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WM. A. DOCTOR RESIDENCE

4777 PILOT HOUSE ROAD - HERITAGE ALTERATION PERMIT APPLICATION

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IMAGES OF EXISTING DOCTOR HOUSE

AT THE ORIGINAL LOCATION OF THE HOUSE AT
5903 LARCH ST, VANCOUVER, BC



SOUTH SIDE



NORTH SIDE



EAST SIDE



WEST SIDE

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A0.2
HERITAGE HOUSE PHOTOS

WILLIAM A. DOCTOR RESIDENCE STATEMENT OF SIGNIFICANCE

Note: document is attached in pdf format

WILLIAM A. DOCTOR RESIDENCE
STATEMENT OF SIGNIFICANCE

JULY 2015




DONALD LUXTON AND ASSOCIATES INC.

DONALD LUXTON AND ASSOCIATES INC.
1050 - 470 GRANVILLE STREET, VANCOUVER, BC V6C 1V5
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STATEMENT OF SIGNIFICANCE: WILLIAM A. DOCTOR RESIDENCE, VANCOUVER

STATEMENT OF SIGNIFICANCE: WILLIAM A. DOCTOR RESIDENCE



Original Address: 5903 Larch Street, Vancouver, British Columbia
Historic Name: William A. Doctor Residence
Architect: William A. Doctor
Date of Construction: 1912

Description of the Historic Place
The William A. Doctor Residence is a one-storey, side-gabled house with full basement and projecting front verandah, which was originally located at 5903 Larch Street the Kerrisdale neighbourhood of Vancouver. William A. Doctor, a local architect, designed this unique, rustic California Bungalow residence for his family.

Heritage Value of the Historic Place
The William A. Doctor Residence, constructed in 1912, is valued for its association with the pre-World War One development of Vancouver and for its California Bungalow architecture, as designed by the owner.

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STATEMENT OF SIGNIFICANCE: WILLIAM A. DOCTOR RESIDENCE, VANCOUVER

In the years leading up to the First World War, Vancouver was amidst an unprecedented development boom connected to growing resource industries, and the associated flows of capital into the province. Newcomers poured into the Lower Mainland, following the capital and attracted by the career opportunities available in the area. One group of professionals lured by the bright prospect of Vancouver were architects. A growing population necessitated new buildings and architects arriving in the area were greeted with ample commissions. Ontario-born William A. Doctor earned an architecture degree from Yale University in 1907 and found his way to Vancouver the following year, partnering with several local architects and also working on his own. Doctor's notable commissions in Vancouver touched each part of the growing economy, and included numerous houses (specifically Craftsman bungalows), commercial buildings and government institutions.

In 1912, architect William A. Doctor designed his family home on the corner of Larch Street and West 43rd Avenue, within Vancouver's Kerrisdale neighbourhood. Streetcar service to the area had been established the same year and with this new accessibility, Kerrisdale began to quickly grow. The house is a unique example of a California Bungalow, with its horizontal massing, shallow gabled roofs, gable screens and open soffits. Doctor was clearly familiar with the current trends in California architecture, as exemplified by the acclaimed Pasadena firm Greene & Greene and Julia Morgan's work in the Bay Area. Doctor adapted their Arts and Crafts idiom in a rustic vernacular, using unpeeled log columns that projected through the roofline, multi-paned casement windows, mortise and tenon detailing, long barn shingles and an extensive use of clinker brick. The richly-designed interior features a complex series of interlocking shallow vaulted ceilings, wood wainscot and trim, and custom built-ins. William's family, including his wife Catherine, and their son, only stayed in the house for a couple of years before emigrating to the San Francisco area in 1914, where William would actively contribute to the architectural community through the 1920s. Known for his work throughout the Lower Mainland, as well as California, Doctor's architectural legacy is embodied in his own house, which has maintained a significant level of its original integrity over more than a century.

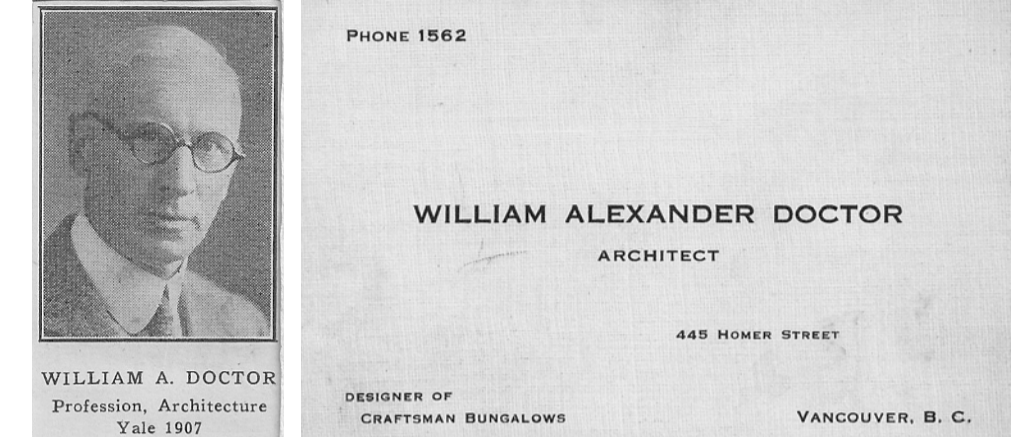
Character-Defining Elements
The elements that define the heritage character of the William A. Doctor Residence are its:
- residential form, scale, and massing as expressed by its one-storey height with full basement, its rectangular plan and its shallow side-gabled roof with front-gabled open verandah on the front elevation and balcony on the side elevation;
- wood-frame construction, including barn shingle cladding and mortise and tenon detailing;
- California Bungalow detailing including log pillars, oversized roof brackets, painted bargeboards and wide eaves with exposed rafter tails;
- variety of original windows including wood-frame, multi-paned casement assemblies, some with leaded and stained glass;
- original wooden front door with leaded glass light;
- one internal and one external chimney composed of a mixture of clinker brick and stone; and
- Arts and Crafts interior (within living room and dining room) features a complex series of interlocking shallow vaulted ceilings, dark wood wainscot panelling and trim, built-in grandfather clock and cabinetry, stained glass window with two birds, plywood bird light fixtures, custom hardware, rare pressed steel radiators, and a unique freiform fireplace of clinker brick, lava rock and Arts and Crafts tiles.

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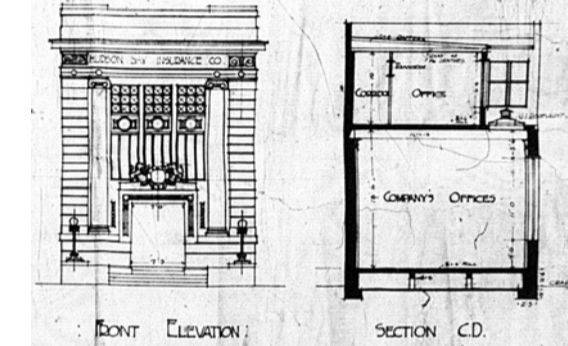
STATEMENT OF SIGNIFICANCE: WILLIAM A. DOCTOR RESIDENCE, VANCOUVER

RESEARCH SUMMARY

ORIGINAL ADDRESS: 5903 Larch Street, Vancouver, British Columbia
HISTORIC NAME: William A. Doctor Residence
CONSTRUCTION DATE: 1912
POINT GREY WATER PERMIT:
• #550, April 24, 1912, 5903 Larch Street, Signed by: C.H. (Catherine Hopkins, wife) Doctor



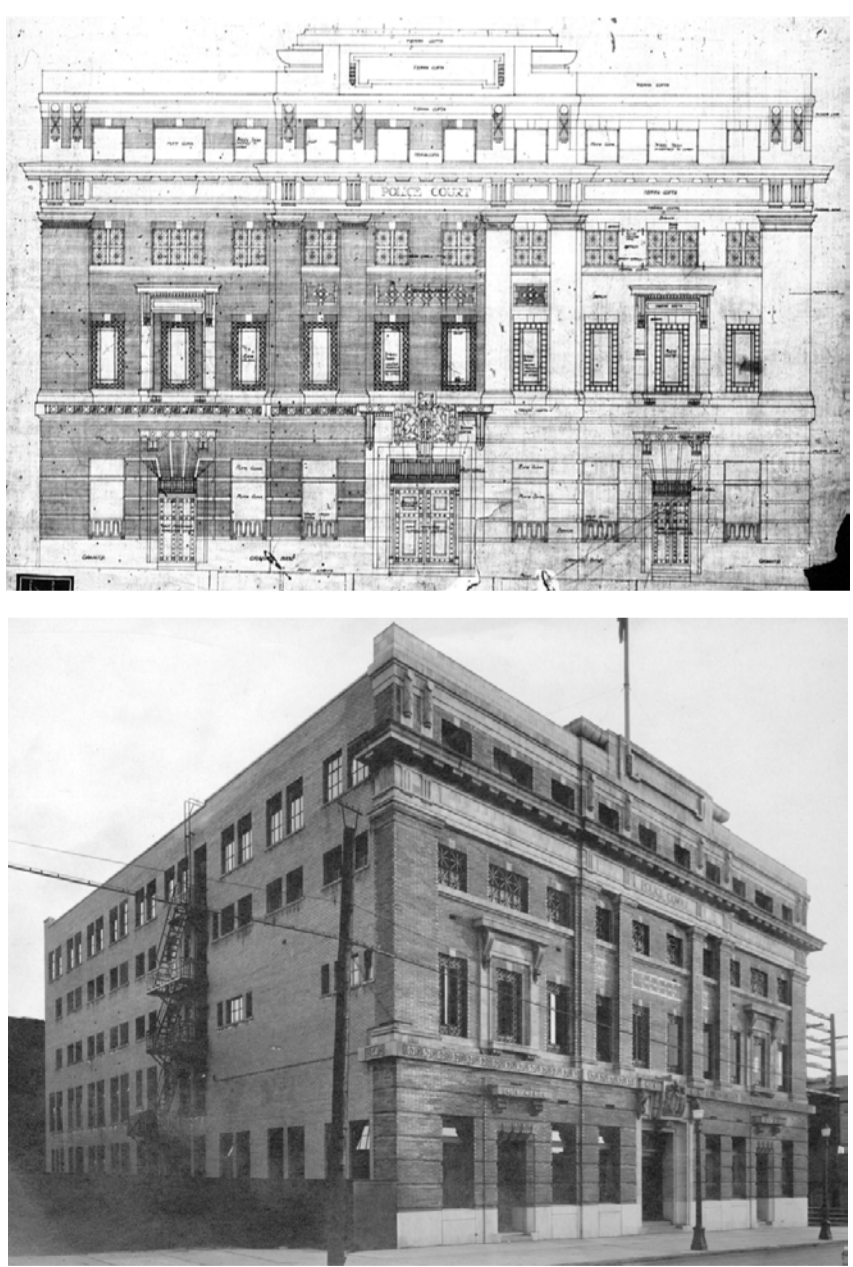
SELECT WILLIAM A. DOCTOR ATTRIBUTIONS IN VANCOUVER:
• 1911: Hudson's Bay Insurance Company office building at 924 West Hastings Street [facade remains intact and is now attached to the lane elevation of the 900 West Hastings Street office building]



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• 1913-14: Vancouver Police Headquarters, East Cordova Street (at Gore Street, demolished in 1956)




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SELECT WILLIAM A. DOCTOR ATTRIBUTIONS IN CALIFORNIA:
• 1923: Apartment building on northwest corner of Santa Clara Avenue and High Street in Alameda



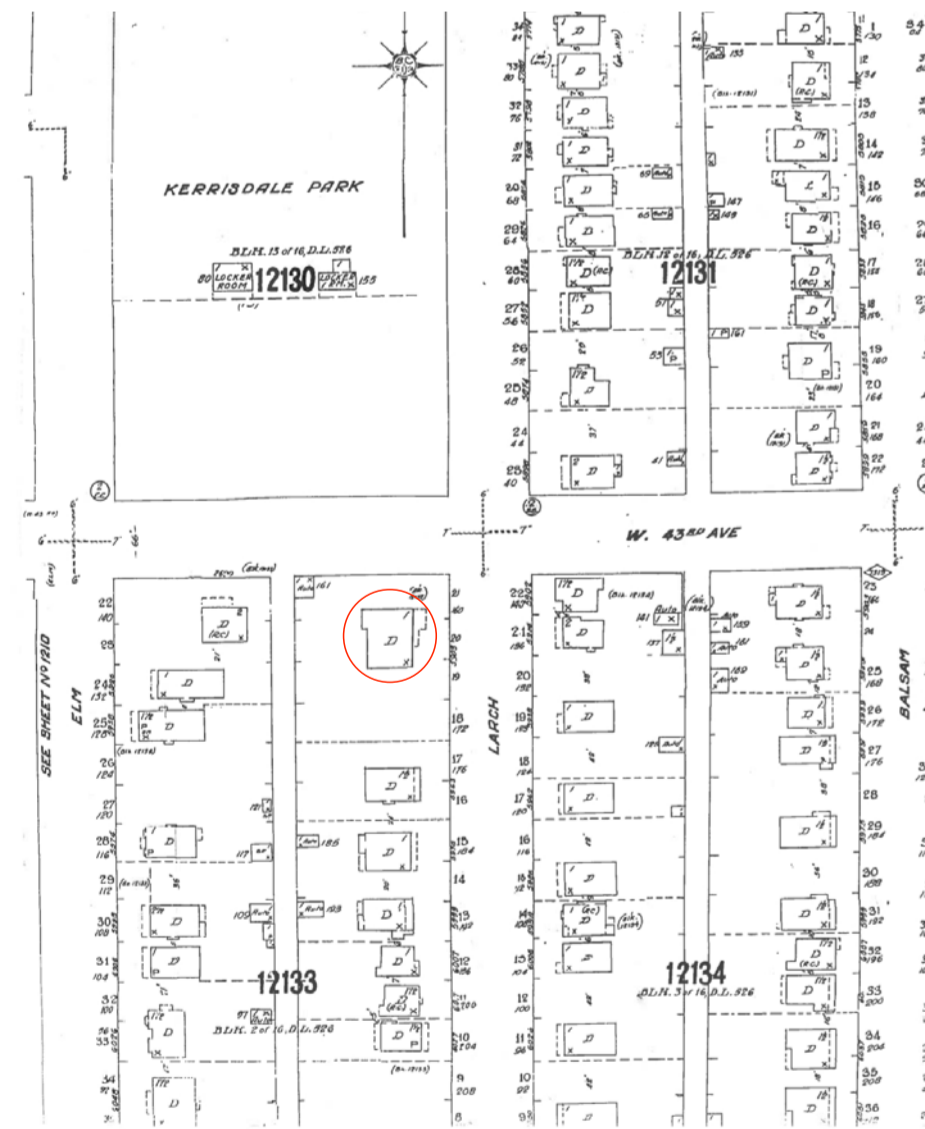
• circa 1925: House at 2352 Cedar Street in Berkeley



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STATEMENT OF SIGNIFICANCE: WILLIAM A. DOCTOR RESIDENCE, VANCOUVER


ARCHIVAL MAP AND PHOTOGRAPHS




1924 Vancouver Fire Insurance Map showing the William A. Doctor Residence in its original location at 5903 Larch Street

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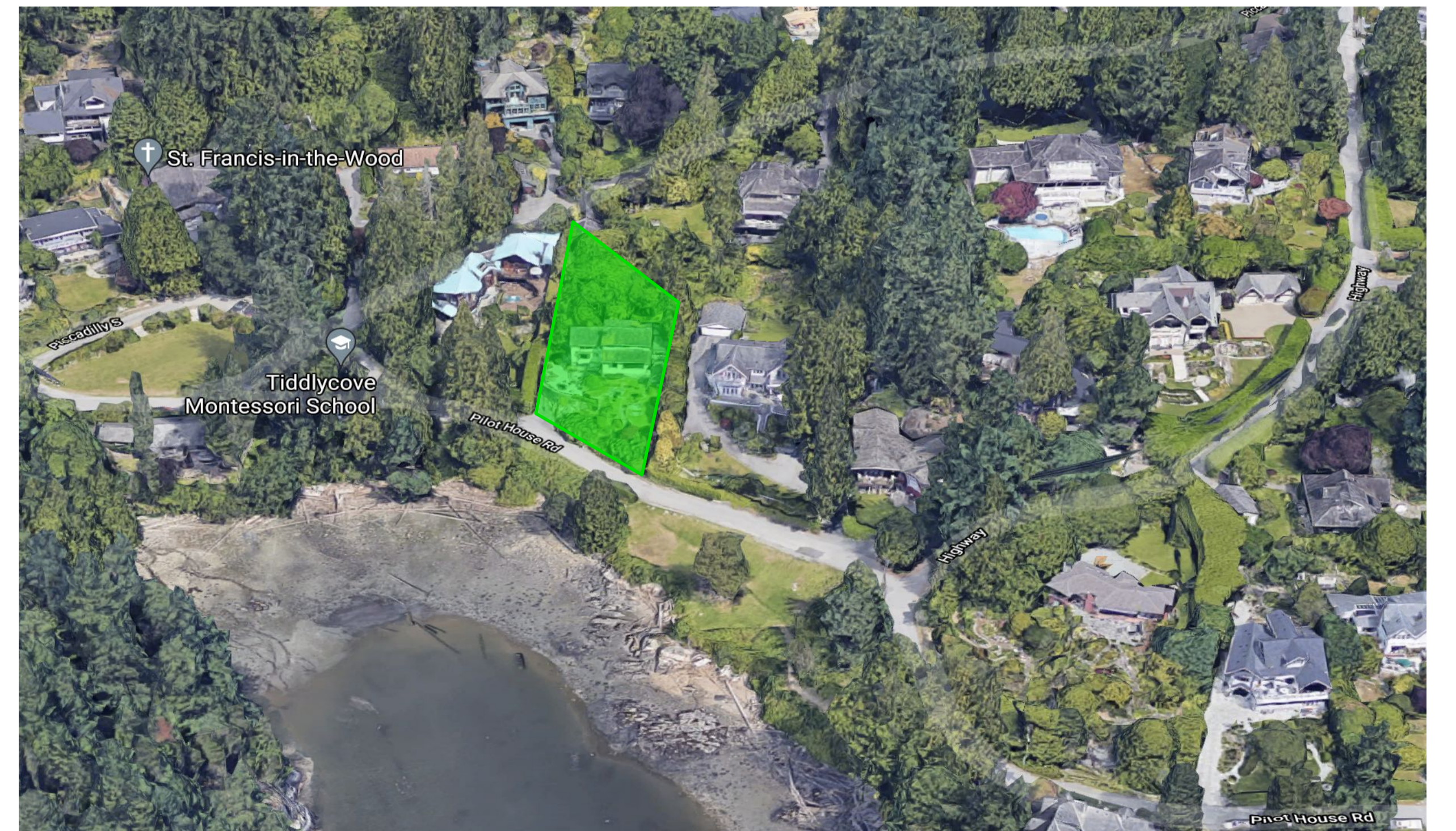
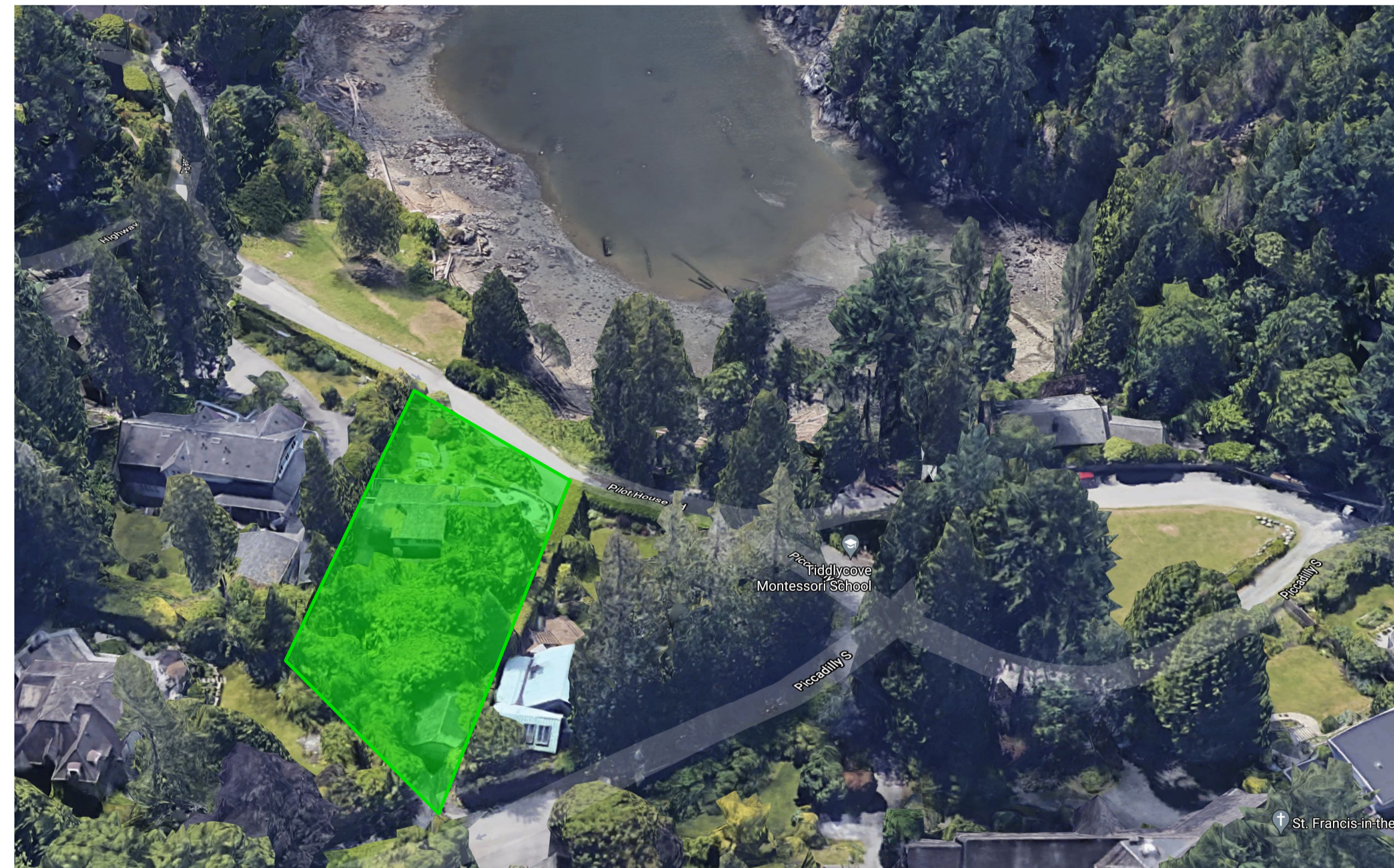
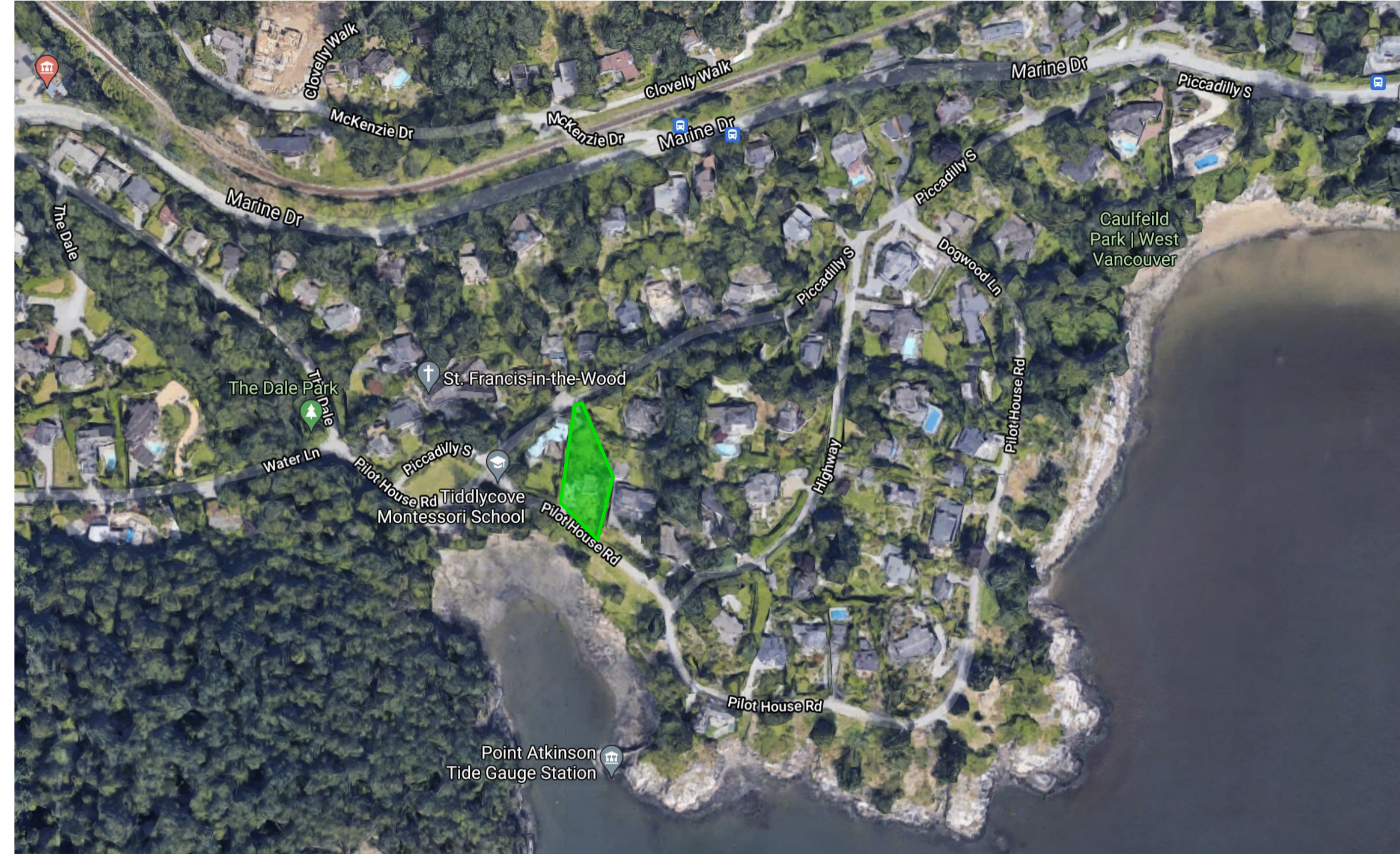


The house at 5903 Larch Street, circa 1913-14, courtesy of Bill Doctor, William and Catherine's grandson



Catherine Doctor with her son, circa 1914, courtesy of Bill Doctor, William and Catherine's grandson

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1 CONTEXT AERIAL PHOTOS OF VARYING SCALE
Scale: Actual Size



E 4777 PILOT HOUSE ROAD - ENTRANCE FROM PICCADILLY SOUTH



D 4751 PICCADILLY SOUTH



SITE ACCESS AND PARKING

1 CONTEXT/ACCESS



C 4787 PILOT HOUSE ROAD



B 4787 PILOT HOUSE ROAD



A 4775 PILOT HOUSE ROAD

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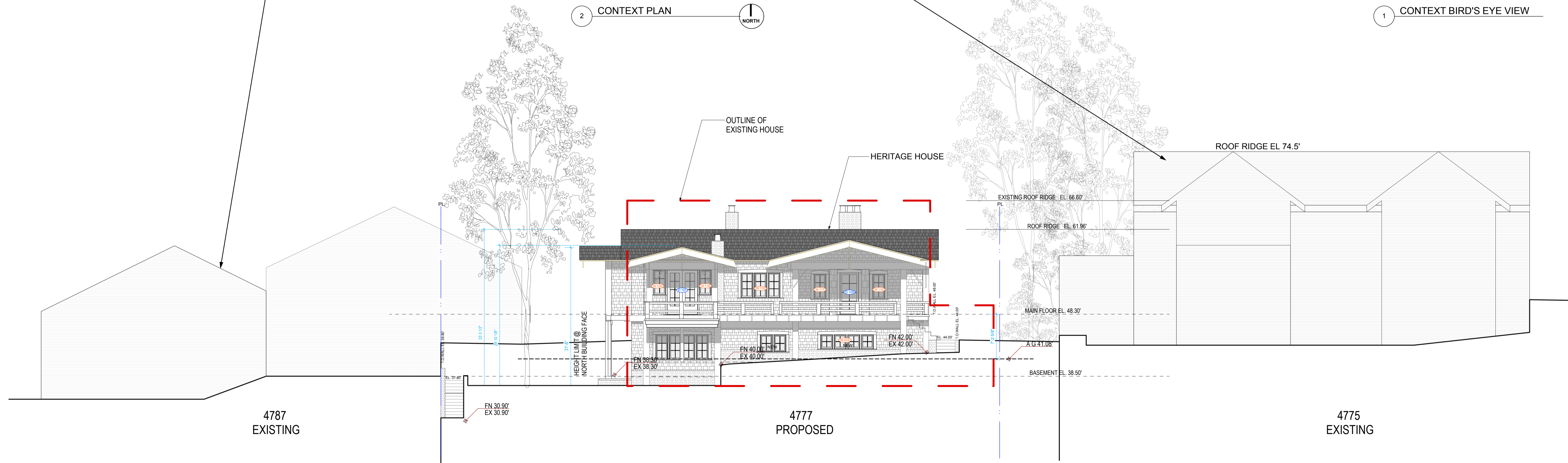
A0.3.2
SITE PHOTOS



2 CONTEXT PLAN



1 CONTEXT BIRD'S EYE VIEW



3 SITE SOUTH ELEVATION
Scale: 1/8" = 1'-0"

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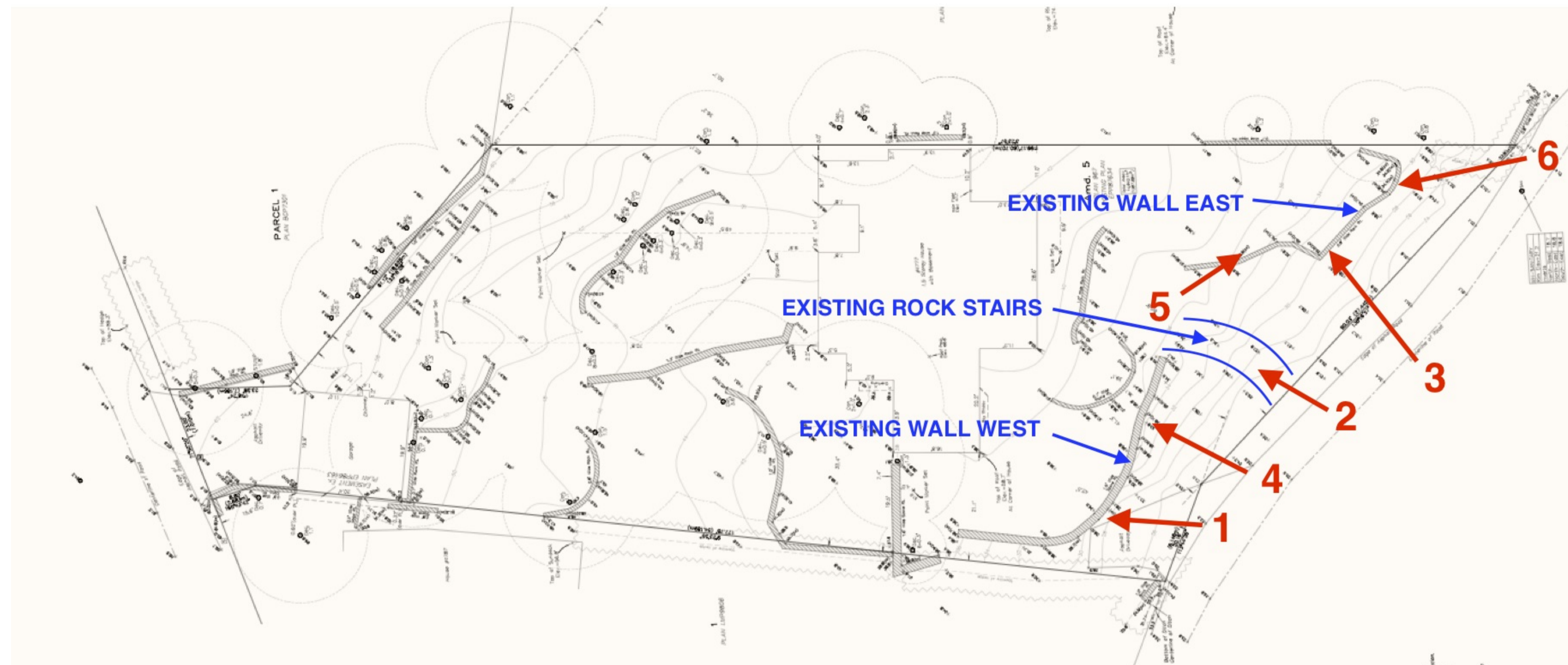
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A0.3.3
SOUTH ELEVATION/NEIGHBOURS



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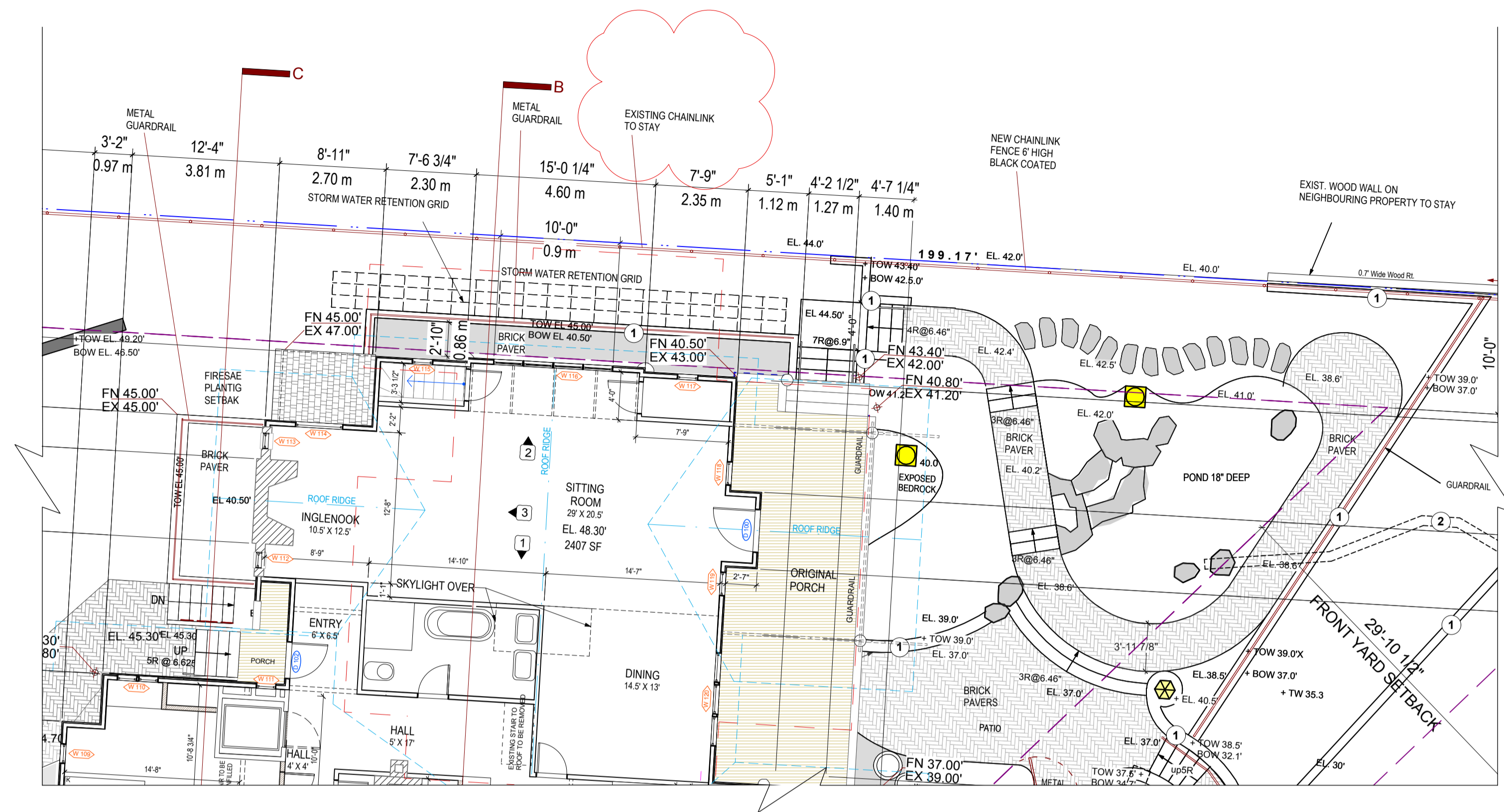
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A0.3.5
RETAINING WALLS @ FRONT YARD



1 SITE PLAN
Scale: 1/8" = 1'-0"



A EXISTING CHAIN LINK FENCE @ 4777 PILOT HOUSE Rd
EAST PROPERTY LINE BETWEEN 4777 & 4775



C NEW CHAIN LINK FENCE @ 4730 THE HIGHWAY



B EXISTING CHAIN LINK FENCE @ 4777 PILOT HOUSE Rd
EAST PROPERTY LINE BETWEEN 4777 & 4775 LOOKING SOUTH

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A0.3.6
CHAIN LINK FENCE

DR

GUIDELINES 13

HERITAGE CONSERVATION AREA GUIDELINES

GUIDELINES HE 6

LOWER CAULFEILD HERITAGE CONSERVATION AREA

Heritage Conservation Area Designation HE 6
The Lower Caulfeild Area, as defined and illustrated by the Lower Caulfeild Heritage Conservation Area Designation Map HE 6, is designated as a Heritage Conservation Area.

Lower Caulfeild Heritage Conservation Area HE-HCA-6	<p>Category Local Government Act s. 614 (1)</p> <p>Heritage Features and Characteristics Lower Caulfeild is the collection of private residences, St. Francis-in-the-Wood Anglican Church, and public lands (parks and streets) situated on the peninsula between Pilot Bay and Caulfeild Cove, just east of Lighthouse Park.</p> <p>The Lower Caulfeild area is important as an historic neighbourhood that combines the natural beauty of the coastal landscape with the picturesque English architectural and garden landscape traditions adapted by British settlers to coastal British Columbia.</p> <p>Originally part of a large parcel of land purchased in 1899, Lower Caulfeild was conceived by Francis Caulfeild as a village of good design set naturally in the landscape, with the coastline primarily reserved for public enjoyment. It was subdivided with properties of varying size and shape, irregularly arrayed along narrow, winding country lanes.</p> <p>The landscape of Lower Caulfeild is important for the prominence of its natural features. It has a mostly undisturbed coastline, with rocky promontories and a sandy cove; and there are rocky outcroppings throughout the neighbourhood. It is also important as a setting for native plant species (cedar, Douglas fir, vine maple, arbutus and dogwood) and coastal ecologies, as well as ornamental and naturalized gardens.</p> <p>The character-defining elements of Lower Caulfeild include:</p> <ul style="list-style-type: none"> a residential neighbourhood edged by waterfront parkland; landscapes of natural rock outcroppings and primarily native plant species; narrow, winding lanes with informal verges; properties dominated by naturalized landscapes and rockeries in the English garden tradition; houses lightly sited on and amidst undisturbed or lightly modified rock outcroppings; and vistas east, west (Lighthouse Park), and south (water) from many points, configuration of lots. <p>Objectives</p> <ul style="list-style-type: none"> To maintain Lower Caulfeild's distinctive character as expressed by natural rock outcroppings, native trees, naturalized plants in domestic rock gardens, curving and narrow lanes, informal road edges, waterfront parkland, rocky shoreline, and sensitively-sited buildings. To conserve and enhance the heritage character of Lower Caulfeild through: <ul style="list-style-type: none"> the retention and renovation of existing buildings; and new development that is designed to fit with and retain natural site attributes.
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Policy HE 8
Applications for the cutting of trees on public land shall comply with the Municipal Tree Policy and/or the Caulfeild Park Management Plan.

Lower Caulfeild Heritage Conservation Area Map HE 6

The following guidelines apply to development within the context of the objectives of HE 6. In specific situations, adherence to a particular guideline may not be appropriate to achieve the intent of the Conservation Area designation.

1. SITE AND LANDSCAPE DESIGN

- Alteration of existing terrain should be avoided, or minimized where it is not practical to avoid disruption, to conserve a site's natural characteristics.
- Healthy trees and vegetation should be retained, taking into account protection of existing views and vistas, and access to sunlight.
- Natural rock outcroppings should be retained and incorporated into the landscape design.
- The visual impact of swimming pools and deck areas should be minimized, and removal of rock outcroppings for swimming pools should be avoided.
- Retaining walls, particularly those that would be visible from the property's road frontage or public land, should be avoided. If not practical to do so, mitigation measures should be implemented to reduce visual impacts of retaining walls, such as stepped construction and landscape screening. Retaining walls should be constructed of, or faced with, natural or split rock material.

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- The project includes a Heritage house to be moved onto the site at 4777 Pilot House Road and construction of a new Coach House.
The Heritage house will be located on the footprint of the house currently existing on the lot. The footprint of the Heritage house is slightly larger. The lower level will sit at approximately the same elevation as the basement level of the existing house. A very minimal amount of excavation will be required along the east side of the house.
- Healthy trees and vegetation will be retained to as great an extent as possible given Wildfire Prevention policies, including shrubs, hedges along property lines and native plant material. The existing, topped/compromised conifers will be removed to comply with the wildfire mitigation requirements for the area. New trees will be planted to replace them. The tree species have been carefully selected to be evergreen deciduous trees with lower mature height than the conifers to preserve neighbours' views.
- Natural rock outcroppings will remain except where steps are required to move through the steep topography of the site.
- The proposal does not include a swimming pool. A modest water feature is proposed in the front yard. The original proposal of a waterfall has been revised to a pool to respond to concerns of the eastern neighbour.
- Retaining walls visible from Pilot House Road will be rebuilt to meet current seismic standards. The new retaining walls will be similar in height and extent to the existing walls. The walls will be terraced with planting beds in the terraces.

Guidelines Schedule	Guidelines HE 6 shall apply.
Heritage Alteration Permits	<p>An Alteration Permit shall be required for development on private property involving:</p> <ul style="list-style-type: none"> subdivision, including lot line realignment; new buildings or structures; alteration of and/or addition to an existing building or structure; and alteration of natural landforms, site features, or established grade. <p>Nothing in this Policy requires Council or its delegate to issue a Heritage Alteration Permit if it believes that the Permit would allow development contrary to the guidelines of this Schedule. This Policy does not in any way affect or diminish the powers of the Approving Officer.</p>
Exemptions for Heritage Alteration Permits	<p>An Alteration Permit shall not be required for:</p> <ul style="list-style-type: none"> interior work that does not materially affect the external appearance of a building or increase the floor area; or demolition of an existing building or structure; or tree cutting or fence construction for which no municipal approval is required, except within any required yard abutting a road or public property; or a renovation or addition to an existing building, comprising a floor area increase of less than 10% of the existing building, that is consistent with Guidelines HE 6, conforms to the Zoning Bylaw, and does not include other site alteration.
Delegation of Issuance of Heritage Alteration Permits	<p>In accordance with the provisions of s. 617 of the Local Government Act, Council delegates to the Director of Planning, Lands and Permits the authority to issue or refuse a Heritage Alteration Permit if the proposed development is:</p> <ul style="list-style-type: none"> a lot line realignment; or construction of a new building or structure, or renovations to an existing building or structure, that is consistent with guidelines HE 6 and conforms to the Zoning Bylaw; or construction of a new building or structure, or renovations or additions to an existing building or structure, that is consistent with guidelines HE 6 and in substantial conformity to the Zoning Bylaw, meaning that any variance is minor and compliance with the Zoning Bylaw would involve hardship or loss of heritage value or character; or replacement of an existing building or structure that was lawfully constructed but does not conform to the current Zoning Bylaw, with a new building or structure that maintains the same siting and massing, and does not require any further variances to the Zoning Bylaw.

Policy HE 6
Conserve the heritage value and character-defining elements of the Lower Caulfeild neighbourhood as shown on Map HE 6.

Policy HE 7
Any proposals for significant change by the District of West Vancouver within a park or public right-of-way, including boulevards, roads and walkways, shall require community consultation prior to plans being finalized.

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2. ARCHITECTURAL DESIGN

- Where practical, new replacement buildings should be sited on previously disturbed areas of the property in order to retain remaining natural site features.
- Additions and renovations to existing buildings should be in keeping with the established architectural and landscape character of the property.
- The perceived scale of new development should be minimized through one or more of the following design considerations:
 - building siting;
 - careful siting of buildings in relation to neighbouring buildings, roadway, and other public spaces;
 - increased yards;
 - steeping roofs;
 - varied building forms

3. DRIVEWAYS AND GARAGES

- Minimize the visual impact of driveways and surface parking areas using techniques such as: single-width driveways on smaller lots; narrow, curved driveways on larger lots; and landscape screening.
- Garage (integrated, attached or detached) should be designed in the same style and finished with the same materials as the house.
- Garage doors should be designed and located so as not to dominate the view from the public roadway.

4. STREETScape CHARACTER

- To maintain the area's 'neighbourly' qualities, private properties should be bordered with soft landscaping, hedges, and/or ornamental fencing. Tall and solid fences, walls, and prominent security gates are discouraged.
- Public boulevards and adjacent private lands should be landscaped to maintain the 'naturalized' landscape character of the area.
- Exterior lighting should be kept at a low level intensity and directed downward to preserve Lower Caulfeild's dark sky environment. Light pollution onto adjacent properties and public areas should be avoided.

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- The Heritage house will be placed in the location of the house currently existing on the lot.
- The existing building will be removed. It will not be renovated or added to.
- The Heritage house is one storey and basement. The roof ridge is lower than the existing house which has three levels. The basement of the Heritage house tucks into the topography largely within the footprint of the existing house.
- The Heritage house is lower than the existing house. It will be located farther away from the east property line. It will be 10 ft. away from the east property line - the existing house is 0.9 ft. away from the east property line.
- Overlook of adjacent properties has been minimized. The proposed house is significantly lower than the houses to the east and west and north. To the south, across Pilot House Road, is Caulfeild Cove.
- Traditional building materials will be used. The Heritage house is clad in its original cedar shakes with painted wood trims, eave braces, roof overhangs and porch. The Coach House will be clad in noncombustible materials in conformance with wildfire mitigation requirements. The siding will be cementitious shingle. The roofing will be asphalt shingle.
- Mechanical equipment will be minimal with a condensing unit for each building, the Heritage house and the Coach House, located centrally in the rear yard, as far from neighbours as possible within the site.
- Driveways and Garages**
 - The driveway will be located off Piccadilly South in the location of the existing driveway. It will be slightly steeper and minimally visible from the street. It will be paved with red brick. The driveway will curve down to the single garage in the Coach House.
 - A two-car garage is now proposed as an alternative to the originally planned coach house.
 - The garage doors will be antique doors with solid wood panels and upper glazing.
- Streetscape Character**
 - Hedges and soft planting are proposed for the property edges. Tall, solid fencing is not proposed. A security gate is not proposed.
 - Soft planting will be provided adjacent to public lands.
 - Exterior lighting will follow pathways through the site and will be low bollard/steight/in-ground lights.



NO.	DATE	REVISION
6	24/11/20	RESPONSE TO STAFF COMMENTS
5	24/10/20	RESPONSE TO STAFF COMMENTS
4	24/07/20	RESPONSE TO HAP COMMENTS
3	23/05/24	HAP FORMAL APPLICATION
2	22/01/10	HERITAGE ALTERATION PERMIT
1	21/12/25	HERITAGE ALTERATION PERMIT

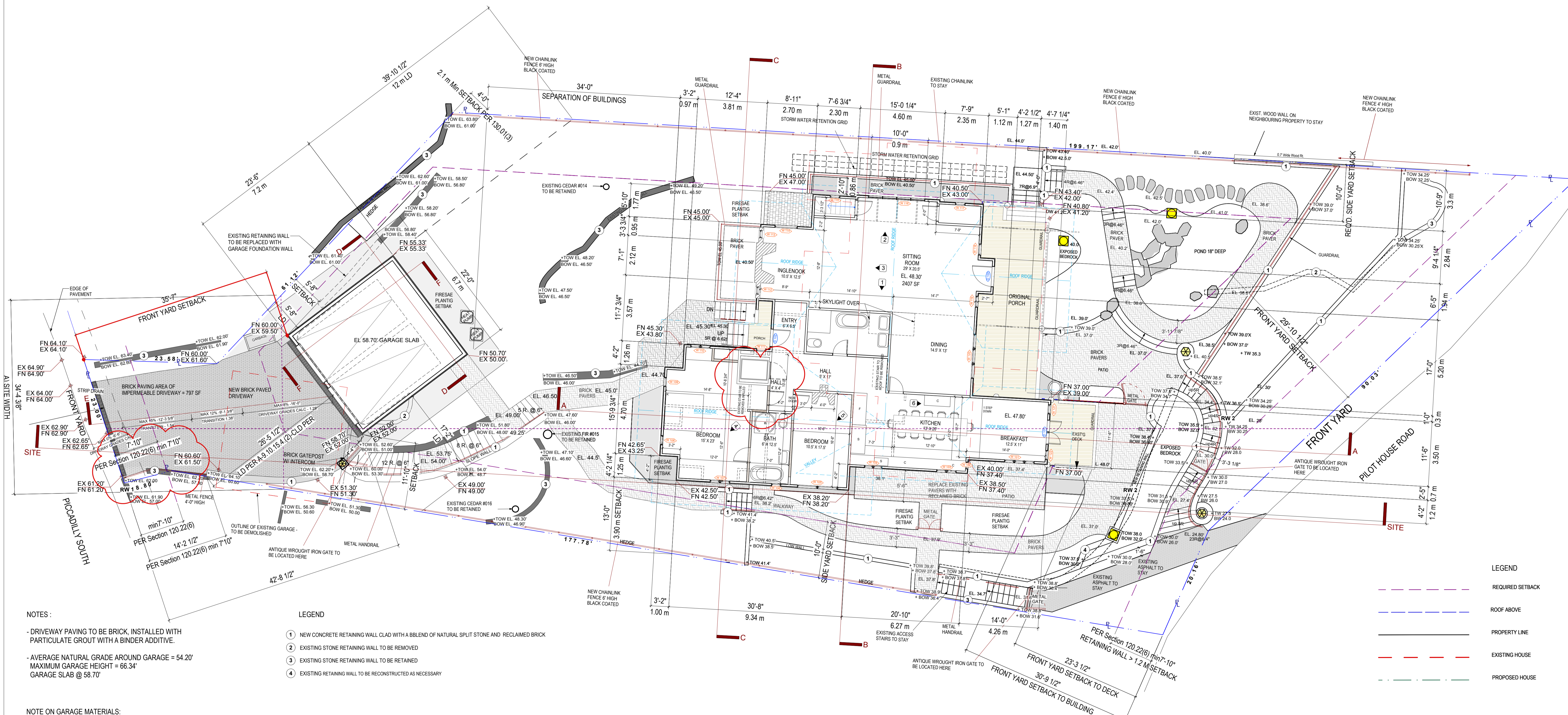
FLOOR AREA	PROPOSED	PERMITTED/REQUIRED
PRINCIPAL BUILDING GFA	BASEMENT GFA 213.7 sq m (2300.4 sf) +MAIN FLOOR GFA 223.6 sq m (2406.6 sf) = 437.3 sq m (4707.0 sf)	
PRINCIPAL BUILDING FLOOR AREA EXCLUSION	BASEMENT GFA - 0.13 x BASEMENT GFA 213.7 sq m (2300.4 sf) - 27.8 sq m (299.0 sf) = 185.9 sqm (2001.4 sf)	BASEMENT FAR EXEMPTION 130.08(4)(b)
PRINCIPAL BUILDING NET FLOOR AREA	BASEMENT NET 223.6 sq m (2406.6 sf) +MAIN FLOOR NET + 185.9 sqm (2001.4 sf) = 409.5 sqm (4408.0 sf) NET FA 29%	30% OF LOT AREA PER 203.06 (1) 416.6 sq m (4484.0 sf)
GARAGE GFA	CRAWL SPACE GFA 48.1 sq m (517.7 sf) +MAIN FLOOR GFA + 48.1 sq m (517.7 sf) = 96.2 sq m (1035.4 sf)	
GARAGE FLOOR AREA EXCLUSION	CRAWL SPACE EXCL. 48.1 sq m (517.7 sf) MAIN FLOOR EXCL. 41.0 sq m (441.3 sf)	EXEMPTION PER 130.08(3)(a) EXEMPTION PER 130.08(5)(a)
GARAGE NET FLOOR AREA	CRAWL SPACE NET 0 +MAIN FLOOR NET 7.1 sq m (76.4 sf) = 7.1 sq m (76.4 sf)	AVAILABLE FROM 30% OF LOT AREA

2 FLOOR AREA DATA

	PROPOSED	PERMITTED/REQUIRED
ZONING		RS3
DWELLING UNITS	1 SINGLE FAMILY DWELLING UNIT + 1 GARAGE	1 SINGLE FAMILY DWELLING UNIT + 1 ACCESSORY BUILDING
SITE AREA	1388.6 sq m (14946.6 sq ft)	MINIMUM 1115 sq ft PER 203.03
PRINCIPAL BUILDING NET FLOOR AREA	409.5 sq m (4408.0 sf)	30% OF LOT AREA 416.6 sq m (4484.0 sq ft) PER 203.06 (1)
GARAGE NET FLOOR AREA	7.1 sq m (76.4 sf)	7.1 sq m (76.4 sf) AVAILABLE FROM 30% OF LOT AREA
PRINCIPAL BUILDING FAR	0.29	0.3
NUMBER OF STOREYS	PRINCIPAL BLDG: 1 STOREY + BASEMENT GARAGE: 1 STOREY + CRAWL SPACE	MAXIMUM 2 + BASEMENT PER 203.11 MAXIMUM 1 PER 130.01(7)(a)
LOT COVERAGE	30%	30% PER 203.05
SIDE WIDTH & DEPTH	10.5 m (34'4 3/4") 67.3 m (221')	MINIMUM SW 18.3 m (60') PER 203.04 MINIMUM SD < 5 x THE SITE WIDTH
BUILDING HEIGHT	PRINCIPAL BLDG: 5.65 m (18' 6 1/2") GARAGE: 4.3 m (14' 2") RELAXATION REQUIRED	MAXIMUM 7.62 m (25') PER 203.10 MAXIMUM 3.7 m (12.1') PER 130.01(7)(b)
PRINCIPAL BUILDING FRONT YARD SETBACK TO PICCADILLY SOUTH	15.2 m (49'11 1/2")	MINIMUM 9.1m (29'10") PER 203.07
PRINCIPAL BUILDING FRONT YARD SETBACK TO PILOT HOUSE ROAD	7.1 m (23'3") RELAXATION REQUIRED FOR DECK	MINIMUM 9.1m (29'10") PER 203.07
PRINCIPAL BUILDING WEST SIDE YARD SETBACK	A. 3.9 m (13')	MINIMUM 1.52 m (4'10") PER 203.09(1)
PRINCIPAL BUILDING EAST SIDE YARD SETBACK	B. 3.3 m (10' 9")	MINIMUM 1.52 m (4'10") PER 203.09(1)
PRINCIPAL BUILDING COMBINED SIDE YARD	A+B=7.2 m (23' 9")	MINIMUM 4.9 m/16 ft PER 203.09(1)(b)(i)
GARAGE FRONT YARD SETBACK TO PICCADILLY	10.8 m (35' 7")	MINIMUM 9.1m (29'10") PER 203.07
GARAGE EAST SIDE YARD SETBACK	a. 1.7 m (5' 8")	MINIMUM 1.52 m (5') PER 203.09(1)(a)
GARAGE WEST SIDE YARD SETBACK	b. 3.6 m (11' 5")	MINIMUM 1.52 m (5') PER 203.09(1)(a)
GARAGE COMBINED SIDE YARD SETBACK	a+b= 5.3 m (14' 5")	MINIMUM 4.9 m (16') PER 203.09(1)(b)
VEHICLE PARKING	2 SPACES	

1 SITE DATA

CIVIC ADDRESS: 4777 PILOT HOUSE ROAD
 LEGAL DESCRIPTION: AMENDED LOT 5 BLOCK 2 DISTRICT LOT 811 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 967



NOTES:

- DRIVEWAY PAVING TO BE BRICK, INSTALLED WITH PARTICULATE GROUT WITH A BINDER ADDITIVE.
- AVERAGE NATURAL GRADE AROUND GARAGE = 54.20'
- MAXIMUM GARAGE HEIGHT = 66.34'
- GARAGE SLAB @ 58.70'

- LEGEND
- 1 NEW CONCRETE RETAINING WALL CLAD WITH A BLEND OF NATURAL SPLIT STONE AND RECLAIMED BRICK
 - 2 EXISTING STONE RETAINING WALL TO BE REMOVED
 - 3 EXISTING STONE RETAINING WALL TO BE RETAINED
 - 4 EXISTING RETAINING WALL TO BE RECONSTRUCTED AS NECESSARY

- LEGEND
- - - - - REQUIRED SETBACK
 - - - - - ROOF ABOVE
 - - - - - PROPERTY LINE
 - - - - - EXISTING HOUSE
 - - - - - PROPOSED HOUSE

NOTE ON GARAGE MATERIALS:

- ALL EAVES, ATTICS, ROOF VENTS, AND OPENINGS UNDER FLOORS MUST BE SCREENED TO PREVENT THE ACCUMULATION OF COMBUSTIBLE MATERIAL, USING 3-mm, NON-COMBUSTIBLE WIRE MESH, AND VENT ASSEMBLIES WILL USE FIRE SHUTTERS OR BAFFLES.
- ALL WINDOWS WILL BE DOUBLE-GLAZED OR OF GLASS BLOCK AND WINDOW SCREENS WILL BE NON-COMBUSTIBLE.

1 SITE PLAN
 Scale: 1/8" = 1'-0"

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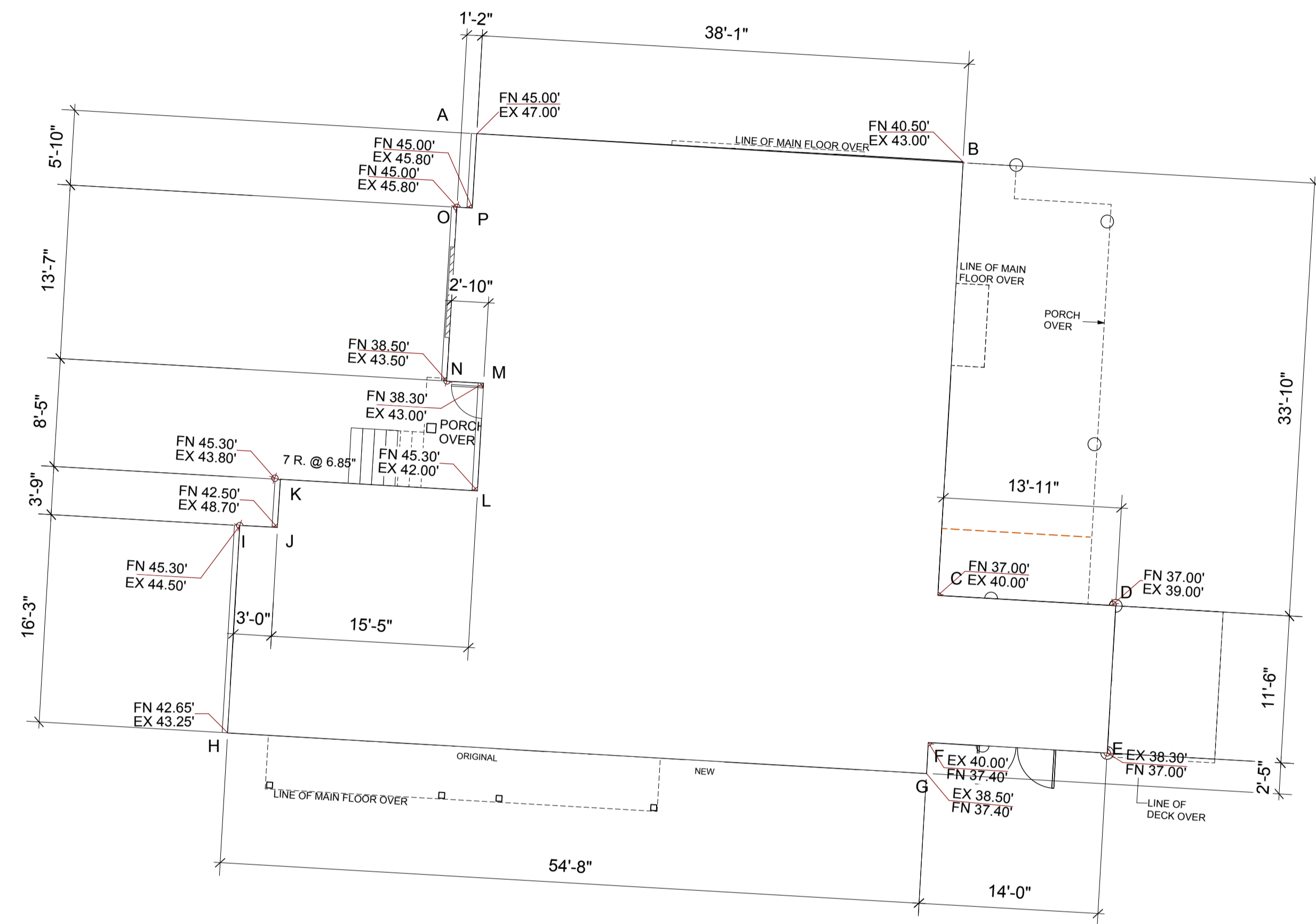
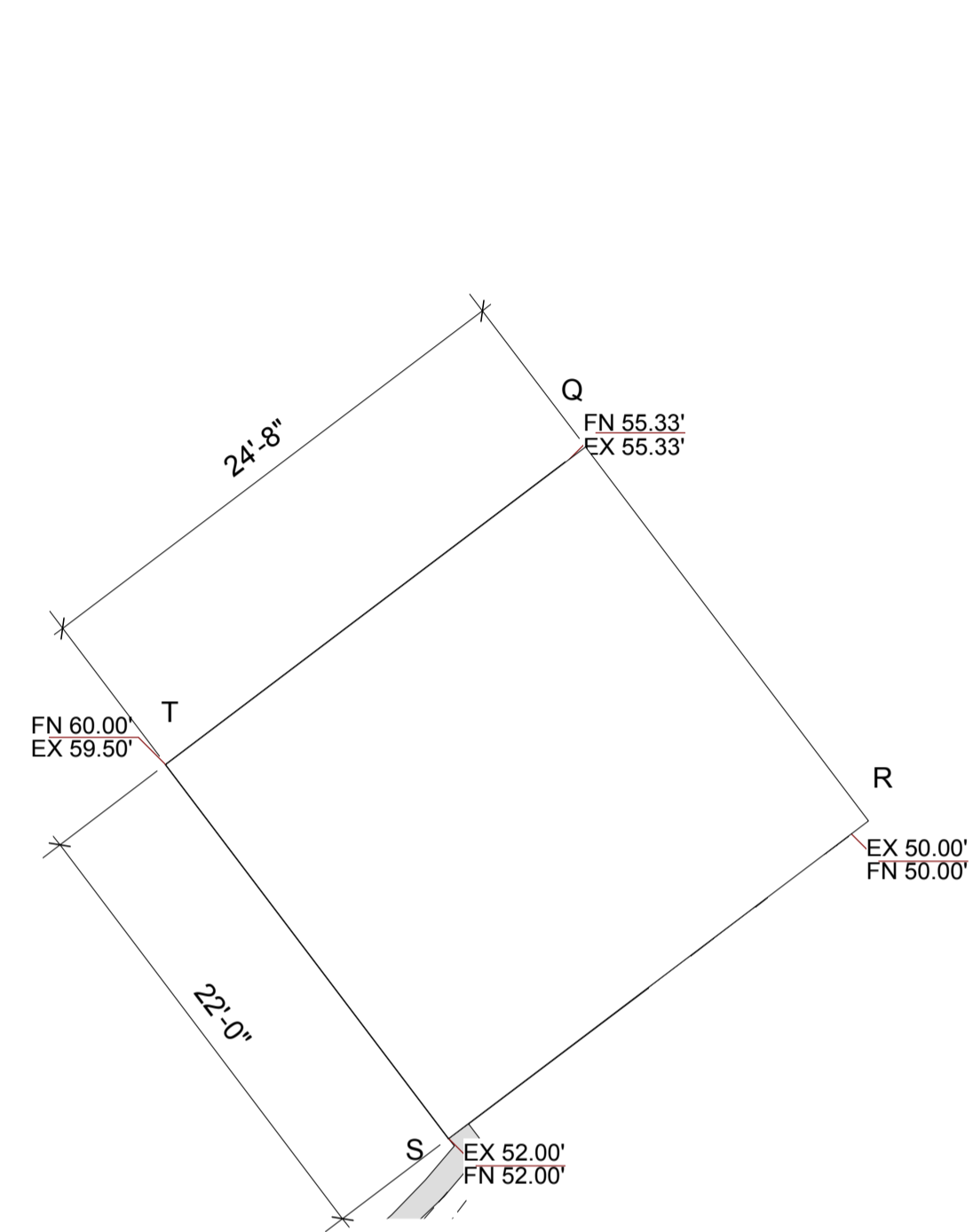
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1	211125	HERITAGE ALTERATION PERMIT

A1.0
 SITE PLAN



AVERAGE FINISHED GRADE 120.17(4)(b) x MAIN HOUSE	LENGTH	=	Y
AB	$(45+40.5) / 2 = 42.75'$	38.1'	1628.8'
BC	$(40.5+37) / 2 = 38.75'$	33.8'	1309.75'
CD	$(37+37) / 2 = 37'$	13.9'	514.3'
DE	$(37+37) / 2 = 37'$	11.5'	425.5'
EF	$(37+37.4) / 2 = 37.2'$	14.0'	520.8'
FG	$(37.4+37.4) / 2 = 37.4'$	2.4'	89.76'
GH	$(37.4+42.65) / 2 = 40.02'$	54.65'	2187.1'
HI	$(42.65+44.5) / 2 = 43.57'$	16.25'	708.01'
IJ	$(44.5+42.5) / 2 = 43.5'$	3.0'	130.5'
JK	$(42.5+43.8) / 2 = 43.15'$	3.75'	161.8'
KL	$(43.8+42.0) / 2 = 42.9'$	15.4'	660.66'
LM	$(42.0+38.3) / 2 = 40.15'$	8.4'	337.26'
MN	$(38.3+38.5) / 2 = 38.4'$	2.8'	107.52'
NO	$(38.5+45.0) / 2 = 41.75'$	13.6'	567.8'
OP	$(45.0+45.0) / 2 = 45.0'$	1.16'	52.2'
PA	$(45.0+45.0) / 2 = 45.0'$	5.8'	261.0'
TOTALS:		238.51'	9662.76'
TOTAL Y / TOTAL PERIMETER LENGTH = AVERAGE GRADE			
$9662.76' / 238.51' = 40.51'$			

AVERAGE FINISHED GRADE 120.17(4)(b) x GARAGE	LENGTH	=	Y
QR	$(55.33+50.0) / 2 = 52.66'$	22.00'	1158.52'
RS	$(50.0+52.0) / 2 = 51.0'$	24.66'	1257.66'
ST	$(52.0+59.5) / 2 = 55.75'$	22.00'	1226.5'
TQ	$(59.5+55.33) / 2 = 57.41'$	24.66'	1415.73'
TOTALS:		93.32'	5058.41'
TOTAL Y / TOTAL PERIMETER LENGTH = AVERAGE GRADE			
$5058.41' / 238.51' = 54.2'$			



1 AVERAGE GRADE CALCULATION
Scale: 1/8" = 1'-0"

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A1.1
AVERAGE GRADE CALCULATION

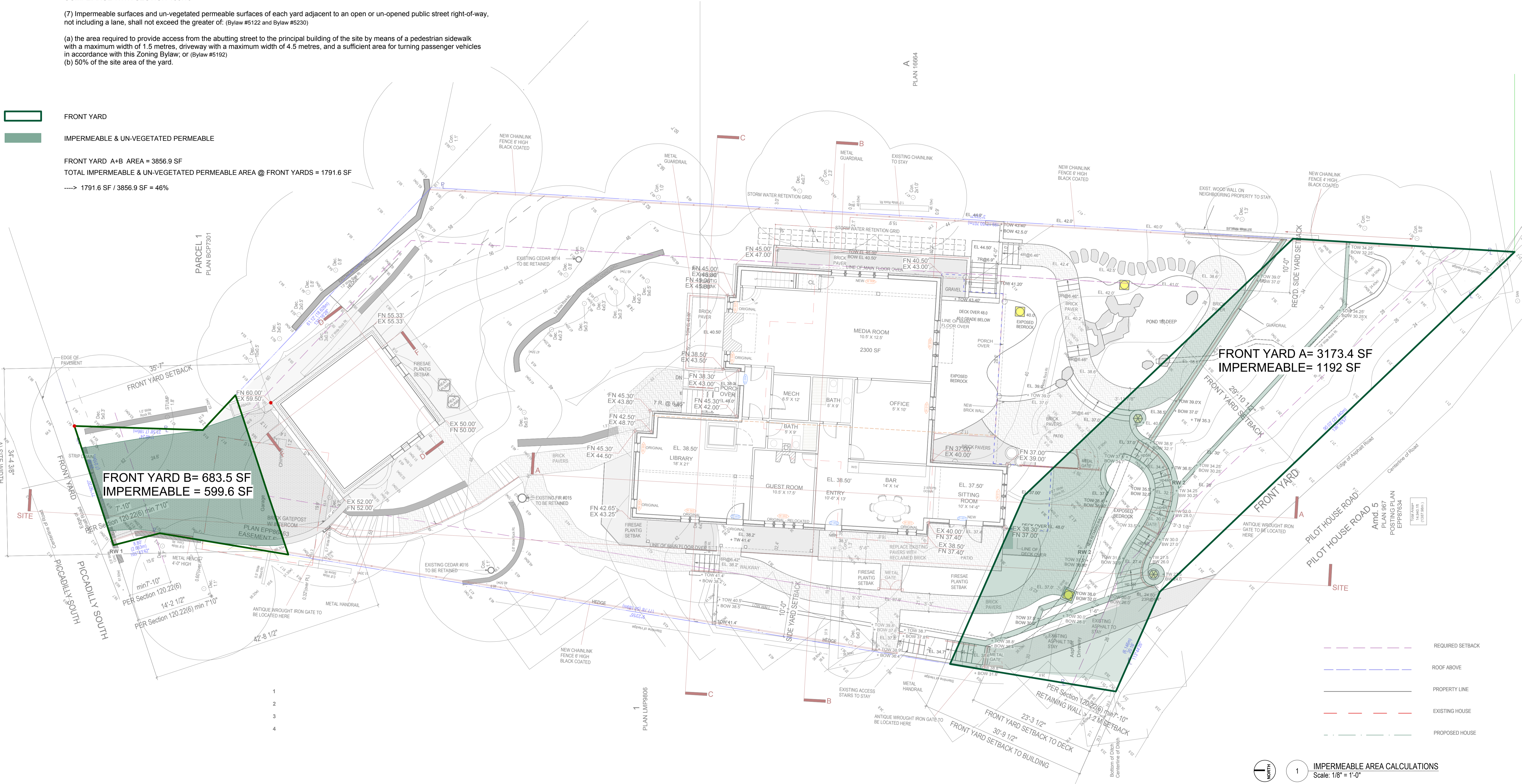
COMPLIANCE WITH SECTION 130.16

(7) Impermeable surfaces and un-vegetated permeable surfaces of each yard adjacent to an open or un-opened public street right-of-way, not including a lane, shall not exceed the greater of: (Bylaw #5122 and Bylaw #5230)

- (a) the area required to provide access from the abutting street to the principal building of the site by means of a pedestrian sidewalk with a maximum width of 1.5 metres, driveway with a maximum width of 4.5 metres, and a sufficient area for turning passenger vehicles in accordance with this Zoning Bylaw; or (Bylaw #5192)
- (b) 50% of the site area of the yard.

- FRONT YARD
- IMPERMEABLE & UN-VEGETATED PERMEABLE

FRONT YARD A+B AREA = 3856.9 SF
 TOTAL IMPERMEABLE & UN-VEGETATED PERMEABLE AREA @ FRONT YARDS = 1791.6 SF
 ---> 1791.6 SF / 3856.9 SF = 46%



**FRONT YARD B= 683.5 SF
 IMPERMEABLE = 599.6 SF**

**FRONT YARD A= 3173.4 SF
 IMPERMEABLE= 1192 SF**

- REQUIRED SETBACK
- ROOF ABOVE
- PROPERTY LINE
- EXISTING HOUSE
- PROPOSED HOUSE

1 IMPERMEABLE AREA CALCULATIONS
 Scale: 1/8" = 1'-0"

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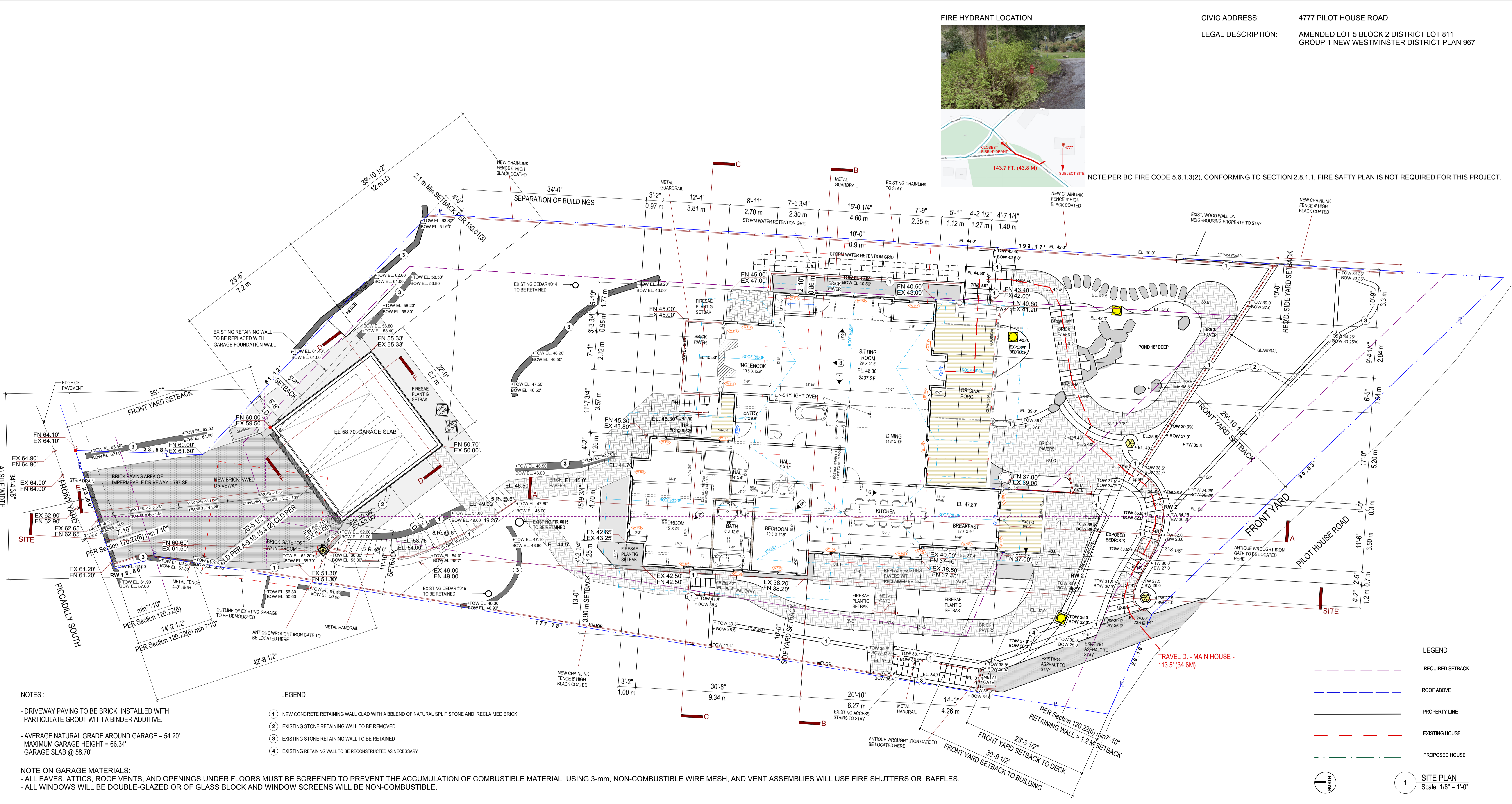
A1.3
 SITE PLAN-FRONT YARD

FIRE HYDRANT LOCATION



CIVIC ADDRESS: 4777 PILOT HOUSE ROAD
 LEGAL DESCRIPTION: AMENDED LOT 5 BLOCK 2 DISTRICT LOT 811 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 967

NOTE: PER BC FIRE CODE 5.6.1.3(2), CONFORMING TO SECTION 2.8.1.1, FIRE SAFETY PLAN IS NOT REQUIRED FOR THIS PROJECT.



NOTES:
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 MAXIMUM GARAGE HEIGHT = 66.34'
 GARAGE SLAB @ 58.70'

- LEGEND**
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 - 3 EXISTING STONE RETAINING WALL TO BE RETAINED
 - 4 EXISTING RETAINING WALL TO BE RECONSTRUCTED AS NECESSARY

- LEGEND**
- REQUIRED SETBACK
 - ROOF ABOVE
 - PROPERTY LINE
 - EXISTING HOUSE
 - PROPOSED HOUSE

NOTE ON GARAGE MATERIALS:
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1 SITE PLAN
 Scale: 1/8" = 1'-0"

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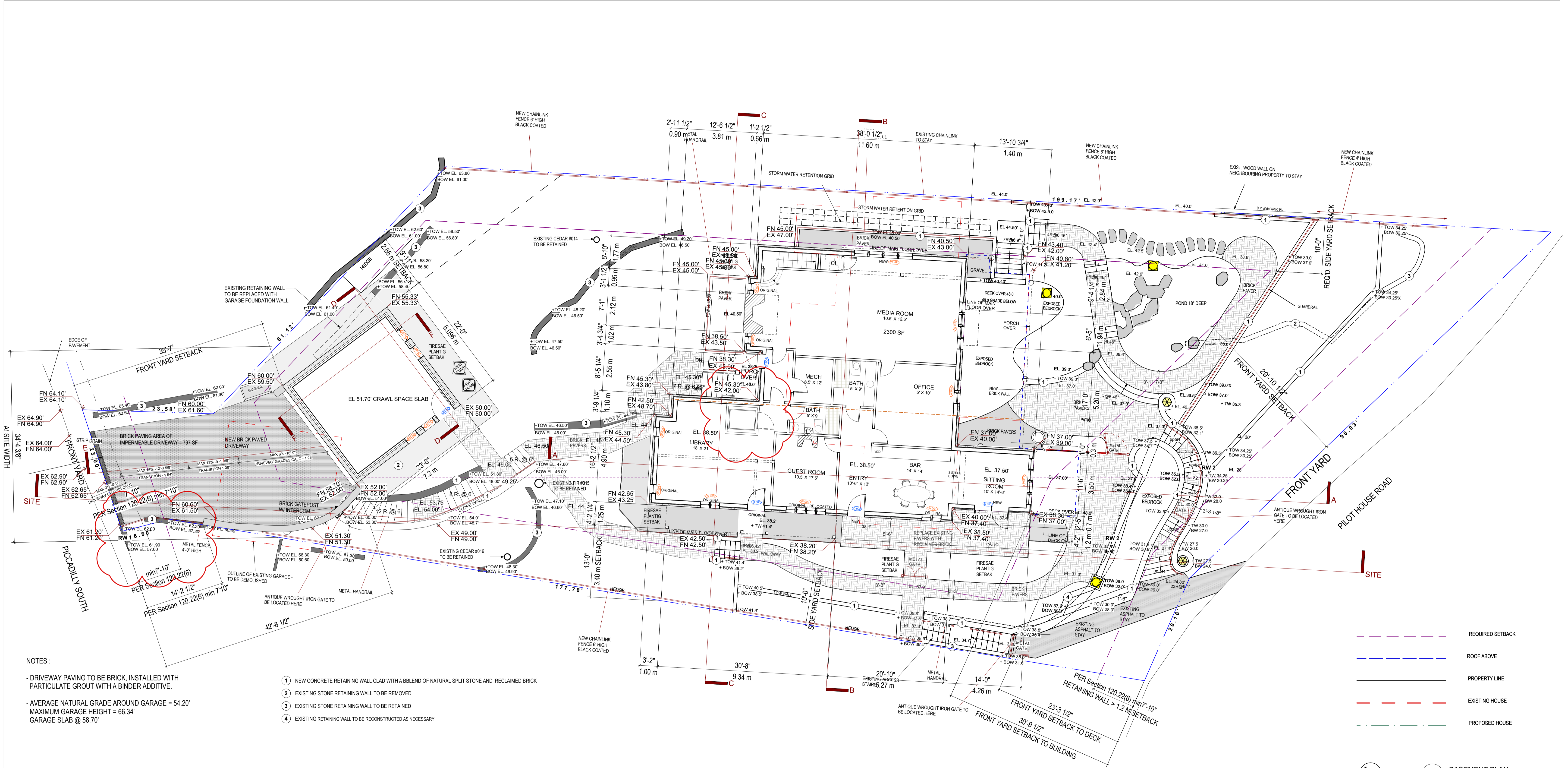
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A1.4
 FIRE DEPARTMENT SITE PLAN



NOTES:

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- REQUIRED SETBACK
- ROOF ABOVE
- PROPERTY LINE
- EXISTING HOUSE
- PROPOSED HOUSE

1 BASEMENT PLAN
Scale: 1/8" = 1'-0"

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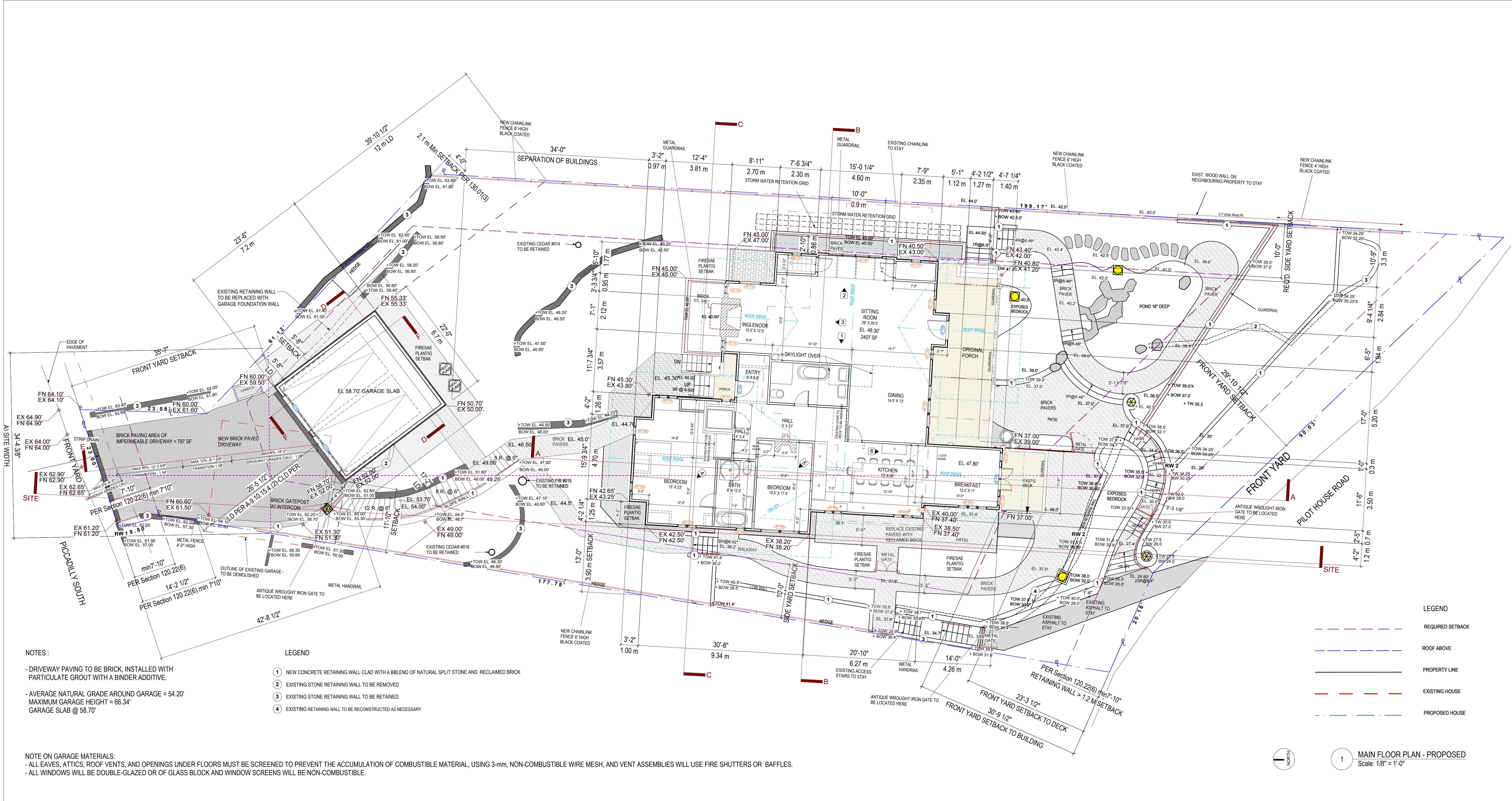
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A2.0
BASEMENT PLAN



NOTES:

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- LEGEND**
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 - - - - - PROPERTY LINE
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① MAIN FLOOR PLAN - PROPOSED
Scale: 1/8" = 1'-0"

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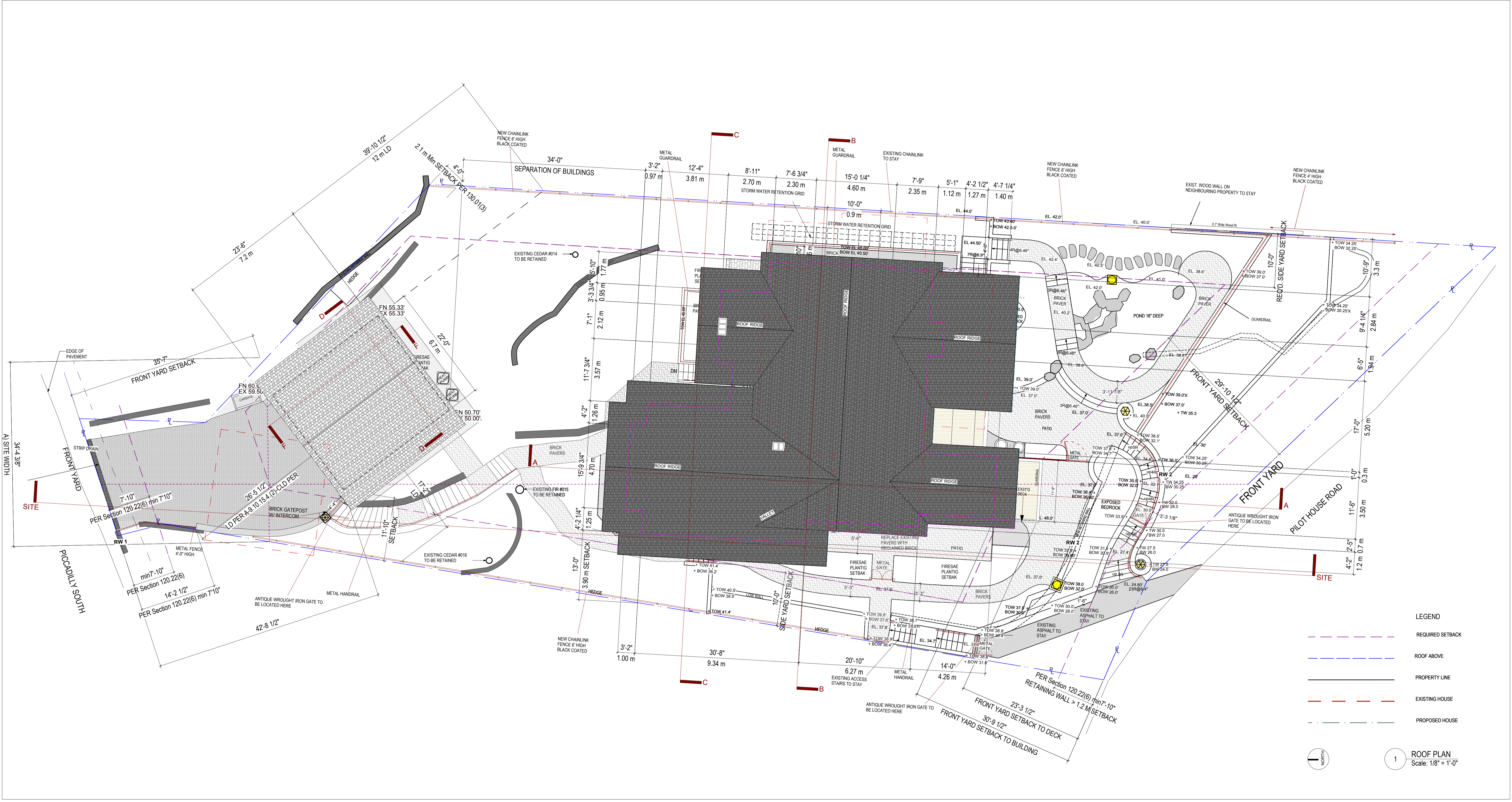
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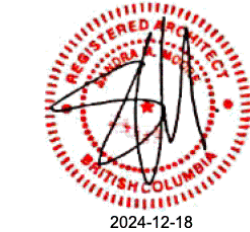
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A2.1
MAIN FLOOR PLAN - PROPOSED



1 ROOF PLAN
Scale: 1/8" = 1'-0"

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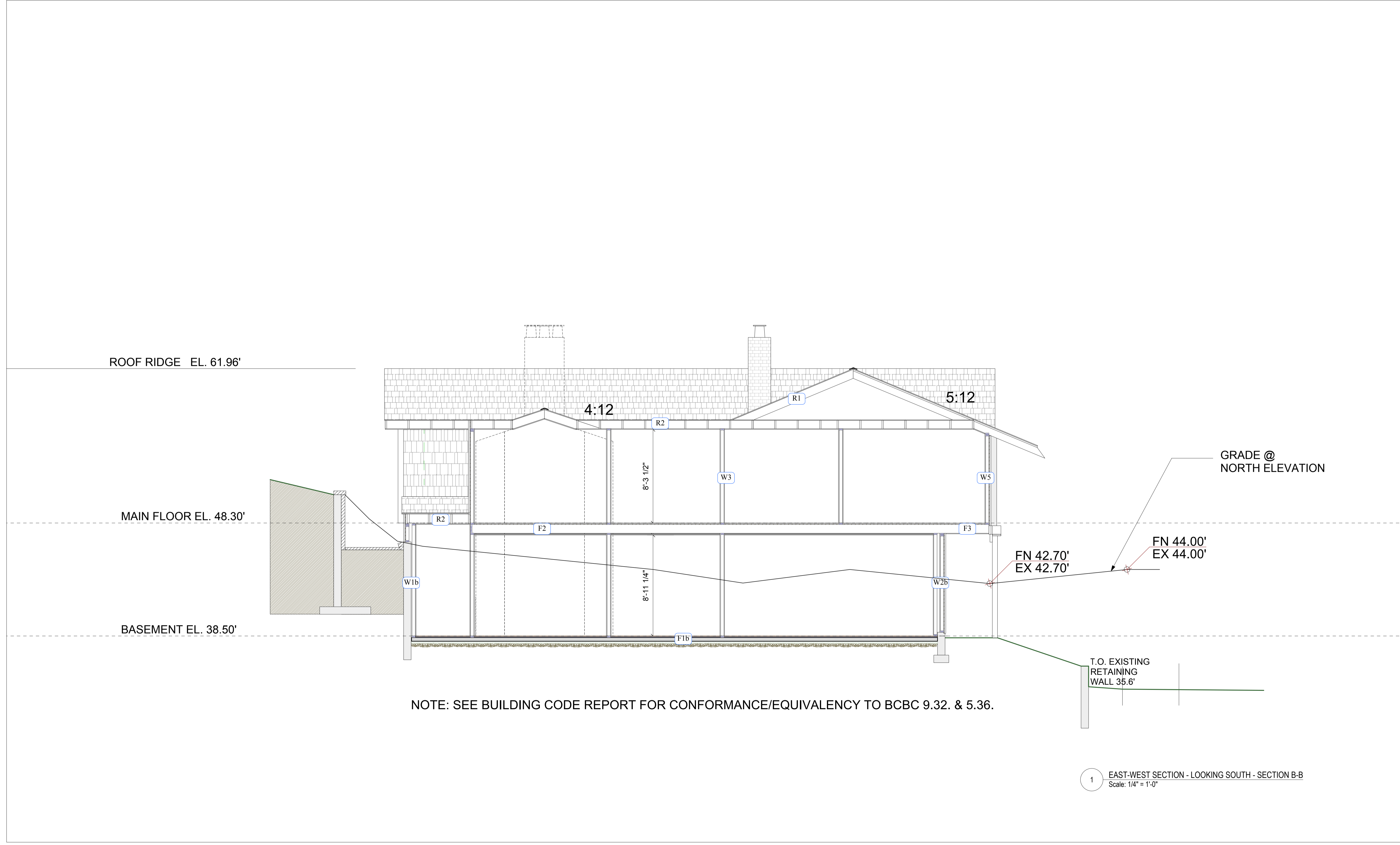
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A2.2
ROOF PLAN



NOTE: SEE BUILDING CODE REPORT FOR CONFORMANCE/EQUIVALENCY TO BCBC 9.32. & 5.36.

1 EAST-WEST SECTION - LOOKING SOUTH - SECTION B-B
Scale: 1/4" = 1'-0"

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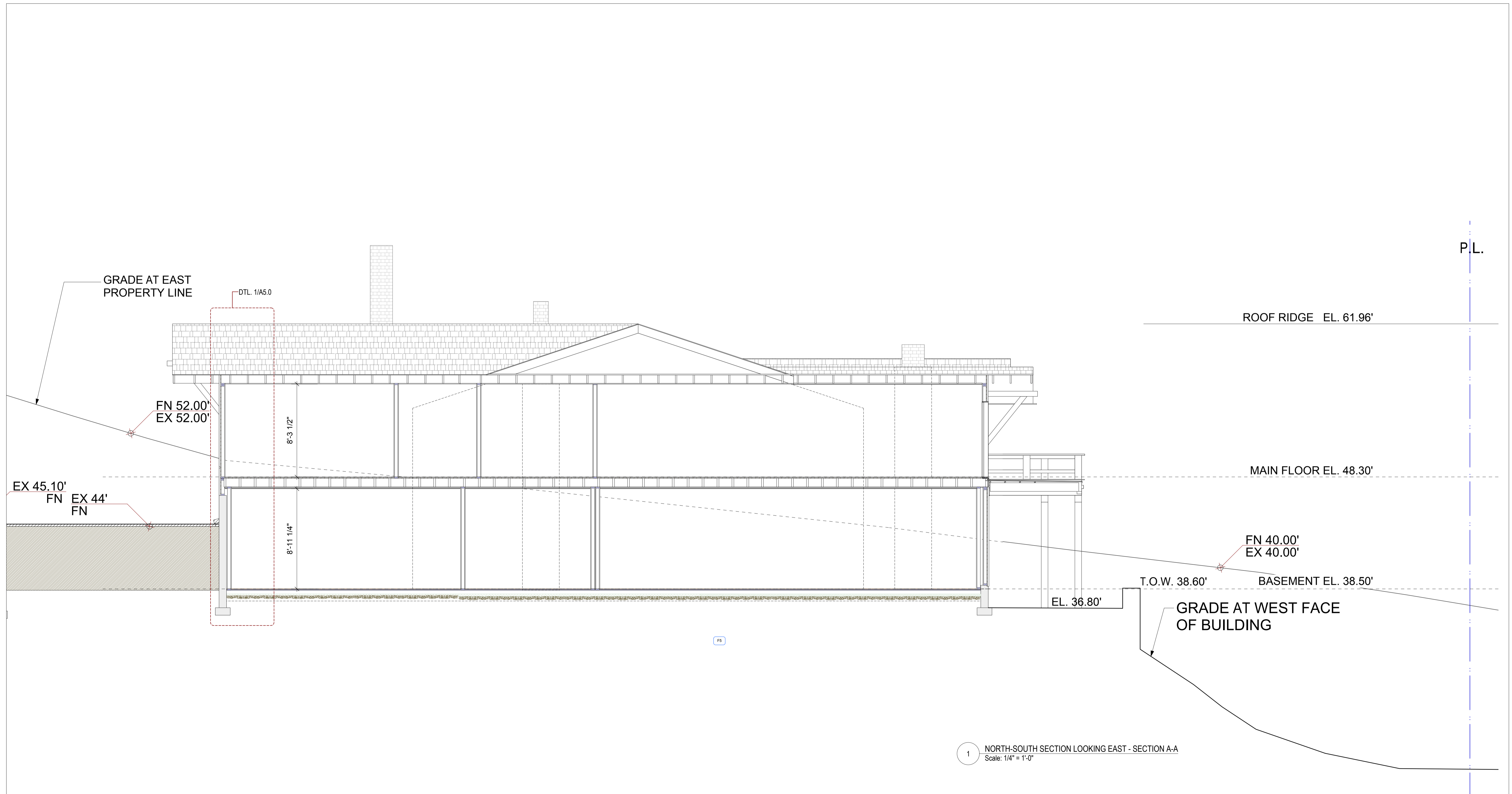
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A3.0
HERITAGE HOUSE SECTION



1 NORTH-SOUTH SECTION LOOKING EAST - SECTION A-A
Scale: 1/4" = 1'-0"

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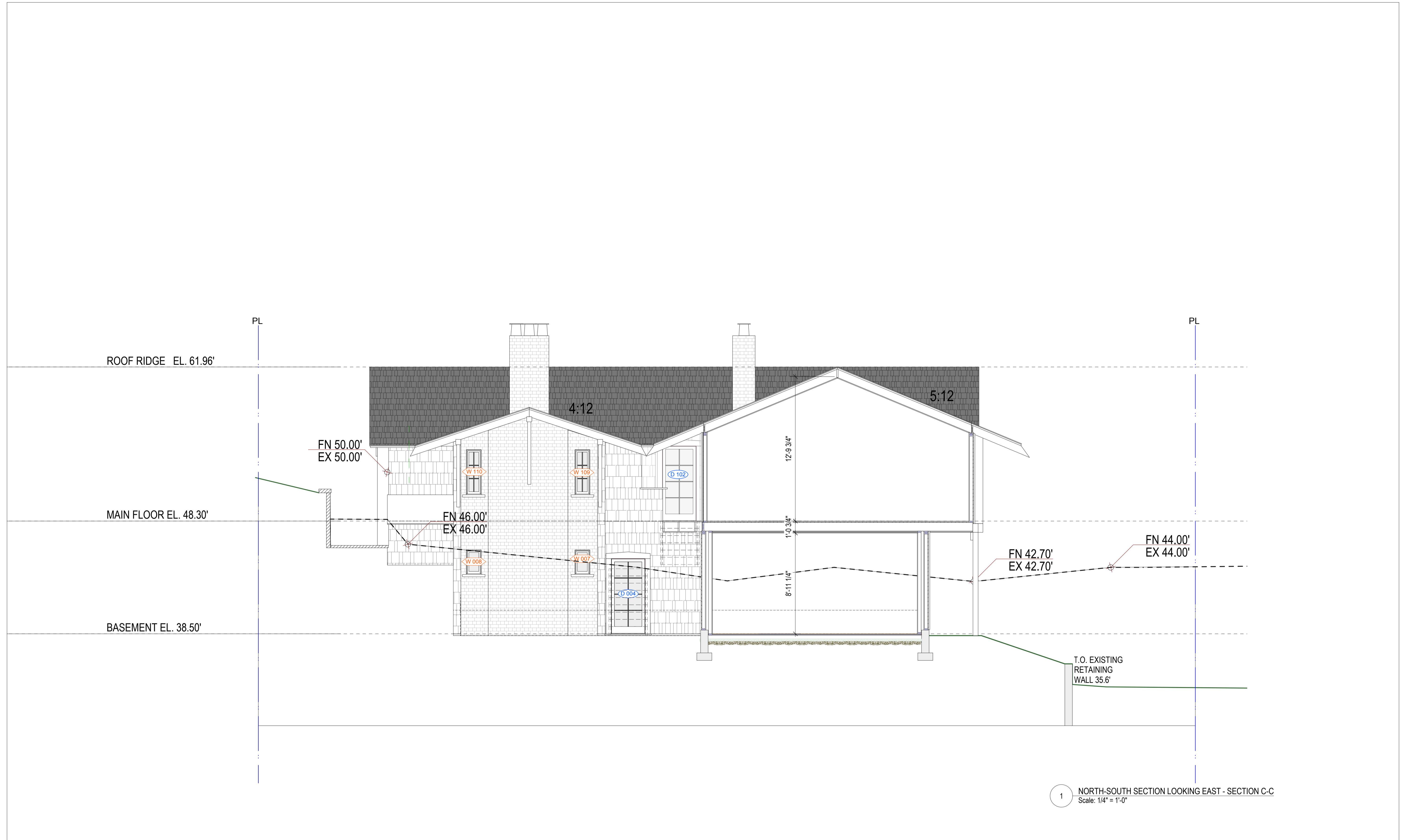
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A3.1
HERITAGE HOUSE SECTION



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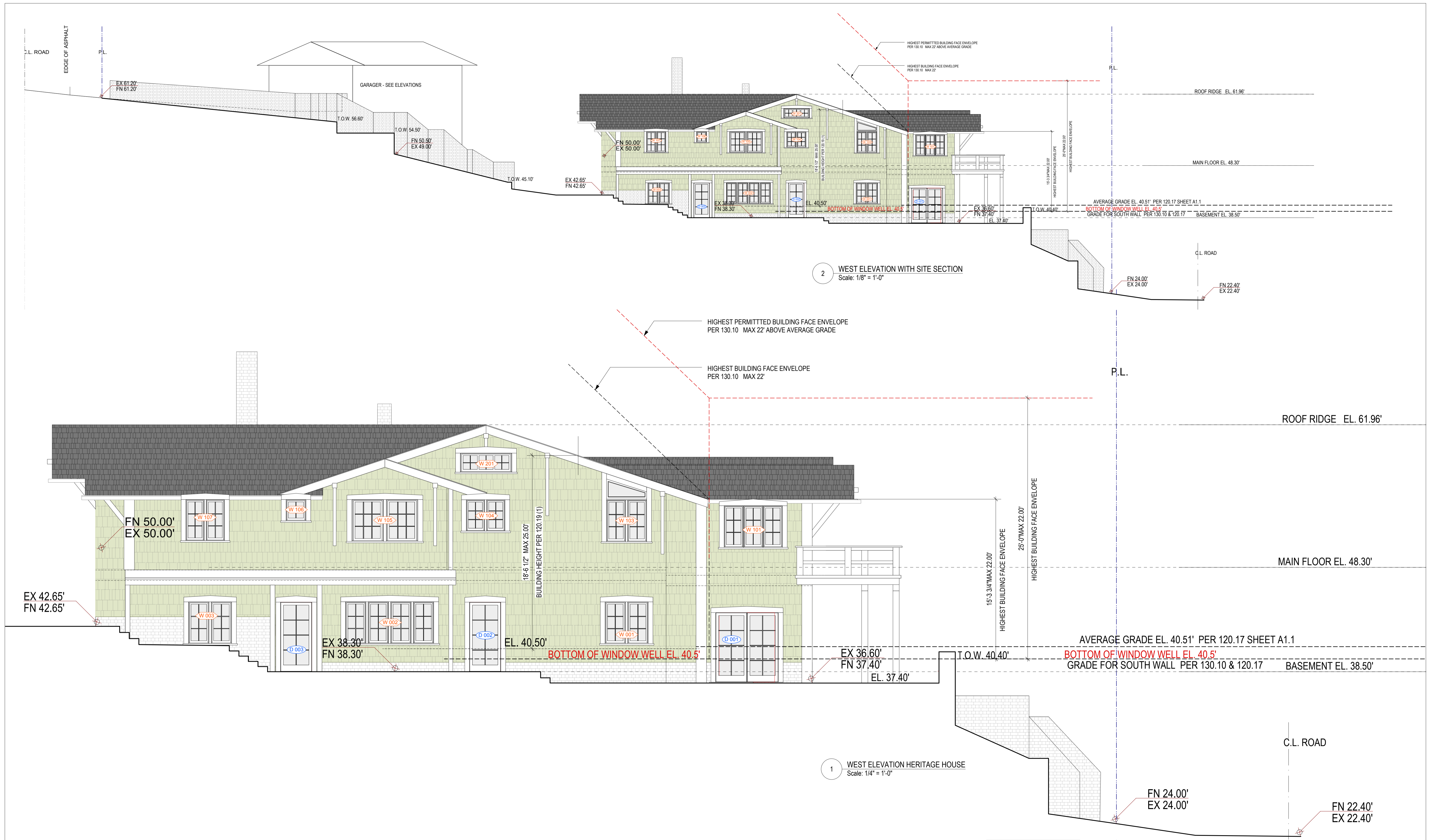
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2020-014 - 4777 PILOT HOUSE ROAD
4777 Pilot House Road
West Vancouver BC

NO.	DATE	REVISION
6	241120	RESPONSE TO STAFF COMMENTS
5	241009	RESPONSE TO STAFF COMMENTS
4	240702	RESPONSE TO HAP COMMENTS
3	230524	HAP FORMAL APPLICATION
2	221010	HERITAGE ALTERATION PERMIT
1	211125	HERITAGE ALTERATION PERMIT

A3.2
HERITAGE HOUSE SECTION



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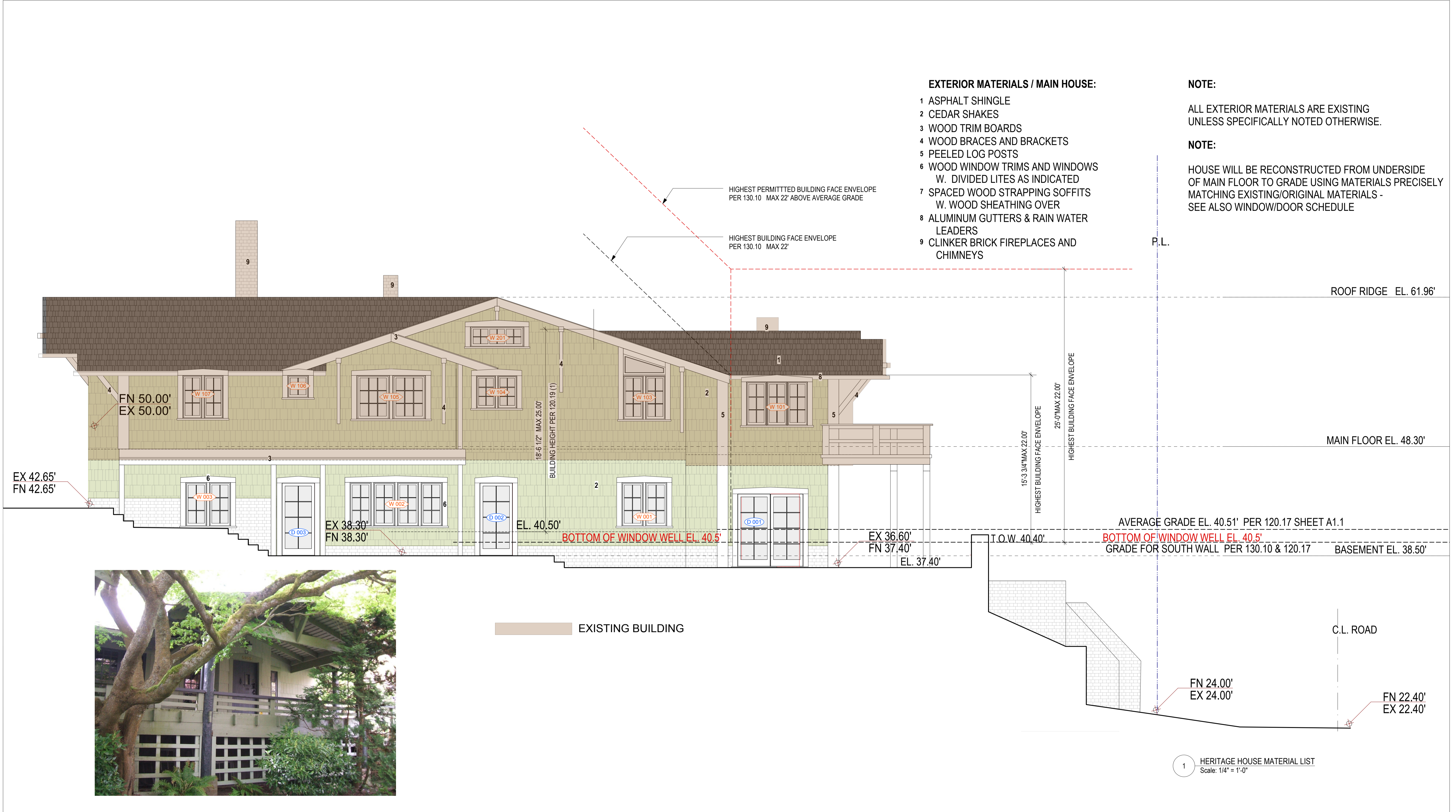
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A4.0

WEST ELEVATION HERITAGE HOUSE



EXTERIOR MATERIALS / MAIN HOUSE:

- 1 ASPHALT SHINGLE
- 2 CEDAR SHAKES
- 3 WOOD TRIM BOARDS
- 4 WOOD BRACES AND BRACKETS
- 5 PEELED LOG POSTS
- 6 WOOD WINDOW TRIMS AND WINDOWS
W. DIVIDED LITES AS INDICATED
- 7 SPACED WOOD STRAPPING SOFFITS
W. WOOD SHEATHING OVER
- 8 ALUMINUM GUTTERS & RAIN WATER
LEADERS
- 9 CLINKER BRICK FIREPLACES AND
CHIMNEYS

NOTE:

ALL EXTERIOR MATERIALS ARE EXISTING
UNLESS SPECIFICALLY NOTED OTHERWISE.

NOTE:

HOUSE WILL BE RECONSTRUCTED FROM UNDERSIDE
OF MAIN FLOOR TO GRADE USING MATERIALS PRECISELY
MATCHING EXISTING/ORIGINAL MATERIALS -
SEE ALSO WINDOW/DOOR SCHEDULE

EXISTING BUILDING



1 HERITAGE HOUSE MATERIAL LIST
Scale: 1/4" = 1'-0"

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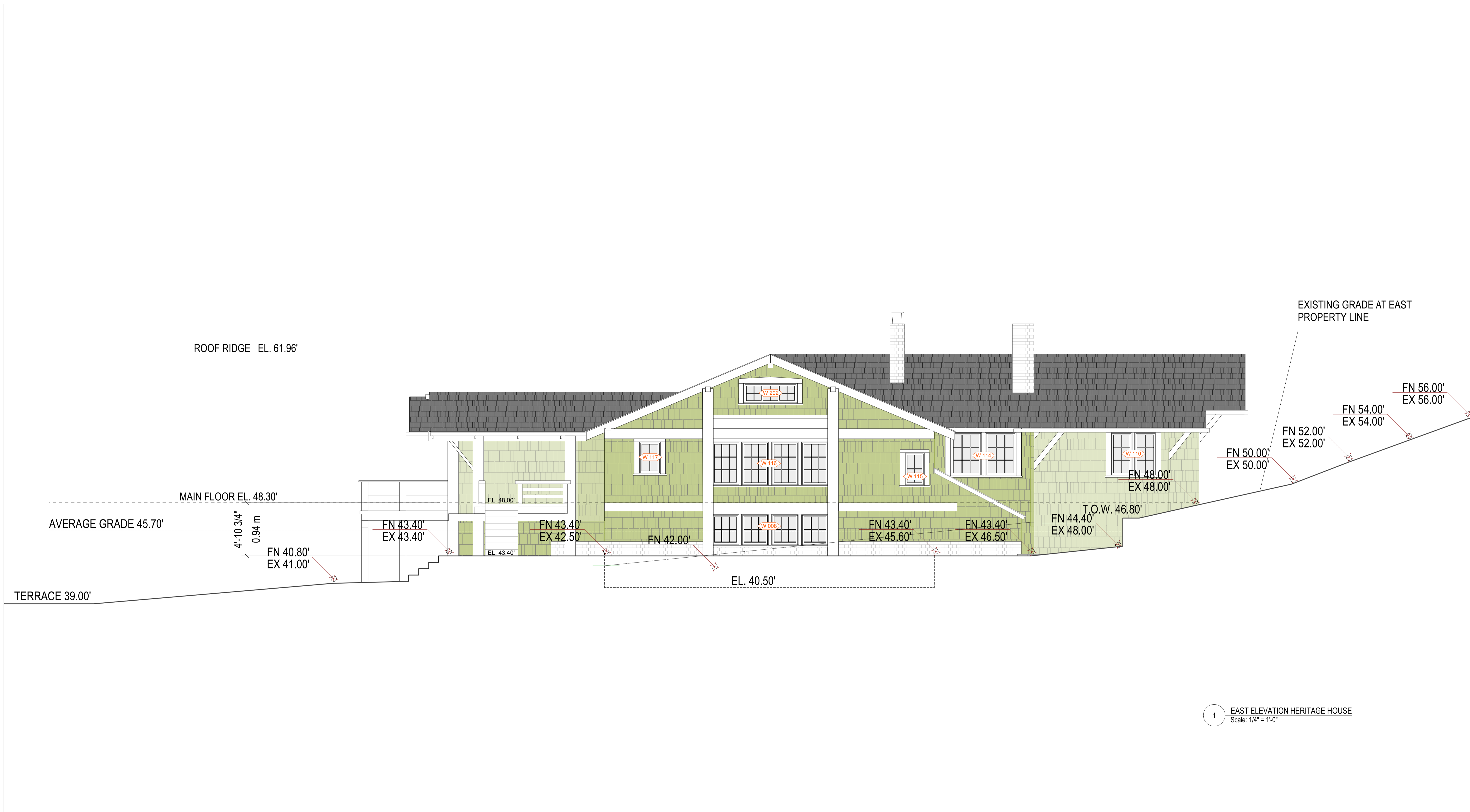
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A4.0.1
HERITAGE HOUSE MATERIAL



1 EAST ELEVATION HERITAGE HOUSE
Scale: 1/4" = 1'-0"

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EAST ELEVATION HERITAGE HOUSE

A4.1



1 SOUTH ELEVATION HERITAGE HOUSE
Scale: 1/4" = 1'-0"

2 NORTH ELEVATION HERITAGE HOUSE
Scale: 1/4" = 1'-0"

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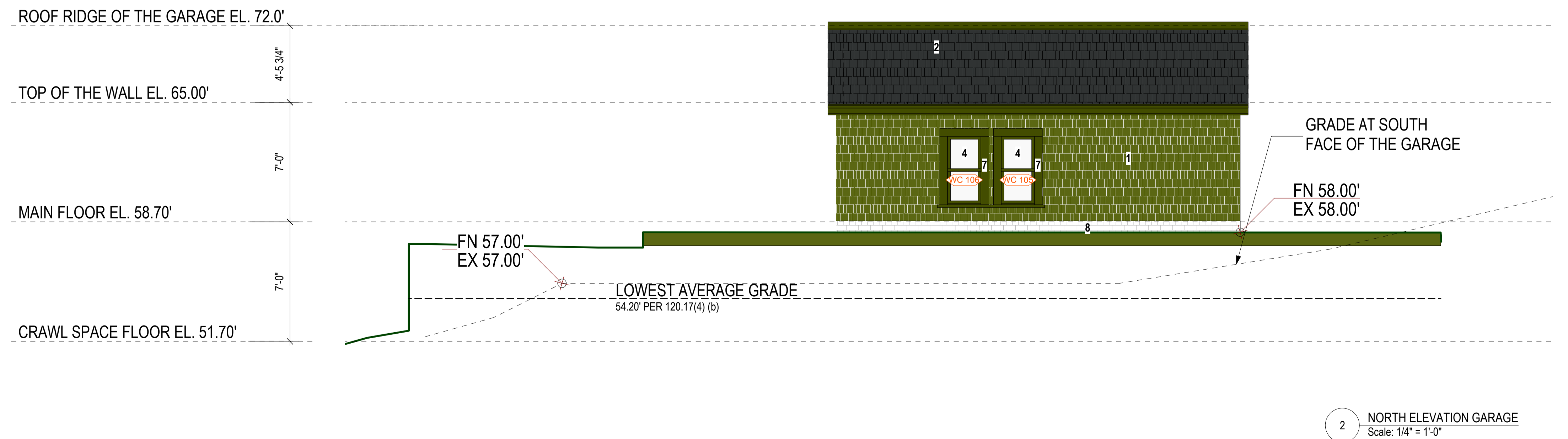
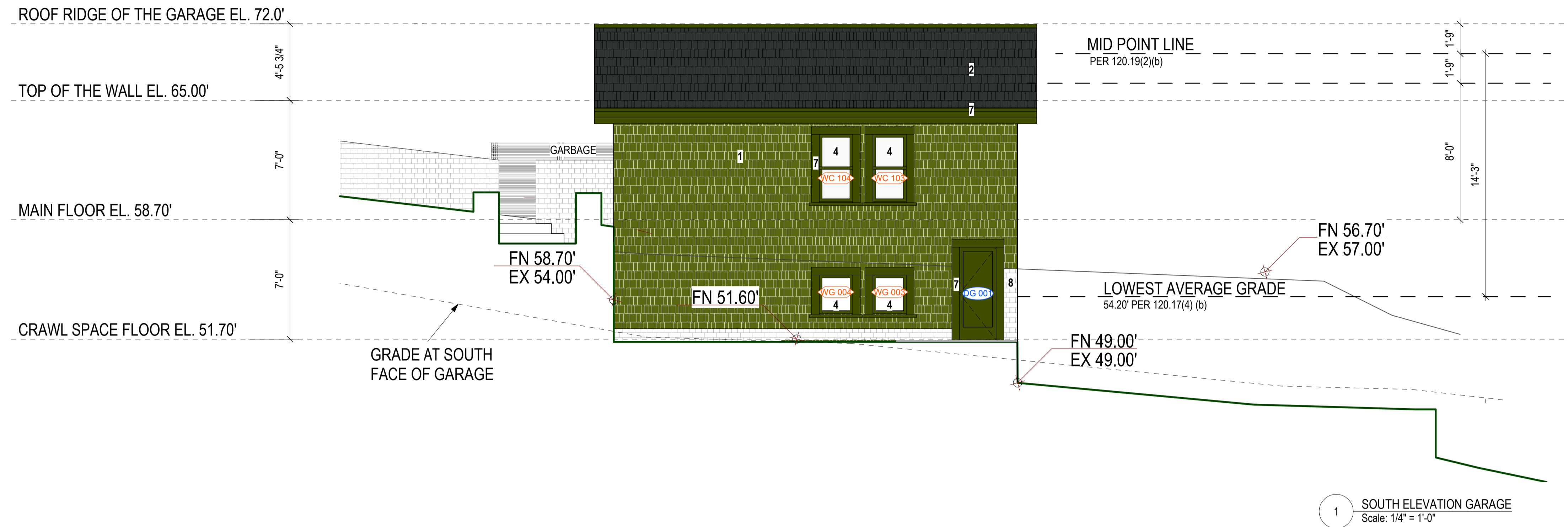
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A4.2
SOUTH & NORTH ELEVATION
HERITAGE HOUSE

EXTERIOR MATERIALS:

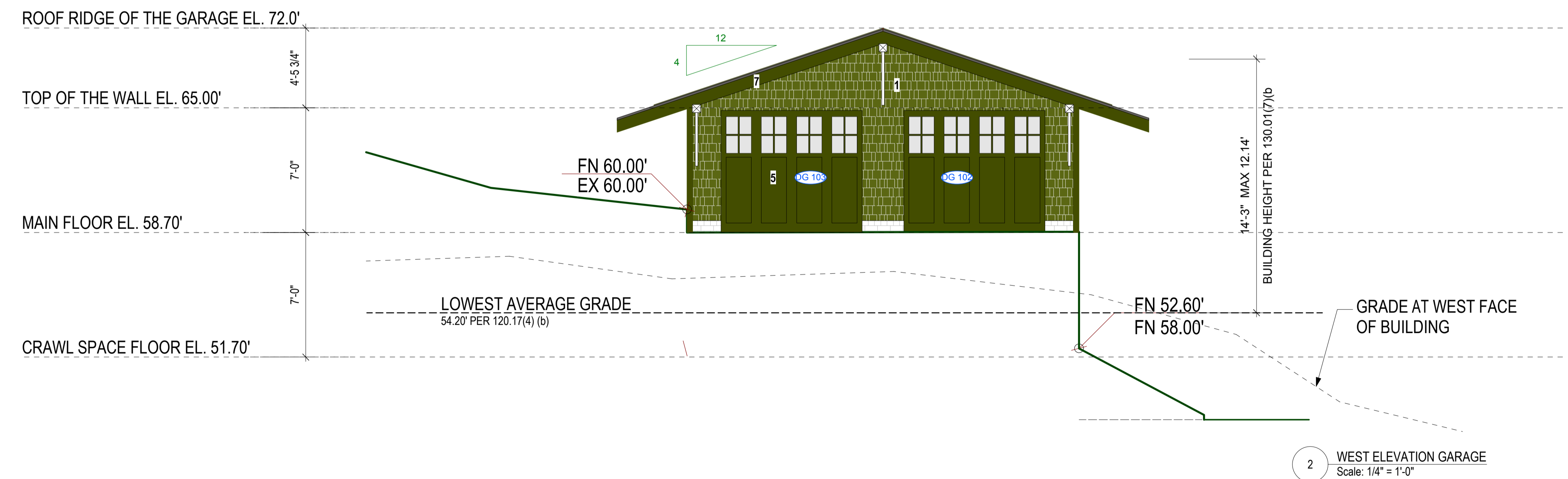
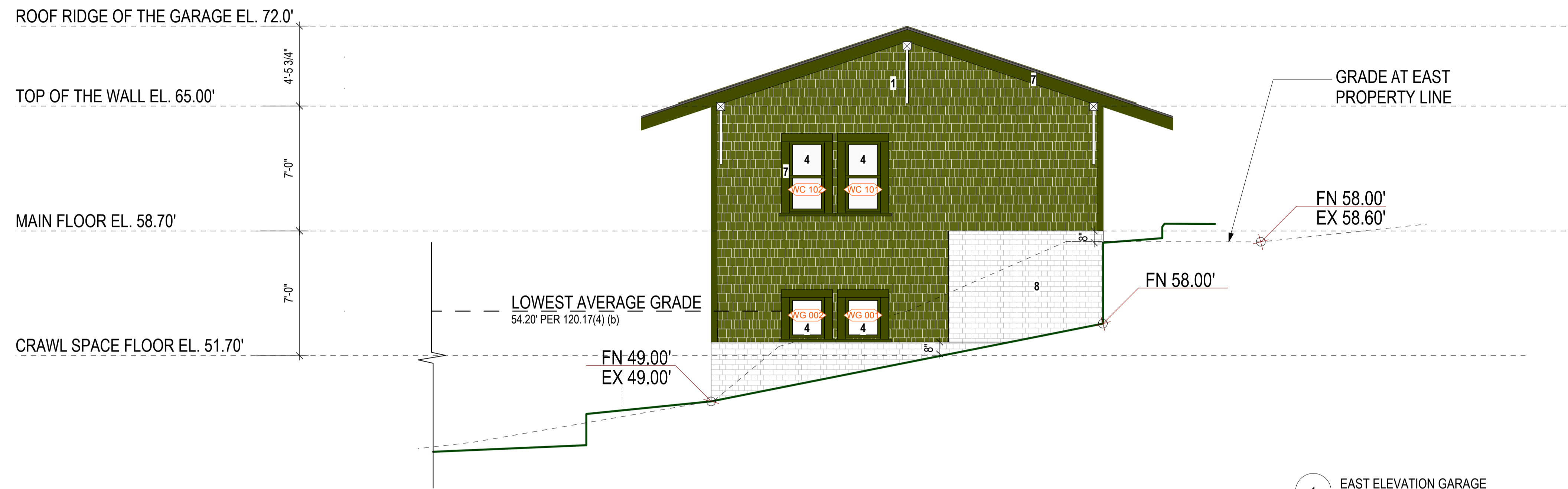
- 1 NON-COMBUSTIBLE CEMENTITIOUS SHINGLES
- 2 ASPHALT SHINGLE ROOFING
- 3 SMOOTH 4 SIDES PAINTED 1X4 CORNER TRIMS
- 4 WOOD WINDOWS
- 5 WOOD DOORS
- 6 FOLDING FULLY GLAZED WOOD DOORS
- 7 SMOOTH 4 SIDES PAINTED 2X10 CLEAR TRIM BOARDS
- 8 BRICK



NOTE:
 - ALL EAVES, ATTICS, ROOF VENTS, AND OPENINGS UNDER FLOORS MUST BE SCREENED TO PREVENT THE ACCUMULATION OF COMBUSTIBLE MATERIAL, USING 3-mm, NON-COMBUSTIBLE WIRE MESH, AND VENT ASSEMBLIES WILL USE FIRE SHUTTERS OR BAFFLES.
 - ALL WINDOWS WILL BE DOUBLE-GLAZED OR OF GLASS BLOCK AND WINDOW SCREENS WILL BE NON-COMBUSTIBLE.

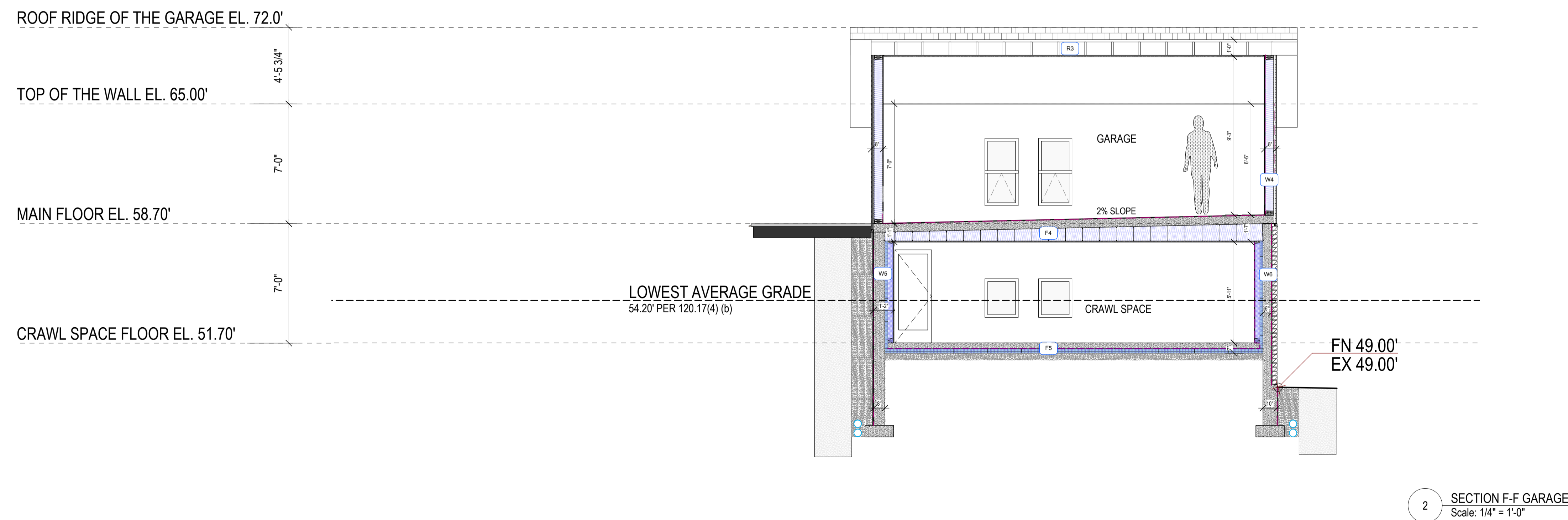
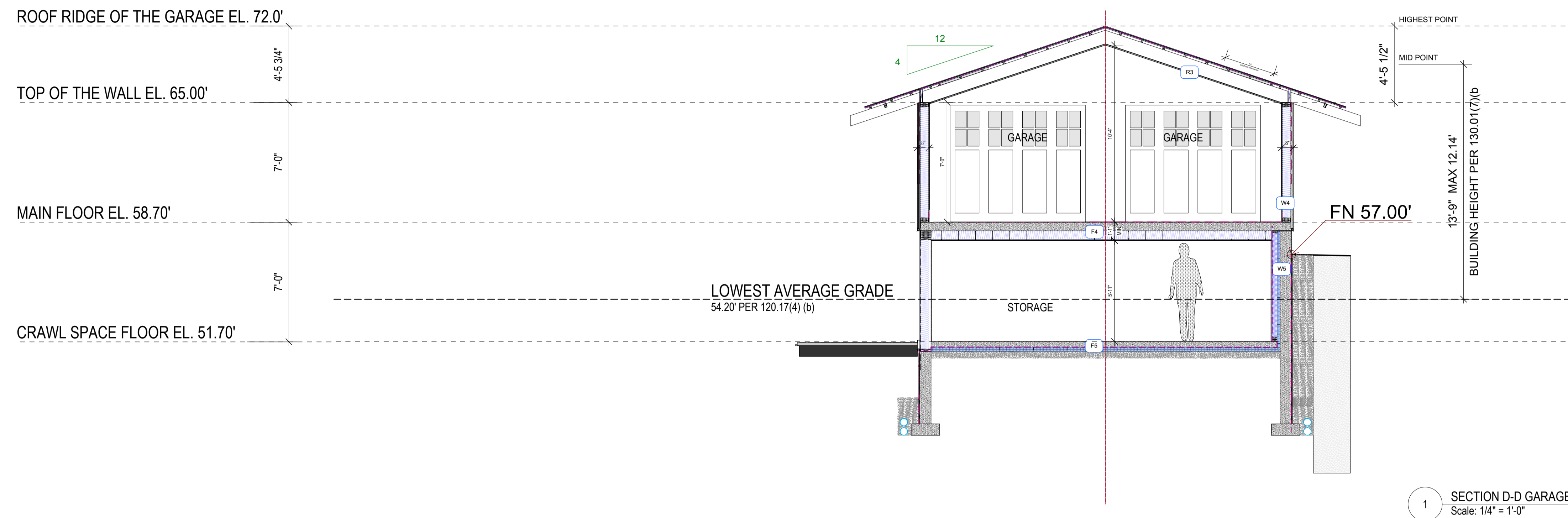
EXTERIOR MATERIALS:

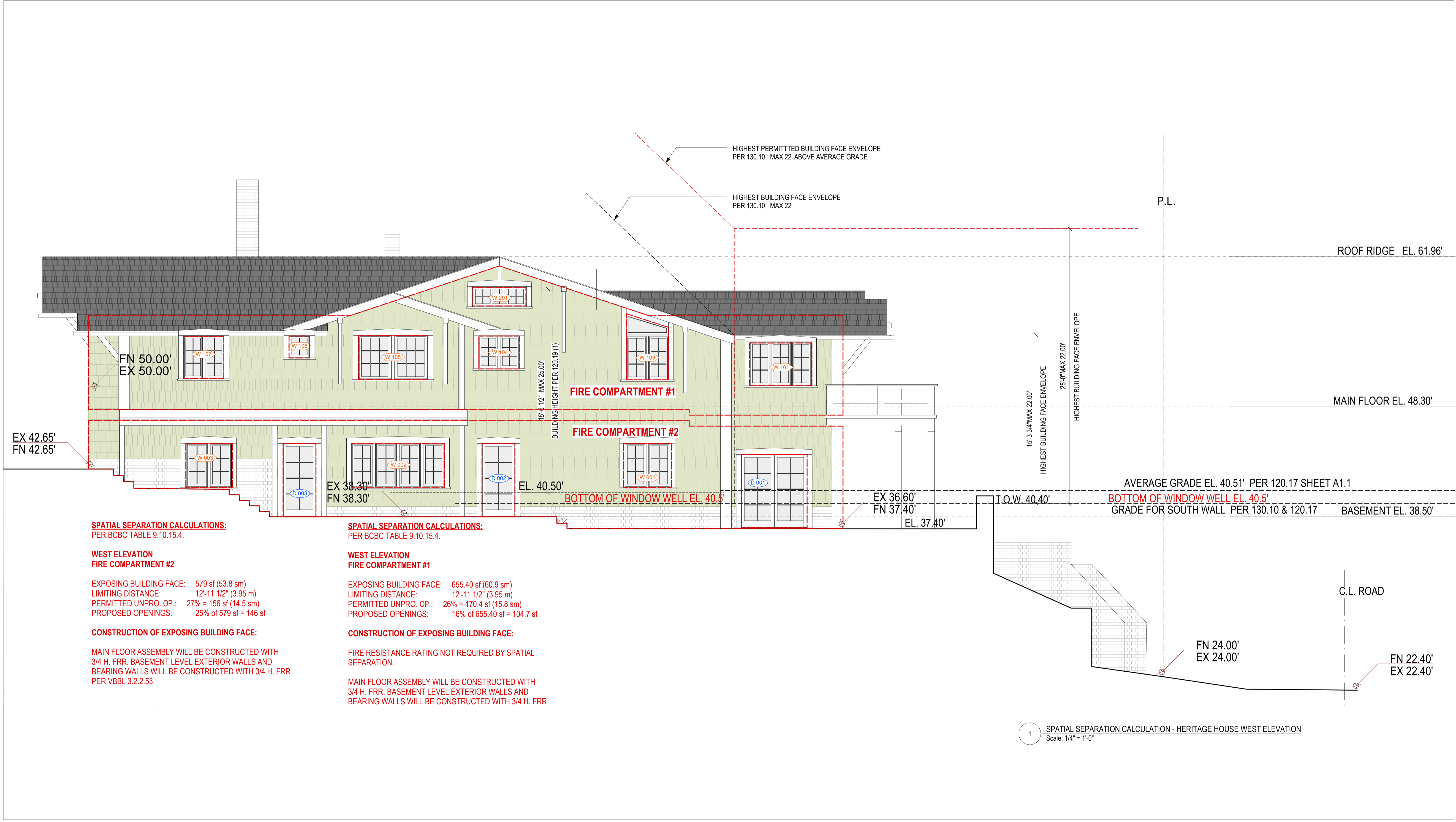
- 1 NON-COMBUSTIBLE CEMENTITIOUS SHINGLES
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NOTE:

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- ALL WINDOWS WILL BE DOUBLE-GLAZED OR OF GLASS BLOCK AND WINDOW SCREENS WILL BE NON-COMBUSTIBLE.





SPATIAL SEPARATION CALCULATIONS:
PER BCBC TABLE 9.10.15.4.

**WEST ELEVATION
FIRE COMPARTMENT #2**

EXPOSING BUILDING FACE: 579 sf (53.8 sm)
 LIMITING DISTANCE: 12'-11 1/2" (3.95 m)
 PERMITTED UNPRO. OP.: 27% = 156 sf (14.5 sm)
 PROPOSED OPENINGS: 25% of 579 sf = 146 sf

CONSTRUCTION OF EXPOSING BUILDING FACE:

MAIN FLOOR ASSEMBLY WILL BE CONSTRUCTED WITH 3/4 H. FRR. BASEMENT LEVEL EXTERIOR WALLS AND BEARING WALLS WILL BE CONSTRUCTED WITH 3/4 H. FRR PER VBBL 3.2.2.53.

SPATIAL SEPARATION CALCULATIONS:
PER BCBC TABLE 9.10.15.4.

**WEST ELEVATION
FIRE COMPARTMENT #1**

EXPOSING BUILDING FACE: 655.40 sf (60.9 sm)
 LIMITING DISTANCE: 12'-11 1/2" (3.95 m)
 PERMITTED UNPRO. OP.: 26% = 170.4 sf (15.8 sm)
 PROPOSED OPENINGS: 16% of 655.40 sf = 104.7 sf

CONSTRUCTION OF EXPOSING BUILDING FACE:

FIRE RESISTANCE RATING NOT REQUIRED BY SPATIAL SEPARATION.
 MAIN FLOOR ASSEMBLY WILL BE CONSTRUCTED WITH 3/4 H. FRR. BASEMENT LEVEL EXTERIOR WALLS AND BEARING WALLS WILL BE CONSTRUCTED WITH 3/4 H. FRR

1 SPATIAL SEPARATION CALCULATION - HERITAGE HOUSE WEST ELEVATION
Scale: 1/4" = 1'-0"



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SPATIAL SEPARATION CALCULATIONS:
PER BCBC TABLE 9.10.15.4.

SOUTH ELEVATION

SOUTH ELEVATION FACES A STREET WITH
A LIMITING DISTANCE OF 44 FT./13.4 M. TO
CENTRE LINE OF PILOT HOUSE RD.

ALLOWABLE UNPROTECTED OP. = 100%

1 SPATIAL SEPARATION CALCULATION - SOUTH ELEVATION HERITAGE HOUSE
Scale: 1/4" = 1'-0"

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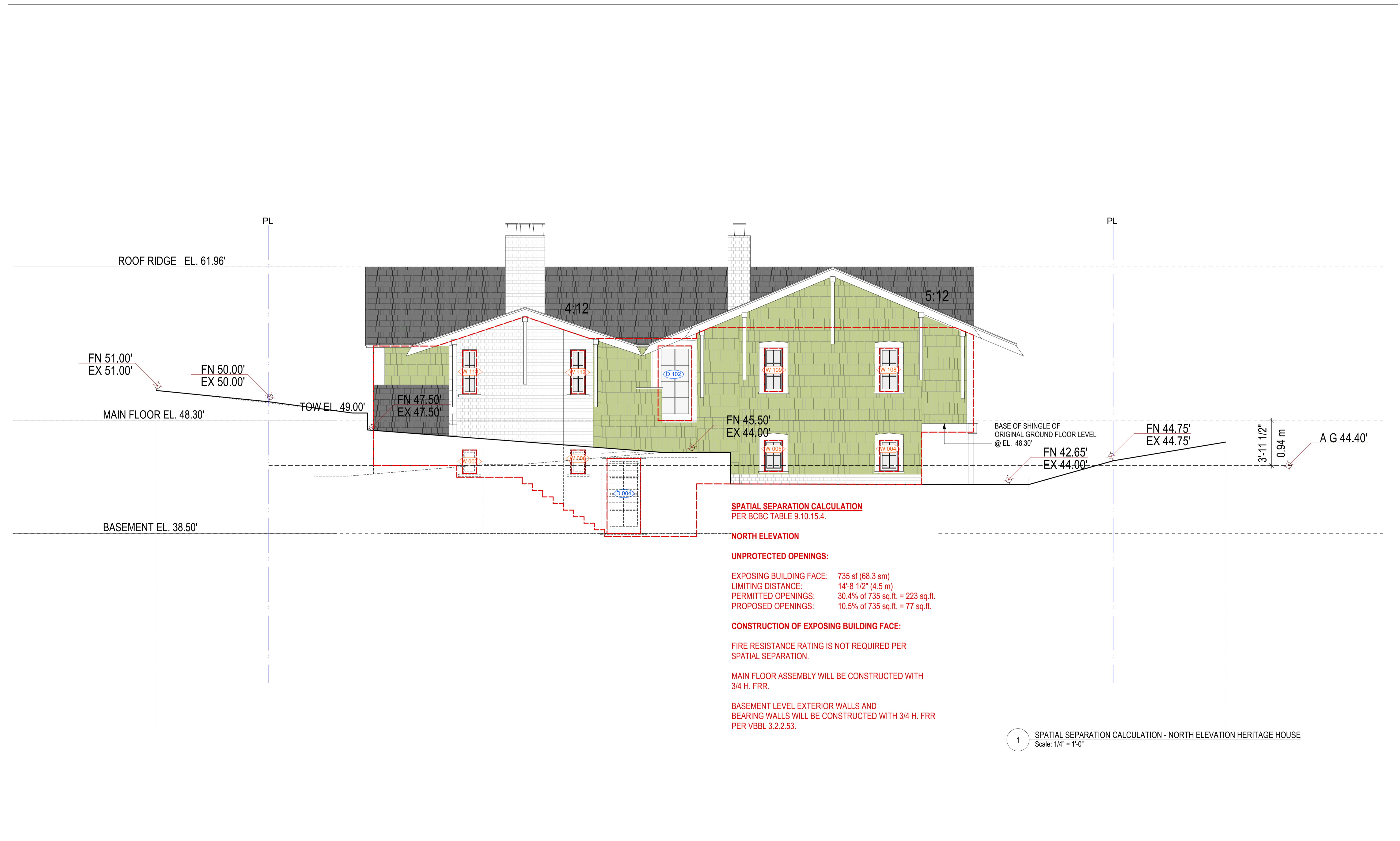
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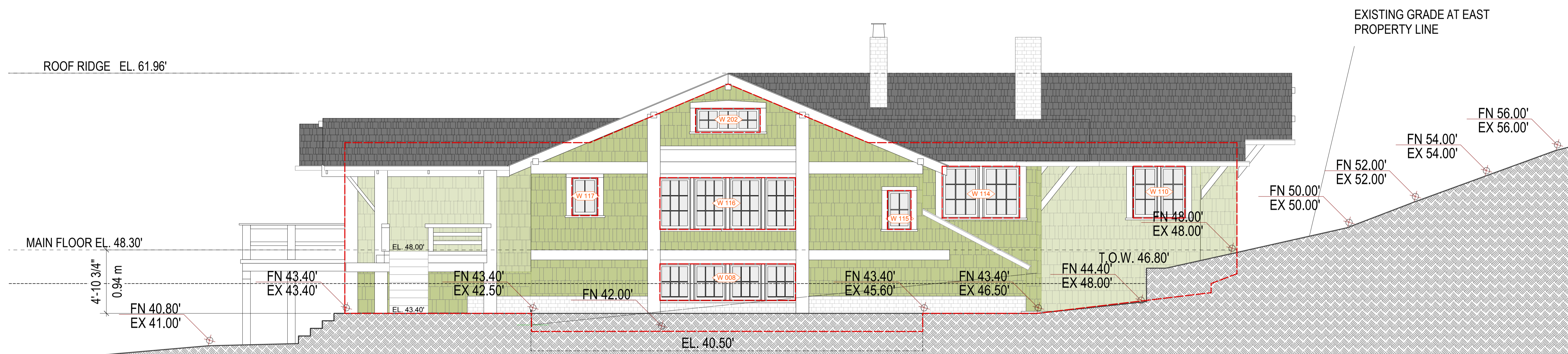
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A4.7.2
HERITAGE HOUSE
SPATIAL SEPARATION CALCULATION





SPATIAL SEPARATION CALCULATION
PER BCBC TABLE 9.10.15.4.

EAST ELEVATION

UNPROTECTED OPENINGS:

EXPOSING BUILDING FACE: 987 sqft. (91.7 sq.m.)
 LIMITING DISTANCE: 10'-0 1/2" (3.06 m)
 PERMITTED OPENINGS: 13.5% of 987 sq.ft. = 133 sq.ft.
 PROPOSED OPENINGS: 13.5% of 987 sq.ft. = 132 sq.ft.

CONSTRUCTION OF EXPOSING BUILDING FACE:

FIRE RESISTANCE RATING IS NOT REQUIRED PER SPATIAL SEPARATION

MAIN FLOOR ASSEMBLY WILL BE CONSTRUCTED WITH 3/4 H. FRR. BASEMENT LEVEL EXTERIOR WALLS AND BEARING WALLS WILL BE CONSTRUCTED WITH 3/4 H. FRR PER VBBL 3.2.2.53.

1 SPATIAL SEPARATION CALCULATION - EAST ELEVATION HERITAGE HOUSE
Scale: 1/4" = 1'-0"

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A4.7.4
HERITAGE HOUSE
SPATIAL SEPARATION CALCULATION



SPATIAL SEPARATION CALCULATIONS:

SOUTH ELEVATION

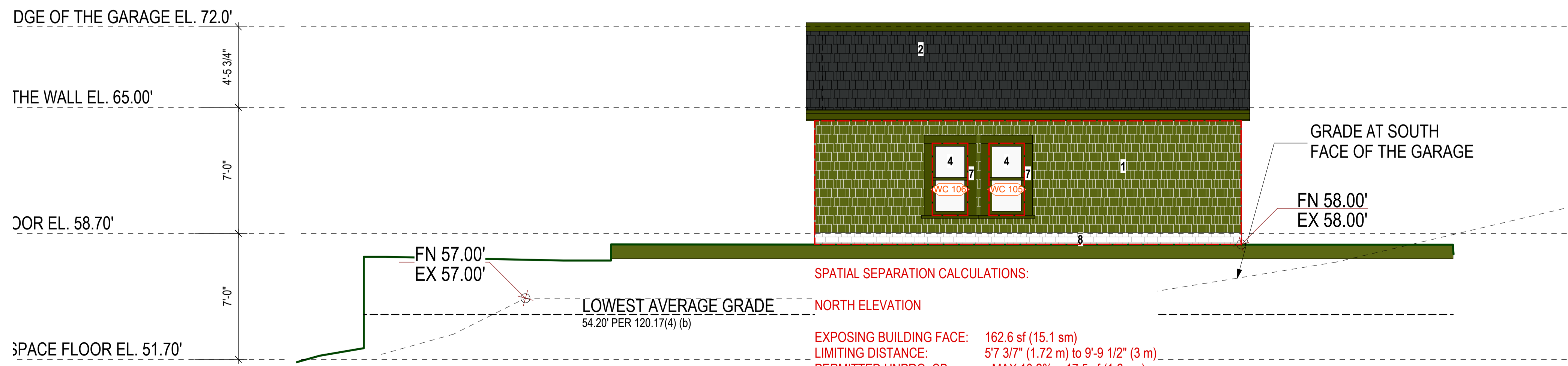
EXPOSING BUILDING FACE: 316.4 sf (29.4 sm)
 LIMITING DISTANCE: 17'1\"/>

CONSTRUCTION OF EXPOSING BUILDING FACE:

45 MIN FIRE RESISTANCE RATING IS REQUIRED PER SPATIAL SEPARATION CALCULATION PER TABLE 9.10.14.5.

CLADDING WILL BE NON-COMBUSTIBLE.

1 SPATIAL SEPARATION CALCULATION - SOUTH ELEVATION GARAGE
 Scale: 1/4\"/>



SPATIAL SEPARATION CALCULATIONS:

NORTH ELEVATION

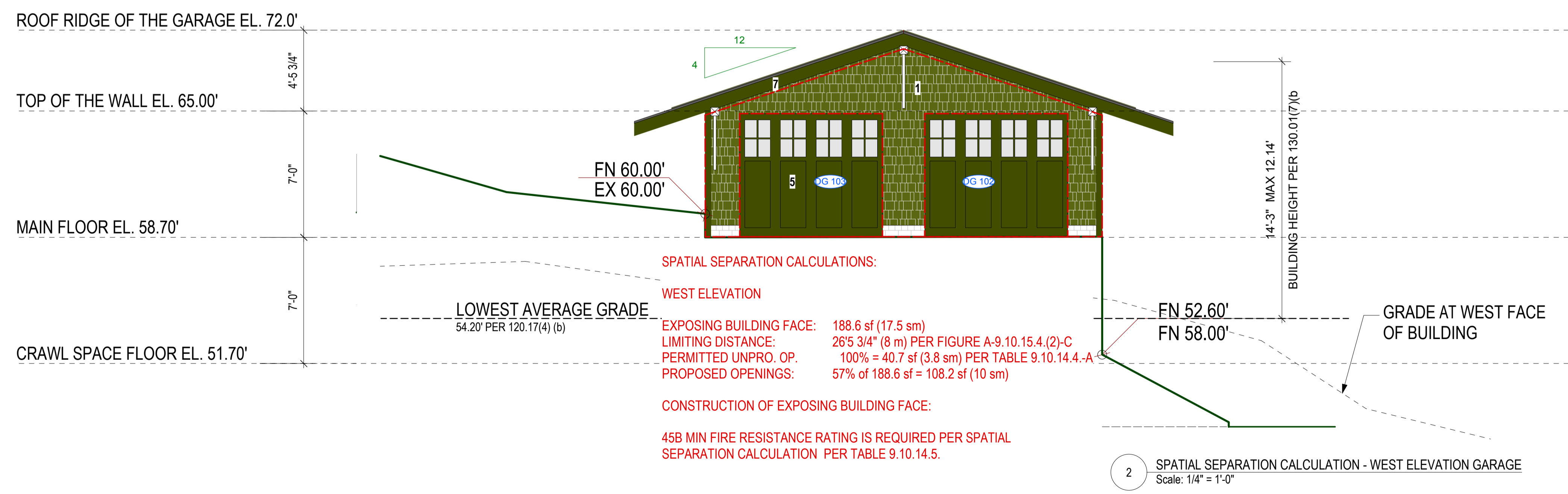
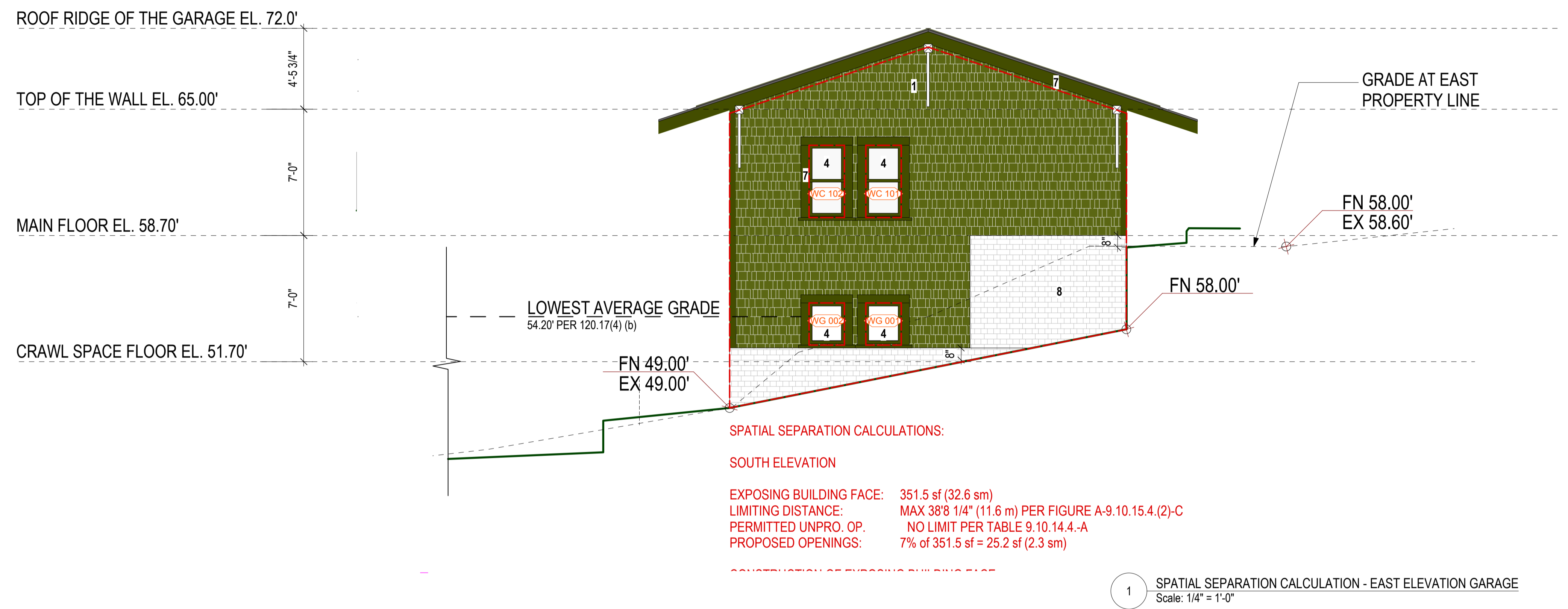
EXPOSING BUILDING FACE: 162.6 sf (15.1 sm)
 LIMITING DISTANCE: 5'7 3/7\"/>

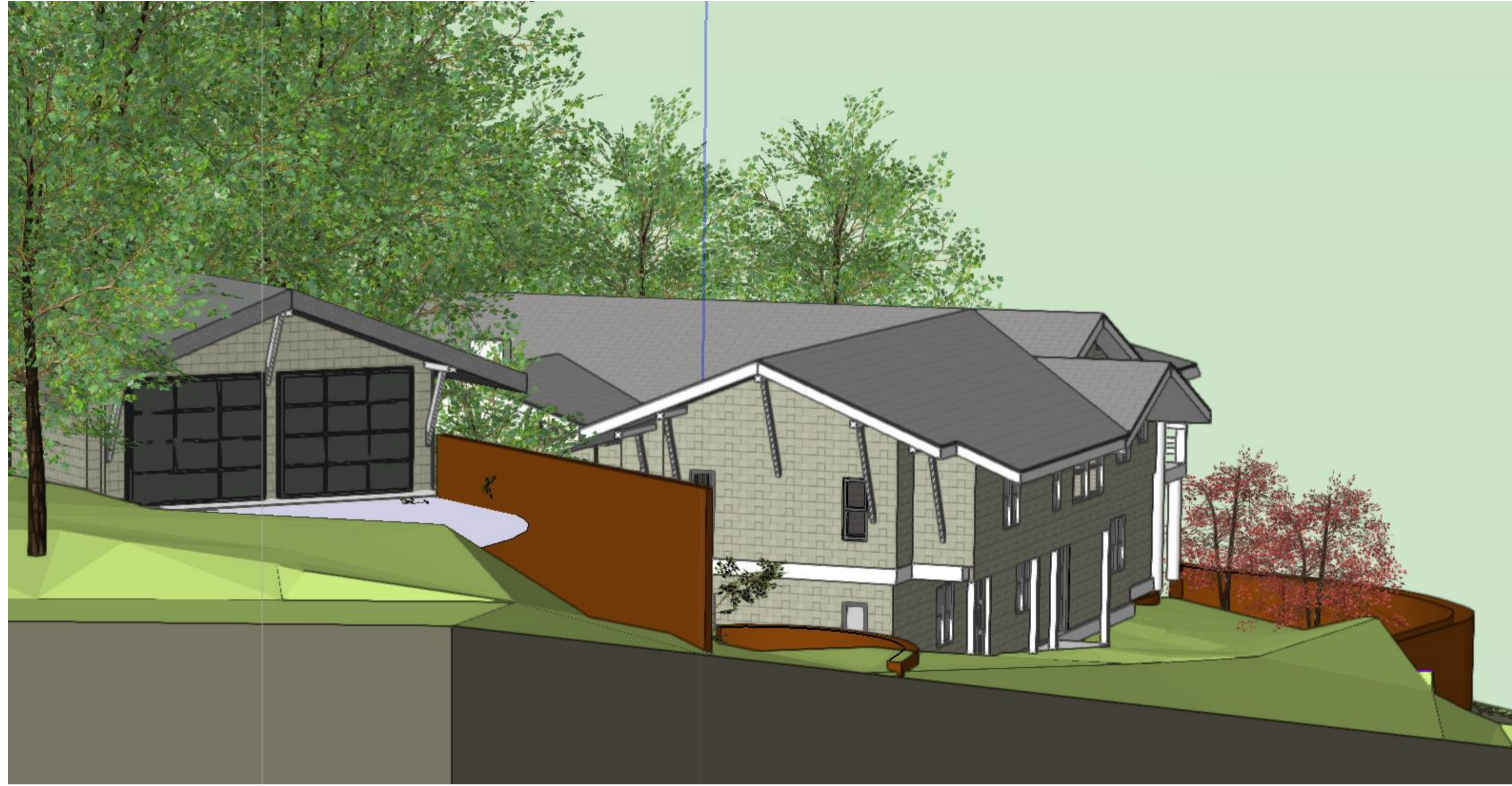
CONSTRUCTION OF EXPOSING BUILDING FACE:

1 HR FIRE RESISTANCE RATING IS REQUIRED PER SPATIAL SEPARATION CALCULATION PER TABLE 3.2.3.7.

CLADDING WILL BE NON-COMBUSTIBLE.

2 SPATIAL SEPARATION CALCULATION - NORTH ELEVATION GARAGE
 Scale: 1/4\"/>





1 MODEL VIEWS OF PROPOSAL

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4	2/4/20	RESPONSE TO HAP COMMENTS
3	2/25/20	HAP FORMAL APPLICATION
2	2/21/20	HERITAGE ALTERATION PERMIT
1	2/11/20	HERITAGE ALTERATION PERMIT

A5.0
 RENDERS