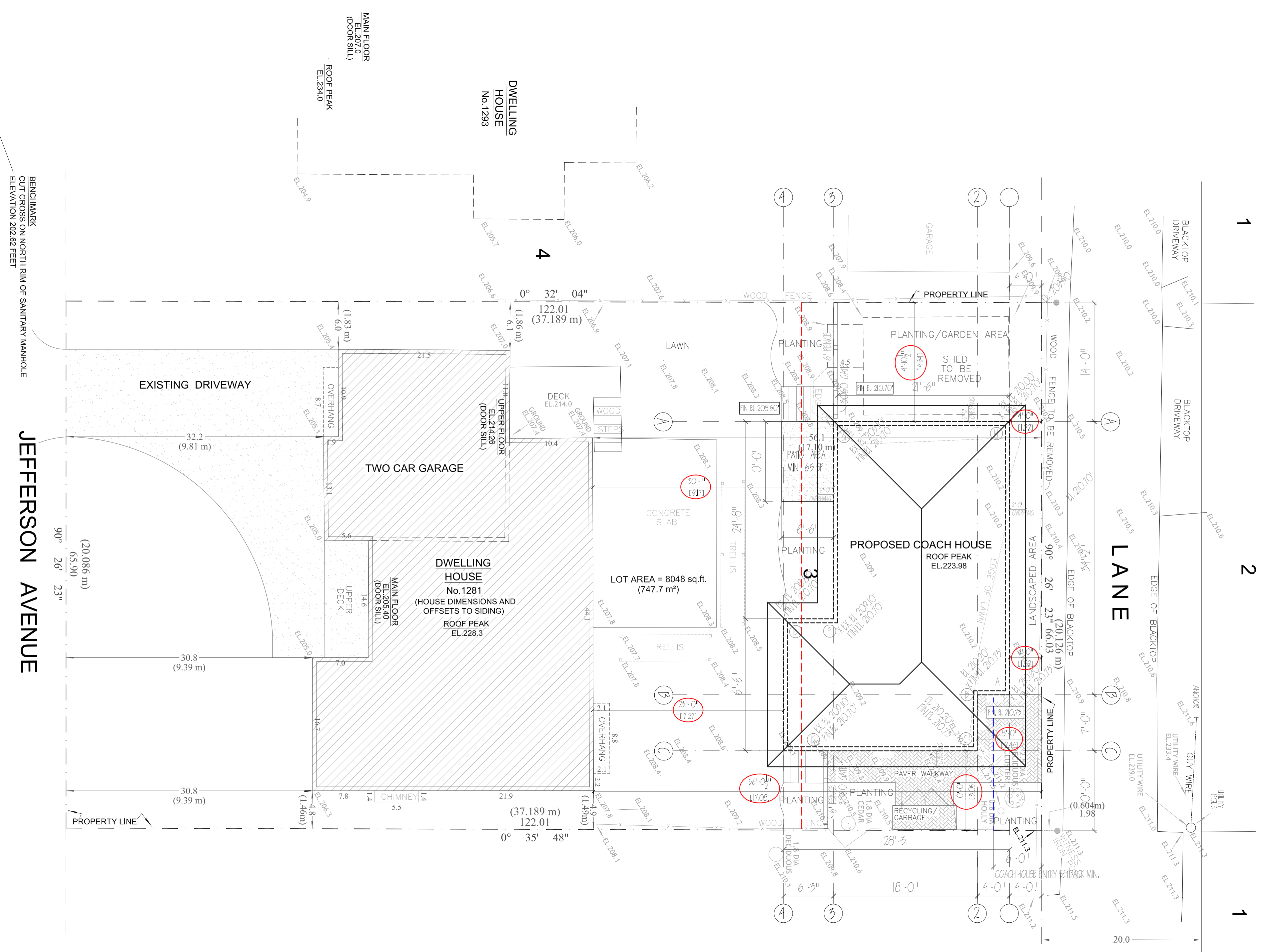


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JEFFERSON AVENUE

1.4 DIA
 DECIDUOUS
 EL. 209.6

1281 JEFFERSON AVENUE
 AVERAGE LOWEST GRADE CALCULATIONS

	ADD		/ 2		EQUALS
A-B	210.73	210.20	4.00		841.86
B-C	210.20	210.20	7.00		1,471.40
C-D	210.20	209.10	24.25		5,084.01
D-E	209.10	208.80	16.50		3,447.68
E-F	208.80	209.10	6.25		1,305.94
F-G	209.10	209.10	24.67		5,158.50
G-H	209.10	210.00	22.00		4,610.10
H-A	210.00	210.73	34.17		7,188.17
					138.84
					29,107.65
AVERAGE LOWEST GRADE					209.65

SITE GRADE CALCULATIONS

BYLAW REVIEW

- ADDRESS: 1281 JEFFERSON AVENUE, WEST VANCOUVER
- LEGAL DESCRIPTION: LOT 3, PLAN VAP4161, PART 511/4, PL. 10665, GRP1, NULD
- ZONING: RS-5
- LOT SIZE: 8,048 sq.ft. (747.68m²)
- FSR: ALLOWABLE FAR: 30 x 8,048 = 224,448 (2,444.9%)
 ALLOWABLE COACHHOUSE: 148.6m (1,599.92 SF)
 TOTAL ALLOWABLE: 372.91m (4,043.92 SF)
- SETBACKS FOR COACHHOUSE: REAR YARD (LANE): 4'-0" (1.2m)
 FRONT PORCH (LANE): 5'-11" (1.8m)
 SIDE YARD: 10% SITE WIDTH: 6.05' (1.84m)
 COMBINED SIDE YARD: 20% SITE WIDTH: 15.22' (4.63m)
 DISTANCE FROM EXISTING DWELLING: 16' (4.88m)
- EXISTING RESIDENCE AREA: LOWER FLOOR AREA: 1,298.0 SF (PLUS 440 SF GARAGE)
 UPPER FLOOR AREA: 1,692.5 SF
 TOTAL LIVING AREA: 2,990.5 SF (268.55m²)
 EXISTING FAR: 35.9%
- TOTAL PROPOSED: COACHHOUSE AREA: 980.0 SF (91.04m²)
 TOTAL PROPOSED LIVING AREA: 3,870.5 SF (359.58m²)
 PROPOSED FAR: 48%
- SITE COVERAGE: ALLOWABLE: 2,444.9 SF (266m²) = 30%
 EXISTING: 1,678sf + 224sf SHED / 8,048sf = 24% = 25.6%
 PROPOSED: 1,678sf + 980sf / 8,048sf = 35% = 35.0%
- HEIGHT MAXIMUM: ALLOWABLE: 14'-11 1/2" (4.57m)
 PROPOSED: 12'-0" (3.66m)

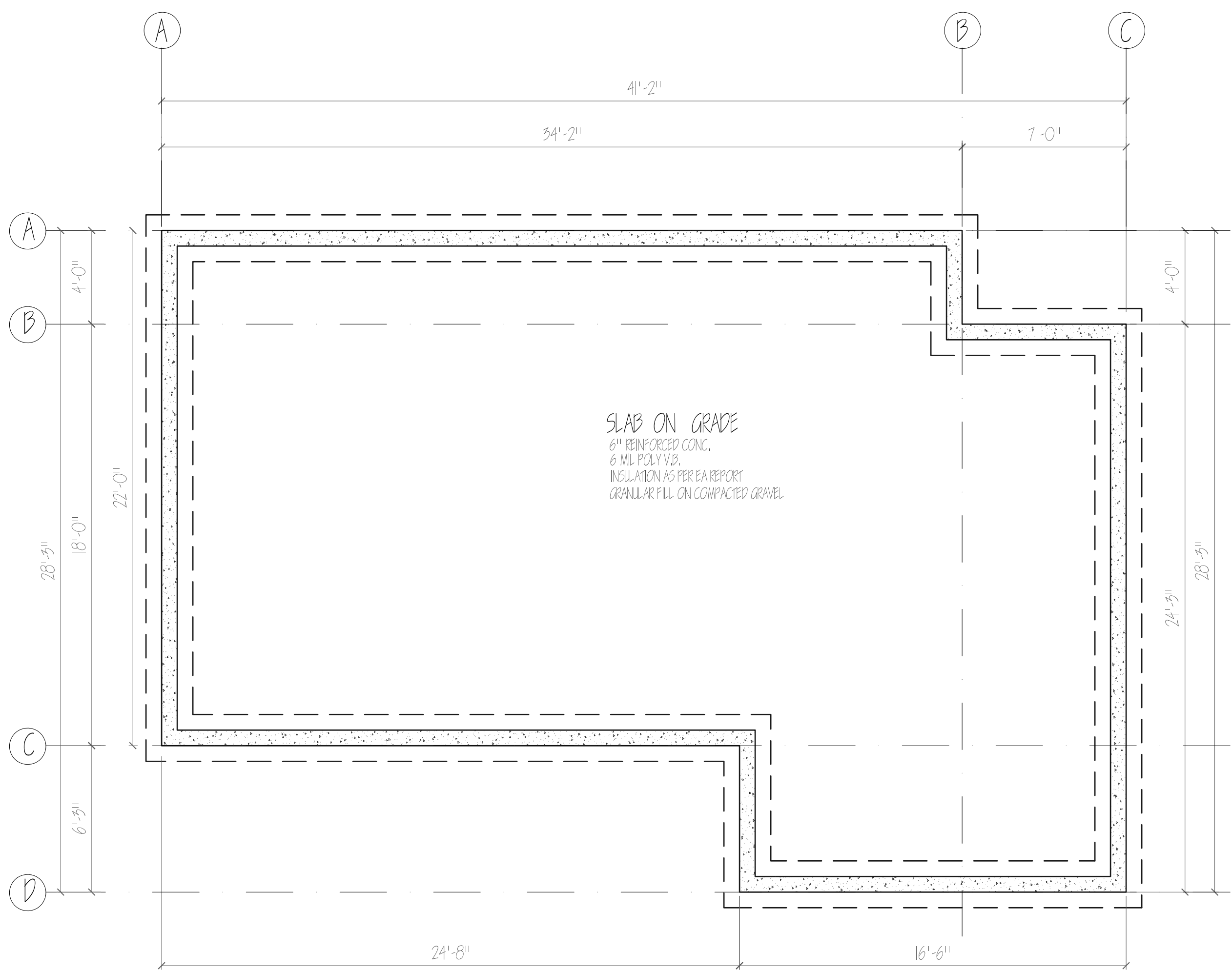
NO.	DESCRIPTION	DATE
REVISIONS		

Linda Burger
 & ASSOCIATES INC.
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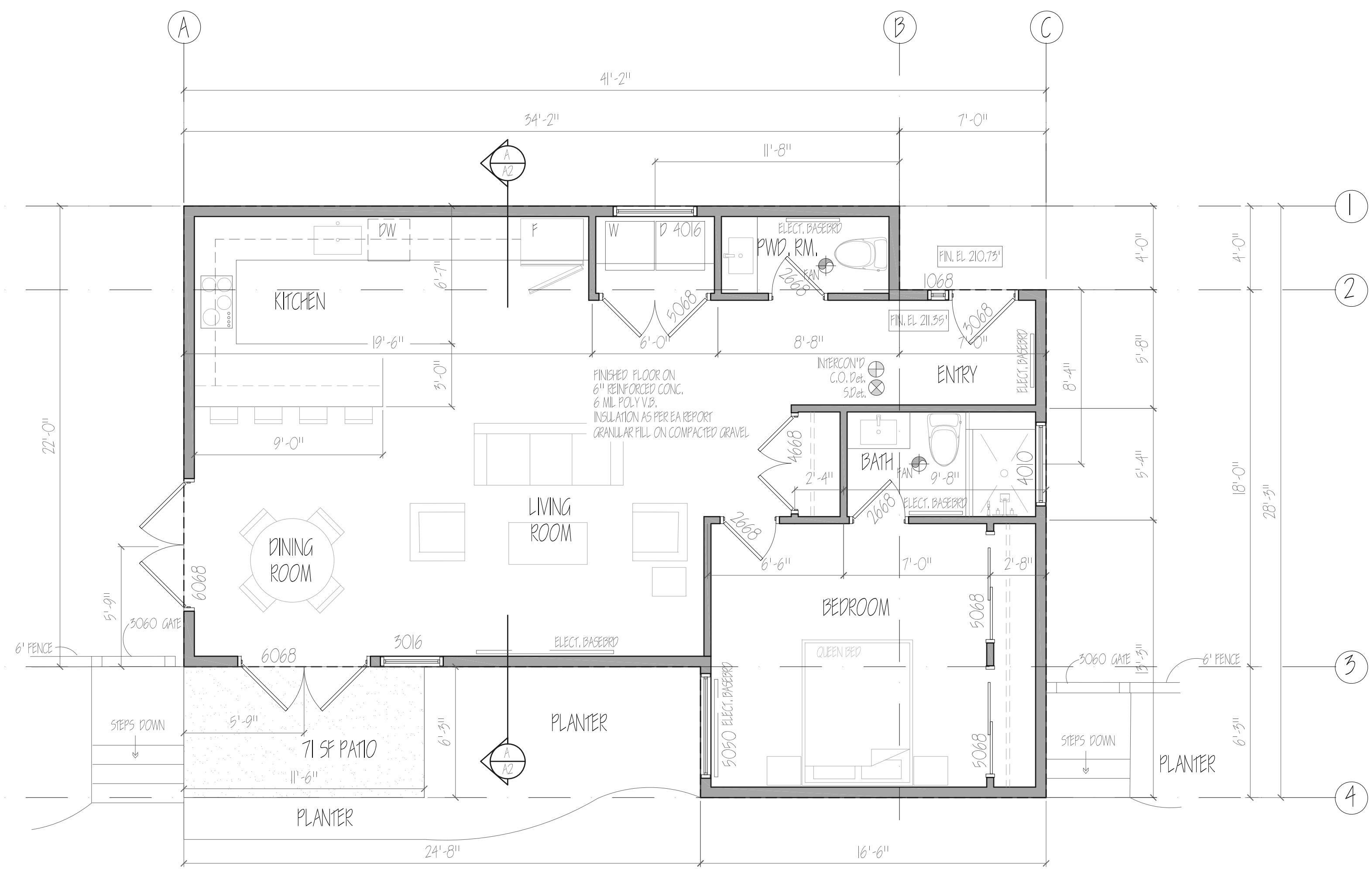
SITE PLAN

PROPOSED FOR:
 JEFFERSON COACHHOUSE
 1281 JEFFERSON AVENUE
 West Vancouver, B.C.

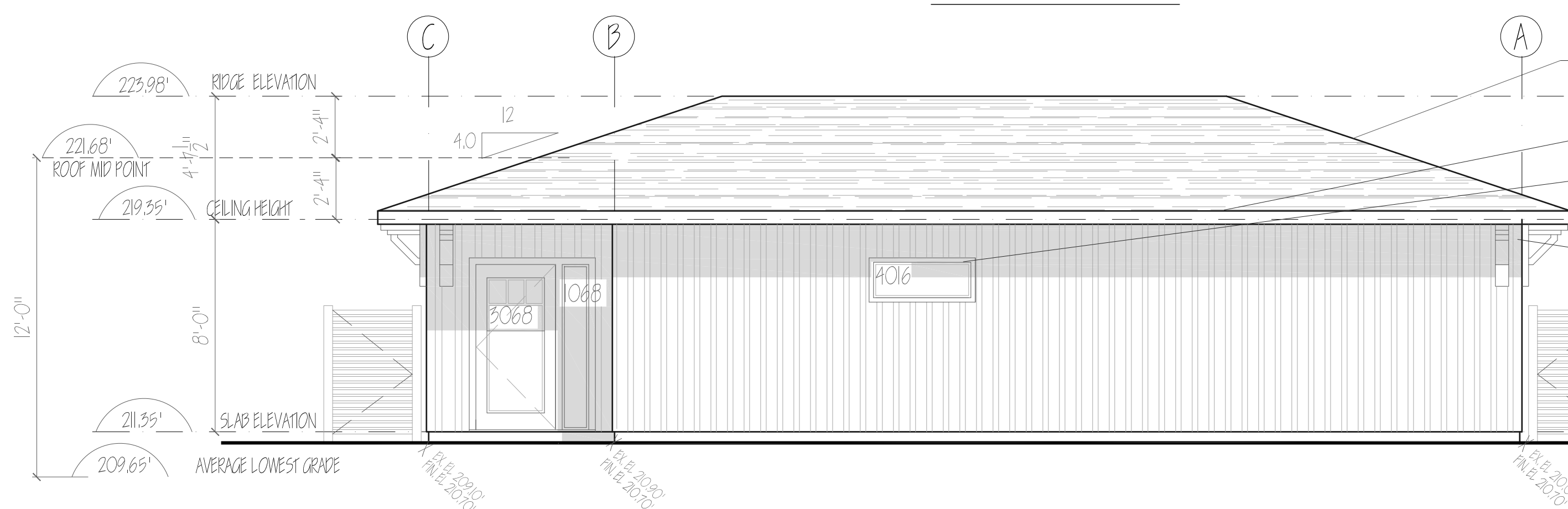
DATE: AUGUST 20, 2024	SHEET No.
SCALE: 1/8" = 1'-0"	AI
DRAWN BY: VJM	
JOB NO.: 12-423	



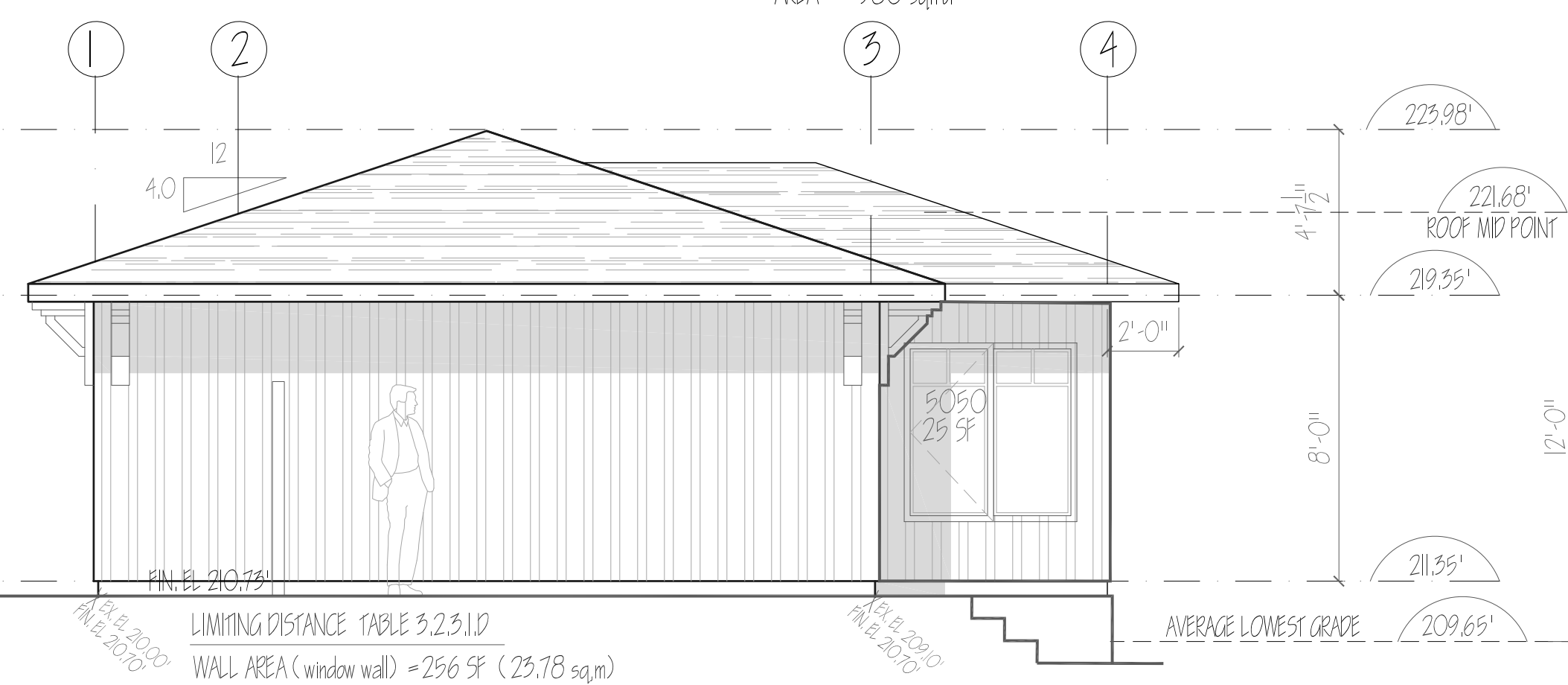
FOUNDATION PLAN



FLOOR PLAN

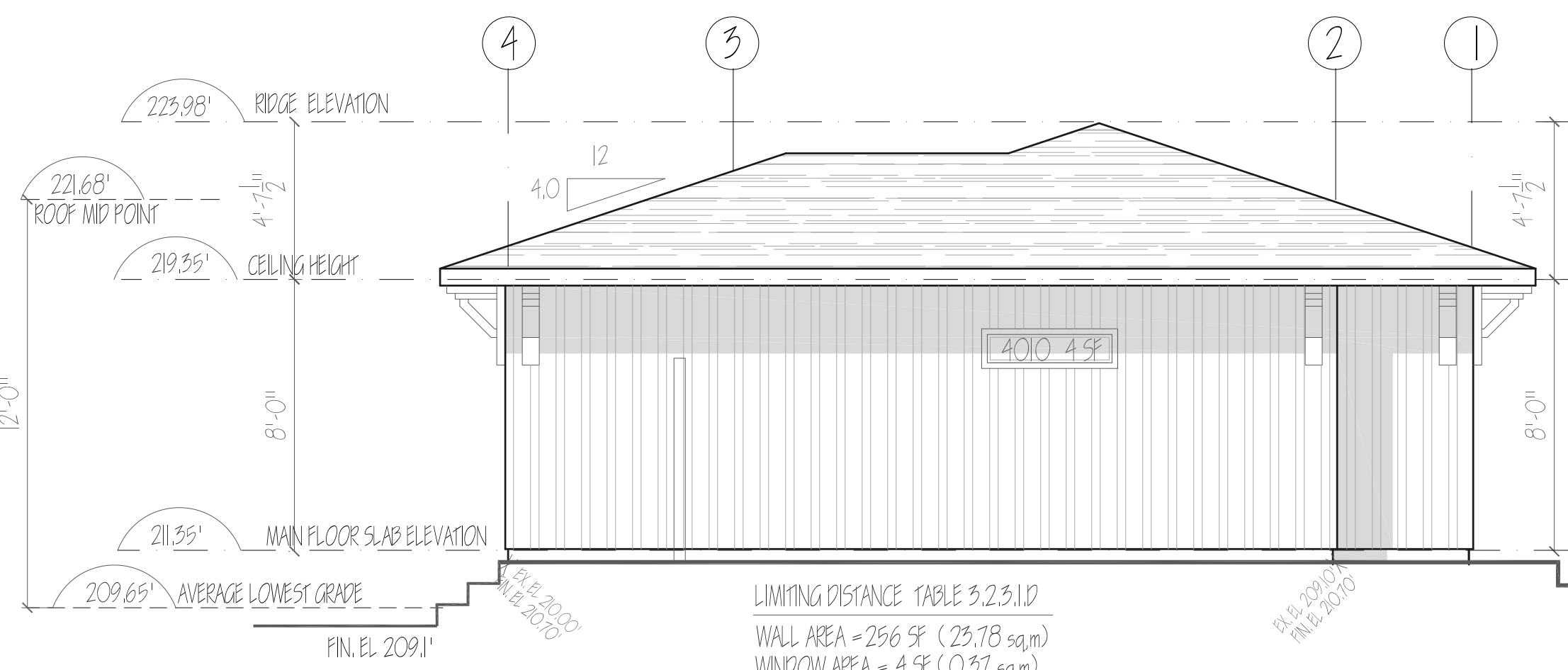


NORTH ELEVATION



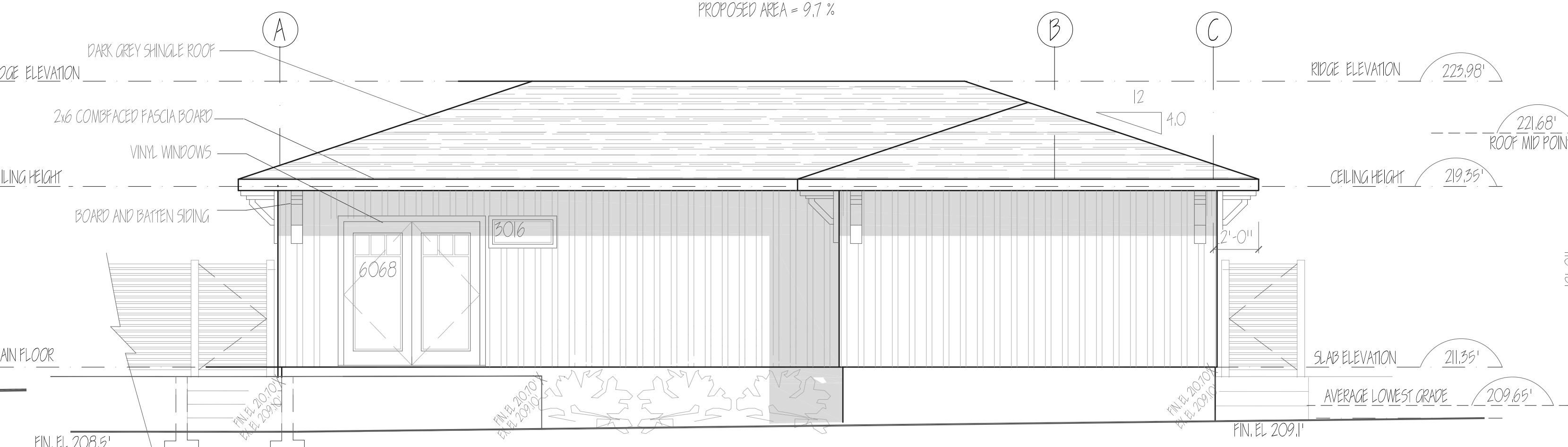
WEST ELEVATION

LIMITING DISTANCE TABLE 3.2.3.1.D
WALL AREA (window wall) = 256 SF (23.78 sq.m)
WINDOW AREA = 25 SF (2.32 sq.m)
ALLOWABLE AREA = 100 %
DISTANCE FROM PROP. LINE = 39'-7" (12.06m)
PROPOSED AREA = 9.7 %



EAST ELEVATION

LIMITING DISTANCE TABLE 3.2.3.1.D
WALL AREA = 256 SF (23.78 sq.m)
WINDOW AREA = 4 SF (0.37 sq.m)
ALLOWABLE AREA = 60 %
DISTANCE FROM PROP. LINE = 10'-0" (3.05m)
PROPOSED AREA = 1.6 %



SOUTH ELEVATION

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NO.	DESCRIPTION	DATE
REVISIONS		

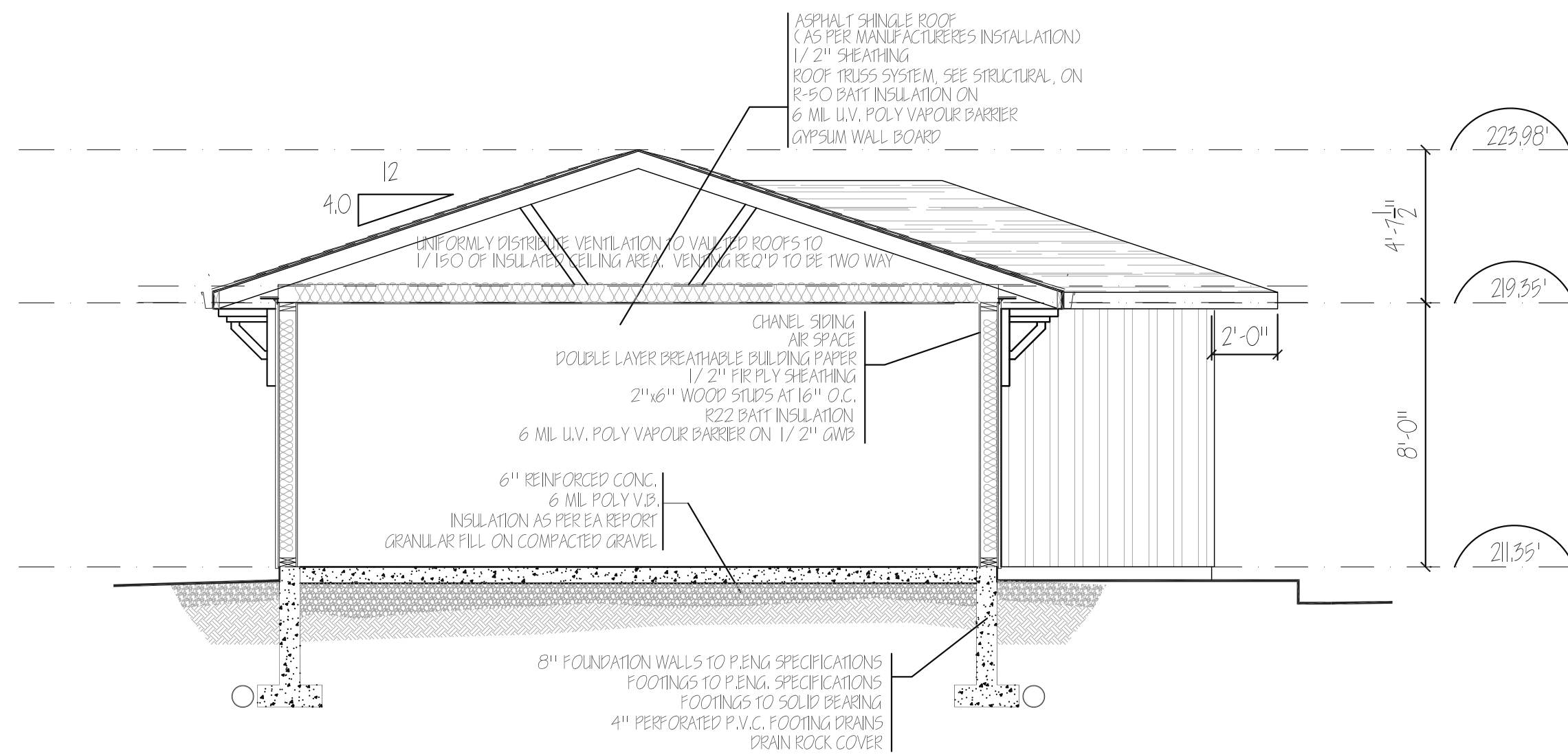
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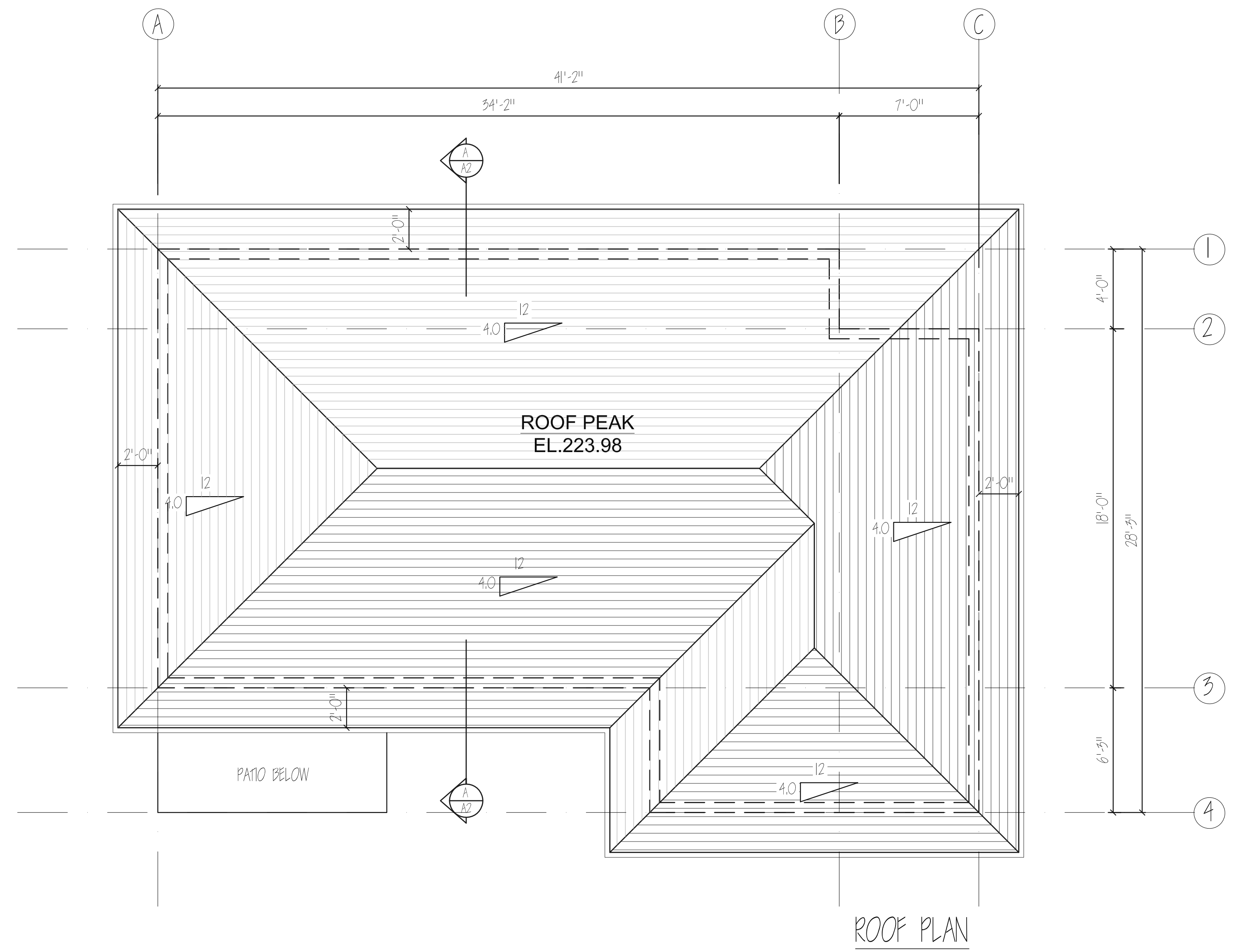
FLOOR PLAN AND ELEVATIONS

PROPOSED FOR:
JEFFERSON COACH HOUSE
1281 JEFFERSON AVENUE
West Vancouver, B.C.

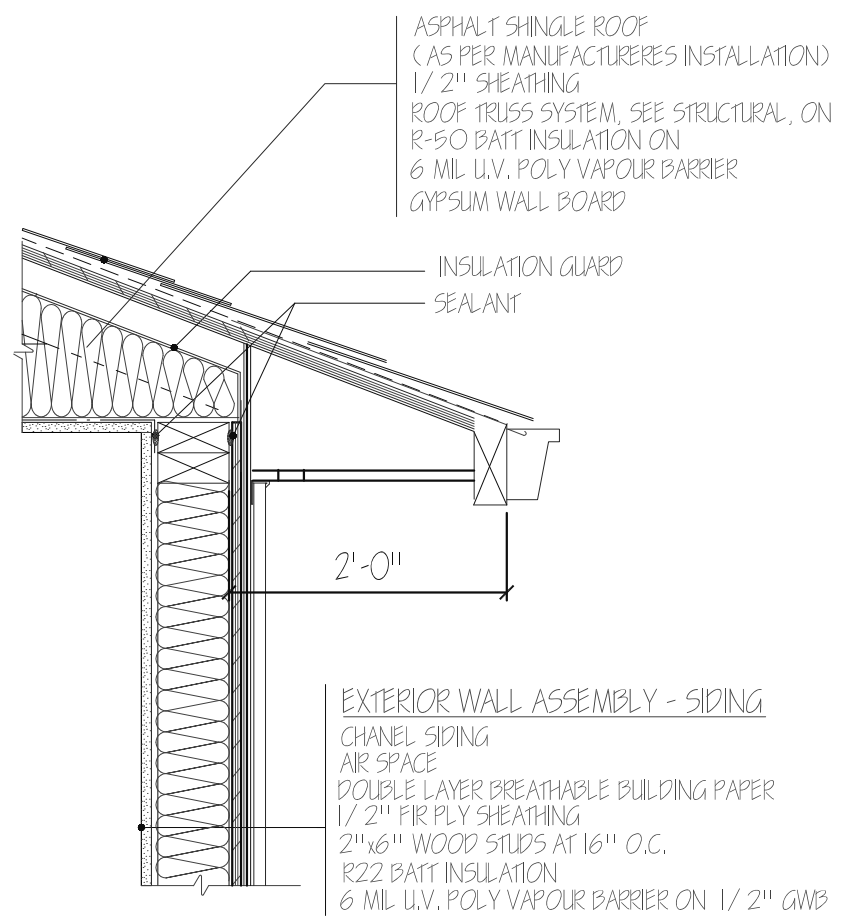
DATE:	AUGUST 20, 2024	SHEET NO.:	A2
SCALE:	1/4" = 1'-0"	DRAWN BY:	VJM
JOB NO.:	12-423		



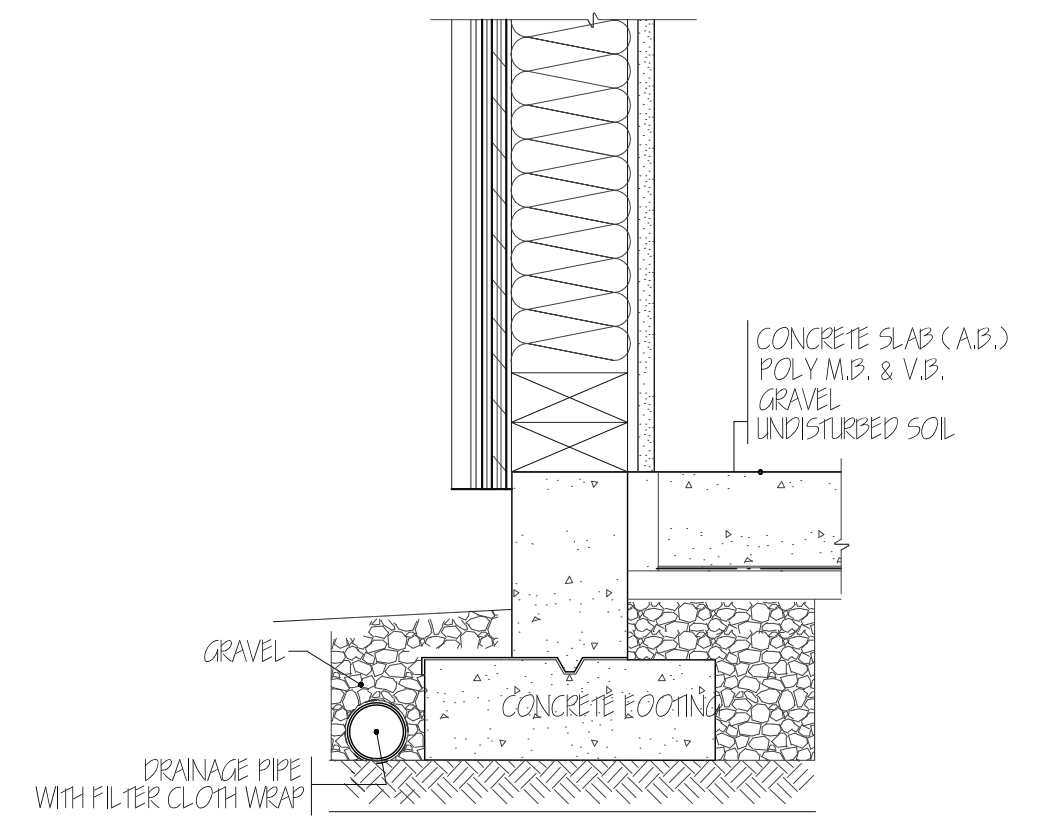
SECTION A-A



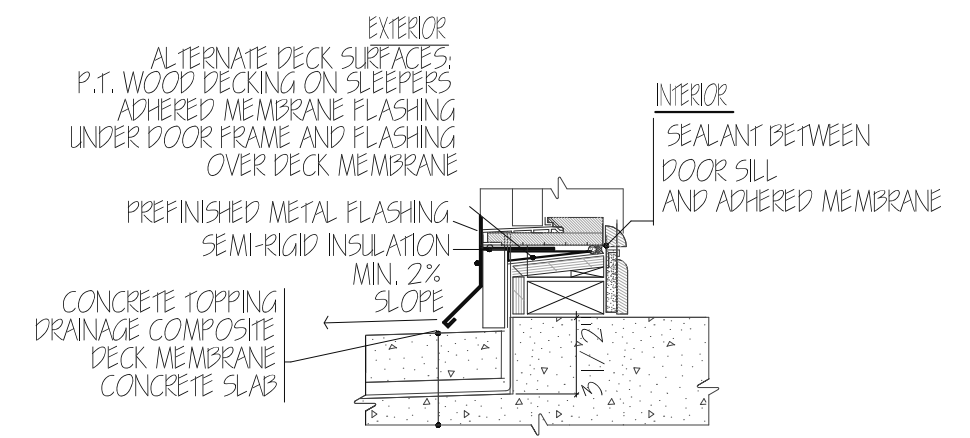
ROOF PLAN



ROOF / WALL 1 A3



FOUNDATION WALL AT SLAB 2 A3



BASE WALL AT DOOR SILL 3 A3

- GENERAL AND CONSTRUCTION NOTES**
- EXCAVATIONS:**
1. GEOTECHNICAL ENGINEER IS TO CERTIFY A SITE IS SAFE FOR WORKERS WHEN THE SLOPE OF THE EXCAVATION EXCEEDS 3/4 HORIZONTAL TO ONE VERTICAL OR EXCAVATION EXCEEDS 48"
 2. INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED SAFE BY PROF. ENG.
- FOUNDATIONS:**
1. PAD FOOTINGS ARE REQUIRED HAVE A MIN. FTG. AREA OF 4.3 SF SUPPORTING 1 FLOOR, 8.5 SF SUPPORTING 2 FLOORS & 10.7 SF 3 FLOORS
 2. FOOTINGS ARE TO EXTEND 18" BELOW GRADE MINIMUM.
 3. PROVIDE 1/2" O ANCHOR BOLT @ 8'-0" O.C.
 4. ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT.

- VENTILATION:**
1. UNIFORMLY DISTRIBUTE VENTILATION TO FLAT AND VALLTED ROOFS TO 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWO-WAY.
 2. PROVIDE WEATHER STRIPPED ATTIC ACCESS OF 3.4 SF. WITH NO DIMENSION LESS THAN 1'-0".
 3. PROVIDE MIN 2 1/2" CLEARANCE BETWEEN ROOF SHEATHING AND INSULATION #9.19.1.3.. PROVIDE 1" CLEARANCE BETWEEN TOP OF DECK AND ROOF JOISTS.
 4. VENTILATE ATTICS TO 1/300 OF INSULATED CEILING AREA.
 5. ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% AT BASE AND 25% IN ROOF TOP.

- MOISTURE PROTECTION**
1. PROVIDE FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES. ALL FLASHING TO SLOPE AWAY FROM BUILDING A MINIMUM OF 6%
 2. PROVIDE FLASHING AT ALL WALL-ROOF JUNCTIONS, INCLUDING PARAPETS FOR SOLID GUARDS ON DECKS.
 3. RAINSCREEN ASSEMBLY REQ'D FOR ALL BUILDINGS, WITH A MINIMUM CAPILLARY BREAK OF 3/8".
 4. ALL PLATFORMS ARE ROOFS.
 5. ALL ROOFS MUST SLOPE 1 IN 50 AWAY FROM WALLS, THIS INCLUDES PARAPET WALLS SURROUNDING DECKS.
 6. 6" CLEARANCE REQ'D BETWEEN DECK MEMBRANES & FLR.

- MISCELLANEOUS:**
1. CROSS BRIDGING REQ'D @ 7'-0" O.C. MAX. FOR FLOOR AND ROOF JOISTS.
 2. PROVIDE 8" CLEARANCE BETWEEN GRADE AND SIDING.
 3. DAMP-PROOFING FOR SLABS, INCLUDING CRAWL SPACES, ARE TO BE 6 MIL U.V. POLY.
 4. PROVIDE FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES.
 5. FLASHING TO SLOPE AWAY FROM THE BUILDING.

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NO.	DESCRIPTION	DATE
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ROOF PLAN, SECTIONS AND DETAILS

PROPOSED FOR:
 JEFFERSON COACH HOUSE
 1281 JEFFERSON AVENUE
 West Vancouver, B.C.

DATE:	AUGUST 20, 2024	SHEET No.	A3
SCALE:	1/4" = 1'-0"		
DRAWN BY:	VJM		
JOB NO.:	12-423		