

COUNCIL AGENDA	
Date: JUNE 14, 2021 July 12, 2021	Item: 9/12 4./R-1



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

4./R-1

COUNCIL REPORT

Date:	May 25, 2021
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Development Variance Permit for 8440 Citrus Wynd
File:	05.1010.20/19-042.2019

RECOMMENDATION

THAT proposed Development Variance Permit No. 19-042 regarding 8440 Citrus Wynd to allow for variances to a single-family dwelling, as described in the report dated May 25, 2021 be considered at the July 12, 2021 Council meeting; and that notice be given of consideration of the proposed development variance permit.

1.0 Purpose

The purpose of this report is to provide information to Council regarding a single-family dwelling under construction that requires variances to allow completion of the residence and to request scheduling of Council consideration of the application.

2.0 Legislation/Bylaw/Policy

Zoning Bylaw

The site is currently zoned Single Family Dwelling Zone 10 (RS10).

3.0 Council Strategic Objective(s)/Official Community Plan

Not Applicable.

4.0 Financial Implications

There are no financial impacts to the District of West Vancouver.

5.0 Background

5.1 Previous Decisions

The Citrus Wynd subdivision was initially approved in 1993 which included a total of 10 lots accessed off of Ansell Place. This subdivision provided vehicular access to the subject site (8440 Citrus Wynd) and the neighbouring property (8442 Citrus Wynd) which were previously only accessible by water.

5.2 History

Preliminary site grading, driveway improvement and rock breaking began on the site in 2012. The property owner initially applied for a building permit

in 2013 and was issued a building permit in 2014 that allowed construction of a single-family dwelling.

As standard District inspections ensued, there were a number of changes to the plans observed by building inspectors which culminated in a 'stop work order' being issued in 2017. An initial Board of Variance application was denied on July 19, 2017. However, upon revision to the plans, the Board of Variance approved height variances to retaining walls on the north side of the property to allow for a small uncovered parking/turnaround area on November 21, 2018. This uncovered parking area is now planned to be used by both 8440 and 8442 Citrus Wynd for an emergency vehicle parking/turnaround given the site's constricted access.

Unauthorized work was then constructed to respond to the design of the two-car garage which did not provide for a functional turning radius into the garage. This required the garage to be moved westwards, rather than conduct extensive excavation and rock breaking on the east, near vertical, portion of the property. This triggered a subsequent stop work order to be issued. In order to address the situation, the original property owner applied for a Development Variance Permit (DVP) in 2019 to address the issues raised by Building inspection staff regarding unauthorized work.

In December of 2020, the property was sold to a new owner. The new owner has now been proactively working with Planning and Development Services staff to provide all necessary information and to address all required zoning variances.

6.0 Analysis

6.1 Discussion

Site and Context

The waterfront site is located at 8440 Citrus Wynd which is located off of Ansell Place (just south of the Sunset Marina Area). From Ansell Place, Citrus Wynd veers beneath the rail line to access a number of single-family waterfront properties (Figure 1). The site, 8440 Citrus Wynd, is accessed through an easement which passes through the property directly to the north.

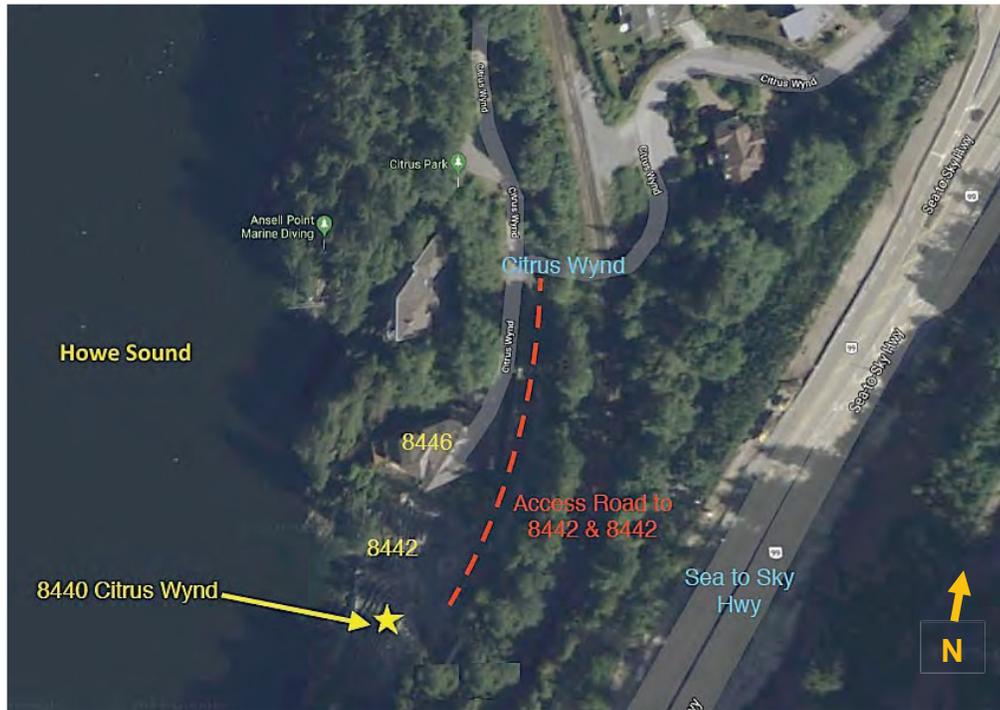


Figure 1 – Context Map/Aerial Image

The surrounding context is as follows:

- **North (8442 Citrus Wynd):** Steep property with single-family dwelling foundation under construction.
- **East:** CN Railway (the rail line is at a considerably higher elevation than the site).
- **South:** Sloped/empty lot with waterfront access only (currently with mature trees & owned by the CN railway company).
- **West:** Howe Sound.

The Proposal

The existing waterfront house previously under construction is three storeys with approximately 5,192 sq. ft. of habitable space, a two-car garage, and a swimming pool (Figure 2). The site is considerably steep with limited vegetation. Foliage is present above the residence (east) and south of the site (Figure 2). The site slopes approximately 78.2 ft., from a highpoint of 95.4 ft. above sea level (ASL) to approximately 17.2 ft. ASL. This considerable slope presents a challenging building site. Figure 3, which is a site section, provides an indication of the site slope.



Figure 2 – View from Howe Sound (looking eastwards)

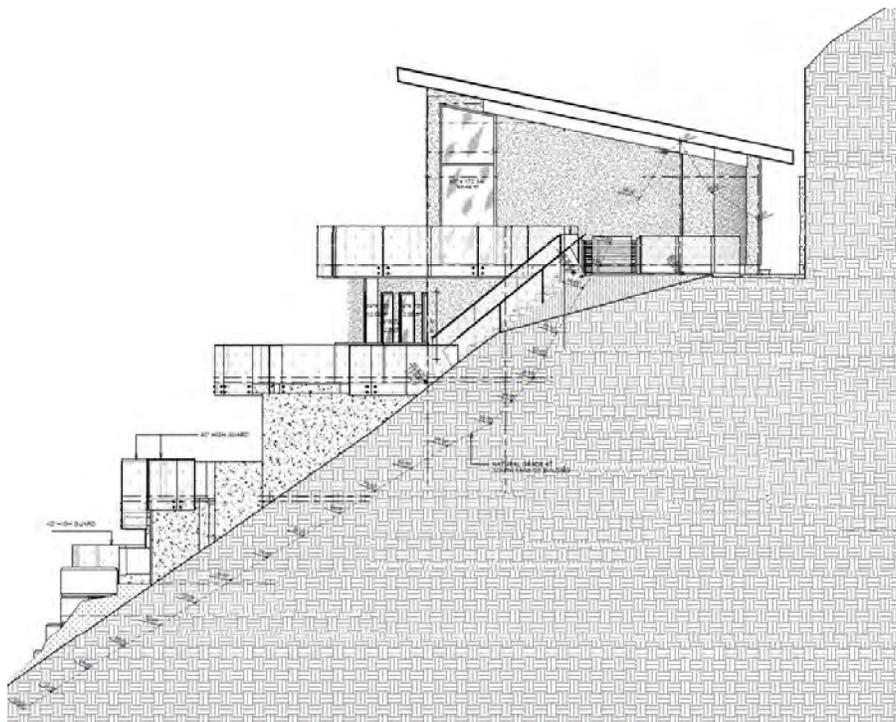


Figure 3 – Site Section of Site (looking northwards)

Proposed Zoning Variances

Figure 4 indicates the general locations of the proposed zoning variances¹.

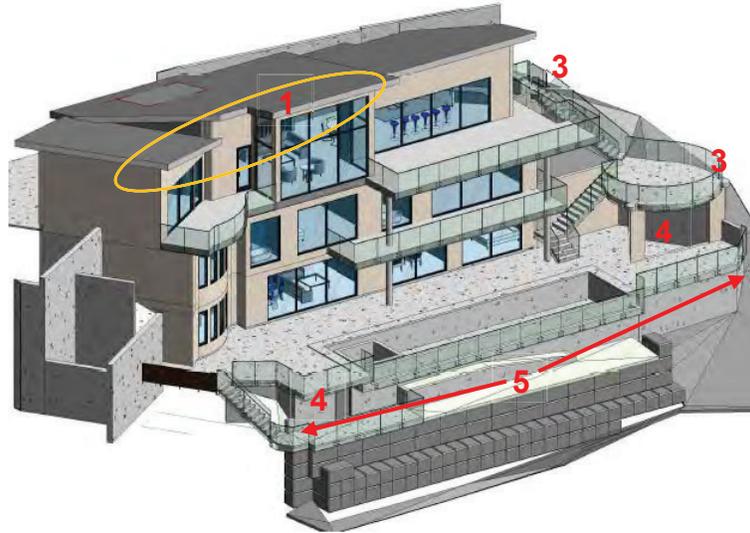


Figure 4 – Rendering of dwelling with variance locations

The proposed zoning variances are as follows:

1. Highest Building Face Envelope: The highest building face envelope in the RS10 zone is 6.7 m (22 ft.) measured from the average grade¹. The highest building face envelope is generally measured as shown in Figure 5. One-third of a single-family dwelling may encroach into the highest building face envelope and the highest building face envelope is not to include any interior space. As noted in the proposed Development Variance Permit 19-042 (Appendix A), the proposed variance allows for 67% of the length of the building to not comply with this requirement.

Due to a discrepancy in the architectural drawings and the structural framing plans, the upper portions of the dwelling seen in Figure 6 were built with rafters (versus a truss system). Therefore, the rafter design made all space beneath the roof 'interior space' and triggered a highest building face envelope variance.

Secondly, due to an error within the initial architectural drawings, there was not sufficient area to provide a useable turning radius for the two-car garage. In order to provide a functional driveway and garage, the garage was moved forward towards Howe Sound which also triggered a highest building face envelope variance.

¹ The numbers seen below correspond to the descriptions of the variances within the report.

¹ In this case, the site is measured from the finished grade.

As the maximum building height of 7.6 metres (25 ft.) is being maintained for the overall building and there is no impact on adjacent neighbours, staff support the highest building face envelope variance.

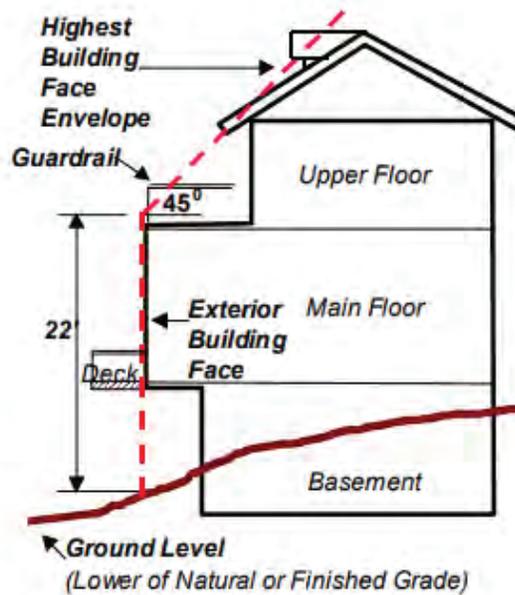


Figure 5 – Diagram from Zoning Bylaw how to measure highest building face envelope

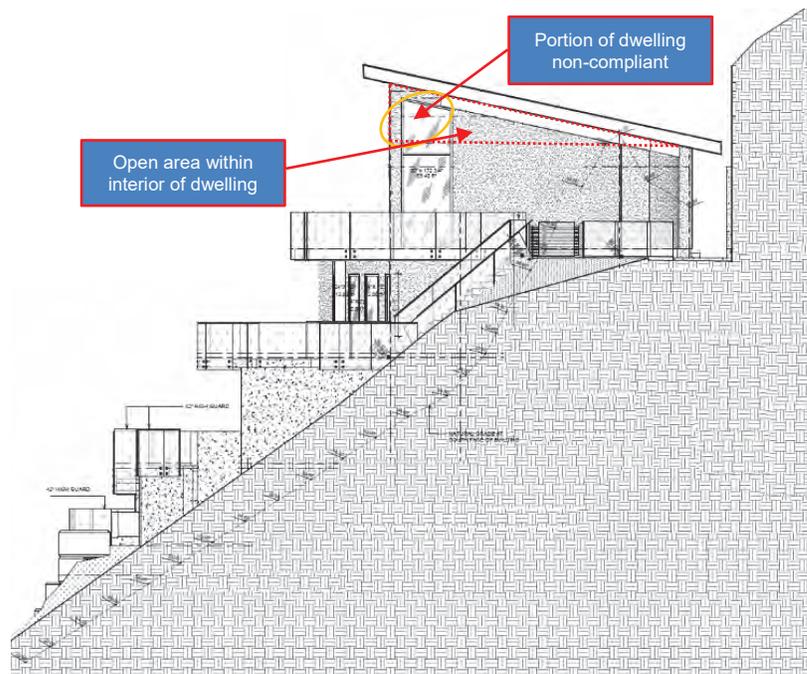


Figure 6 – Site section showing highest building face envelope

2. **Site Coverage:** The maximum site coverage in the RS10 zone is 30%² for a lot of this size. Proposed Development Variance Permit 19-042 varies the maximum site coverage from 30% to 33%. Upon building department review of the proposal, it was determined that the septic storage room underneath the pool deck, accessory wet-bar and associated concrete staircases were to be included in the site coverage calculation. As the incremental increase of 3% site coverage still allows the development to proceed and has no impact on neighbouring properties, staff support the site coverage variance.
3. **Side Yard Setback (Balcony & Stairs):** The side yard setback requirement in the RS10 zone is 10% of the lot width. Therefore, the minimum side yard setback for the subject site is 2.85 metres (9.35 ft.). Proposed Development Variance Permit 19-042 varies the side yard setback from 2.85 metres (9.35 ft.) to 1.88 metres (6.17 ft.) for the balcony and concrete stairs located on the south side of the site (Figure 7). Upon review, the concrete stairs form part of the balcony on the south side of the building and therefore form part of the building (rather than just a landscaped staircase which would not be included within the setback measurement). As the setback variance is minor and only pertains to a concrete staircase which follows grade (i.e. ground level), staff support the reduced side yard setback.

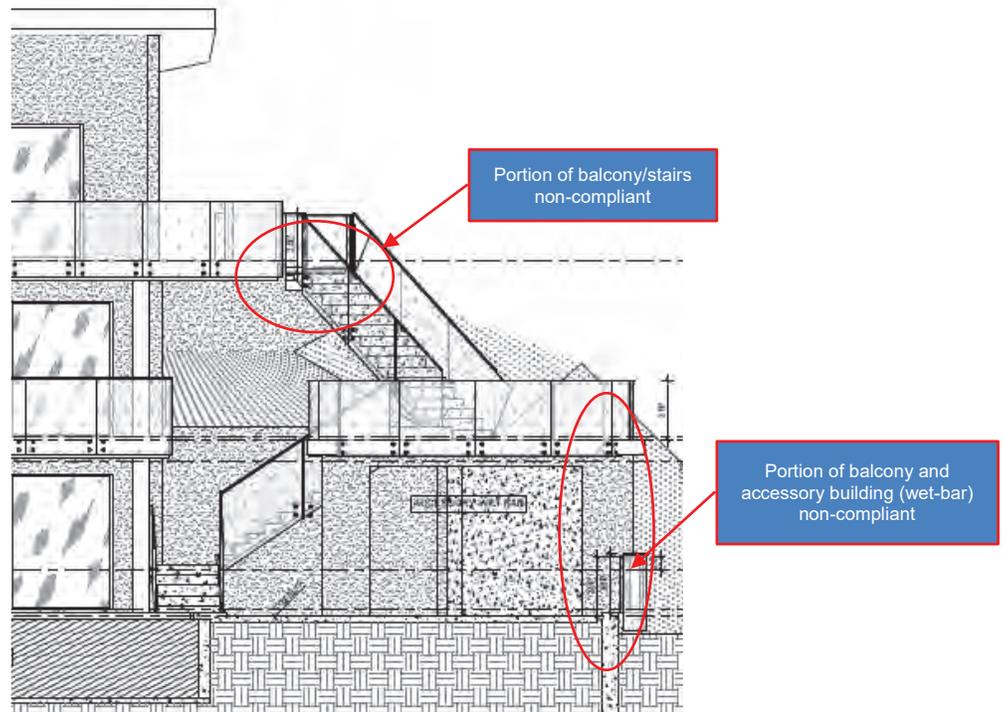


Figure 7 – Southern Balcony and Stairs

² Site coverage is the percentage obtained when the total projected area of all buildings and structures divided by the site area.

As noted previously, the minimum side yard setback for the site is 2.85 metres (9.35 ft.). The area beneath the balcony (on the middle storey) is to be used for a pool side “wet-bar” (on the lowermost storey). Accordingly, this structure is considered an accessory building. This was not apparent on the initial building drawings yet was confirmed in the field by a surveyor as part of the variance process.

Proposed Development Variance Permit 19-042 varies the minimum side yard setback “from 2.85 metres to 1.81 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands”. As there are no neighbours to the south, staff support the reduced side yard setback.

4. Accessory Building Height Variances: A height variance is needed for the accessory building on the north side of the site³ and the wet-bar on the south side of the site. The maximum height for an accessory building is 3.7 metres (12.14 ft.). The two height variances requested are:
 - to vary the maximum height from 3.7 metres (12.14 ft.) to 5.6 metres (18.37 ft.) for the concrete patio/balcony and accessory building beneath located on the south side of the site; and
 - to vary the maximum height from 3.7 metres (12.14 ft.) to 4.23 metres (13.88 ft.) for the pool deck and accessory mechanical room beneath on the west and north side of the site.

Upon confirmation from a survey, the existing slope of the site (see Figure 2) triggers these two height variances for the accessory structures.

Given the constraints (i.e. slope) of the site and that the requested height variances have no impact on adjacent neighbours, staff support the accessory building height variances.

5. Setback Variances: The zoning compliant building envelope for the single-family dwelling, above ground pool and associated accessory buildings is seen in Figure 8. All structures are intended to be located within the red dotted polygon and no structures are to be located north or south of the green dotted (side yard setback line) lines. Accordingly, the existing pool, pool deck and two pool related ‘accessory buildings’ are not compliant with the waterfront and side yard setbacks.

³ This accessory building houses pool pump infrastructure and a septic holding tank (all of which is incorporated beneath the existing pool deck).

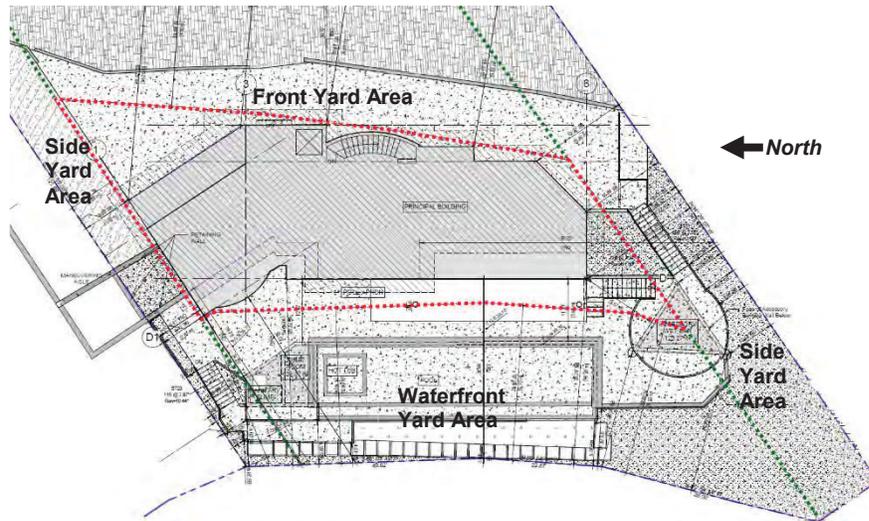


Figure 8 – Building Envelope

Upon review of the pool and pool deck retaining wall information submitted as part of the initial building permit application drawings, staff considered the pool an “in-ground pool” which only requires a 1.5 metre (4.92 ft.) setback from any lot line. However, upon review of the pool deck and retaining walls installed (confirmed by a surveyor), the ‘as-built’ pool is considered an “above ground pool” which must comply with applicable accessory structure setbacks. Although setback requirements have not been attained, the above ground pool and related retaining walls on the west side of the pool still maintain waterfront grade line requirements within the zoning bylaw (as indicated in Figure 9).

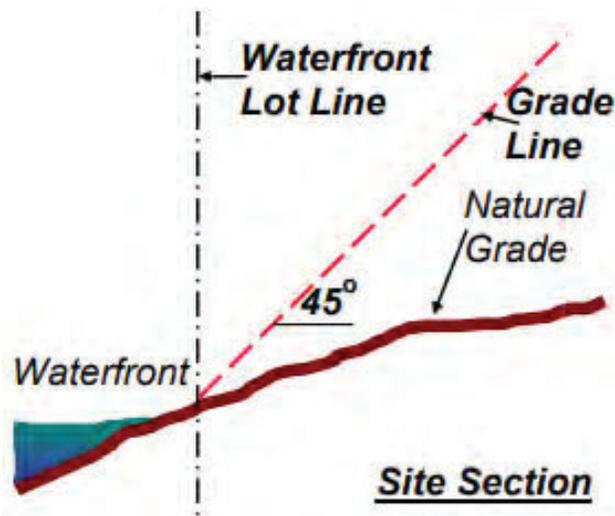


Figure 9 – Zoning Bylaw excerpt indicating waterfront grade line



Figure 10 – Site Photograph (looking northwards indicating slope)

The slope of the site presents difficulties to provide for an in-ground pool and associated facilities (e.g. pool equipment room) which would have lesser setbacks (see Figure 10). Furthermore, the building envelope seen in Figure 9 is narrow (east to west) given the configuration of the lot and applicable setbacks.

Planning staff will ensure through the submission of a landscape plan that the retaining walls viewed from Howe Sound will provide proper screening and tiering to ensure that the pool does not present as an above ground pool or appear obtrusive when viewed from Howe Sound.

The setback variances noted in proposed Development Variance Permit 19-042 (Appendix A) do not impact any neighbours and planning staff will work with the applicant to improve the aesthetic of the pool and site overall.

6.2 Sustainability

The applicant must provide a formal landscape plan, to the satisfaction of the Director of Planning and Development Services, in order to allow construction to continue on the site. The primary landscaping on the site will need to include native species yet is limited to the southern and westerly portions of the site (as the remainder of the site is hardscaped). The landscaping will improve the property and provide a more naturalized appearance from Howe Sound. The required vegetation will help ground water infiltration, foster native specie growth near the ocean environment, and provide a better alternative to the current situation of uncovered coarse gravel and dirt (Figure 10) which could be deleterious to the environment.

Furthermore, the permit requires that all construction debris be removed from the site, in the vicinity south of the site, and along the foreshore to ensure no adverse effects to the environment.

6.3 Public Engagement and Outreach

Notification

Should the proposal advance, owners and occupants of properties located within 50 metres of the subject site will be notified of the proposed Development Variance Permit in accordance with Development Procedures Bylaw No. 4940, 2017.

Website

In alignment with current practise, a description of the proposal is available online. Applicable dates will be updated should the proposal advance.

6.4 Other Communication, Consultation, and Research

Planning staff has consulted with the Permits, Inspections and Land Development staff and Environmental Protection staff on the application and proposed variances and conditions are included in the draft development variance permit addressing staff comments.

7.0 Options

7.1 Recommended Option

- a. Set the date for consideration of the development variance permit and authorize the notification to be sent to neighbours within 50 metres.

7.2 Considered Options

- a. Set an alternate date for consideration of the development variance permits (to be specified) and authorize the notification to be sent to neighbours within 50 metres; or
- b. Request further information (to be specified); or
- c. Reject the proposal.

8.0 Conclusion

Approval of the proposed variances will allow for this single-family development, which has been under construction since 2012, to be completed. The proposed variances will have no impact on surrounding neighbours and will facilitate landscaping to be installed onsite which is better for the environment and the overall aesthetics of the site. Further, the new property owner has worked cooperatively with staff in trying to address the existing issues related to work completed without permits. Staff support the proposal and recommend that Council approve the proposed Development Variance Permit subject to public input.

Date: May 25, 2021
From: Erik Wilhelm, Senior Community Planner
Subject: Proposed Development Variance Permit for 8440 Citrus Wynd

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Author: 
Erik Wilhelm, Senior Community Planner

Concurrence: 
Michelle McGuire, Senior Manger of Current Planning and Urban Design

Appendices:

- A. Proposed Development Variance Permit No. 19-042 (8440 Citrus Wynd)



District of West Vancouver
Proposed
Development Variance Permit No. 19-042

REGISTERED OWNER: Andrew John Latchford and Danielle Hartman

THIS DEVELOPMENT VARIANCE PERMIT APPLIES TO:

CIVIC ADDRESSES: 8440 Citrus Wynd

LEGAL DESCRIPTION: LOT B (STATUTORY RIGHT OF WAY PLAN 16958)
OF LOT 8 BLOCK D DISTRICT LOT 2361 GROUP 1
NEW WESTMINSTER DISTRICT PLAN 6991
PID: 010-748-261
(the 'Lands')

-
1. For the purposes of this Development Variance Permit, the Lands shall be developed in substantial compliance with the drawings attached and dated April 12, 2021, approved by Council, attached as Schedule A, and specifically in compliance with the regulations and variances listed hereunder.
 2. This Development Variance Permit is issued and varies and supplements the District's Zoning Bylaw No. 4662, 2010, as amended, as follows:
 - a. Section 130.10 (Highest Building Face Envelope) is varied from "One third of the length of the building need not comply with this requirement" to "67% of the length of the building need not comply with this requirement".
 - b. Section 210.05(1) (Site Coverage) is varied from "30% of site area maximum" to "33% of site area maximum".
 - c. Section 210.09(2)(a)(ii) (Side Yard) is varied from 2.85 metres to 1.88 metres for the balcony and concrete stairs located on the south side of the lands.
 - d. Section 210.09(2)(b)(ii) (Combined Side Yard) is varied from 7.1 metres to 4.75 metres for siting of the principal dwelling and balcony and concrete stairs located on the south side of the lands.
 - e. Section 210.09(2)(a)(ii) (Side Yard) is varied from 2.85 metres to 1.81 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands.

- f. Section 130.01(3)(b) (Accessory Buildings and Structures) is varied from a maximum height of 3.7 metres to 5.6 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands.
 - g. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 6.21 metres for the concrete patio/balcony and accessory building beneath located on the south side of the lands.
 - h. Section 130.01(3)(b) (Accessory Buildings and Structures) is varied from a maximum height of 3.7 metres to 4.23 metres for the pool deck and accessory mechanical room beneath on the west and north side of the lands.
 - i. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 3.3 metres for the pool deck and accessory mechanical room beneath on the northwest side of the lands.
 - j. Section 210.09(2)(a)(ii) (Side Yard) is varied from a minimum of 2.85 metres to 1.99 metres for the concrete pool deck and mechanical room beneath on the northwest side of the lands.
 - k. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 3.3 metres for the pool deck on the west side of the lands.
 - l. Section 210.09(2)(a)(ii) (Side Yard) is varied from a minimum of 2.85 metres to 1.99 metres for the pool deck and accessory mechanical room beneath on the northwest side of the lands.
 - m. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 3.38 metres for the pool deck and accessory mechanical room beneath on the west and north side of the lands.
 - n. Section 210.09(2)(a)(ii) (Side Yard) is varied from a minimum of 2.85 metres to 0.3 metres for the exterior concrete stairs on the north side of the lands.
 - o. Section 130.13(1) (Waterfront Yard Requirement) is varied from a minimum of 9.1 metres to 2.31 metres for the exterior concrete stairs on the north side of the lands.
3. Prior to removal of the “stop work order” applicable to the property, the following requirements and conditions shall apply to the Lands:
- (a) A landscape plan, which includes a planting list and cost estimate, acceptable to the Director of Planning and Development Services must be submitted.

4. Prior to issuance of an Occupancy Permit, the applicant must confirm with the Director of Planning and Development Services that all construction debris has been removed from the site, in the general vicinity south of the site and along the foreshore.
5. This Development Variance Permit lapses if construction of the additions and renovations has not commenced, under an issued Building Permit, within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY
RESOLUTION PASSED ON

MAYOR

CORPORATE OFFICER

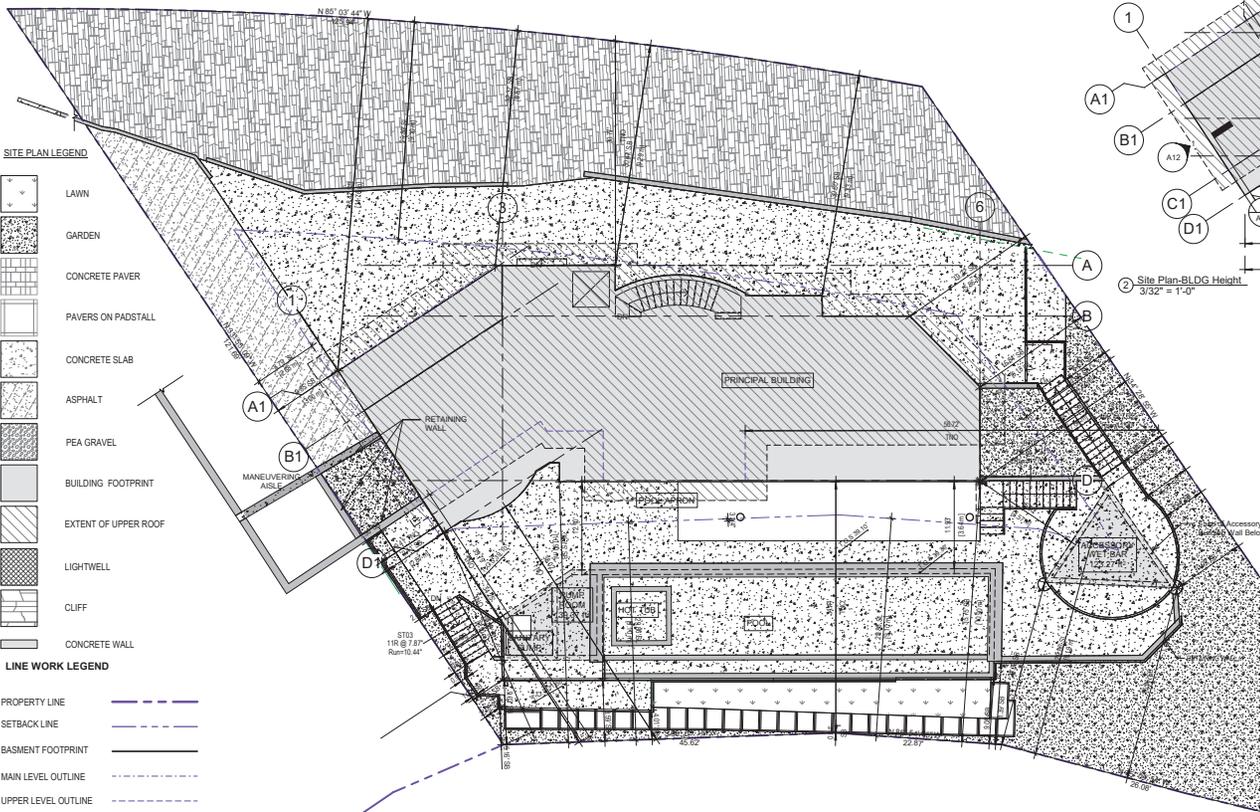
THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS
ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT
OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS /
APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR
DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

FOR THE PURPOSES OF SECTION 5, THIS PERMIT IS ISSUED ON

(Council Report Date: May 25, 2021 & Edocs No.:4255310v1)

Schedules:

A – Architectural Drawings from Inspired Architecture date stamped April 12, 2021.



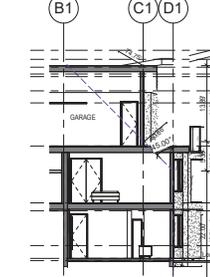
SITE PLAN LEGEND

- LAWN
- GARDEN
- CONCRETE PAVER
- PAVERS ON PADSTALL
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- BUILDING FOOTPRINT
- EXTENT OF UPPER ROOF
- LIGHTWELL
- CLIFF
- CONCRETE WALL

LINE WORK LEGEND

- PROPERTY LINE
- SETBACK LINE
- BASEMENT FOOTPRINT
- MAIN LEVEL OUTLINE
- UPPER LEVEL OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OUTLINE
- OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE

BLDG SERVICES



SECTOR A - ENVELOPE FACE HEIGHT
SECTION 1
3/32" = 1'-0"

SECTOR A - ENVELOPE FACE HEIGHT
SECTION 2
3/32" = 1'-0"

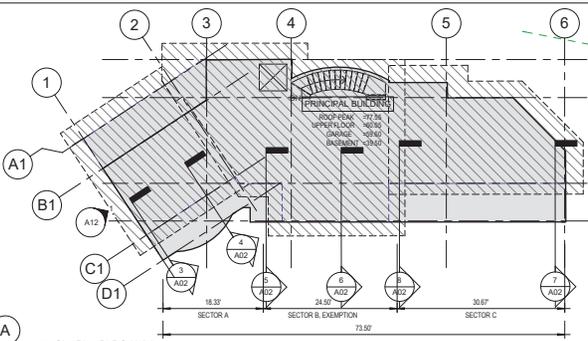
SECTOR B - ENVELOPE FACE HEIGHT
SECTION 1
3/32" = 1'-0"

SECTOR B - ENVELOPE FACE HEIGHT
SECTION 2
3/32" = 1'-0"

SECTOR C - ENVELOPE FACE HEIGHT
SECTION 1
3/32" = 1'-0"

SECTOR C - ENVELOPE FACE HEIGHT
SECTION 2
3/32" = 1'-0"

SECTOR C - ENVELOPE FACE HEIGHT
SECTION 2
3/32" = 1'-0"



Site Plan - BLDG Height
3/32" = 1'-0"

Building Data	Imperial	Metric	Comments
Lot Area	11,524.00	1,052.03	RS10 ZONE
Lot Width	93.03	28.36	
Lot Depth	121.70	37.09	

Building Data	Allowed	Provided	Comments
FAR Ratio	0.35	0.332	
Back Covered deck	0.00	0.00	
Front covered Deck/Porch	0.00	0.00	
Sun Deck / Balcony	1,160.20	107.75	
Garage area	441.32	41.03	
Accessory building area	242.10	22.50	
Total FAR	3,963.40	3,762.79	94.97
Site Coverage	50.00%	33.13%	See sheet A04
Front Yard Impermeable	40.00%	34.28%	See sheet A04

	ft	m	ft	m
Front Yard (East)	29.88	9.10	30.47	9.29
Back Yard (West)	29.88	9.10	30.23	9.21
Side Yard (North)	9.30	2.84	9.41	2.87
Side Yard (South)	9.30	2.84	26.54	8.13
Combined Set Back	23.26	7.09	26.25	8.00
Maximum Building Height	25.00	7.62	24.53	7.48
Accessory building height (Pool & Pump room)	12.14	3.70	12.75	3.89
Accessory building height (West Wall)	12.14	3.70	11.15	3.40

Other Countable areas		ft ²	m ²
Countable Garage	NOT APPLICABLE	0.00	0.00
Countable Upper balcony and decks	NOT APPLICABLE	0.00	0.00
Basement Projections beyond lot floor outline	NOT APPLICABLE	0.00	0.00
Area over 14'-4" ceiling height		134.12	12.46
Upper Floor (FAR)		1,353.27	125.72
Main Floor (FAR)		2,110.93	196.03
Basement area Within Level 1 outline:		1,988.52	184.74
100% exemption, projection less than 3' AFF		1,116.36	103.71
Basement area, allowed by partial exemption		872.16	81.03
Calculated partial basement exemption area		747.69	69.46
Countable Basement (FAR)		124.47	11.56
Total Proposed FAR		3,762.79	349.57
FAR Balance		1,200.61	111.64

Living space		ft ²	m ²
Main & Upper floor living space		3,504.20	325.55
Basement living space		1,988.52	184.74
Total Living space area		5,492.72	510.29

Basement partial exemption calculation:		ft ²	m ²
LOWEST AVERAGE GRADE (Natural)		48.21	4.48
LEVEL 1 FINISH LEVEL (Main Floor)		49.66	4.61
BASEMENT FINISH LEVEL (Lower Floor)		39.50	3.67
BASMENT PARTIAL EXCEPTION PERCENTAGE		85.73%	85.73%

1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
REV	XXXXXX	REVISION DRAWING ISSUE	REVIEW

RECEIVED
FEB 22 2021
District of West Vancouver
Permits Dept.

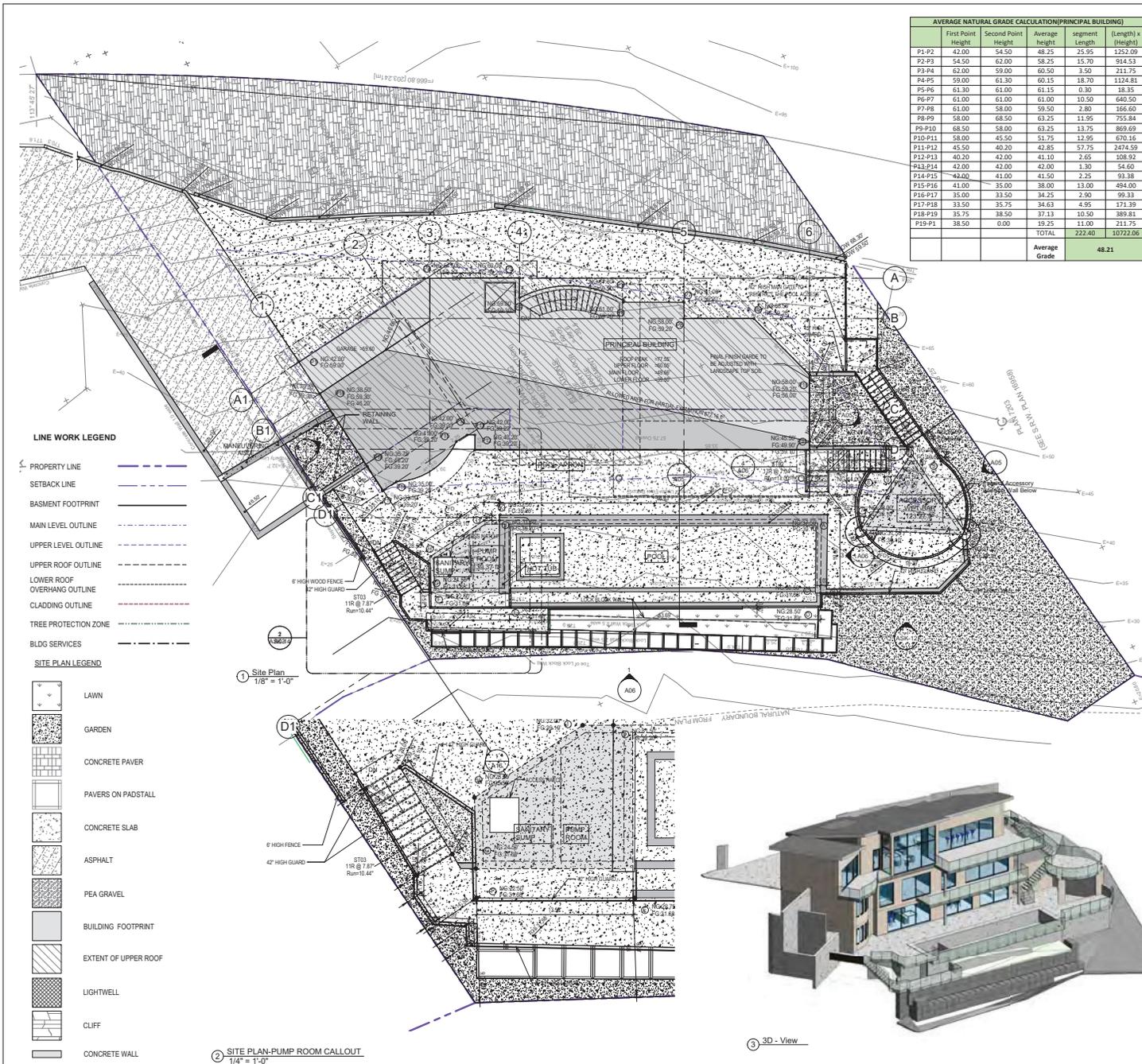
PROJECT
ANDREW LATCHFORD RESIDENCE
8440 CITRUS WYND, WEST VANCOUVER BC.

DRAWING TITLE
SITE PLAN- BLDG SITING & HEIGHT ANALYSIS

DRAWING ISSUE
ISSUED FOR BUILDING PERMIT

PROJECT NO.	20235	DATE	FEB. 18, 2021	DRAWN	AF
SCALE	As indicated	REVIEWED			
DRAWING NO.					

A02 **1**



- LINE WORK LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - BASMENT FOOTPRINT
 - MAIN LEVEL OUTLINE
 - UPPER LEVEL OUTLINE
 - UPPER ROOF OUTLINE
 - LOWER ROOF OVERHANG OUTLINE
 - CLADDING OUTLINE
 - TREE PROTECTION ZONE
 - BLDG SERVICES
- SITE PLAN LEGEND**
- LAWN
 - GARDEN
 - CONCRETE PAVER
 - PAVERS ON PADSTALL
 - CONCRETE SLAB
 - ASPHALT
 - PEA GRAVEL
 - BUILDING FOOTPRINT
 - EXTENT OF UPPER ROOF
 - LIGHTWELL
 - CLIFF
 - CONCRETE WALL

AVERAGE NATURAL GRADE CALCULATION (PRINCIPAL BUILDING)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
P1-P2	42.00	54.50	48.25	25.95	1252.09
P2-P3	54.50	61.00	58.25	15.70	914.53
P3-P4	62.00	59.00	60.50	3.50	211.75
P4-P5	59.00	61.30	60.15	18.70	1124.81
P5-P6	61.30	61.00	61.15	0.30	18.35
P6-P7	61.00	61.00	61.00	10.50	640.50
P7-P8	61.00	58.00	59.50	2.80	166.60
P8-P9	58.00	68.50	63.25	11.95	753.84
P9-P10	68.50	58.00	63.25	13.75	869.69
P10-P11	58.00	45.50	51.75	12.95	670.16
P11-P12	45.50	40.20	42.85	57.75	2474.59
P12-P13	40.20	41.30	41.10	2.65	108.92
P13-P14	42.00	42.00	42.00	1.30	54.60
P14-P15	42.00	41.00	41.50	2.25	93.38
P15-P16	41.00	35.00	38.00	13.00	494.00
P16-P17	35.00	23.50	29.25	2.90	99.33
P17-P18	33.50	35.75	34.63	4.95	171.39
P18-P19	35.75	38.50	37.13	10.50	389.81
P19-P1	38.50	0.00	19.25	11.00	211.75
TOTAL			322.40		10723.06
Average Grade			48.21		

AVERAGE FINISH GRADE CALCULATION (PRINCIPAL BUILDING)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
P1-P2	59.30	59.10	59.20	25.95	1536.24
P2-P3	59.10	59.20	59.15	15.70	928.66
P3-P4	59.20	58.30	58.75	3.50	207.38
P4-P5	59.30	59.20	59.25	18.70	1107.98
P5-P6	59.20	59.20	59.20	0.30	17.76
P6-P7	59.20	59.20	59.20	10.50	621.60
P7-P8	59.20	59.20	59.20	2.80	165.76
P8-P9	59.20	59.20	59.20	11.95	707.44
P9-P10	59.20	59.20	59.20	13.75	814.00
P10-P11	56.00	49.00	52.95	12.95	685.70
P11-P12	39.10	39.20	39.15	57.75	2460.91
P12-P13	39.20	39.20	39.20	2.65	103.88
P13-P14	39.20	39.20	39.20	1.30	50.96
P14-P15	39.20	39.20	39.20	2.25	88.20
P15-P16	39.20	39.20	39.20	13.00	509.60
P16-P17	39.20	39.20	39.20	2.90	113.68
P17-P18	39.20	39.20	39.20	4.95	194.04
P18-P19	46.20	46.20	46.20	10.50	485.10
P19-P1	59.30	59.30	59.30	11.00	652.30
TOTAL			322.40		13253.18
Average Grade			50.59		

AVERAGE NATURAL GRADE CALCULATION (ACCESSORY WET BAR)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
2-3	50.00	47.00	48.50	5.59	271.12
3-4	47.00	38.75	42.88	13.11	562.09
4-5	38.75	37.75	38.25	4.38	167.54
5-6	37.75	37.50	37.63	18.79	706.97
6-7	37.50	38.00	37.75	4.42	166.86
7-8	38.00	44.00	41.00	10.08	413.28
8-9	44.00	44.50	44.25	2.43	107.53
9-10	44.50	47.00	45.75	3.67	167.90
10-11	47.00	48.00	47.50	3.79	180.03
11-12	48.00	48.50	48.25	0.62	29.92
12-2	48.50	50.00	49.25	3.49	171.88
TOTAL			70.37		2945.10
Average Grade			41.85		

AVERAGE FINISH GRADE CALCULATION (ACCESSORY WET BAR)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
2-3	49.50	48.50	49.00	5.59	273.91
3-4	48.50	39.10	43.80	13.11	574.22
4-5	39.10	39.10	39.10	4.38	171.26
5-6	39.10	39.10	39.10	18.79	734.69
6-7	39.10	39.10	39.10	4.42	172.82
7-8	39.10	39.10	39.10	10.08	394.13
8-9	39.10	49.50	44.30	2.43	107.65
9-10	49.50	49.50	49.50	3.67	181.67
10-11	49.50	49.50	49.50	3.79	187.61
11-12	49.50	49.50	49.50	0.62	30.69
12-2	49.50	49.50	49.50	3.49	172.76
TOTAL			70.37		3001.39
Average Grade			42.65		

AVERAGE NATURAL GRADE CALCULATION (POOL & PUMP ROOM)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
AB	37.50	30.75	34.13	13.50	460.69
BC	30.75	30.50	30.63	1.03	31.57
CD	30.50	28.50	29.50	2.25	66.38
DE	28.50	22.75	25.63	53.69	1375.81
EF	22.75	22.50	22.63	13.52	305.89
FG	22.50	24.50	23.50	2.52	59.22
GH	24.50	28.50	26.50	6.12	162.18
HI	28.50	32.00	30.25	11.23	339.71
IJ	32.00	31.50	31.75	2.65	84.14
JK	31.50	32.50	32.00	0.89	28.48
KA	32.50	37.50	35.00	56.63	1982.05
TOTAL			164.03		4896.11
Average Grade			29.85		

AVERAGE FINISH GRADE CALCULATION (POOL & PUMP ROOM)					
Point	First Point Height	Second Point Height	Average height	segment Length	(Length) x (Height)
AB	39.10	31.68	35.39	13.50	477.77
BC	31.68	31.68	31.68	1.03	32.66
CD	31.68	31.68	31.68	2.25	71.28
DE	31.68	31.68	31.68	53.69	1700.90
EF	31.68	31.68	31.68	13.52	428.31
FG	31.68	31.68	31.68	2.52	79.83
GH	31.68	35.58	33.63	6.12	205.82
HI	35.58	39.10	37.34	11.23	419.33
IJ	39.10	39.20	39.15	2.65	103.75
JK	39.20	39.20	39.20	0.89	34.89
KA	39.20	39.10	39.15	56.63	2217.06
TOTAL			164.03		5771.60
Average Grade			35.19		

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1 2023-02-08 ISSUES FOR BUILDING PERMIT REV: PXXXXM(CD) REVISION DRAWING ISSUE REV

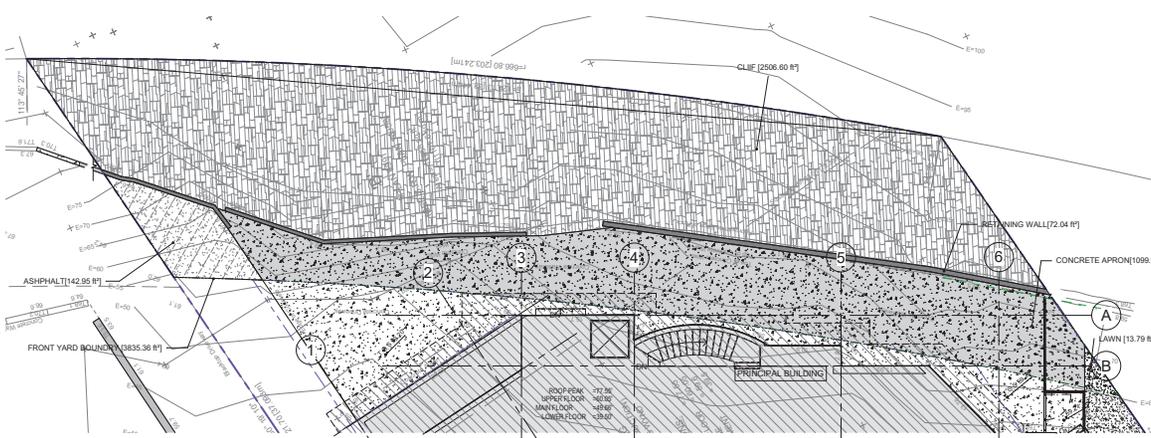
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PROJECT: **ANDREW LATCHFORD RESIDENCE**
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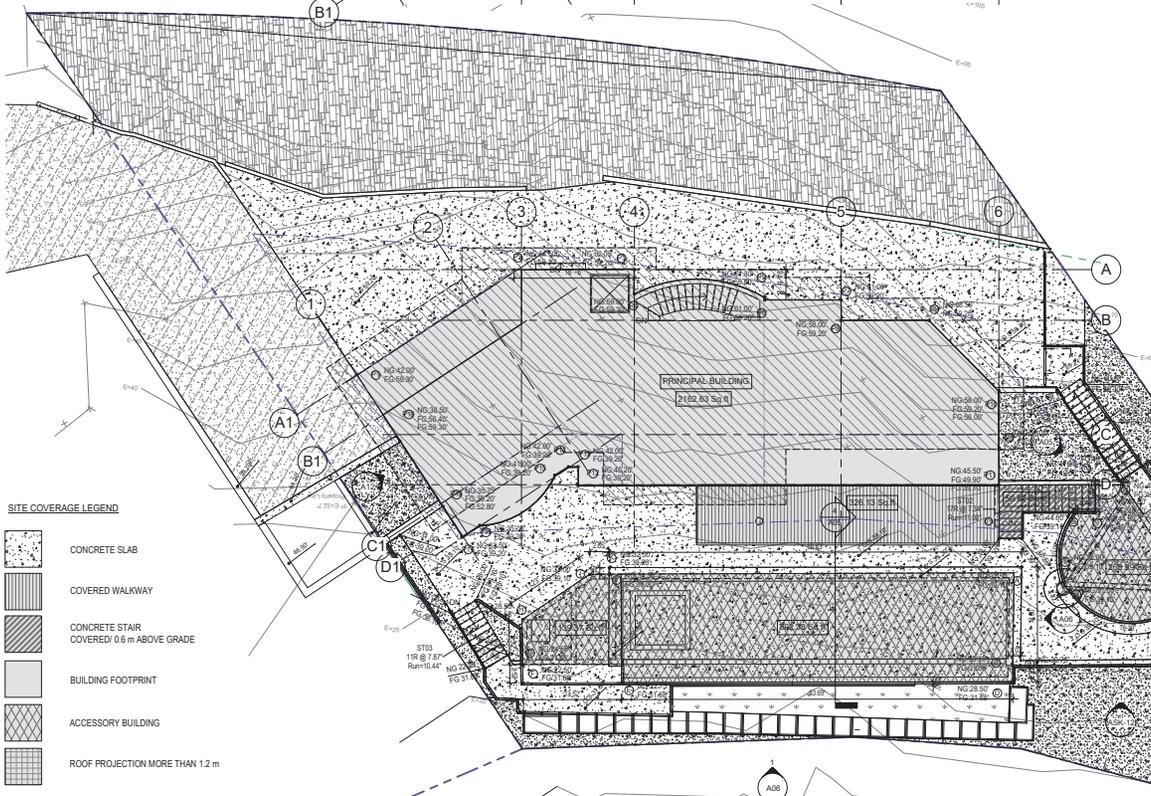
DRAWING TITLE: **SITE PLAN- AVERAGE GRADE CALCULATION**

DRAWING ISSUE: **ISSUED FOR BUILDING PERMIT**

PROJECT NO: 20235
 SCALE: As indicated
 DRAWN: MT
 REVIEWED: AF
 REVISION: **A03**
 1



1 Site Plan-Front Yard Impermeable Material
1/8" = 1'-0"



2 Site Plan-Site Coverage
1/8" = 1'-0"

MATERIAL LEGEND

- LAWN
- GARDEN
- CONCRETE SLAB
- ASPHALT
- PEA GRAVEL
- CLIFF
- CONCRETE WALL
- FRONT YARD BOUNDARY

FRONT YARD IMPERMEABLE AREA BREAKDOWN

DESCRIPTION	PROVIDED AREA (m ²)	PROVIDED AREA (ft ²)
FRONT YARD AREA	356.32	3,835.34
NONE-BUILDING		
RETAINING WALLS	6.69	72.04
CONCRETE APRON	102.18	1,099.90
ASPHALT	13.28	142.95
TOTAL IMPERMEABLE AREA	122.16	1,314.89
IMPERMEABLE AREA %	34.28%	34.28%
ALLOWED IMPERMEABLE AREA	178.16	1,917.68
ALLOWED IMPERMEABLE AREA %	50%	50%

AREA SCHEDULE-GROSS

Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 ft ²	184.74 m ²	124.47 COUNTABLE FAR
Lower Floor	COVERED BACK DECK	342.95 ft ²	31.86 m ²	EXCLUSION
		2,331.47 ft ²	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 ft ²	199.83 m ²	FAR
Main Floor	BALCONY	342.95 ft ²	31.86 m ²	EXCLUSION
		2,493.88 ft ²	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 ft ²	125.72 m ²	FAR
Upper Floor	BALCONY	218.72 ft ²	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	598.62 ft ²	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.93 ft ²	38.18 m ²	EXCLUSION
		2,581.53 ft ²	239.83 m ²	
SITE	POOL	784.86 ft ²	72.92 m ²	EXCLUSION
SITE	ACCESSORY WET BAR	123.28 ft ²	11.45 m ²	ACCESSORY
SITE	ACCESSORY PUMPROOM	134.82 ft ²	12.53 m ²	ACCESSORY
		1,042.96 ft ²	96.89 m ²	

SITE COVERAGE BREAKDOWN

DESCRIPTION	LOT AREA			PROVIDED
	ft ²	m ²	ft ²	
ALLOWED				
SITE COVERAGE	4,529.60	420.81	3,754.37	348.79
SITE COVERAGE	40.00%			33.15%
HARD SURFACE IN FRONT YARD	5,662.00	526.02	1,314.89	122.10
HARD SURFACE IN FRONT YARD	50.00%			34.28%

AREA DESCRIPTION	PROVIDED AREA	
	ft ²	m ²
PRINCIPAL BUILDING & ATTACHED GARAGE	2,162.63	200.91
ACCESSORY BUILDING (POOL WETBAR)	263.99	24.51
ACCESSORY BUILDING (POOL PUMP HOUSE)	139.37	12.95
ACCESSORY BUILDING (POOL)	802.38	74.54
COVERED EXTERIOR STAIRS OR MORE THAN 0.6 m ABOVE GRADE	59.87	5.56
ENCLOSED/ COVERED WALKWAY	326.13	30.30
EAVES AND ROOF PROJECTIONS MORE THAN 1.2 m FROM BUILDING FACE	0.00	0.00
TOTAL	3,754.37	348.79

LINE WORK LEGEND

- PROPERTY LINE
- SETBACK LINE
- BASMENT FOOTPRINT
- MAIN LEVEL OUTLINE
- UPPER LEVEL OUTLINE
- UPPER ROOF OUTLINE
- LOWER ROOF OVERHANG OUTLINE
- CLADDING OUTLINE
- TREE PROTECTION ZONE
- BLDG SERVICES

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NO.	DATE	ISSUES FOR BUILDING PERMIT	REV.
1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
2	2023-02-22	REVISION DRAWING ISSUE	AF

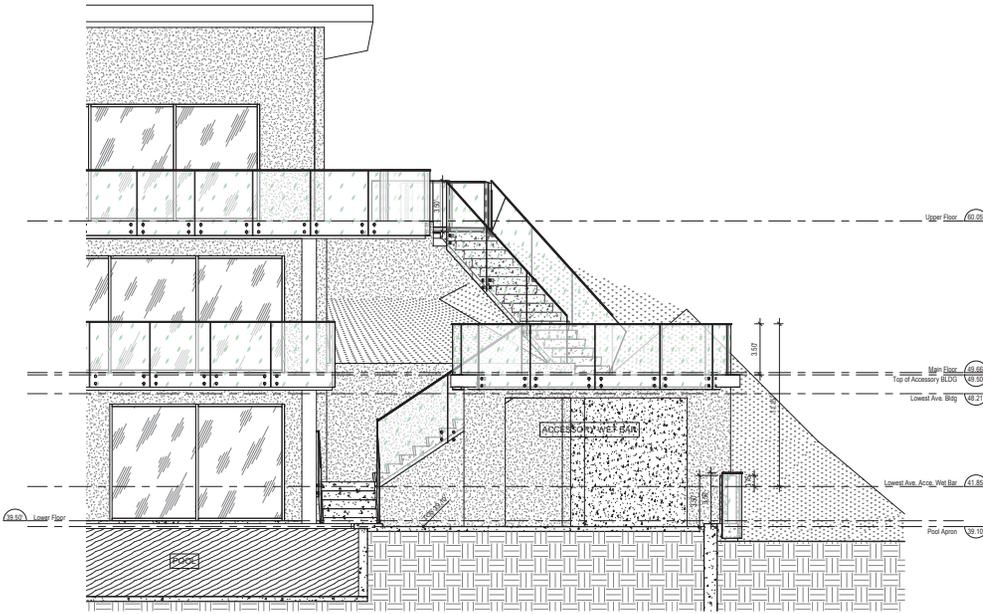
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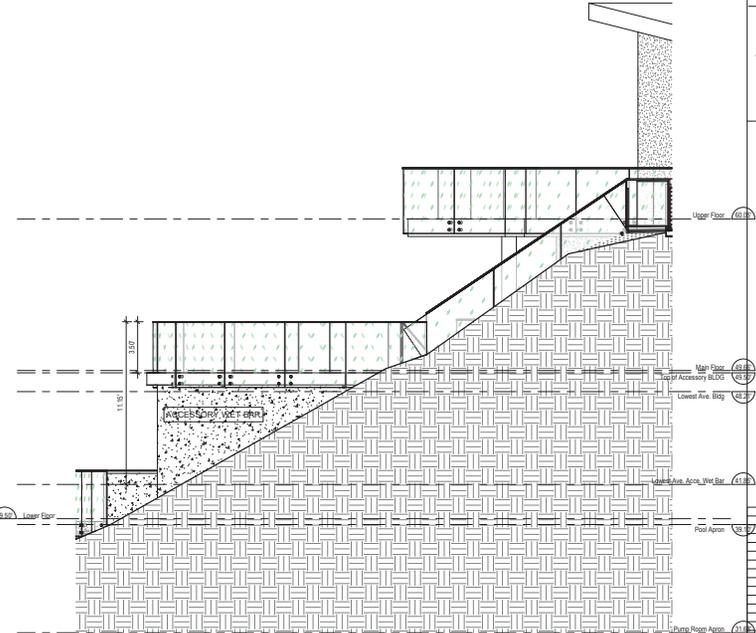
DRAWING TITLE: **SITE PLAN-FRONT YARD IMPERMEABLE MATERIAL & SITE COVERAGE**

DRAWING ISSUE: **ISSUED FOR BUILDING PERMIT**

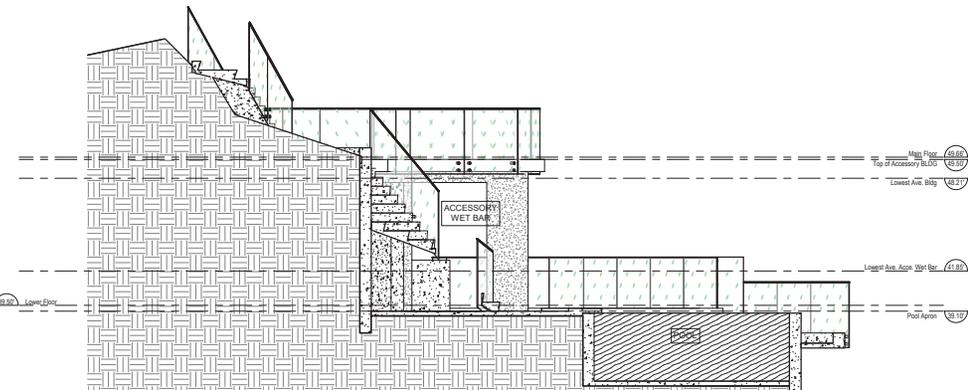
PROJECT NO: 20235 | FLOT DATE: FEB. 18, 2021 | DRAWN: MT
 SCALE: As indicated | REVIEWED: AF
 REVISION: **A04** | 1



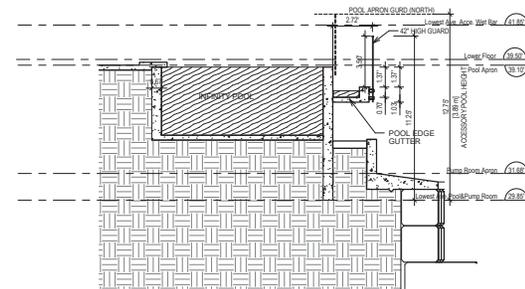
1 WEST ELEVATION
 ACCESSORY WET BAR
 1/4" = 1'-0"



2 SOUTH ELEVATION
 ACCESSORY WET BAR
 1/4" = 1'-0"



3 NORTH ELEVATION
 ACCESSORY WET BAR
 1/4" = 1'-0"



4 POOL SECTION
 1/4" = 1'-0"

REV	DATE	ISSUES FOR BUILDING PERMIT	REVISION	DRAWING ISSUE	REVIEW
1	2021-02-22	ISSUES FOR BUILDING PERMIT			
REV	YYYYMMDD	REVISION	DRAWING ISSUE		REVIEW

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DRAWING TITLE

**ELEVATION-ACCESSORY
 BUILDINGS**

DRAWING ISSUE

**ISSUED FOR BUILDING
 PERMIT**

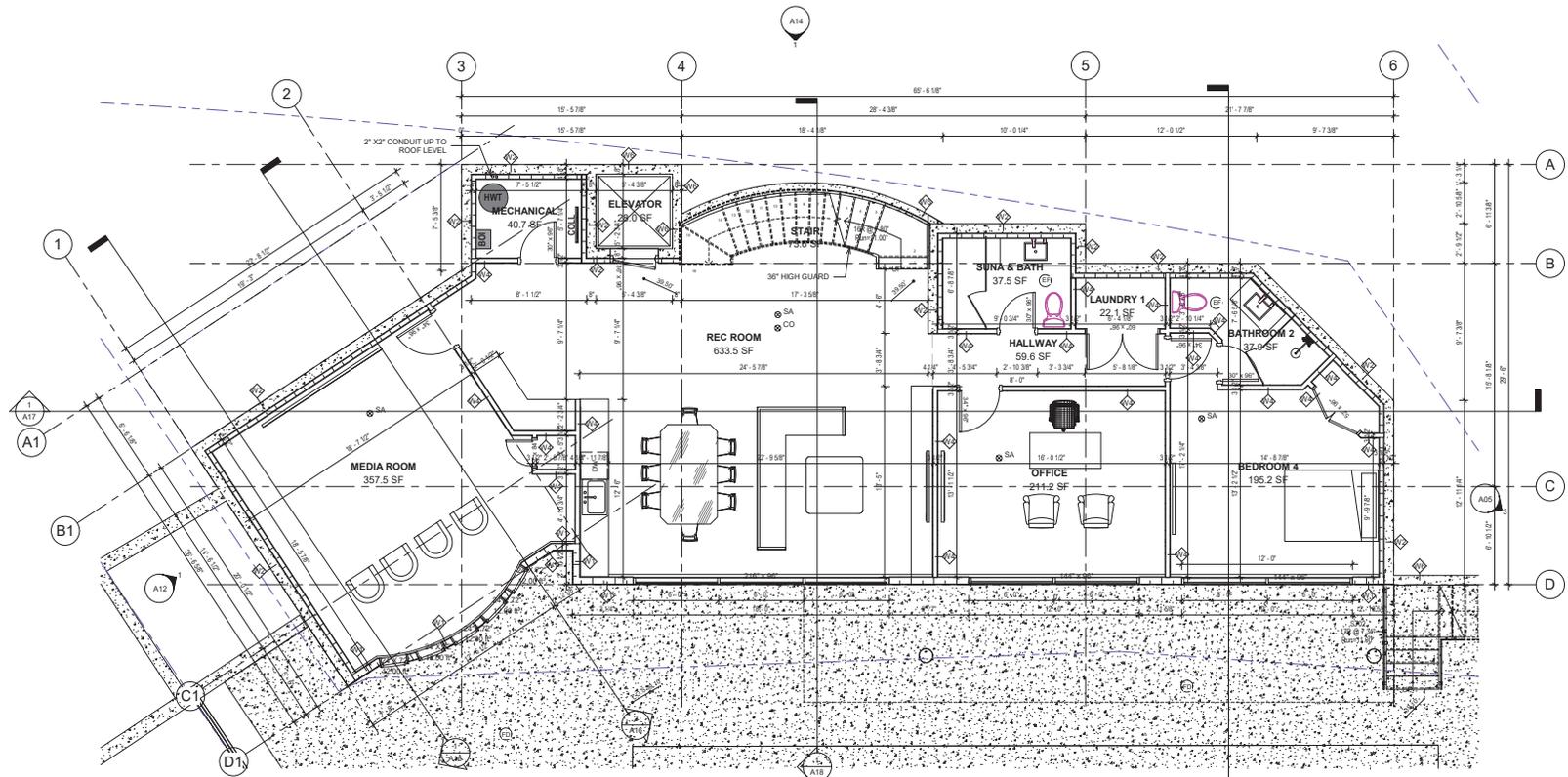
PROJECT NO. 20235

PLANT DATE FEB. 18, 2021

SCALE 1/4" = 1'-0"

DRAWING NO. A05

REVISION 1



①-02-LOWER FLOOR PLAN
 1/4" = 1'-0"

LINE WORK LEGEND

- PROPERTY LINE ————
- SETBACK LINE ————
- BASMENT FOOTPRINT ————
- MAIN LEVEL OUTLINE - - - - -
- UPPER LEVEL OUTLINE - - - - -
- UPPER ROOF OUTLINE - - - - -
- LOWER ROOF OVERHANG OUTLINE - - - - -
- CLADDING OUTLINE - - - - -
- TREE PROTECTION ZONE - - - - -
- BLDG SERVICES - - - - -

AREA SCHEDULE-GROSS

Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 SF	184.74 m ²	124.47 COUNTABLE FAR
Lower Floor	COVERED BACK DECK	342.95 SF	31.86 m ²	EXCLUSION
		2,331.47 SF	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 SF	199.83 m ²	FAR
Main Floor	BALCONY	342.95 SF	31.86 m ²	EXCLUSION
		2,493.88 SF	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 SF	125.72 m ²	FAR
Upper Floor	BALCONY	218.72 SF	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	596.62 SF	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.93 SF	38.18 m ²	EXCLUSION
		2,581.53 SF	239.83 m ²	
SITE	POOL	784.86 SF	72.92 m ²	EXCLUSION
SITE	ACCESSORY WET BAR	123.28 SF	11.45 m ²	ACCESSORY
SITE	ACCESSORY PUMPROOM	134.82 SF	12.53 m ²	ACCESSORY
		1,042.96 SF	96.89 m ²	

NO.	DATE	ISSUES FOR BUILDING PERMIT	REV.
1	2023-02-22	ISSUED FOR BUILDING PERMIT	AF
REV.	XXXXXX	REVISION	DRAWING ISSUE

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DRAWING TITLE

LOWER FLOOR PLAN

DRAWING ISSUE

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PROJECT NO. 20235

FLIGHT DATE: FEB. 18, 2021

DRAWN: MT

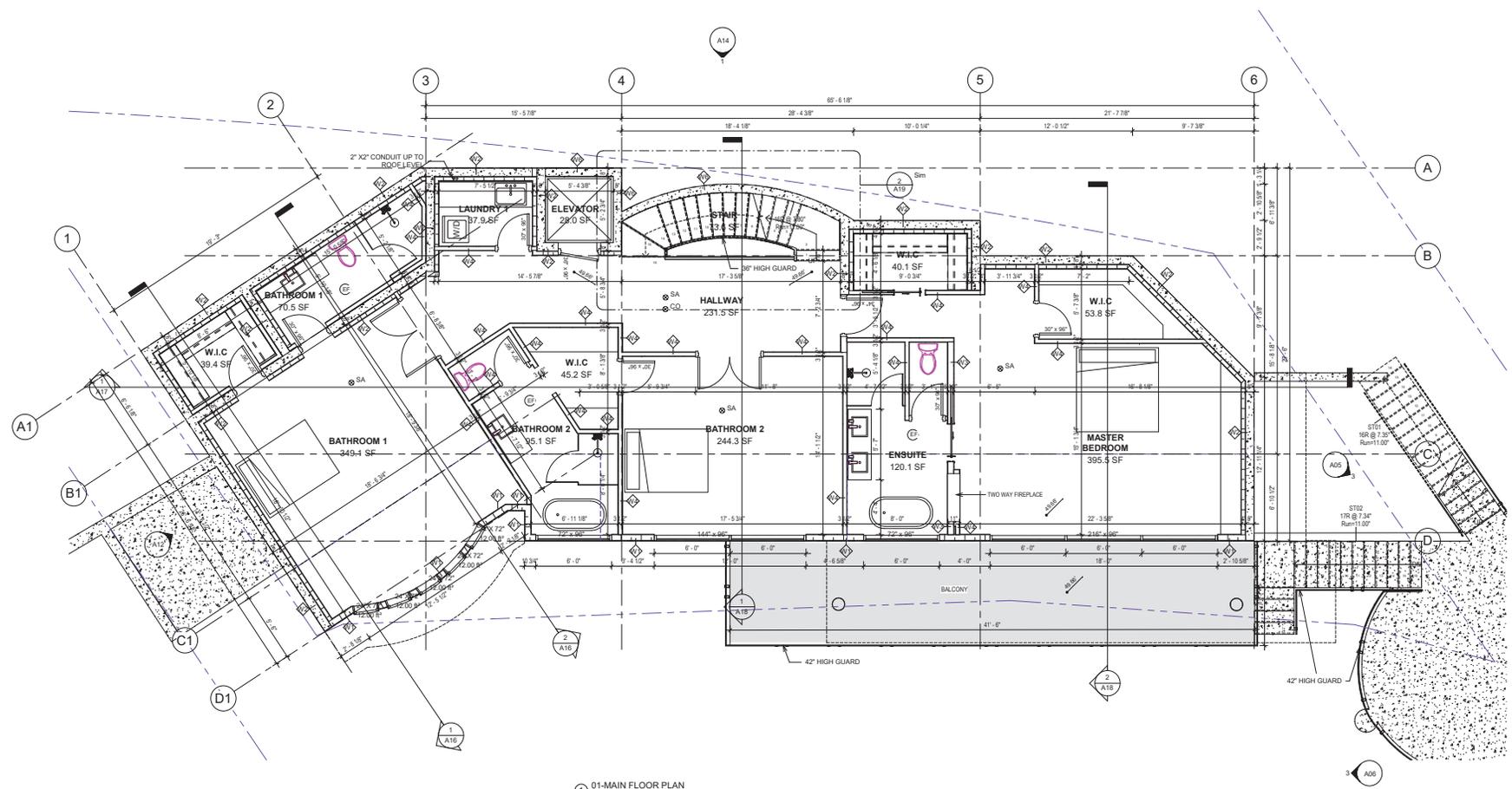
SCALE: 1/4" = 1'-0"

REVIEWED: AF

REVISION

A08

1



① 01-MAIN FLOOR PLAN
 1/4" = 1'-0"

LINE WORK LEGEND

- PROPERTY LINE ————
- SETBACK LINE ————
- BASMENT FOOTPRINT ————
- MAIN LEVEL OUTLINE - - - - -
- UPPER LEVEL OUTLINE - - - - -
- UPPER ROOF OUTLINE - - - - -
- LOWER ROOF OVERHANG OUTLINE - - - - -
- CLADDING OUTLINE - - - - -
- TREE PROTECTION ZONE - - - - -
- BLDG SERVICES ————

AREA SCHEDULE-GROSS

Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 ft ²	184.74 m ²	124.47 COUNTABLE FAR
	COVERED BACK DECK	342.95 ft ²	31.86 m ²	EXCLUSION
		2,331.47 ft ²	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 ft ²	199.83 m ²	FAR
	BALCONY	342.95 ft ²	31.86 m ²	EXCLUSION
		2,493.88 ft ²	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 ft ²	125.72 m ²	FAR
	BALCONY	218.72 ft ²	20.32 m ²	EXCLUSION
Upper Floor	BALCONY	598.62 ft ²	55.61 m ²	EXCLUSION
	GARAGE	410.93 ft ²	38.18 m ²	EXCLUSION
		2,981.53 ft ²	276.93 m ²	
SITE	POOL	784.86 ft ²	72.92 m ²	EXCLUSION
	ACCESSORY WET BAR	123.28 ft ²	11.45 m ²	ACCESSORY
SITE	ACCESSORY PLUMBOOM	134.82 ft ²	12.53 m ²	ACCESSORY
		1,042.96 ft ²	96.89 m ²	

REV	DATE	ISSUES FOR BUILDING PERMIT	REV
1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
		REVISION DRAWING ISSUE	REVIEW

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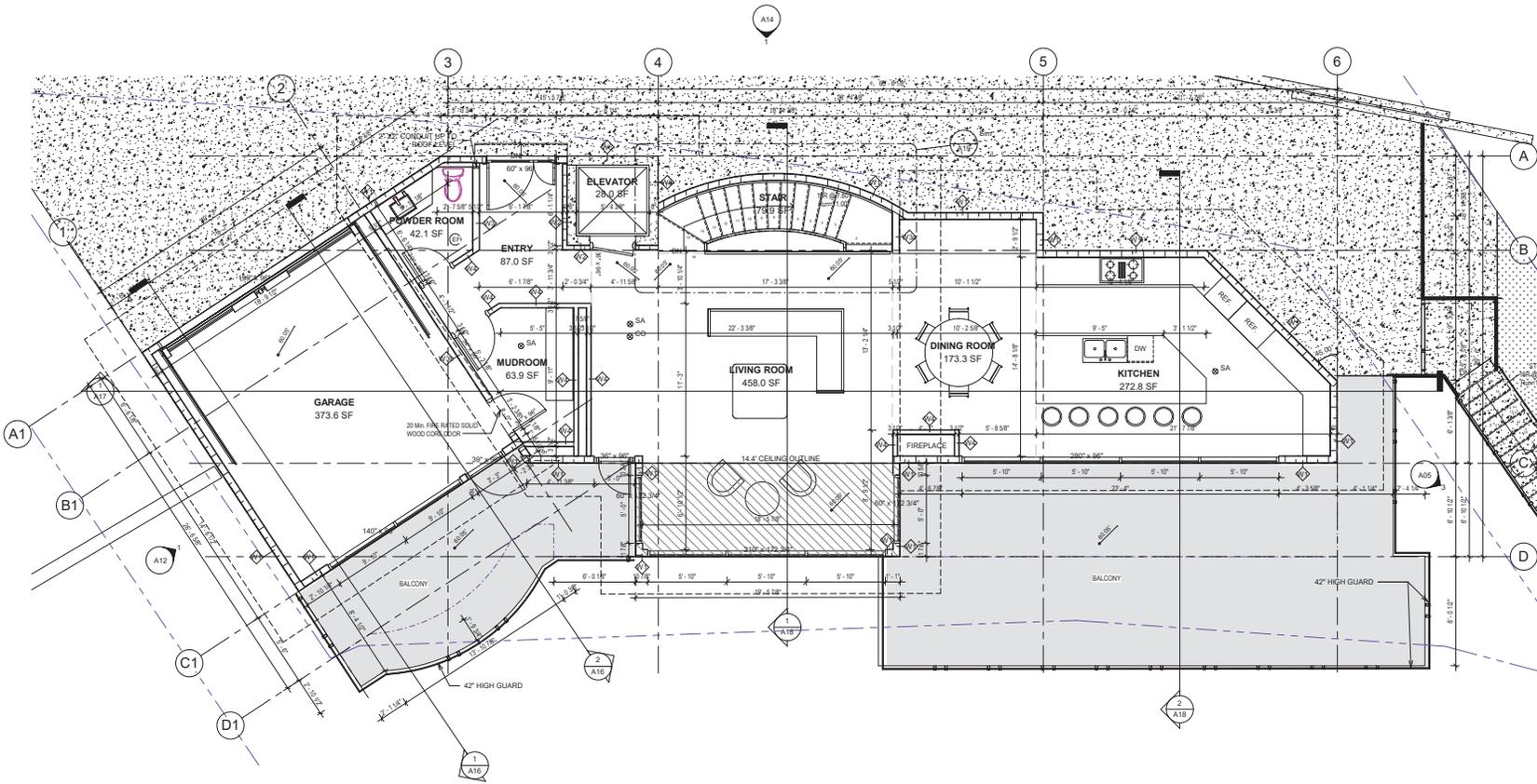
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DRAWING TITLE
MAIN FLOOR PLAN

DRAWING ISSUE
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PROJECT NO.	SCALE	DATE	DRAWN	REVIEW	MT
20235	1/4" = 1'-0"	FEB. 18, 2021			
DRAWING NO.	REVISION	AF			
	A09	1			



1 00-UPPER FLOOR PLAN
 1/4" = 1'-0"

LINE WORK LEGEND

- PROPERTY LINE ---
- SETBACK LINE ---
- BASMENT FOOTPRINT ---
- MAIN LEVEL OUTLINE ---
- UPPER LEVEL OUTLINE ---
- UPPER ROOF OUTLINE ---
- LOWER ROOF OVERHANG OUTLINE ---
- CLADDING OUTLINE ---
- TREE PROTECTION ZONE ---
- BLDG SERVICES ---

AREA SCHEDULE-GROSS

Level	Name	Area	Area sqm	Comments
Lower Floor	LOWER FLOOR	1,988.52 sq ft	184.74 m ²	124.47 COUNTABLE FAR
	COVERED BACK DECK	342.95 sq ft	31.86 m ²	EXCLUSION
		2,331.47 sq ft	216.60 m ²	
Main Floor	MAIN FLOOR	2,150.93 sq ft	199.83 m ²	FAR
	BALCONY	342.95 sq ft	31.86 m ²	EXCLUSION
		2,493.88 sq ft	231.69 m ²	
Upper Floor	UPPER FLOOR	1,353.27 sq ft	125.72 m ²	FAR
	BALCONY	218.72 sq ft	20.32 m ²	EXCLUSION
	BALCONY	588.52 sq ft	55.61 m ²	EXCLUSION
Upper Floor	GARAGE	410.93 sq ft	38.18 m ²	EXCLUSION
	GARAGE	2,581.53 sq ft	239.83 m ²	
SITE	POOL	784.86 sq ft	72.92 m ²	EXCLUSION
	ACCESSORY WET BAR	123.28 sq ft	11.45 m ²	ACCESSORY
	ACCESSORY PUMPROOM	134.82 sq ft	12.53 m ²	ACCESSORY
		1,042.96 sq ft	96.89 m ²	

NO.	DATE	ISSUES FOR BUILDING PERMIT	BY
1	2023-02-22	ISSUES FOR BUILDING PERMIT	AF
REV.	YYYYMMDD	REVISION DRAWING ISSUE	REVIEW

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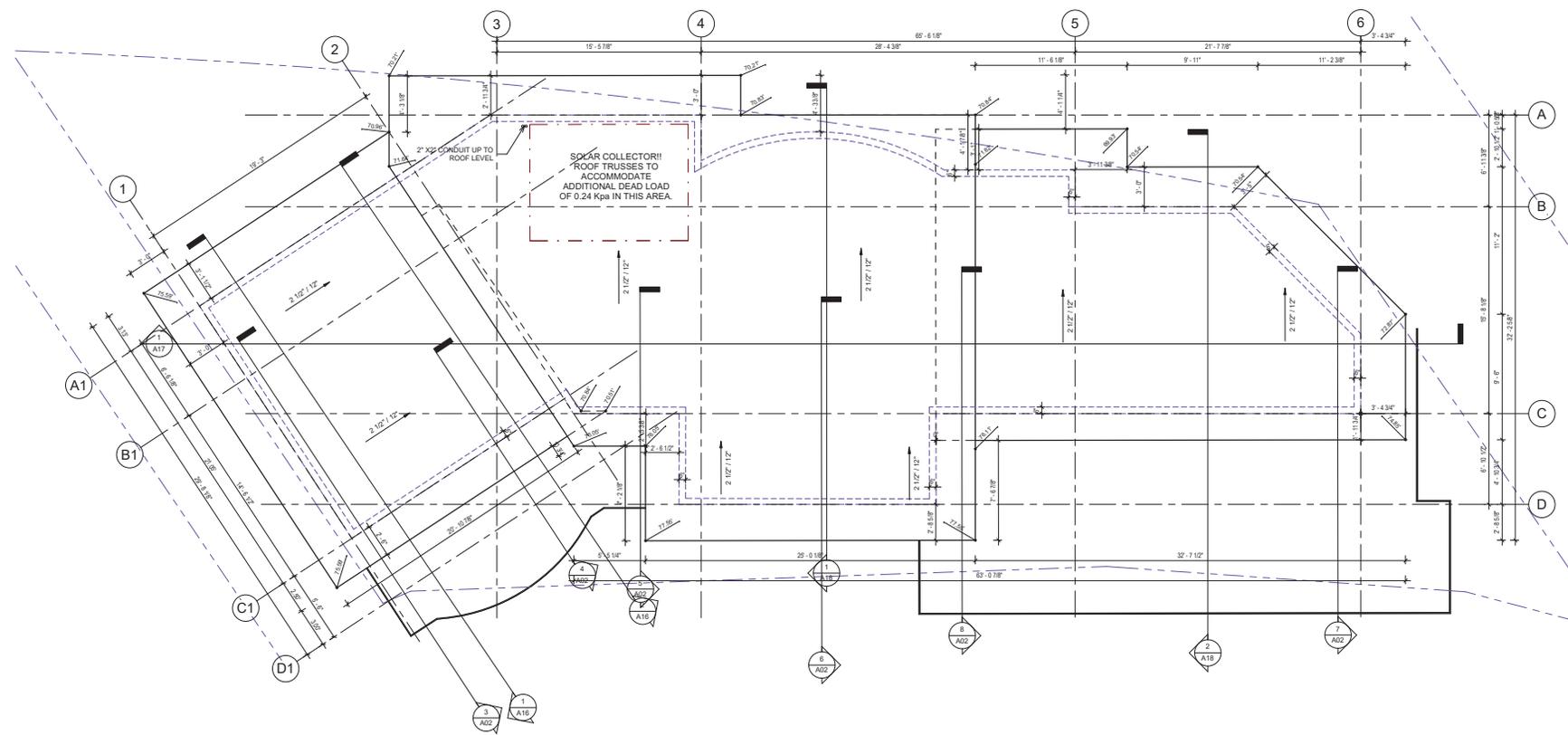
PROJECT
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DRAWING TITLE
UPPER FLOOR PLAN

DRAWING ISSUE
ISSUED FOR BUILDING PERMIT

PROJECT NO.	20235	FLAT DATE	FEB. 18, 2021	DRAWN	AF
SCALE	1/4" = 1'-0"	REVIEWED		REVISION	AF
DRAWING NO.					

A10 **1**



1 Roof Plan
 1/4" = 1'-0"

LINE WORK LEGEND

PROPERTY LINE	---
SETBACK LINE	---
BASMENT FOOTPRINT	---
MAIN LEVEL OUTLINE	---
UPPER LEVEL OUTLINE	---
UPPER ROOF OUTLINE	---
LOWER ROOF OVERHANG OUTLINE	---
CLADDING OUTLINE	---
TREE PROTECTION ZONE	---
BLDG SERVICES	---

REV	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	2023-02-22
2	REVISION DRAWING ISSUE	
3	REVISION DRAWING ISSUE	
4	REVISION DRAWING ISSUE	
5	REVISION DRAWING ISSUE	
6	REVISION DRAWING ISSUE	
7	REVISION DRAWING ISSUE	
8	REVISION DRAWING ISSUE	
9	REVISION DRAWING ISSUE	
10	REVISION DRAWING ISSUE	
11	REVISION DRAWING ISSUE	
12	REVISION DRAWING ISSUE	
13	REVISION DRAWING ISSUE	
14	REVISION DRAWING ISSUE	
15	REVISION DRAWING ISSUE	
16	REVISION DRAWING ISSUE	
17	REVISION DRAWING ISSUE	
18	REVISION DRAWING ISSUE	
19	REVISION DRAWING ISSUE	
20	REVISION DRAWING ISSUE	

PROJECT NO.	20235
DATE	FEB 18 2021
SCALE	1/4" = 1'-0"
DRAWN	MT
REVIEWED	AF
REVISION	1

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DRAWING TITLE
ROOF PLAN

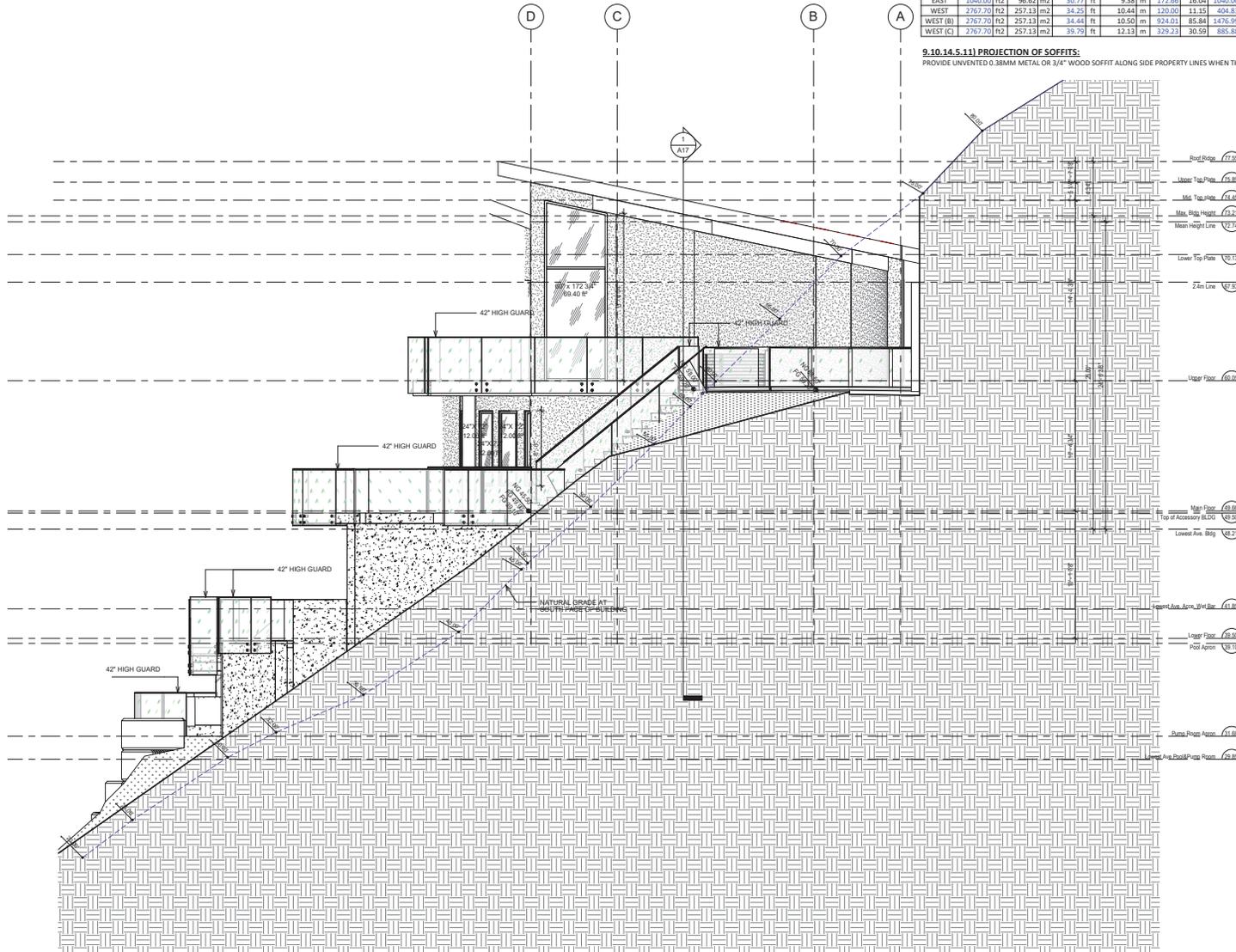
DRAWING ISSUE
ISSUED FOR BUILDING PERMIT

PROJECT NO.	20235	DATE	FEB 18 2021	DRAWN	MT
SCALE	1/4" = 1'-0"	REVIEWED	AF	REVISION	1

SPATIAL SEPARATION SCHEDULE					SPRINKLERED BUILDING: YES		
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE							
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED	
NORTH	551.48 ft ² 51.23 m ²	9.41 ft 2.87 m	0.00	551.48	51.23	0.00%	
SOUTH	424.98 ft ² 39.48 m ²	56.72 ft 17.25 m	69.40	424.98	39.48	100.00%	

SPATIAL SEPARATION SCHEDULE						
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE						
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
EAST	1040.00 ft ² 96.62 m ²	30.77 ft 9.38 m	172.66	1040.00	96.62	100.00%
WEST	2767.70 ft ² 257.13 m ²	34.25 ft 10.44 m	120.00	404.83	37.61	86.59%
WEST (B)	2767.70 ft ² 257.13 m ²	34.44 ft 10.50 m	924.01	1476.99	137.22	87.46%
WEST (C)	2767.70 ft ² 257.13 m ²	39.79 ft 12.13 m	329.23	30.59	885.88	100.00%

9.10.14.5.11) PROJECTION OF SOFFITS:
 PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS...



1 South Elevation-side
 1/4" = 1'-0"

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310-200 MARINE DRIVE, NORTH VANCOUVER
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NO.	DATE	ISSUES FOR BUILDING PERMIT	BY
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PROJECT

**ANDREW LATCHFORD
 RESIDENCE**

8440 CITRUS WYND, WEST VANCOUVER, BC

DRAWING TITLE

ELEVATIONS - SOUTH

DRAWING ISSUE

**ISSUED FOR BUILDING
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PROJECT NO. 20235

FLIGHT DATE: FEB. 18, 2021

SCALE: 1/4" = 1'-0"

DRAWING NO. A13

DRAWN: AF

REVIEWED: AF

REVISION: AF

REVISION: 1

SPATIAL SEPARATION SCHEDULE **SPRINKLERED BUILDING: YES**

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

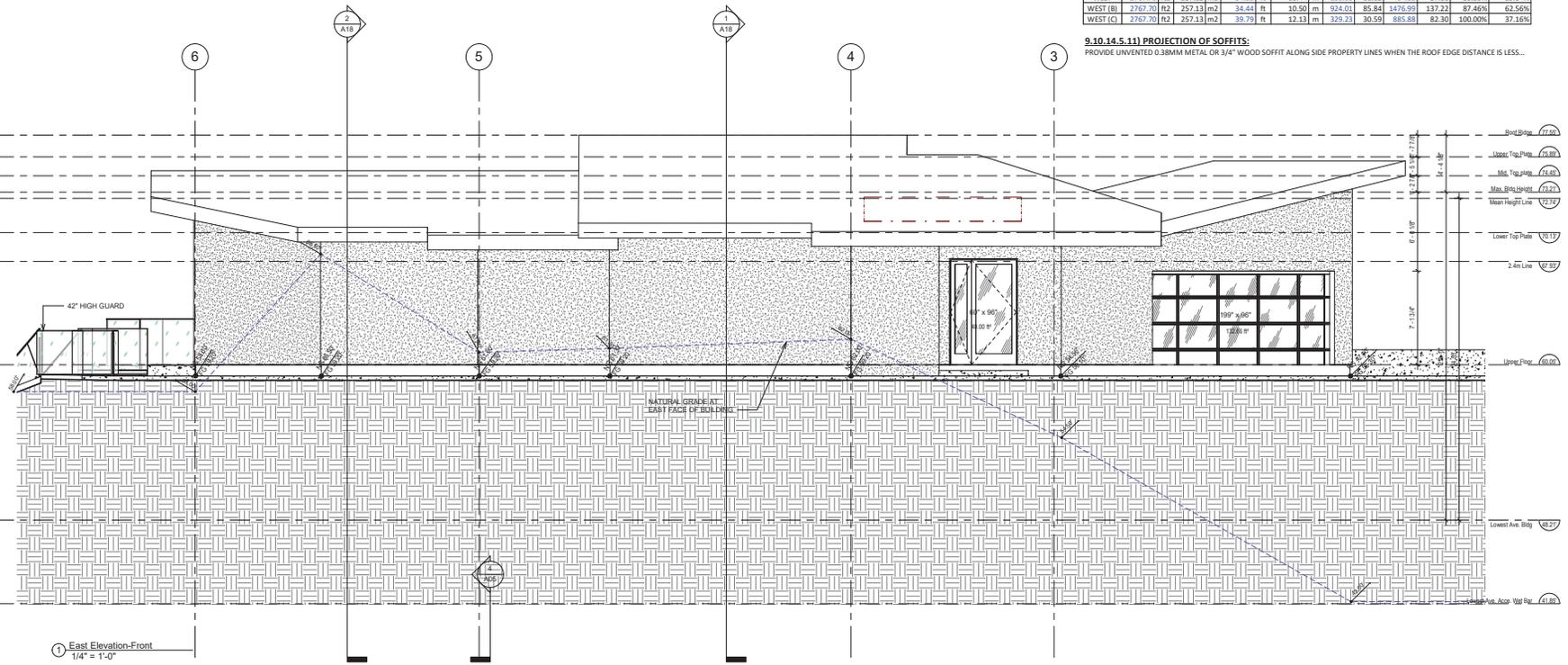
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
NORTH	551.48 m ²	9.41 m	2.87 m	0.00	551.48	35.38%
SOUTH	434.35 m ²	39.48 m	56.72 m	17.29 m	69.40	6.45
					424.58	39.48
					100.00%	16.33%

SPATIAL SEPARATION SCHEDULE

9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE

FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED
EAST	1040.00 m ²	96.62 m	30.77 m	9.38 m	172.66	16.04
WEST	2767.70 m ²	257.13 m	34.25 m	10.44 m	120.00	11.15
WEST (B)	2767.70 m ²	257.13 m	34.44 m	10.50 m	924.01	85.84
WEST (C)	2767.70 m ²	257.13 m	39.70 m	12.13 m	329.23	30.59
					885.88	82.30
					100.00%	37.16%

9.10.14.S.11) PROJECTION OF SOFFITS:
 PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS..



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DRAWING TITLE
ELEVATIONS - EAST

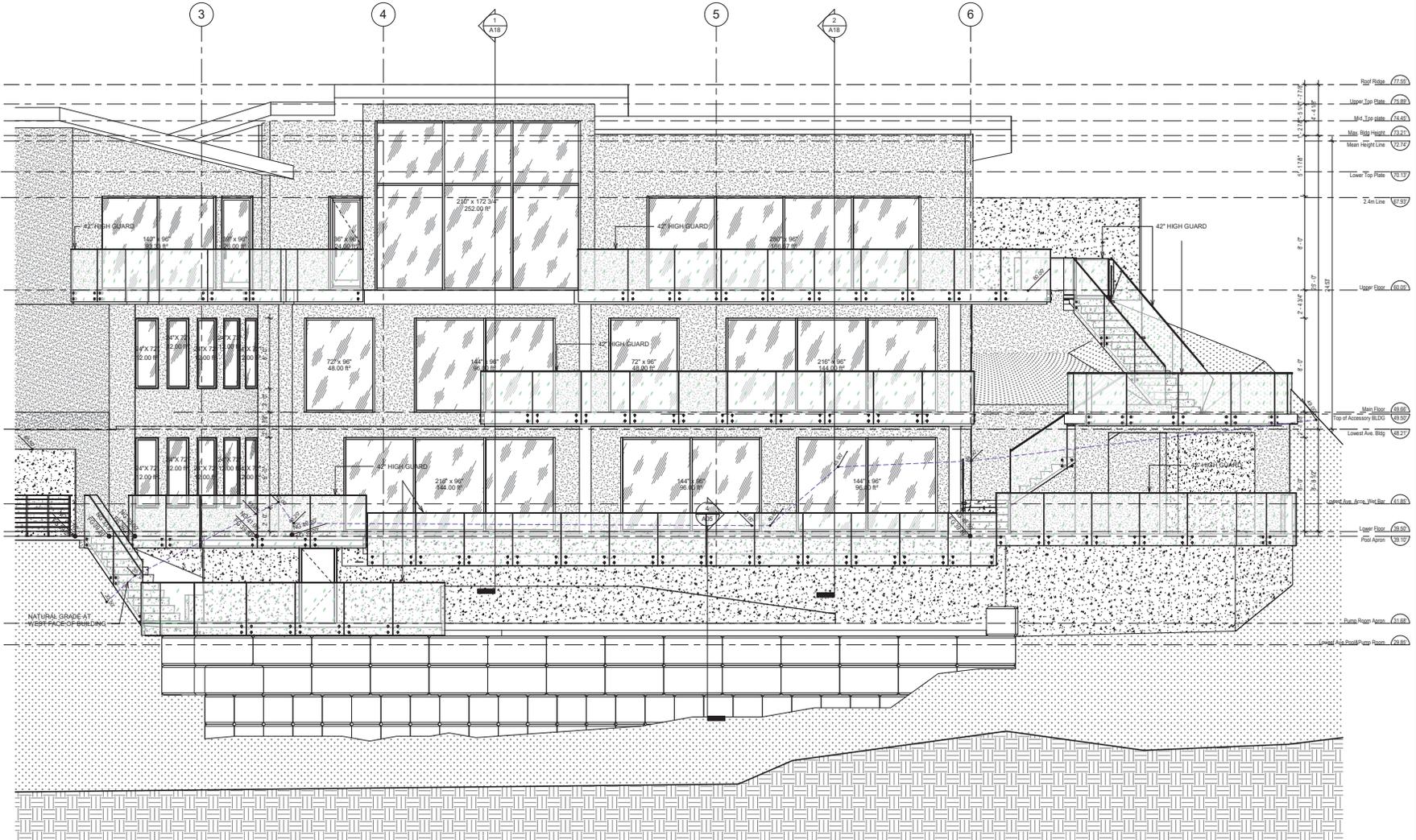
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PROJECT NO. 20235	PLANT DATE FEB. 18, 2021	DRAWN MT
SCALE 1/4" = 1'-0"	REVIEWED	AF
DRAWING NO. A14	REVISION 1	

SPATIAL SEPARATION SCHEDULE						SPRINKLERED BUILDING: YES				
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED				
NORTH	551.48 m ²	51.23 m	2.41 m	0.00	551.48	51.23	35.38%	0.00%		
SOUTH	424.98 m ²	39.48 m	56.73 m	17.20 m	69.40	6.45	424.98	39.48	100.00%	16.33%

SPATIAL SEPARATION SCHEDULE										
9.10.15.4 GLAZED OPENING IN EXPOSING BUILDING FACE										
FACADE	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE TO CLOSEST WALL WITH GLAZING	WINDOW AREA	FACE SECTION /COMPARTMENT	MAX. % ALLOWED	% PROVIDED				
EAST	1040.00 m ²	96.62 m	30.77 m	9.38 m	172.66	16.04	1040.00	96.62	100.00%	16.60%
WEST	2767.70 m ²	257.13 m	34.25 m	10.44 m	120.00	11.15	404.83	37.61	86.59%	29.64%
WEST (B)	2767.70 m ²	257.13 m	34.44 m	10.50 m	924.01	85.84	1476.97	137.22	87.46%	62.56%
WEST (C)	2767.70 m ²	257.13 m	39.79 m	12.13 m	329.23	30.59	885.88	82.30	100.00%	37.16%

9.10.14.5.11) PROJECTION OF SOFFITS:
 PROVIDE UNVENTED 0.38MM METAL OR 3/4" WOOD SOFFIT ALONG SIDE PROPERTY LINES WHEN THE ROOF EDGE DISTANCE IS LESS...



1 West Elevation-Back
 1/4" = 1'-0"

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PROJECT: **ANDREW LATCHFORD RESIDENCE**
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DRAWING TITLE: **ELEVATIONS - WEST**

DRAWING ISSUE: **ISSUED FOR BUILDING PERMIT**

PROJECT NO.	20235	FLIGHT DATE	FEB. 18, 2021	DRAWN	Author
DRAWING NO.		SCALE	1/4" = 1'-0"	REVIEWED	Checker
					REVISION
					A15
					1

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DRAWING TITLE

BUILDING SECTION 2

DRAWING ISSUE

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PROJECT NO. 20235

PLANT DATE FEB. 18, 2021

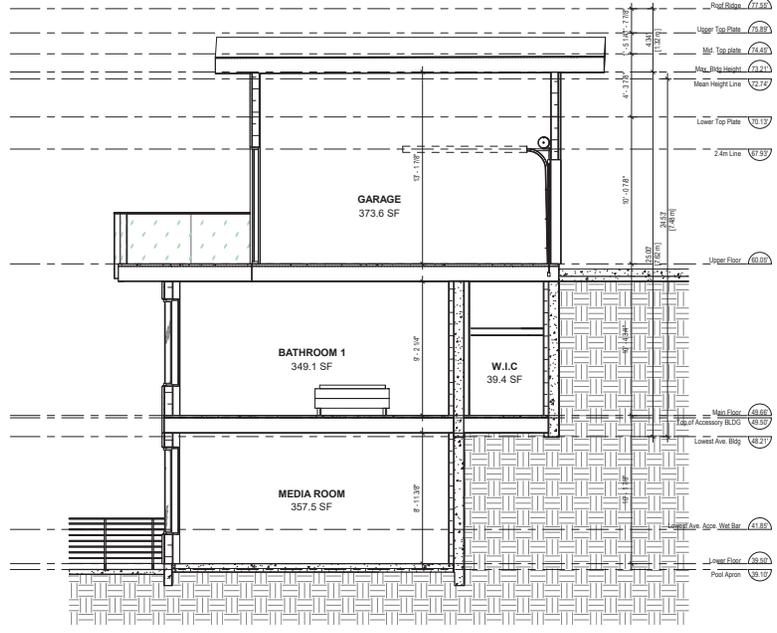
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SCALE 1/4" = 1'-0"

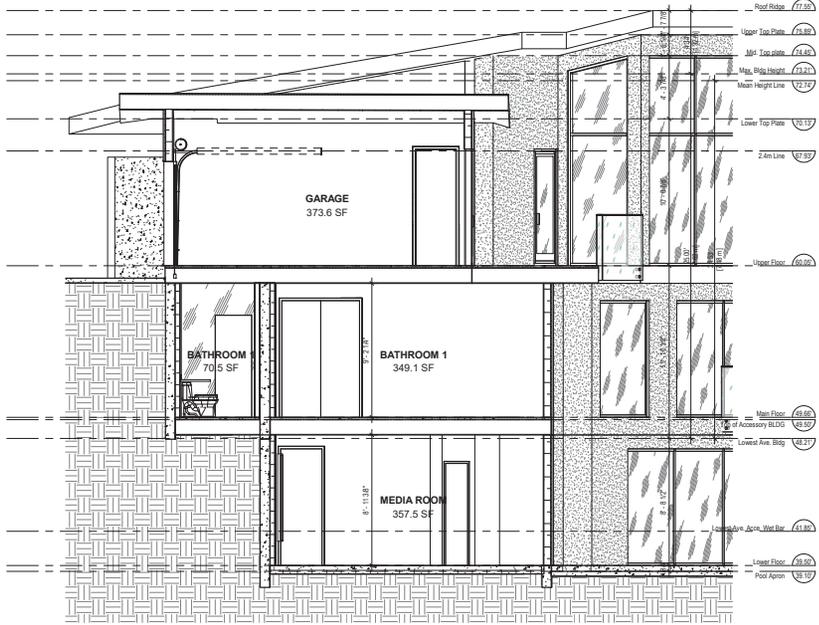
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DRAWING NO. A16

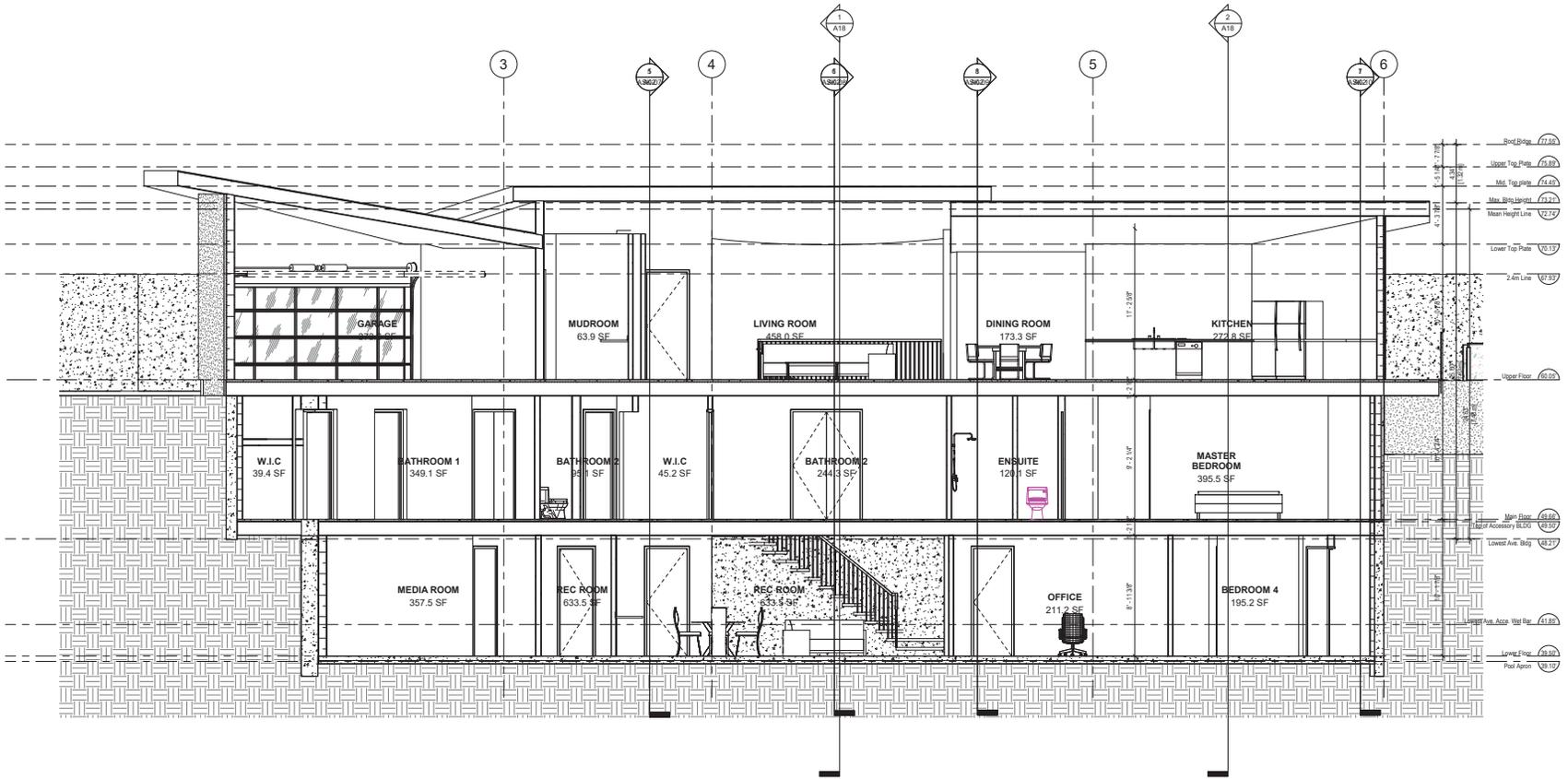
REVISION 1



BUILDING SECTION 2
 1/4" = 1'-0"



BUILDING SECTION 3
 1/4" = 1'-0"



1 BUILDING SECTION 1
 1/4" = 1'-0"

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DRAWING TITLE
BUILDING SECTION 1

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DRAWING NO. A17	REVISION	1



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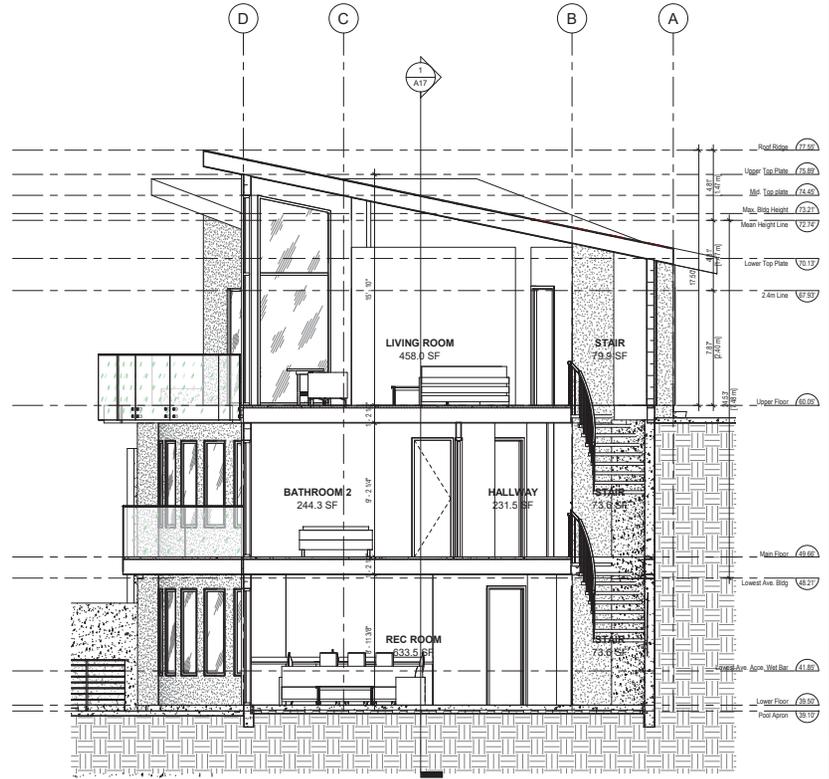
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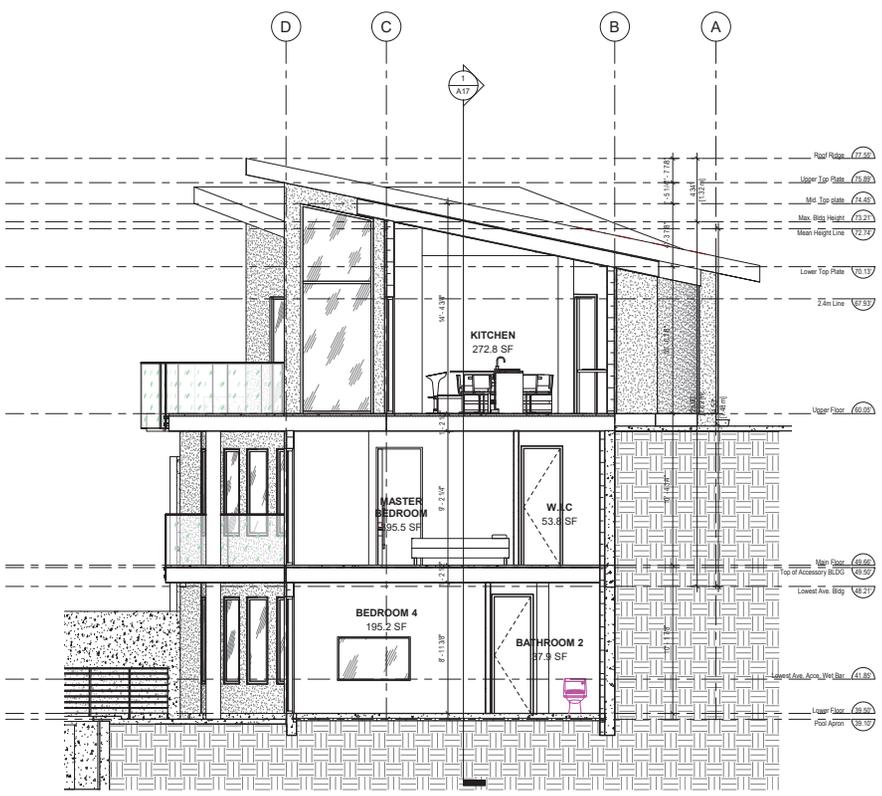
DRAWING TITLE
BUILDING SECTION 3

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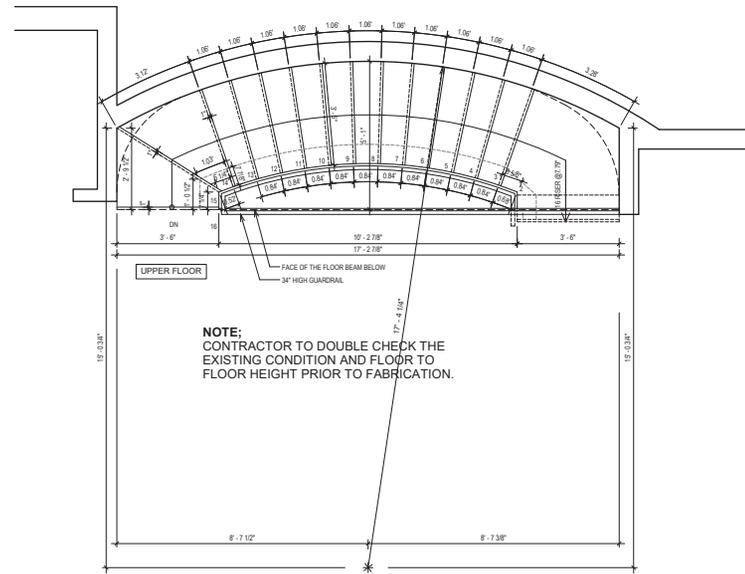
PROJECT NO. 20235	PLANT DATE FEB. 18, 2021	DRAWN REVIEWED	Author Checker
DRAWING NO.	SCALE 1/4" = 1'-0"	REVISION	1



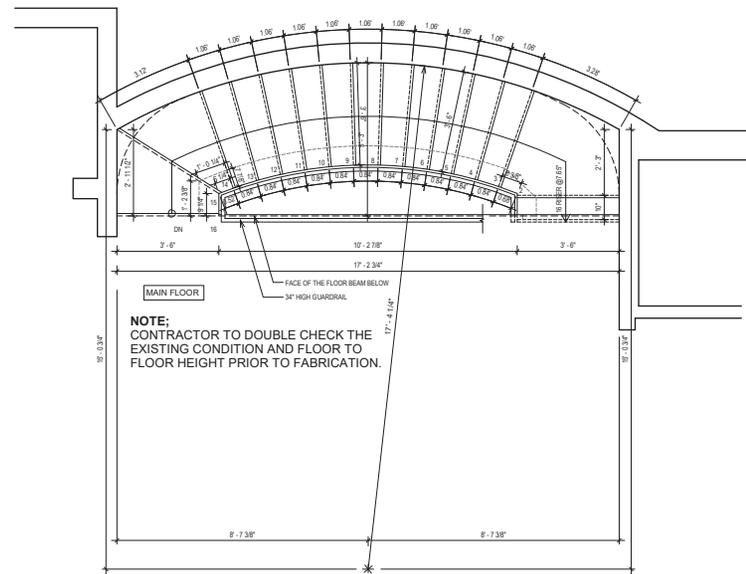
① BUILDING SECTION 4
 1/4" = 1'-0"



② BUILDING SECTION 5
 1/4" = 1'-0"



① Stair Layout - Upper level
 1/2" = 1'-0"



② Stair Layout - Lower level
 1/2" = 1'-0"

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DRAWING TITLE

**ENLARGED INTERIOR
 LAYOUT**

DRAWING ISSUE

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PROJECT NO.	20235	FLIGHT DATE	FEB. 18, 2021	DRAWN	MT
SCALE	1/2" = 1'-0"	REVIEWED			AF

DRAWING NO.	A19	REVISION	1
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