



# West Vancouver Housing Needs Report Council Presentation

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**CitySpaces Consulting Ltd.**  
**[www.cityspaces.ca](http://www.cityspaces.ca)**

## | Overview

- Key Data Findings
- Housing Needs & Gaps
- Conclusion

An aerial photograph of a coastal city during sunset. The sun is low on the horizon to the left, casting a warm glow over the scene. The city is built on a hillside, with a dense residential area in the foreground and a more developed area with high-rise buildings near the water. The water is a deep blue, and the sky is a mix of orange and blue. The text "Key Findings" is overlaid in the center in a large, white, sans-serif font.

# Key Findings

# | Key Findings - Population & Demographics

## Historical Population (2006-2016)

Community	2006	2011	2016	Growth 2006-2016	Percent Change 2006-2016	Annual Growth Rate
West Vancouver	42,131	42,694	42,473	342	0.8%	0.08%
Metro Vancouver	2,116,581	2,313,328	2,463,431	346,850	16.4%	1.64%

- Limited growth in West Vancouver in recent decades
- **Metro Vancouver's growth rate 20 times higher than West Vancouver (2006-2016)**

# | Key Findings - Population & Demographics

## Anticipated Population (2020-2025)

Community	2020	2025	Growth 2020-2025	Percent Change 2020-2025	Annual Growth Rate
West Vancouver	44,600	46,500	1,900	4.3%	0.85%
Metro Vancouver	2,700,893	2,889,386	188,493	7.0%	1.4%

- Forecasts show a population increase - at higher rates than previous, but lower rate than region

## | Key Findings - Population & Demographics

- **Older population.** The typical West Vancouver resident is 10 years older than typical Metro Vancouver resident
- **Aging population.** OCP projections indicate the most significant proportional change to occur among seniors (+72%)
- **Housing affordability.** Making it increasingly difficult for seniors to age-in-place and stay in West Vancouver (*Consultation feedback*)
- **Missing middle.** OCP projections account for historical trends which show younger adults leaving West Vancouver

## | Key Findings - Labour Force

### Labour Force Statistics (2016)

	West Vancouver	North Vancouver	Metro Vancouver
Population Aged 15 Years+	38,805	115,275	2,064,615
% of Population in Labour Force	51.8%	68.2%	65.7%
Unemployment Rate	5.5%	5.1%	5.8%

- A smaller proportion of West Vancouver residents are part of labour force compared to North Vancouver

# | Key Findings - Labour Force

## Commuting Flow - From Place of Residence to Place of Work (2016)

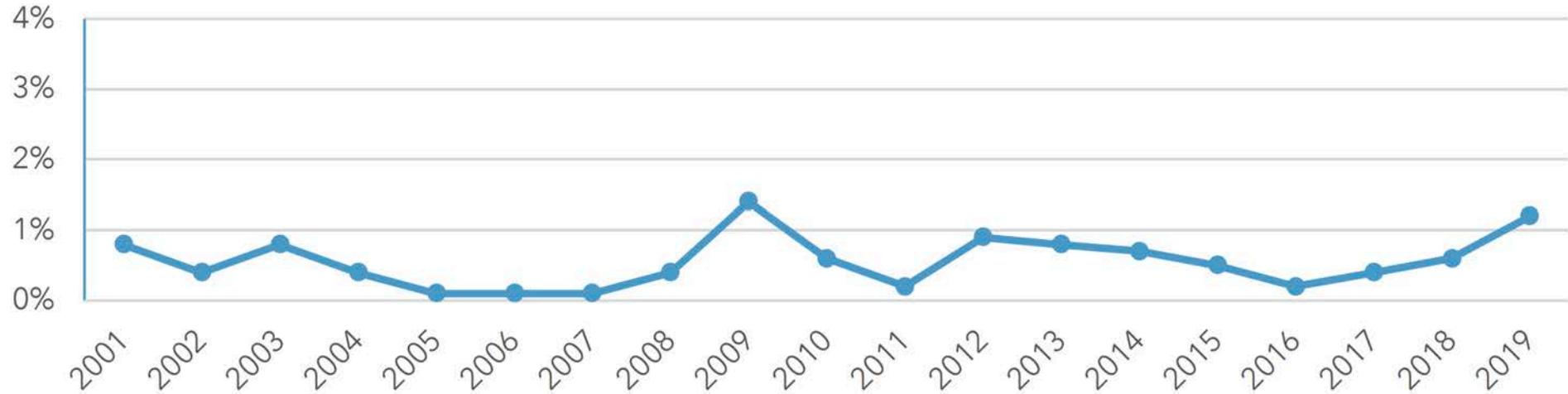
	West Vancouver	North Vancouver
% Labour Force Commuting In	73.3%	47.0%

- Proportion of labour force that works + lives in West Vancouver is far smaller than the labour force that works + lives in North Vancouver

## | Key Findings - Median Household Income



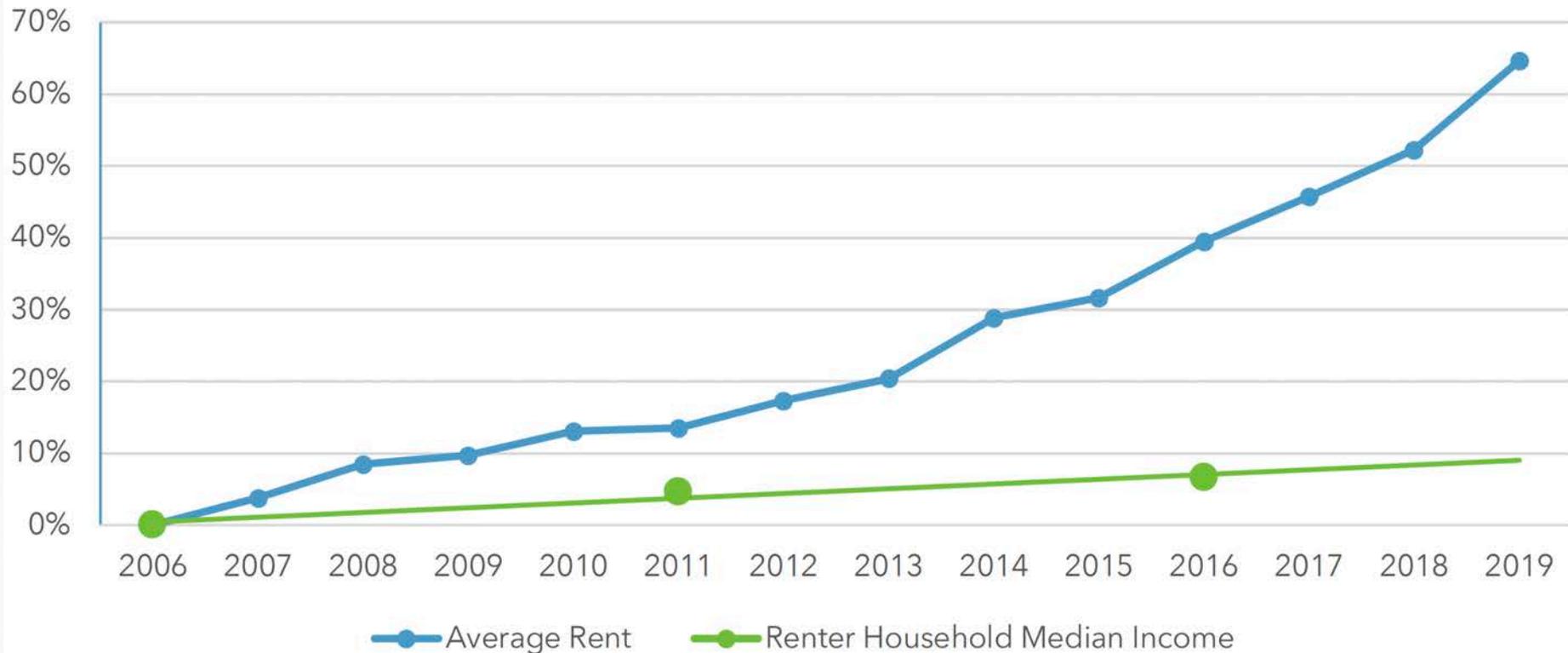
# | Key Findings - Rental Housing



- Purpose built rental vacancy rates under 1.4% for past 20 years

# | Key Findings - Rental Housing

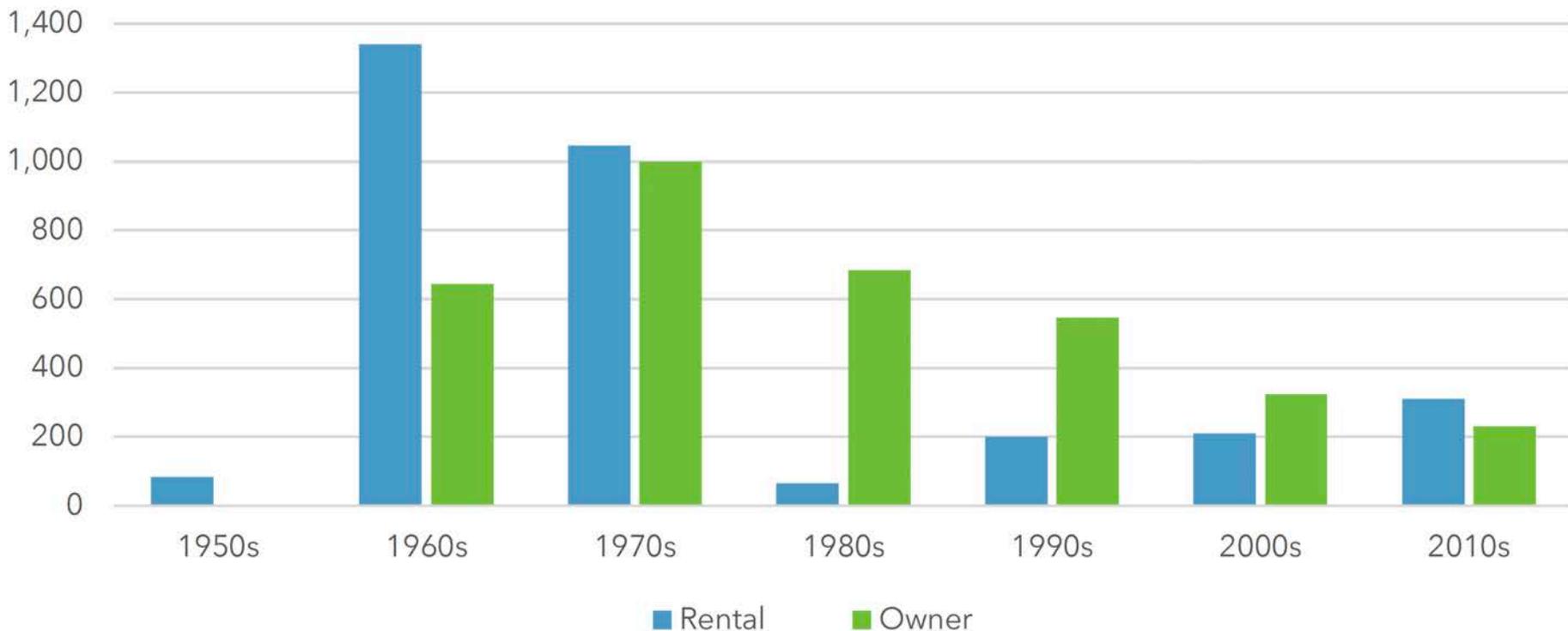
Percentage Change in Average Rental Unit (1-Bedroom) + Median Rental Household Income (From 2006 Levels)



Source: CMHC Rental Market Survey, Statistics Canada, Census of Population, 2006, 2011, 2016

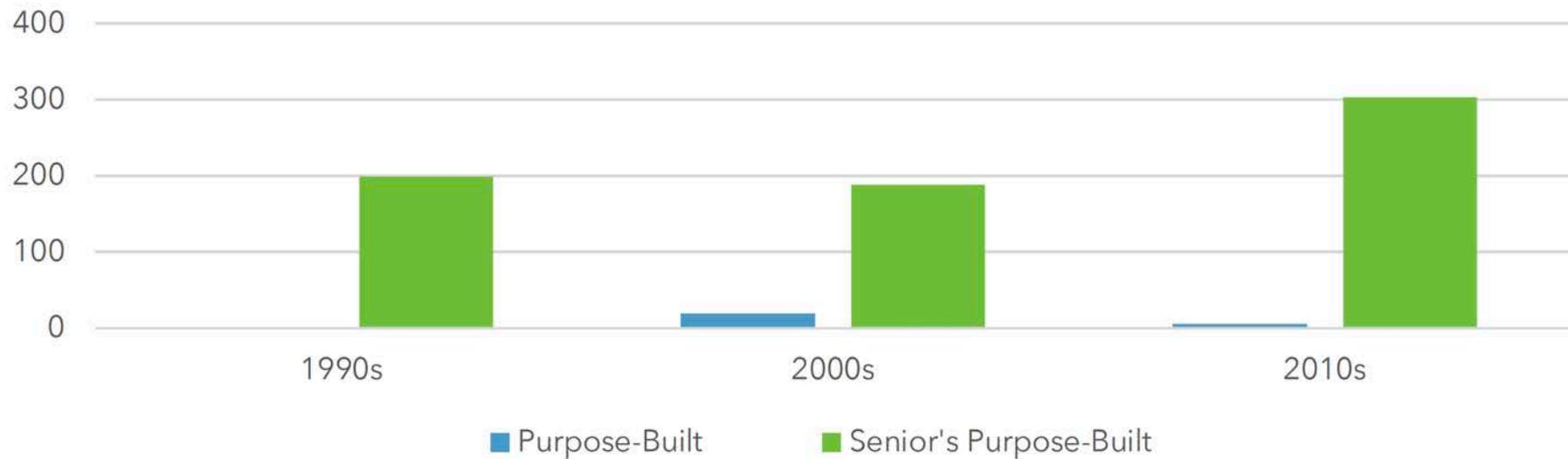
# | Key Findings - Rental Housing

Net-New Units Built by Tenure, District of West Vancouver



# | Key Findings - Rental Housing

Rental Units Completed by Type, District of West Vancouver



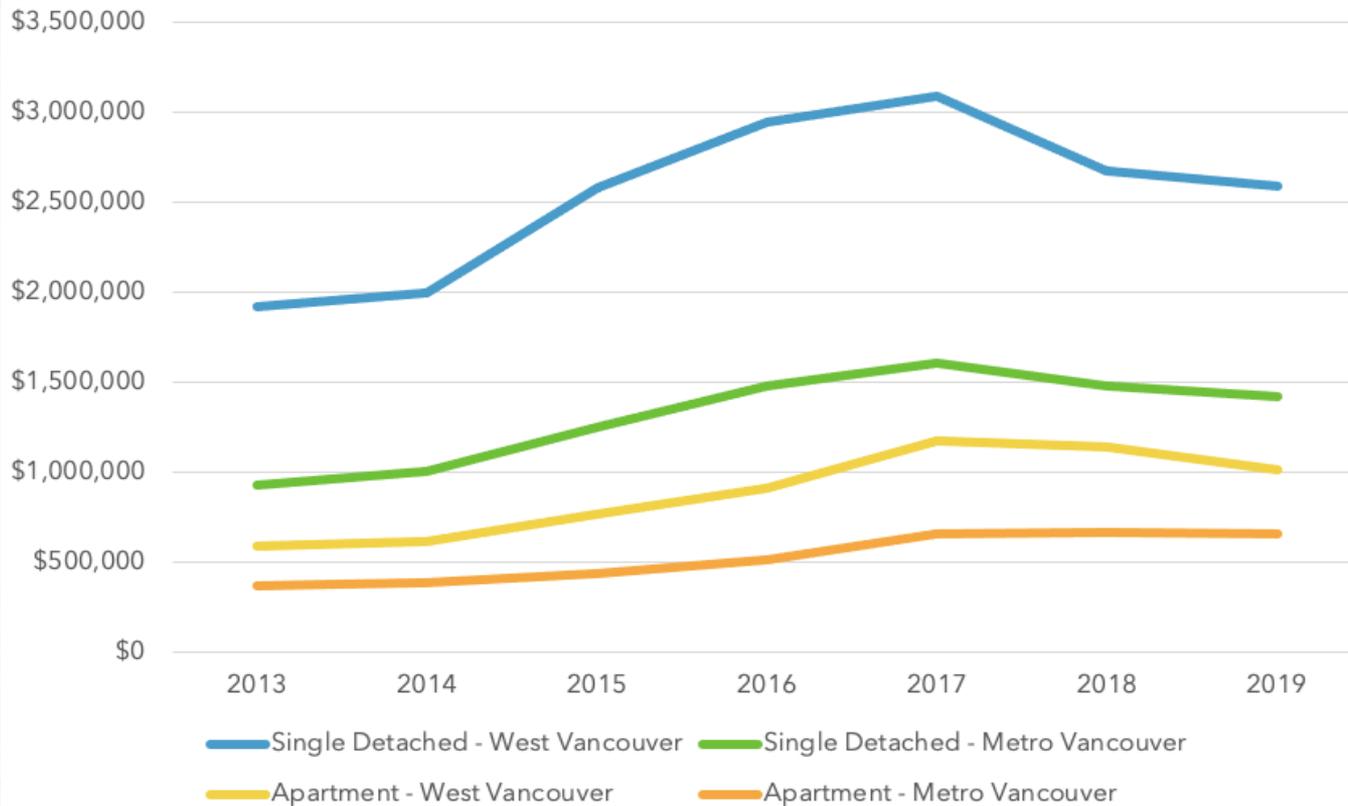
# | Key Findings - Rental Housing

## Rental Affordability - 30% Income Threshold (2019)

Unit Size	Average Monthly Rent	Minimum annual household income required to keep rent at 30% of income
1-bedroom	\$1,752	\$70,080
2-bedroom	\$2,586	\$103,440
3-bedroom	\$3,743	\$149,720
All Units	\$2,024	\$80,960

# | Key Findings - Home Ownership

## Sales Price by Structure Type - West Vancouver vs. Metro Vancouver (HPI Benchmark)



Source: Real Estate Board of Greater Vancouver

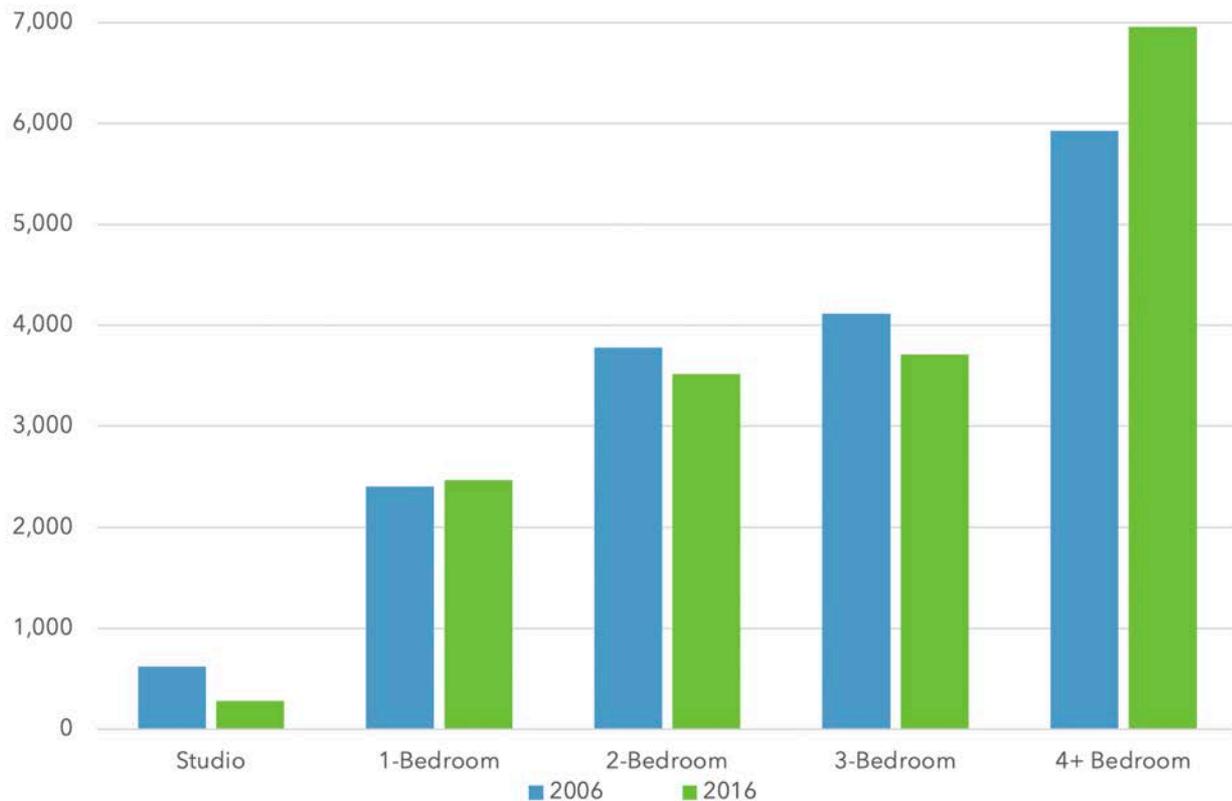
# | Key Findings - Home Ownership

Percentage Change in Median Sales Prices + Median Owner Household Income (From 2006 Levels)



# | Key Findings - Bedroom Type

## Occupied Private Dwellings by Number of Bedrooms (2006, 2016)



Source: Statistics Canada, Census of Population, 2006, 2016

## | Key Findings - Non-Market Housing

- Between 2015 and 2020...
  - Households receiving rent supplements decreased from 402 recipients to 349 recipients
  - Applicants on BC Housing's waitlist increased from 98 to 121 -- 55% seniors' households
  - Non-market units under BC Housing's purview increased from 495 to 725

# | Key Findings - People Experiencing Homelessness

- 2020 Metro Vancouver homelessness count found 121 individuals experiencing homelessness on North Shore
- 146 more people counted over 5 days in Supplementary Count
- = 212 individuals in total



# Housing Needs & Gaps

# | Anticipated Population

Projected Number of People and Households (2020 to 2026)

	2020	2022	2024	2026	Change 2020-2026
Total Number of People	44,600	45,300	46,100	47,000	<b>+2,400</b>
Total Households	17,700	18,100	18,500	18,900	<b>+1,200</b>
Household Size	2.52	2.50	2.49	2.49	<b>-0.03</b>

# | Housing Unit Projections By Bedroom Type

Unit Size	2016 (#)	2016 (%)	Scenario A (2026)		Scenario B (2026)	
			Net-New Units	Distribution	Net-New Units	Distribution
0-Bedroom	280	1.7%	32	1.7%	52	1.8%
1-Bedroom	2,470	14.6%	287	14.6%	432	15.4%
2-Bedroom	3,515	20.8%	408	20.8%	607	21.8%
3-Bedroom	3,710	21.9%	430	21.9%	766	23.7%
4+Bedroom	6,960	41.1%	808	41.1%	108	37.4%
<b>Total</b>	<b>16,935</b>	<b>100%</b>	<b>1,965</b>	<b>100%</b>	<b>1,965</b>	<b>100%</b>

# | Housing Needs & Gaps - Housing for Families

- Difficult for dual-income households to afford homeownership or the cost of rent for larger units
- Majority of housing completions are single-detached homes - out of reach for most young families
- Majority of apartment completions consist of seniors housing or luxury condominiums



## | Housing Needs & Gaps - Housing for Families

- OCP policy offers a framework to create more **housing choice**:

*“regenerate our primarily detached, single-family home oriented neighbourhoods with **sensitive infill options**, such as smaller houses on smaller lots, coach houses and duplexes”*

*“expand ‘missing middle’ housing options, like **triplex, townhouse and mixed-use**, in locations close to transit, shops, and amenities”*

*“continue to advance **family-friendly housing** through development approvals and ongoing community planning projects”*

# | Housing Unit Projections for Rental Housing

Household Type	2016	Scenario A (2026)		Scenario B (2026)	
		Net-New Units	Distribution	Net-New Units	Distribution
Renter	4,260	465	25%	843	27%
Owner	12,675	1,500	75%	1,122	73%
<b>Total</b>	<b>16,935</b>	<b>1,965</b>	<b>100%</b>	<b>1,965</b>	<b>100%</b>

Source: Statistics Canada, Census of Population, 2016; Metro Vancouver Terry Hoff Age-Cohort Model V.11

## | Housing Needs & Gaps - Rental Housing

- **Limited new supply.** Little new purpose-built rental construction in West Vancouver in 20 years, with exception of seniors' rental
- **Aging stock.** Existing purpose-built rental housing - approximately 98% is 40+ years old + vulnerable to redevelopment to strata use given zoning
- **Policy foundation.** OCP policies provide a strong framework to incentivize new rental construction + replace existing stock

# | Housing Needs & Gaps - Rental Housing

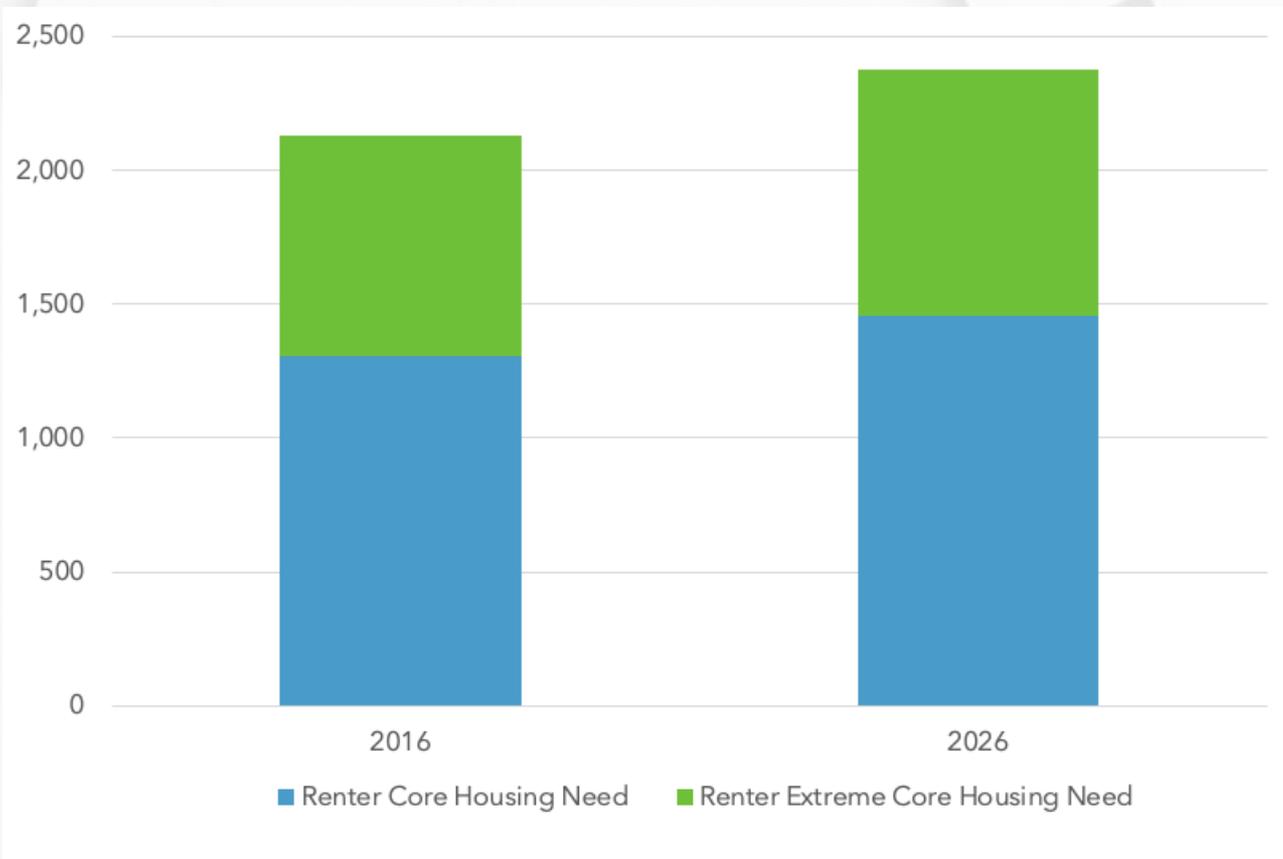
- **High rents.** Average cost of a rental apartment out-of-reach for median-income renter households
- **Labour force constraint.** Local employers struggling to recruit + retain employees; wages not reflective of high cost of housing
- Continue to advance **mid market rentals** through development approvals, community planning and tenant assistance policies



# | Housing Needs & Gaps - Affordable Housing & Shelter for Persons Experiencing Homelessness

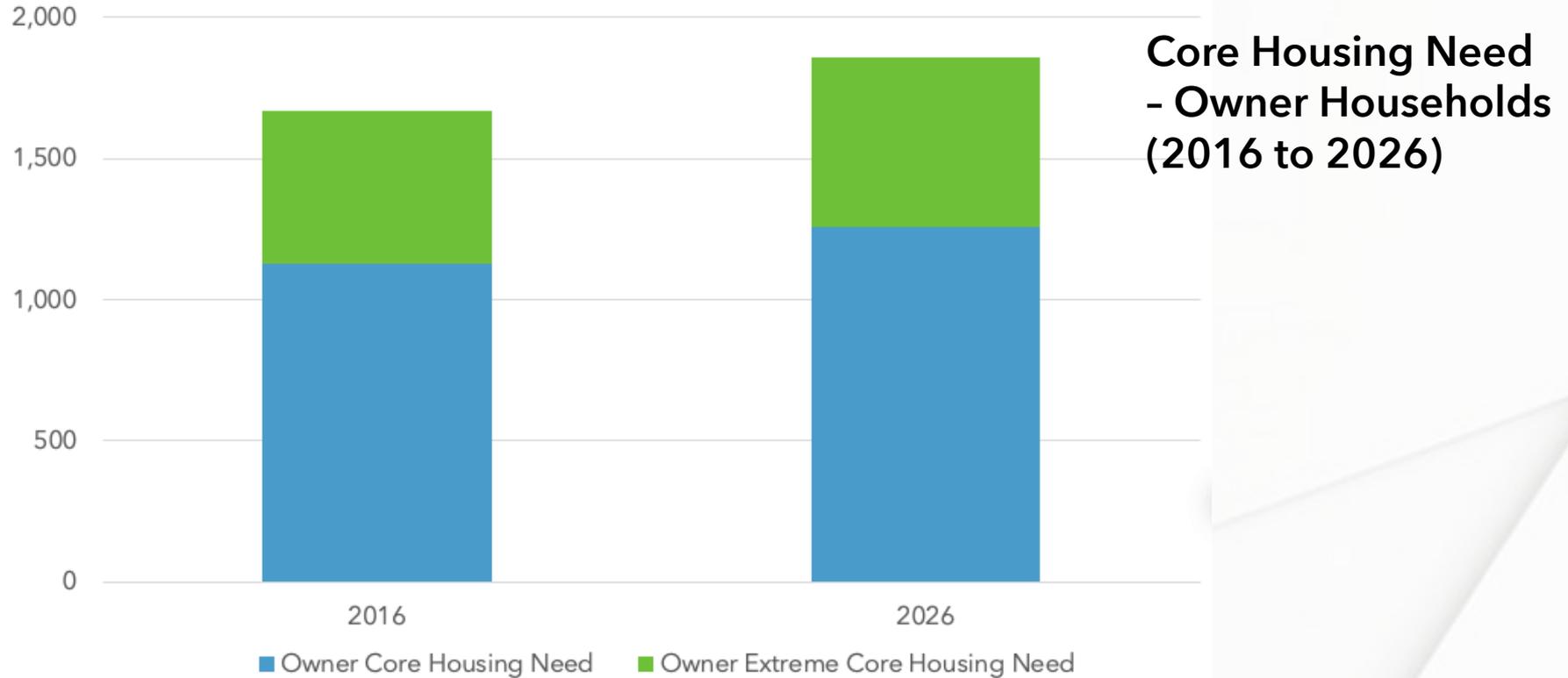
- **2,432 households (2016) do not live in acceptable housing** - does not meet one or more of adequacy, suitability, or affordability standards, and acceptable alternative housing would cost 30%+ of gross income
- If current trends continue, **2,714 households will be in core housing need in 2026**

# | Housing Unit Projections for Affordable Housing



**Core Housing Need -  
Renter Households  
(2016 to 2026)**

# Housing Unit Projections for Affordable Housing



# | Housing Needs & Gaps - Affordable Housing & Shelter for Persons Experiencing Homelessness

- West Vancouver to advance more **affordable homeownership options**, as well as **mid-market and non-market rental options**
- West Vancouver to continue **coordinated efforts to address homelessness** with other municipal and service partners across North Shore



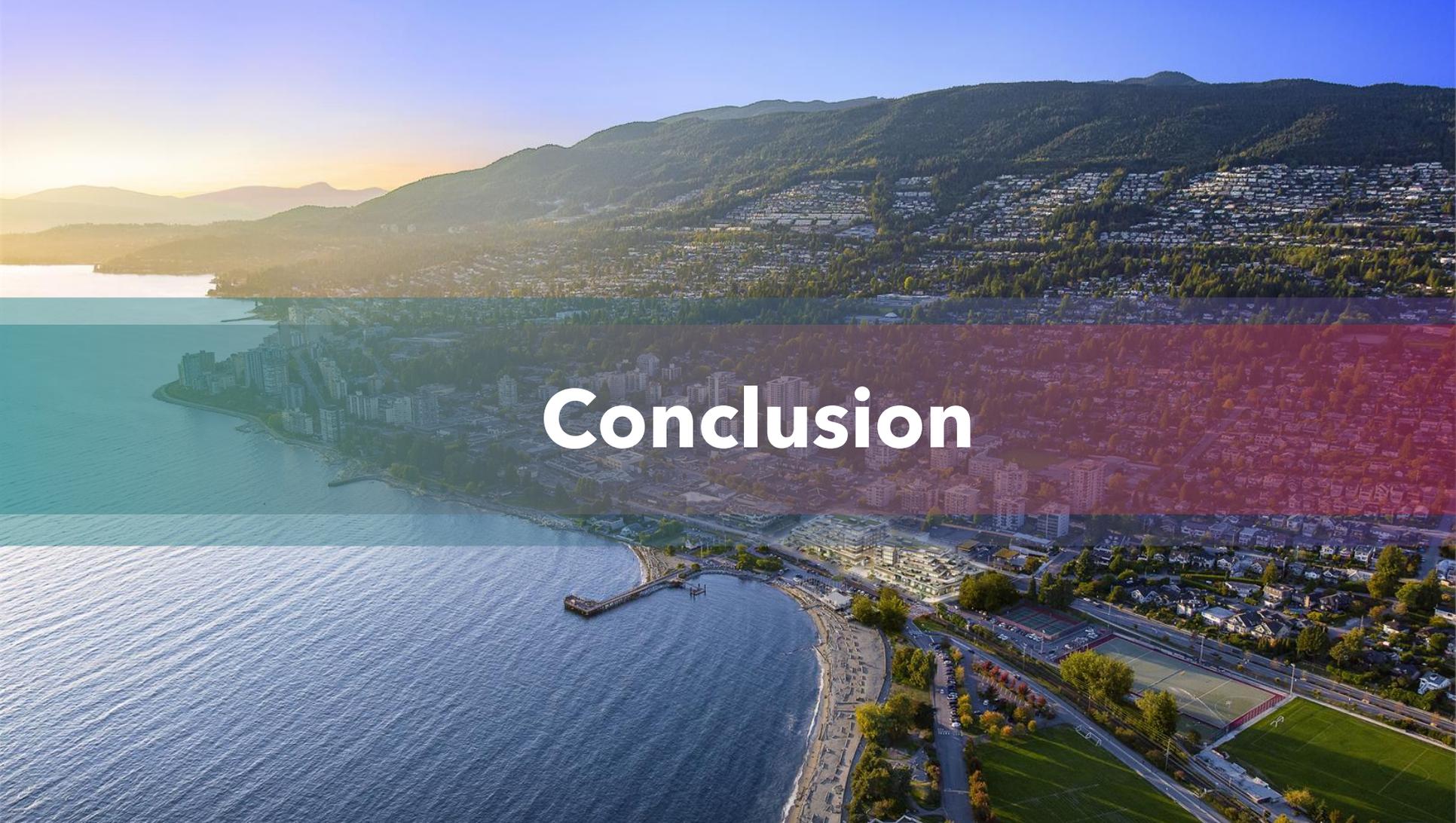
# | Housing Unit Projections - Seniors' Housing & Special Needs

- Between 2011 and 2019, **new seniors' units more than double OCP projections, but need remains**
- Number of **seniors on waitlist** for non-market housing **remained relatively constant** over last five years
- Likely additional seniors housing units will be required, from **800 to 1,100 units by 2041**. This to include seniors' non-market, market rental + housing with support services

# Housing Unit Projections - Seniors' Housing & Special Needs

- No substantial construction of special needs housing - seniors with mental and/or physical disabilities - in past 5 years
- Strong demand for accessible and adaptable units remains (consultation feedback)
- Future special needs units can be accommodated through in-home services + supportive housing units
- West Vancouver to consider development of accessible and adaptable design guidelines



An aerial photograph of a coastal city at sunset. The sun is low on the horizon to the left, casting a warm glow over the scene. The city is built on a hillside, with a dense residential area in the foreground and a more developed area with high-rise buildings near the water. The water is a deep blue, and the sky is a mix of orange and blue. The word "Conclusion" is overlaid in white text on a semi-transparent red banner across the middle of the image.

# Conclusion

## | Conclusions

- **OCP provides a strong framework to address housing affordability + diversity challenges**
- Seniors' are struggling to stay in community - **accessible housing** is needed to support aging-in-place
- A lack of affordable family-friendly housing options = decline in families with children - **smaller and relatively more attainable housing options** are needed close to schools and services
- A greater **diversity of housing forms** is needed to provide choice to residents

## | Conclusions

- High cost of rental housing and limited availability = **recruitment and retention** challenges for local employers
- **Rental housing a key priority.** Disproportionate number of renter households in core + extreme core housing need, consistently low vacancies, limited new rental supply + aging rental stock vulnerable for redevelopment
- There is a strong need to **incentivize new rental construction** and replace existing stock during redevelopment of rental apartments
- Development approvals, implementation of existing OCP, new policy initiatives, and regulatory changes will help to **advance housing affordability, accessibility, and sustainability**



**Thank you!**