

NEIGHBOURHOOD MAP



2195 GORDON AVENUE

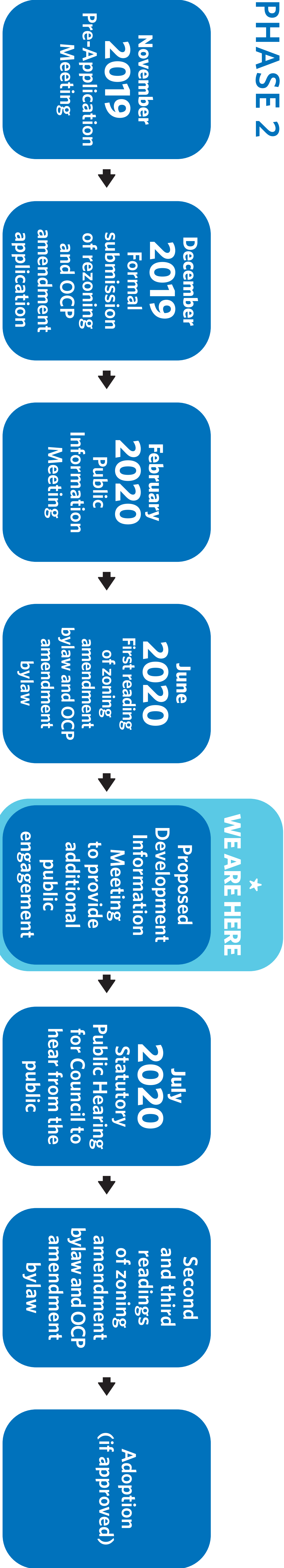
west vancouver

PROCESS & NEXT STEPS

PHASE 1 (complete)



PHASE 2



2195 GORDON AVENUE

THE DISTRICT'S HOUSING PROPOSAL

Our community is facing unprecedented housing affordability challenges with some of the highest rents and housing prices in Canada. People are leaving our community.

High housing prices, limited housing supply and demographic challenges affect our community in many ways:

- reduced population and demographic imbalance
- reduced local workforce
- more people are commuting to our community every day to work or attend school, resulting in increased traffic and greenhouse gas emissions
- reduced services and increased costs for services

In 2014, the District purchased the site at 2195 Gordon Avenue for \$16 million. Council is now proposing to use the site to create housing, increase rental supply and improve affordability, while generating approximately \$26 million in revenue, with no ongoing cost to the taxpayer.

In April 2019, Council unanimously passed a resolution authorizing staff to prepare and submit a rezoning application for two 6-storey buildings and one 8-storey building with approximately 170 units of below-market rental, 50 units of strata condominiums and an Adult Day Centre.

To achieve this, the District is proposing to rezone the property in order to lease/sell the site to a third party that would construct the buildings, operate the rental component and lease/sell the strata condominium units.

"If we wish to encourage a more balanced demographic, we will need to provide more housing options for younger adults to lay down roots here and provide land uses that support our local economy and local employment opportunities."

- 2018 Official Community Plan

West Vancouver (and the Village of Belcarra) are the only municipalities in Metro Vancouver to have decreased in population between 2011 and 2016, when the region increased by 6.5%.

- Statistics Canada

SUMMARY OF PROPOSAL

To address housing affordability and balance revenue needs for other District public projects, in April 2019, Council unanimously passed a resolution authorizing staff to prepare and submit a rezoning application with the following main parameters:

- two 6-storey buildings for rental and one 8-storey building for strata condominiums
- 220 units comprised of 170 below-market rental units and 50 strata condominiums units
- rents at an average of 70% of market rent for comparable new units in West Vancouver
- rental units income targeted towards moderate income people, including workers and families
- Adult Day Centre of 3,000 sq. ft. with 1,000 sq. ft. of outdoor space (provided the District will not be responsible for any capital and operating costs)
- a variety of unit sizes: studio; one-, two- and three-bedrooms
- Floor Area Ratio of approximately 2.8
- approximate revenue objective of \$26 million

West Vancouver median housing prices		Down payment at 20% of purchase price
single-family	\$2,786,551	\$557,301
low-rise apartment	\$850,399	\$170,079
high-rise apartment	\$752,189	\$150,437

West Vancouver median incomes	
individual income	\$40,550
household income	\$89,808

AFFORDABILITY

Whether owning or renting, we have some of the highest average housing costs in the region.

Our median income is well below that required to finance the average apartment and significantly below what's needed to finance the average single-family home.

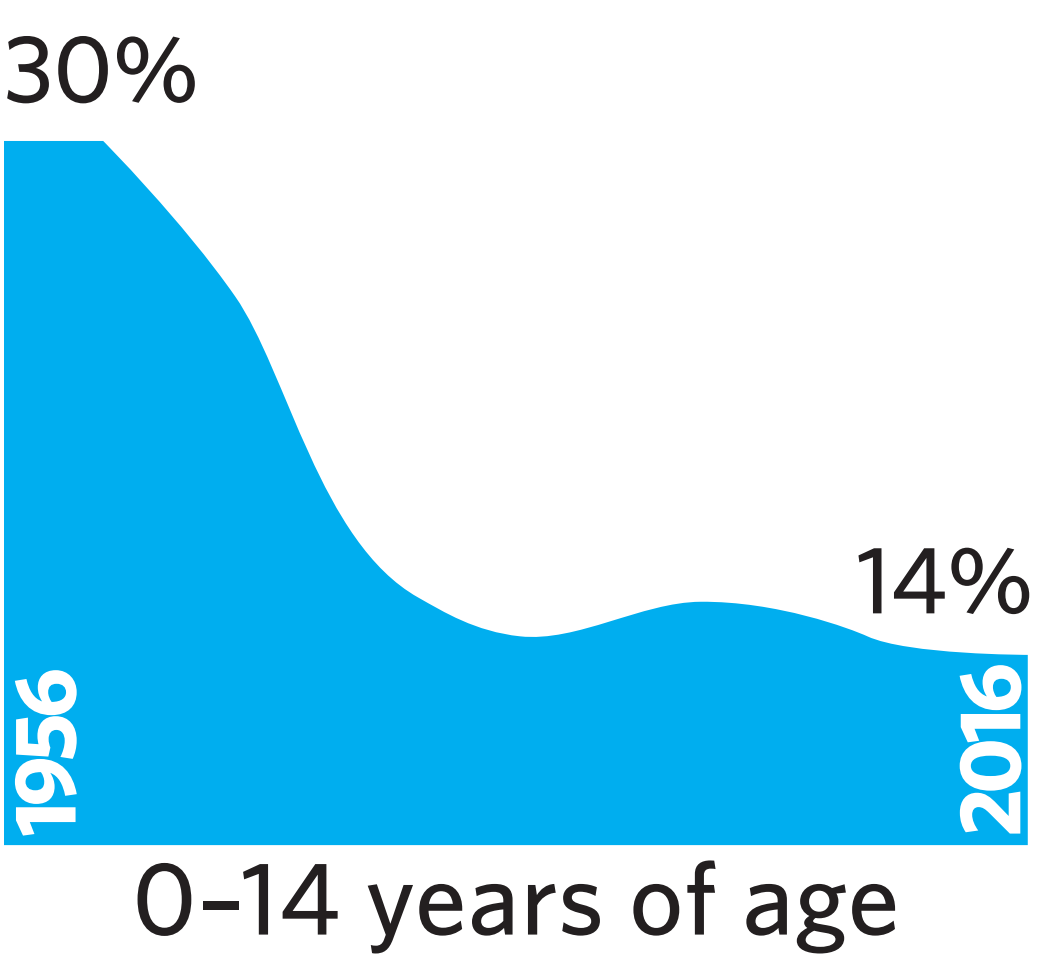
TARGET MARKET

TARGET MARKET FOR RENTAL UNITS

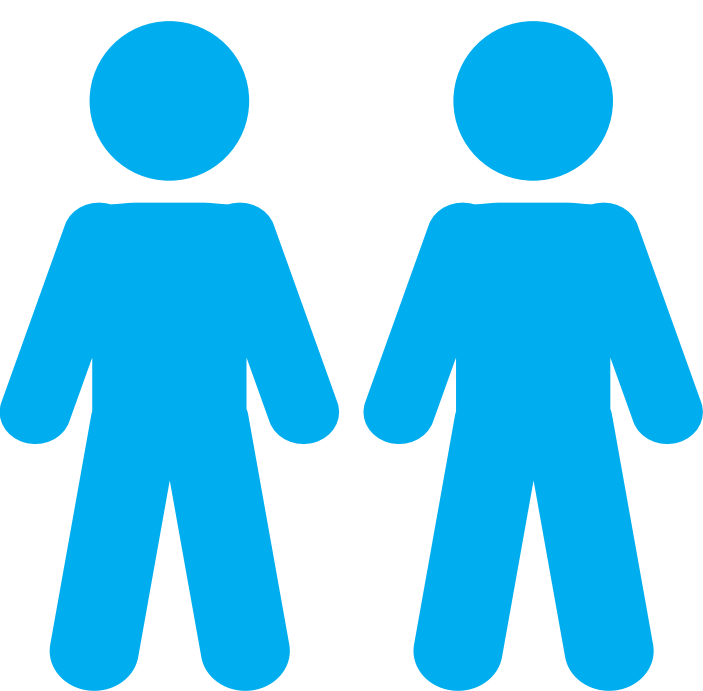
To address affordability, the District is proposing that the rental units be income targeted for moderate-income people, including families and workers in West Vancouver.

WEST VANCOUVER RENTAL MARKET	studio	one-bedroom	two-bedroom	three-bedroom
WV market rent— <i>new</i>	\$1,750	\$2,100	\$3,000	\$4,500
proposed below-market rent (at 70% of comparable rent)	\$1,225	\$1,470	\$2,100	\$3,150
annual household income (based on proposed rent being 30% of income)	\$49,000	\$58,800	\$84,000	\$126,000

DECLINING families & children



missing GENERATION



2%
population
between
ages
25-34
without
children



MISSING WORKERS
between ages 25-44
DWV 16%
vs. Metro 28%

ONLY 20 units of dedicated rental constructed in West Vancouver since the late 1970s

1.2%
RENTAL VACANCY RATE

one of the lowest in the region

AERIAL PERSPECTIVES



aerial view looking from the southwest



aerial view looking from the southeast



view down 22nd Street from Mathers Avenue

2195 GORDON AVENUE

west vancouver

DEVELOPMENT GUIDELINES

BUILDING DESIGN

CONCEPTUAL SITE PLAN

BUILDING DESIGN

- Buildings A, B and C should be sited as generally illustrated in Figure 1: Conceptual Site Plan.
- Despite the above, alternative building configurations and siting may be considered if a superior urban design is demonstrated resulting in a better development overall.
- Buildings A and B shall not exceed a maximum height of 6 storeys.
- Building C shall not exceed a maximum height of 8 storeys.
- All buildings shall form a consistent street wall to articulate clearly expressed building bases.
- Minimum building separations have been outlined in the conceptual site plan.



*Conceptual site plan is an illustrative example of a potential site plan

 = pedestrian entries
 = vehicle entry

DEVELOPMENT GUIDELINES

OBJECTIVES

POLICY OBJECTIVES

To promote the siting and design of the multi-family development, and an adult day centre, that reflects quality building design, materials and landscaping.

The buildings should have their own stand-alone character and relate to one another through a common architectural expression.

CONTEXT AND CHARACTER

- Design should be responsive to the neighbourhood context.
- Design buildings to have their own stand-alone character and relate to one another through a common architectural expression.
- Situate buildings to maximize north-south unit orientations and to allow for light penetration through the site.
- Provide well-designed outdoor spaces that are substantial, livable, accessible and functional.
- Promote an inviting public realm including public-private space that is responsive to the civic uses south across Gordon Avenue.
- Encourage the provision of integrated public art to enhance the pedestrian experience.



artistic rendering of a potential form of development, looking north



artistic rendering of a potential form of development, looking south

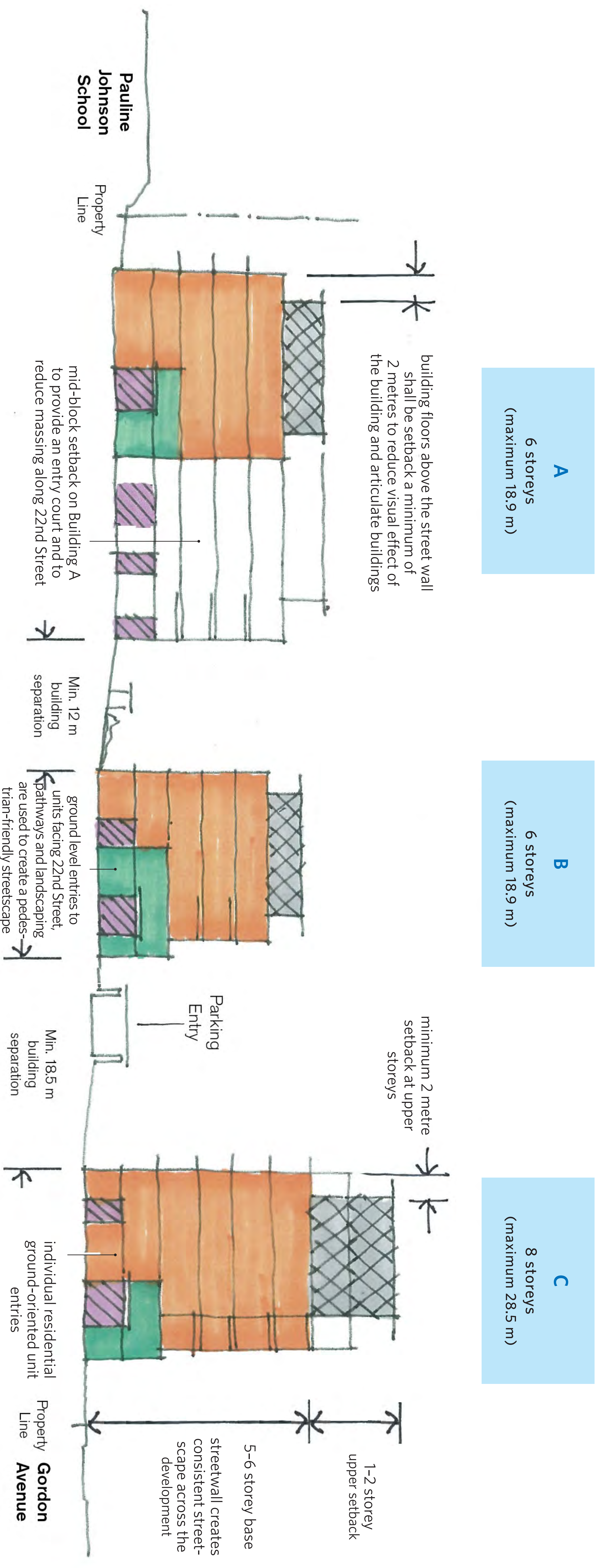
WHAT ARE DEVELOPMENT PERMIT AREA GUIDELINES?

- guidelines intended to establish objectives for form and character of future development.
- not intended to design the buildings—detailed design will be reviewed and established as part of future development permits.

DEVELOPMENT GUIDELINES

BUILDING DESIGN - STREET VIEW

CONCEPTUAL SKETCH OF STREET WALL AND BUILDING MASSING ALONG 22ND STREET



2195 GORDON AVENUE

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DEVELOPMENT GUIDELINES

DESIGN

WEST COAST CONTEMPORARY EXPRESSION

- simple structures in wood, concrete or steel
- clear glazing, especially in connection with outdoor spaces
- building massing articulated to reduce bulk and scale
- quality building materials
- Sustainable Buildings Policy: Step Code 3; low-carbon; solar shading; energy efficiency



2195 GORDON AVENUE

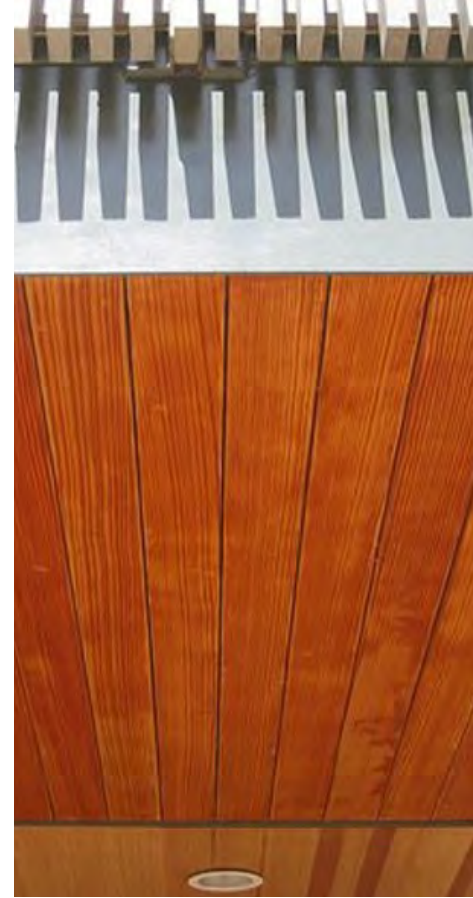
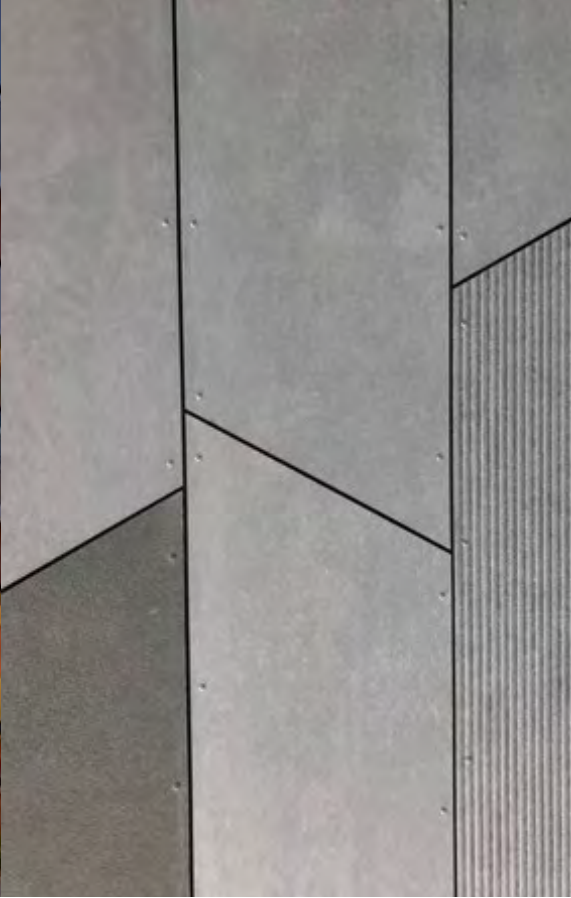
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DEVELOPMENT GUIDELINES

BUILDING MATERIALS



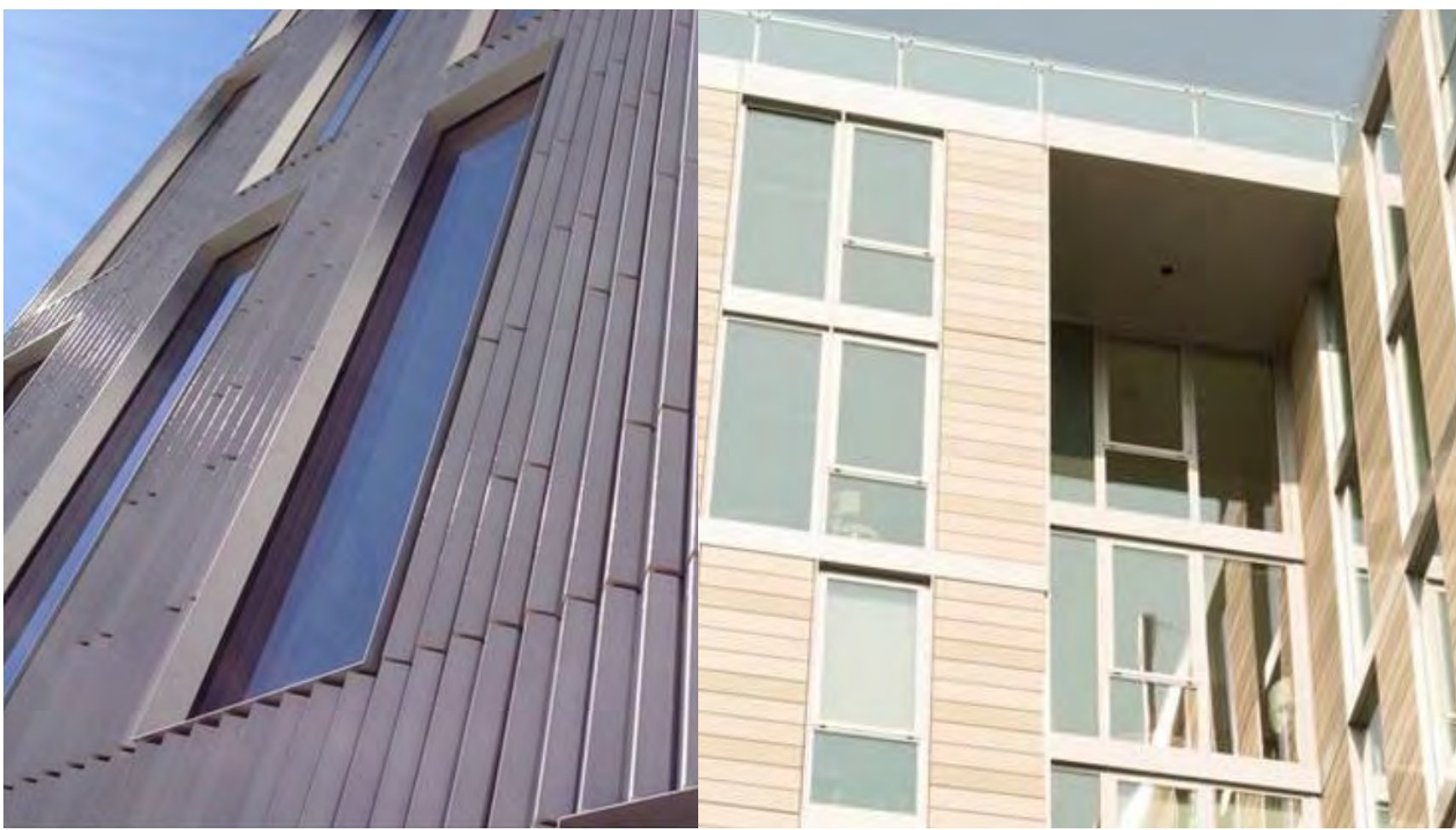
cement board



wood



brick



terra cotta



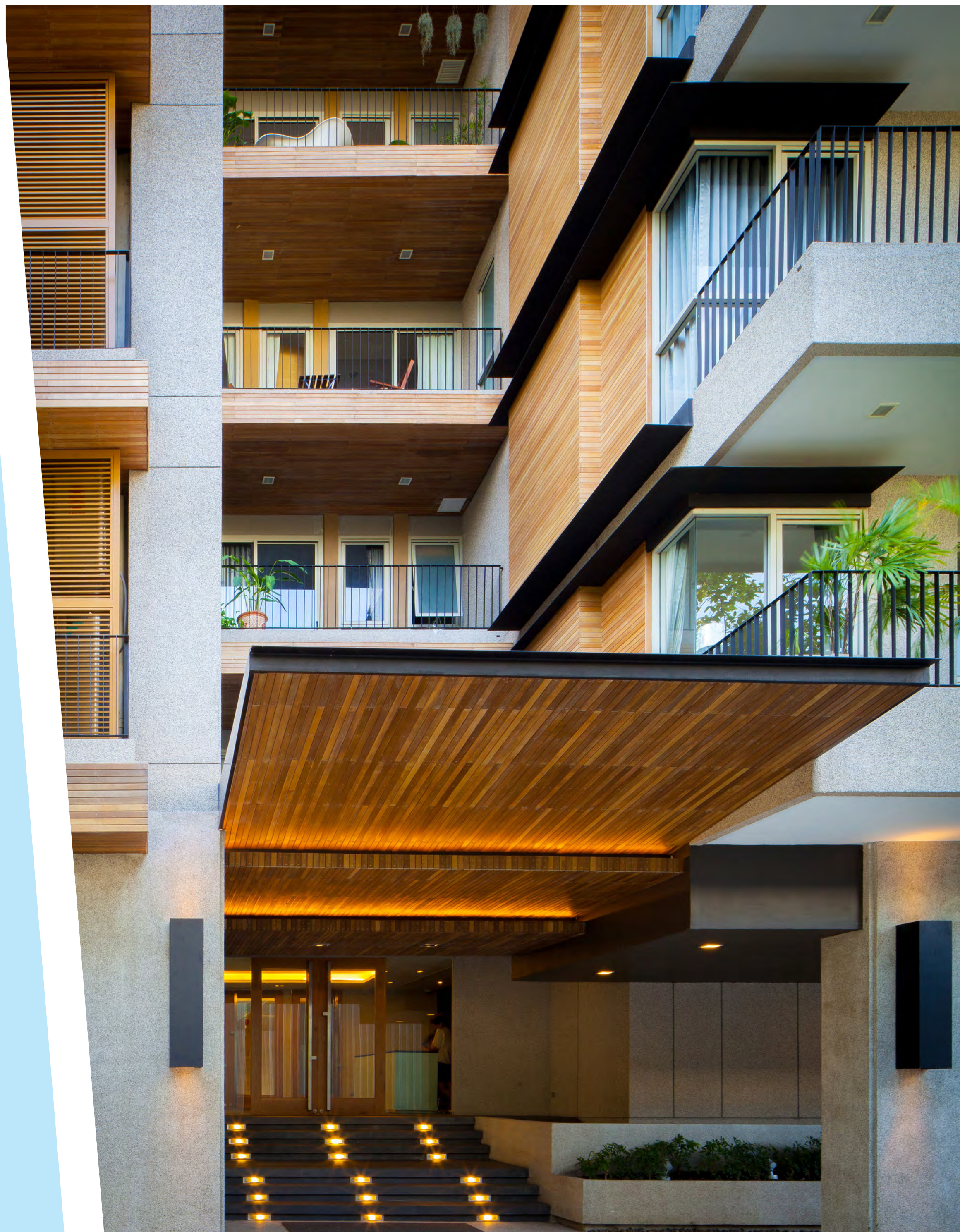
natural or cast stone



concrete

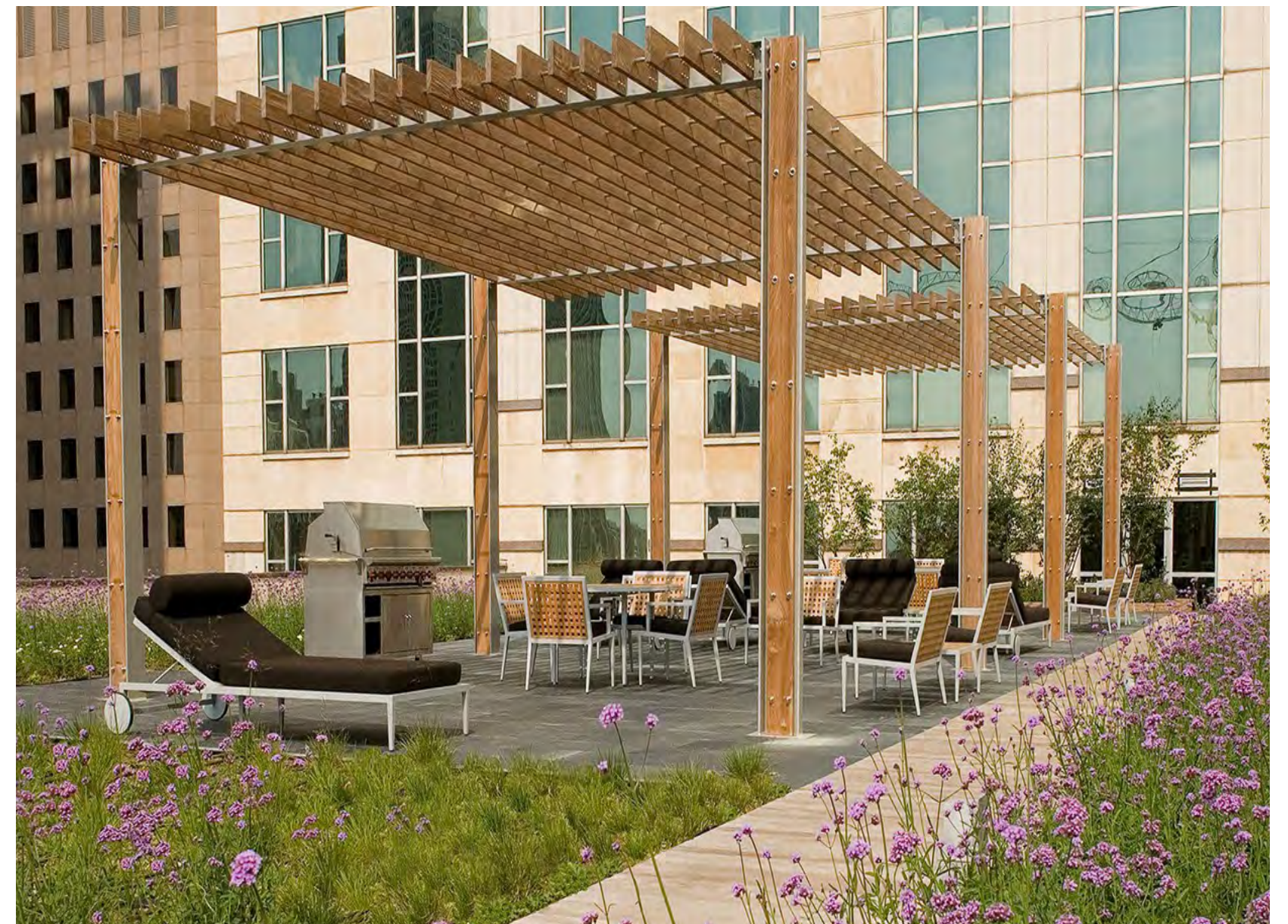
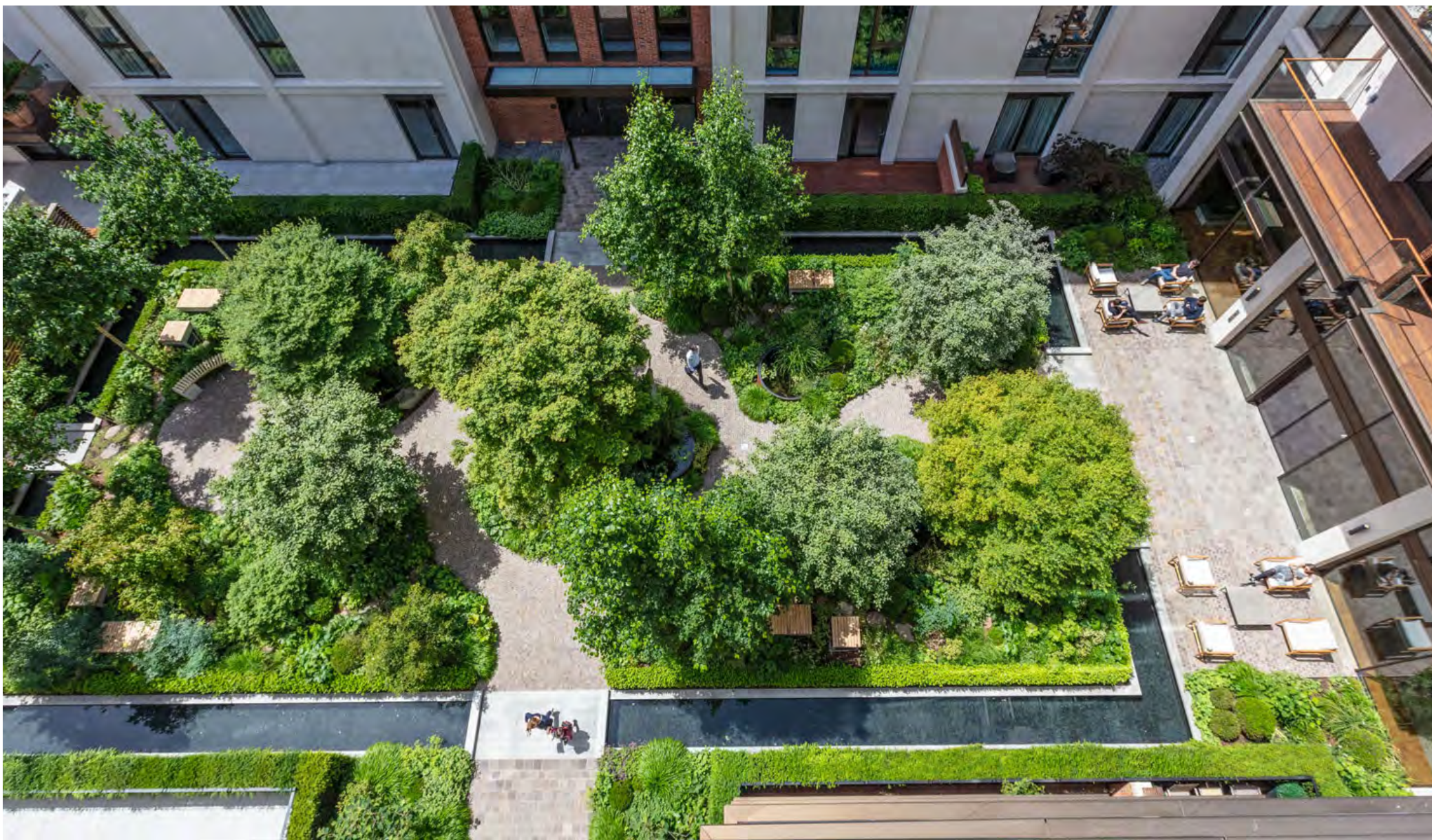
ADULT DAY CENTRE

- separate entrance with a passenger loading area
- architecturally articulated entry
- weather protection for entrance
- secured outdoor area



DEVELOPMENT GUIDELINES

LANDSCAPE & PUBLIC ART



FEATURES

- accessible and inclusive landscape design
- shared outdoor spaces that are substantial, livable, accessible and functional
- rooftop outdoor amenity areas are encouraged
- native, adaptive and drought-tolerant plants

- public art to enhance pedestrian experience



DEVELOPMENT GUIDELINES

STREETSCAPE & PUBLIC REALM

- pedestrian-friendly streetscape and inviting public realm
- lobby entrances clearly identifiable and accessible from public realm
- individual residential unit entrances ground-oriented



DEVELOPMENT GUIDELINES

ARTISTIC RENDERINGS



ARTISTIC RENDERING 1

view north along 22nd
Street at Gordon Avenue

ARTISTIC RENDERING 2

view north along 22nd
Street at Gordon Avenue



ARTISTIC RENDERING 3

view south along 22nd Street
near Haywood Avenue

ARTISTIC RENDERING 4

view south along 22nd Street
near Haywood Avenue



DESIGN REVIEW COMMITTEE



DESIGN REVIEW COMMITTEE (JANUARY 22, 2020) RESOLUTION:

THAT the Design Review Committee SUPPORT the Development Permit Guideline Review for 2195 Gordon Avenue subject to further review of the following items:

- **consider a cover for the exposed open ramp into the underground parking to mitigate acoustic and visual impact**
 - *the “Conceptual Site Plan” has been revised to visually represent a trellis to screen the exposed ramp into the underground parking*
 - *the DP Guidelines include language that “the underground parking ramp should be discrete, screened and may include a trellis to provide screening from above”*
- **allow developers room to experiment with the footprint and height in the flexibility of the guidelines**
 - *building footprint: the proposed CD61 Zone includes minimum building setbacks from both 22nd Street and Gordon Avenue and internal lot lines; the DP Guidelines include minimum building separations. There is flexibility to allow for the ultimate building footprints within these parameters*
 - *building heights: given previous public consultation, building heights have not been changed and are set out in the proposed CD61 Zone*
- **encourage the use of common areas as opposed to the private spaces on the ground level**
 - *the “Conceptual Site Plan” has been revised to reduce private outdoor space and increase common outdoor space*
- **take the opportunity to show leadership in promoting sustainability and liveability**
 - *the proposed development will comply with the District’s Sustainable Buildings Policy, which means that the buildings should comply with the Low-Carbon Energy System pathway and should achieve the step higher than that required by the BC Energy Step Code*

PROPOSED ZONING

The site is currently zoned CD5 – Comprehensive Development Zone 5.
A new CD61 – Comprehensive Development Zone is proposed.

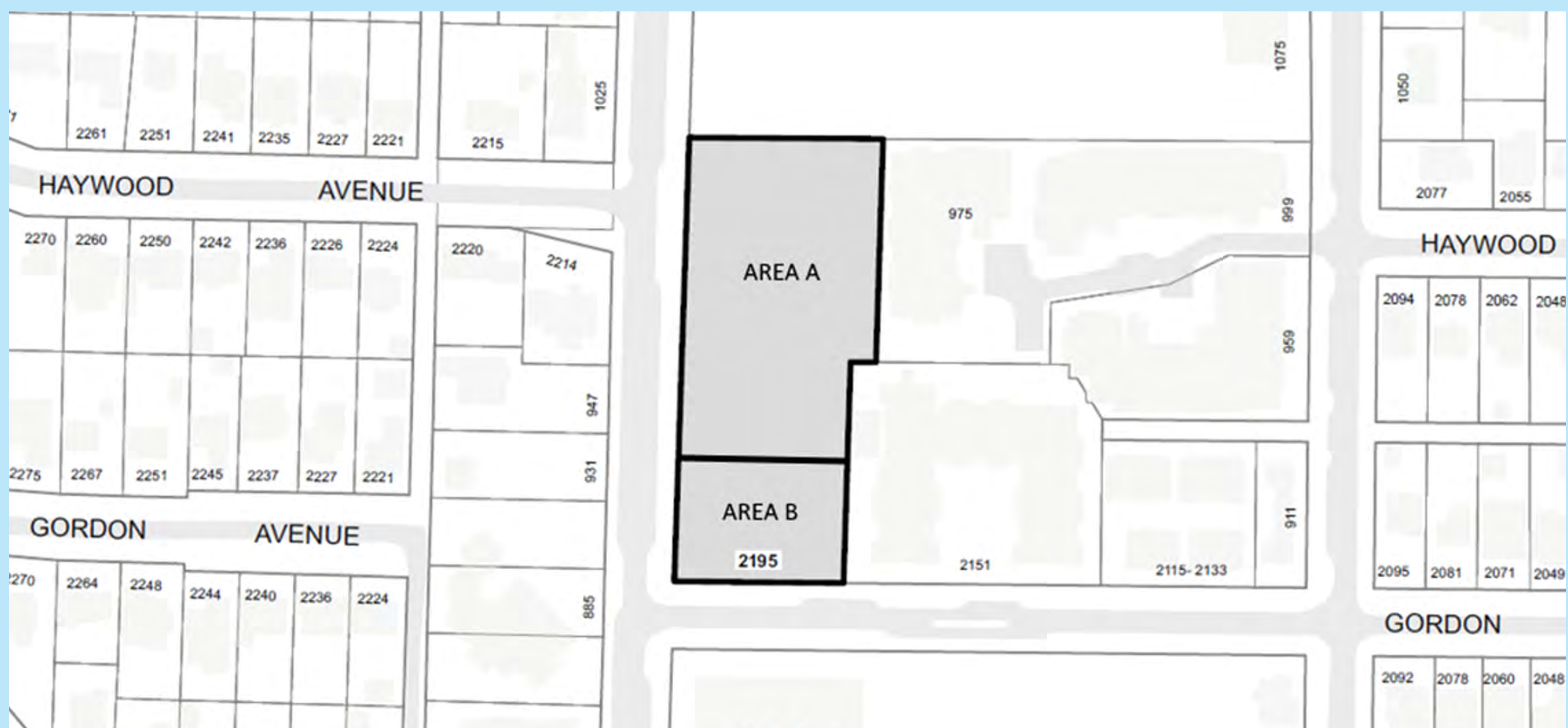
CD61 ZONE OVERVIEW

PERMITTED USES

- i. accessory buildings and uses
- ii. adult day services facility
- iii. apartment buildings
- iv. home based-business
- v. supportive housing use

CONDITIONS OF USE

1. residential tenure is limited to residential rental tenure within Area A as seen below
2. supportive housing use is prohibited in area A as seen on the right
3. the site is limited to a maximum of three apartment buildings
4. the adult day services facility is limited to the first storey and to be located within the northernmost building within Area A
5. the adult day services facility must include an outdoor amenity area that functions separately from other residential outdoor areas



FLOOR AREA RATIO

1. total: maximum permitted FAR is 2.8
2. for the purposes of calculating FAR, the site is 7,115 square metres
3. the total floor area within Area B shall not exceed 7,200 square metres

PROPOSED ZONING

SETBACKS

1. the following minimum setbacks shall apply:

North Lot Line:	3.0 metres
South Lot Line (Gordon Ave.):	6.0 metres
East Lot Line:	4.0 metres
West Lot Line (22nd Street):	5.0 metres
2. notwithstanding the above, the East Lot Line setback for the northernmost building must be at least 6 metres
3. notwithstanding the above, the West Lot Line setback shall not exceed 12 metres

BUILDING HEIGHT

1. apartment building height in Area B is limited to a maximum height of 28.5 metres
2. all other apartment buildings are limited to a maximum height of 18.9 metres

MAXIMUM NUMBER OF STOREYS

1. apartment buildings in Area B: maximum 8 storeys
2. all other apartment buildings: maximum 6 storeys

OFF-STREET PARKING

1. adult day services facility
 - a minimum of 1 parking space for every employee on shift at any one time to a maximum of 6
2. supportive housing use
 - a minimum of the lesser of:
 - i. 1 parking space for each unit, or
 - ii. 1 parking space for every 84 square metres of gross floor area
3. residential within Area A
 - a minimum of 0.9 parking spaces for each dwelling
4. residential within Area B
 - a minimum of the lesser of:
 - i. 1 parking space for each dwelling, or
 - ii. 1 parking space for every 84 square meters of gross floor area

The existing CD5 Zone is proposed to be amended in order to remove 2195 Gordon Avenue from the zone, but is otherwise left unchanged.