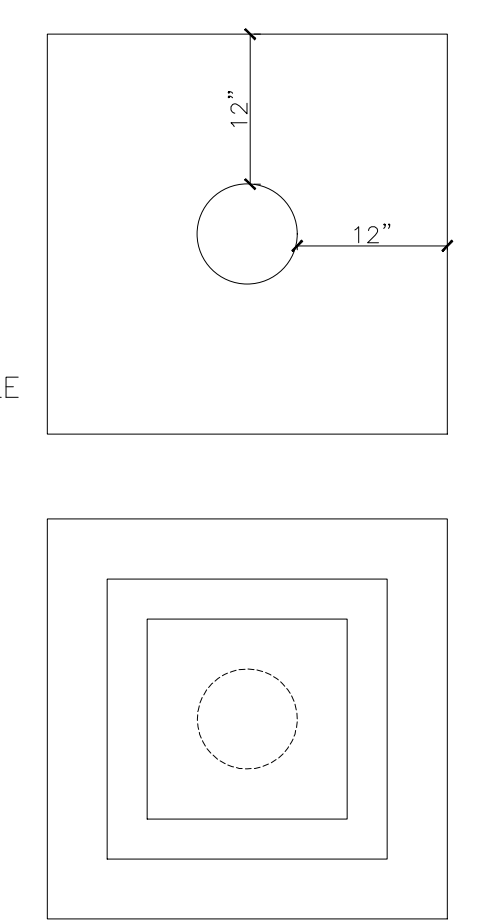


DOOR JAMB DETAIL
SCALE: 3"=1'

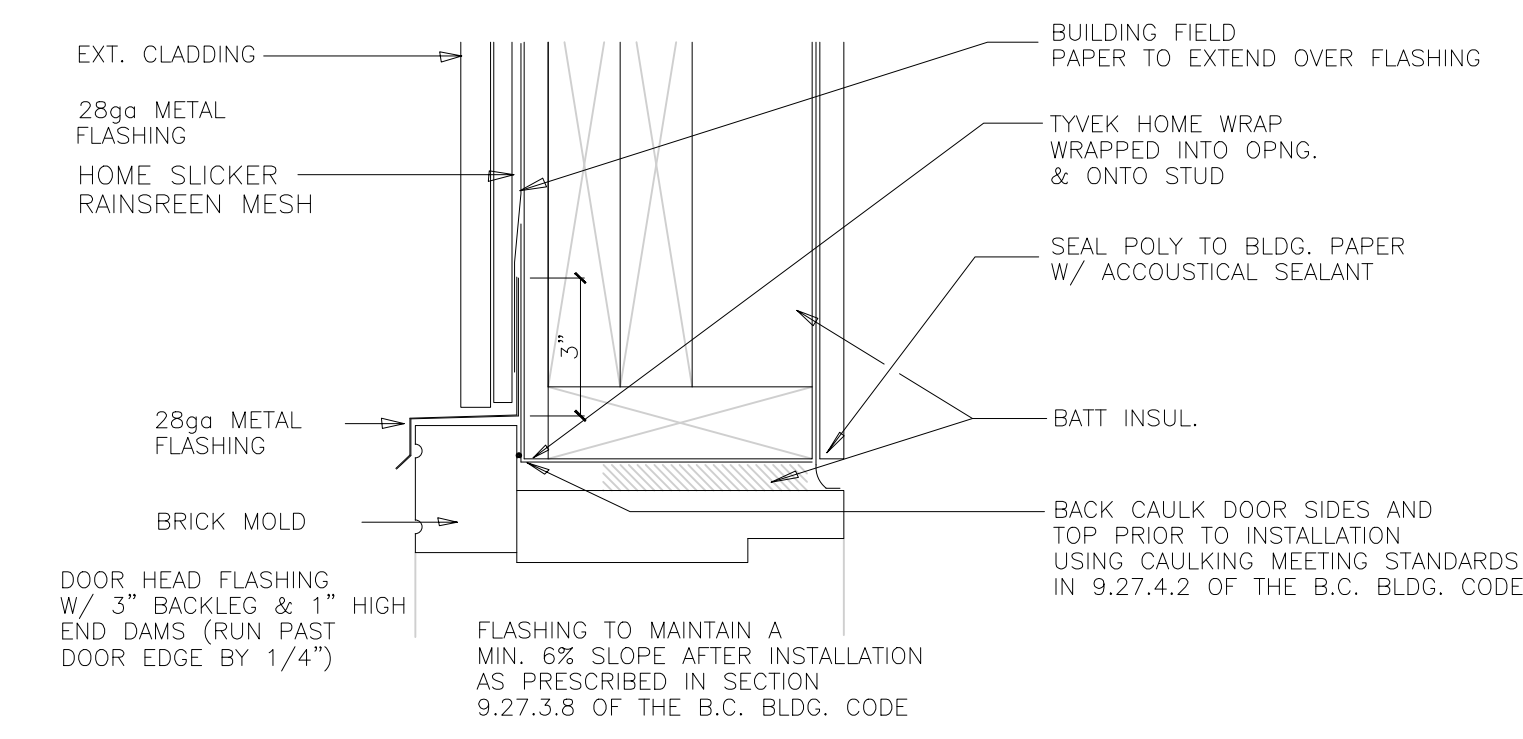


INTERIOR CORNER DETAIL
2"=1'

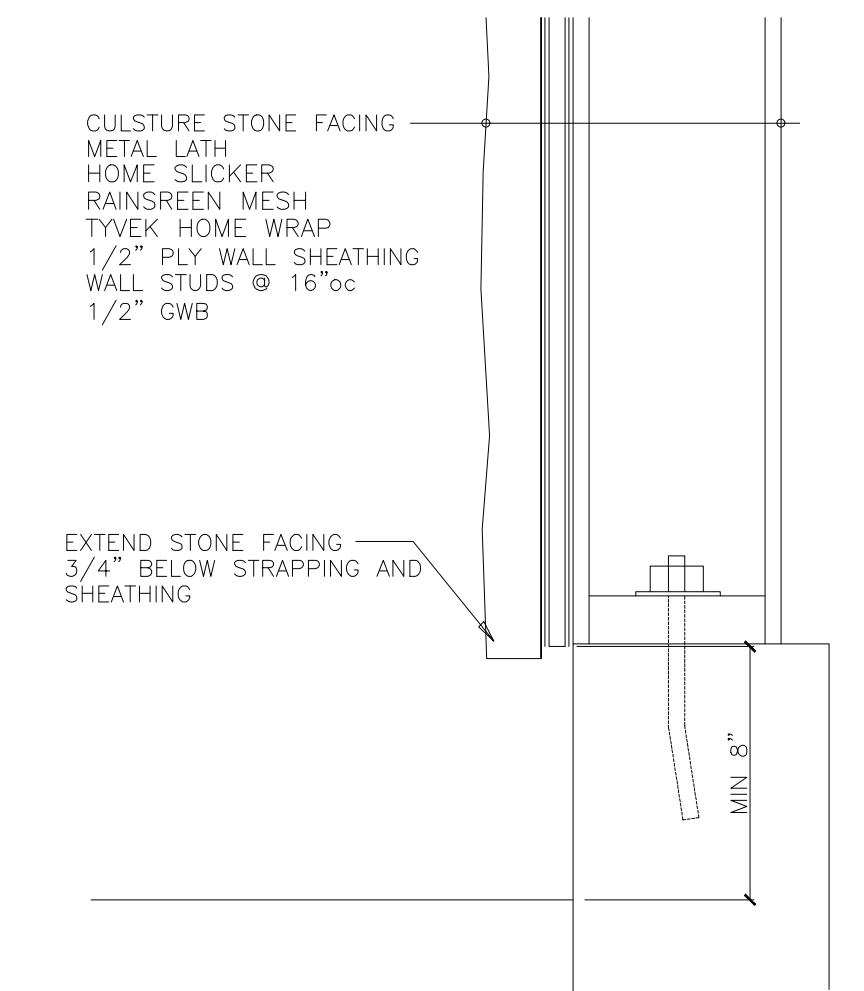
1. SHEET METAL CONTRACTOR TO LAYOUT CORRECT SIZE OF HOLE FOR DIAMETER OF DUCT
2. FRAMER TO CUT ROUND HOLE TO MATCH SIZE OF DUCT.
3. INSTALL ONE LAYER OF TYVEK HOME WRAP 12" BEYOND ALL SIDES OF HOLE IN WALL.
4. FASTEN VENT TO WALL
5. APPLY FIELD PAPER WRAP TO WALL (TUCK TAPE TO VENT FLANGES ON ALL 4 SIDES)



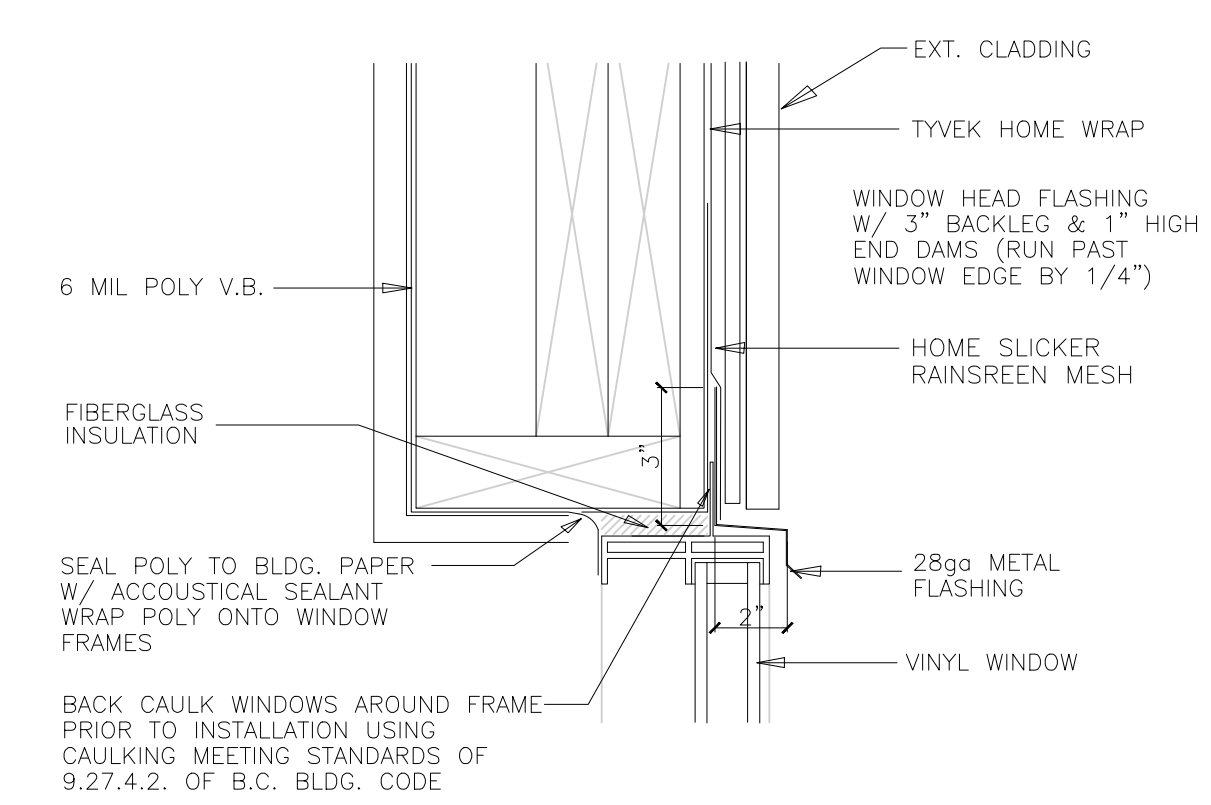
WALL VENT CAP INSTALLATION



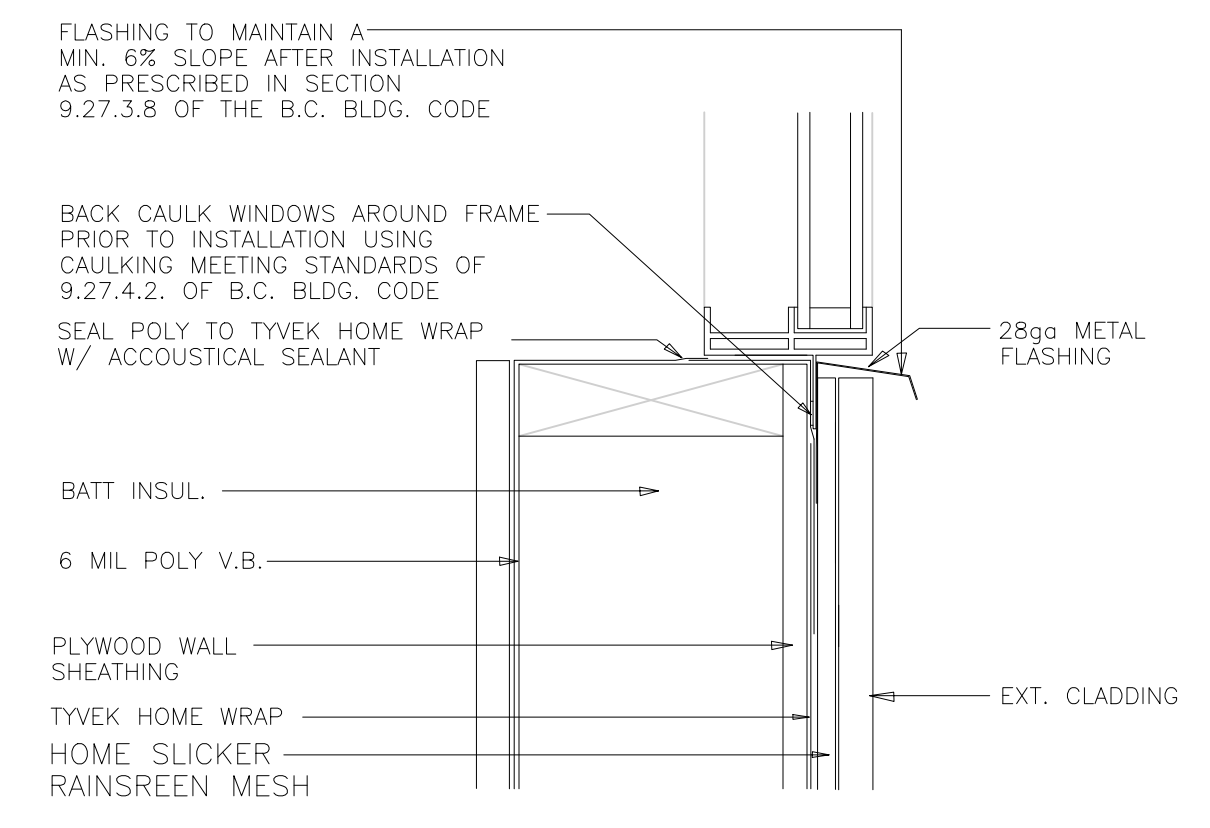
DOOR HEADER DETAIL
SCALE: 3"=1'



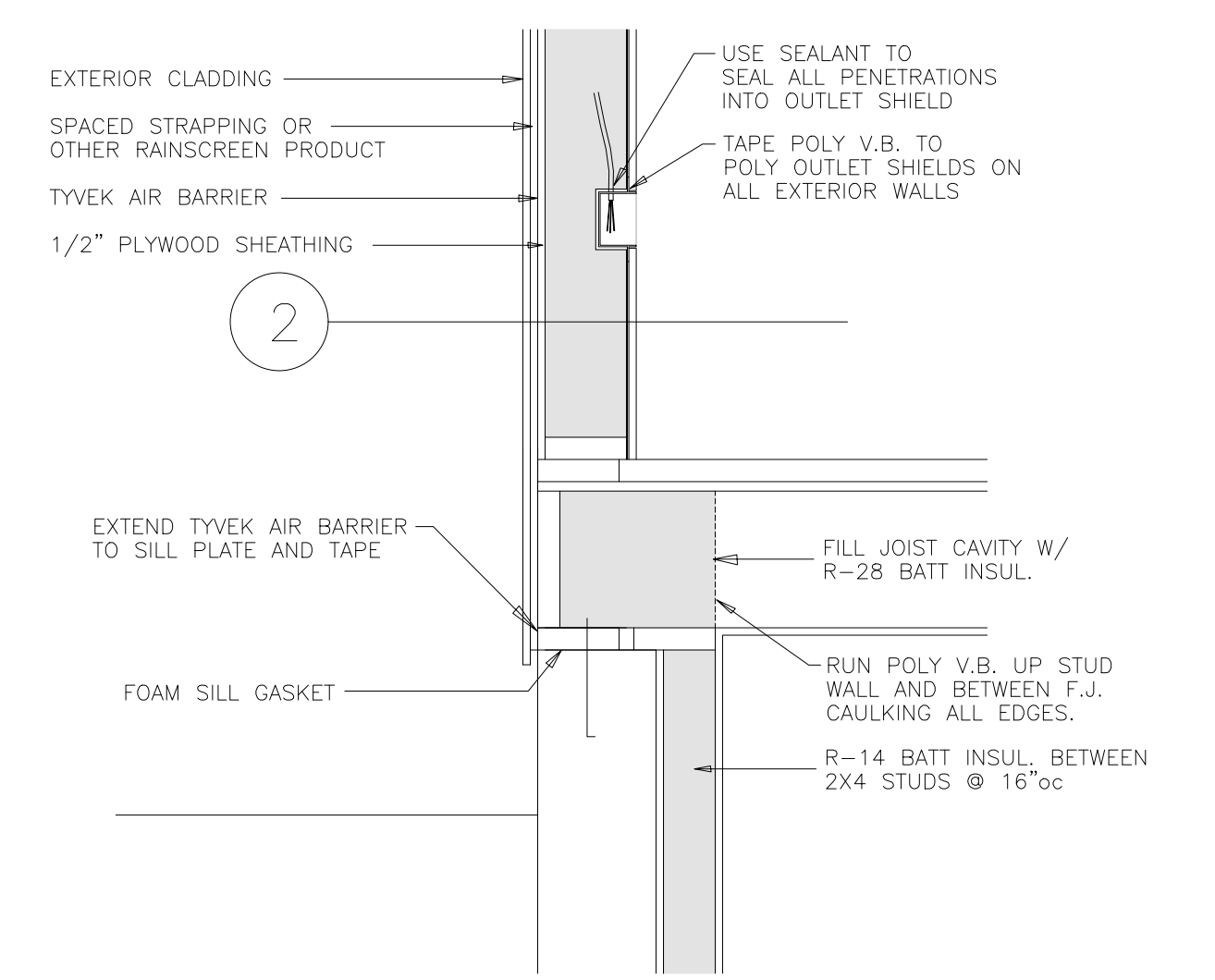
STONE FACING WALL SECTION
SCALE: 2"=1'



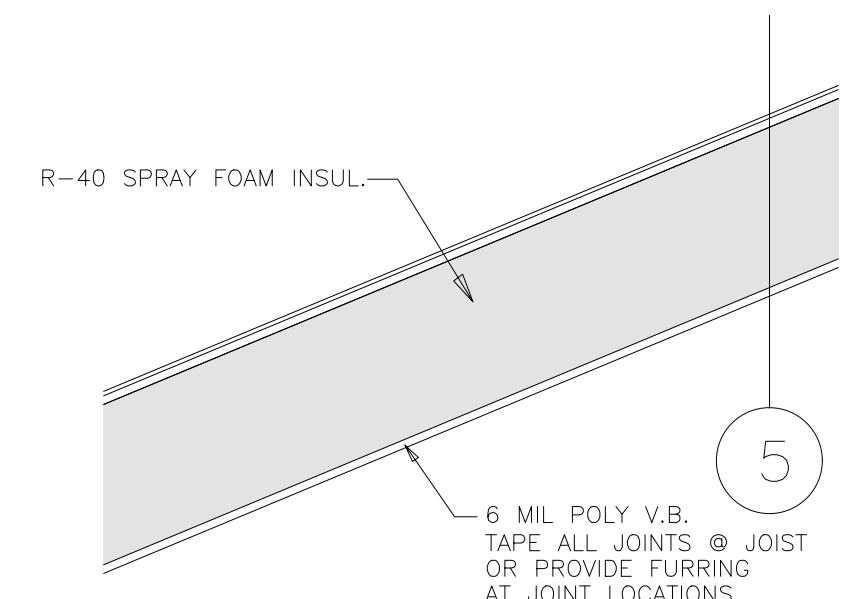
WINDOW HEAD DETAIL
SCALE: 3"=1'



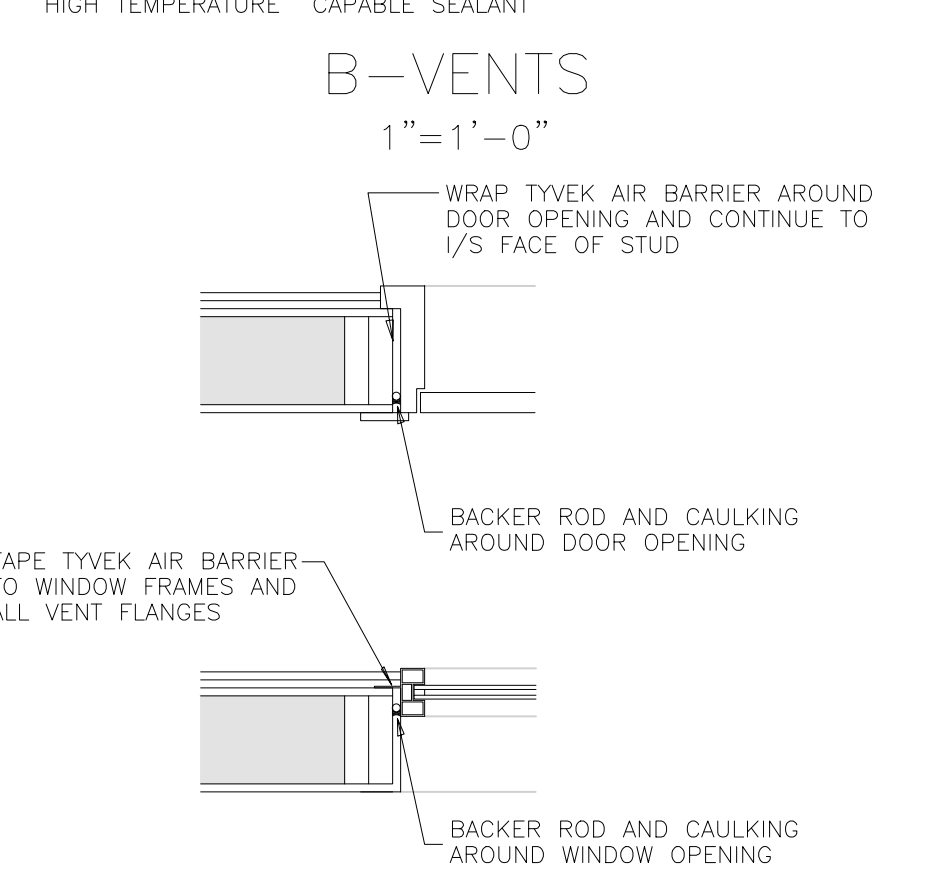
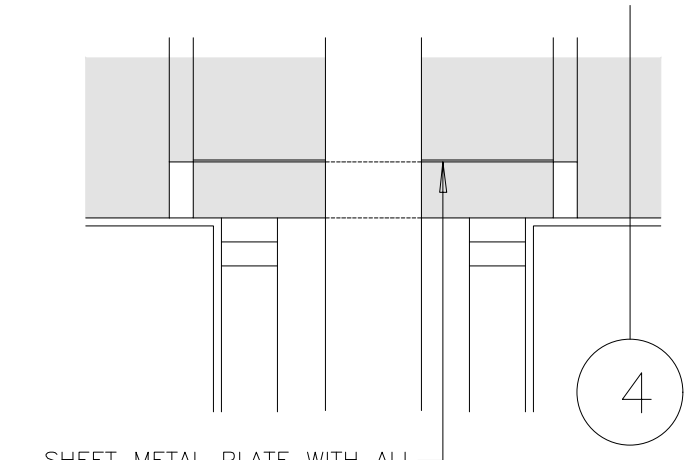
WINDOW SILL DETAIL
SCALE: 3"=1'



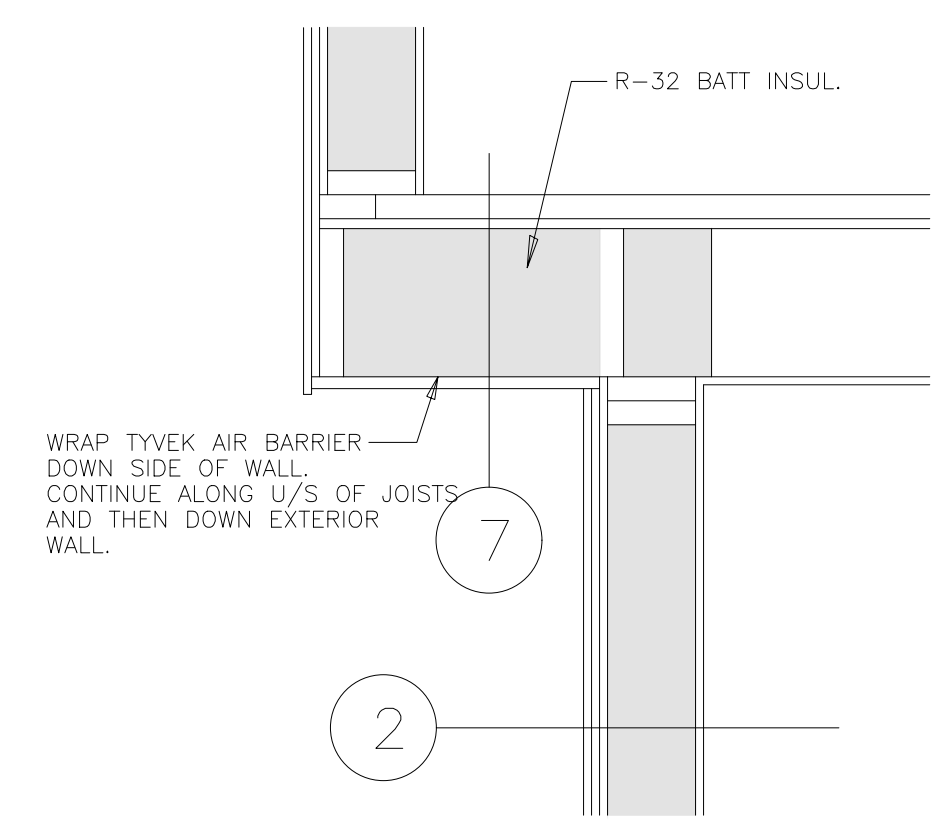
ABOVE GRADE WALL ASSEMBLY
1"=1'-0"



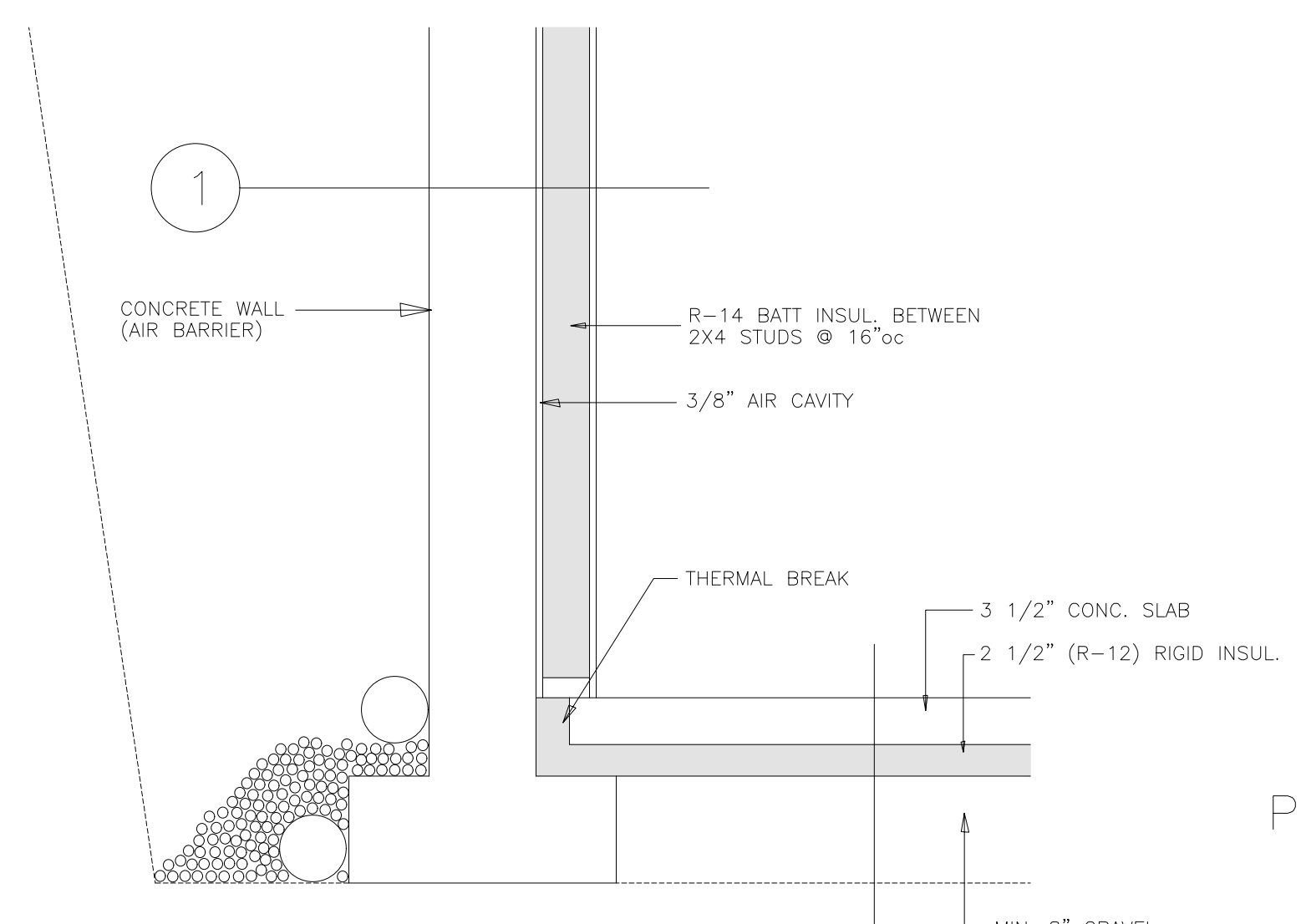
VAULTED CEILINGS & FLAT ROOF
1"=1'-0"



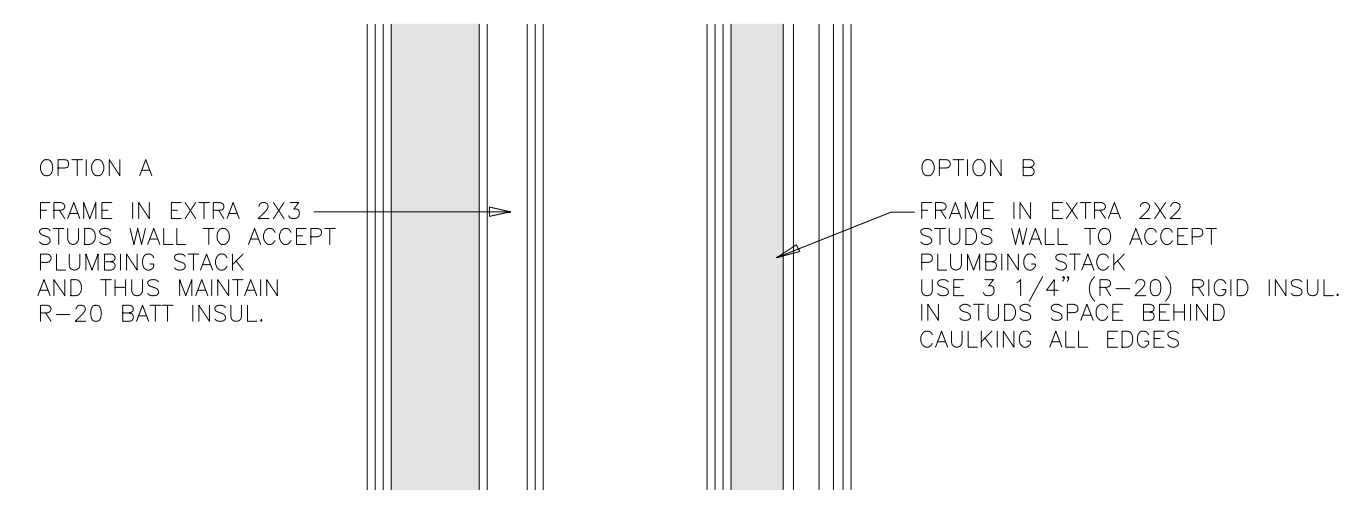
WINDOW & DOOR OPENINGS
1"=1'-0"



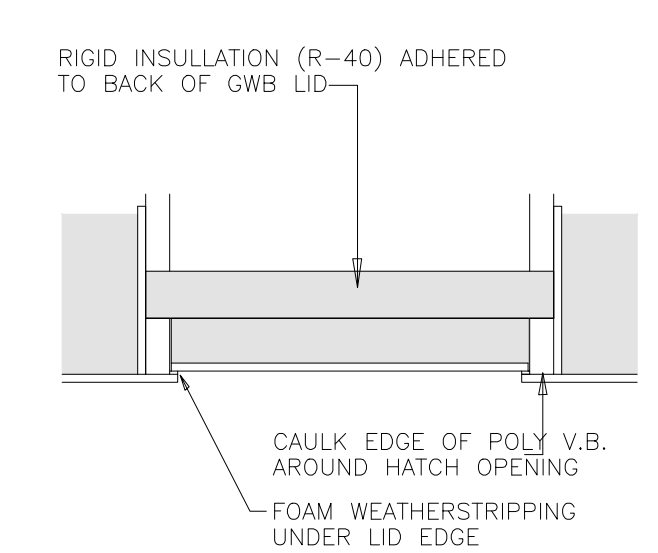
FLOOR OVER UNHEATED SPACE ASSEMBLY
1"=1'-0"



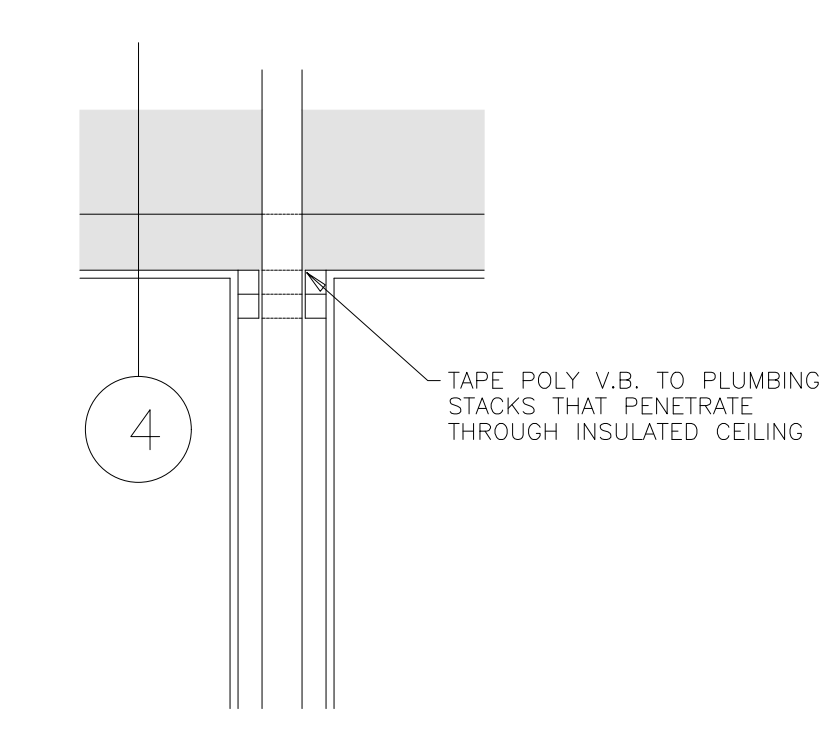
BELOW GRADE WALL ASSEMBLY
1"=1'-0"



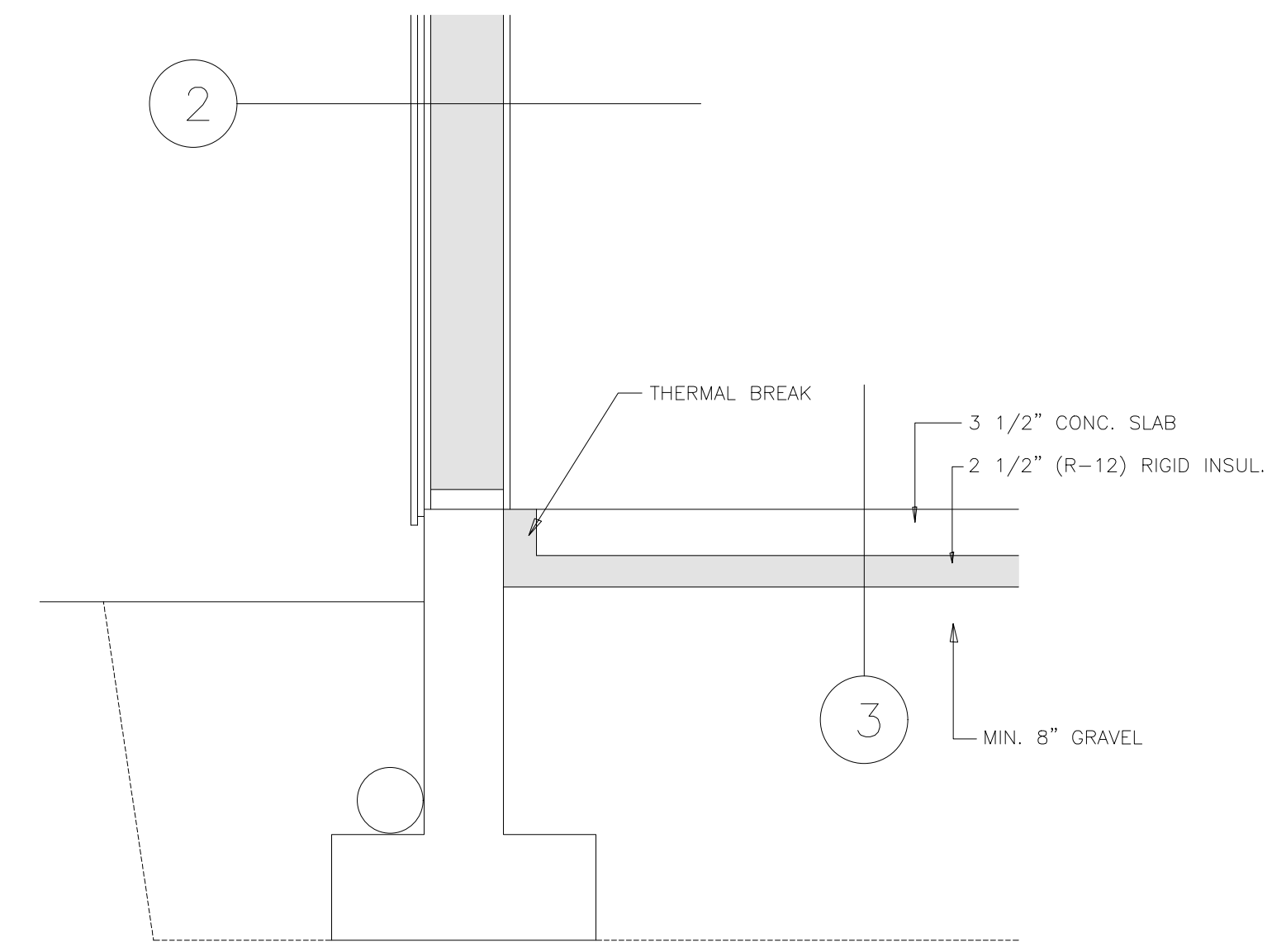
PLUMBING OF ELECTRICAL PANELS ON EXTERIOR WALLS
1"=1'-0"



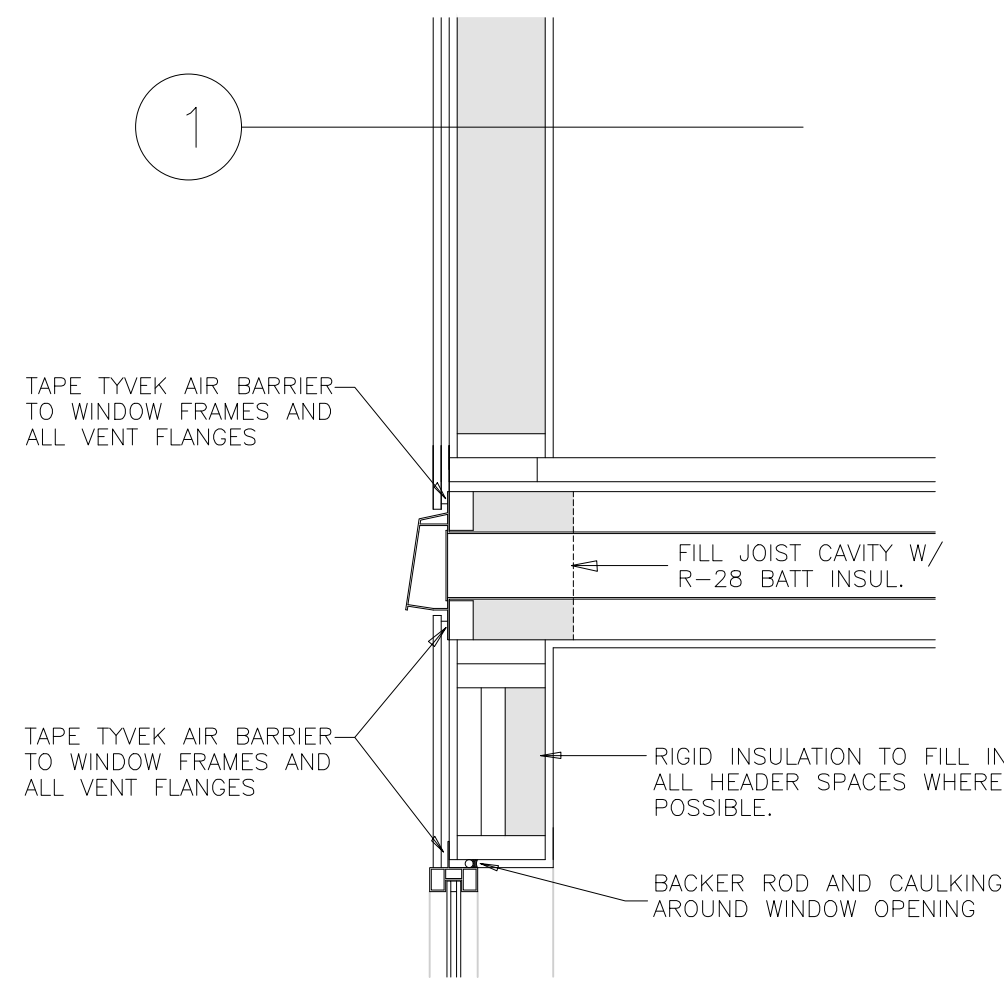
ATTIC HATCH ASSEMBLY
1"=1'-0"



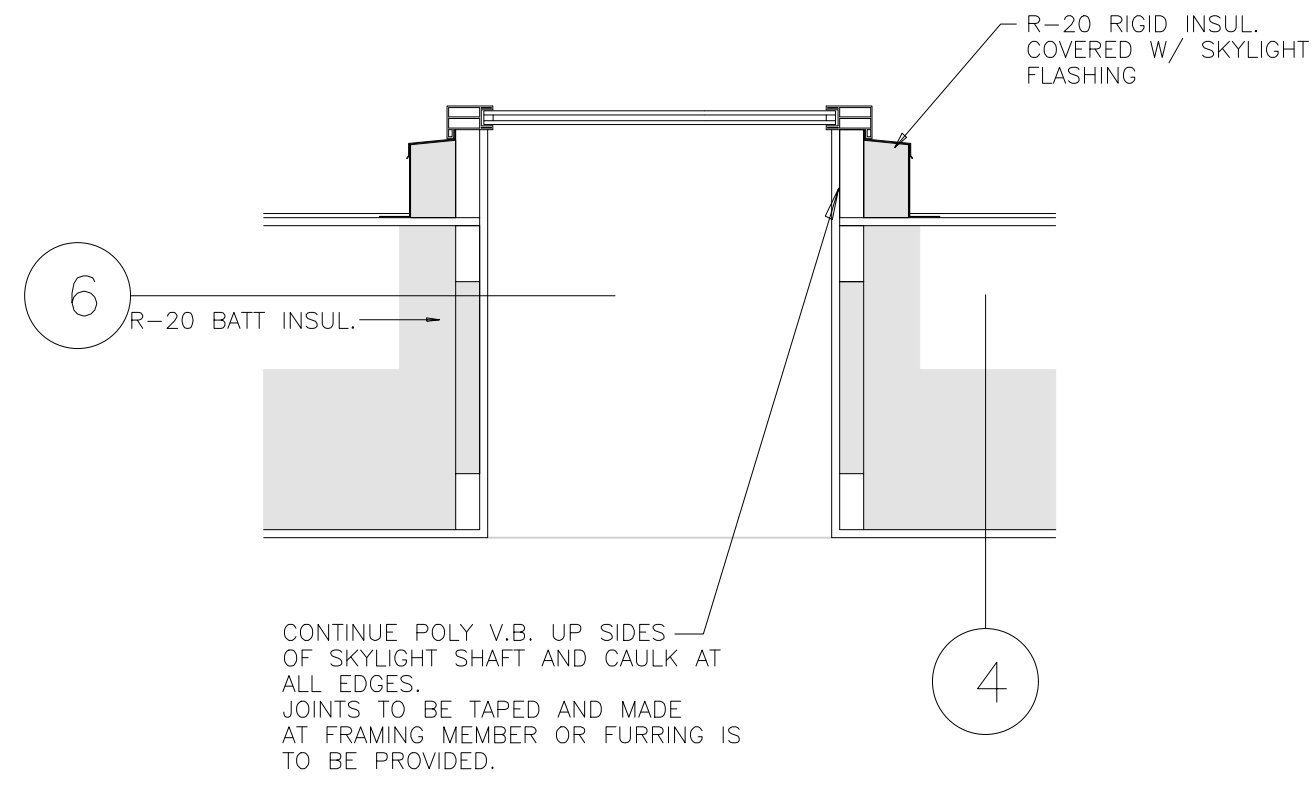
PUMING STACKS
1"=1'-0"



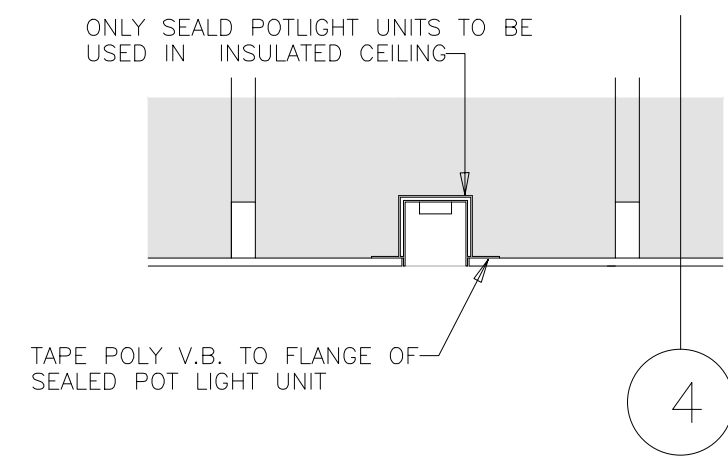
HEATED SLAB ON GRADE ASSEMBLY
1"=1'-0"



RIM JOISTS AND PENETRATIONS
1"=1'-0"



SKYLIGHT ASSEMBLY
1"=1'-0"



POT LIGHTS
1"=1'-0"

NOTES:

PROJECT:

PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(WEST LOT)

CIVIC ADDRESS:

1337 OTTAWA AVE.
WEST VANCOUVER, BC

LEGAL DESCRIPTION:

PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:

004-317-556

TITLE:

TYPICAL DETAILS

CLIENT:

RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01:

REV- 02:

SCALE:

1/4" = 1'-0"

DWG NO.

A - 43



PROPOSED NEW SINGLE FAMILY HOME
WITH SECONDARY SUITE
1337 OTTAWA AVE. WEST VANCOUVER
(EAST LOT)

LANDSCAPE
1337 OTTAWA AVE. WEST VANCOUVER
(EAST LOT)



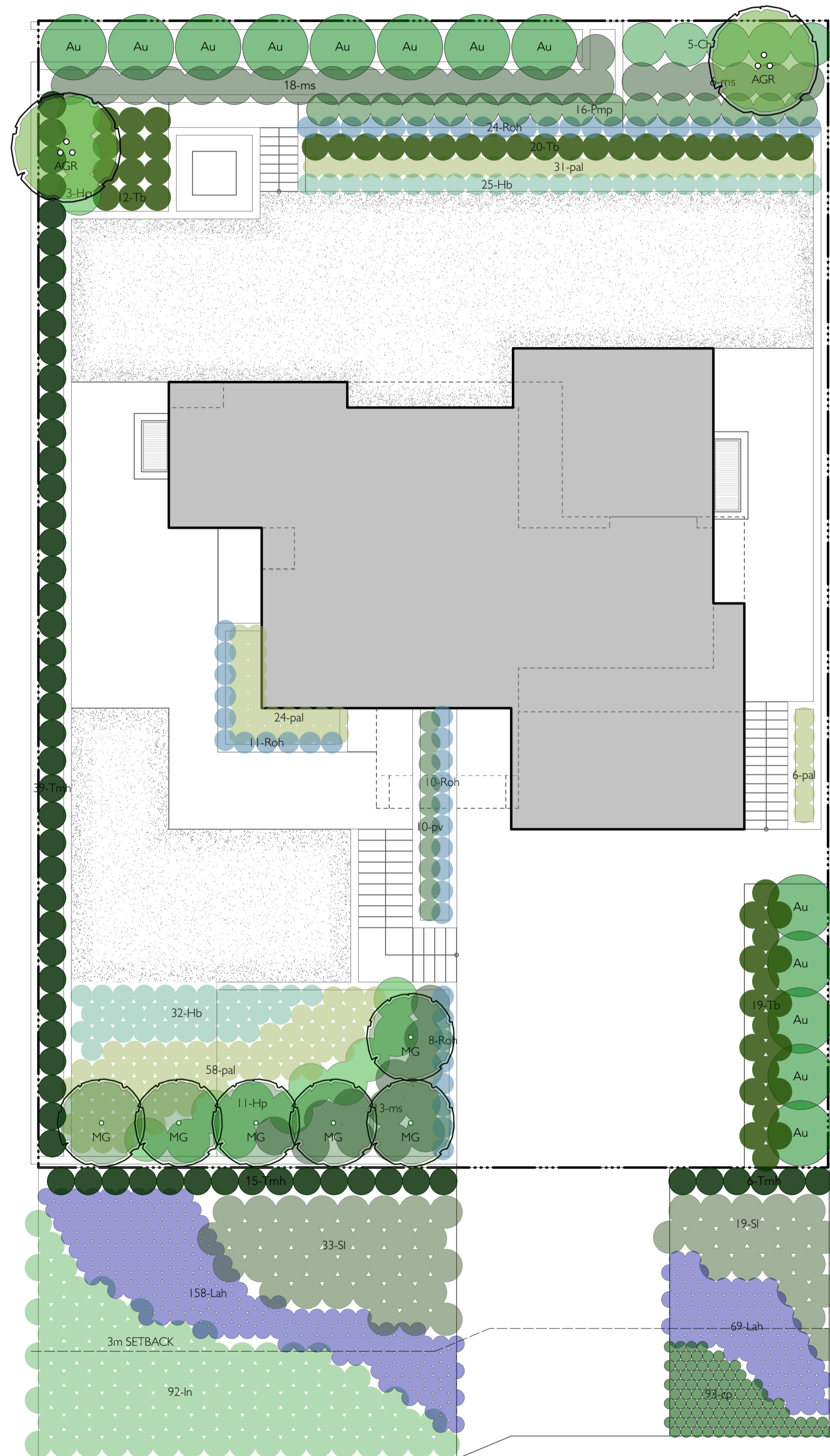
330 - 638 Broughton St.
Vancouver, BC, V7G 3K3
morez@morezdesign.ca
www.morezdesign.ca
C: 604 - 727 2664
T: 778 - 319 6489

MOREZ DESIGN INC



LIFESTYLES DESIGNED
LANDSCAPE ARCHITECTURE

MAHSA AZARI
MAHSA@LIFESTYLESDESIGNED.COM
CELL: 778-919-7783



OTTAWA AVE

GENERAL NOTES:

1. ALL MATERIAL & WORK TO MEET OR EXCEED THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.
2. ALL DIMENSIONS, ELEVATIONS, & GRADES ARE APPROXIMATE & ARE TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION BY CONTRACTORS. ANY DISCREPANCIES OR MISSING INFORMATION TO BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS ON THE JOB SITE. CONTRACTOR TO PROTECT THE EXISTING TREES & VEGETATION.
4. TYPICAL SUB-BASE FOR HARDSCAPE TO CONSIST OF 6" OF COMPACTED 3/4" MINUS CRUSHED ROCK ON COMPACTED SUB-GRADE (98% SPD) OR ON BED ROCK.
5. FILL MATERIAL TO BE FREE DRAINING & WITHOUT ORGANIC MATERIAL.
6. INSTALL LIGHTING & IRRIGATION SLEEVES REQUIRED BY LIGHTING PLAN & IRRIGATION PLAN. IRRIGATION/LIGHTING SLEEVES (MIN. 3" DIA) TO BE INSTALLED UNDER NEW PAVING THROUGH WALLS BELOW GRADE FOR ALL PLANTING BEDS TO BE ACCESSIBLE.
7. ALL DIMENSIONS ARE IN FEET & INCHES. ALL PROPOSED GRADES ARE IN FEET.

PLANTING NOTES:

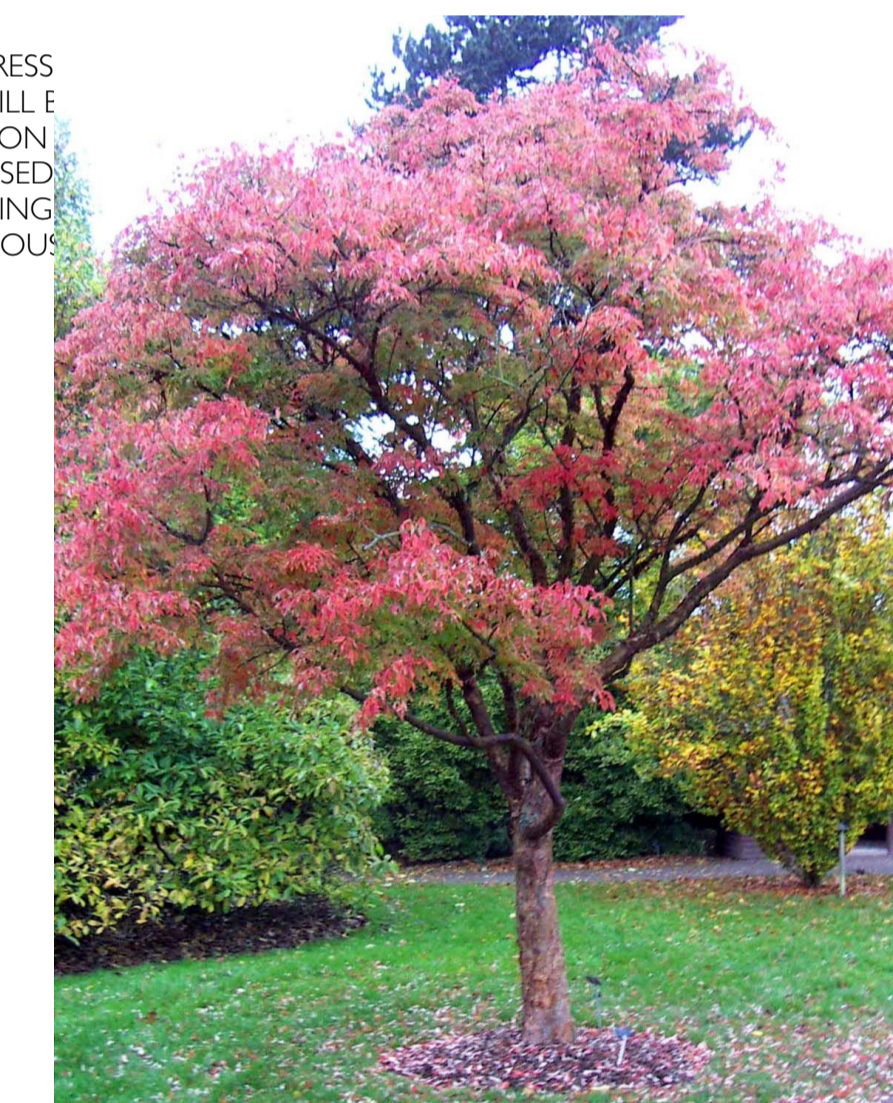
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL DURING CONSTRUCTION.
2. ALL TREES & PLANT MATERIAL SUPPLIED BY CONTRACTOR TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE & DELIVERY TO SITE.
3. PLANT SIZES SHALL BE AS THE CURRENT EDITION OF CANADIAN LANDSCAPE STANDARD. WHERE THE PLANT LIST SPECIFIES FOR #5 CLASS CONTAINER, PLANT SIZE SHALL BE DEFINED AS PER CNLA(ANSI) STANDARD UNLESS OTHERWISE NOTED.
4. TOP DRESS ALL PLANTING BEDS WITH 1-1/2" OF WEST CREEK FARMS AGED BLACK BARK MULCH.
5. SUB-SURFACE GRADE TO BE SLOPED TOWARDS DRAINAGE PIPE. ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING WHERE PLANTING SOIL IS AGAINST THE BUILDING FACE.
6. CONTRACTOR TO PROVIDE SOIL REPORT WITH RECOMMENDATIONS TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. RECOMMENDATIONS TO BE FOLLOWED BY CONTRACTOR.
7. ALL SOIL SHALL BE FREE OF PLASTIC & ANY OTHER FOREIGN OBJECTS.
8. PROVIDE MIN. 5 CUBIC METERS OF SOIL PER TREE UNLESS OTHERWISE NOTED ON SOIL DEPTH/PLANTING PLAN. MINIMUM SOIL DEPTHS ARE 12" IN LAWN, 18" IN GROUND COVER, 24" IN SHRUB AREAS.

PLANTING NOTES:

9. IRRIGATION PLAN TO BE PROVIDED FOR REVIEW & APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. ALL PLANTING AREAS TO BE FREE DRAINING. IRRIGATION TO BE PROVIDED FOR ALL ON SITE 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWINGS.
11. THE IRRIGATION SYSTEM DESIGN & INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS & GUIDELINES.
12. PLANTERS & PLANT POTS TO BE IRRIGATED WITH A HIGH EFFICIENCY IRRIGATION SYSTEM.
13. DO NOT CUT TREE LEADER. PROTECT TREES FROM DAMAGE DURING PLANTING. ENSURE ROOTBALL IS PROTECTED FROM SUN, FROST, & DESICCATION.
14. ENSURE TREE LOCATIONS DO NOT CONFLICT WITH UNDERGROUND SERVICES.
15. ENSURE TOP OF ROOTBALL IS AT OR SLIGHTLY ABOVE FINISHED GRADE. REMOVE TOP 1/3 OF THE BURLAP FROM ROOTBALL & TWINE FROM BASE OF TRUNK. REMOVE ANY SOIL ON TOP OF THE ORIGINAL ROOTBALL.



Magnolia grandiflora (MG)



Acer griseum (AGR)

NOTE:

RESS
WILL E
TON
USED
DING
YOU

ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AGR	2	<i>Acer griseum</i>	paperbark maple	4" cal	B&B
MG	6	<i>Magnolia grandiflora</i>	Southern magnolia	12" TALL	B&B. 12" TALL. 5' STD. SPECIMEN.
Total	8				

ID	QTY	BOTANICAL NAME	COMMON NAME	GRADE	COMMENTS
Au	13	<i>Arbutus unedo 'Compacta'</i>	compact strawberry bush	#10 pot	@ 5'-0" OC. Bird-friendly
Hp	14	<i>Hydrangea paniculata 'Limelight'</i>	Limelight hydrangea	#5 pot	@ 4'-0" OC
Roh	53	<i>Rosmarinus officinalis 'Huntington Carpet'</i>	huntington carpetg rosemary	#2 pot	@ 3'-0" OC, trailing rosemary
Hb	57	<i>Hebe pinguifolia 'Sutherlandii'</i>	Sutherland hebe	#1 pot	@ 2'-0" OC
Sl	52	<i>Salix purpurea 'Nana'</i>	dwarf arctic willow	#3 pot	@ 2'-6" OC
Th	51	<i>Taxus baccata 'Repandens'</i>	Repandens English yew	#2 pot	@ 2'-6" OC
Pmp	16	<i>Pinus mugo var. pumilio</i>	dwarf mugo pine	#5 pot	@ 2'-6" OC
Tmh	60	<i>Taxus x media 'Hicksii'</i>	Hicks yew	2ft wide	FULL THICK, 6'-0" TALL, @ 2'-6" OC
Ch	5	<i>Choisya ternata</i>	Mexican orange blossom	#5 pot	@ 4" OC
PERENNIALS, FERNS, AND GRASSES					
gp	53	<i>Carex pensylvanica</i>	Pennsylvania sedge	#1 pot	@ 1'-0" OC
Lah	227	<i>Lavandula angustifolia 'Hidcote'</i>	French lavender	#1 pot	@ 1'-6" OC
ms	37	<i>Miscanthus sinensis 'Silberfeder'</i>	Chinese silver grass	#3 pot	@ 3'-6" OC
pv	10	<i>Panicum virgatum 'Northwind'</i>	Northwind switch grass	#2 pot	@ 2'-0" OC
pal	119	<i>Pennisetum alopecuroides</i>	fountain grass	#1 pot	@ 2'-0" OC
GROUNDCOVERS					
In	92	<i>Lonicera nitida</i>	box honeysuckle	#2 pot	@ 2'-6" OC
Total	899				

PROJECT:

1337 OTTAWA AVE
EAST LOT
WEST VANCOUVER, BC

DRAWING DATE:
JAN 15, 2024

DRAWING STAGE:
CONSTRUCTION

REV DATE ISSUED FOR
JAN 15, 2024 CLIENT REVIEW

TREE & PLANTING PLAN

SCALE: 1/8" = 1'-0"

L-1.01



OTTAWA Subdivision

TREES & PLANTS IMAGES

JANUARY 2024



LIFESTYLES DESIGNED LANDSCAPE ARCHITECTURE



Acer griseum (AGR)



Magnolia grandiflora (MG)





Pennisetum alopecuroides (pal)



Salix purpurea (Sl)



Pinus sylvestris glauca nana (Py)



Rosmarinus 'Huntington Carpet'(Roh)



Lavandula 'Hidcote' (Lah)



Panicum virgatum Northwind (pv)



Taxus baccata 'Repandens' (Tb)



Arbutus unedo (Au)



Hydrangea paniculata 'Limelight' (Hp)



Miscanthus sinensis 'Silberfeder' (ms)



Choisya ternata (Ch)



Hebe 'Sutherlandii' (Hb)



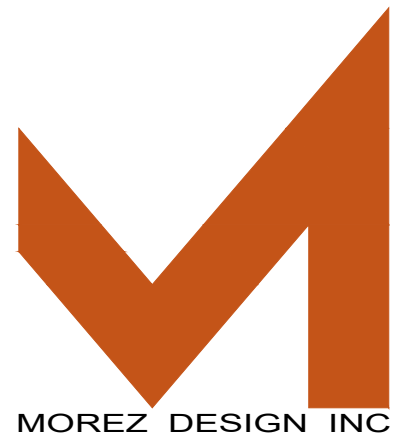
Lonicera nitida (Ln)



Carex pensylvanica (cp)



Taxus x media 'Hicksii' (Tmh)



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www.morezdesign.ca
C: 604-727-2664
T: 778-319-6489

NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

CIVIC ADDRESS:
1337 OTTAWA AVE.
WEST VANCOUVER, BC

LEGAL DESCRIPTION:
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:
004-317-556

TITLE:
SITE PLAN

CLIENT:
RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV-01:
REV-02:

SCALE:
1/8" = 1'-0"

DWG NO.
A-1.1

EXISTING PROPERTY INFORMATION

Address : 1337 Ottawa Ave., West Vancouver, BC

Legal Description PLAN 15681 DISTRICT LOT 1083 WEST 1/2 OF NORTH EAST 1/4 LOT A

LTOPID 004-317-556

Lot Depth: 104.92' [31.980m]

Lot Width: 144.73' [44.114m]

Lot Area: 15,203SQ.FT. [1,412.4 SQ.M]

Zone: RS3

PROPOSED PROPERTY ZONING DATA

	RS-3 Zoning	Proposed
SITE AREA	957 SQ.M.	707.53 SQ.M.
SITE WIDTH & DEPTH		
Width	18.30 M	22.06 M
Depth	91.50 M	31.98 M
SITE COVERAGE		
	266 SQ.M.	173 SQ.M.

FLOOR AREA RATIO

	212.26 Sq.M. (30%)	212.26 Sq.M. (30%)
--	--------------------	--------------------

SETBACKS

Front Yard	9.1 M (29' 10")	9.14 M (30' 0")
Rear Yard	9.1 M (29' 10")	9.14 M (30' 0")
Min. Side Yard	2.2 M (7' 3")	2.35 M (7' 8")
Combined Side Yards	5.51 M (18' 1")	5.99 M (19' 7")

BUILDING HEIGHT

	7.62 M (25' 0")	7.54 M (24' 9")
--	-----------------	-----------------

NUMBER OF STOREYS

	2 Plus Basement	2 Plus Basement
--	-----------------	-----------------

HIGHEST BUILDING FACE

	6.7 M (22' 0")	6.7 M (22' 0")
--	----------------	----------------

BASEMENT FSR CALCULATION

		Fully Exempted
--	--	----------------

PROPOSED PROPERTY INFORMATION

GRADES & ELEVATIONS

AVERAGE GRADE	106.14 M	348.23 Ft.
LOWER FLOOR ELEVATION	103.78 M	340.50 Ft.
MAIN FLOOR ELEVATION	106.53 M	349.50 FT.
UPPER FLOOR ELEVATION	109.73 M	360.00 Ft.

AREA CALCULATION

LOWER FLOOR	112.70 Sq.M.	1,213 Sq.Ft.
MAIN FLOOR	112.70 Sq.M.	1,213 Sq.Ft.
UPPER FLOOR	99.60 Sq.M.	1,072 Sq.Ft.
GARAGE	40.97 Sq.M.	441 Sq.Ft.
Total Gross Area	365.97 Sq.M.	3,939.27 Sq.Ft.

MAIN BUILDING GRADE CALCULATION

AB	(	362.20 +	361.00	/2=	361.60 x	16.66	=	6024.26
BC	(	361.00 +	349.00	/2=	355.00 x	2.33	=	827.15
CD	(	349.00 +	349.00	/2=	349.00 x	15.17	=	5294.33
DE	(	349.00 +	349.00	/2=	349.00 x	5.42	=	1891.58
EF	(	349.00 +	349.00	/2=	349.00 x	18.33	=	6397.17
FG	(	349.00 +	348.00	/2=	348.50 x	23.33	=	8130.51
GH	(	348.00 +	347.50	/2=	347.75 x	2.83	=	984.13
HI	(	347.50 +	347.50	/2=	347.50 x	9.00	=	3127.50
IJ	(	347.50 +	340.00	/2=	343.75 x	11.66	=	4008.13
JK	(	340.00 +	340.00	/2=	340.00 x	21.33	=	7252.20
KL	(	340.00 +	340.00	/2=	340.00 x	4.92	=	1672.80
LM	(	340.00 +	340.00	/2=	340.00 x	5.00	=	1700.00
MN	(	345.00 +	345.00	/2=	345.00 x	4.00	=	1380.00
NO	(	355.00 +	349.00	/2=	352.00 x	3.33	=	1172.16
OP	(	349.00 +	349.00	/2=	349.00 x	6.16	=	2149.84
PQ	(	349.00 +	349.00	/2=	349.00 x	2.66	=	928.34
QR	(	349.00 +	349.00	/2=	349.00 x	7.83	=	2732.67
RS	(	349.00 +	349.00	/2=	349.00 x	7.75	=	2704.75
ST	(	349.00 +	349.00	/2=	349.00 x	8.75	=	3053.75
TU	(	349.00 +	349.00	/2=	349.00 x	8.50	=	2966.50
UA	(349.00 +	349.00	/2=	349.00 x	13.33	=	4652.17
						198.29		69049.93
								348.23

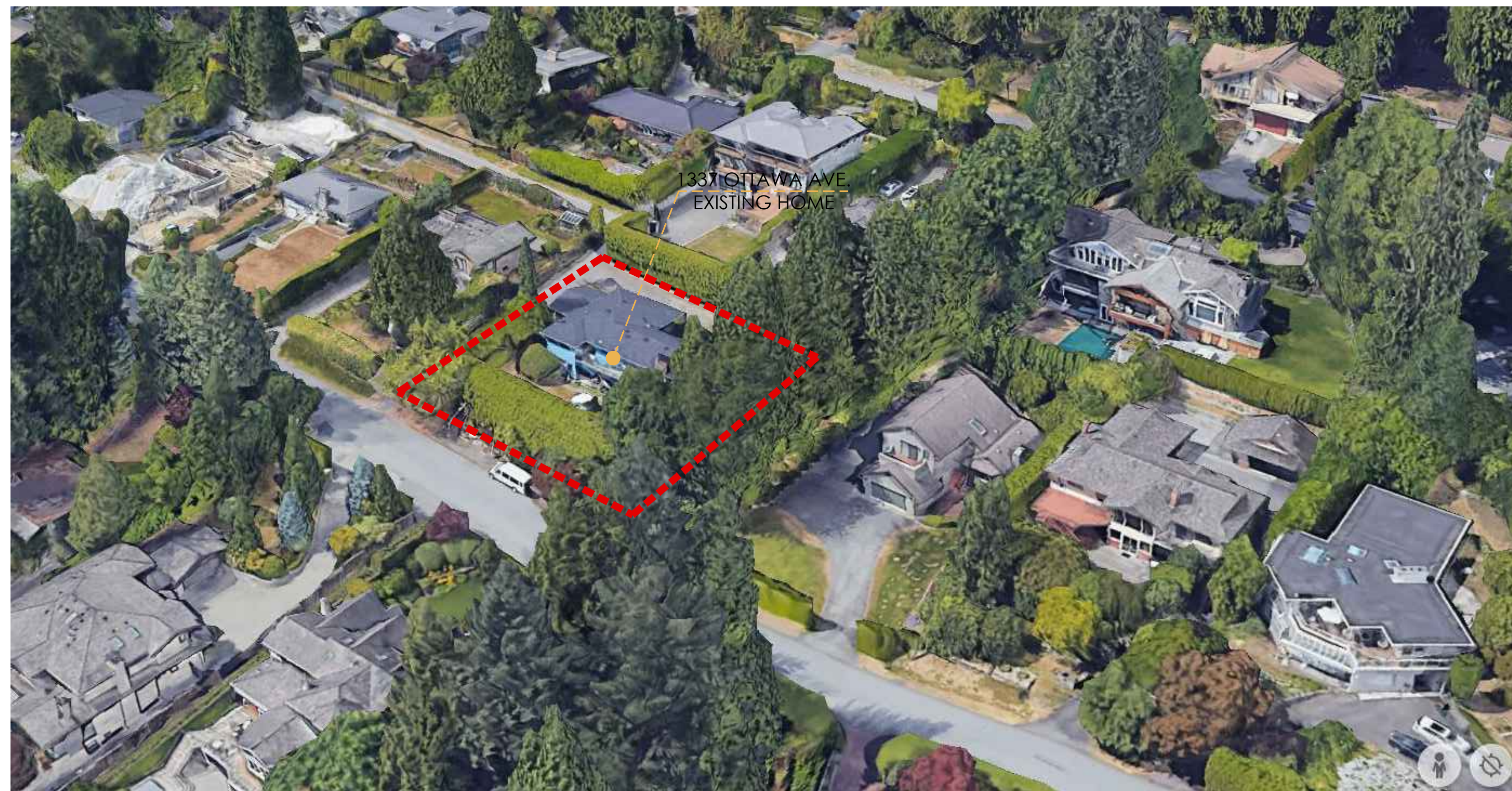
AVERAGE GRADE ELEVATION 348.23



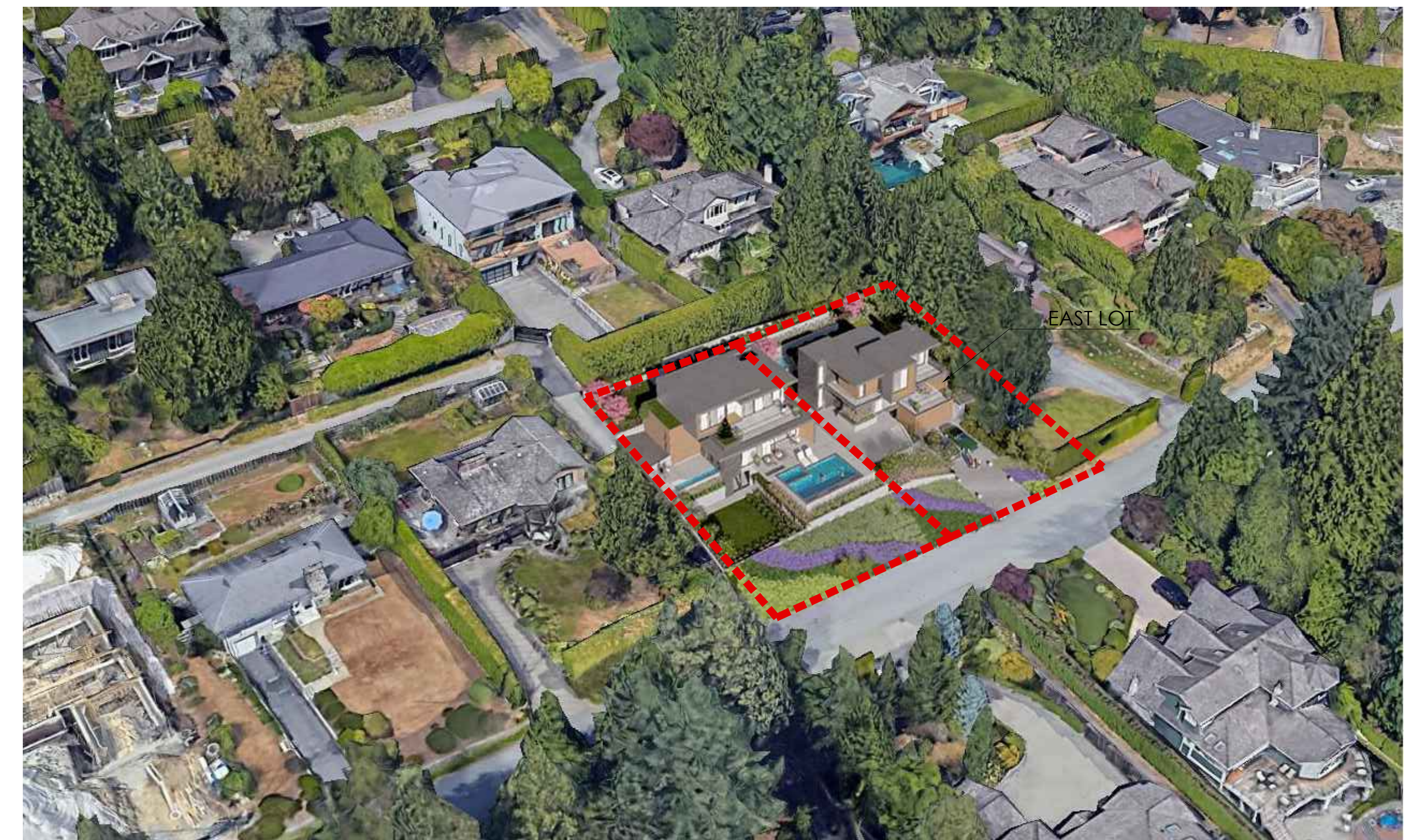
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1337 OTTAWA AVE. - PROPOSED TWO SINGLE FAMILY HOME
BIRD EYE VIEW



1337 OTTAWA AVE. - EXISTING HOME



1337 OTTAWA AVE. - PROPOSED TWO SINGLE FAMILY HOME

1337 OTTAWA AVE. LOCATION & CONTEXT MAP



1337 OTTAWA AVE.
LOCATION & CONTEXT MAP

MATERIALS & SPECIFICATIONS



Espresso NH4994U Golden Brown NH4993U



Cappuccino NH4991U

BASIC SPECIFICATIONS	
Panel Type	Extruded
Application Method	Vertical or Horizontal
Coating Options	Triple Coated (4 colors)
Dimensions	W: 18" (455 mm) L: 10' (3050 mm) T: 5/8" (16 mm)
Coverage	15 sq ft (1.38 m ²)
Weight	49 lb (22 kg)
The Triple Coating is super weather resistant, low maintenance, and backed by a 20-year limited warranty.	
Please visit our website for additional CERACLAD product information including:	
<ul style="list-style-type: none"> Product samples Custom color samples Specifications CAD details Product performance and approval documents MSDS 	

- The product color shown on this sheet may appear slightly different from the actual products. Final color selection should be made from product samples.
- Colors and textures can change over time.
- Damage caused by any product installation, repair, or replacement that is not in accordance with KIEWIT's technical manual, as well as damage caused by product installation on inappropriate building structures, is specifically excluded from warranty coverage. Please review KIEWIT's technical manual and website for this product.

1- FIBER CEMENT BOARD (WOOD TEXTURE)
Cappuccino

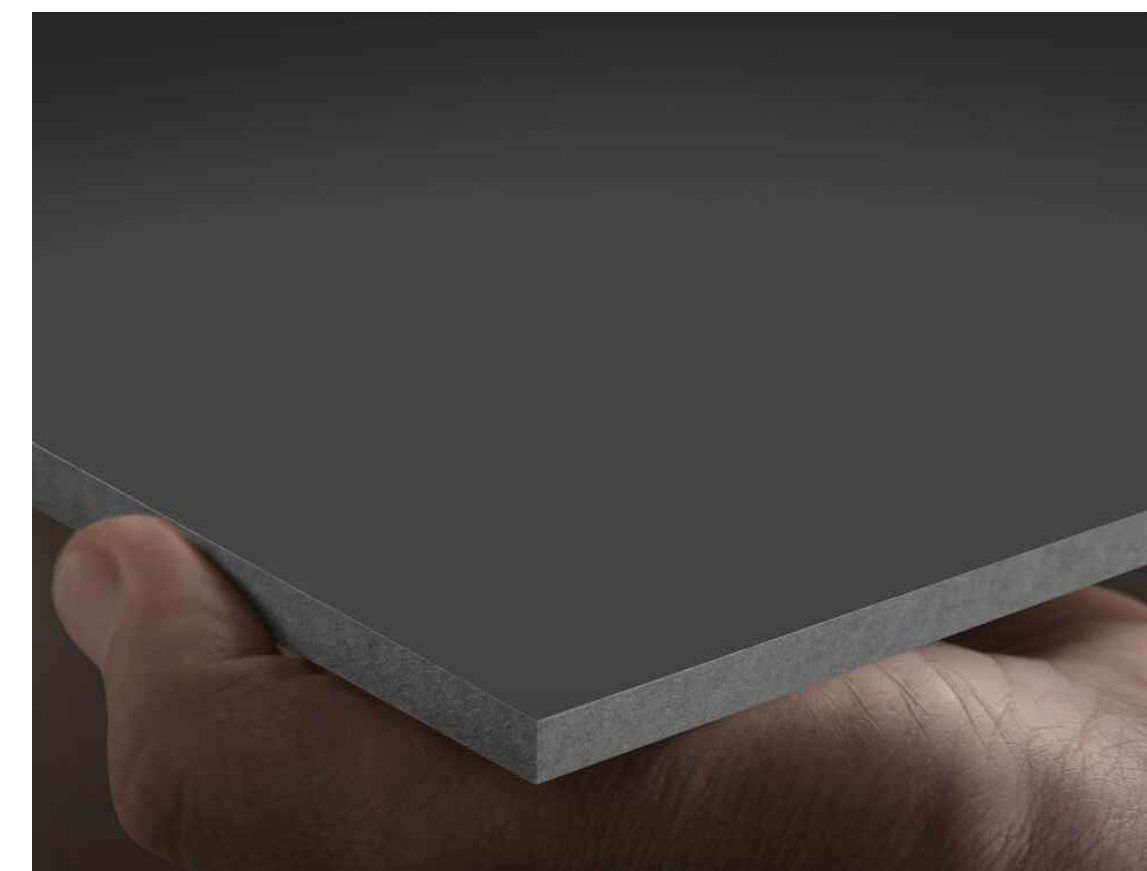
<p>Quality raw materials Materie prime di qualità / Materiales primos de calidad / Qualidade das matérias-primas / Высококачественные сырье</p>	<p>Versatile for any project Versatile per qualsiasi progetto / Polyvalentes pour tout projet / Versátil para cualquier proyecto / Универсальность для любых проектов</p>
<p>Non-absorbent Non-assorbente / Non absorbant / No absorbente / Водонепроницаемая</p>	<p>Frost-resistant Resistente al gelo / Résistantes au gel / Resistente a las heladas / Морозостойкая</p>
<p>Heat-resistant Resistente al calor / Résistantes à la chaleur / Resistente al calor / Жароустойчивая</p>	<p>No colour alteration Nessuna alterazione cromatica / Aucune altération chromatique / No se altera el color / Цветостойкая</p>
<p>Easy workability Facile lavorabilità / Facile a trabajar / Fácil trabajabilidad / Einfache Verarbeitbarkeit / Легкая обработка</p>	<p>Resistant to heavy loads Resistente a carichi elevati / Résistantes aux charges élevées / Resistente a cargas elevadas / Beständig gegen hohe Belastungen / Устойчивость к высоким нагрузкам</p>
<p>Easy to clean Facile da pulire / Facile a nettoyer / Fácil de limpiar / Reinigungsfähigkeit / Простая уборка</p>	<p>Hygienic surface Superficie igienica / Surface hygiénique / Superficie higiénica / Гигиеническая поверхность</p>
<p>Scratch and abrasion resistant Resistente a graffi e alle abrasioni / Resistente aux égratoures et aux abrasions / Resistente a los rasguños y a la abrasión / Кратко- и абразивостойкая</p>	<p>Resistant to liquids and acids Resistente ai liquidi e agli acidi / Resistente aux liquides et aux acides / Resistente a los líquidos y ácidos / Resistente gegen Flüssigkeiten und Säuren / Устойчивость к жидкостям и кислотам</p>
<p>Non-toxic and microparticle-free slabs Lamine atossiche e senza inclusioni di microparticelle / Plaque non toxiques et sans inclusion de micro-particules / Placa no tóxica y sin inclusion de micropartículas / Langfolge Platten, die keine Mikropartikel abgeben / Не токсичные плиты, не выделяющие микропыль</p>	<p>Surface suitable for food contact Superficie idonea al contatto con alimenti / Surface adaptée au contact des aliments / Superficie apta para el contacto con alimentos / Oberfläche für den Kontakt mit Lebensmitteln geeignet / Подходящая для контакта с пищевыми продуктами</p>



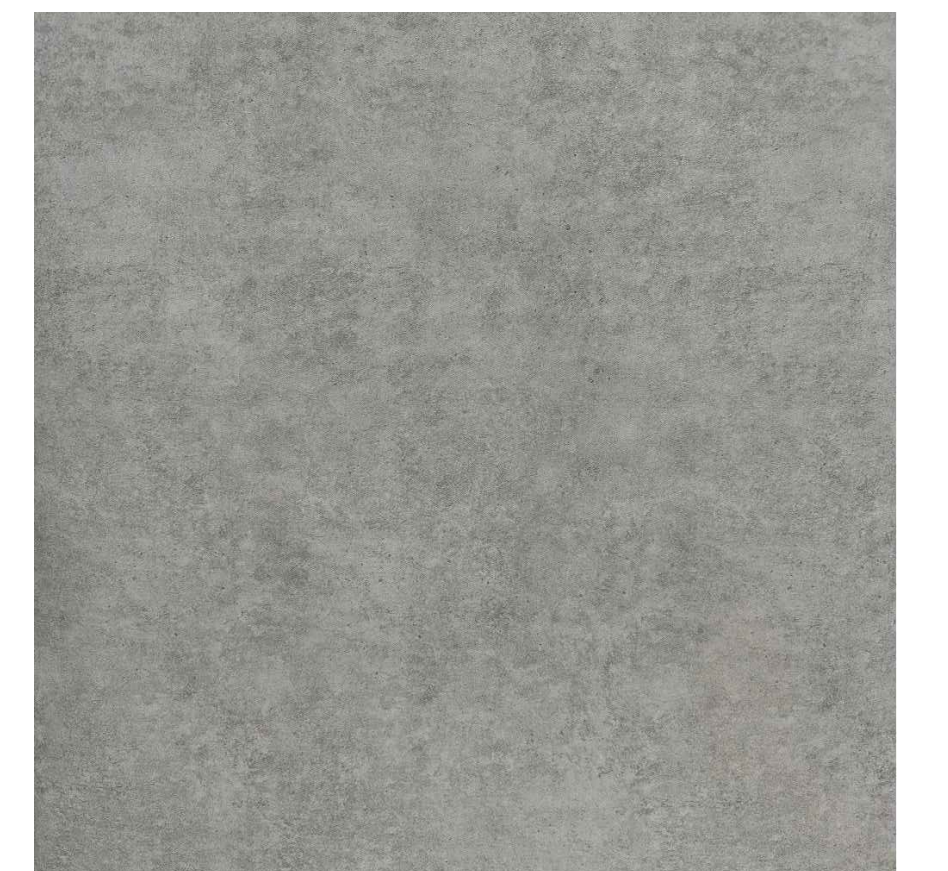
3-STUCCO - SMOOTH
Gray



5-WOODEN SOFFIT
Natural



4-FIBER CEMENT FASCIA/CLADDING
CHARCOAL GRAY



6-BRUSHED CONCRETE
Light Gray



2-PORCELAIN CLADDING
Pietra Grey

MATERIAL SUSTAINABILITY DATASHEET EQUITONE [pictura]
This document provides an overview of the most important environmental performance data of EQUITONE [pictura]. It is assessed and updated periodically to ensure accuracy and transparency.



ENVIRONMENTAL PERFORMANCE
The environmental performance assessment of our materials is based on international standards (ISO 14025) and verified by external experts. For more detailed information, see the full Environmental Product Declaration.

DURABILITY
EQUITONE [pictura]
With an expected lifetime of 50 years or more, EQUITONE panels offer excellent durability. They are designed for durability with weathered finishes systems, allowing reuse in facade cladding or other applications.

3D VISUALIZATION



SOUTH ELEVATION



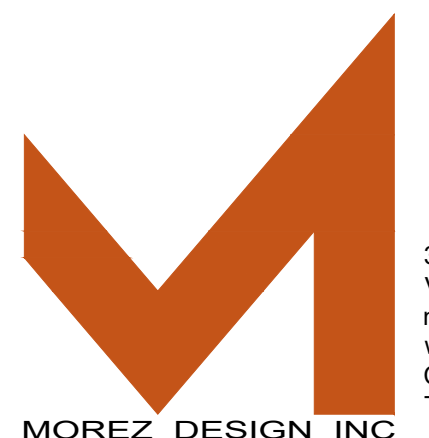
SOUTH - WEST ELEVATION



NORTH - WEST ELEVATION



SOUTH - EAST ELEVATION



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MOREZ DESIGN INC

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

SMOKE DETECTOR

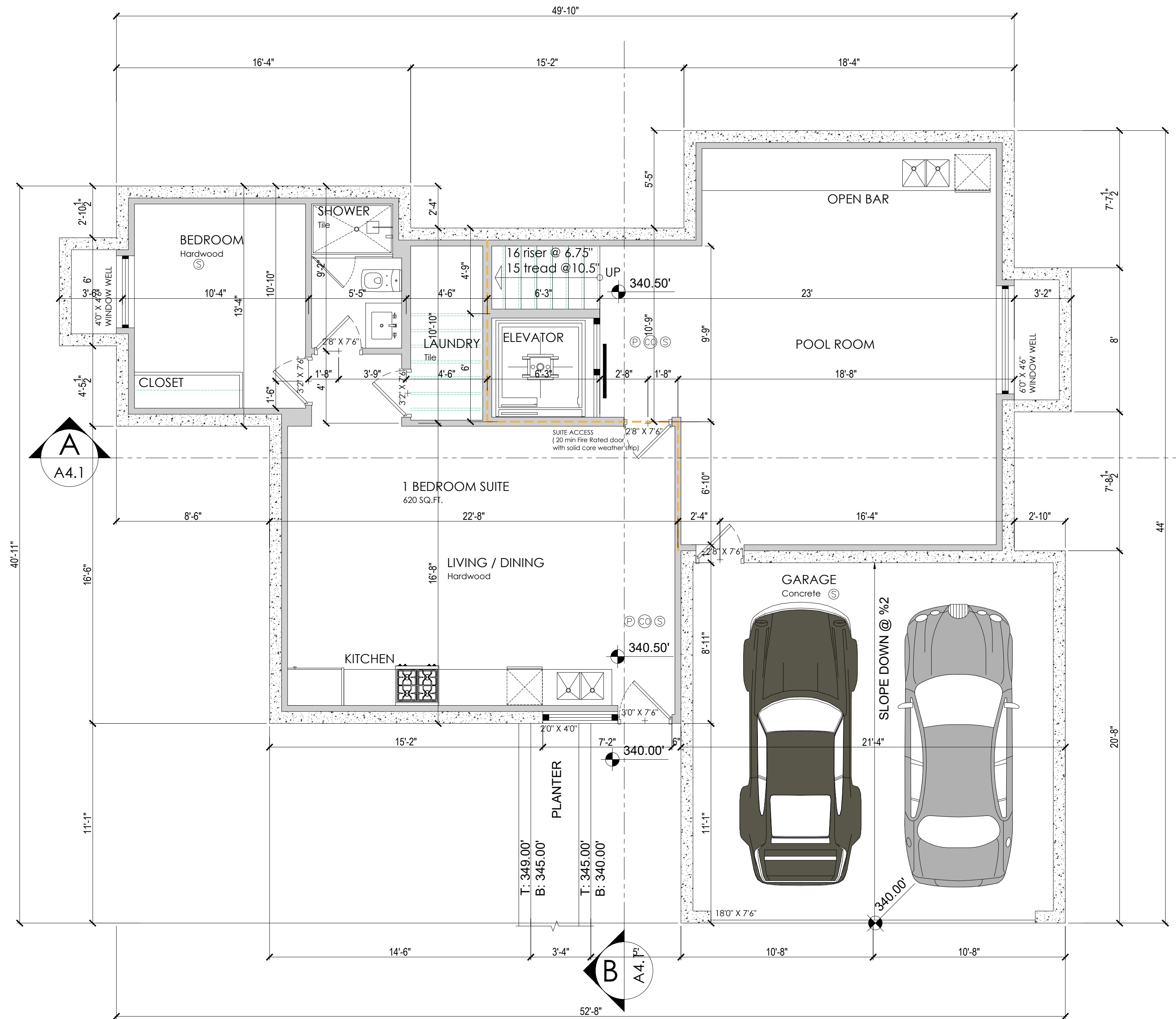
CO DETECTOR

EXHAUST FAN ABOVE

S.G. : SAFETY GLASS WINDOW

E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



LOWER FLOOR PLAN

1,654 S.F. Including 620 sqft suite & 441 sqft Garage



morez@morezdesign.ca
www.morezdesign.ca
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T: 778-319-6489

NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

CIVIC ADDRESS :
1337 OTTAWA AVE.
WEST VANCOUVER , BC

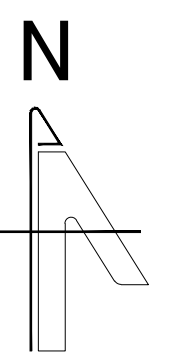
LEGAL DESCRIPTION :
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID :
004-317-556

TITLE :
LOWER FLOOR

CLIENT:
RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY :

MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01 :
REV- 02 :

SCALE:
1/4" = 1'-0"

DWG NO.
A - 1.2

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

SMOKE DETECTOR

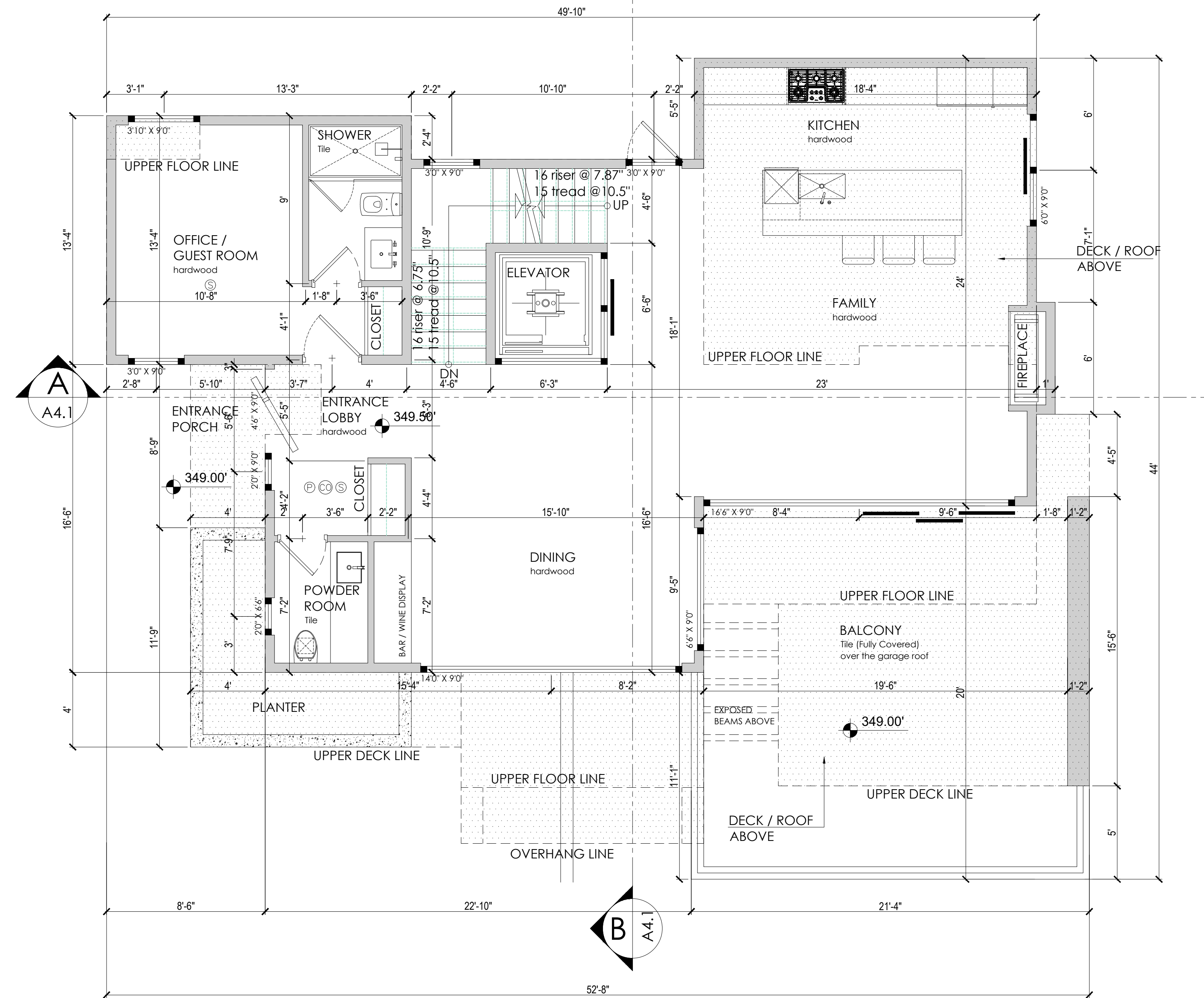
CO DETECTOR

EXHAUST FAN ABOVE

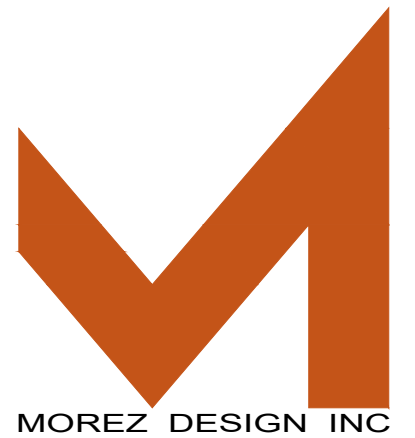
S.G. : SAFETY GLASS WINDOW

E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



MAIN FLOOR PLAN
1,213 S.F.



morez@morezdesign.ca
www.morezdesign.ca
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NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

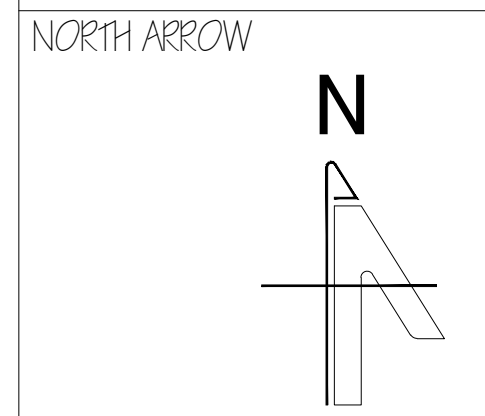
CIVIC ADDRESS:
1337 OTTAWA AVE.
WEST VANCOUVER, BC

LEGAL DESCRIPTION:
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:
004-317-556

TITLE:
MAIN FLOOR

CLIENT:
RAMIN BAGHERI



CAD FILE:

DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV-01:
REV-02:

SCALE:
1/4" = 1'-0"

DWG NO.
A - 1.3

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

SMOKE DETECTOR

CO DETECTOR

EXHAUST FAN ABOVE

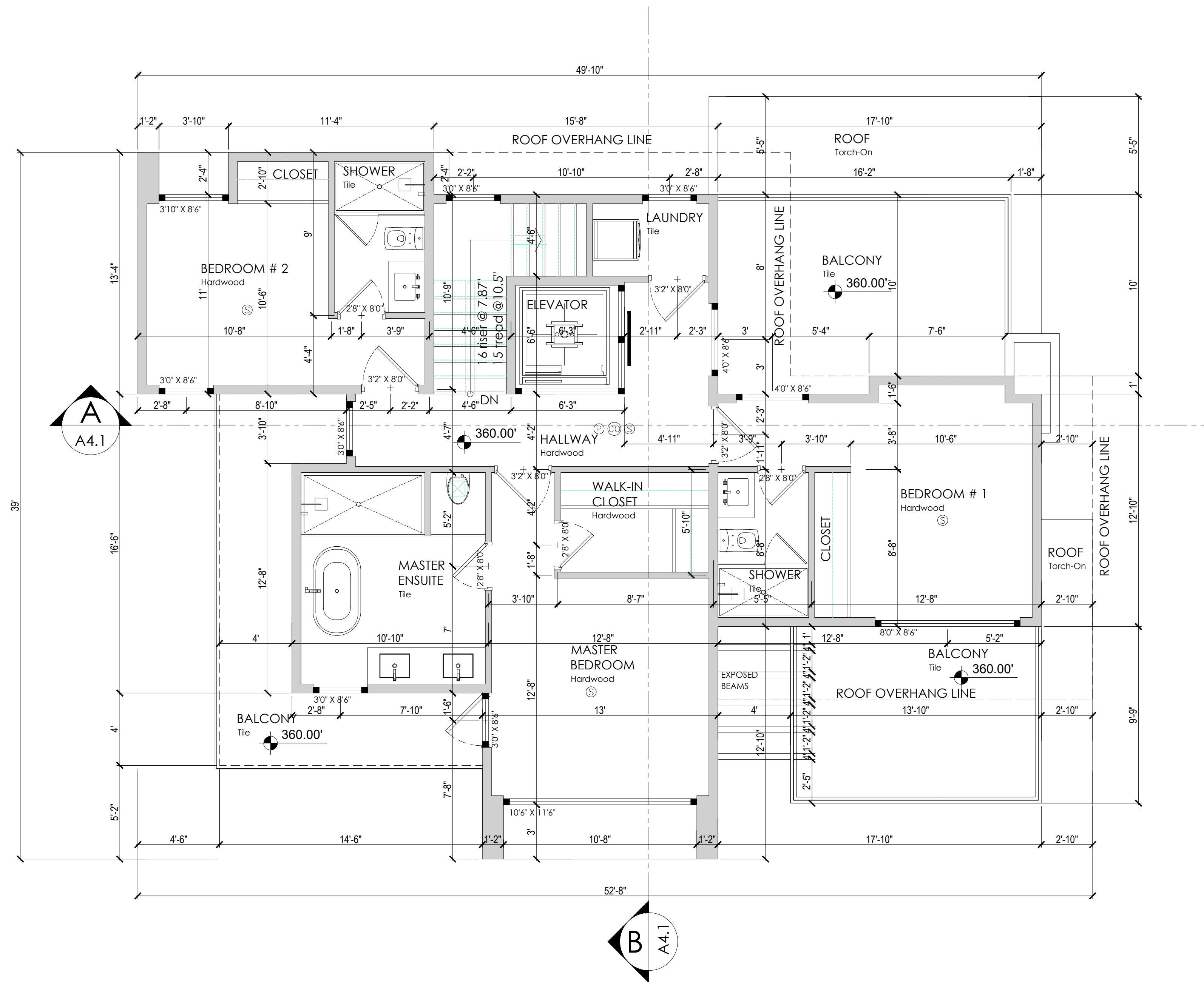
S.G. : SAFETY GLASS WINDOW

E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



morez@morezdesign.ca
www.morezdesign.ca
C: 604-727-2664
T: 778-319-6489



NOTES:

PROJECT:
PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

CIVIC ADDRESS:
1337 OTTAWA AVE.
WEST VANCOUVER, BC

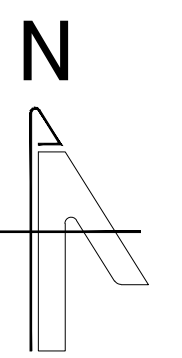
LEGAL DESCRIPTION:
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:
004-317-556

TITLE:
UPPER FLOOR

CLIENT:
RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01 :
REV- 02 :

SCALE:
1/4" = 1'-0"

DWG NO.
A - 1.4

UPPER FLOOR PLAN

1,072 S.F.

NOTES:

INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.

SMOKE DETECTOR

CO DETECTOR

EXHAUST FAN ABOVE

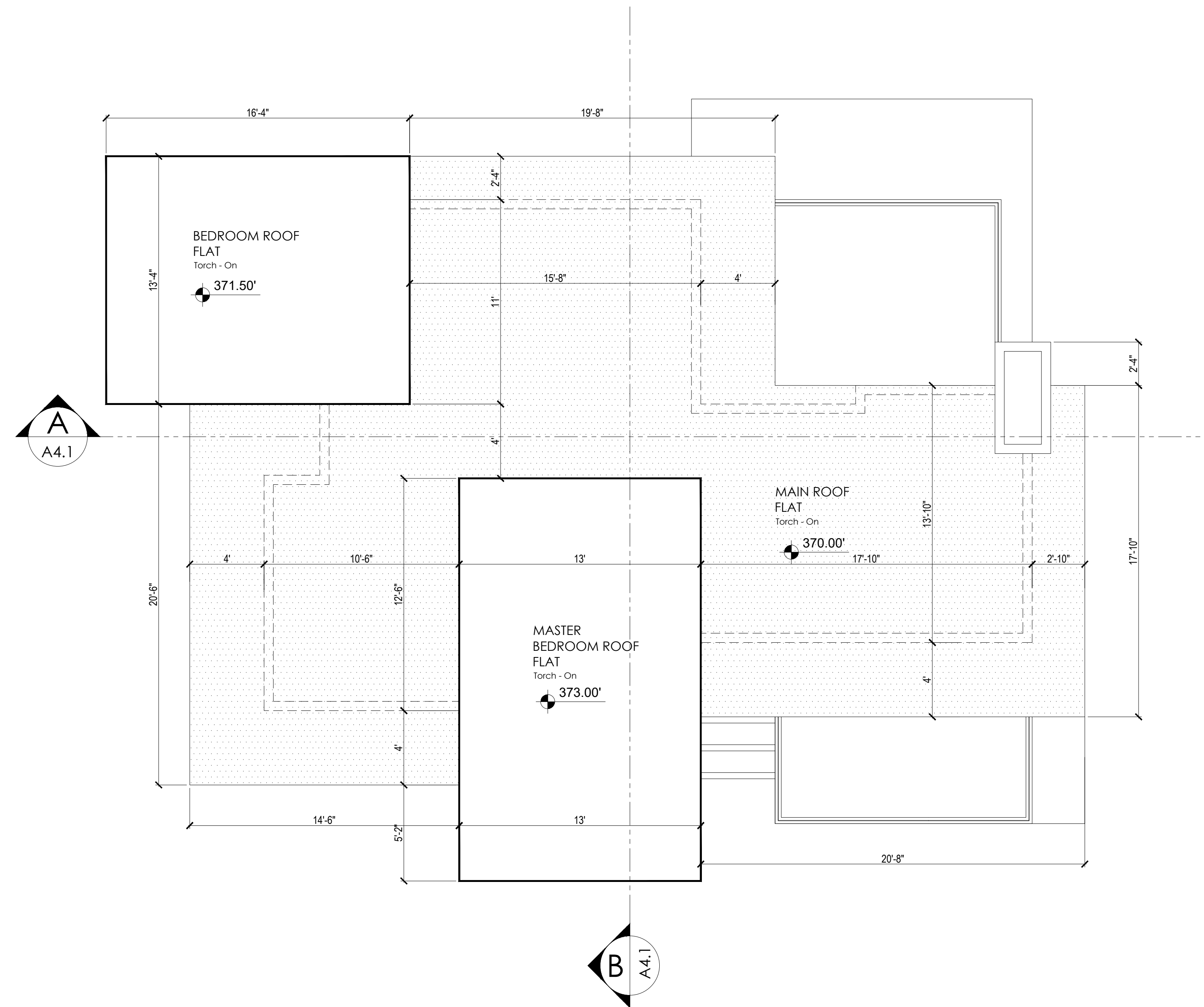
S.G. : SAFETY GLASS WINDOW

E.D. : ENERGY DISPLAY UNIT

MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.



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SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

CIVIC ADDRESS:
1337 OTTAWA AVE.
WEST VANCOUVER, BC

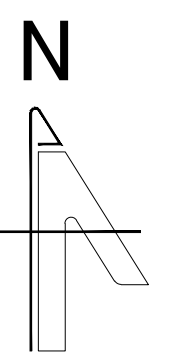
LEGAL DESCRIPTION:
PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:
004-317-556

TITLE:
ROOF FLOOR

CLIENT:
RAMIN BAGHERI

NORTH ARROW



CAD FILE:

DESIGN BY:

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01:

REV- 02:

SCALE:
1/4" = 1'-0"

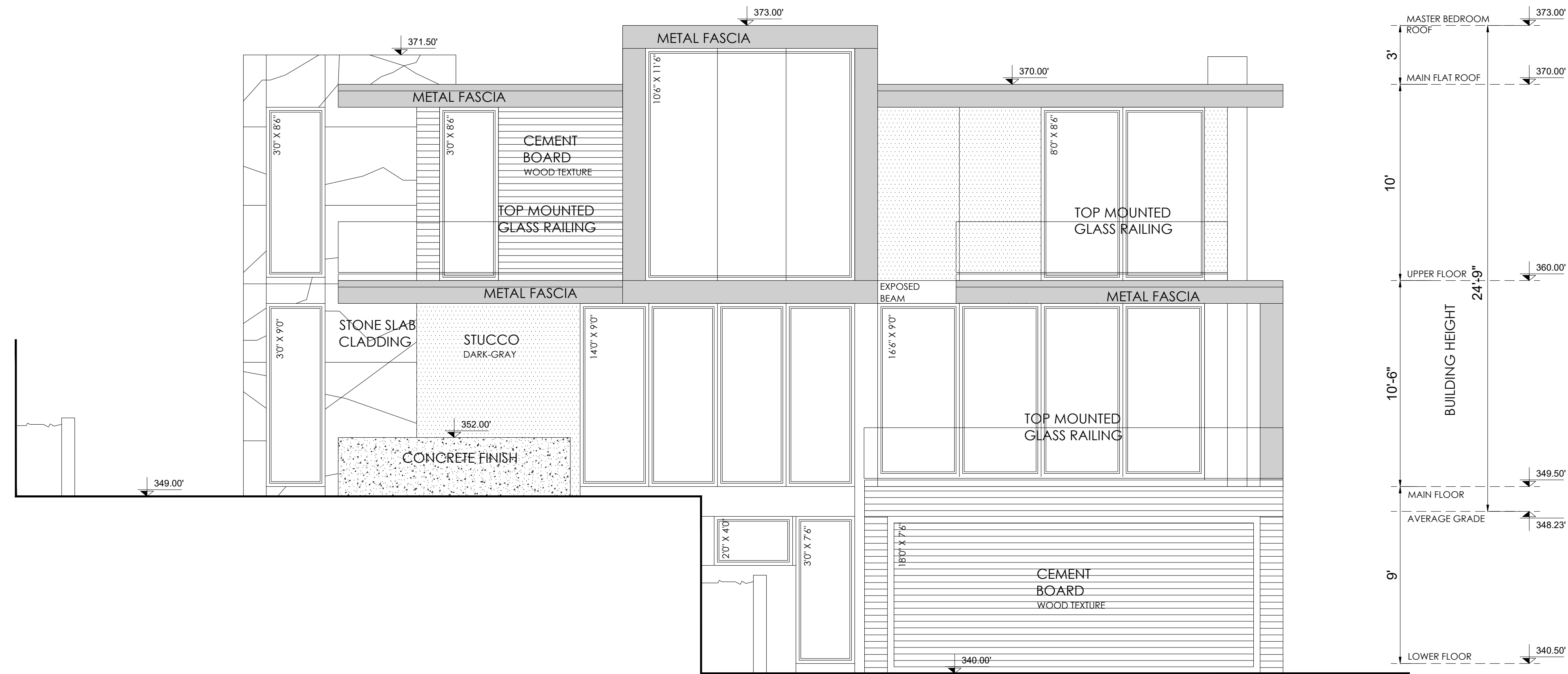
DWG NO.
A - 1.5

ROOF PLAN

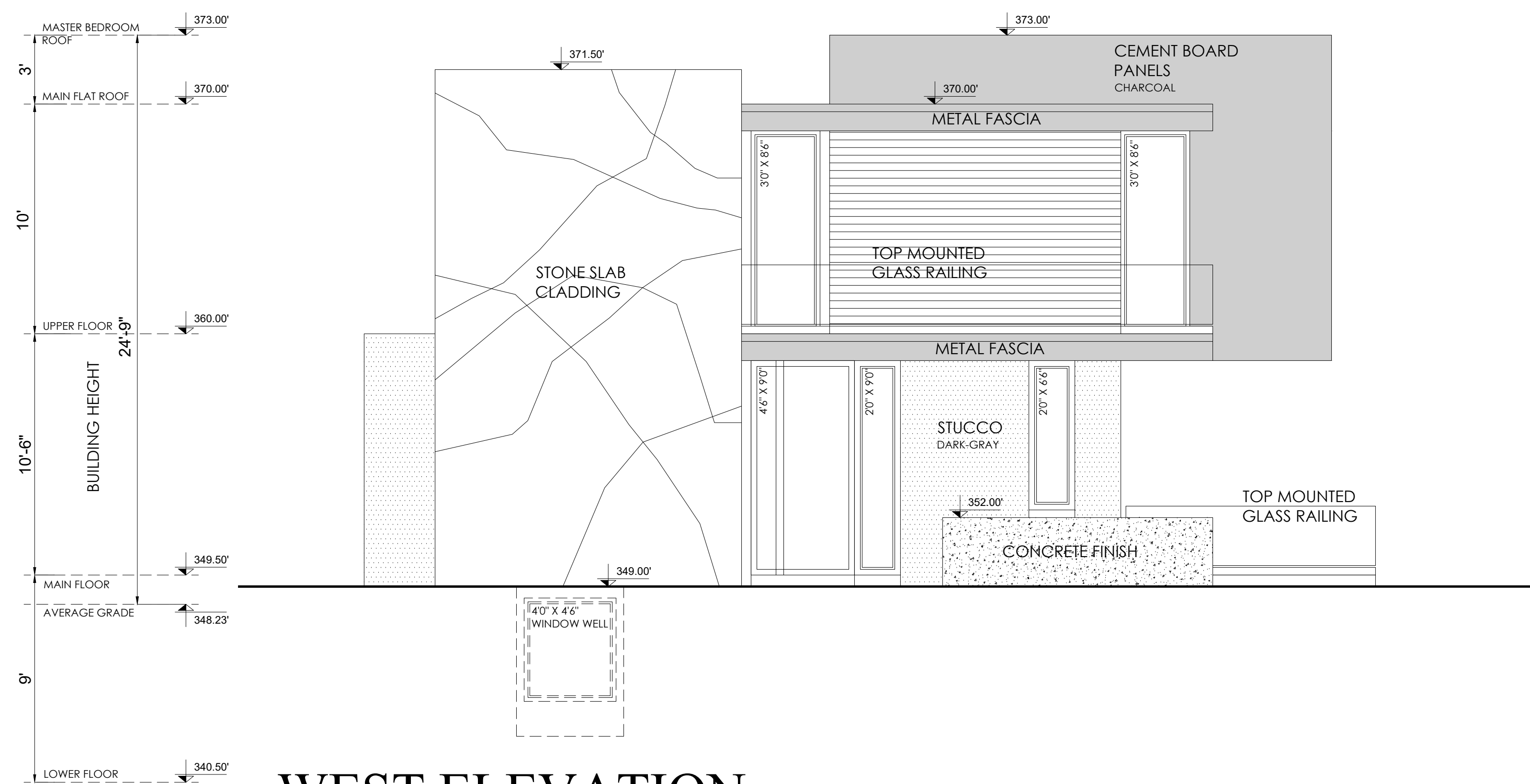


MOREZ DESIGN INC

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SOUTH ELEVATION



WEST ELEVATION

Maximum Area of Glazed Openings in Exterior Walls of Houses
Table 9.10.15.4., B.C.B.C. 2018
West Elevation

TOTAL AREA OF EXPOSING BUILDING FACE	LIMITING DISTANCE TO MIDDLE OF LANE	MAXIMUM ALLOWABLE UNPROTECTED OPENING %OF EXPOSING BUILDING FACE AREA	PROPOSED UNPROTECTED OPENING
800 SQ.FT. OR 74 SQ.M.	11.92 FT. OR 3.64 M.	21% = 168 SQ.FT.	125 SQ.FT.

NOTES:

PROJECT:

PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

CIVIC ADDRESS :

1337 OTTAWA AVE.
WEST VANCOUVER , BC

LEGAL DESCRIPTION :

PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID :

004-317-556

TITLE :

ELEVATIONS

CLIENT:

RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY :

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01 :

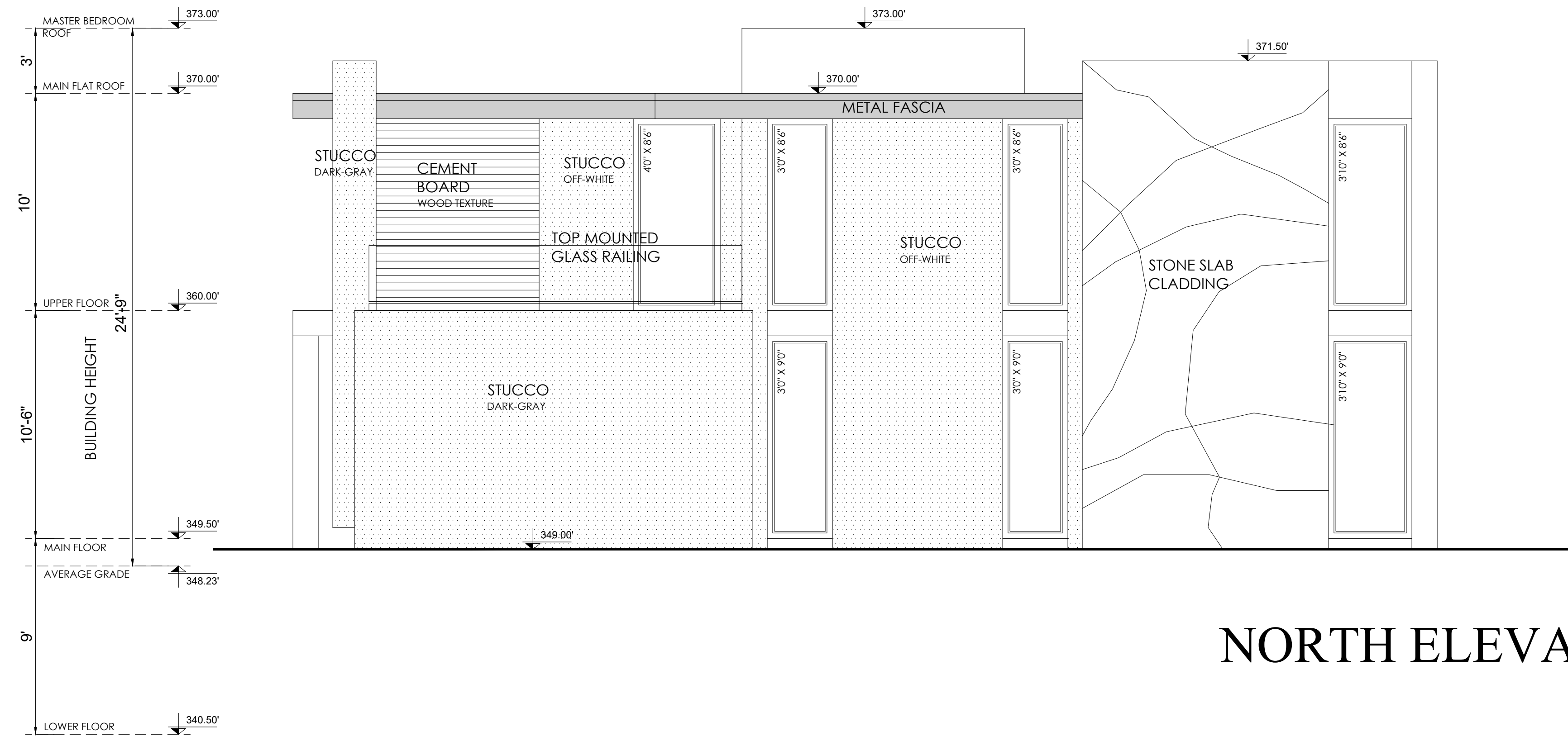
REV- 02 :

SCALE:

1/4" = 1'-0"

DWG NO.

A - 2.1



NORTH ELEVATION

NOTES:

PROJECT:
 PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (EAST LOT)

CIVIC ADDRESS:
 1337 OTTAWA AVE.
 WEST VANCOUVER, BC

LEGAL DESCRIPTION:
 PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID:
 004-317-556

TITLE:
 ELEVATIONS

CLIENT:
 RAMIN BAGHERI

NORTH ARROW

CAD FILE:

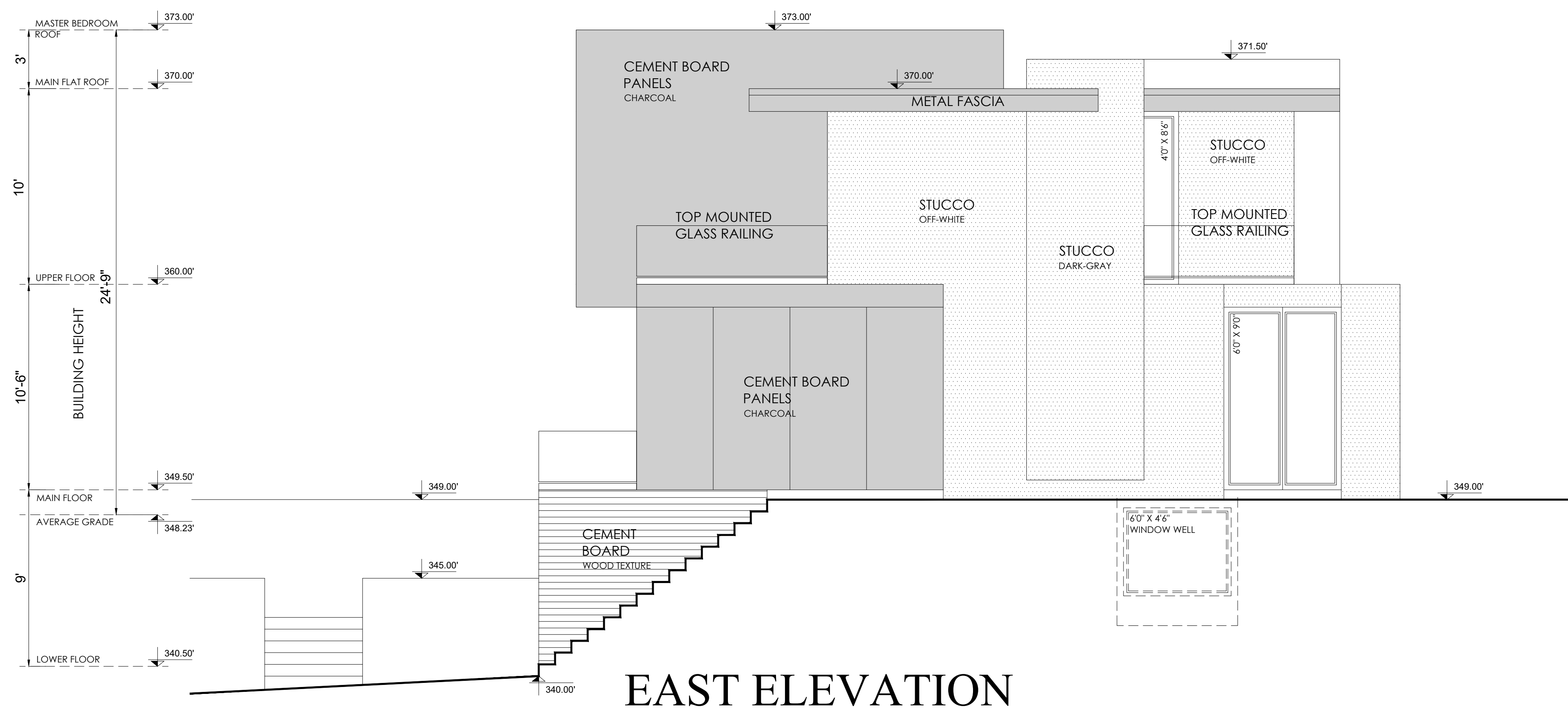
DESIGN BY:
 MOREZ DESIGN INC

DATE:
 FEBRUARY 19th 2024

REV-01:
 REV-02:

SCALE:
 1/4" = 1'-0"

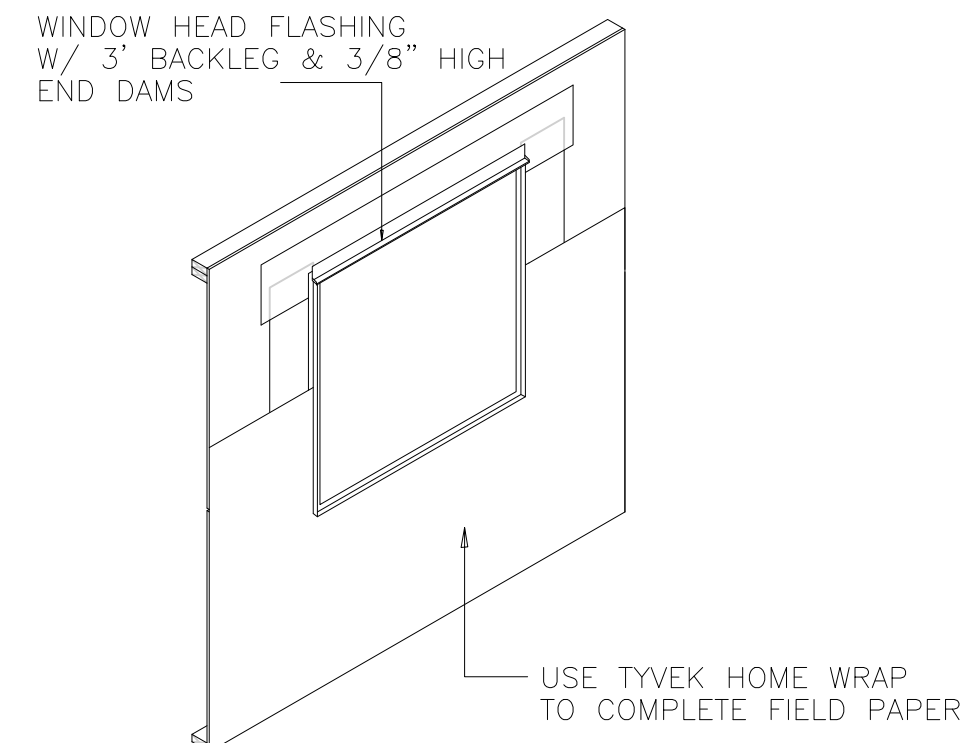
DWG NO.
 A - 2.2



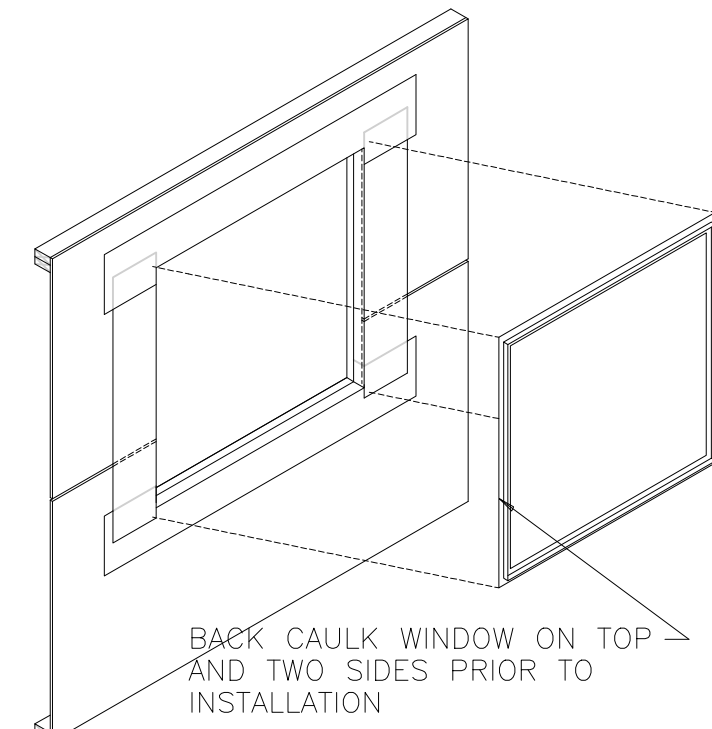
EAST ELEVATION

Maximum Area of Glazed Openings in Exterior Walls of Houses
 Table 9.10.15.4., B.C.B.C. 2018
 East Elevation

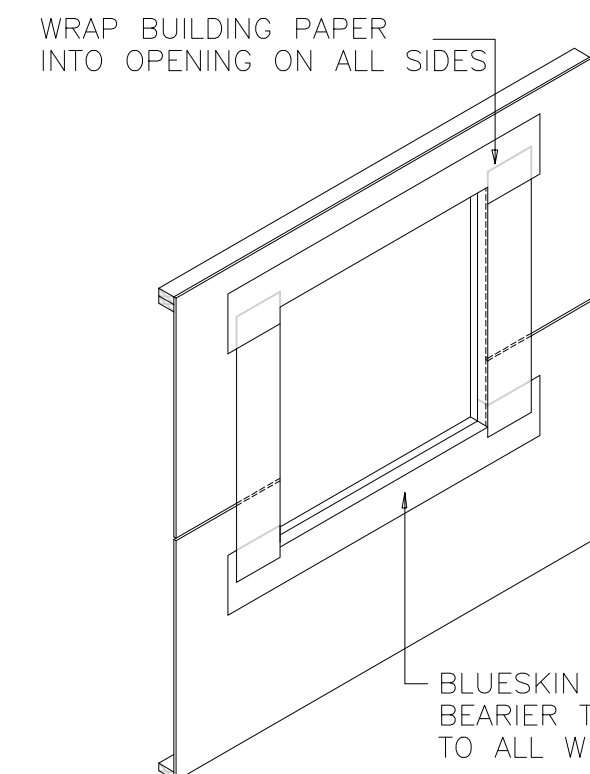
TOTAL AREA OF EXPOSING BUILDING FACE	LIMITING DISTANCE TO MIDDLE OF LANE	MAXIMUM ALLOWABLE UNPROTECTED OPENING %OF EXPOSING BUILDING FACE AREA	PROPOSED UNPROTECTED OPENING
688 SQ.FT. OR 64 SQ.M.	7.70 FT. OR 2.35 M.	13% = 89 SQ.FT.	88 SQ.FT.



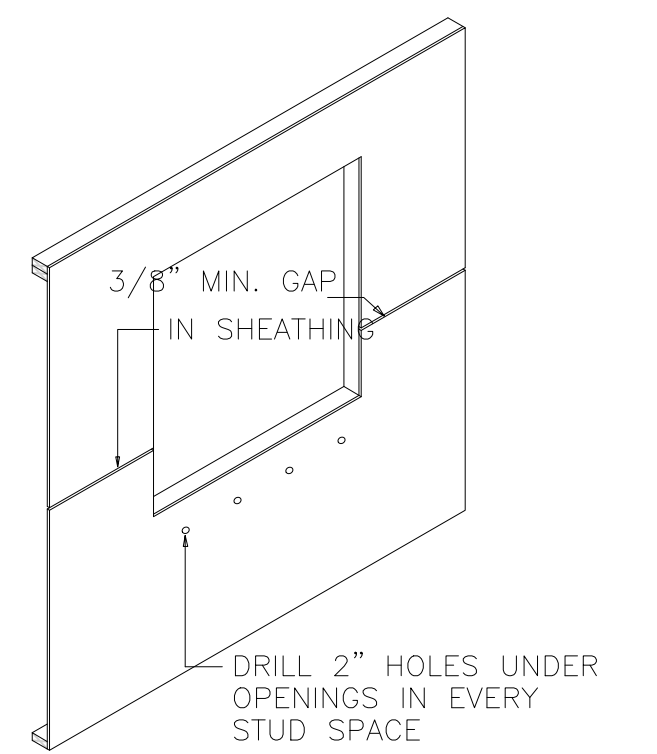
HOME WRAP INSTALLATION



WINDOW INSTALLATION DETAIL

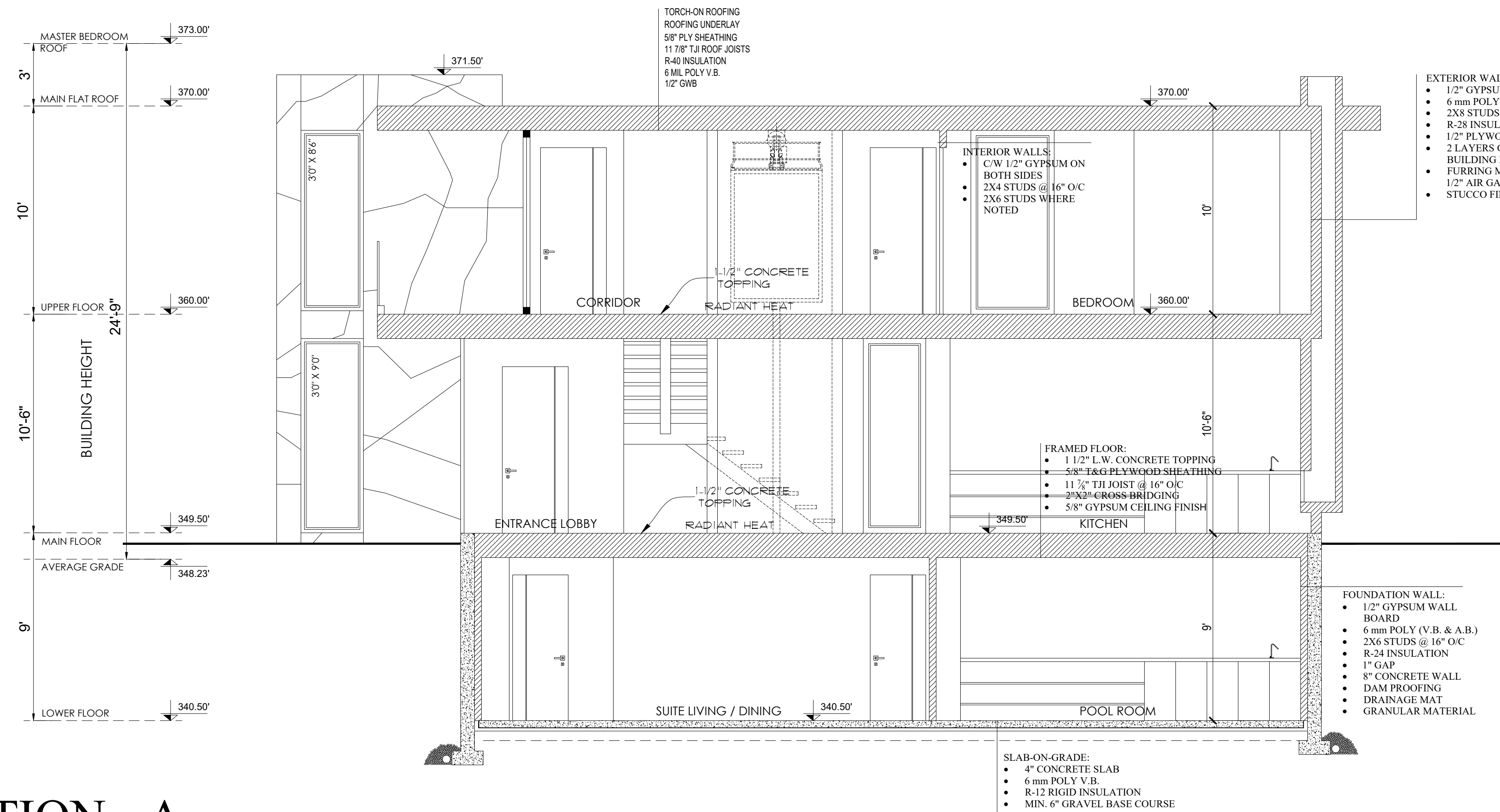


HOME WRAP @ OPENING DETAIL

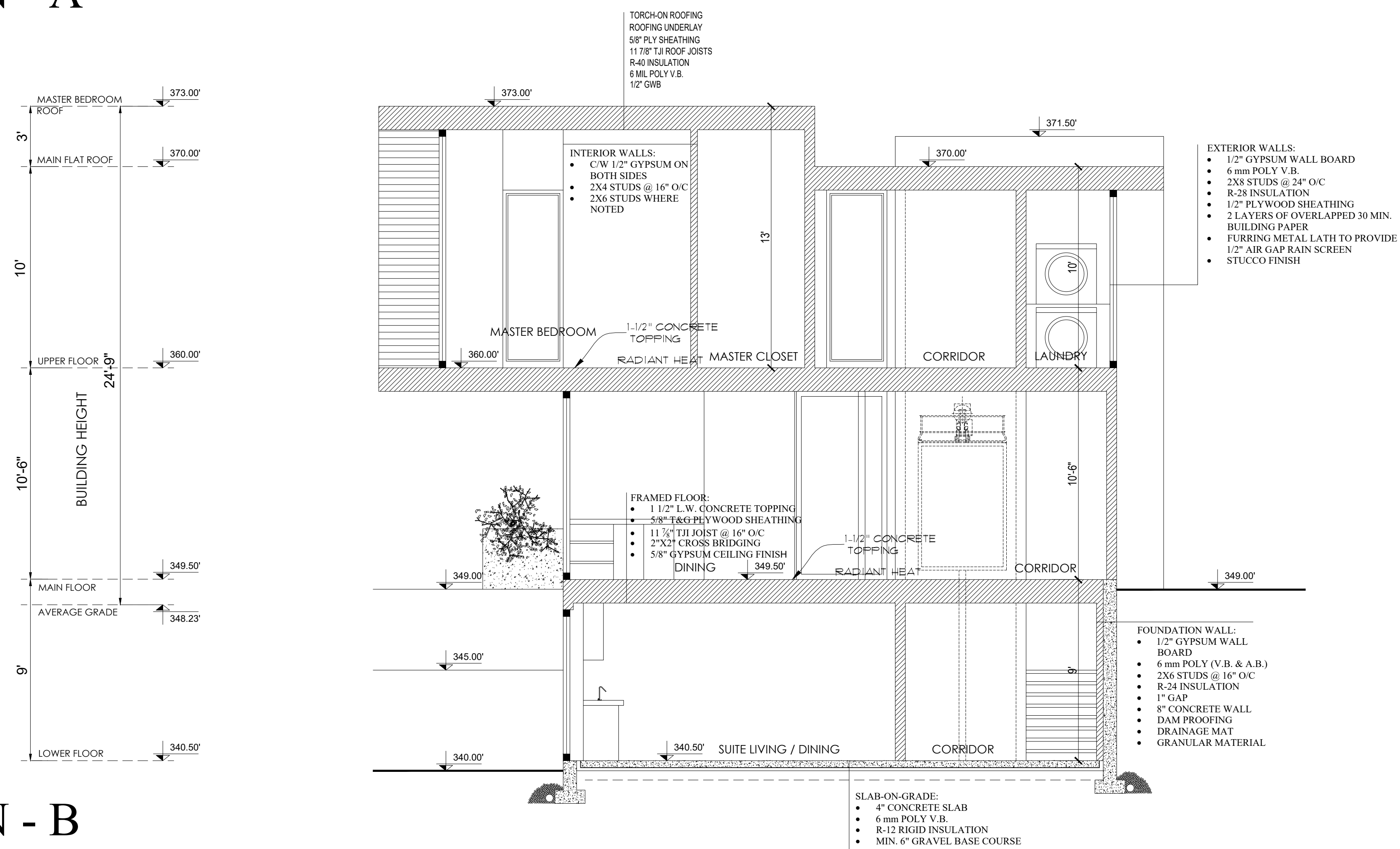


ROUGH OPENING DETAIL

SECTION - A



SECTION - B



NOTES:

PROJECT:

PROPOSED SUBDIVISION
SINGLE FAMILY
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(EAST LOT)

CIVIC ADDRESS:

1337 OTTAWA AVE.
WEST VANCOUVER, BC

LEGAL DESCRIPTION:

PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:

004-317-556

TITLE:

SECTIONS

CLIENT:

RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01:

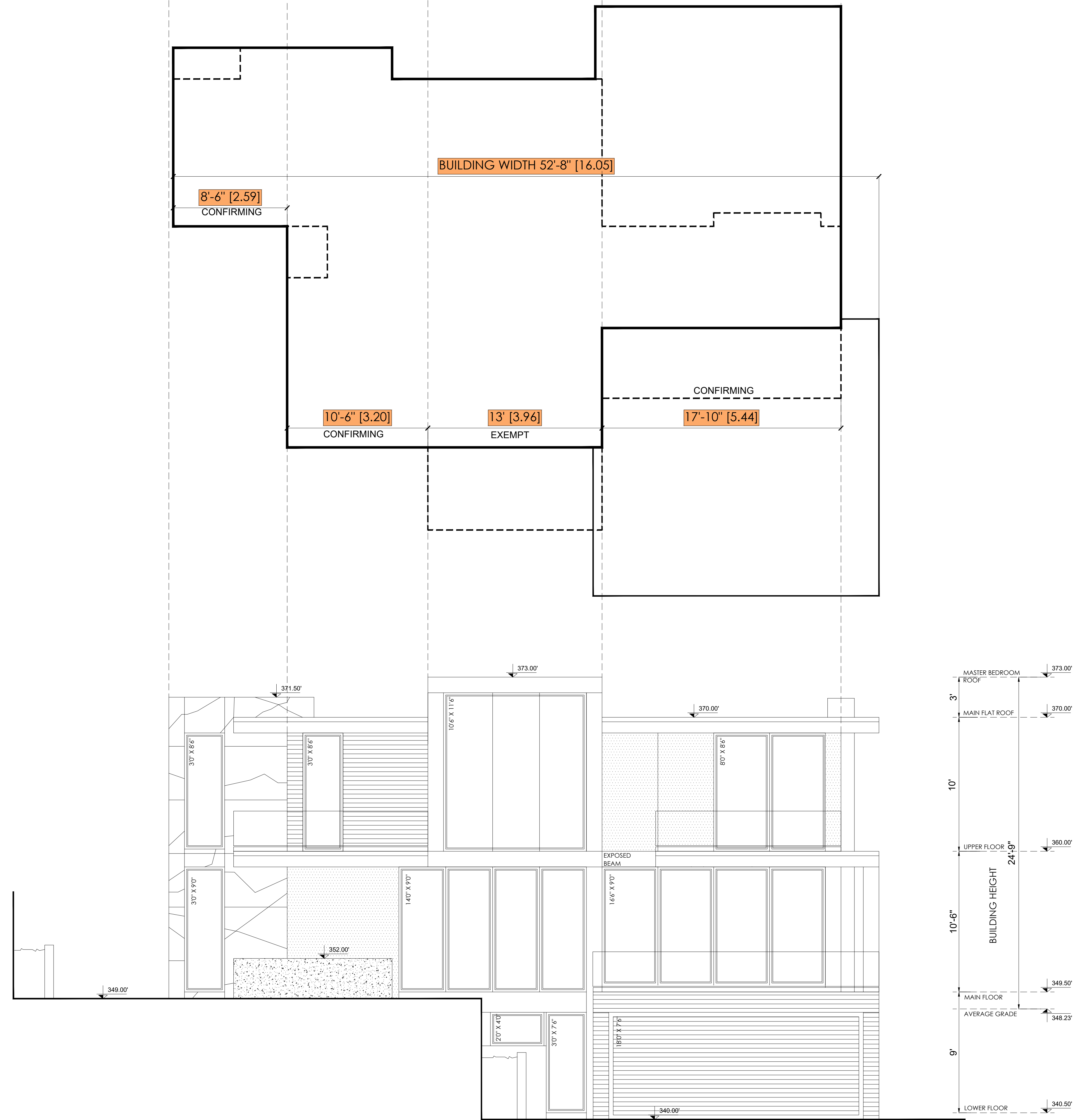
REV- 02:

SCALE:

1/4" = 1'-0"

DWG NO.

A - 3.1



SOUTH ELEVATION

NOTES:

PROJECT:
 PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (EAST LOT)

CIVIC ADDRESS:
 1337 OTTAWA AVE.
 WEST VANCOUVER, BC

LEGAL DESCRIPTION:
 PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A

LOT PID:
 004-317-556

TITLE:
 HIGHEST BUILDING FACE
 CALCULATION

CLIENT:
 RAMIN BAGHERI

NORTH ARROW

CAD FILE:

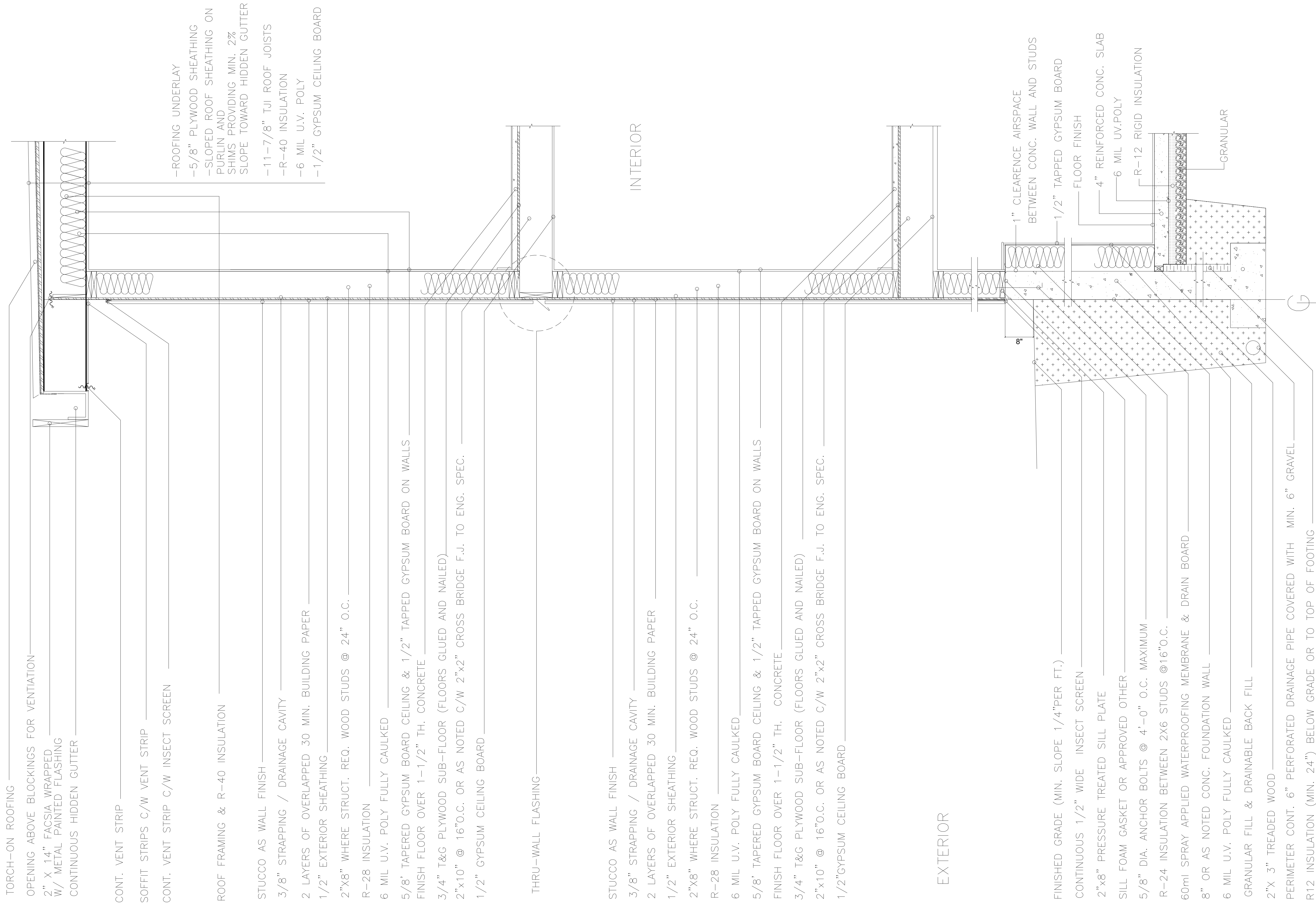
DESIGN BY:
 MOREZ DESIGN INC

DATE:
 FEBRUARY 19th 2024

REV- 01:
 REV- 02:

SCALE:
 1/4" = 1'-0"

DWG NO.
 A -3.2



- ROOFING UNDERLAY
- 5/8" PLYWOOD SHEATHING
- SLOPED ROOF SHEATHING ON PURLIN AND SHIMS PROVIDING MIN. 2% SLOPE TOWARD HIDDEN GUTTER
- 11-7/8" TJI ROOF JOISTS
- R-40 INSULATION
- 6 MIL U.V. POLY
- 1/2" GYPSUM CEILING BOARD

INTERIOR

EXTERIOR

- TORCH-ON ROOFING
- OPENING ABOVE BLOCKINGS FOR VENTILATION
- 2" X 14" FASCIA WRAPPED W/ METAL PAINTED FLASHING
- CONTINUOUS HIDDEN GUTTER
- CONT. VENT STRIP
- SOFFIT STRIPS C/W VENT STRIP
- CONT. VENT STRIP C/W INSECT SCREEN
- ROOF FRAMING & R-40 INSULATION
- STUCCO AS WALL FINISH
- 3/8" STRAPPING / DRAINAGE CAVITY
- 2 LAYERS OF OVERLAPPED 30 MIN. BUILDING PAPER
- 1/2" EXTERIOR SHEATHING
- 2"x8" WHERE STRUCT. REQ. WOOD STUDS @ 24" O.C.
- R-28 INSULATION
- 6 MIL U.V. POLY FULLY CAULKED
- 5/8' TAPERED GYPSUM BOARD CEILING & 1/2" TAPPED GYPSUM BOARD ON WALLS
- FINISH FLOOR OVER 1-1/2" TH. CONCRETE
- 3/4" T&G PLYWOOD SUB-FLOOR (FLOORS GLUED AND NAILED)
- 2"x10" @ 16"O.C. OR AS NOTED C/W 2"x2" CROSS BRIDGE F.J. TO ENG. SPEC.
- 1/2" GYPSUM CEILING BOARD
- THRU-WALL FLASHING
- STUCCO AS WALL FINISH
- 3/8" STRAPPING / DRAINAGE CAVITY
- 2 LAYERS OF OVERLAPPED 30 MIN. BUILDING PAPER
- 1/2" EXTERIOR SHEATHING
- 2"x8" WHERE STRUCT. REQ. WOOD STUDS @ 24" O.C.
- R-28 INSULATION
- 6 MIL U.V. POLY FULLY CAULKED
- 5/8' TAPERED GYPSUM BOARD CEILING & 1/2" TAPPED GYPSUM BOARD ON WALLS
- FINISH FLOOR OVER 1-1/2" TH. CONCRETE
- 3/4" T&G PLYWOOD SUB-FLOOR (FLOORS GLUED AND NAILED)
- 2"x10" @ 16"O.C. OR AS NOTED C/W 2"x2" CROSS BRIDGE F.J. TO ENG. SPEC.
- 1/2" GYPSUM CEILING BOARD
- FINISHED GRADE (MIN. SLOPE 1/4"PER FT.)
- CONTINUOUS 1/2" WIDE INSECT SCREEN
- 2"x8" PRESSURE TREATED SILL PLATE
- SILL FOAM GASKET OR APPROVED OTHER
- 5/8" DIA. ANCHOR BOLTS @ 4'-0" O.C. MAXIMUM
- R-24 INSULATION BETWEEN 2X6 STUDS @16"O.C.
- 60ml SPRAY APPLIED WATERPROOFING MEMBRANE & DRAIN BOARD
- 8" OR AS NOTED CONC. FOUNDATION WALL
- 6 MIL U.V. POLY FULLY CAULKED
- GRANULAR FILL & DRAINABLE BACK FILL
- 2"x 3" TREADED WOOD
- PERIMETER CONT. 6" PERFORATED DRAINAGE PIPE COVERED WITH MIN. 6" GRAVEL
- R12 INSULATION (MIN. 24") BELOW GRADE OR TO TOP OF FOOTING

- 1" CLEARANCE AIRSPACE BETWEEN CONC. WALL AND STUDS
- 1/2" TAPPED GYPSUM BOARD
- FLOOR FINISH
- 4" REINFORCED CONC. SLAB
- 6 MIL U.V.POLY
- R-12 RIGID INSULATION
- GRANULAR

NOTES:

PROJECT:
**PROPOSED SUBDIVISION
 SINGLE FAMILY
 WITH LEGAL SUITE
 (EAST LOT)**

CIVIC ADDRESS:
**1337 OTTAWA AVE.
 WEST VANCOUVER, BC**

LEGAL DESCRIPTION:
**PLAN 15681 DISTRICT LOT 1083
 WEST 1/2 OF NORTH EAST 1/4
 LOT A**

LOT PID:
004-317-556

TITLE:
TYPICAL DETAILS

CLIENT:
RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

REV- 01:

REV- 02:

SCALE:
1/4" = 1'-0"

DWG NO.
A - 4.1



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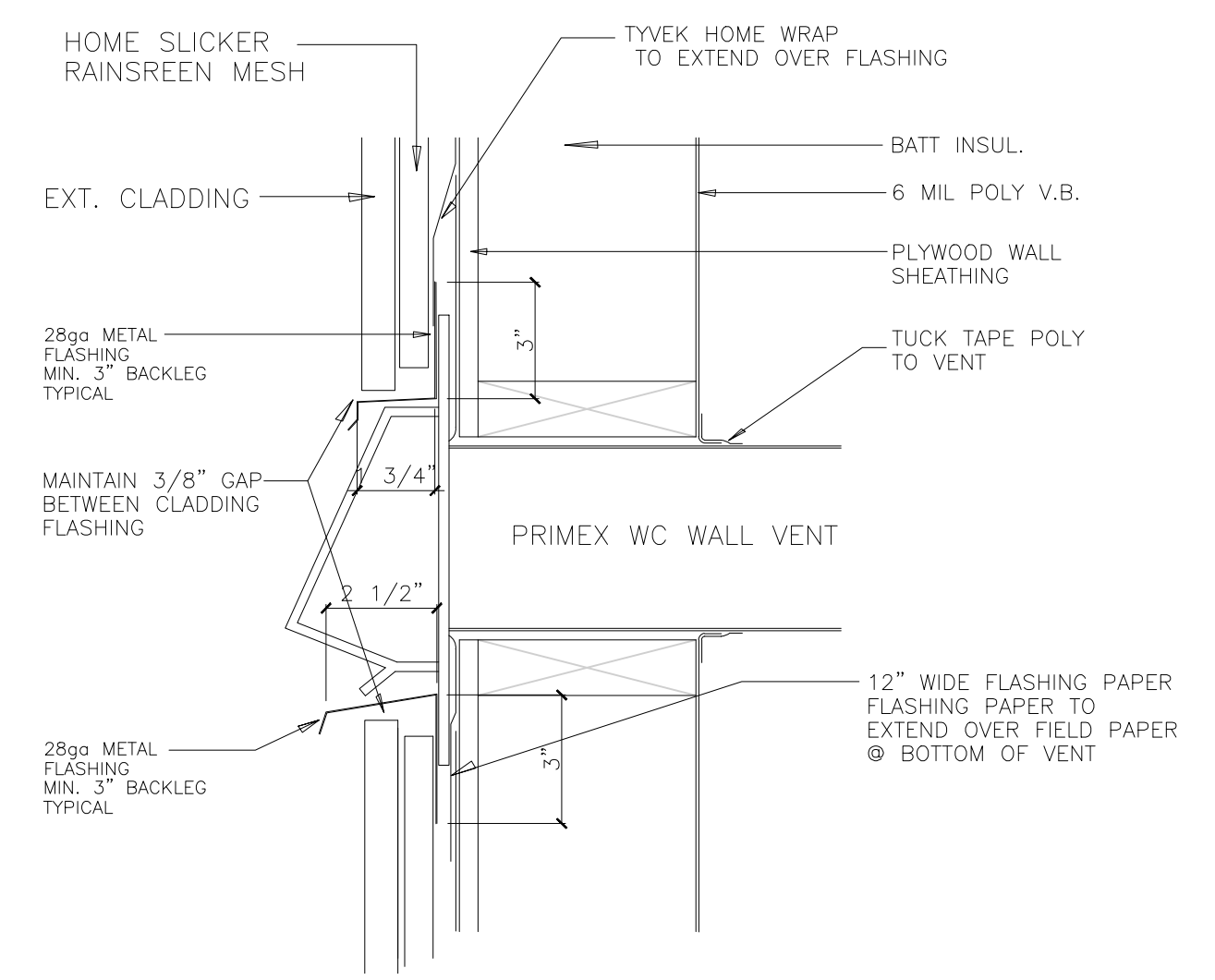
DESIGN BY:
MOREZ DESIGN INC

DATE:
FEBRUARY 19th 2024

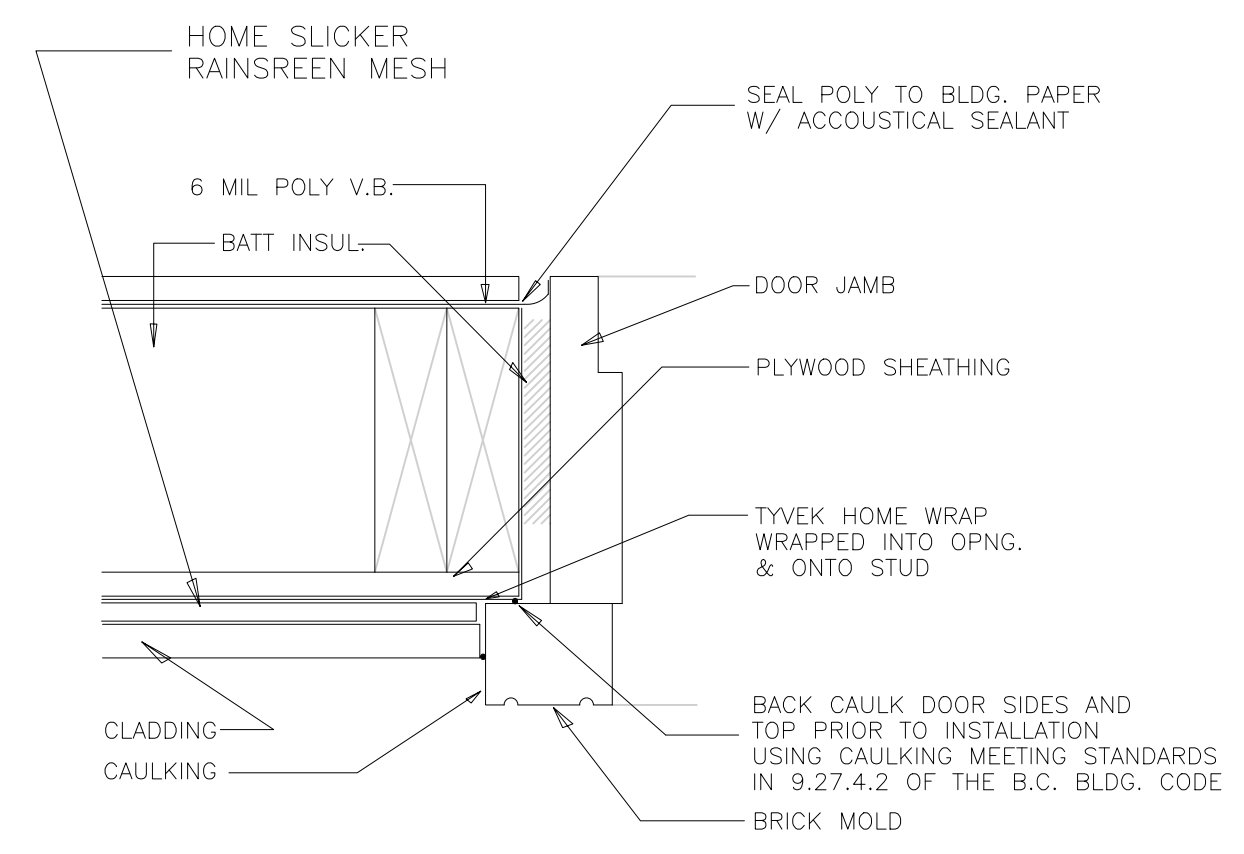
REV-01:
 REV-02:

SCALE:
1/4" = 1'-0"

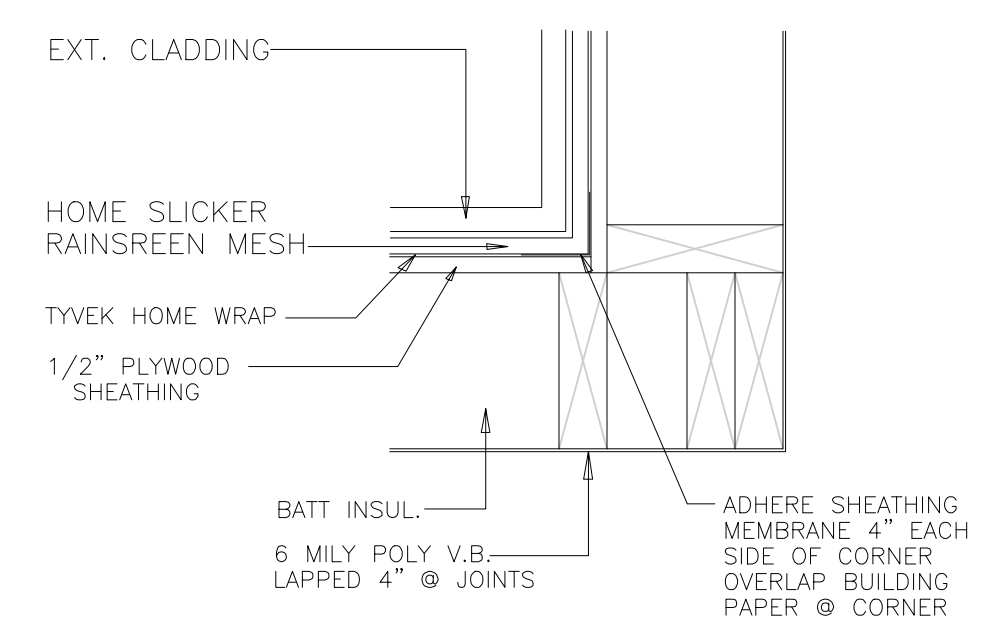
DWG NO.
A - 4.2



WALL VENT DETAIL

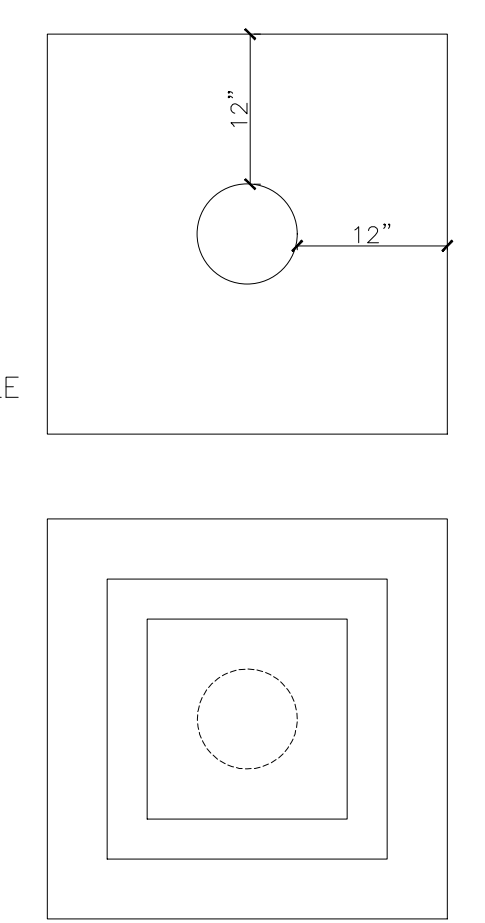


DOOR JAMB DETAIL
 SCALE: 3"=1'

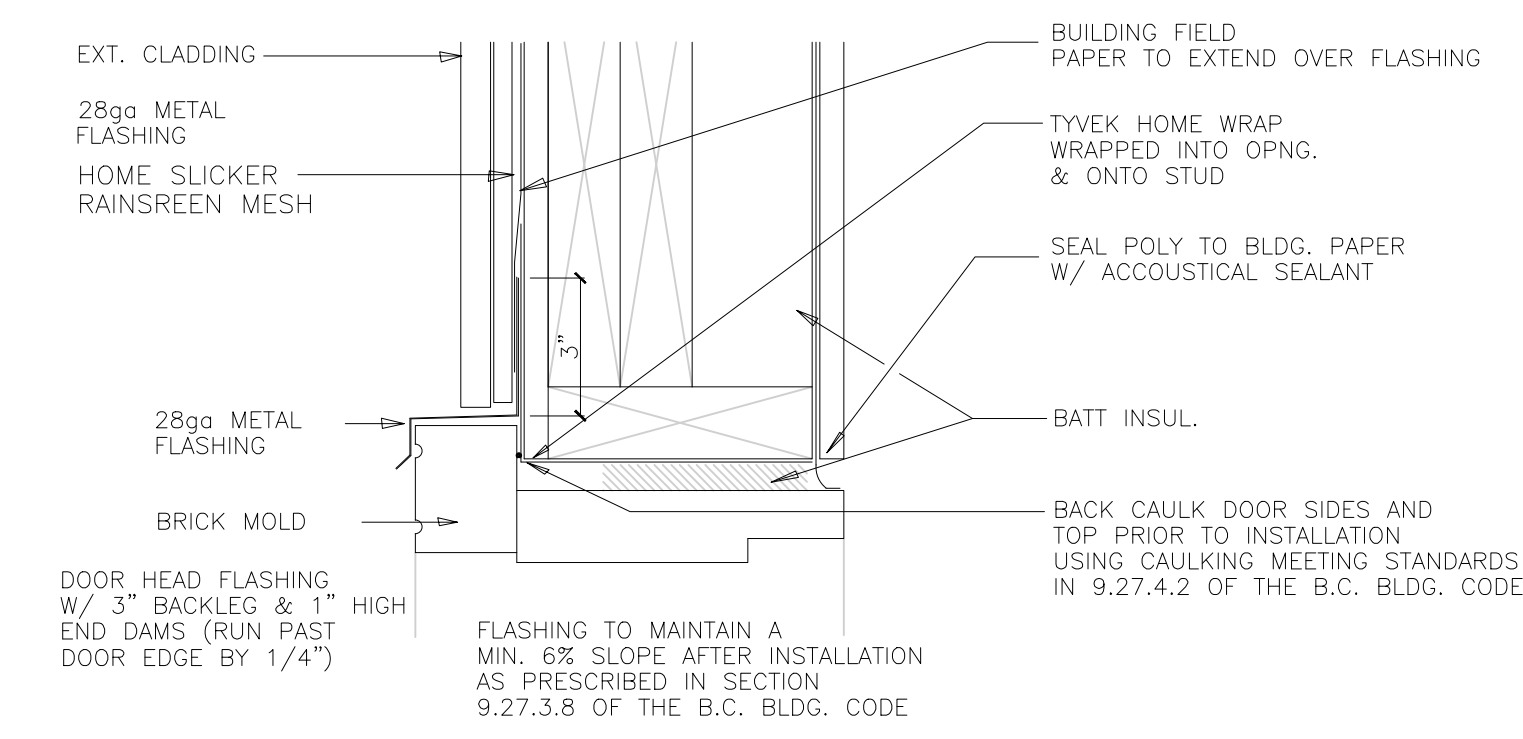


INTERIOR CORNER DETAIL
 2"=1'

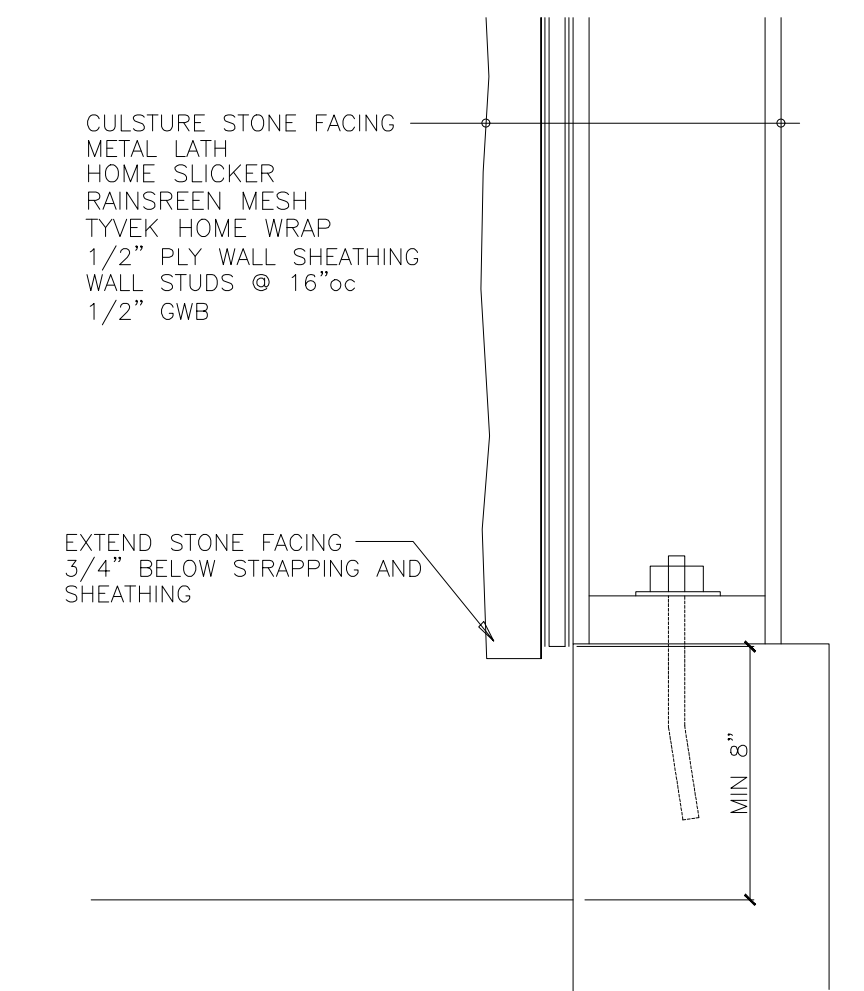
1. SHEET METAL CONTRACTOR TO LAYOUT CORRECT SIZE OF HOLE FOR DIAMETER OF DUCT
2. FRAMER TO CUT ROUND HOLE TO MATCH SIZE OF DUCT.
3. INSTALL ONE LAYER OF TYVEK HOME WRAP 12" BEYOND ALL SIDES OF HOLE IN WALL.
4. FASTEN VENT TO WALL
5. APPLY FIELD PAPER WRAP TO WALL (TUCK TAPE TO VENT FLANGES ON ALL 4 SIDES)



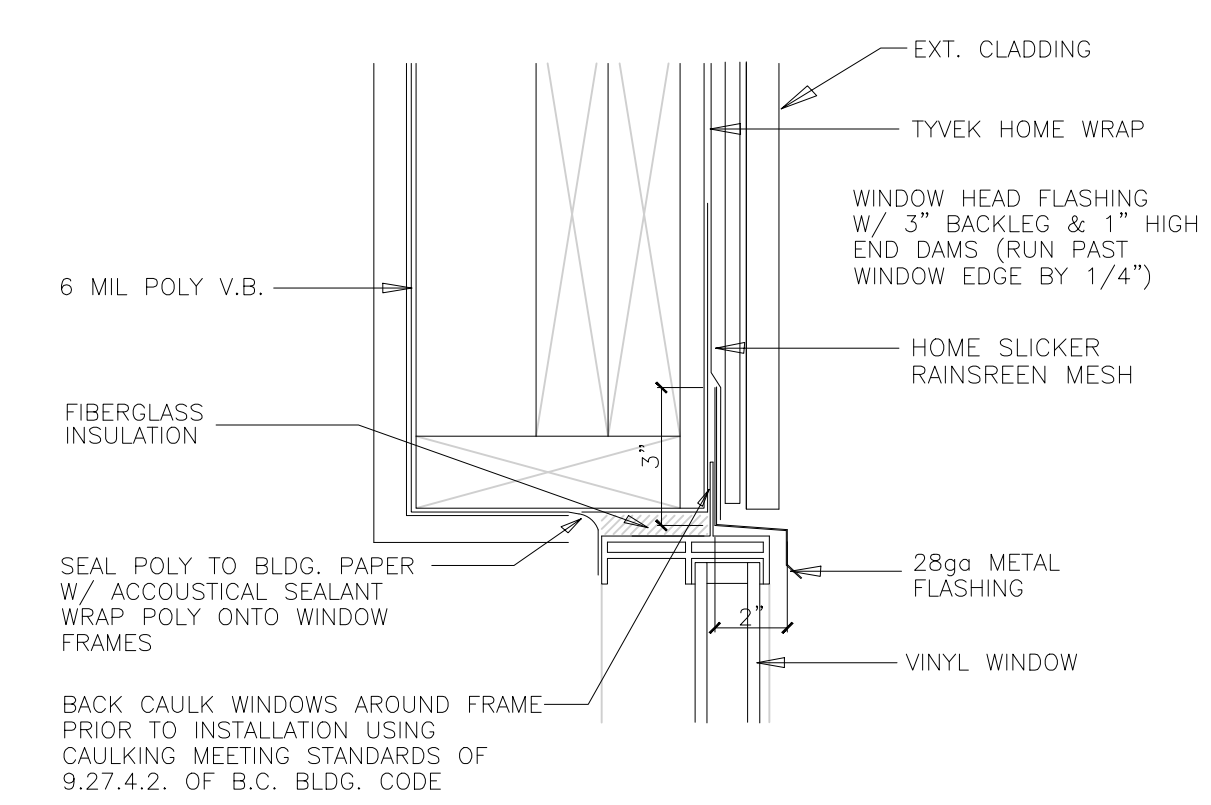
WALL VENT CAP INSTALLATION



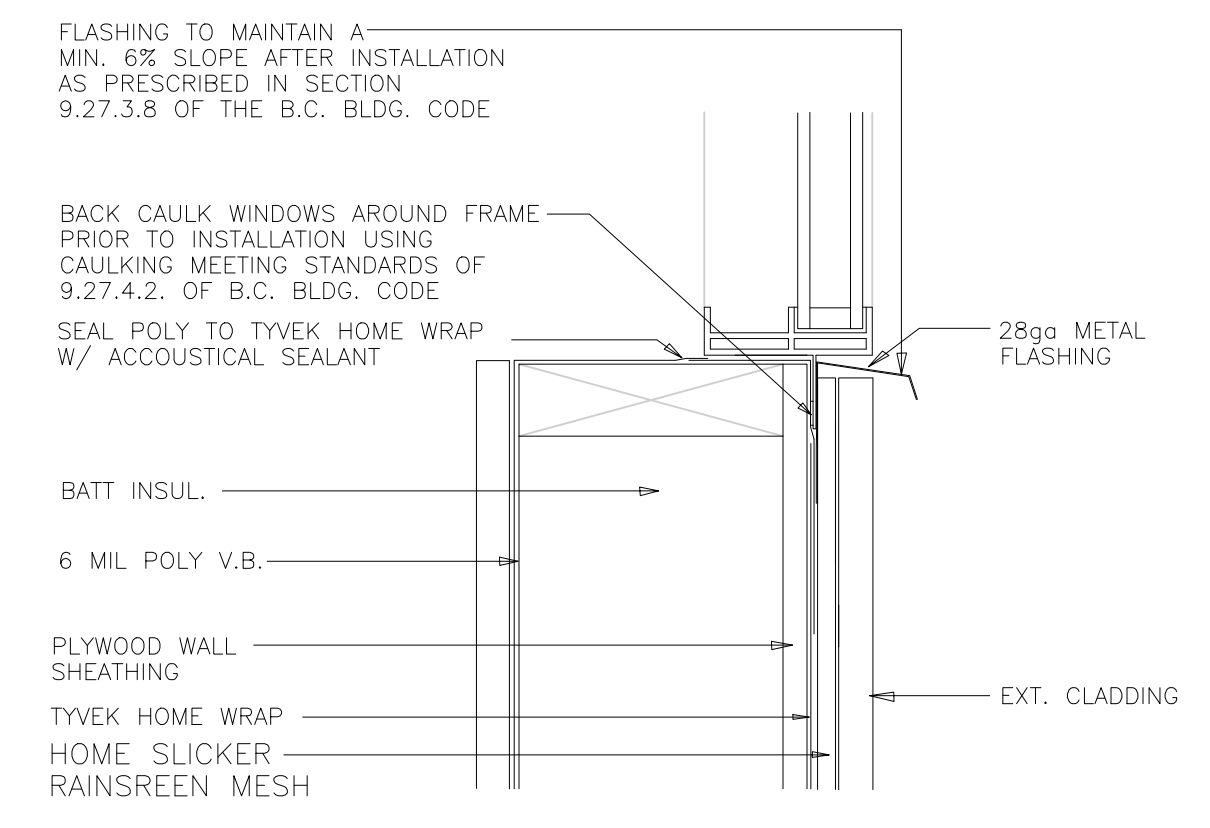
DOOR HEADER DETAIL
 SCALE: 3"=1'



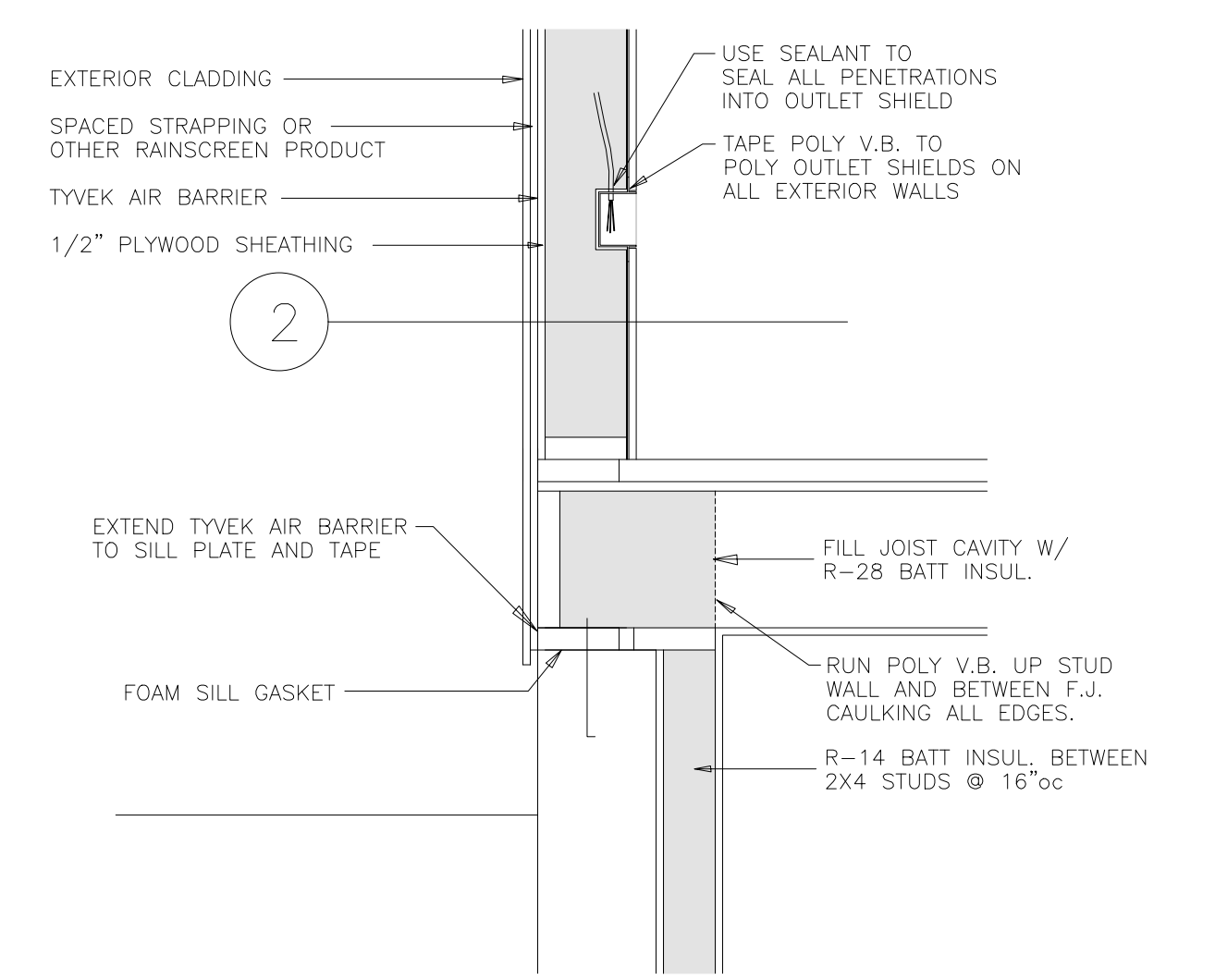
STONE FACING WALL SECTION
 SCALE: 2"=1'



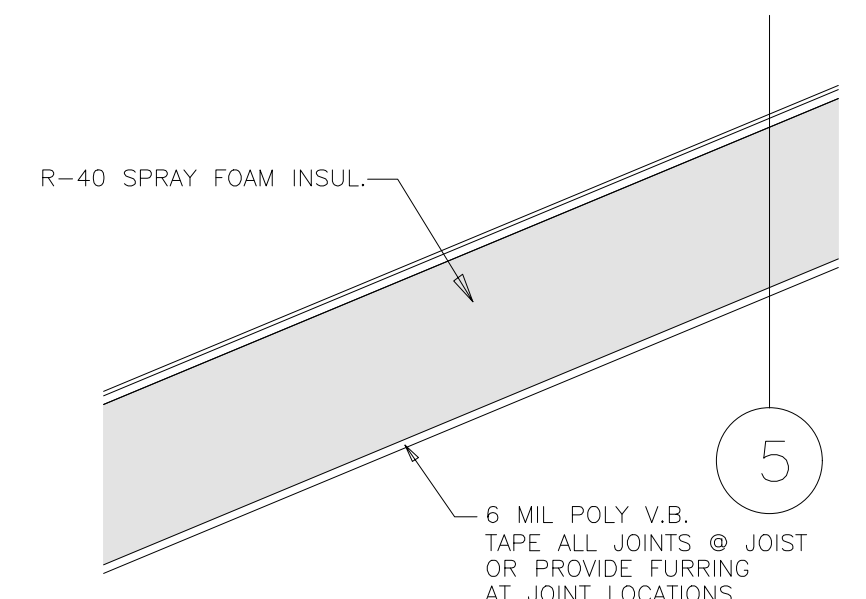
WINDOW HEAD DETAIL
 SCALE: 3"=1'



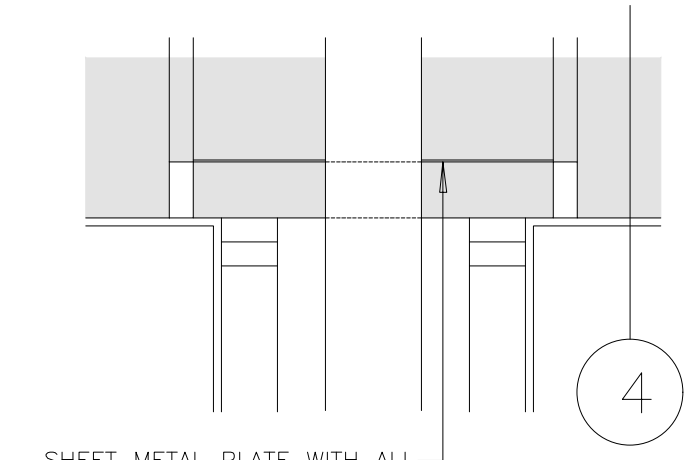
WINDOW SILL DETAIL
 SCALE: 3"=1'



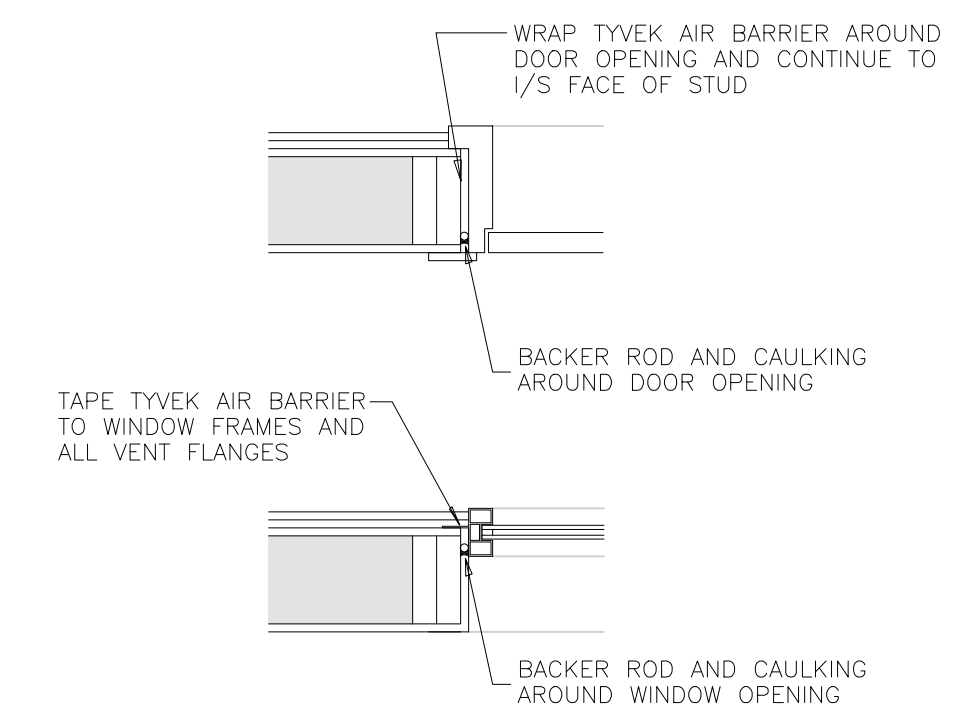
ABOVE GRADE WALL ASSEMBLY
1"=1'-0"



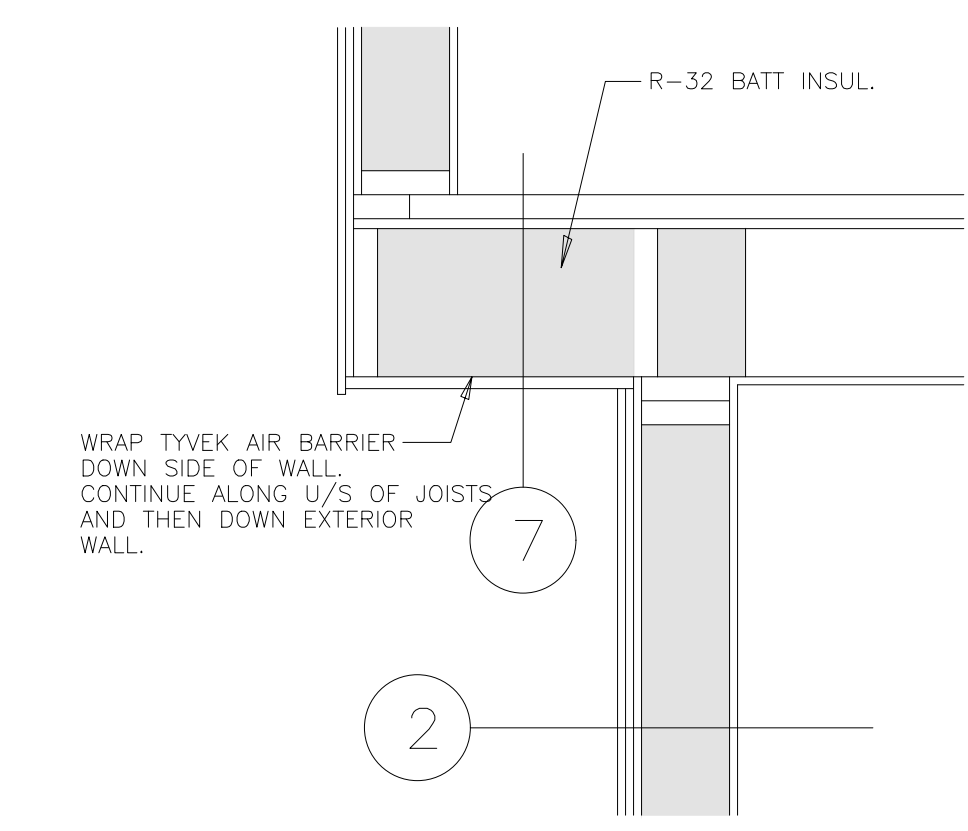
VAULTED CEILINGS & FLAT ROOF
1"=1'-0"



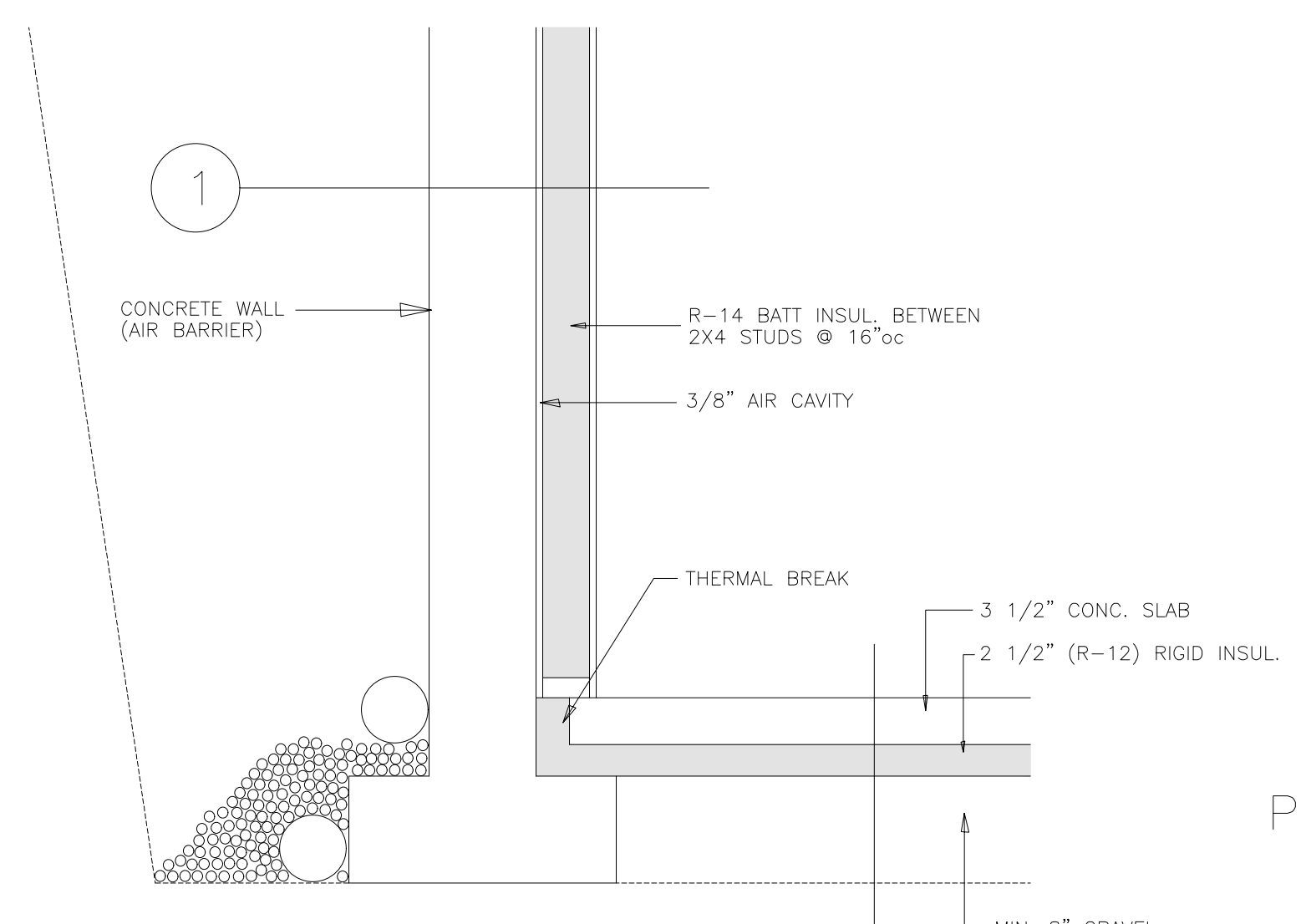
B-VENTS
1"=1'-0"



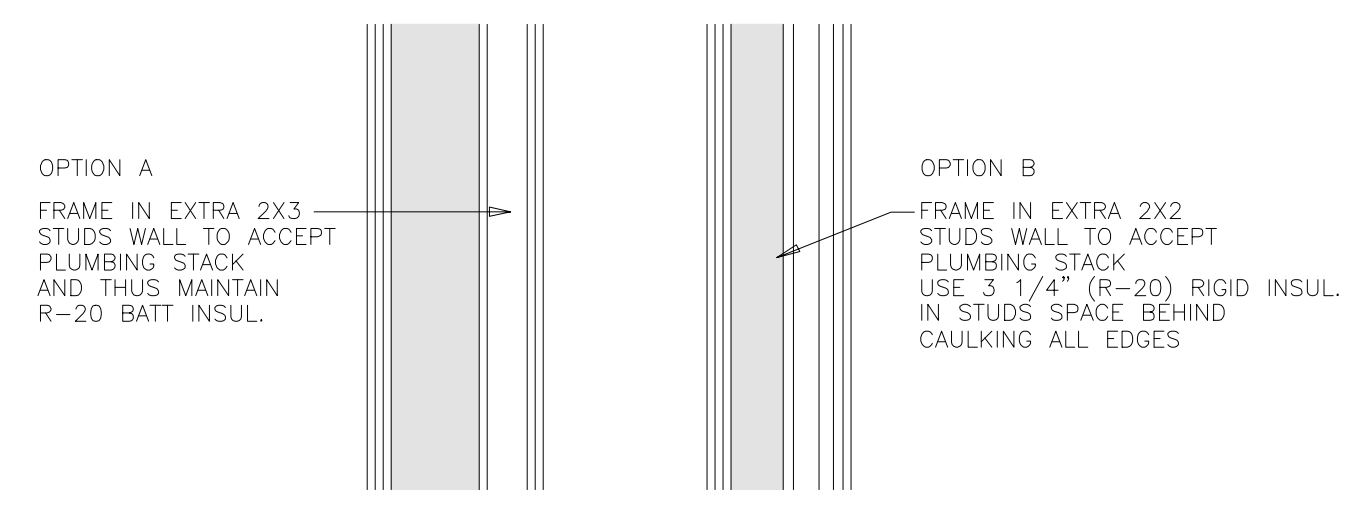
WINDOW & DOOR OPENINGS
1"=1'-0"



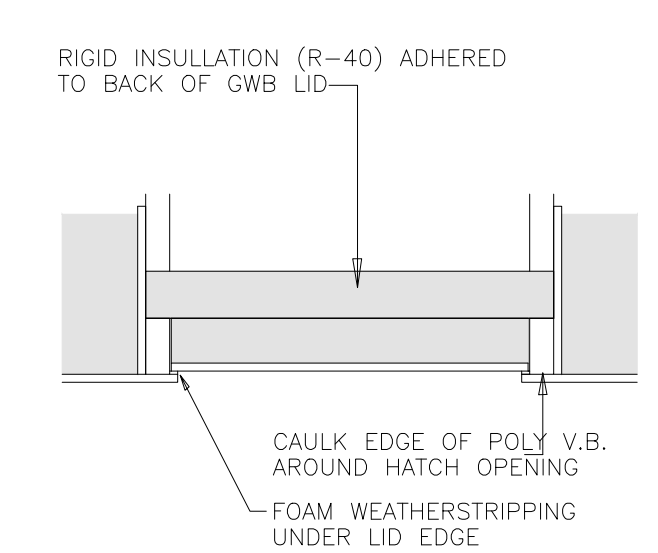
FLOOR OVER UNHEATED SPACE ASSEMBLY
1"=1'-0"



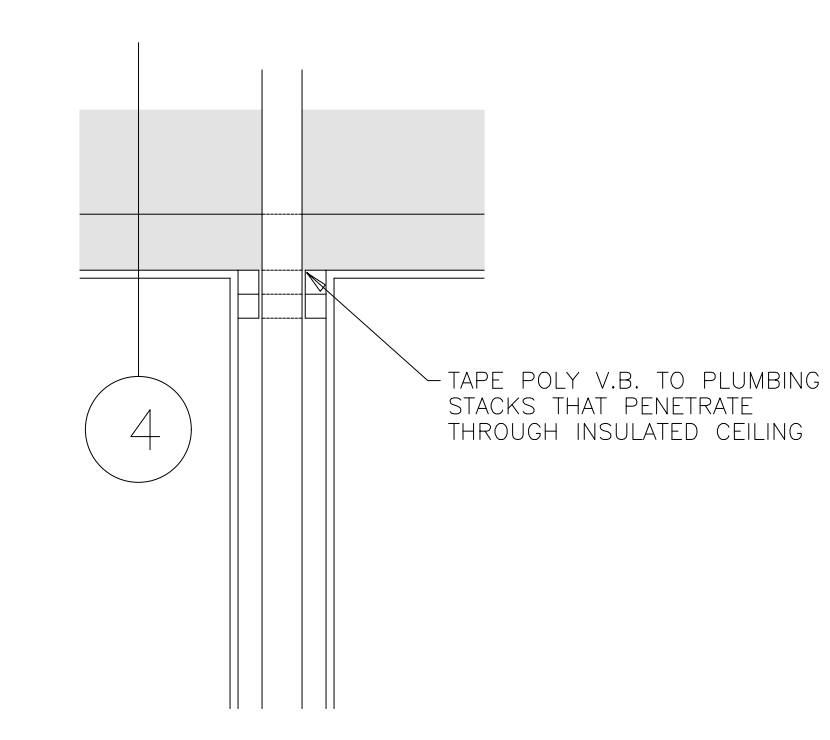
BELOW GRADE WALL ASSEMBLY
1"=1'-0"



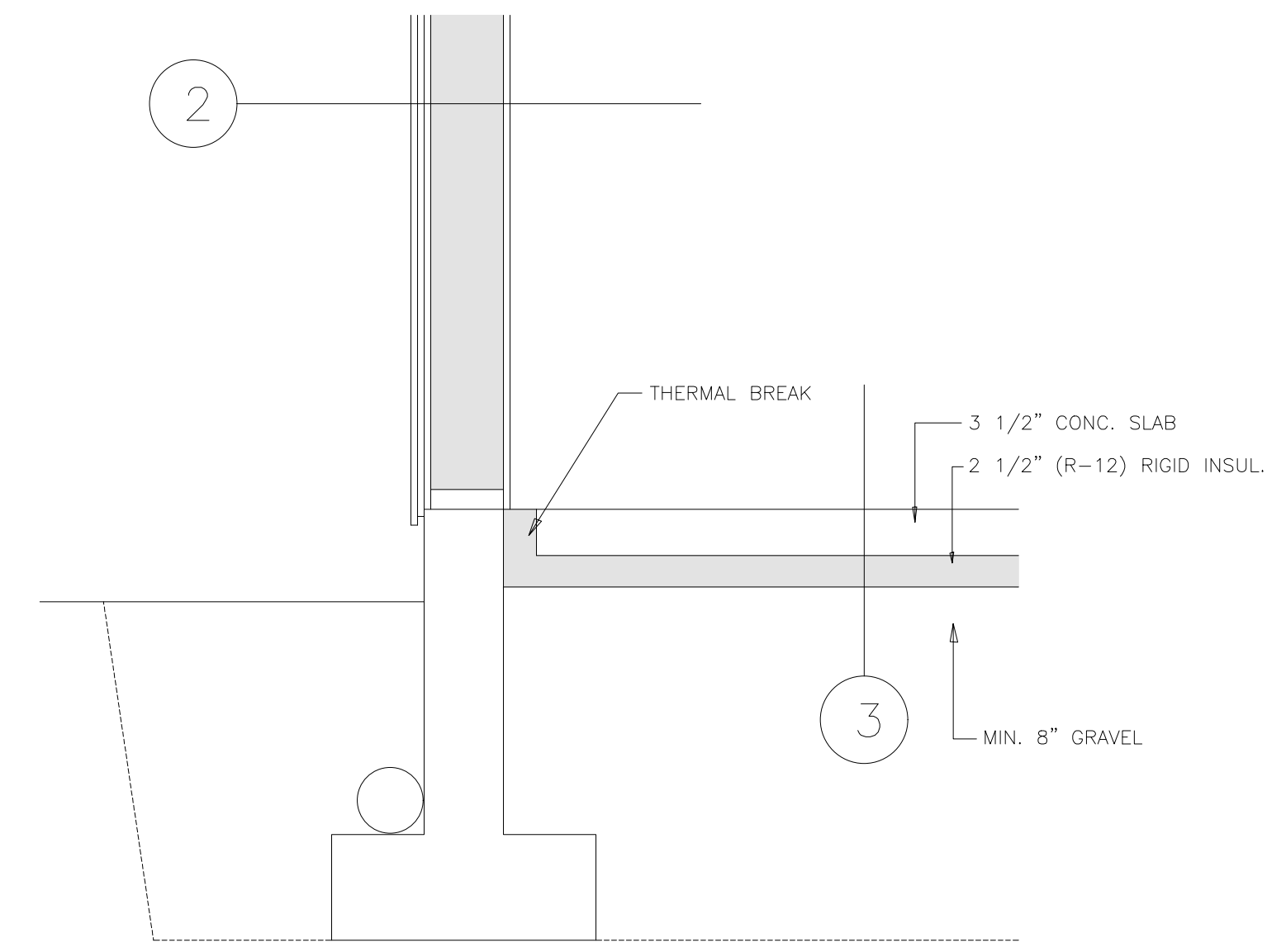
PLUMBING OF ELECTRICAL PANELS ON EXTERIOR WALLS
1"=1'-0"



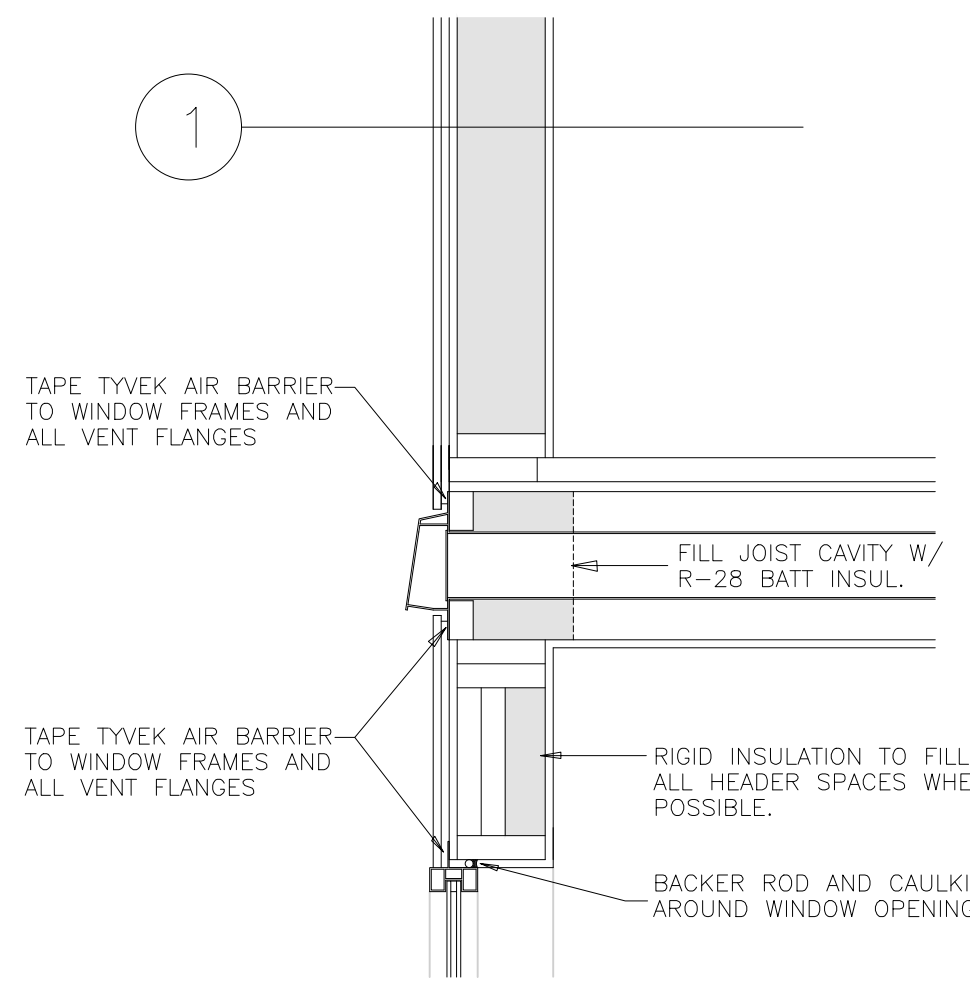
ATTIC HATCH ASSEMBLY
1"=1'-0"



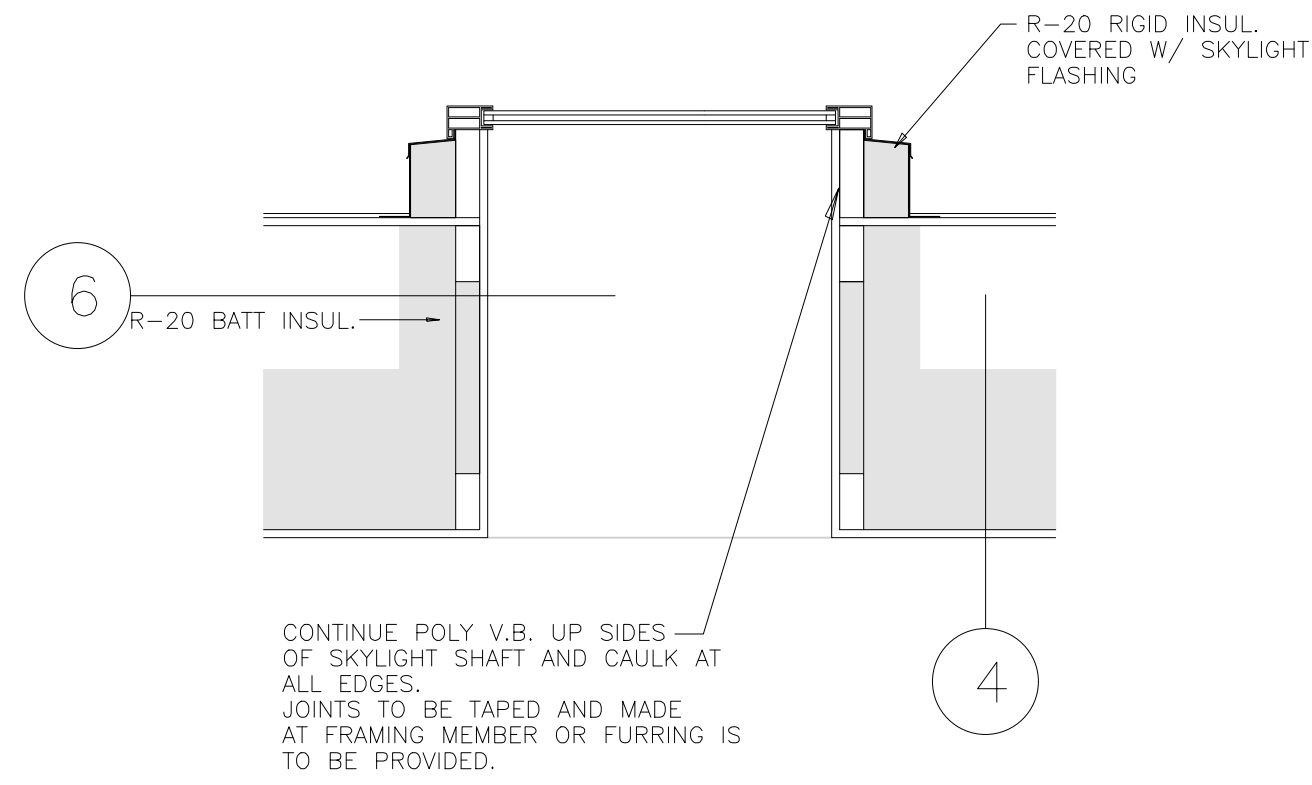
PUMBING STACKS
1"=1'-0"



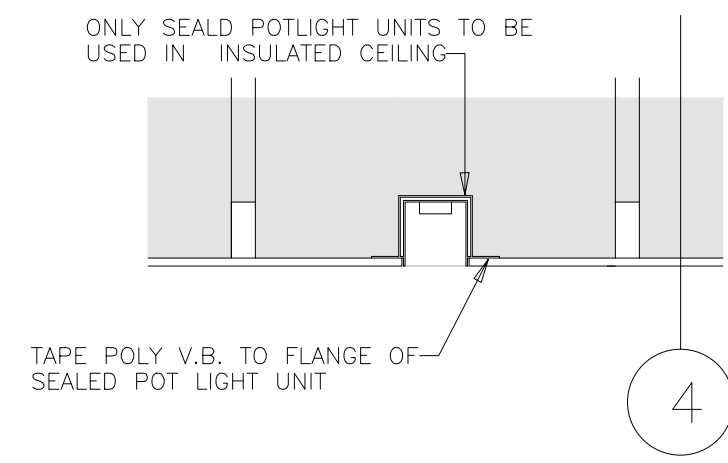
HEATED SLAB ON GRADE ASSEMBLY
1"=1'-0"



RIM JOISTS AND PENETRATIONS
1"=1'-0"



SKYLIGHT ASSEMBLY
1"=1'-0"



POT LIGHTS
1"=1'-0"

NOTES:

PROJECT:

PROPOSED SUBDIVISION
SINGLE FAMILY
WITH LEGAL SUITE
(EAST LOT)

CIVIC ADDRESS:

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WEST VANCOUVER, BC

LEGAL DESCRIPTION:

PLAN 15681 DISTRICT LOT 1083
WEST 1/2 OF NORTH EAST 1/4
LOT A

LOT PID:

004-317-556

TITLE:

TYPICAL DETAILS

CLIENT:

RAMIN BAGHERI

NORTH ARROW

CAD FILE:

DESIGN BY:

MOREZ DESIGN INC

DATE:

FEBRUARY 19th 2024

REV- 01:

REV- 02:

SCALE:

1/4" = 1'-0"

DWG NO.

A - 43