



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	July 2, 2021
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Zoning Amendment and Development Permit for 7 Glenmore Drive (Duplex)
File:	05.1010.20/21-065.2021

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5132, 2021” be read a first time.

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5132, 2021” be presented at a public hearing scheduled for September 13, 2021 at 6:00 p.m. in the Municipal Hall Council Chamber, and that statutory notice be given of the scheduled public hearing.

RECOMMENDATION

THAT proposed “Development Permit 21-065” be presented at a public meeting scheduled for September 13, 2021 at 6:00 p.m. in the Municipal Hall Council Chamber, to be held concurrently with the public hearing scheduled for September 13, 2021 at 6:00 p.m. in the Municipal Hall Council Chamber, and that notice be given of the scheduled public meeting.

1.0 Purpose

To present to Council a proposed zoning amendment and associated development permit to facilitate an infill duplex.

2.0 Legislation/Bylaw/Policy

Local Government Act

The *Local Government Act* requires that a public hearing be held on the proposed rezoning bylaw.

Zoning Bylaw

The site is currently zoned Duplex Dwelling Zone 1 (RD1) and a text amendment is required to provide a site specific amendment to the RD1 zone lot width standards to facilitate an infill duplex.

3.0 Council Strategic Objective(s)/Official Community Plan

2020-2021 Council Strategic Goals and Objectives

The “2020-2021 Council Strategic Goals and Objectives” aims to “Significantly expand the diversity and supply of housing, including housing that is more affordable.” (“Housing” Strategic Goal 1.0). More specifically, objective 1.2 expects to “specify targets and provide incentives for 'missing middle' housing types such as mixed-use housing, infill housing, duplexes, coach houses and townhouses”.

Official Community Plan (OCP)

The Official Community Plan (OCP) includes policies to address the housing needs of present and future generations within the community. The OCP intends to regenerate neighbourhoods with an estimated 300–400 new infill units (e.g. coach house, duplex, secondary suite and infill subdivision) which can provide sensitive infill options that respect the scale and character of existing neighbourhoods. Policy 2.1.3 allows consideration of site-specific rezoning applications to allow duplex development.

Under Part 14 of the *Local Government Act*, the District has designated a Development Permit Area within the OCP for duplex development. The site is zoned RD-1 and is subject to the Duplex Development Permit Guidelines BF-B11. The objective of the Development Permit Area is to ensure that duplexes meet a high quality of building and landscape design, and are compatible with the character of the local neighbourhood.

Although a zoning amendment is required to allow the duplex, the proposal is consistent with the Official Community Plan (OCP) and an amendment to the OCP is not required.

4.0 Financial Implications

4.1 Community Amenity Contribution

New developments are to deliver community amenities related to the impacts of new development. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning and land uses onsite. District policy defines a range of appropriate amenities, including housing affordability and diversity, childcare and cultural facilities, heritage preservation, public art, and public space, parks and the environment.

Consistent with District policy, the applicant offers a voluntary CAC of \$37,500 in cash. District staff consulted with a third party financial consultant regarding various types of low density infill housing that the OCP encourages. Based on that review, staff recommend acceptance of the community amenity contribution (CAC) that is consistent with a previous duplex rezoning approved for 6457 Bruce Street. The contribution would flow into the District's amenity reserve account(s) to contribute to future amenity projects as determined by Council.

4.2 Infrastructure Upgrades

The Land Development Department confirmed that redevelopment of the site, to allow a duplex, will require in-ground servicing infrastructure upgrades for each duplex unit (to be paid for by the applicant).

5.0 Background

5.1 Previous Decisions

Not applicable.

6.0 Analysis

6.1 Site Context

The subject property is located due east of Collingwood School in the British Properties at 7 Glenmore Drive (Figure 1). The local Glenmore neighbourhood is a collection of single-family dwellings, duplexes and small multiplexes. Recently, the area has had a number of new single-family dwellings and duplexes constructed on the east side of Glenmore Drive north of the site.

The site is relatively flat, 849.3 m² (9,142 sq. ft.) in area and is zoned Duplex Dwelling Zone 1 (RD1). The site benefits from a sense of privacy as it borders Capilano River Regional Park to the south and east (within the District of North Vancouver). Lands directly across the street are zoned Residential Multiple 4 (RM4), lands north of the site are zoned Duplex Dwelling Zone 1 (RD1) and lands southwest of the site are zoned Single Family Dwelling Zone 3 (RS3) (**Appendix A**).

The site is within the (a) Duplex "form and character" development permit area (DPA) and (b) Wildfire Hazard DPA.

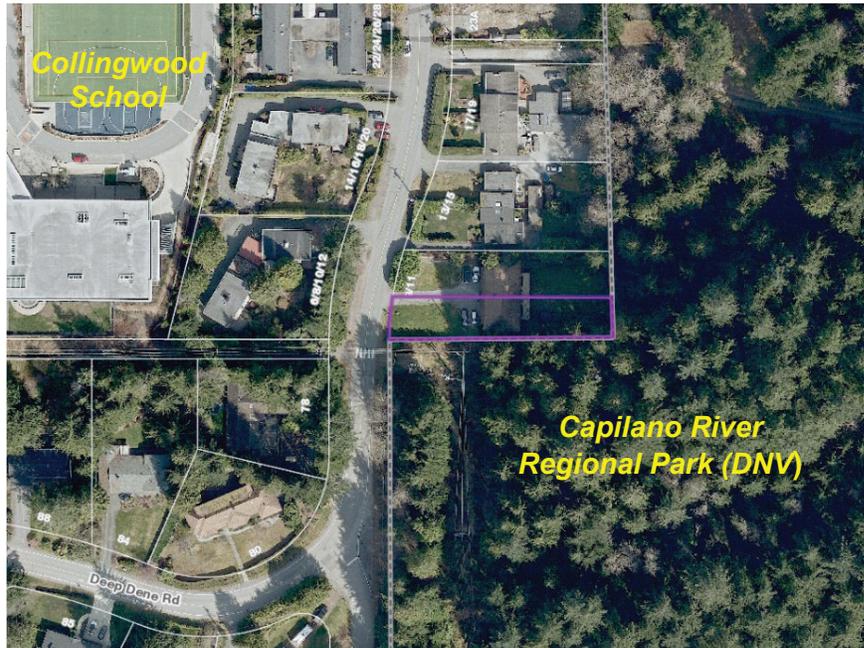


Figure 1 – Context/Aerial Map

Figure 1 shows a duplex building straddling the lot line; however, that structure has now been removed as a requirement of a recently approved subdivision registered in late 2020. A duplex, in compliance with the RD1 zone, is now under construction on the lot north of the subject site (Lot A) while the subject site (Lot B) currently sits vacant.

6.2 Proposal

The applicant proposes to rezone the site to allow for an infill duplex with two dwelling units and two secondary suites. The site is currently zoned RD1 which allows for either a single-family or duplex dwelling, however, a duplex is only permitted when there is sufficient lot area and lot width. Specifically, a duplex is only permitted on a site that is 555 m² (5,974 sq. ft.) or greater and with a minimum site width of at least 14.3 m (46.9 ft.). As the site is 849.3 m² (9,142 sq. ft.) in area, there is sufficient site area to permit a duplex, however, the 12.95 m (42.5 ft.) site width does not currently allow a duplex (and only allows a single-family dwelling). The proposed zoning amendment would modify the RD1 zone (Section 251.04 “Minimum Lot Width”) to allow for a duplex (see **Appendix B**). The amendment would only be applicable to this site.

The proposed duplex also requires approval of the attached draft form and character Development Permit 21-065 (**Appendix C**). The proposed siting of the duplex building is seen in Figure 2. The significant depth of the site¹ allows for generous front and rear yard setback for the building. An indication

¹ The depth of the site is approximately 67m (220 ft.)

of the planned west coast contemporary form and character of the duplex is seen in Figure 3 and within the architectural drawing package which forms part of proposed Development Permit 21-065.

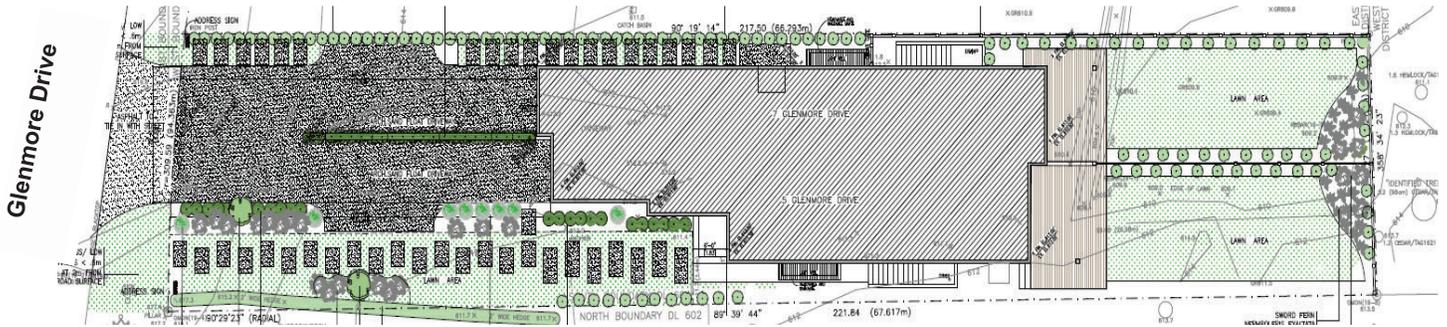


Figure 2 – Landscape Plan

The duplex is proposed to have a flat roof and be primarily clad in a cementitious horizontal siding. This weather and fire resistant material is complimented by concrete cladding and black vinyl windows and doors that match the roofline colour (Figure 3) which combine to appear as a single-family dwelling with two single car attached garages.



Figure 3 – Rendering

Through the design review process, the applicant worked with staff to incorporate numerous design enhancements that improved light penetration, landscaping, pedestrian entrance exposure, weather protection and privacy between units. Most notably, there are large windows to be installed at the base of the secondary suite entrance stairs which will improve light penetration and livability for the secondary suites. The secondary suites entrance areas will be complimented by 10 ft. wide full height window wells that will provide further light penetration for the secondary suite bedrooms.

Additionally staff note that the proposed duplex is planned to compliment the duplex north the site (Figure 4) currently being constructed by the applicant.



Figure 4 – Duplex under construction north of 7 Glenmore Drive

Staff have reviewed the proposal against the duplex development permit area form and character guidelines and relevant OCP directions to expand sensitive infill housing and support the proposed zoning amendment and proposed Development Permit 21-065 (**Appendix C**).

Wildfire Hazard Development Permit

Subject to Council consideration of the zoning amendment and form and character development permit an environmental development permit would be considered by the Director of Planning to ensure compliance with the Wildfire Hazard Development Permit Area guidelines.

6.3 Sustainability

The proposed rezoning will facilitate an infill duplex recognized as a sustainable and efficient land use within the OCP. Infill subdivisions and duplexes allow new development to be integrated within existing neighbourhoods and utilize existing infrastructure such as roads, sewer and water.

In compliance with the *Sustainable Buildings Policy*, the duplex² will be required to obtain a higher step, of the BC Energy Step Code, than what is currently required by the District of West Vancouver Building Bylaw. Accordingly, the duplex will be required to Step 4 and utilize a low-carbon energy system (i.e. electrical heating).

² Considered a Part 9 building according to the BC Building Code.

6.4 Public Engagement and Outreach

Public Information Meetings

In accordance with the *Preliminary Development and Public Consultation Policy* and the *Interim COVID-19 Public Consultation Strategy for Development Projects*, the applicant completed the following as part of the preliminary public engagement process:

- Hosted a webpage that included project information and a comment form (available for public input from March 25 to April 9, 2021);
- Mailed out a notice within a 100 metre radius and invited neighbours to “visit” the virtual engagement and to comment on the proposal; and
- Submitted a public consultation summary to staff of the virtual engagement. See **Appendix D**.

The applicant has indicated that they received supportive comments from 8 property owners and comments with concerns from two property owners.

In compliance with the *Development Procedures Bylaw*, should the proposal advance, the public will be given an opportunity to learn about the rezoning and provide feedback on the proposal prior to the public hearing at a virtual information meeting hosted by the applicant.

In accordance with the *Interim COVID-19 Public Consultation Strategy for Development Projects*, public consultation on the proposed development will be provided virtually through an applicant-hosted project webpage.

Neighbours within 100 m of the subject site will be notified. District staff will make themselves available by phone and email to provide information and answer questions. Staff will report back to Council at the Public Hearing regarding the public feedback received.

Public Hearing and Notification

In compliance with the *Local Government Act (LGA)* and *Development Procedures Bylaw No. 4940, 2017*, the proposed rezoning is subject to a public hearing. Notice of the public hearing will be given in accordance with LGA requirements and District procedures.

Signage

The applicant is required to install a development information sign in front of the property prior to the public hearing. Should the proposal advance, the applicant will be required to update the sign information with particulars about the required public hearing and virtual public information meeting.

Website

In alignment with current practise, a description of the proposal is available online and should the proposal advance, applicable dates will updated.

7.0 Options

7.1 Recommended Option

It is recommended that Council give first reading to the proposed zoning bylaw and set a date for a public hearing.

7.2 Considered Options

Council may:

- a) give first reading to the proposed bylaw and set an alternative date (to be specified) for a public hearing; or
- b) defer consideration pending receipt in additional information (to be specified); or
- c) reject the proposal.

8.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable. The proposed zoning amendment and development permit will facilitate an infill duplex which is supported by Council's strategic objectives and the OCP. The proposal will provide a suitable infill development within the existing Glenmore neighbourhood.

Staff recommends that the proposed bylaw be given first reading and a date for a public hearing and concurrent public meeting for DP21-065 be scheduled.

Author:



Erik Wilhelm, Senior Community Planner

Concurrence:



Michelle McGuire, Senior Manager of Current Planning and Urban Design

Appendices:

- A Zoning Map
- B Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5132, 2021
- C Proposed Development Permit 21-065
- D Public Engagement Summary

Appendix A – Zoning Map



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District of West Vancouver

Appendix B

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5132, 2021
(7 Glenmore Drive)**

Effective Date:

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5132, 2021

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5132, 2021

A bylaw to amend the lot width requirement within the RD1 Zone to allow for a duplex at 7 Glenmore Drive.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069 and 5110.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for a bylaw to amend the lot width requirement within the RD1 Zone to allow for a duplex at 7 Glenmore Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5132, 2021.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Zoning Bylaw Amendments

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 251.04 (“Minimum Lot Width” within the RD1 Zone) is hereby amended by adding the following text after “Single family dwelling - 10 metres minimum”:

“Duplex dwelling – 12.9 metres minimum applicable only to 7 Glenmore Drive (Legal Description: Lot B, Block 1 of Block C, District Lot 604, Group 1, New Westminster District, Plan EPP86368) PID: 031-196-756”

Part 4 Offence and Penalty

- 4.1 Every person who violates a provision of this bylaw, or who consents, allows or permits an act or thing to be done in violation of a provision of this bylaw, or who neglects to or refrains from doing anything required to be done by a provision of this bylaw, is guilty of an offence and is liable to the penalties imposed under this bylaw, and is guilty of a separate offence each day that a violation continues to exist.
- 4.2 Every person who commits an offence is liable on summary conviction to a fine or to imprisonment, or to both a fine and imprisonment, not exceeding the maximum allowed by the *Offence Act*.

READ A FIRST TIME on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

ADOPTED by the Council on

Mayor

Corporate Officer

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District of West Vancouver

Proposed Development Permit No. 21-065

Current Owner: David William Harper (5938 Marine Drive, West Vancouver, BC, V7W 2S2, Canada)

This Development Permit applies to “the Lands”:

Civic Address: 7 Glenmore Drive

Legal Description: Lot B, Block 1 of Block C, District Lot 604, Group 1, New Westminster District, Plan EPP86368
031-196-756

1. This Development Permit:
 - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as a Development Permit Area to ensure that duplexes meet a high quality of building and landscape design, and to maintain compatibility with adjoining single family dwellings and other land uses subject to Guidelines BF-B11 specified in the Official Community Plan; and
 - (b) is issued subject to the Owner’s compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.
2. The following requirements and conditions shall apply to the Lands:
 - 2.1 Buildings, structures, landscaping and site development for the duplex shall take place in substantial compliance with the drawings from Sterling Pacific Developments Inc. dated December 3, 2020 attached as Schedule “A”.
3. The minimum energy performance of the proposed new dwellings shall conform to a minimum Step 4 with Low-Carbon Energy System pathway, as defined by the British Columbia Energy Step Code. Compliance with the required step shall be demonstrated through provision of sufficient documentation to the satisfaction of the Chief Building Official.
4. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
 - 4.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District’s Manager of Development Engineering.
 - 4.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District’s Environmental Protection Officer.

- 4.3 Submit a “Sediment and Erosion Plan” to the District’s Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
- 5. Prior to the issuance of a building permit and as security for the due and proper completion of the landscaping as set forth in Section 2.1 of this Development Permit, the Owner shall:
 - (a) provide, to the Land Development Department, a cost estimate for the to be landscaping (“Landscaping Works”) to be installed onsite.
 - (b) provide security equaling 100% of the landscaping cost estimate to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union;
 - (c) Upon confirmation by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that Landscaping Works were installed in substantial compliance with Schedule “A”, the District will return 75% of the landscape deposit; and
 - (d) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the remaining 25% of the landscape deposit.
- 6. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND

- THE DUPLEX MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON

Schedules:

A – Project Drawings (Sterling Pacific Developments Inc. dated December 3, 2020).





South Elevation



North Elevation



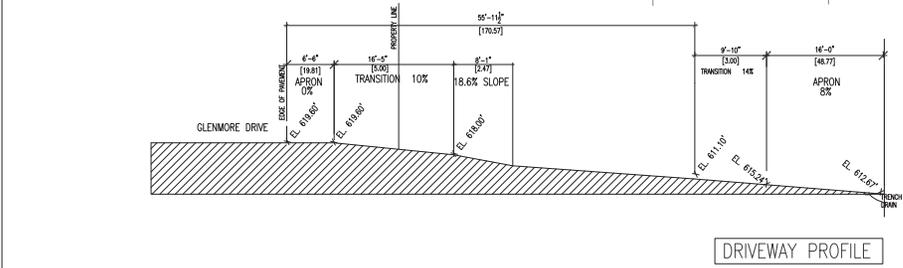
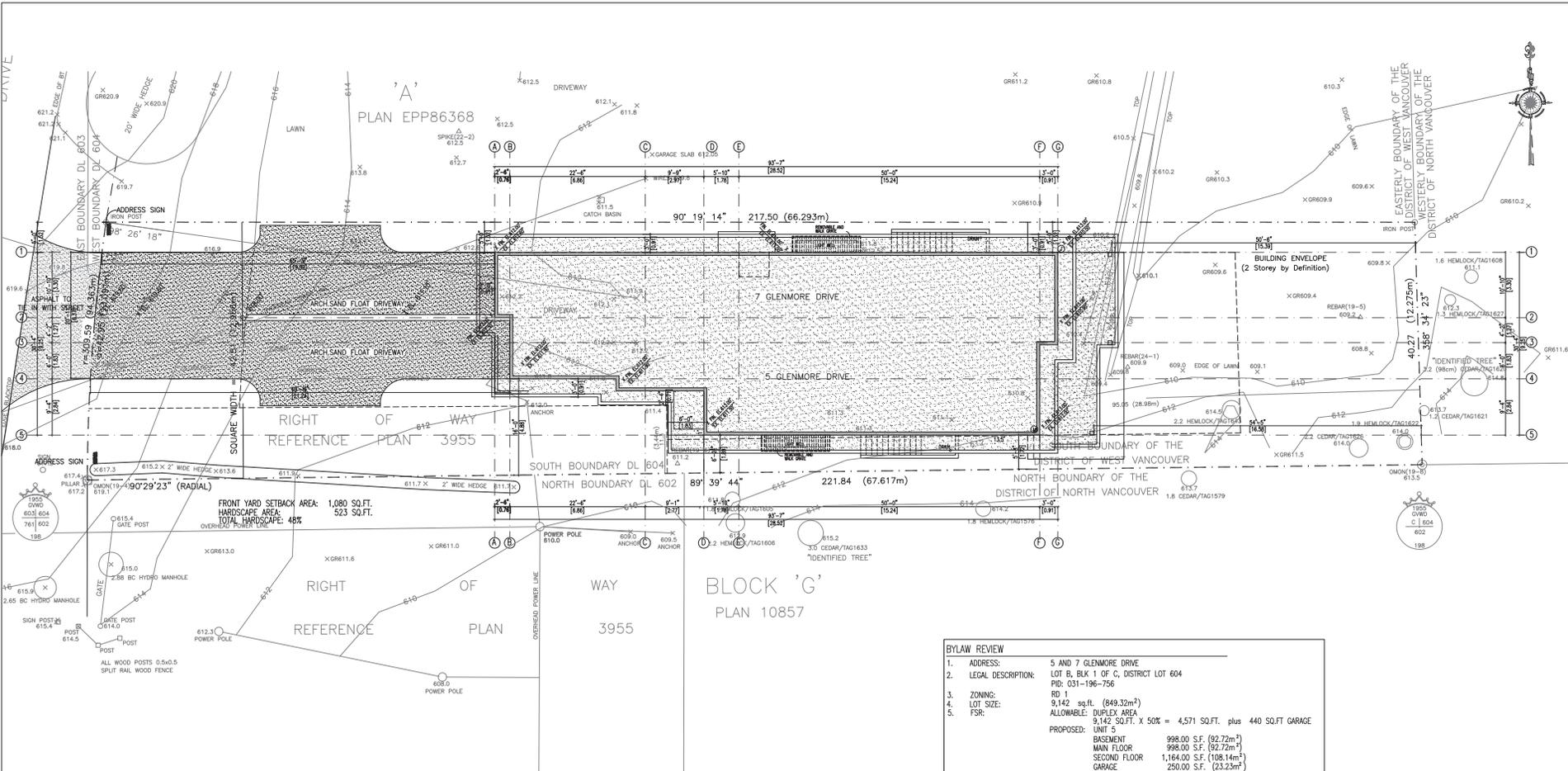
East Elevation



Image of secondary suite bedroom provided for informational purposes



Image of secondary suite family room provided for informational purposes



BYLAW REVIEW

- ADDRESS: 5 AND 7 GLENMORE DRIVE
- LEGAL DESCRIPTION: LOT 6, BLK 1 OF C, DISTRICT LOT 604
PID: 031-196-756
- ZONING: RD 1
- LOT SIZE: 9,142 sq.ft. (849.33m²)
- FSR: ALLOWABLE: DUPLEX AREA
9,142 SQ.FT. X 50% = 4,571 SQ.FT. plus 440 SQ.FT GARAGE

PROPOSED: UNIT 5	998.00 S.F. (92.72m ²)
BASEMENT	998.00 S.F. (92.72m ²)
MAIN FLOOR	998.00 S.F. (92.72m ²)
SECOND FLOOR	1,164.00 S.F. (108.14m ²)
GARAGE	250.00 S.F. (23.23m ²)
PROPOSED: UNIT 7	962.00 S.F. (89.37m ²)
BASEMENT	938.00 S.F. (87.14m ²)
MAIN FLOOR	1,226.00 S.F. (113.90m ²)
SECOND FLOOR	266.00 S.F. (24.71m ²)
GARAGE	266.00 S.F. (24.71m ²)
TOTAL PROPOSED:	6,802.00 S.F. (631.93m ²)

EXEMPTIONS: MINUS GARAGE 440.00 S.F. (40.88m²)
MINUS BASEMENT 1,960.00 S.F. (182.09m²)
TOTAL COUNTED FSR: 4,402.00 S.F. (408.96m²)

- SITE COVERAGE: ALLOWABLE: 9,142 SQ.FT. X 40% = 3,656.80S.F.(339.93 m²)
PROPOSED: 2,652 (296)
- SETBACKS: ALLOWABLE: FRONT YARD: 25'-0" (7.6m)
REAR YARD: 30'-0" (9.1m)
SIDE YARD MINIMUM: 5.0' (1.52m)
SIDE YARD COMBINED: 25% = 10.51' (3.20m)
PROPOSED: FRONT YARD 65'-3" (19.90m)
REAR YARD 50'-0" (15.30m)
SIDE YARD 5'-0" (1.52m)
SIDE YARD COMBINED: 10'-8" (3.25m)
- HEIGHT: ALLOWABLE: 25'-0" PROPOSED: 22'-3"

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A7	ROOF PLAN
A8	NORTH AND WEST ELEVATIONS
A9	SOUTH AND EAST ELEVATIONS
L1	LANDSCAPE / POOL PLAN

In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.

STERLING PACIFIC DEVELOPMENTS INC.
 #4 - 535 Clough Avenue
 Prince George, BC V2L 6P8
 Phone: 604.635.1514 or 778.322.8340
 www.sterlingpacificdevelopments.com

NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
 BE READ IN CONJUNCTION WITH
 THE STRUCTURAL ENGINEERS
 DESIGN LAYOUT

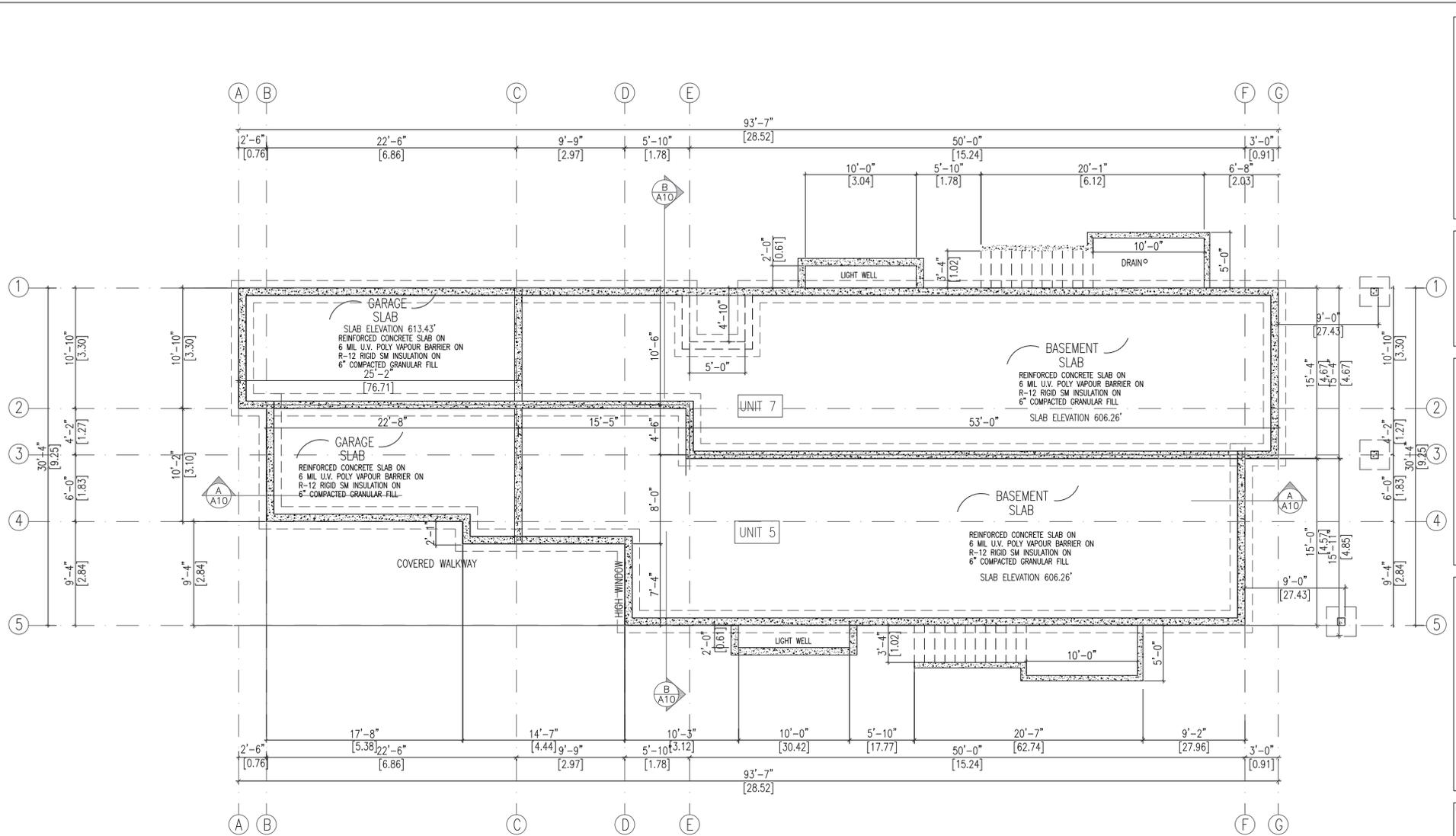
REVISIONS	DATE	DESCRIPTION
NO.		

PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
SITE PLAN

DATE:	DEC 3, 2020
SCALE:	1/8" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	20002

SHEET No.
A.01



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REVISIONS	NO.	DESCRIPTION	DATE

PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
FOUNDATION

DATE: DEC. 3, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 202002

In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.

SHEET No.
A.03

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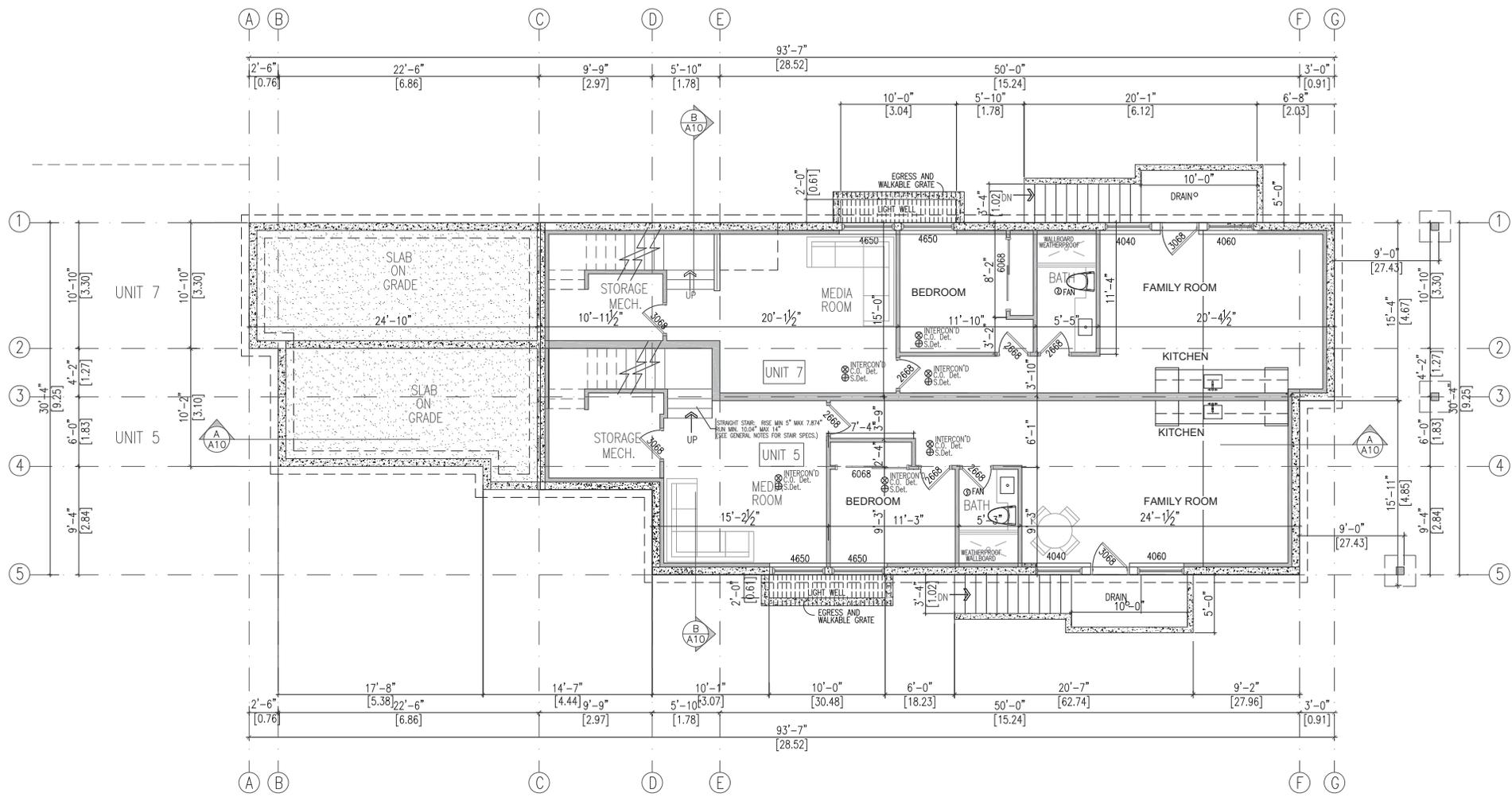
REVISIONS	NO.	DESCRIPTION	DATE

PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
BASEMENT

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DRAWN BY:	VJM
JOB NO.:	202002

SHEET No.
A.04



In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.

PROPOSED BASEMENT
 UNIT 7
 AREA: 962 SQFT
 UNIT 5
 AREA: 998 SQFT
 TOTAL AREA: 1,960 SQ.FT.



STERLING PACIFIC DEVELOPMENTS INC.
 #4 - 636 Clyde Avenue
 West Vancouver, B.C. V7S 2Z2
 www.spd.ca

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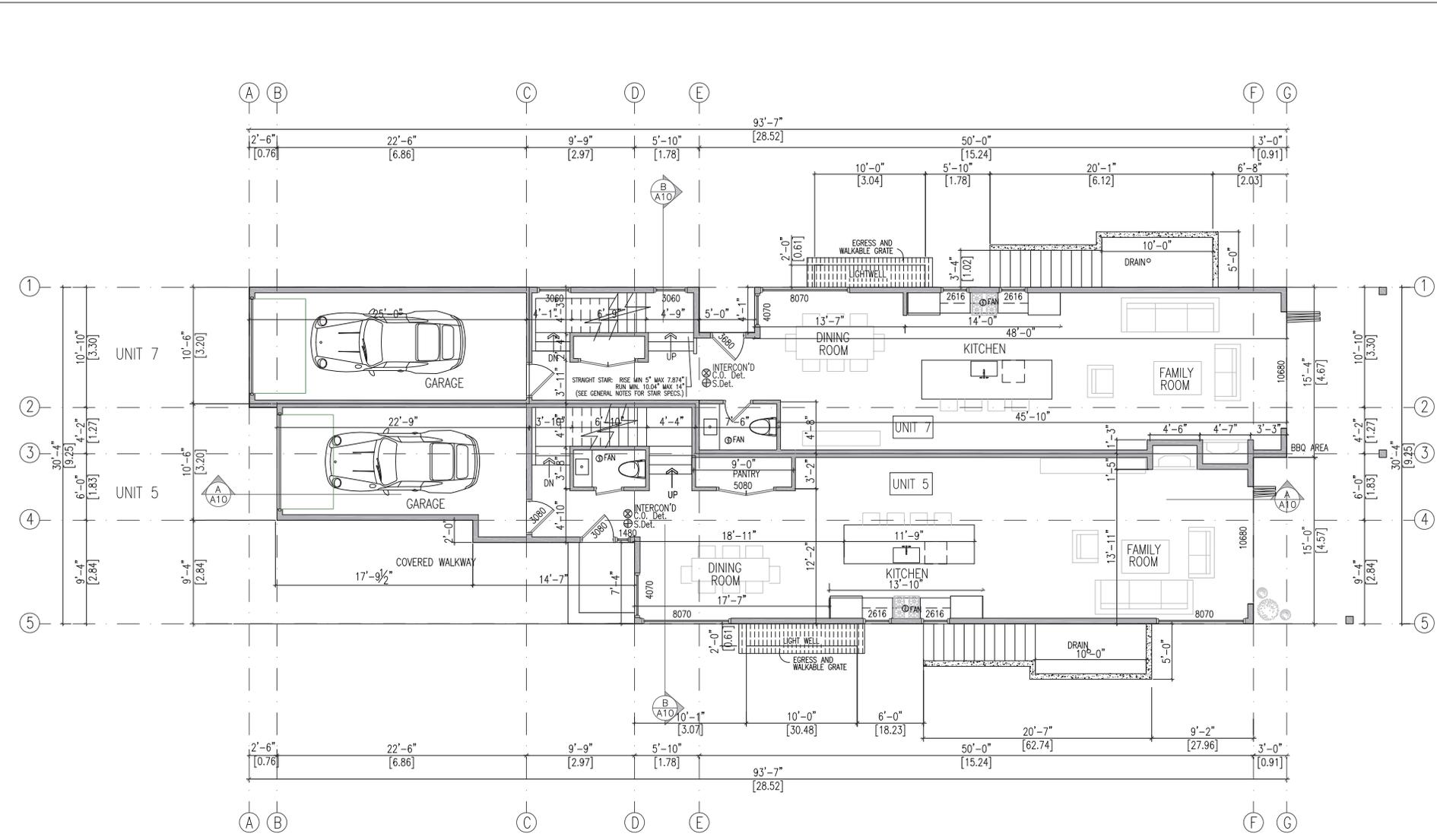
REVISIONS	NO.	DESCRIPTION	DATE

PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
MAIN FLOOR

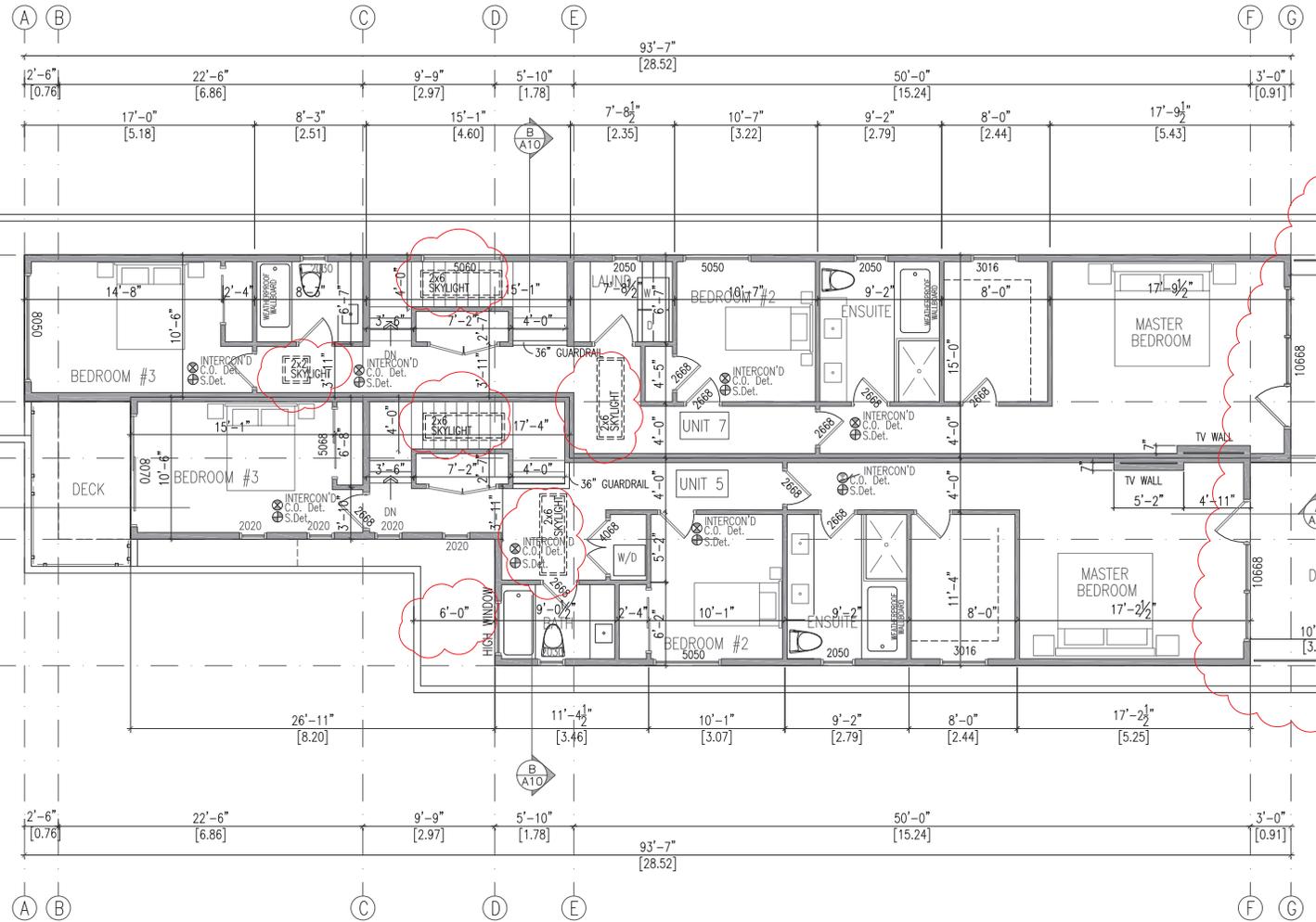
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JOB NO.:	202002

SHEET No.
A.05



In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.

PROPOSED MAIN FLOOR
 UNIT 7
 AREA: 938 SQFT
 PLUS GARAGE: 266 SQ.FT.
 UNIT 5
 AREA: 998 SQFT
 PLUS GARAGE: 250 SQ.FT.
 TOTAL AREA: 2,452 SQ.FT.



In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.

PROPOSED SECOND FLOOR	
UNIT 7	
AREA:	1,226 SQFT
UNIT 5	
AREA:	1,164 SQFT
TOTAL AREA:	2,390 SQFT



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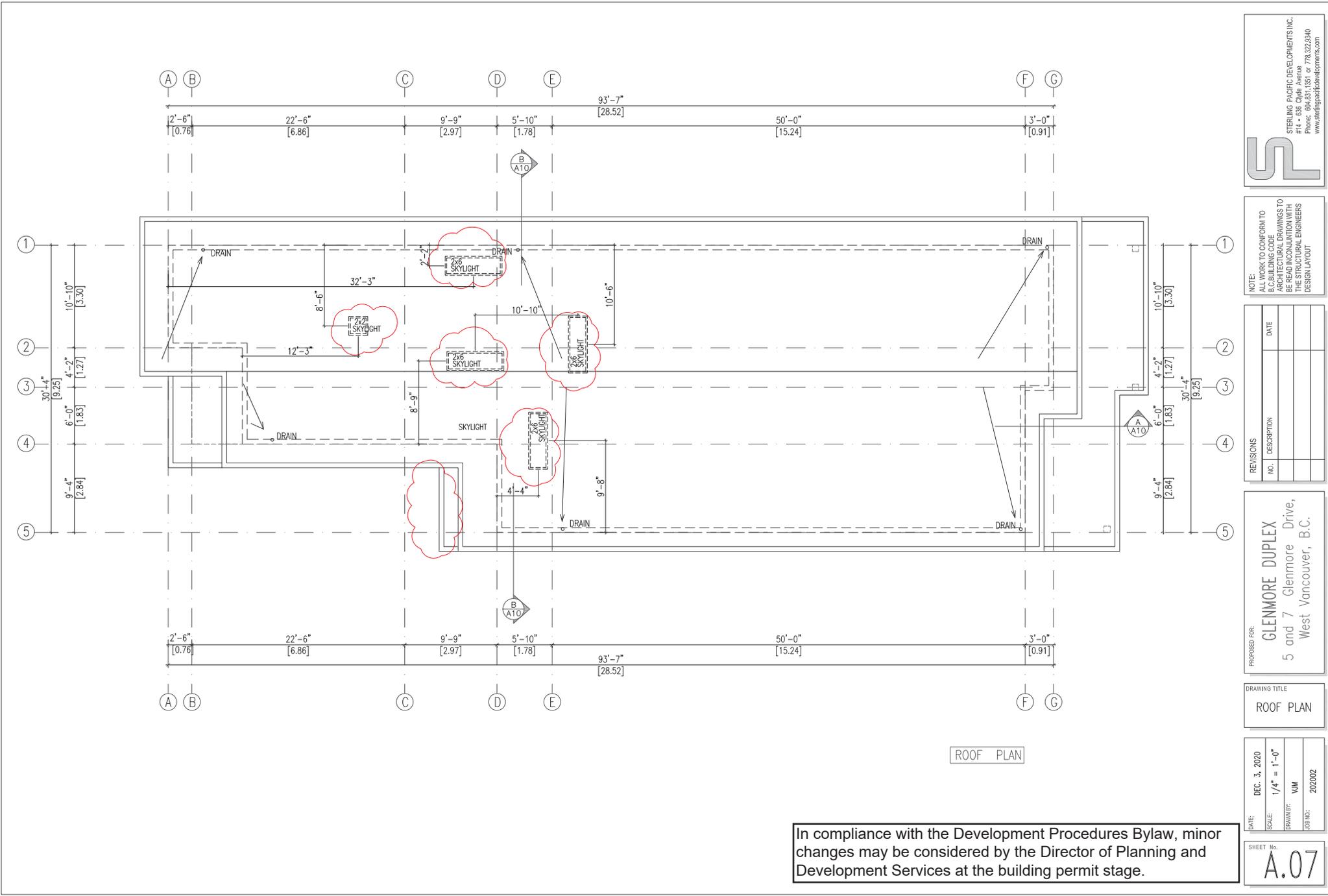
REVISIONS	NO.	DESCRIPTION	DATE

PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
SECOND FLOOR

DATE:	DEC. 3, 2020
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	202002

SHEET No.
A.06



STERLING PACIFIC DEVELOPMENTS INC.
 #4 - 636 Clough Avenue
 West Vancouver, BC V7S 2Z2, Canada
 www.spd.ca

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PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

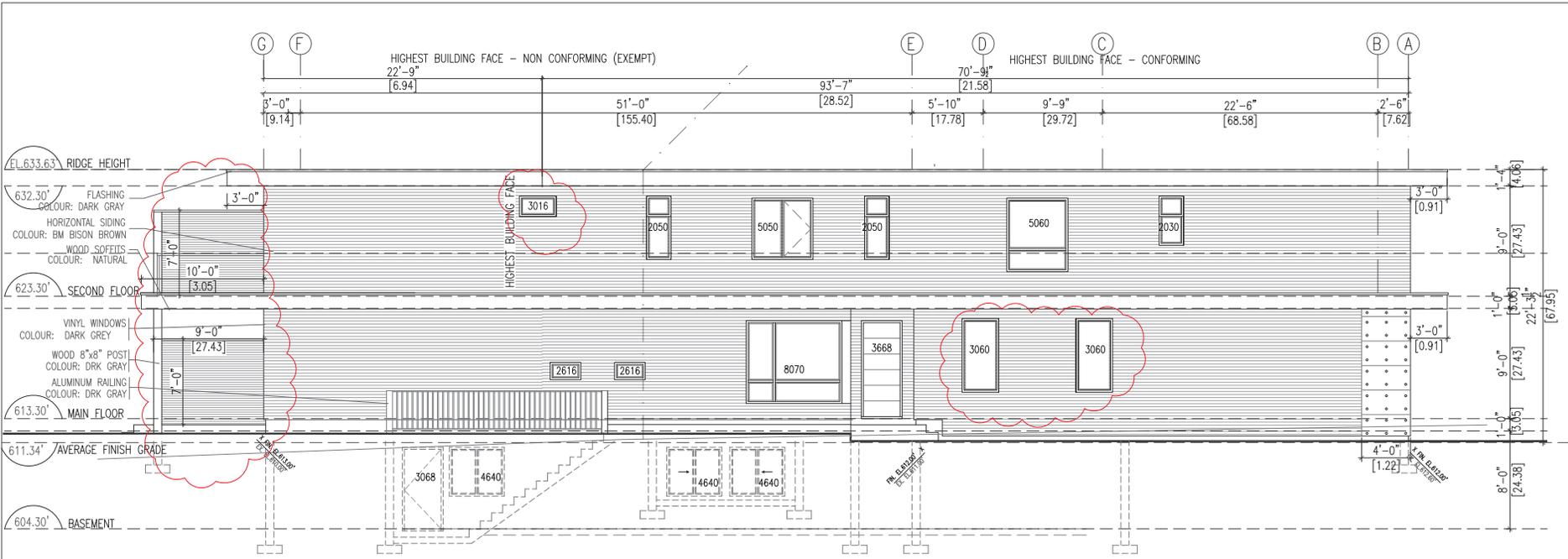
DRAWING TITLE
ROOF PLAN

DATE:	DEC. 3, 2020
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	202002

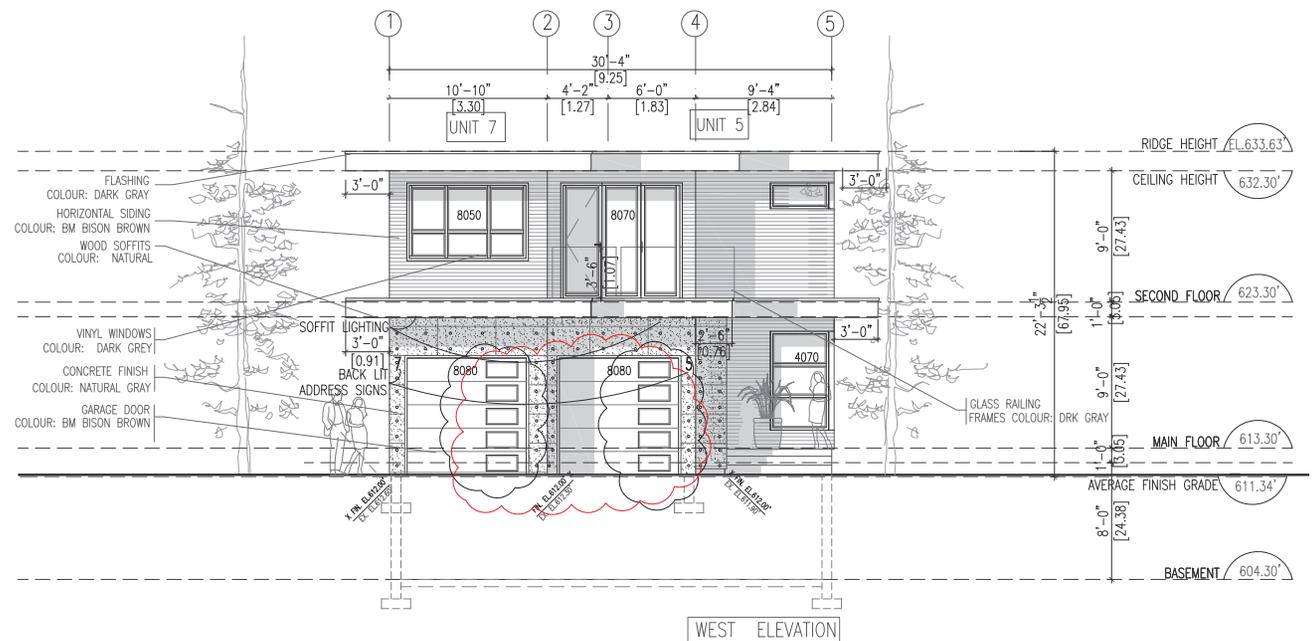
SHEET No.
A.07

ROOF PLAN

In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.



NORTH ELEVATION



WEST ELEVATION

STERLING PACIFIC DEVELOPMENTS INC.
 #4 - 636 Clive Avenue
 West Vancouver, BC V7S 2Z2, Canada
 www.sterlingpacificdevelopments.com

NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
 BE READ IN CONJUNCTION WITH
 THE STRUCTURAL ENGINEERS
 DESIGN LAYOUT

REVISIONS	NO.	DESCRIPTION	DATE

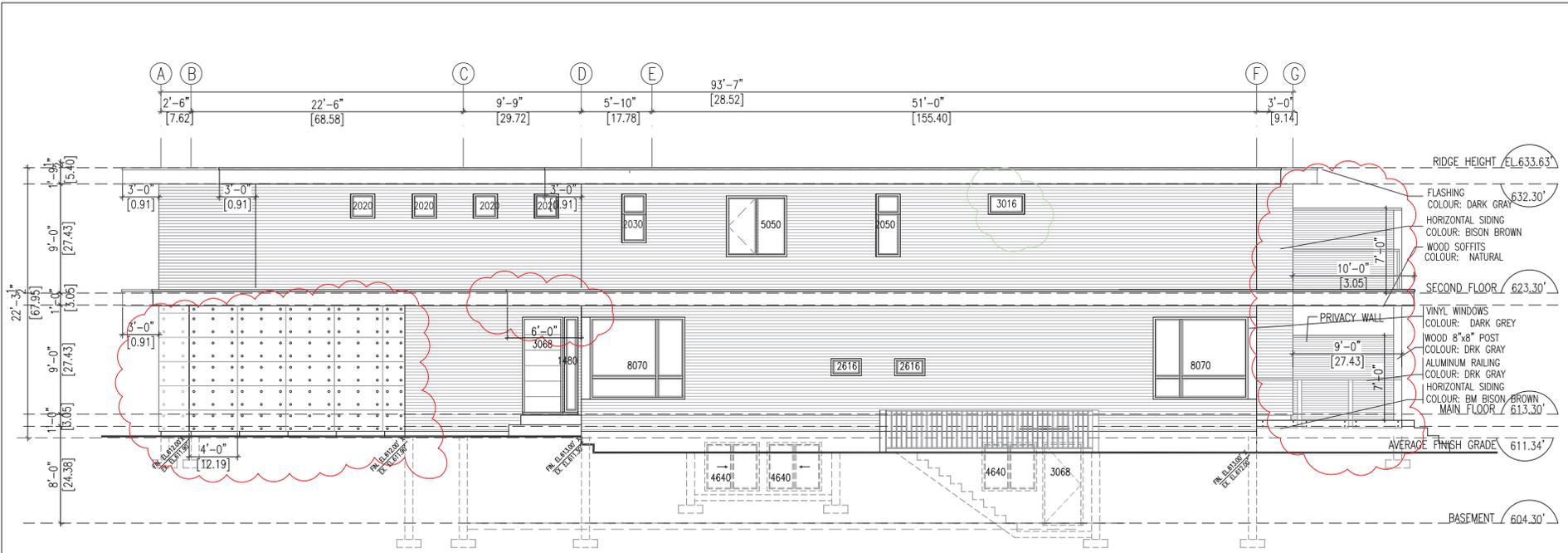
PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
NORTH AND WEST ELEVATIONS

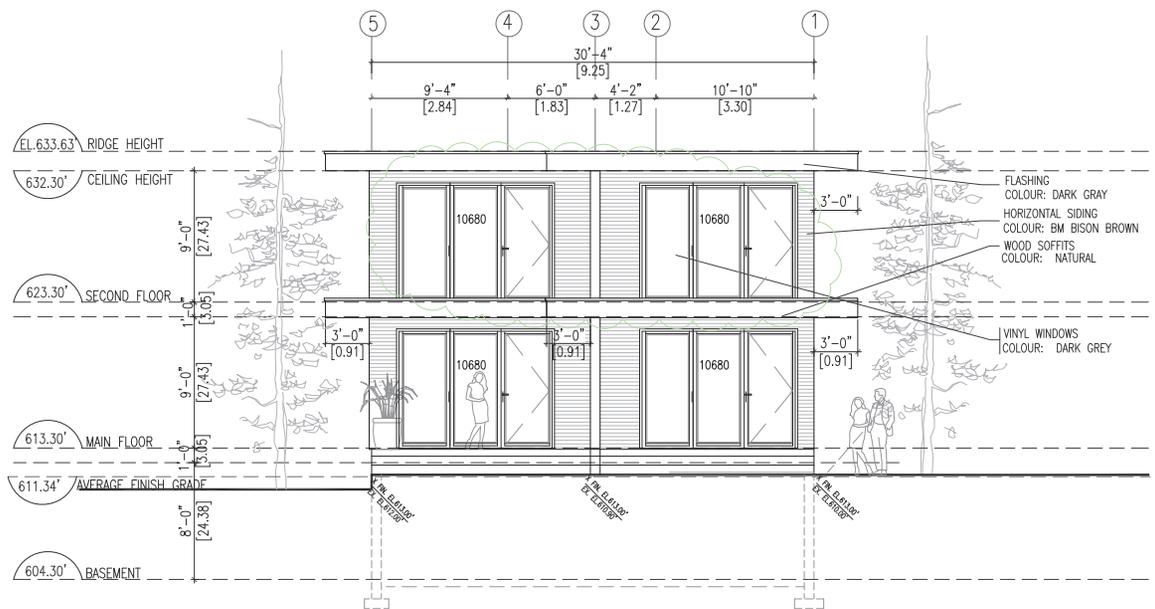
DATE:	DEC. 3, 2020
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	202002

SHEET No.
A.08

In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.



SOUTH ELEVATION



EAST ELEVATION

STERLING PACIFIC DEVELOPMENTS INC.
 #4 - 636 Clough Avenue
 West Vancouver, BC V8V 1P5
 Tel: 778.222.8840
 www.sterlingpacificdevelopments.com

NOTE:
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 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
 BE READ IN CONJUNCTION WITH
 THE STRUCTURAL ENGINEER'S
 DESIGN LAYOUT

REVISIONS	NO.	DESCRIPTION	DATE

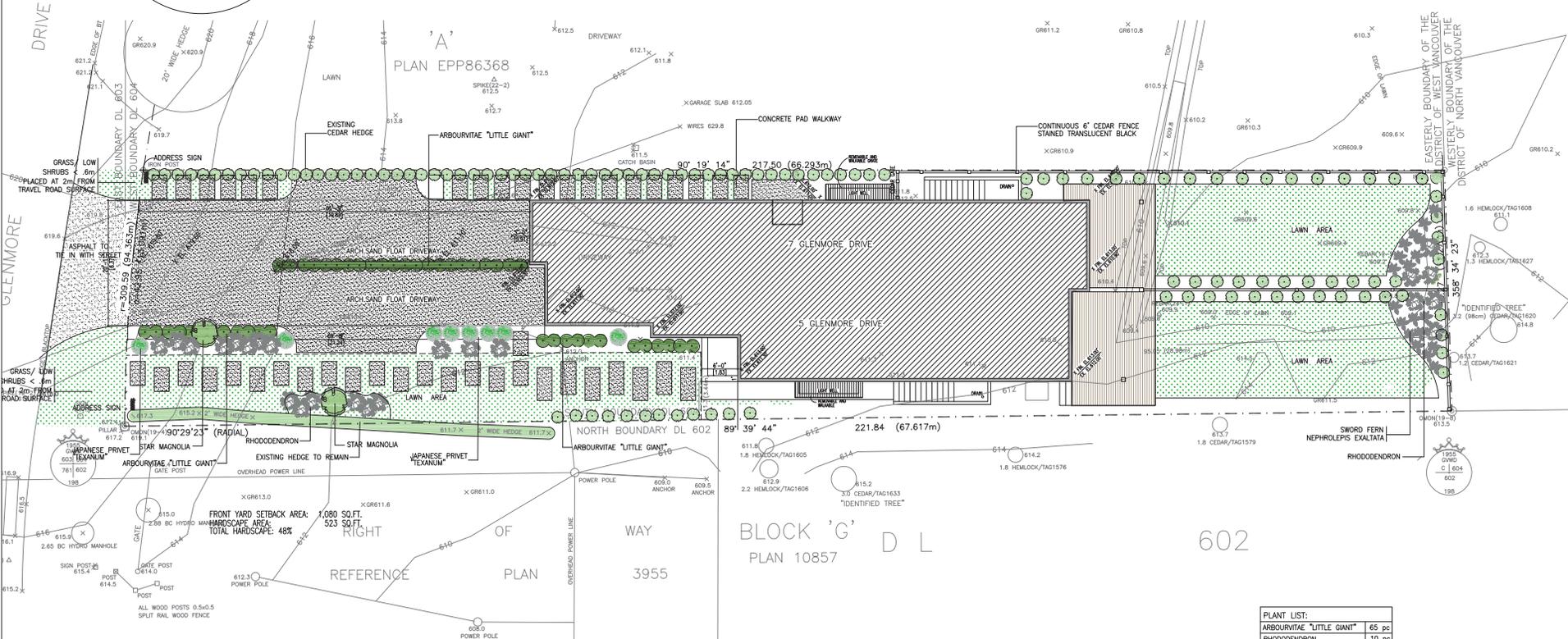
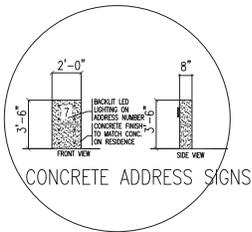
PROPOSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
 SOUTH AND EAST
 ELEVATIONS

DATE: DEC. 3, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 202002

SHEET No.
A.09

In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.



PLANT LIST:

ARBOURVITAE "LITTLE GIANT"	65 pc
RHODODENDRON	10 pc
HYDRANGEA	23 pc
WHITE BLOOMS	2 pc
STAR MAGNOLIA	94 PC
EMERALD CEDAR	34 pc
SWORD FERN	
NEPHROLEPIS EXALTATA	

STERLING PACIFIC DEVELOPMENTS INC.
 #4 - 636 Clegg Avenue
 West Vancouver, BC V8V 2G9
 www.sterlingpacificdevelopments.com

NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
 BE READ IN CONJUNCTION WITH
 THE STRUCTURAL ENGINEERS
 DESIGN LAYOUT

REVISIONS	NO.	DESCRIPTION	DATE

PROCESSED FOR:
GLENMORE DUPLEX
 5 and 7 Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
LANDSCAPE PLAN

DATE:	DEC. 3, 2020
SCALE:	1/8" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	20002

SHEET No.
L.1

In compliance with the Development Procedures Bylaw, minor changes may be considered by the Director of Planning and Development Services at the building permit stage.

Preliminary Public Input Follow Up Report

7 Glenmore

Background

Sterling Pacific Developments (Sterling) is proposing to build a duplex home on the lot located at 7 Glenmore. In this regard, the land is zoned RD1 which allows for duplex homes provided that the frontage is a minimum of 14.3m. The frontage of 7 Glenmore is 13.091m.

Sterling engaged the public virtually through their website from March 25 to April 9 by placing two notices in the North Shore News and mailing notices to the surrounding neighbours within 100m.

Outcome

Sterling received support from eight homes in the immediate area with two homes being opposed.

Positive Remarks

- “it would be wonderful if additional people would come in to enjoy the amenities”
- “new property developments improve the live-ability and ambience of the Glenmore area”
- “this will not only fit in the existing neighbourhood character, but also improve the neighbourhood”

Negative Remarks

- “please do not build another townhouse in this nice neighbourhood”
- “Please keep this place clean and not busy”

Conclusion

Based on the responses received we can conclude that overall, the duplex proposal is well received by the neighbours. We feel that the negative comments pertaining to making the area busier are not warranted. The homes across the street of 7 Glenmore are Quadplexes and have been integrated into the neighbourhood for many years without issues. 7 Glenmore is proposing only one additional home in duplex form and not a “townhouse”.

Furthermore, we feel, as do some of the neighbours that commented that the duplex that is being proposed will fit seamlessly into the neighbourhood and actually enhance the character. Having a new, thoughtfully designed duplex home will only serve to further add to Glenmore’s neighbourhood appeal.

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