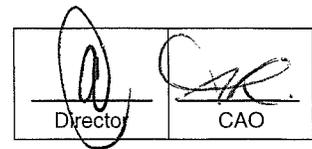


Date: March 31,
2014 Item # 10

DISTRICT OF WEST VANCOUVER
750 17th STREET, WEST VANCOUVER, BC V7V 3T3

10

COUNCIL REPORT

Attachments for item **10**
provided under separate cover

Date: March 12, 2014 File: 1010-20-12-084
From: Lisa Berg, Senior Community Planner
Subject: Official Community Plan Amendment, Rezoning and Development Permit No.
12-084 for 825 Taylor Way and 707 Keith Road (Maison Seniors' Living)

RECOMMENDED THAT:

1. Opportunities for consultation on the proposed Official Community Plan amendment, with persons, organizations, and authorities, as outlined in the report from the Senior Community Planner dated March 12, 2014, be endorsed as sufficient consultation for purposes of Section 879 of the *Local Government Act*;
2. Proposed "Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4783, 2014" be read a first time;
3. Proposed "Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4783, 2014" has been considered in conjunction with the District's financial plan and the regional waste management plan;
4. Proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 4784, 2014" be read a first time;
5. "Official Community Plan Bylaw No. 4360, 2014, Amendment Bylaw No. 4783, 2014" and "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 4784, 2014" be presented at a Public Hearing scheduled for April 16, 2014 at 6:00 pm in Council Chamber, Municipal Hall and that the Municipal Clerk give statutory notice of the scheduled Public Hearing which shall include notice of the Public Hearing to the owners and any tenants in occupation of all parcels of land as shown in the "Proposed Notification Area" in Appendix C to the report from the Senior Community Planner dated March 12, 2014 regarding the proposed development of 825 Taylor Way and 707 Keith Road (Maison Senior Living);
6. Development Permit No. 12-084 be presented at a Public Meeting scheduled for April 16, 2014 at 6:00 pm in Council Chamber, Municipal Hall, to be held concurrently with the Public Hearing scheduled for April 16, 2014 in Council Chamber, Municipal Hall, and that the Municipal Clerk give notice of the scheduled Public Meeting which shall include notice of the Public Meeting to the owners and any tenants in occupation of all parcels of land as shown in the "Proposed Notification Area" in Appendix C to the report from the Senior Community Planner dated March 12, 2014 regarding the proposed development of 825 Taylor Way and 707 Keith Road (Maison Senior Living); and

7. Proposed covenants for window blind operations and tree protection attached as Appendix H and Appendix I respectively to the report by the Senior Community Planner dated March 12, 2014, be presented as part of the development package.

Purpose

To provide Council with proposed bylaws serving to amend the Official Community Plan (OCP) and the Zoning Bylaw, a Development Permit for consideration, and proposed covenants for the redevelopment of 825 Taylor Way and 707 Keith Road for a seniors' assisted living and memory care residence.

Executive Summary

Maison Seniors' Living is a proposal for a private-pay (i.e. not publicly funded) seniors' assisted living and memory care residential facility with 103 beds in 91 bedrooms. The 1.6 acre site is located at the northwest corner of Keith Road and Taylor Way, across the street from the Evelyn by Onni Master Planned residential community. The proposal differs from other senior housing projects in West Vancouver, as it would provide a housing option for people who require help with certain daily activities (i.e. taking medications, personal hygiene, etc). There would also be specialized service for those people with memory care needs (i.e. dementia or Alzheimer patients, etc).

Milliken Developments has applied for an Official Community Plan amendment, a rezoning and a development permit. The proposal is to rezone the site from single family residential to allow for the proposed seniors' residential use with a Floor Area Ratio (FAR) of 0.98. The proposed building consists of a two-storey resident amenity wing and an attached three-storey residence wing and 40 parking spaces.

Council directed that community consultation take the form of consideration by the Design Review Committee (DRC) and at public meetings. The proposal was reviewed by the DRC at their meetings on July 25, 2013, October 17, 2013 and November 21, 2013. From these meetings, the proposal was revised by reducing the FAR from 1.1 to 0.98, re-designing the useable outdoor areas for residents, redesigning the building to address form and character and massing; and increasing the amount of landscaping.

Two well-attended public consultation meetings were held; on May 28, 2013 and on December 5, 2013¹. At these meetings, the District heard that the surrounding neighbourhood was opposed to the proposal and that they remain opposed to any development beyond that of single family residential. The District has also received correspondence in support of the proposal.

¹ 65 attendees were at the May 2013 meeting and 75 attendees were at the December 2013 meeting.

On January 27, 2014, staff reported to Council on the outcome of the DRC and public consultation meetings and was directed to prepare draft amending bylaws, a development permit and covenants for consideration. The amending bylaws would rezone the site and formalize the land use policy, while the development permit would control the form and character of the development. The covenants relate to window blind operations and tree protection. A Community Amenity Contribution (CAC) report was commissioned to determine the 'uplift' resulting from the rezoning. Based on the District's target of securing 75% of the uplift, a CAC of \$1,780,000 is recommended.

Should council support the recommendations outlined in this report, the bylaws would receive first reading and a Public Hearing and Public Meeting would be scheduled for April 16, 2014. Prior to the Public Hearing, the applicant will host a Public Information Meeting.

1.0 Background

1.1 Prior Resolutions

January 27, 2014: Council directed that the application advance in the application review process; that staff bring forward the necessary bylaws and development permit for Council consideration; and that staff bring forward draft covenants for window blind operations and tree protection as part of the development package.

October 7, 2013: Council directed that further community consultation on the application take the form of Design Review Committee consideration and a public meeting; and that staff report back on the findings of this consultation, and provide a complete review of the development proposal and recommended next steps.

April 8, 2013: Council directed that community consultation on the application take the form of Design Review Committee consideration and a public meeting in May 2013; and that staff report back on the findings of this consultation, and provide a complete review of the development proposal and recommended next steps.

1.2 History – Not applicable.

2.0 Policy

2.1 Official Community Plan

Redevelopment of this site is guided by OCP Policy H3 and H10.

Policy H3 recognizes that opportunities occur in limited site-specific situations where a housing need may be addressed in a manner that is consistent with the principles of the OCP. This policy specifies that applications for such site-specific zoning or OCP amendments within a single family area should apply in limited circumstances and be subject to Council's Public Involvement Policy and defined criteria; namely that development would have minimal impact on established areas in terms of access, traffic, parking and obstruction of views and the site would provide for a degree of physical separation (e.g. a road, green belt, alternate use, or change in natural grade) from the surrounding neighbourhood.

Policy H10 provides further direction for the review of this development application; specifically where a proposal is for seniors' housing.

Presently, the site is not within a Development Permit Area.

2.2 Zoning Bylaw

The site is currently zoned RS3 (Single Family Residential Zone 3), which establishes a minimum lot size of 1,115 square metres (12,000 square feet). The subject site could be developed with five single family lots under existing zoning.

3.0 **Analysis**

3.1 Discussion

The Site

The site consists of two properties: 825 Taylor Way and 707 Keith Road, and has a combined area of 6,434.5 square metres (see Appendix A – Context Map). It is bounded by Taylor Way to the east, Keith Road to the south with the Evelyn by Onni development across the street, and single family residential to the north and west. It has a north to south slope of approximately 15%. Stands of mature coniferous trees are located throughout the site and the southeast property line facing Taylor Way features a large boulevard evergreen hedge.

A single family house currently occupies each property that makes up the site. Neither of the two houses are considered to have architectural merit or heritage value.

The Proposal (Appendix J)

The proposal is for a private-pay seniors' assisted living and memory care residence of 103 beds. No independent living units are proposed. Key features of the proposal include:

- A Floor Area Ratio (FAR) of 0.98.

- A single building consisting of: a two-storey resident amenity and dining wing, and a three-storey attached residence wing consisting of 103 beds within 91 bedrooms.
- 40 parking spaces: 32 enclosed spaces within an underground parkade and eight surface spaces.

Proposed resident amenities are to include: common and private dining rooms, a theatre, a lounge and living room each with fireplaces, library, games space and meeting area and a bistro. Significant design features of the building are generous south-facing outdoor seating areas, a grand winding staircase within the amenity building, and secure outdoor access for memory care residents. Support areas are contained within the amenity building, including a primary kitchen, food service areas, staff offices and laundry.

The residence building features three levels of living, with secure memory bedrooms on the first level. This specialized living area contains 37 beds (within 31 bedrooms), a separate dining and activity area and an internal courtyard. Other features include: unique memory care therapy rooms, a wellness centre, bathing room, and access to a secure outdoor space to prevent resident wandering.

Levels two and three of the residence building contain 66 beds (34 beds within 31 bedrooms on the second floor and 32 beds within 29 bedrooms on the third floor). Each floor has activity and laundry areas, lounge space, a wellness centre and bathing room, and access to large south facing decks. Seniors on these floors will dine in the bistro or common dining room, use the private dining room for family gatherings, watch a movie, sit by one of the two fireplaces and generally interact with other residents on these levels.

See Appendix D for the complete Project Profile. Appendix J sets out the proposed Development Permit (with the design booklet attached as Schedule A).

Assessment of the Project

Overall

The applicant has put forward a high quality proposal for the redevelopment of the site that is consistent with the OCP's objective of creating alternative housing for seniors and would fill a housing gap within the community for seniors with special needs.

The applicant has revised the proposal in an attempt to respond to concerns raised by the adjacent neighbours and recommendations of the DRC, although the neighbours remain opposed to the proposal. The main revisions include:

- reducing the initial proposed density from 1.1 to 0.98 FAR;

- sinking the building into the ground to reduce the overall massing and height of the building relative to the properties to the north;
- creating a greenbelt around the property through tree retention, additional tree and vegetation plantings, and retention of the boulevard hedge along Taylor Way and at the corner of Keith Road (to be secured through a covenant);
- revising the architecture, window placement and materials to achieve a cohesive look so that the building stands on its own architectural merit;
- orienting the amenity wing to Keith Road and Taylor Way, which contains the most 'active' parts of the building (outside decks and patios, the main kitchen and laundry areas, dining rooms, etc);
- focusing the orientation of the resident wing to the south, away from the residents to the north and west;
- locating the singular driveway access and delivery and parkade entrance internal to the site, to:
 - increase the distance of the driveway from the intersection of Keith Road and Taylor Way; and
 - separate the driveway and eight surface parking spaces away from side or rear yard setbacks with adjacent residential uses;
- restricting parking for staff and visitors; no resident parking is permitted (and many, if not most residents will not drive or own cars), and providing a dedicated parking space for the resident shuttle bus/van;
- increasing the amount of useable outdoor space for residents by providing 123 outdoor seats over a combined area of 8,920 square feet.

In addition to the design responses, the applicants would also willingly enter into covenants for window blind operations and tree protection with the District in response to resident concerns over privacy and light pollution. The District will also facilitate fence replacement between the adjacent neighbours and the applicant, if desired, should the project be approved.

Demonstrated Community Need

The Canadian Mortgage and Housing Corporation (CMHC) completed a seniors' housing report in 2013 that discusses the increasing demands for seniors' housing in British Columbia.

The report demonstrates the low vacancy rates for various types of seniors' residential facilities in the province. The report shows that the *"increasing demand for seniors' housing in the province was supported by the growth of seniors' population. It was estimated that in 2013, there were 339,968 people aged 75 years or older in British Columbia, and 27,723 people were living in seniors' housing complexes. Both numbers were higher than the levels a year ago."*²

The report further states that the *"number of heavy care spaces³ surveyed and available to British Columbia seniors was 7,192 units in 2013. The average vacancy rate at the provincial level was 2%.⁴"* Average rents were looked at in conjunction with 'heavy care spaces' and concluded that the increase in *"average rents across the regions coupled with stable vacancy rates reflected a high demand for heavy care spaces in the province"* and that *"the need for medical attention generally increases with age. Strong demand for this type of seniors' housing is consistent with the growing seniors demographic in British Columbia."*

Based on 2011 census data, the CMHC report shows that of seniors aged 65 to 84, the majority live in private dwellings and a smaller percentage (3%) live in collective dwellings. These collective dwellings include assisted living and other types of senior housing arrangements. The numbers dramatically change as seniors age. Seniors aged 85+ are more likely to live in a collective dwelling (31%).

The data shows that while most seniors would prefer to live independently or in a private dwelling, the likelihood of needing more care rises with age. The report suggests that those elderly seniors or those with special needs would likely agree to living in collective arrangements such as assisted living or other long-term care facilities.

² Canadian Mortgage and Housing Corporation (CMHC), Seniors' Housing Report, British Columbia, 2013, page 3.

³ CMHC defines a 'heavy care space' as a space where the residence provides 1.5 hours or more of healthcare per day to the resident.

⁴ CMHC, Seniors' Housing Report, British Columbia, 2013, page 4.

Aligned with these statistics, West Vancouver's population has aged over the past several decades. There are 10,865 seniors aged 65+ in West Vancouver, representing a 25% of the total population. There are 3,750 seniors aged 80+ in West Vancouver, representing 35% of the total seniors population. The aging trend is expected to continue and projections indicate that 30% of West Vancouver's total population will be 65+ within 20 years.

As confirmed by the CMHC report, older seniors have significantly different housing and service needs compared to younger seniors. In 2005, Lionsview Seniors Planning Society undertook a survey on seniors housing needs across the North Shore. The findings from this survey highlighted the need for more housing options for seniors that would allow them to remain in the community as they age.

Over half the respondents indicated that they would need to move from their homes in the future, and 35% of West Vancouver seniors expected that they would have to move within five years. In terms of future housing needs, 68% of West Vancouver seniors responded that they anticipated having to move into an assisted living development.

The Community Dialogue on Neighbourhood Character and Housing (2008) further supported the lack of housing options for seniors in West Vancouver and identified housing for seniors as the most needed housing form in the community (71%).

The proposal would assist in filling this demonstrated housing need for seniors.

Appropriate Location

The proposed location of the project has been examined in terms of appropriateness. The Zoning Bylaw was reviewed and other areas were looked at to determine if the community would be better served if the project was located in a different neighbourhood.

Upon reviewing the Zoning Bylaw, it is concluded that there are no sites with appropriate zoning that would allow the application as proposed. Sites zoned for other seniors' residential uses are within a variety of zones, none of which align with the proposal. In all cases, permitted land uses, siting, building height, number of storeys, setbacks or other criteria do not match up. Thus, a rezoning and potentially an OCP amendment would be required to accommodate the development on any other site. A comparison chart comparing the proposed development with a selection of zones was produced and distributed to Council and posted on the website.

Accepting that an OCP amendment and a rezoning would be required to accommodate the proposal anywhere else in West Vancouver, other areas were looked at to see if there was a better fit for the project than the site that is proposed. Areas that see a concentration of seniors' housing facilities, such as those located around the Community and Seniors' Activity Centres or in the Ambleside Apartment Area, are built out or land assemblies would be required. Adding more seniors' housing into these areas would generally displace an existing land use. The proposed site is also unique in that it is currently available for redevelopment.

Other areas located further away from the main commercial and service sectors of West Vancouver could promote isolation rather than integrating the proposed seniors' housing within the community fabric. Such a facility should be located within close proximity to existing services and amenities and which is easily accessed. The appropriateness of a location is also dependent upon the type of senior facility and the level of independence of its residents.

The applicant has proposed the site at Keith Road and Taylor Way as it is located on a major arterial that is within close proximity to Park Royal and on a public transportation route, which would be desirable for employees and visitors. One does not have to drive through a single family neighbourhood to access the site. Other senior residences located near the Taylor Way corridor shows that the area supports seniors' housing, given the proximity to transit and near-by commercial shops and services.

Although the site slopes, this is not a hindrance to the assisted living and memory care community that is proposed. Seniors who live in assisted living developments have different mobility needs than those seniors who live in independent communities. Seniors with assisted living needs generally do not independently leave the site for day-to-day needs on their own, they do so with assistance.

In summary, the proposed assisted living and memory care facility is a residential development to serve a seniors population, and it would fill a gap on the spectrum of seniors' housing needs. Locating the development on any other site in the community would involve a potential OCP amendment, a rezoning, possible land assembly and would displace an existing development. It is not evident that West Vancouver residents would be better served by locating the proposal elsewhere, even if those properties were available.

Opposition & Support of the Proposal

The neighbourhood, particularly the residents north of the site on Eden Place, are opposed to the development. The residents have been clear that they are opposed to any development beyond that of single family residential on the site. The District has received letters, comment sheets and questionnaires (from the consultation meetings), emails and petitions voicing neighbourhood concerns and opposition to the proposal. Residents have expressed concerns over 'spot zoning' (i.e. rezoning the individual site in on the edge of the neighbourhood) at this location. Some residents expressed fear that, over time, the Taylor Way corridor (Highway 99) could be completely transformed or deteriorated as a result of introducing the proposed seniors' residence into the area; however, it is important to note that Taylor Way lends itself to a variety of land uses, including commercial, institutional, multifamily, and seniors in addition to single family. Many residents remain concerned over traffic, parking, and changes to neighbourhood character.

The District has also received letters, comment sheets and questionnaires, emails and a petition in support of the development proposal. Supporters feel that the greater good of supplying a needed form of housing for seniors' with special needs in the community outweighs the concerns raised by the neighbours, and that the proposal has been refined to address many of those concerns. Supporters see the desire to have this type of housing supplied in West Vancouver and believe that the location is a good choice for the proposed use.

Common to these viewpoints is the need to define the site proposed for land use change, and to 'contain' the development. Establishing the corner site for the proposed seniors' assisted living and memory care would generally meet the OCP's H3 policy criteria for consideration of this development application, and would establish a defined boundary for the introduction of this specialized housing development at this location.

Specifically, the OCP amendment would:

- designate the site for seniors' assisted living and memory care development (land use designation);
- limit the density to 0.98 FAR; and
- designate the site as a Development Permit Area to regulate the form and character of the proposed building and landscaping (to ensure what is proposed is what is actually built).

Background Studies

The applicant supplied various background reports and studies to support their proposal including (all are posted in full to the District website):

- a. **Shadow Study:** to determine sun/shade impacts to the adjacent neighbours as a result of the desired landscape screening, tree planting and tree retention. The study reveals that the additional plantings will not impact access to sun light from what is currently experienced, due to the retention of large mature conifer trees;
- b. **CBRE Report:** an initial report to analyze publicly funded and private-pay assisted living and/or memory care accommodation for seniors in West Vancouver. The study concludes that there are 70 private-pay assisted living spaces, including 36 licensed intermediate care beds at another facility. 390 publicly funded spaces were inventoried and 76 subsidized retirement/independent units were found. In total, the study (dated August 7, 2013) reveals that there are 536 units/beds providing various levels of care (independent living through to specialized care levels) to seniors in the community.
- c. **Altus Group Report:** a market overview report for the assisted living and memory care in West Vancouver. The purpose of the report was to examine the demands for a luxury assisted living and memory care residence. The study (dated February 15, 2012) concluded that the market is underserved with respect to the proposed seniors' residence, with a potential demand for 900 seniors relative to the supply of 70 units. The study bases this finding on long wait-lists at other similar facilities in the region.
- d. **Civil Servicing Design Brief:** this brief gives an overview of the civil servicing requirements for the proposed development, the offsite municipal infrastructure capacity and any special design requirements or offsite upgrades required to service the development. No significant off-site infrastructure upgrades were identified.
- e. **Environmental Site Investigation:** this investigation was to search for potential environmental contamination on the site. No significant issues were revealed.
- f. **Traffic Impact Study:** this study was prepared by MMM Group, a professional traffic consulting company. Generally, the study concludes that the driveway to the site would function properly, confirms that the intersection at Keith Road and Taylor Way, with or without the proposed development, will function at current levels; additional intersection upgrades as a result of the proposal are not required; and the parking supply is adequate.
- g. **Technical Parking Memo:** the applicant provided a supplementary parking memo to detail the conclusions on how 40 parking spaces for the development was determined to be adequate, and exceeds the bylaw requirement and parking demands at sites with similar uses.

- h. **Tree Assessment:** a detailed arborist report was provided that inventoried existing trees and vegetation on the site, identified trees that would be retained or removed. A Tree Protection Plan was included, which forms the basis of the tree protection covenant.

Community Amenity Contribution (CAC)

An assessment of the potential 'lift' in land value resulting from the rezoning was commissioned by the District and completed by Burgess Cawley Sullivan & Associates (see Appendix E). It is District practice that 75% of the estimated 'land lift' is to be returned to the District as part of a CAC.

The analysis concludes an uplift value of \$2,367,000.

Using the target of 75% uplift from rezoning, a public amenity contribution of \$1,780,000 is recommended and has been agreed to by the applicant.

Implementing Bylaws

The proposal would require an OCP amendment to formalize land use policy direction for the site and establish Development Permit Guidelines, and an amendment to the Zoning Bylaw to set the specific parameters of development.

Official Community Plan Amendment (Appendix F)

Proposed "Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4783, 2014" would establish the site as a comprehensive development area for a seniors' assisted living and memory care residence, not exceeding a density of 0.98 FAR through proposed Policy BF-B14. The OCP amendment would designate the site as a Development Permit Area, with corresponding built form guidelines, to regulate the form and character of the proposed assisted living and memory care residence.

Zoning Bylaw Amendment (Appendix G)

The new zone (CD51 – Comprehensive Development Area 51 NW Corner Taylor Way & Keith Road) would be a site-specific zone that would reflect the development proposal. The proposed CD51 zone would regulate the land use based on the proposal:

- a. Permitted Uses: assisted living, memory care and incidental uses associated with the assisted living and memory care uses. Self-contained dwelling units are prohibited.
- b. Maximum FAR of 0.98.
- c. Maximum 42% site coverage.
- d. Establishes the minimum setback requirements:

- a. Front (south): 4.5 metres
- b. Rear (north): 12.8 metres
- c. Side (east): 4.0 metres
- d. Side (west): 10.5 metres
- e. Maximum building height of 14.5 metres with a two-storey amenity wing and a three-storey residential wing.
- f. Minimum parking requirement of 1 space for every 3.3 beds, with a minimum of 40 spaces.

Covenants

Two covenants are proposed as part of the development package. They are for:

- **Window Blind Operations:** the applicant covenants with the District to close the blinds along the north elevation of the building (the rear) each night by 8:00 p.m. and they will not be open before 6:00 a.m. the next day for light pollution mitigation and privacy.
- **Tree Protection:** the applicant covenants with the District that it is in the public interest to protect and preserve trees and vegetation on the site, in keeping with the Tree Retention Plan. The covenant includes language for the retention and protection, as well as language on how to deal with any hazard trees.

The proposed covenants are attached as Appendix H and I.

4.0 The Process of Bylaw Consideration

4.1 Consultation on OCP Amendment

Section 879 of the *Local Government Act* requires that one or more opportunities be provided for appropriate consultation with persons, organizations and authorities Council considers will be affected by an OCP amendment.

Community consultation regarding the proposed development has included:

- **Applicant-Organized Meetings:** The applicant hosted a series of neighbourhood meetings prior to submitting an application and during the application review process to get input from residents on the proposal and to understand their concerns so that the application could be informed and designed to respond to those concerns. Meetings and site visits between the applicant and residents took place on:
 - 2012: June 6, June 7, and June 26 (*all prior to making an application, which was submitted on December 13, 2012*)

- 2013: June & July for site photographs, August 16, October 5 and December 5

Descriptions of each meeting can be found within the development booklet, on page 8 of Schedule A (found attached to Appendix J).

- **District-Organized Meetings:** As part of the consultation process established by the District, two community consultation meetings were held. The first meeting was held on May 28, 2013 at the West Vancouver Memorial Library. The second meeting was held on December 5, 2013 at the West Vancouver Seniors' Activity Centre. Notification to each meeting was by direct postal mailing to a defined area approved by Council, placement on the District website, and on the Community Calendar. Both consultation meetings were well attended. Representatives of the Preserve Sentinel Hill Neighbourhood Committee⁵ displayed materials at the December 5, 2013 meeting.
- **Website:** The District has hosted information about the proposal on its website.
- **Design Review Committee:** The DRC reviewed the project, and its successively refined versions, on three separate occasions on July 25, 2013, October 17, 2013 and November 21, 2013. At the October 17, 2013 meeting, the DRC acknowledged that this (the proposed seniors' residence) is an appropriate use for the site, and recommended support of the application at the November 21, 2013 meeting.
- **Public Information Meeting:** Should Council give the proposed bylaws first reading and forward the proposal onto a Public Hearing, the applicant will organize and publicize a Public Information Meeting to be held prior to the Public Hearing.

Appendix B sets out the Application Review Process Flowchart.

4.2 Consideration of OCP Amendment

The Act requires that, after first reading and before a Public Hearing of an OCP amendment, Council must consider the plan (or amendment to the plan) in conjunction with its financial plan and any waste management plan that is applicable in the municipality or regional district.

⁵ The Sentinel Hill Neighbourhood Committee is a community group, which describes itself as a group that focuses on the preservation of existing land uses within the Sentinel Hill Neighbourhood.

Financial Implications

The financial plan is both the long term capital plan and operating budget for the District. The proposal will provide increased property tax revenue over the current uses on the site. In addition, the proposed community amenity contribution of \$1.78 million will flow into the District's amenity reserve account(s) and provide financial capacity for future amenity projects to be determined by Council.

The proposed OCP amendment to facilitate the redevelopment of the site for private-pay seniors' assisted living has been reviewed by the Chief Financial Officer in conjunction with the District's financial plan and is consistent with it.

Regional Waste Management Plans

The proposed OCP amendment to facilitate the redevelopment of the site for private-pay seniors' assisted living has been reviewed by the Director of Engineering & Transportation in conjunction with regional waste management plans and is consistent with them.

4.3 Consideration of bylaws and Development Permit

Following first reading of the bylaws, District staff will schedule the Public Hearing and make arrangements for notification (via direct mailing, newspaper advertisement, website placement, etc.). Concurrently with the public hearing (at the same meeting) Council provides an opportunity for those who consider that they are affected by the proposed Development Permit to make written and/or oral representations to Council.

After the closure of the Public Hearing (on the same night or a different night) Council may give second and third readings to the bylaws. After second and third reading of the bylaws and at a subsequent Council meeting, Council may adopt the bylaws once District staff confirm any conditions precedent to adoption have been met (see Section 4.4 below). Once the implementing bylaws have been adopted, Council may authorize issuance of the Development Permit and pass a resolution to enter into covenants for window blind operations and tree protection.

4.4 Conditions Precedent to Adoption

Prior to final adoption of the amending bylaws and approval of the Development Permit, legal documentation will be required to secure the allocation of density (through site consolidation or via a 'no build' covenant), executions of covenants in favour of the District, and payment of the Community Amenity Contribution. Additionally, Ministry approval will be required on the proposed rezoning bylaw prior to adoption.

4.5 Sustainability

The applicant has provided a sustainability strategy which includes targets related to the tree tenets of sustainability: Social, Environmental and Economic (SEE) indicators. The sustainability strategies are set out in the development proposal, including provisions for solar hot water heating systems, which will form a part of the Development Permit. The proposed development permit includes language for the provision of a solar hot water heating system.

4.6 Consultation/Communication

The application has been presented at two Community Consultation Meetings and was considered by the Design Review Committee on three occasions. Project updates, including all of the information received through the consultation process, are posted to the District website.

Should Council choose to consider first reading of the bylaws, District staff will make preparations for the Public Hearing and concurrent Public Meeting and provide notification via direct postal mailing (Appendix C), newspaper advertisement, email updates and placement on the District website. In addition, the applicant will be required to organize, publicize and facilitate a Public Information Meeting (open house style, at St. David's United Church) after first reading but before the Public Hearing/Public Meeting so that residents can learn more about the proposal before the Public Hearing.

4.7 Conclusion

Staff recommends that Council give first reading to the amending bylaws and set the date for a Public Hearing and concurrent Public Meeting given that:

- the project is consistent with the OCP objective of creating alternative housing for seniors and would fill a housing gap within the community for seniors with special needs;
- the project has been revised to minimize its impact on adjacent properties;
- the project includes covenants to secure privacy through tree protection and minimize light pollution through window blind operations (at the request of the residents);
- the project's traffic impacts are minimal.

5.0 Options

(as recommended by staff)

- A. Introduce and give first reading to the implementing bylaws (Appendices F and G), consider the Development Permit (Appendix J) and the proposed covenants (Appendix H and I) concurrent with the bylaws, and set April 16, 2014 as the date for the Public Hearing and Public Meeting;

(or, alternatively)

- B. Same as Option A, but set a different Public Hearing date; or
- C. Provide different or modified direction (to be specified) and/or request additional information (to be specified); or
- D. Reject the application.

Author:



Lisa Berg, Senior Community Planner

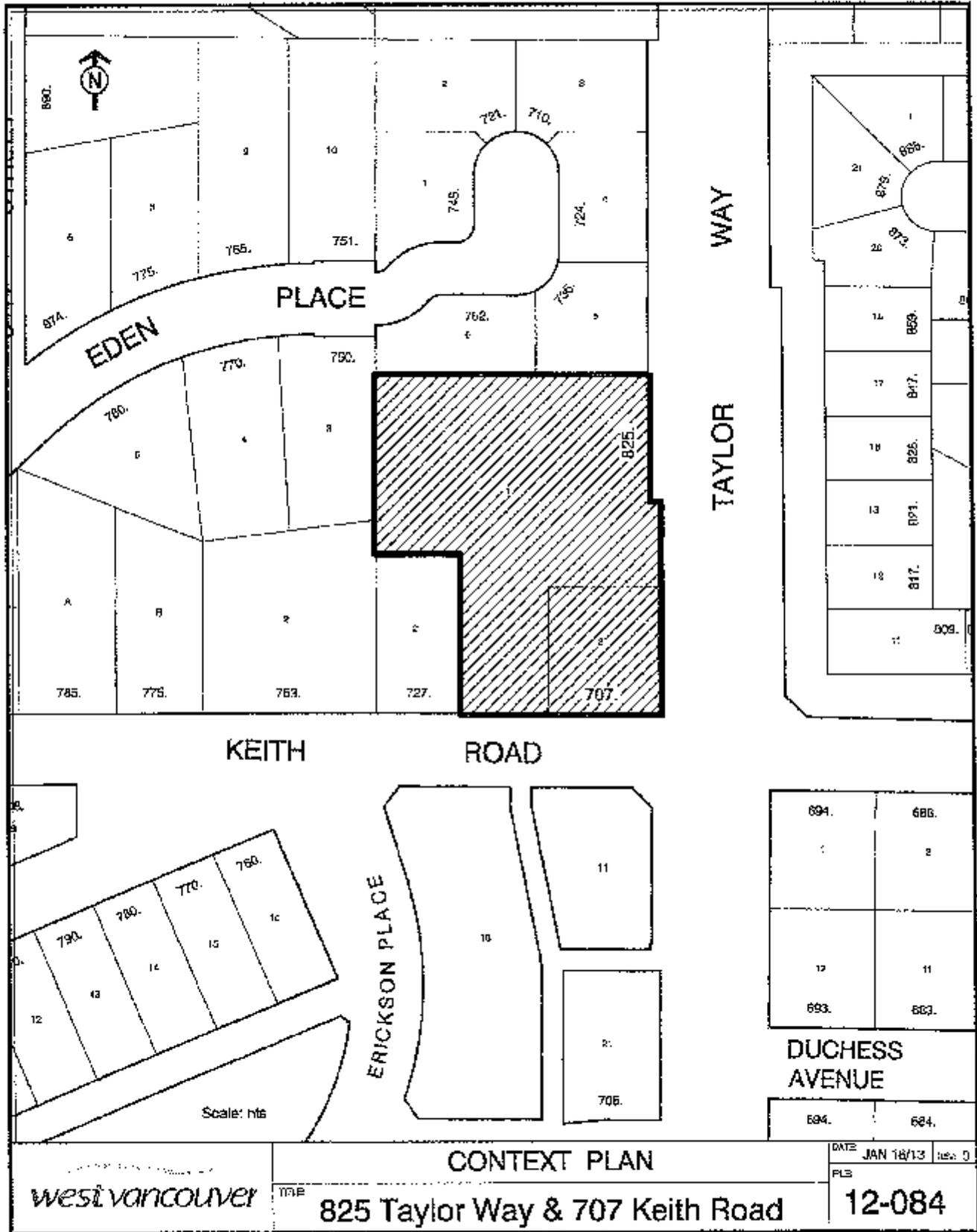
Appendices:

- A. Context Map
- B. Application Review Process Flowchart
- C. Notification Area
- D. Project Profile
- E. Report by Burgess Cawley Sullivan & Associates: Potential Land Lift in Rezoning
- F. Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4783, 2014
- G. Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 4784, 2014
- H. Window Blind Operations Covenant
- I. Tree Protection Covenant
- J. Development Permit No. 12-084 (with design booklet attached as Schedule A)

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APPENDIX A: CONTEXT MAP

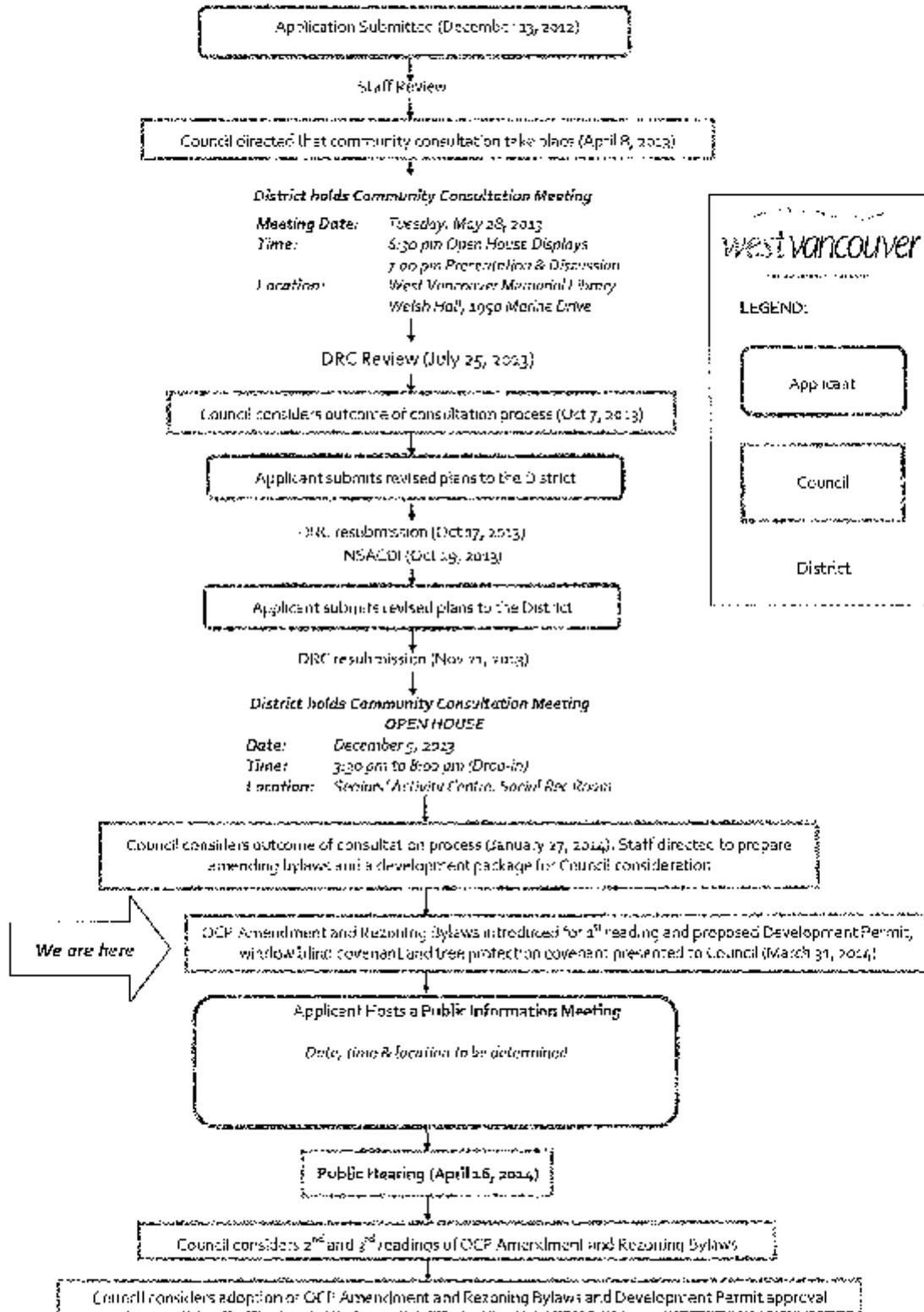


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APPENDIX B: APPLICATION REVIEW PROCESS FLOWCHART

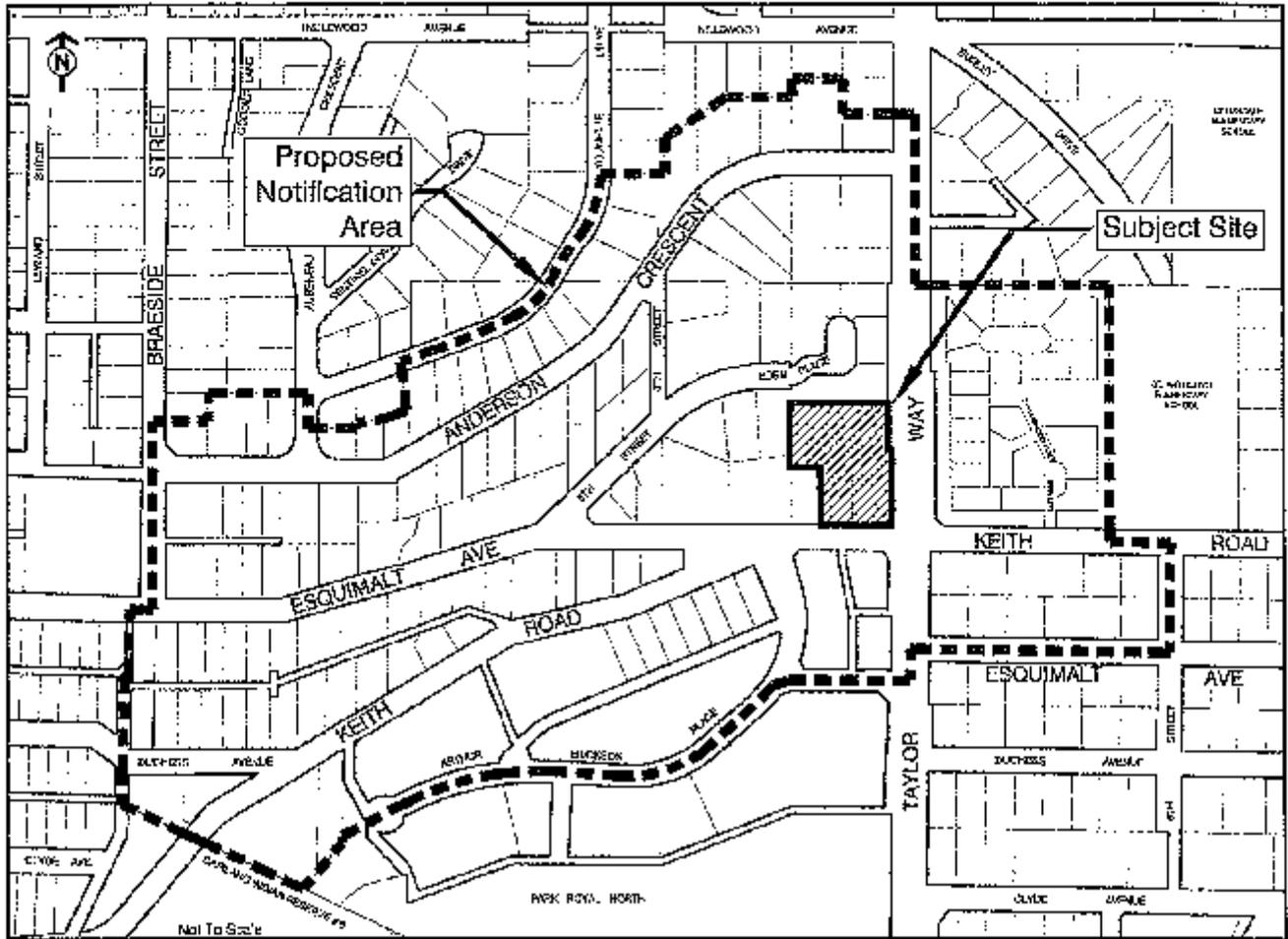
MAISON SENIORS' LIVING – OFFICIAL COMMUNITY PLAN AMENDMENT, REZONING & DEVELOPMENT PERMIT NO. 12-084 PROCESS FOR CONSIDERATION



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APPENDIX C: NOTIFICATION AREA



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APPENDIX D: PROJECT PROFILE

at March 12, 2014

| | |
|-----------------------------------|---|
| Application: | OCP/RZ/DP No. 12-084 |
| Project: | Maison Senior Living Residence |
| Applicant: | Milliken Development Corporation (for the owners) |
| Address: | 825 Taylor Way and 707 Keith Road |
| Previously Before Council: | January 27, 2014 (direction to prepare amending bylaws and a development permit package) |
| Other Comments: | An Official Community Plan (OCP) Amendment, Rezoning and Development Permit to a Comprehensive Development (CD) zone for a seniors' assisted living and memory care facility consisting of 103 beds (in 91 bedrooms). |

| | EXISTING ZONE: RS3 | PROPOSED ⁶ CD51 ZONE: |
|---------------------------------|--------------------------------|--|
| 1. Gross Site Area: | 1,115 m ² (minimum) | 6,434.5 m ² |
| 2. Floor Area Ratio: | 0.35 | 0.98 |
| 3. Site Coverage: | 30% | 42% |
| 4. Setbacks: | | |
| Front Yard (south, Keith Road): | 9.1 m | 4.5 m |
| Rear Yard (north): | 9.1 m | 12.8 m |
| Side Yard (west): | 1.52 m | 10.5 m |
| Side Yard (east, Taylor Way) | 1.52 m | 4.0 m |
| Side Yard-Combined: | 1.9 to 12.1 m | 14.5 m |
| 5. Building Height: | 7.62 m | 14.5 m |
| 6. No. of Storeys: | 2 plus basement | Amenity Wing: 2 storeys Residential Wing: 3 storeys |
| 7. Parking: | 1 per unit | 1 per 3.3 beds (minimum 40 spaces to be provided) |

⁶ Source: Information provided by applicant

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**BURGESS
CAWLEY
SULLIVAN
& ASSOCIATES LTD.**

APPENDIX E

ACCREDITED REAL ESTATE APPRAISERS, MARKET ANALYSTS, INVESTMENT AND PROPERTY TAX CONSULTANTS

October 4, 2013

Our Ref: A13094661LA

District of West Vancouver - Planning, Lands & Permits
750 17th Street
West Vancouver, B.C.
V7V 3T3

Attention: Ms. Lisa Berg

Dear Madam:

Re: **POTENTIAL LAND-LIFT IN REZONING FROM SINGLE-FAMILY TO SENIORS' RENTAL
825 TAYLOR WAY AND 707 KEITH ROAD, WEST VANCOUVER, B.C.**

Introduction

Further to your request, we have prepared a letter of opinion relating to the above-mentioned property and the "lift" in overall value in rezoning from the existing single-family use to that of seniors' rental. More specifically, the subject property comprises two single-family lots at the northwest corner of Taylor Way and Keith Road. The developer of the subjects lot has put forward an application to develop a three-storey seniors' assisted living and memory care facility consisting of 103 beds. An F.A.R. of 0.98 is proposed, in addition to a site coverage of 33%. A total of 40 parking spaces will be provided, with 32 featured in an underground parkade and eight on the surface.

This letter constitutes our professional opinion based upon a cursory review of recent real estate market activity and is not to be considered an appraisal. It is prepared as a consulting letter, at the request of the addressee, for the sole purpose of reviewing the market and the conclusions are not to be conveyed to other parties, such as mortgage lenders or parties with whom the addressee is negotiating, without prior reference to the letter's signatory.

The scope of our work included, but was not limited to, the following:

- Inspection of the subject property as at October 8, 2013, effectively the date of valuation. The interior of the home at 707 Keith Road was inspected while the interior of the home at 825 Taylor Way was unavailable for inspection
- Review of planning documents provided by the District of West Vancouver
- Review of single-family land sales comparables
- Review of development land sales relating to seniors' projects
- Discussions with agents and market participants familiar with the subject property and the overall North Shore market.

Background

The subject property is located at the northwest corner of Taylor Way and Keith Road, offering an irregularly shaped parcel. The subject offers frontage of approximately 313 feet along Taylor Way and approximately 183 feet along Keith Road. The site slopes downward from north to south, resulting in a

change in topography of some 40 feet. The subject is surrounded by single-family uses, while a significant redevelopment is occurring south of the subject across Keith Road.



The subject location is conveniently accessed along Taylor Way and Keith Road. Immediately to the south, the Omni Group is in the midst of developing Evelyn, a new multi-family community with some 350 homes in a variety of unit sizes and price points. This project will be developed in phases, given the various clusters of buildings configured throughout the site. This project sits immediately north of Park Royal, a popular regional shopping centre servicing the North Shore market.

The subject consists of two large lots that are each improved with single-family homes. As a combined development site, the subject comprises a total site area of 69,261 sq.ft. and is regulated by RS3 zoning, a single-family designation that offers a minimum site area of 12,000 sq.ft. and width of at least 80 feet. The maximum allowable density is 0.35 given that each lot must exceed 7,287 sq.ft. The maximum allowable height is set at 25 feet. The commissioner of this report indicates that five single-family lots would be accommodated on the subject lands if both sites were redeveloped together. For further details relating to the RS3 zoning designation, we would refer the reader to District of West Vancouver website.

The proposed project requires rezoning under the Official Community Plan Policy H3 and H10. The H3 policy recognizes that opportunities occur in limited site specific situations where a housing need may be addressed in a manner that is consistent with the Principles of the OCP. This policy specifies that

applications for such site specific zoning or OCP amendments within a single family area should apply in limited circumstances and be subject to Council's Public Involvement Policy and defined criteria; namely that development would have minimal impact on established areas in terms of access, traffic, parking, and obstruction of views and the site would provide a degree of physical separation (e.g. road, green belt, alternate use, or change in natural grade) from the surrounding neighbourhood. Policy 1110 provides further direction for the review of this development application, specifically where a proposal is for seniors' housing.

Value as Single-Family Lot

In determining the value for the subject as single-family lots, we have surveyed the market for comparable lot sales in West Vancouver, primarily in the subject neighbourhood of Sentinel Hill. We have also considered relevant sales along Taylor Way in the adjacent British Properties and Cedardale neighbourhoods. The two subject lots offer a combined site area of 69,261 sq.ft. The property located at 825 Taylor Way offers the bulk of the site area, comprising 57,270 sq.ft., or 1.31 acres. Some recent sales in the subject neighbourhood have occurred at 238 and 162 Stevens Drive, north of the subject. These lots measure 178,000 sq.ft. and 44,344 sq.ft. respectively, having sold for \$1,750,000 and \$1,700,000 in July and October, 2013. These properties are improved with older, significant single-family homes. The value of 825 Taylor Way as a large single-family lot is expected to be below the \$1,700,000 region given the busier location.

The subject lots totalling 69,261 sq.ft. can be assembled to form a subdivision. Given the requirements of the RS3 zoning, we have assumed that the subject lots will each offer a frontage of at least 80 feet and an approximate site area of 12,000 sq.ft. With five lots envisioned, this would leave 9,261 sq.ft. for a small internal road/cul-de-sac that would provide access to each of the subject lots; this road allowance represents 13% of the overall site area, a typical proportion seen in other subdivisions that we are aware of, which generally ranges from 10% to 15%.

Each of these properties was sold with the intent of redevelopment, which is evidenced by the Building Permits for new construction in place for the majority of them. For some of the more recent sales, we have also confirmed that the lots were purchased for redevelopment, through discussions with the realtors involved in the transactions. We would note the following sales:

| No. | Address | List Price | Sold Price | Sold Date | Repat. | Lot Size (Sq. Ft.) | Price per Sq. Ft. | Neighborhood |
|-----|--------------------|-------------|-------------|-----------|--------|--------------------|-------------------|--------------------|
| 1 | 1570 Taylor Way | \$1,248,000 | \$1,217,000 | Jul-13 | 104 | 14,000 | \$87 | British Properties |
| 2 | 1520 Taylor Way | \$950,000 | \$950,000 | Feb-13 | 125 | 15,162 | \$61 | British Properties |
| 3 | 820 Mathers Avenue | \$1,249,000 | \$1,234,777 | Apr-12 | 172 | 37,660 | \$33 | Sentinel Hill |
| 4 | 830 Mathers Avenue | \$819,000 | \$822,000 | Dec-12 | 90 | 15,780 | \$52 | Sentinel Hill |
| 5 | 960 Taylor Way | \$1,248,000 | \$1,139,000 | Oct-12 | 85 | 16,118 | \$70 | Cedardale |

Comparable No. 1, 1570 Taylor Way - This comparable is improved with a 3,400 sq.ft. single-family home just north of the Upper Levels Highway. While also situated on Taylor Way, this section of the arterial narrows to only a single lane and is much quieter than the subject. Despite the substantial improvements, the selling agent noted that the purchaser intends on demolishing the house to accommodate a new home. Given the quieter location and larger lot size, a value below \$1,217,000 is indicated.

Comparable No. 2, 1520 Taylor Way – This is the sale of a marginally larger lot relative to the previous comparable. A 2,800 sq.ft. home built in 1958 is on site and will be tenanted in the medium term, as the purchaser considers their options. While this section of Taylor Way is noted to be quieter than the subject, this comparable also borders the off-ramp to the Upper Levels Highway immediately south. Overall, the exposure of this comparable is considered to be similar relative to the subject. While numerous developers are reported to have expressed interest in the home, a creek setback made redevelopment more challenging. Overall, a value above \$930,000 is expected for the subject given the challenges in redeveloping the site but also the utility in the existing improvements.

Comparable No. 3, 820 Mathers Avenue – This is the sale of a larger lot north of the subject at the end of a cul-de-sac. It was marketed as a development site that could be subdivided into two lots. However, given the location with the cul-de-sac, this would appear to be challenging in that two homes would offer limited frontage. The property offers utility in the existing improvements as the home comprises 2,700 sq.ft. built in 1948 and will be upgraded and retained. Despite the attractiveness of a Mathers Avenue address, the home is adjacent to an off-ramp for the Upper Levels Highway. Overall, the exposure is considered to be similar to the subject. A lower value is indicated given the larger lot size and utility in the home.

Comparable No. 4, 830 Mathers Avenue – This is the sale of a more similarly sized lot relative to the subject and immediately west of the previous comparable. It is also improved with an older home measuring 2,400 sq.ft., built in 1948. Mathers Avenue separates the comparable from the highway off-ramp and is similar in overall exposure to the subject. Following a price reduction from \$849,000 to \$819,000, the comparable sold above the reduced list price at \$822,000. However, we would note that the property was on the market for more than six months prior to it selling. This property does not enjoy the same access to commercial amenities as the subject. A higher value is indicated.

Comparable No. 5, 960 Taylor Way – This relates to a larger corner lot along Taylor Way and Taylor Place, just north of the subject. Taylor Place allows both left and right turns onto Taylor Way, however this is not a signalized intersection. Given the larger size, a lower value is expected for the subject. According to the Real Estate Board of Greater Vancouver, home prices have risen only marginally since this sale took place. Hence, a minimal adjustment for time is warranted.

Overall, a range of values from \$822,000 to \$1,234,777 has been identified by the above comparables. Comparable Nos. 1 and 3 are at the upper end of the range, are larger than the subject and offer utility in the short term as they are improved properties. Comparable No. 5 is also above the middle of the range and suggests a value below \$1,130,000 given the larger lot size and relatively quieter location, as Taylor Place is a less travelled arterial relative to Keith Road. The subject is also directly across from a large multi-family project which is considered less desirable to the comparables, which are all featured in more traditional single-family settings. Hence, a narrower range of values from \$822,000 to \$1,130,000 is indicated. Comparable No. 2 is near the middle of this adjusted range and is negatively impacted by its location at the off-ramp to the Upper Levels Highway. While it offers short term utility in the improvements, the redevelopment potential is compromised due to the creek setback. Overall, an average value of **\$1,000,000** is adopted for the subject lots.

We would note that a proposed subdivision plan for the five lots as envisioned by the District is unavailable at this time. However, a review of the site plan and the zoning bylaw in place would suggest that accommodating the five lots within the 69,261 sq.ft. site is possible, leaving some 9,261 sq.ft. for circulation and road access. The average lot value concluded above recognizes that all lots within the subject lands would be impacted by the proximity to Taylor Way. Some lots will be situated further from

Taylor Way and Keith Road, while others will likely front these arterials. An average value was determined for the typical lot on the subject lands, while realizing that higher and lower values will be achieved depending upon their specific location within the overall site.

The larger of the two subject parcels relates to 825 Taylor Way, comprising 57,270 sq.ft. This is a quasi mushroom-shaped parcel with the larger portion of the site relating to the northernmost portion. Access can be granted along Keith Road and or Taylor Way, which currently provides access to this parcel. Given the configuration of 825 Taylor Way, and the requirements of the zoning, it would be difficult to achieve more than three single-family lots without assembly with 707 Keith Road. While Keith Road is improved with a higher quality home that confers value above that of raw land, by including this parcel in the larger assembly, the overall access and utility of this consolidated development site improves. More specifically, rather than simply gaining an additional single-family lot, the overall site would likely provide the ability to create five lots as the overall site bears a more workable, loosely rectangular configuration.

While a lot value of \$1,000,000 was concluded above, deductions would be required to reflect a developer's profit and also the cost of subdivision. Typical developer's profit is in the region 10% to 15% of sales revenue depending upon various factors such as the size of the deal, complexity of the project, expected time frame, etc. Given that subdivision can be accommodated and also the relatively small investment size, a profit allowance below the middle of the range is expected at 11%. A review of subdivision fees on the municipal website indicates a fee of some \$7,000. The net value of the subject on an "as is" basis is concluded below:

| | | | |
|----------------------|----------------------|-----------------------|--------------------|
| 5 Single Family Lots | @ | \$1,000,000 per lot = | \$5,000,000 |
| Less: | | | |
| Subdivision Costs | | | \$7,000 |
| Developer's Profit @ | 11% of sales revenue | | \$550,000 |
| Net Value | | | \$4,443,000 |

Value as Seniors' Land

The developer has proposed a seniors' assisted living project that will comprise 68,147 sq.ft., indicating an F.A.R. of 0.98. Land sales involving the proposed use are limited in West Vancouver. Hence, we have broadened our search to include other comparable locations in North Vancouver and the West Side of Vancouver. Despite expanding our search parameters to other locations, there continues to be dearth of recent land sales. While some of these sales were negotiated a number of years ago, our discussions with market participants suggests limited adjustment for time.

| No. | Address | Sale Date | Sale Price | Area (sq.ft.) | Price per sq.ft. | Density F.S.R. | \$/sq.ft. Buildable |
|-----|--|--------------------|--|---------------|------------------|----------------|---------------------|
| 1 | 2203 Marine Drive <i>West Vancouver</i> | Aug-09 | \$14,500,000 | 51,970 | \$279 | 2.31 | \$121 |
| 2 | 3338 Wesbrook Place <i>UBC</i> | Jul-06 | \$16,800,000 | 63,767 | \$263 | 2.53 | \$104 |
| 3 | 605-645 West 41st Avenue <i>Vancouver</i> | 2007 | \$6,396,000 | 35,640 | \$179 | 2.16 | \$83 |
| 4 | Canfield Crescent/Edgemont Boulevard <i>North Vancouver</i> | 2011 to 2013 | \$9,850,000 \$1,900,000 \$11,750,000 | 68,010 | \$173 | 1.50 | \$115 |

Comparable No. 1, 2203 Marine Drive, West Vancouver – This relates to the recently completed Westerleigh project in Dundarave at 22nd Street and Marine Drive. This is a quieter, more desirable location that offers the convenience of being located across from aquatic centre, tennis courts and ice hockey arena. This transaction relates to a 125-year prepaid land lease to the District of West Vancouver. Given the length of term and the prepaid nature, an adjustment is not considered to be warranted for the leasehold aspect of this comparable. A value below \$121 per sq.ft. buildable is indicated given the much stronger location.

Comparable No. 2, 3338 Wesbrook Place, Vancouver – This relates to the Tapestry project completed in the Wesbrook Place neighbourhood at the University of British Columbia. Like the previous comparable, this relates to a 99-year prepaid land lease. A number of strata housing sites have been sold at the university campus over the past decade, often achieving some of the highest land values in the West Side of Vancouver despite their form of title. This comparable enjoys convenient access to Pacific Spirit Park and commercial amenities such as nearby restaurants, banks and Save-on-Foods. A lower value is indicated for the subject.

Comparable No. 3, 605-645 West 41st Avenue, Vancouver – This is the sale of a seniors' housing site across from Oakridge Centre in the West Side of Vancouver. This site offers somewhat challenging access as a median limits left-turn access to eastbound motorists. The location of this comparable has improved since this sale took place, noting that it was negotiated prior to the Cambie Corridor Plan taking shape and also before the Canada Line was operational. Within its sub-market, this comparable is considered similar to the subject, being located near a regional shopping centre and at the periphery of the prestigious West Side of Vancouver. As this location has improved since the sale was negotiated, a higher value is expected for the subject. In addition, it is also worth noting that five single-family homes had to be assembled.

Comparable No. 4, Canfield Crescent/Edgemont Boulevard, North Vancouver – This is the sale of a six-lot assembly in the heart of Edgemont Village, arguably the most desirable neighbourhood in North Vancouver, rivalling the subject neighbourhood. In addition to the land price, a small portion of road was dedicated for the project, with the developer acquiring this parcel for \$1,900,000 from the District of North Vancouver. It is interesting to note that a CAC of \$500,000 was calculated as per a land-lift exercise that was undertaken by the District. This represents some \$6.00 per sq.ft. buildable on the

additional density. This comparable offers a superior location with quieter exposure. A lower value is expected for the subject.

Overall, a range of values from \$83 to \$121 per sq.ft. buildable has been established based upon the above comparables. Comparable No. 1 offers a stronger location with greater access to recreational services. A value below \$121 per sq.ft. buildable is indicated for the subject. Comparable No. 2 offers the attractiveness of a park-like setting in a prestigious location in a newly master planned community. A value below \$104 per sq.ft. buildable is indicated for the subject. Comparable No. 3 offers a central location across from Oakridge Centre and was negotiated prior to the Cambie Corridor Plan taking significant shape. Its access and exposure is similar to that of the subject. Adjusting upwards for time, a value above \$83 per sq.ft. buildable is indicated for the subject. Comparable No. 4 relates to an assembly of lots in a prime North Vancouver neighbourhood. The comparable offers a superior location and quieter exposure. A value below \$115 per sq.ft. buildable is confirmed. While the subject offers a desirable West Vancouver address, it has exposure to Taylor Way, a major arterial, with sloping topography that may suggest access challenges for future residents. A value near the lower portion of the range is expected at say \$85.00 to \$90.00 per sq.ft. buildable. This value level would reflect a density of likely 2.0 to 2.5 F.A.R.

All things being equal, lower density sites sell for a higher price per sq.ft. buildable than higher density sites. To determine the adjustment for this factor, we can draw upon paired sales of development sites that offer density of 1.0 versus say 2.5, which is more in line with the comparables noted above. The West Side of Vancouver offers some recent examples where a number of low-density townhome sites at 1.0 F.S.R. have similar attributes to the subject and have traded in the region of \$250.00 to \$260.00 per sq.ft. buildable. During the same time period, higher density multi-family sites at 2.5 F.S.R. have traded at \$210.00 to \$220.00 per sq.ft. buildable. This suggests that the lower density sites command a premium of some 14% to 24% in terms of price per sq.ft. buildable. Part of this premium is due to the lower density sites being more efficient, as they lack common area hallways hence there is a higher proportion of saleable area relative to gross building area accounting for part of the premium. Hence, a premium at the lower portion of the range seems reasonable at say 15%. Applying this premium to the range of values noted above indicates \$97.75 to \$103.50 per sq.ft. buildable. A value near the middle of this adjusted range is adopted at \$100.00 per sq.ft. buildable, producing an overall value as follows:

68,147 sq.ft. x \$100.00 per sq.ft. buildable =

\$6,814,688

Rounded To: \$6,810,000

CONCLUSION

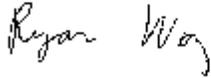
Net Value as Single-Family Lots: \$4,443,000

Residual Land Value as Multi-Family: \$6,810,000

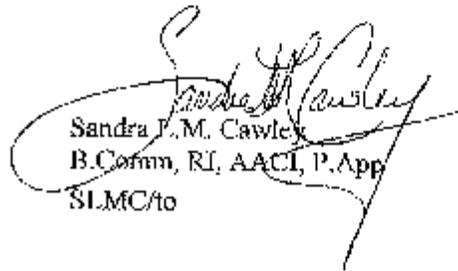
Based upon the above discussion, there appears to be a lift in land value of \$2,367,000 in rezoning from single-family to seniors' rental. We understand that a 75% share of this lift would go to the District of West Vancouver, indicating \$1,775,250, rounded to **\$1,780,000** in the form of a Community Amenity Contribution.

Yours very truly

BURGESS, CAWLEY, SULLIVAN & ASSOCIATES LTD.



Ryan Wong
B.Comm, AACI, P.App



Sandra P.M. Cawley
B.Comm, RI, AACI, P.App
SLMC/to

District of West Vancouver



**Official Community Plan Bylaw No. 4360, 2004,
Amendment Bylaw No. 4783, 2014**

Effective Date:

District of West Vancouver

Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4783, 2014

A bylaw to consider real property at the northwest corner of Taylor Way and Keith Road for rezoning for a seniors' assisted living and memory care residence.

Previous amendments: Amendment bylaws 4433, 4492, 4534, 4543, 4567, 4541, 4612, 4625, 4643, 4676, 4619, 4694, 4724, 4756, and 4768.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the appropriate redevelopment of lands at the northwest corner of Taylor Way and Keith Road;

NOW THEREFORE, the Council of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as "Official Community Plan Bylaw No. 4360, 2004, Amendment Bylaw No. 4783, 2014."

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Policy Section 4 [Built Form and Neighbourhood Character]

- 3.1 Schedule A to Official Community Plan Bylaw No. 4360, 2004 is amended as follows:
 - 3.1.1 By amending the Key Map of Residential Area Designations by adding "Northwest Corner of Taylor Way & Keith Road Development Permit Area" in the map legend, and identifying the location of the Development Permit Area on the map.

3.1.2 By adding “Policy BF-B 14” as follows:

“Ensure that the seniors’ assisted living and memory care residence integrates within the existing neighbourhood and meets a high quality of building and landscape design in keeping with the site and neighbourhood context.”

3.1.3 By adding “Policy BF-B 14.1” as follows:

“The northwest corner of Taylor Way and Keith Road (as shown on map BF-B14) may be considered for rezoning to enable the development of an assisted living and memory care centre, not exceeding a density of 0.98 Floor Area Ratio (FAR).”

3.1.4 By adding “Development Permit Area Designation BF-B 14” as described in Schedule A to this bylaw.

Part 4 Adds Development Permit Guidelines for Seniors’ Assisted Living and Memory Care

4.1 Schedule A to Official Community Plan Bylaw No. 4360, 2004 is further amended as follows:

3.1.1 By adding “Guidelines BF-B 14” for seniors’ assisted living and memory care at the northwest corner of Taylor Way and Keith Road, as described in Schedule B to this bylaw.

Schedules

Schedule A – Development Permit Area Designation BF-B 14

Schedule B – Built Form Guidelines BF-B 14

READ A FIRST TIME on

A PUBLIC HEARING HELD on

READ A SECOND TIME on

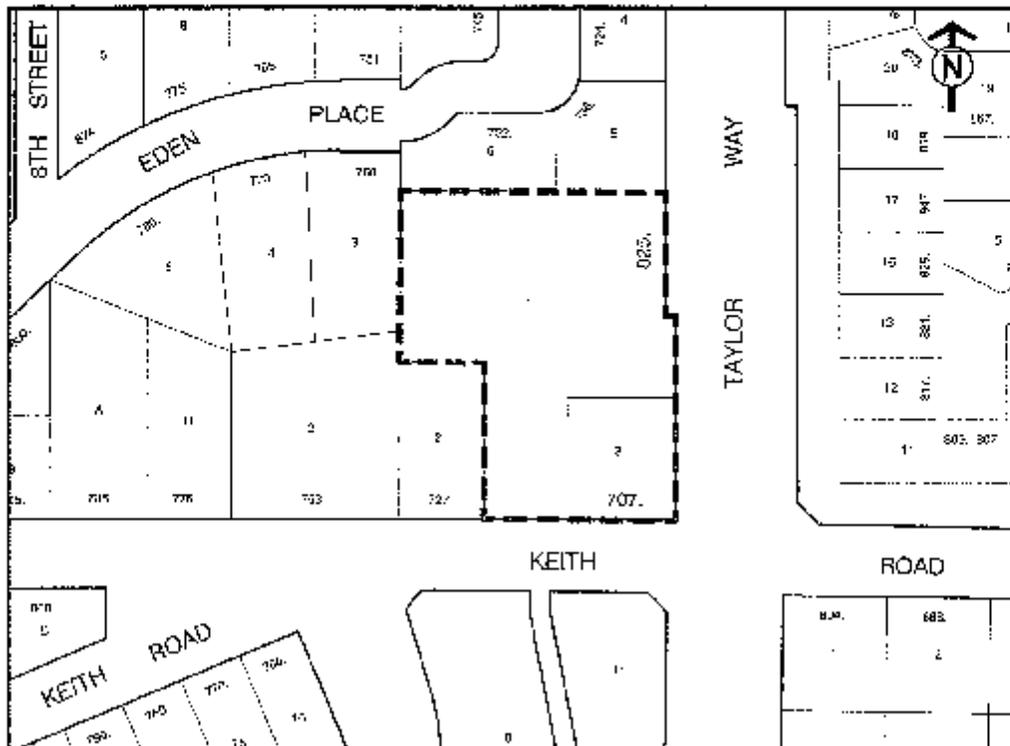
READ A THIRD TIME on

ADOPTED by the Council on.

Mayor

Municipal Clerk

Schedule A – Development Permit Area Designation BF-B14



Northwest corner of Taylor Way and Keith Road Development Permit Area Designation Map BF-B14

| | |
|-----------------------------|--|
| Category: | <i>Local Government Act s. 919.1(1)(f), (h), (i) and (j)</i> |
| Conditions: | The Development Permit Area designation is warranted to provide for the compatibility of an assisted living and memory care centre within an established neighbourhood. |
| Objectives: | <ul style="list-style-type: none"> • To integrate seniors' assisted living and memory care residential development with existing site features, and the built form and landscape character of the surrounding area; • To promote a high standard of design, construction and landscaping; and • To promote energy and water conservation and the reduction of greenhouse gas emissions. |
| Guidelines Schedule: | Guidelines BF-B14 shall apply. |

| | |
|--|---|
| <p>Exemption:</p> <p>Development may be exempt from the requirement for a Development Permit if the proposal:</p> | <ul style="list-style-type: none">i. does not involve the construction of any new buildings or structures; orii. is for a renovation or a small addition that is considered to have no material change to the external appearance of the premises, meets all requirements of the Zoning Bylaw, and conforms to Guidelines BF-B14; oriii. is for a renovation or small addition that is considered to be minor in nature with no substantial change to the external appearance of the premises, meets all requirements of the Zoning Bylaw, has been reviewed and recommended for support by the Design Review Committee, and conforms to Guidelines BF-B14. |
|--|---|

Schedule B – Built Form Guidelines BF-B14

I. CONTEXT AND CHARACTER

- a. New development should minimize visual impacts of development to the surrounding residential neighbourhood through siting and design.

II. BUILDING DESIGN

- a. The majority of the building mass should purposefully be directed at the east side of the site and set into the natural site grade.
- b. Building at the north end of the site should be recessed into the existing site topography to create an appropriate interface with the northern residential neighbourhood.
- c. Service-related functions within the building (i.e. main kitchen, laundry services) should be located closer to Taylor Way and away from the northern residential neighbourhood.
- d. Roof volumes should be horizontal planes for lower building profile to reduce visual impact and overshadowing.
- e. Elements of the facade should include generous use of wood and glazing.
- f. The use of natural stone and timber structures should be used to give the building a classic West Coast expression.
- g. A natural colour palette should be used to blend the building into the surroundings.
- h. 'Green' building technologies should be used including but not limited to lower-flow plumbing fixtures for water reduction and strict insulation and glazing measures, optimized mechanical systems, green vegetated roofing systems to reduce heat-island effects, and wherever possible, locally and regionally sourced construction materials.
- i. All roof top mechanical equipment shall be screened.

III. LANDSCAPE DESIGN

- a. The overall landscape strategy is to provide a calming natural environment for the use and enjoyment of residents and visitors. The front yard should reflect some of the character of Taylor Way by including some ornamental plantings in the design.
- b. The corner of Keith Road and Taylor Way should provide a balance of a strong corner treatment with the provisions of some views for the residents. Low retaining walls and site signage should be clad in natural stone.
- c. Prominent healthy existing trees and landscape features should be retained and protected where appropriate.

- d. The landscape design should integrate retained mature trees and vegetation with the new landscape design to help reduce the apparent mass of the building.
- e. Glare and light spill of exterior or ground level lighting to surrounding properties should be minimized.
- f. Driveways, parking areas, patios and walkways should be finished with pervious material.

IV. CIRCULATION AND PARKING

- a. Principal pedestrian access should be from Keith Road.
- b. The majority of parking should be located within an enclosed underground parkade and surface parking should be located toward the south end of the site, away from adjacent properties.
- c. All garbage, recycling, and kitchen waste should be located within the enclosed underground parkade.

District of West Vancouver



Zoning Bylaw No. 4662, 2010
Amendment Bylaw No. 4784, 2014

Effective Date:

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 4784, 2014

A bylaw to rezone certain real property located at 825 Taylor Way and 707 Keith Road to CD51 – Comprehensive Development Zone 51 (NW Corner Taylor Way & Keith Road).

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, and 4767.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for amendment of the Zoning Bylaw;

NOW THEREFORE, the Council of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 4784, 2014.”

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds the CD51 Zone & Rezones the Site

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 Comprehensive Development Zones is hereby amended by adding the CD51 – Comprehensive Development Zone 51 (NW Corner Taylor Way & Keith Road), as set out in Appendix A to this bylaw.
- 3.2 The Lands shown shaded on the map in Appendix B to this bylaw are rezoned from RS3 (Single Family Dwelling Zone 3) to CD51 – Comprehensive Development Zone 51 (NW Corner Taylor Way & Keith Road).

Part 4 Amends the Zoning Maps

4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps is hereby amended by changing the zoning of the lands as shown shaded on the map in Appendix B to this bylaw,

From: RS3 – Single Family Dwelling Zone 3

To: CD51 – Comprehensive Development Zone 51 (NW Corner Taylor Way & Keith Road)

Schedules:

Schedule A: CD51 – Comprehensive Development Zone 51 (NW Corner Taylor Way & Keith Road)

Schedule B: Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps

READ A FIRST TIME on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVAL by Minster of Highways on

ADOPTED by the Council on

Mayor

Municipal Clerk

Schedule A

651 – CD51 (NW Corner Taylor Way & Keith Road)

651.01 Permitted Uses

- (1) assisted living
- (2) memory care
- (3) uses that are incidental to the assisted living and memory care uses

651.02 Conditions of Use

- (1) Dwelling units are prohibited
- (2) For the purposes of this zone, a cooking facility is defined as a food preparation area requiring an appliance with a 220 volt service

651.03 Floor Area Ratio (FAR) and Number of Bedrooms

- (1) Total: maximum 0.98 FAR
- (2) For the purposes of calculating FAR, the site is 6434.5 square metres, being the size prior to any highway dedication(s).
- (3) Maximum 91 bedrooms

651.04 Site Coverage

Buildings and structures shall not occupy more than 42% of the site

651.05 Yard Requirements

The minimum required yards for all buildings and structures and all accessory buildings and structures shall be:

- | | |
|----------------|-------------|
| Front (south): | 4.5 metres |
| Rear (north): | 12.8 metres |
| Side (east): | 4.0 metres |
| Side (west): | 10.5 metres |

651.06 Building Height

- (1) Building and structures shall not exceed a height of 14.5 metres maximum
- (2) Solar panels not exceeding 2.4 metres above the maximum building height

651.07 Number of Storeys

- (1) Amenity Wing: 2 storeys
- (2) Residential Wing: 3 storeys

651.08 Off-Street Parking

- (1) 1 parking space for every 3.3 beds.
- (2) 1 parking space shall be provided for a resident's shuttle bus.
- (3) A minimum of 40 parking spaces shall be provided.

SECTION 219 COVENANT – BUILDING RESTRICTION

WHEREAS:

- A. This document is dated for reference purposes the ____ day of _____, 2014.
- B. In these terms of instrument:
- (a) **THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER** is referred to as the "Municipality".
- (b) _____ is referred to as the "Grantor".
- C. The Grantor is the registered owner of the lands described in Item 2 of Part 1 to this General Instrument (hereinafter called the "Lands").
- D. Section 219 of the Land Title Act (R.S.B.C. 1996, c. 250) provides that there may be registered as a charge against the title to any land a covenant in favour of a municipality in respect of the use of land or the use of a building on or to be erected on land or that land is or is not to be built on or is not to be subdivided except in accordance with the covenant.
- E. The Grantor desires to grant and the Municipality agrees to accept this Covenant on the terms and conditions contained herein.

WITNESSETH THAT in consideration of the premises and the sum of One Dollar (\$1.00) (the receipt and sufficiency of which the Grantor hereby acknowledges), and pursuant to the provisions of Section 219 of the Land Title Act, the Grantor covenants with the Municipality as follows:

1. No part of the Lands may be used or built upon and no buildings or structures on or to be built upon the Lands shall be used unless the Grantor is in full compliance with its obligations under this Agreement.
2. The Grantor will ensure that window blinds are installed and maintained at all times in all windows along the north elevation of any building on the Lands, and that said window blinds will be drawn from 8:00 p.m. each day until 6:00 a.m. the next day.
3. The Grantor acknowledges and agrees that the rights given to the District by this Agreement are permissive only and nothing in this Agreement imposes on the District any duty, obligation or liability of any kind (including any private or public law duty, obligation or liability) to any person to exercise or enforce this Agreement, or obliges the District to perform any act or to incur any expense for any of the purposes set out in this Agreement all such matters being within the absolute and unfettered discretion of the District. The District hereby expressly reserves the absolute and unfettered right and discretion at any time, without

notice to the Owner or any other person, to discharge and relinquish the Section 219 Covenant hereby granted without compensation or liability to anyone.

4. Nothing contained or implied herein shall prejudice or affect the rights and powers of the Municipality in the exercise of its functions, rights and powers pursuant to any public or private statute, bylaws, orders and regulations, all of which may be fully and effectively exercised in relation to the Lands or any and all improvements on the Lands as if this Agreement had not been executed and delivered by the Grantor.
5. The Grantor agrees that the Municipality is entitled to obtain an order for specific performance or a prohibitory or mandatory injunction in respect of any breach by the Grantor of this Agreement. The Grantor agrees that this section is reasonable given the public interest in the need for the land use restriction contained herein.
6. The Grantor agrees to do everything necessary to ensure that this Agreement is registered against the title to the Land with priority over all financial charges, liens and encumbrances registered, or the registration of which is pending, at the time of application for registration of this Agreement, including all options to purchase, rights of first refusal, mortgages and assignments.
7. If any portion of this Agreement is held invalid by a court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of the Agreement.
8. Every obligation and covenant of the Grantor in this Agreement constitutes both a contractual obligation and a covenant granted under Section 219 of the *Land Title Act* in respect of the Land and this Agreement burdens the Land and runs with it and binds the successors in title to the Lands. This Agreement burdens and charges all of the Land and any parcel into which it is subdivided by any means and any parcel into which the Land is consolidated. The Grantor is only liable for breaches of this Agreement that occur while the Grantor is the registered owner of the Land.
9. The Grantor hereby releases, indemnifies and saves harmless the Municipality, its elected officials, officers, employees, agents and others from and against any and all matter of actions, causes of action, claims, costs, expenses (including actual legal fees), losses, damages, debts, demands and harm, by whomsoever brought, of whatsoever kind and howsoever arising out of or in any way due to or relating to the granting or existence of this Agreement.
10. This Agreement is the entire agreement between the parties concerning its subject, and supersedes and terminates all other agreements, understandings or promises concerning its subject. The Municipality has made no representations and gives no warranties to the Grantor regarding the subject of this Agreement or any related matter or proceeding.

11. A waiver of any breach of this Agreement is binding only if given in that instrument executed by the party giving the waiver, and only if the waiver is an express waiver of the breach in question. A waiver of the breach of this Agreement operates to waive only the breach in respect of which has expressly been given.
12. Nothing in this Agreement exempts the Grantor or the Land from any statutory requirement or from the ordinary jurisdiction of the Municipality, its bylaws, permits, regulations and orders and, without limitation, this Agreement does not relieve the Grantor from complying with any enactment relating to the use of the Land.
13. The rights given to the Municipality by this Agreement are permissive only and nothing in this Agreement imposes any legal duty of any kind on the Municipality to anyone, or obliges the Municipality to enforce this Agreement, to perform any act or to incur any expense in respect of this Agreement.
14. This Agreement binds the parties hereto and their respective successors, heirs, executors and administrators.
15. All covenants made by the Grantor shall be construed as being several as well as joint with respect to all persons constituting the Grantor.

As evidence of their agreement to be bound by the above terms, the parties each have executed and delivered this Agreement under seal by executing Part 1 of the *Land Title Act* Form C to which this Agreement is attached and which forms part of this Agreement.

PRIORITY AGREEMENT

BETWEEN:

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER

(the "Subsequent Chargee")

AND:

THE TORONTO-DOMINION BANK

(the "Prior Chargee")

WHEREAS:

- A. Naser Guivian and Farideh Moradali Goldarre (the "Owner") are the owners of that parcel of land and premises located in the Municipality of West Vancouver and legally described as Parcel Identifier: 007-947-534, Lot 3 Except part in plan VAP 23118 South East 1/4 of District Lot 1047 Plan 14144 (the "Land");
- B. The Owner (or his predecessor in title) granted the Prior Chargee a mortgage which is registered against the title to the Land in the Lower Mainland Land Title Office under number BB938058 (the "Prior Charge");
- C. On the ____ day of _____, 2014 the Owner granted the Subsequent Chargee a Section 219 Covenant which is registered against the title to the Land in the Lower Mainland Land Title Office under number _____ or which will be registered concurrently with this Agreement (the "Subsequent Charge");

NOW THEREFORE in consideration of the sum of One (\$1.00) Dollar now paid by the Subsequent Chargee to the Prior Chargee, the receipt and sufficiency of which are hereby acknowledged, the Prior Chargee does hereby grant to the Subsequent Chargee priority over the Prior Charge and the Prior Chargee hereby covenants and agrees to subordinate and postpone all its right, title and interest in and to the Land with the intent and with the effect that the interest of the Subsequent Chargee shall rank ahead of the Prior Charge as though the Subsequent Charge had been executed, delivered and registered in time prior to the registration of the Prior Charge.

As evidence of its agreement to be bound by the terms of this instrument, the Prior Chargee hereto has executed the Land Title Office Form C which is attached hereto and forms part of this Agreement.

END OF DOCUMENT

TERMS OF INSTRUMENT – PART 2**Tree Preservation Covenant,
Statutory Right of Way and Rent Charge**

THIS AGREEMENT dated for reference this _____ day of _____, 2014, is

BETWEEN:

(the “**Owner**”)

AND:

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER, a municipality incorporated under the *Local Government Act*, R.S.B.C. 1996, c.323 and having its office at 750 – 17th Street, West Vancouver, BC V7V 3T3

(the “**District**”)

WHEREAS:

- A. The Owner is the registered owner in fee simple of lands in the District of West Vancouver, British Columbia legally described in Item 2 of the Form C General Instrument Part 1 to which this Agreement is attached and which forms part of this Agreement (the “**Land**”);
- B. As a condition of the rezoning of the Land and in order to ensure that said rezoning is in the public interest the Owner has offered to enter into this Agreement on the terms and conditions set out in this Agreement;
- C. The Owner acknowledges that it is in the public interest to protect and preserve those trees (the “**Protected Trees**”) labelled as the trees to be retained on the Tree Retention Plan prepared by Radix Tree & Landscape Consulting and dated November 28, 2012, a copy of which is attached as Schedule “A” to this Agreement (the “**Protected Trees Plan**”) and has agreed to provide this Agreement to the District on the terms and conditions contained herein; and
- D. The Owner has also agreed to grant to the District a statutory right of way over the Land on the terms and conditions set forth in section 12 herein, which statutory right of way is necessary for the operation and maintenance of the undertaking of the District.

NOW THEREFORE in consideration of the sum of \$10.00 now paid by the District to the

Owner and other good and valuable consideration, the receipt and sufficiency of which the Owner hereby acknowledges, the parties covenant and agree pursuant to Sections 218 and 219 of the *Land Title Act* (British Columbia) as follows:

1. **Definitions** – In this Agreement:
 - (a) “*Director*” means the District’s Director of Planning, Land Development and Permits or his or her designate;
 - (b) “*District*” means the District of West Vancouver, a municipal corporation incorporated under the *Local Government Act* (British Columbia), and its elected and appointed officials, employees, agents and contractors;
 - (c) “*Enactment*” has the meaning given in the *Interpretation Act* (British Columbia);
 - (d) “*Land*” has the meaning given to it in recital A hereto;
 - (e) “*Protected Trees*” has the meaning given to it in recital C; and.
 - (f) “*Protected Trees Plan*” has the meaning given to it in recital C.
2. **Use of Land** – No building or structure on the Land shall be used for any purpose and the Owner shall not apply for any occupancy permit in respect of any building or structure on the Land unless the Owner is in full compliance with Owner’s obligations under this Agreement.
3. **Tree Preservation during Development** – No building or structure shall be constructed on the Land and the Owner shall not apply for a building permit in respect of a building or structure on the Land unless the Owner has installed tree protection barriers around the Protected Trees as shown on the Protected Trees Plan, and the Owner shall maintain the tree protection barriers until an occupancy permit is issued for all residential buildings on the Land. No building or structure on the Land shall be used for any purpose and the Owner shall not apply for any occupancy permit in respect of any building or structure on the Land unless the Protected Trees have been preserved in accordance with this Agreement.
4. **Protected Trees** – The Owner shall not cut, limb, trim, prune, remove, alter, damage, destroy or replace or permit the cutting, limbing, trimming, pruning, removal, alteration, destruction or replacement of all or any part of a Protected Tree (including, without limitation, any branches or roots of a Protected Tree) without the prior written consent of the Director pursuant to section 6. The Owner acknowledges and agrees that protection of said trees takes precedence over maintenance or enhancement of views.
5. **Trees Posing an Immediate Risk or Danger** – If a Protected Tree poses an immediate risk or danger to persons or property as a result of being diseased, dead or destroyed by fire or other act of God it may be removed by the Owner provided that the Owner shall notify the District of

such removal without delay and provided further that the replacement requirements set out at section 8 shall apply to any Protected Tree that is removed pursuant to this provision.

6. **Director Approval** – The Owner shall obtain the prior written approval of the Director for the cutting, limbing, trimming, pruning, removal, alteration or replacement of a Protected Tree (except to the limited extent set out in section 5), which approval may be unreasonably refused if the purpose of the proposed cutting, limbing, trimming, pruning, removal, alteration or replacement of a Protected Tree is to maintain, protect or enhance a view, but will not otherwise be unreasonably refused provided that all of the following conditions are satisfied:
- (a) the proposed work involves no topping of any Protected Trees;
 - (b) the Owner provides a report prepared by a professional arborist which:
 - (i) identifies to the satisfaction of the Director the Protected Tree that the Owner wishes to cut, remove, alter or replace;
 - (ii) establishes to the satisfaction of the Director that the proposed cutting, removal, alteration or replacement is necessary to address a hazardous condition or is necessary because the Protected Tree is diseased or dying;
 - (iii) establishes to the satisfaction of the Director that the proposed cutting, removal, alteration or replacement is in accordance with standard professional arboricultural practice; and
 - (iv) provides a replacement plan that meets, to the satisfaction of the Director, the Owner's replacement obligation as set out in section 8 herein;
 - (c) the Owner pays the District's costs associated with reviewing the application for approval of proposed cutting, removal, alteration or replacement work and monitoring the work if approved; and
 - (d) the Owner provides cash or a letter of credit in an amount determined by the Director to be held by the District, on terms acceptable to the Director, as a deposit to secure the Owner's obligations under this Agreement in relation to the proposed cutting, removal or alteration work and required replacement work.
7. **Conditional Approval** – The Director may impose reasonable terms and conditions on any consent given under section 6, and the Owner must comply with any such terms and conditions at the Owner's cost and expense.
8. **Tree Replacement** – The Owner must, at the Owner's cost and expense, replace any Protected Tree that is removed or destroyed in contravention of this Agreement, and must, if required by the Director, replace any Protected Tree that is otherwise cut or altered. Each tree that is cut, removed, altered or destroyed must be replaced with three replacement trees of similar variety

unless otherwise specified in writing by the District. Each tree will not be less than 1.5 meters in height measured from the natural grade, and the replacement work will be carried out in accordance with a replacement plan approved by the Director and in accordance with standard professional arboriculture practice. The replacement must be completed at the first available opportunity after the cutting, removal, alteration or destruction and in any event before the end of the next dormant season.

9. **Costs** – The Owner shall comply with all requirements in this Agreement at its own cost and expense.
10. **District may Perform Obligations of Owner** – If the Owner has breached its obligation under section 7 of this Agreement, the District may, but is not obliged to, enter the Land and rectify the breach or perform the obligations at the expense of the Owner. The cost to the District of performing the obligation is a debt due and owing by the Owner to the District, with interest accruing on that debt at the annual rate of interest that is equal to 3% above the annual prime rate of interest charged from time to time by the Canadian Imperial Bank of Commerce, being the annual rate of interest charged by it for Canadian dollar demand commercial loans extended to its most credit-worthy customers. The District may exercise its rights under this section 10 only if the Owner has not cured the breach in question within 45 days or before the next dormant season (if applicable) after notice to do so is given to the Owner by the District or as otherwise required under this Agreement. Exercise by the District of its rights under this section 10 does not limit nor prevent the District from enforcing any other remedy or right the District may have against the Owner, including, without limitation, bringing a trespass action or enforcing a bylaw by means of a Supreme Court injunction, a prosecution or issuance of a municipal ticket information or bylaw notice.
11. **District's Costs** – Without limiting section 10, the Owner must pay all of the costs and expenses that may be incurred by the District in enforcing the District's rights under this Agreement.
12. **Statutory Right of Way** – Pursuant to Section 218 of the *Land Title Act* (British Columbia) and in acknowledgement of the public interest in protecting and preserving the Covenant Area and the Protected Trees, the Owner hereby grants to the District, its servants, officers, employees, agents, contractors, assignees and successors, a statutory right of way over the Land to go on, over, upon and to pass and repass with or without vehicles for the purpose of performing the obligations of the Owner as permitted under section 10 herein. The Owner acknowledges and agrees that the District is not an occupier of the Land or any part thereof by virtue of the statutory right of way herein or by virtue of the District's exercise or employment of that statutory right of way. The Owner further acknowledges and agrees that nothing in this Agreement creates or imposes on the District any duty, obligation or liability (including any private or public law duty, obligation or liability) to any person to exercise or enforce this statutory right of way, all such matters being within the absolute and unfettered discretion of the District.

13. **Rent Charge** – The Owner hereby grants to the District a rent charge under Section 219 of the *Land Title Act* (British Columbia), and at common law, securing payment by the Owner to the District of any amount payable by the Owner pursuant to this Agreement. The Owner agrees that the District, at its option, may enforce payment of such outstanding amount in a court of competent jurisdiction as a contract debt, by an action for and order for sale, by proceedings for the appointment of a receiver, or in any other method available to the District in law or in equity.
14. **District’s Right to Specific Relief** – The Owner agrees that the District is entitled to obtain an order for specific performance or a prohibitory or mandatory injunction in respect of any breach by the Owner of this Agreement. The Owner agrees that this section 14 is reasonable given the public interest in the need for effective protection of the Covenant Area and the Protected Trees.
15. **Other Requirements** – Notwithstanding any other provision of this Agreement, the Owner must, in its activities on or with respect to the Land, observe and comply with all the District Bylaws, and policies regulating tree preservation in existence from time to time.
16. **Inspection** – The District, its officers, employees, contractors and agents, will have reasonable access to the Land at all reasonable times as may be necessary to ascertain compliance with this Agreement.
17. **Limitation on Owner’s Obligations** – The Owner is liable only for breaches of this Agreement that occur while the Owner is the registered owner of the Land or any part thereof.
18. **Release and Indemnity** – The Owner hereby releases the District, and indemnifies and saves the District harmless and its elected and appointed officials, officers, employees, agents and others of the District, from and against any and all actions, causes of actions, suits, claims (including claims for injurious affection), costs (including legal fees and disbursements), expenses, debts, demands, losses (including economic loss) and liabilities of whatsoever kind directly or indirectly arising out of or in any way due or relating to:
 - (a) the Protected Trees or their preservation and maintenance;
 - (b) the granting or existence of this Agreement;
 - (c) the restrictions or obligations contained in this Agreement or the performance or non-performance by the Owner of this Agreement;
 - (d) the exercise by the District of any of its rights under this Agreement; or
 - (e) any approval given or not given by the District under this Agreement.
19. **No Obligations on District** – The Owner acknowledges and agrees that the rights given to the District by this Agreement are permissive only and nothing in this Agreement imposes on the

District any duty, obligation or liability of any kind (including any private or public law duty, obligation or liability) to any person to exercise or enforce this Agreement, or the statutory right of way granted in section 12 or obliges the District to perform any act or to incur any expense for any of the purposes set out in this Agreement all such matters being within the absolute and unfettered discretion of the District, except as otherwise set out herein. The District hereby expressly reserves the absolute and unfettered right and discretion at any time, without notice to the Owner or any other person, to discharge and relinquish the Section 219 Covenant and the statutory right of way hereby granted without compensation or liability to anyone.

20. **No Effect on Laws or Powers** – This Agreement does not:
- (a) affect or limit the discretion, rights or powers of the District under any enactment or at common law, including in relation to the use or subdivision of the Land and including in relation to the issuance of a development permit for the Land;
 - (b) affect or limit any enactment relating to the use or subdivision of the Land; or
 - (c) relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Land.
21. **Covenant Runs With the Land** – Unless it is otherwise expressly provided in this Agreement, every obligation and covenant of the Owner in this Agreement constitutes a personal covenant and a covenant granted under Section 219 of the *Land Title Act* (British Columbia) in respect of the Land. This Agreement burdens the Land and runs with it and binds the successors in title to the Land. This Agreement burdens and charges all of the Land and any parcel into which it is subdivided by any means and any parcel into which the Land is consolidated.
22. **No Tort Liability** – This Agreement creates only contractual obligations and obligations arising out of the nature of this document as a covenant under seal. No tort obligations or liabilities of any kind exist between the parties in connection with the performance of, or any default under or in respect of, this Agreement. The intent of this section 22 is to exclude tort liability of any kind and to limit the parties to their rights and remedies under the law of contract and under the law pertaining to covenants under seal.
23. **Remedies Non-Exclusive** – No remedy herein conferred on the District is intended to be exclusive. Each and every remedy shall be cumulative and shall be in addition to every other remedy given herein or now or in the future existing at law or in equity or by statute or otherwise. The exercise or commencement of exercise by the District of any one or more of such remedies shall not preclude the simultaneous or later exercise by the District of any or all other such remedies.
24. **Notice** – Any notice to be given pursuant to this Agreement must be in writing and must be delivered personally or sent by prepaid mail. The addresses of the parties for the purpose of

notice are the addresses on the first page of this Agreement and in the case of any subsequent owner, the address will be the address shown on the title to the Land in the Land Title Office. If notice is delivered personally, it may be left at the relevant address in the same manner as ordinary mail is left by Canada Post and is to be deemed given when delivered. If notice is sent by mail, it is to be deemed given 5 days after mailing by deposit at a Canada Post mailing point or office. In the case of any strike or other event causing disruption of ordinary Canada Post operations, a party giving notice for the purposes of this Agreement must do so by delivery as provided in this section 24. Any party may at any time give notice in writing to the other of any change of address and from and after the receipt of notice the new address is deemed to be the address of such party for giving notice.

25. **Discretion** – Wherever in this Agreement the approval of the District is required, some act or thing is to be done to the District’s satisfaction, the District is entitled to form an opinion, or the District is given a sole discretion:
- (a) the relevant provision is not deemed to have been fulfilled or waived unless the approval, opinion or expression of satisfaction is in writing signed by the Director; and
 - (b) any discretion of the District is deemed to be the sole, absolute and unfettered discretion of the District.
26. **No Public Law Duty** – Where the District is required or permitted by this Agreement to form an opinion, exercise its discretion, express satisfaction, make a determination or give its consent, the District is under no public law duty of fairness or natural justice in that regard and the District may do any of those things in the same manner as if it were a private party and not a public body.
27. **Modification, Discharge or Abandonment** – The Owner agrees that this Agreement is intended to be perpetual in order to protect the Land as set out in this Agreement. In view of the importance of protecting the Land for ecological and other reasons, the Owner agrees not to seek a court order modifying, discharging or extinguishing this Agreement under the *Property Law Act* (British Columbia), any successor to that enactment, any other enactment or the common law.
28. **Registration** – The Owner agrees to do everything necessary at the Owner’s expense to ensure that this Agreement is registered against title to the Land with priority over all financial charges, liens and encumbrances registered or pending at the time of application for registration of this Agreement.
29. **Waiver** – An alleged waiver of any breach of this Agreement is effective only if it is an express waiver in writing of the breach. A waiver of a breach of this Agreement does not operate as a waiver of any other breach of this Agreement.

30. **Severance** – If any part of this Agreement is held to be invalid, illegal or unenforceable by a court having the jurisdiction to do so, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
31. **No Other Agreements** – This Agreement is the entire agreement between the parties regarding its subject and it terminates and supersedes all other agreements and arrangements regarding its subject.
32. **Enurement** – This Agreement binds the parties to it and their respective successors, heirs, executors and administrators.
33. **Deed and Contract** – By executing and delivering this Agreement each of the parties intends to create both a contract and a deed executed and delivered under seal.

As evidence of their agreement to be bound by the above terms, the parties each have executed and delivered this Agreement under seal by executing Part 1 of the *Land Title Act* Form C to which this Agreement is attached and which forms part of this Agreement.

GRANT OF PRIORITY

RECITALS:

- A. The Owner (as defined in the attached covenant agreement) (the “**Covenant Agreement**”) is the registered owner of the lands described in Item 2 of Part 1 of the General Instrument attached hereto (“**Land**”);
- B. The Owner granted to ▼ [INSERT LENDER NAME] (the “**Prior Chargeholder**”) a mortgage and an assignment of rents which are registered against the title to the Land in the Lower Mainland Land Title Office under numbers _____ and _____ (together, the “**Prior Charges**”);
- C. By the Covenant Agreement, the Owner granted to the District (as defined in the Covenant Agreement) (the “**Subsequent Chargeholder**”) the Section 219 Covenant and the Section 218 Statutory Right of Way that are described in the Covenant Agreement (together, the “**Subsequent Charges**”); and
- D. Section 207 of the *Land Title Act* (British Columbia) permits the Prior Chargeholder to grant priority over a charge to a subsequent chargeholder.

PRIORITY AGREEMENT

This Priority Agreement is evidence that in consideration of \$2.00 paid by the Subsequent Chargeholder to the Prior Chargeholder (the receipt and sufficiency of which is hereby acknowledged) the Prior Chargeholder grants to the Subsequent Chargeholder priority over the Prior Charges and the Prior Chargeholder covenants and agrees to subordinate and postpone all its right, title and interest in and to the Land with the intent and with the effect that the interests of the Subsequent Chargeholder in and under the Subsequent Charges are the same as if the Subsequent Charges had been executed, delivered and registered against the title to the Land before registration of the Prior Charges.

As evidence of their agreement to be bound by the above terms of this Priority Agreement, the party described in this Priority Agreement as the Prior Chargeholder has executed and delivered Part 1 of the *Land Title Act* Form C to which this Priority Agreement is attached and which forms part of this Priority Agreement.

SCHEDULE "A"

Plan of Covenant Area



RADIX TREE & LANDSCAPE CONSULTING

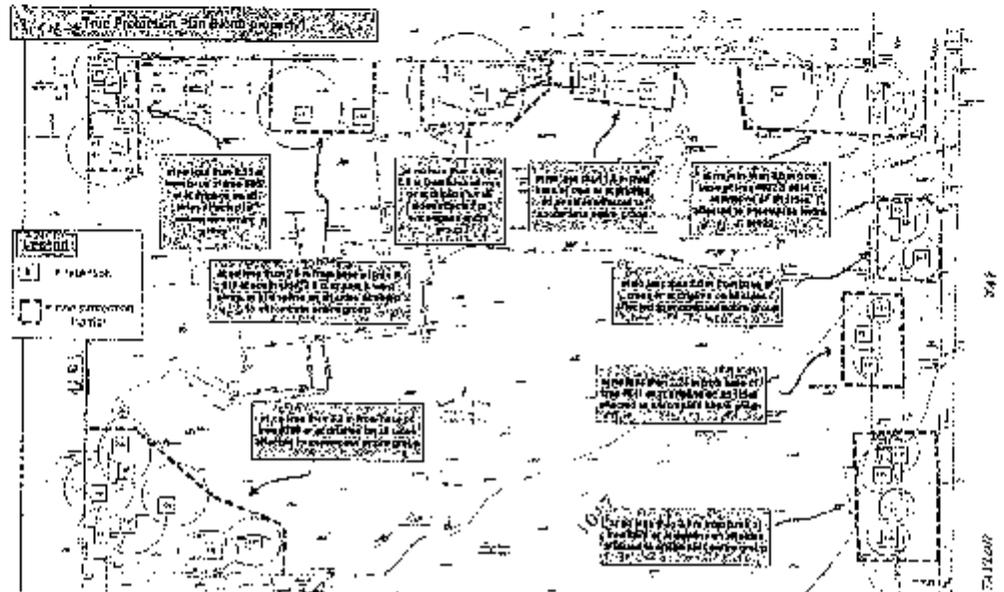


Figure 3. Tree Protection Plan - North Property

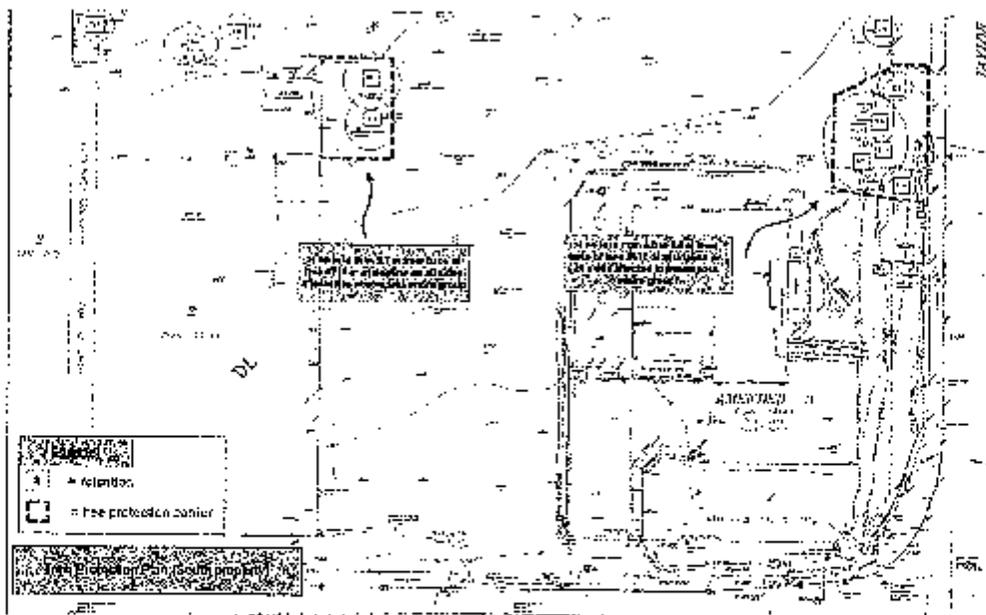


Figure 4. Tree Protection Plan - South Property

Suite #264, 718-333 Brooksbank Ave, North Vancouver, BC V7J 3V8
PH: 778.319.6164 Fax: 778.262.0140



District of West Vancouver
Proposed
Development Permit No. 12-084

Current Owner: Naser Guivian and Farideh Goldarre

This Development Permit applies to:

Civic Address: 707 Keith Road

Legal Description: 007-947-534
Lot 3, Except part in Plan VAP 23118 South East 1/4 of District Lot
1047 Plan 14144
(the 'Lands')

Current Owner: Minoru Hasegawa, Shizue Hasegawa and Wanda Hasegawa

This Development Permit applies to:

Civic Address: 825 Taylor Way

Legal Description: 007-947-526
Lot 1 South East 1/4 of District Lot 1047 Plan 14144
(the 'Lands')

1.0 This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as the Northwest Corner of Taylor Way and Keith Road Development Permit Area to ensure that the seniors' assisted living and memory residence integrates within the existing neighbourhood and meets a high quality of building and landscape design in keeping with the site and neighbourhood context and subject to Guidelines BF-B 14 specified in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

2.0 The following requirements and conditions shall apply to the Lands:

- 2.1 Buildings, structures, on-site parking, driveways and site development shall take place in accordance with the attached Schedule A.
- 2.2 Sprinklers must be installed in all areas as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.
- 2.3 No wood burning fireplaces shall be installed, constructed or otherwise permitted on the Lands or in any building on the Lands.

- 2.4 On-site landscaping shall be installed at the cost of the Owner in accordance with the attached Schedule A.
 - 2.5 Sustainability measures and commitments shall take place in accordance with the attached Schedule A, and including the provision solar panels for hot water heating systems where feasible at the discretion of the consulting engineer.
 - 2.6 All balconies, decks and patios are to remain fully open and unenclosed; however, balconies and decks may be enclosed for safety or security purposes, and in any case the weather wall must remain intact.
- 3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
- 3.1 Provide and implement a plan for traffic management during construction, to the satisfaction of the District's Manager of Development Engineering.
 - 3.2 Install tree and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.
 - 3.3 Submit a "Sediment and Erosion Plan" to the District's Environment Protection Officer for approval, and the owner shall be responsible for maintaining, repairing and implementing of the sediment control measures.
- 4.0 Prior to Building Permit issuance:
- 4.1 Engineering civil drawings detailing works, including but not limited to: (a) storm water management measures; (b) site service connections; (c) new boulevard plan along the frontage of the site including curbs, sidewalk and grading plan; and (d) the repaving of north lane on Keith Road from Taylor Way to the round-about, must be submitted for acceptance, and security provided for the due and proper completion of the engineering works, all to the satisfaction of the District's Manager of Development Engineering.
- 5.0 Security for Landscaping:
- 5.1 Within 60 days of issuance of a Building Permit, security for the due and proper completion of the landscaping set forth in Section 2.4 of this Development Permit shall be provide in the amount of \$25,000 to the District in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union. The landscaping shall be maintained for a minimum of one year after installation, and not prior to the date on which the District authorizes in writing the release of the security.
 - 5.2 No occupancy shall be issued nor will any other final approvals will be given until the landscaping set forth in Section 2.4 of this Development Permit is substantially completed or until a security deposit for the due and proper completion of the landscaping set forth in Section 2.4 of this Development Permit is provided for any outstanding works or deficiencies.

6.0. This Development Permit lapses if the work authorized herein is not commenced within 12 months of the date this permit is issued.

In the event the Owner is delayed or interrupted or prevented from commencing or continuing the development by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the work shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON _____, 2014.

MAYOR

MUNICIPAL CLERK

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

Owner: Signature _____ Owner: Print Name above _____ Date _____

FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON [Insert date#] .

Schedules:

A – Building plans, landscaping and sustainability measures (January 27, 2014 edition).

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MAISON SENIOR LIVING • WEST VANCOUVER, BC

A MUCH NEEDED PREMIERE ASSISTED LIVING AND MEMORY CARE COMMUNITY

REZONING, OCP AMENDMENT, DEVELOPMENT PERMIT APPLICATION • JANUARY 27, 2014 • COUNCIL

December 13, 2012

District of West Vancouver
Planning Department
750 - 17 Street
West Vancouver, BC
V7V 3T3



Attention: Geri Boyle, Manager of Community Planning

Re: Maison Senior Living Residence
Rezoning, OCP Amendment & DP Application

Milliken Developments is pleased to be submitting the enclosed Rezoning, OCP Amendment & DP Application requirements for the Maison Senior Living Residence located at the northwest corner of Taylor Way and Keith Road. Assisted living housing, especially with memory care services, is a significantly under-serviced sector in West Vancouver and the Maison project proposes to directly address this community need with a 93 suite / 110-residence facility.

Policy H3 of the OCP contemplates applications with the exact characteristics of the Maison project and "recognizes that opportunities occur in limited site-specific situations where a housing need may be addressed in a manner that is consistent with the Principles of the OCP." With support of this OCP policy among numerous others, we are confident that this proposal meets the high expectations that are expected of an OCP Amendment.

The vision for this project was led by Milliken Developments with the assistance of NORR and several other specialty consultants. Valuable design and analysis was undertaken to ensure the feasibility of this project as well as to produce a very high quality proposal that maximizes all site opportunities and adequately mitigates any impact.

Enclosed in this booklet, as outlined in the following page, is the design rationale and design drawings to support our submission.

We look forward to your feedback on our submission. We strongly believe in the vision of the Maison project and are committed to its success, so please do not hesitate to contact Milliken Developments if you require any clarifications or additional information.

Sincerely,

Kate Milliken Binns
kbinns@millikendevelopments.com

CONTENTS

COVER LETTER

SECTION 1: DESIGN BRIEF – RATIONALE FOR PROPOSED DEVELOPMENT & NEIGHBOURHOOD CONSULTATION SUMMARY

SECTION 2: ARCHITECTURAL RENDERINGS & SITE CONTEXT MATERIAL

- Perspective Images
- Colour Elevations
- Material Board
- Site Sections
- Context and Site Photos
- Neighbours' "Before and After" Photos

SECTION 3: ARCHITECTURAL DESIGN DRAWINGS

- Cover
- DP10-01-01 Site Plan, Location Plan & Project Statistics
- DP20-00-01 Far Floor Plans & Calculations
- DP20-01-01 Lower Amenity Level
- DP20-02-01 Upper Amenity & Parkade Level
- DP20-03-01 Residential Level 01 - Memory Care
- DP20-04-01 Residential Level 02 - Supportive Living
- DP20-05-01 Residential Level 03 - Supportive Living
- DP20-06-01 Roof Plan
- DP30-00-01 Elevations
- DP30-00-02 Elevations
- DP30-00-03 Elevations
- DP30-00-04 Elevations
- DP40-00-01 Sections North – South
- DP40-00-02 Sections East – West

SECTION 4: LANDSCAPE DESIGN DRAWINGS

- L0.0 Cover Page
- L1.0 Tree Management Plan
- L2.1 Landscape Plan
- L3.0 Schedules & Notes
- L4.1 Landscape Details
- L4.2 Landscape Details
- L5.1 Landscape Sections
- L5.2 Landscape Sections

SECTION 5: SUPPORTING STUDIES & REPORTS

- Sustainability Checklists
- Market Overview
- Traffic Impact & Parking Supply Study

**SECTION 1: DESIGN BRIEF – RATIONALE FOR PROPOSED DEVELOPMENT & NEIGHBOURHOOD
CONSULTATION SUMMARY**

MAISON SENIOR LIVING RESIDENCE DESIGN BRIEF - RATIONALE FOR PROPOSED DEVELOPMENT

REZONING, OCP AMENDMENT & DEVELOPMENT PERMIT APPLICATION

The proposed Maison Senior Living, private pay, boutique assisted living and memory care (Alzheimers and dementia) community is spearheaded by long time West Vancouver residents Don Milliken and Mark Coleman. Don and Mark are the founding partners of Maison Senior Living. Maison's proposed 91 suite / 103 residences community at the northwest corner of Taylor Way and Keith Road is intended to address a serious need for high quality seniors' care in West Vancouver. At present, according to a recent study by the Altus Group there is an unmet demand for 900 assisted living and memory care, private pay (i.e. not government funded) beds in West Vancouver alone. The available supply of this style and quality of seniors' care in West Vancouver is 70 beds. These 70 beds are divided between Hollyburn House and Amica. In each of these communities it is very difficult to be accepted as an assisted living or memory care resident unless you previously lived as an independent resident in the same facility.

The sad state of affairs is that residents in comfortable independent living focused communities such as Hollyburn House, Amica and even the future Westerleigh usually progress to the point that they require more care than is available at these communities. At that point these seniors, and their families, often face the prospect of either moving to a publicly funded facility or moving outside of West Vancouver. Unfortunately, individuals who have resided in West Vancouver for decades are often forced to leave their home community to live elsewhere in the lower mainland. This is usually not the first choice of the senior or their families. Don Milliken experienced exactly this situation with his father beginning 8 years ago. His father and mother had lived in West Vancouver for over 30 years. His father's deteriorating condition led to home care, which worked for a while. When home care was no longer practical he was forced to move to a community outside of West Vancouver. His Alzheimer's excluded him from being accepted at Hollyburn House and Amica and it was the family's choice not to put him on a waiting list for West Vancouver government funded communities. Literally hundreds of West Vancouver families are facing similar situations. Maison Senior Living is intended to fill this much needed care for seniors in West Vancouver.

The generally accepted description of the levels of senior's care in Canada is independent living, assisted living and memory care.

Independent living can be generally described as senior's living together in a community for social interaction and group activities and often dining in a common dining room rather than preparing meals

themselves. Independent living accommodations vary but often include one and two bedroom apartments with kitchens. Examples in West Vancouver of high quality, private pay independent living focused communities are Hollyburn House, Amica and the future Westerleigh. Assisted living communities provide a higher level of care for seniors who have somewhat of a level of physical and/or mental disability. In an assisted living community a senior may have some level of, perhaps, Alzheimers and/or may have difficulty, for example, getting dressed or showering themselves. They may also be taking some medications which may require management. In West Vancouver, Hollyburn House and Amica provide 35 beds each for seniors with assisted living needs. Generally, though, a senior will only be accepted as an assisted living resident in these communities if they have already been living in the community as an independent living resident. Memory care refers to seniors with Alzheimers or dementia. Because their memory has deteriorated, these seniors require considerably more assistance and guidance with most day to day activities. Memory care seniors may or may not require physical assistance. In West Vancouver there is no private pay memory care available.

The proposed Maison West Vancouver is a community designed for 66 residents with assisted living care needs and 37 residents with memory care needs. There will be no independent living seniors residents in Maison West Vancouver. Maison's building design reflects the two levels of high quality senior's care being provided. At the south facing front entrance to Maison West Vancouver, on Keith Road, there is a spacious ground floor patio adjacent to a large common area living room with library, fireplace, theatre, a games and meeting area, and a bistro. Upstairs, accessed via an elevator or winding grande staircase, is a large dining room with fireplace, an expansive outdoor deck, and a private dining room. This second level also includes the kitchen, staff offices, and a lobby connection to the covered parking. These two levels are for the use of Maison's seniors with assisted living care needs.

Behind the facilities described above are three residential floors. The lowest floor is designed exclusively for a maximum of 36 senior's with memory care needs. This floor has expansive outdoor areas with south facing patios and a large outdoor patio and walkway to the north. The outdoor area to the north is very private and peaceful as a result of retaining walls and the site's topography. In addition to large activity areas, this floor has its own spacious private dining room with large deck with a view of the Lion's Gate Bridge and Stanley Park.

Thirty eight seniors will occupy each of floors 2 and 3 with assisted living care needs. These assisted living floors each provide large activity areas, including a library area on each floor and both have generous south facing deck areas and excellent views. Seniors on the assisted living floors will dine, use the bistro, use the private dining room for a family gathering, watch a movie, sit by one of two fireplaces and generally gather and interact with other residents in those areas adjacent to the front entrance and described above.

From a regulatory perspective, the Maison Senior Living project requires a rezoning and amendment to the Official Community Plan if it is to be realized. It is clear that such an amendment is both anticipate and strongly supported by Policy H3 in the Housing chapter of the OCP because of the great improvement to housing diversity that comes with the Maison project. Detailed in this design brief, the enclosed design drawings are the specifics as to how the Maison project manages to meet and go beyond the H3 policy intent:

- minimal impact on established areas in terms of access, traffic, parking, and obstruction of views;
- provides a degree of physical separation (e.g. a road, green belt, alternate use, or change in natural grade) from the surrounding neighbourhood
- housing types include low-rise multiple family housing and supportive housing
- housing is intended for people with special accessibility needs, including certain forms of seniors' housing, should be located on relatively flat sites, close to transit, services and amenities
- siting, design and building forms contribute to desired neighbourhood character

With this, it is anticipated that the Maison application will be recognized as a noteworthy example of an appropriate OCP amendment that aligns with the District of West Vancouver planning principles and meets long-term community needs.

COMMUNITY CONTEXT

Demographic trends in North America, British Columbia and West Vancouver are well recognized with the largest segments of our population quickly approaching retirement and senior-status. The OCP for the District of West Vancouver repeatedly acknowledges this statistic reality and further reveals that this trend is amplified in West Vancouver, where populations are notably older than neighbouring municipalities:

“Over the decades, West Vancouver’s demographic profile has shifted from a fairly homogeneous population of mostly young families with children, to one of a greater proportion of older residents and smaller families.

BC Stats projections indicate that the aging trend in West Vancouver will continue, with fewer young children and youth and significantly more older people than today.

The Maison Senior residence in West Vancouver is a specific reaction to address these new population characteristics and to ensure a known void is filled for the future needs of the community.

Specifically, the Maison project is targeted at a segment of the aging population that can no longer live independently. Assisted living with memory care is a critical component of housing diversity which many communities continually strive to develop, so older residents can remain in their neighbourhoods and close to family. Along with the specific statistics that are provided in the Altus report, this reality is also clearly recognized in the OCP:

“West Vancouver’s growing proportion of older residents will require a considerable increase in health, support and housing services to meet their varied needs.”

Further support for the project within a community context is found in the Social Planning chapter of the OCP where greater accessible is encouraged for buildings with more diverse health and wellness services. These specific elements of social planning are main tenets in Maison Senior Living community.

SITE CONTEXT AND LAND USE

This application proposes to consolidate and rezone the properties 707 Keith Road and 825 Taylor Way, located the northwest corner of Taylor Way and Keith Road. Currently zoned RS3, the resultant zone will be a Comprehensive Development (CD) zone fitting for a seniors’ specific use.

ADJACENT LAND USES ARE:

NORTH: two single-family lots zoned RS3. The lots are up-slope of the Maison site with several mature trees existing within the setback area on each side of the property line.

SOUTH: across Keith Road, the Evelyn project is zoned CD with a mix of residences ranging from single family houses to apartment buildings.

EAST: five single-family lots zoned RS3, across 4 to 5 lanes of Taylor Way. The homes are east of a soil bank and a line of trees that line Taylor Way. Only a very small portion of houses are visible from the street.

WEST: two single-family lots zoned RS3. Several mature trees exist within the setback area on each side of the property line.

A summary of the site statistics for the proposed 3 to 4 storey Maison residence is as follows:

PROPOSED ZONE CHARACTERISTICS

| | |
|------------------------|-------------|
| Site size | 6434.55 sqm |
| Building Coverage | 42% |
| Floor Area Ratio (FAR) | 0.98 |
| Maximum Height | 14.5 m |

Note: statistics are generated from the gross site area before accounting for a 172 sqm road dedication

As indicated above, the H3 policy recommends an OCP amendment for single family properties such as the an RS3 zone to a denser form if the resulting use is contextually appropriate, sensitively designed and notably beneficial to housing diversity in a meaningful way. The relationship of this relatively denser project to Taylor Way is supported by strong planning logic that often points to denser forms along main transportation corridors. Such developments along busier roads provide an effective transition to the less dense, single family neighbourhoods further from the road and are a common urban design strategy. The wider width of this arterial road also provides good distance between the single family houses to the east, in addition to the heavy tree cover that exists along the road as a screen. The Evelyn project to the south is just north of Park Royal and includes a multi-family development in the scale proportional and greater than the Maison proposal. From a land use perspective, the Maison development provides a logical extension of slightly increased density moving north from the important commercial hub of Park Royal, especially for a needed seniors’ facility like the Maison residence. Lastly, the strategies to ensure an appropriate interface with the single-family homes to the north and west are described in the Design sections below.

Also relevant in the assessment of the Maison proposal are other OCP amendments recently transacted in the District of West Vancouver. The above mentioned Evelyn project is a relevant example for the Maison project as is the recent Westerleigh development. The Evelyn project reinforces the OCP vision of increasing density in sites close to commercial centres with a diversity of housing. The OCP amendment for the Westerleigh seniors’ project was supported under the framework of the H3 policy for also filling a housing need in the community. Both the site and policy context of these precedent examples lend strong support for the OCP amendment rationale for the Maison project. Notably, the Westerleigh does not provide the breadth and diversity of assisted living and memory care services that will be available at the Maison residence. As a result, the housing niche filled by the Maison project is arguably even more beneficial to the community than the Westerleigh.



SITE, BUILDING AND ARCHITECTURAL DESIGN

The enclosed Maison design drawings illustrate the various considerations and treatments that were given for the facility and surrounding interfaces. The final design was derived through an iterative process including conscious design and valuable input from District planning staff and the development review committee. The building orientation and aesthetics were systematically designed and redesigned to arrive at a solution that best considers the site and neighbourhood context.

The Maison property slopes consistently down from the northwest to the southeast. This aspect of the site along with the adjacent single-family houses to the north and west provide the main considerations for siting the building and designing the appropriate form given the interfaces to the adjacent properties. In this regard, a notable design decision was to locate the building closely to and along Taylor Way. The majority of the building mass was purposefully directed at the east side of the site and set into the natural site grade. This yields a maximum distance between the Maison building and the adjacent house at the southwest along with a much shorter building height adjacent to the northern houses. The east elevation of the building illustrates that the south portion of the building is 2-storeys stepping up to 4-storeys. Moving further north, the increasing grade decreases the building height to 3-storeys, eventually revealing a building height of no more than 2-storeys above existing grade. The building is in fact 3-storeys at the north end, but has been purposefully recessed into the existing site topography to create an appropriate interface with the northern houses. Similarly, the north elevation reveals that the building is even more recessed at the northwest corner yielding a building height of only 1.5- storeys above existing grade. The building siting and form were also informed by various internal modifications such as the reposition of the kitchen to front Taylor Way rather than be closer to the existing house. In all, the exercises to continually refine these building elements led to a building form and location that fully considers the site context and respects the neighbouring properties. These design decisions are one example where the proposal is consistent with Policy NE 2, which is intended to minimize visual impacts of new development through design and construction.

The architectural aesthetic of the Maison residence is contemporary coastal style and has been thoughtfully designed to appropriately integrate into the local community and context. The horizontal roof planes of the building allow for a lower building profile to reduce visual impact and overshadowing. Elements of the façade with generous use of wood and glazing give a cadence to the building walls, and together with the various decks and courts, the building generates a unique character. The use of stone at the building base, cement board siding and panel systems for the upper floors and use of timber structure and detailing give the building a classic West Coast expression. A natural colour palette will also be used to ensure the building blends into the natural surroundings.

Given that the Maison residence will be an on-going operation, there is vested interested in incorporating sustainable and green building elements that will make the residence both energy efficient and a more enjoyable place to live. To this end, a number of components have been woven into the building design that meets the intent of superior environmental design stated in OCP Policy BF-A1. A benefit of this is also the relative reduction in greenhouse gas emissions that is targeted in the Climate Action chapter of the OCP. Included in the efficiency elements of the project will be lower flow plumbing fixture for water reduction and strict insulation and glazing measures. Mechanical systems will be optimized during detailed design to ensure the best balance of personal comfort and system efficiency for reduced consumption. In relation to other experiential components, local and regional materials and systems will be used whenever possible, including the use of wood structure for accents and exterior deck elements. Low emitting materials and paints will be specified and are in line with wellness goals of the facility. The south facing façade of the building is also an important component that will provide daylight and views from key gathering areas in the residence. Lastly, a vegetated roof over the common amenity area and a reflective roof over the remainder of the building will be provided to significantly reduce heat-island effect from the new building and help further realizing the intent of Policy NE 2, by helping to minimize environmental and visual impacts of the building.

In conclusion, numerous design strategies were utilized to ensure the suitable integration of the Maison residence into the surrounding area. The result is a building that strives and successes to contribute positively to the neighbourhood character.

LANDSCAPE DESIGN

An Environmental Site Inspection and an Arborist Report were completed for the project, which meets the intent of Policy NE 7 to inventory natural assets on site. As detailed in these reports, the existing site is predominately in a natural condition with a broad range of native plant material mixed in with several invasive species. While there are a number of valuable trees, many of the existing trees have previously been topped and are in fair to poor condition. The more valuable trees are located along the north property line and will prove valuable in their retention. The siting of the building and the creation of usable landscape open space is in direct response to the site opportunities. The proposed landscape design demonstrates continuity with the surrounding environment by maintaining the pre-existing site contours.

The overall landscape strategy for this project is to provide a calming natural environment for the use and enjoyment of residents and visitors. The front yard will have a slightly more ornamental feel picking up some of the character of Taylor Way above the Upper Levels Highway with a formal row of cherry trees and under plantings. The treatment of the corner of Keith Road and Taylor Way will provide a balance of a strong corner treatment with the provision of some views for the residents. Low retaining walls and site signage will be clad in natural stone.

The rear yard and flanking side yards respond directly to the natural forest character of the site. Tree retention and restoration to a healthy natural condition has been a priority with an exhaustive tree inventory and analysis forming the basis of the tree management planning and retaining wall configuration. This again supports the intent of Policy NE 2 to minimize or mitigate environmental impact through restoration practices. Particular attention has been paid to trees along the north and west edges of the site to maintain dense screening between the project and adjacent homes. Where gaps in the existing planting do exist, additional evergreen and deciduous trees will be planted in a natural pattern. The existing dense mixed hedging along the Taylor Way frontage will also be retained to provide screening to the building. Understory plantings will be predominately native to maintain a consistency with the existing site and in response to solar access.

A range of open spaces has been provided for the use of residents and with an understanding of the range of capabilities. Each space has a unique character in response to its solar orientation and views. At grade patios have been provided at the north and west faces with an accessible path connection around to the front of the building to a generous south facing terrace.

Elevated patios are also provided adjacent to amenity and dining areas and at key locations with sun exposure and distant views.

Sustainability has been further addressed in part through the protection and enhancement of the retained site, the use of a native drought tolerant plant palate, and through the introduction of storm water management strategies including rain gardens to detain storm flows.

INFRASTRUCTURE

A Servicing Brief completed by CREUS Engineering and it has been determined that the requirements of the proposed Maison development can be accommodated within the existing capacity of the District civil infrastructure. Given the central and urban location of this redevelopment, it is clear that the project does not unduly burden the existing infrastructure. Specific to stormwater management, the project is also committed to the intent of OCP Policy NE 8 and to deliver a stormwater management solution in a location and manner that promotes site sensitive design.

A Traffic Impact Study completed by the MMM Group indicates that there would be no major traffic or parking impacts generated from the Maison project. The nature of a seniors' residence, especially with memory care services, typically does not generate a high level of traffic or parking impact and any minor impact can and has been readily mitigated. As a result, filling this housing need with a facility such as the Maison project consequently fulfills the Transportation & Mobility Policy T2 and T5, to reduce vehicular dependency. Specifically addressed in the report is that "The north and southbound left-turn lanes at the Keith Road / Taylor Way intersection are anticipated to accommodate future traffic volumes such that vehicle queues (generated by left-turning traffic) will not spill back into the through traffic lanes on Taylor Way." This statement is true in a condition with or without the Maison development. The overall minimal impact associated with the traffic and parking requirements of the Maison project is consistent with expectations of the H3 policy.

CONCLUSIONS

We are confident that that the Maison Senior Living project will be a significant benefit to the housing diversity of West Vancouver given the community demographic trends and local assisted living statistics. The proposed location for the Maison residence is ideal for a small, high-quality assisted living and memory care community as the site offers very convenient access to family members and staff taking transit and provides for beautiful views for residents from a number of terraces and balconies. Our project team has invested a great each of thoughtfulness, working with the existing site topography and features, to create a building and landscape design that integration sensibly into the natural surroundings. Numerous sustainable features are also incorporated to enhance the living experience for residents and lessen the impact on our environment. We are proud that this application meets the very high standards set for the Maison Senior Living project and we look forward to taking the next steps toward realizing the vision for this important residence to West Vancouver.

NEIGHBOURHOOD CONSULTATION SUMMARY - JANUARY 27, 2014

From the initial meeting until present day, there have been 14 opportunities for interested parties/neighbours to obtain information, discuss their views and ask questions about the proposed development.

1. June 6, 2012 (6 months prior to application submission) – On June 5th, Don Milliken and Kate Milliken Binns sent introduction letters to the homeowners of 736, 752 and 760 Eden Place (the immediate adjacent neighbours), expressing our willingness to meet to introduce our proposed project and show them preliminary plans. Denise Beck and Robert Koby responded and a meeting was set for the evening of June 6th. At this meeting, preliminary plans and studies were reviewed, and Don and Kate reiterated several times their desire to work with the immediate neighbours to effectively screen our building and to provide a comfort level with the proposed development. We left our business cards, offered to return to meet with Denise and Robert at any time and encouraged them to contact us with suggestions, questions or concerns. We also offered to try to incorporate any reasonable design suggestions that the Beck/Kobys might have. We didn't hear directly or proactively from the Beck/Kobys again.
2. June 7, 2012 (6 months prior to application submission) – On the evening of June 7th, Don and Kate met with representatives of the Cedardale Ratepayers Association and ADRA (including Curt Shepard and Gordon Ward Hall), as well as a few immediate and non-immediate neighbours, at the West Vancouver Recreation Centre, to introduce our proposed development at the corner of Taylor Way and Keith Road. There were approximately 10-15 people present. Don introduced Milliken Developments and gave a brief company background, and then we discussed the strong need for assisted living and memory care beds in West Vancouver. We reviewed highlights of the Altus demand study and then went through a preliminary plan package. We left our business cards and encouraged attendees to contact us with comments, thoughts or questions. We didn't hear back from any attendees.
3. June 26, 2012 (5 ½ months prior to application submission) – Don and Kate met with the owners of 736, 752 and 760 Eden Place, and two people who live on Capilano Road (apparently friends of the hosts). We had already met with the owners of 760 Eden Place at their neighbouring home on June 6th, and the owners of 736 Eden Place attended the information meeting we held at the West Vancouver Recreation Centre on June 7th. What was planned as a 2-4 person meeting turned out to be 8 people, plus Don and Kate. The meeting was a result of the introductory letter sent on June 5th to the immediately adjacent neighbours. Don and Kate gave the Eden Place neighbours a brief background on Milliken Developments and some basic information on our Calgary seniors' development. We then discussed the strong need for assisted living and memory care in West Vancouver and went through a plan package. Four of the people present had already seen the information at previous meetings. Construction timing and duration were briefly discussed, as was the fact that we haven't made an application to the District yet, as we wanted to meet with the neighbours and receive their feedback prior to our submittal.

The meeting concluded with Don and Kate leaving three sets of the plan package with the Eden Place neighbours along with business cards. We offered to return for a follow-up meeting if desired and to incorporate any reasonable design suggestions that any of the group might have. We did not hear anything further from any attendees.
4. December 12, 2012 – Rezoning, OCP Amendment and Development Permit Application submitted.
5. April 8, 2013 – Council meeting to request Council's approval to move forward with Community Consultation and the Design Review Committee. Council unanimously approved the request. No neighbours attended or spoke at this meeting.
6. May 28, 2013 – Community Consultation Meeting took place at the West Vancouver Public Library. This meeting was noticed and advertised per proper District of West Vancouver protocol, and was attended by the three immediate Eden Place neighbours, among others. At this meeting, Geri Boyle gave an overview of the application as it relates to zoning and the OCP etc. Don Milliken, Ron Poon (architect) and Gerry Eckford (landscape architect) then presented the proposed development. Studies, plans and images were reviewed, and the applicant team responded to questions about traffic, parking, landscape screening and neighbourhood impact. Denise Beck (resident of 760 Eden Place) asked why we hadn't taken photos from her home/property as part of our contextual background work. We replied that we were happy to do so and would be in touch to set up the photos, as we would require her specific permission to access her property.
7. Early June, 2013 – Kate contacted the owners of 736, 752 and 760 Eden Place to attempt to set up a time to access the three properties, to take the photos that Denise Beck had requested at the public meeting. When Kate spoke with Denise, Denise asked "Why would you be taking these photos?", and when Kate reminded her about her request at the Community Consultation Meeting, Denise said "Oh, ok. I'll have to strategize with my neighbours and get back to you." Nothing further was heard from any of the neighbours until June 28th, when Diamond Karim (owner of 752 Eden Place) sent an email to Kate, advising that "we have requested and are awaiting further clarification from the District of West Vancouver". We are still unsure as to why the District needed to be consulted about a request made by Denise Beck. Finally, on July 19th, Andrew Franks emailed Kate to advise that access to the properties was granted, and his list of homes to photograph had expanded to include 770 and 780 Eden Place, which are non-adjacent properties to our site. In the spirit of cooperation, we agreed to include these homes in our photo session. Andrew Franks granted us access just days before our July 25th DRC meeting, and as a result, the photos couldn't be included in that package, so we elected to attempt to schedule the photos right after the DRC meeting.
8. July 25, 2013 – Design Review Committee meeting, where Immediate neighbours were in attendance. Some of the immediate neighbours elected to make comments at the end of the meeting expressing their opposition to the development. DRC recommended resubmission to address several relatively minor items.
9. August 16, 2013 – After much scheduling difficulty due to the homeowners' schedules (vacation etc), photos were taken by a professional photographer of 736, 752, 760, 770 and 780 Eden Place, with Don and Kate in attendance. The photo locations were chosen by the homeowners. The owners of all homes except for 770 Eden Place were present for the photos (they had directed us to take exterior shots only), and a lengthy, friendly and informative discussion was had with the owner of 780 Eden Place, Christopher Loat during the photo session. It was clear that Christopher Loat was confused about the height of our building, and we attempted to clarify this item for him, as well as explain about the significant greenbelt we are creating between our building and the neighbours' homes. The meeting ended on a very friendly note.
10. October 5, 2013 - On Saturday, October 5th, Don and Kate met with the owners of 736, 752, 760, 770 and 780 Eden Place to discuss updated plans and images of the proposed development. The meeting took place in the Karim's (752 Eden Place) home. In advance of this meeting, Don sent the email contained in the fourth attachment to this email. The homeowners didn't offer much feedback in response to the information presented, and once again, Don and Kate reiterated that any reasonable suggestions from the group would be incorporated into our design and plans. No such suggestions were made at this meeting. We also offered to come back for further discussion if any of the group requested it.
11. October 7, 2013 - Council meeting where District Staff reported on the Community Consultation process. The immediate neighbours spoke in opposition, along with a few non-immediate neighbours. Council directed an additional Community Consultation meeting to occur prior to making a decision on whether to move the project forward.
12. October 17, 2013 – Design Review Committee meeting. Immediate neighbours were in attendance. Some of the immediate neighbours elected to make comments at the end of the meeting in opposition of the proposal. It was also made apparent at this DRC meeting that several of the DRC members had been approached by the immediate neighbours outside of the formal DRC meetings, to ask the members to come to their homes so the homeowners could further discuss their opposition to the development proposal. At least one DRC member accepted this offer and discussed his visit to the neighbours' homes at the DRC meeting. The DRC recommended resubmission to address five minor items.
13. November 21, 2013 - DRC meeting where the proposal received unanimous support. Immediate neighbours were in attendance. During the comment period, it was made apparent that several of the DRC members had, at the neighbours' invitation, visited the immediate neighbours' homes. Their findings generally were that the neighbours' concerns were perhaps overstated and the proposal received unanimous support.
14. December 5, 2013 – Open House at the West Vancouver Seniors Centre. The Open House was 4 ½ hours long and was advertised according to District protocol. The neighbours were permitted by the District to set up display materials, hand out information and engage with Open House attendees alongside the development team. Comment cards were available to be filled out and all received correspondence has been posted on the District's website. Approximately 75 people in total attended the Open House.

A follow-on meeting to discuss the development took place immediately after the Open House. The invitees for the meeting were those who spoke in opposition of the development proposal at the October 7th Council meeting. Fewer than half of the invitees attended the meeting. The meeting was attended by Councillor Cameron, Councillor Soprovich, Councillor Booth, Lisa Berg, Bob Sokol, the development team and the opposing speakers that elected to attend. The meeting lasted for an hour and a half, and speakers had full opportunity to ask questions and make comments to any of the participants.

From the initial meeting until present day, there have been 14 opportunities for interested parties/neighbours to obtain information, discuss their views and ask questions about the proposed development.

SECTION 2: ARCHITECTURAL RENDERINGS & SITE CONTEXT MATERIAL









EAST ELEVATIONS WITHOUT LANDSCAPING



SOUTH ELEVATION





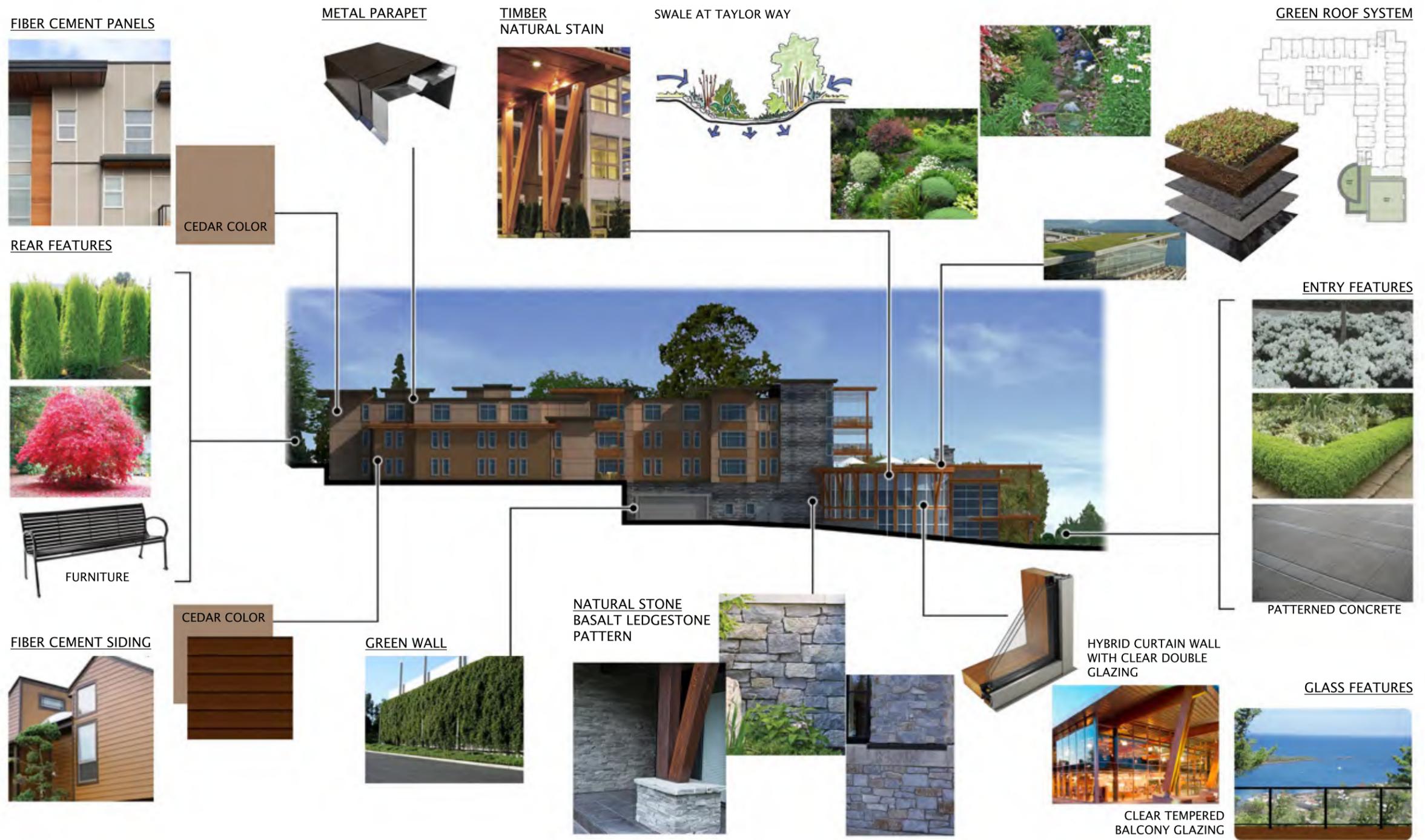
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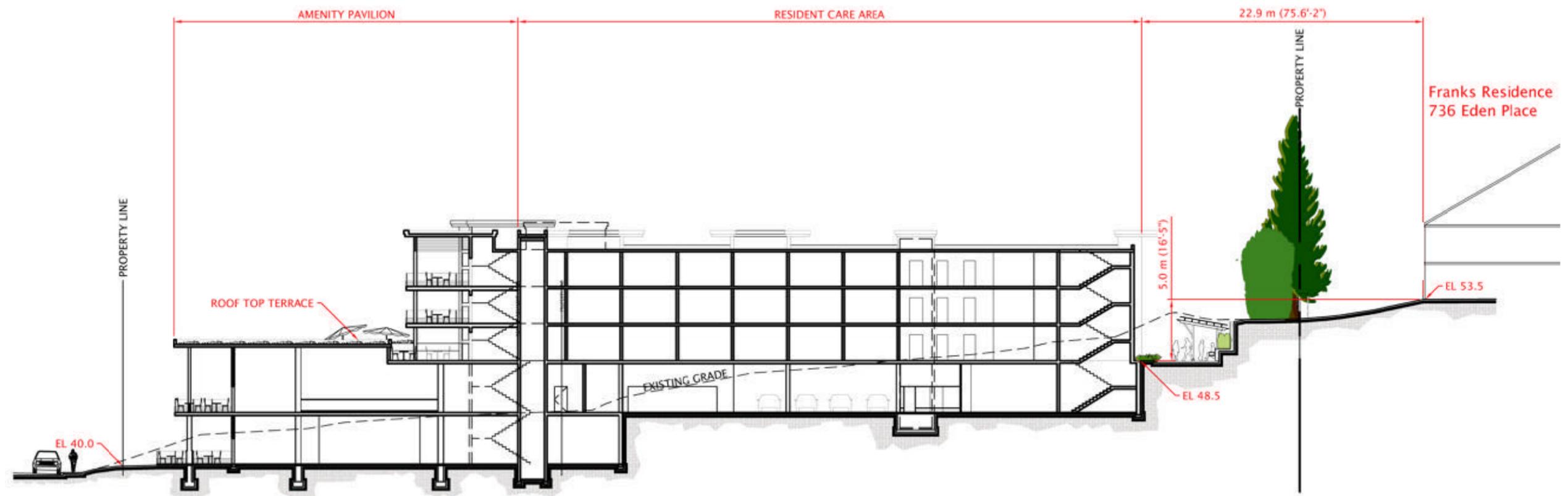
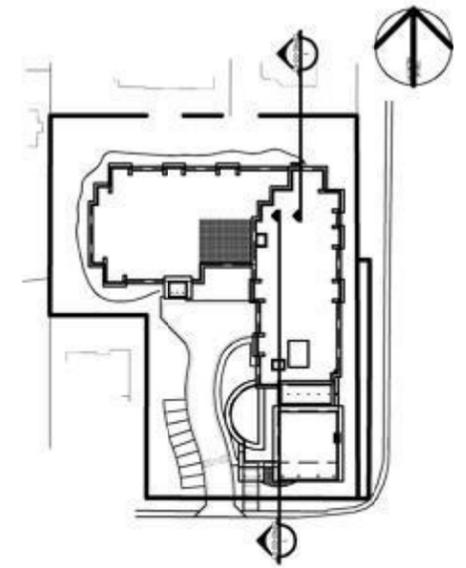


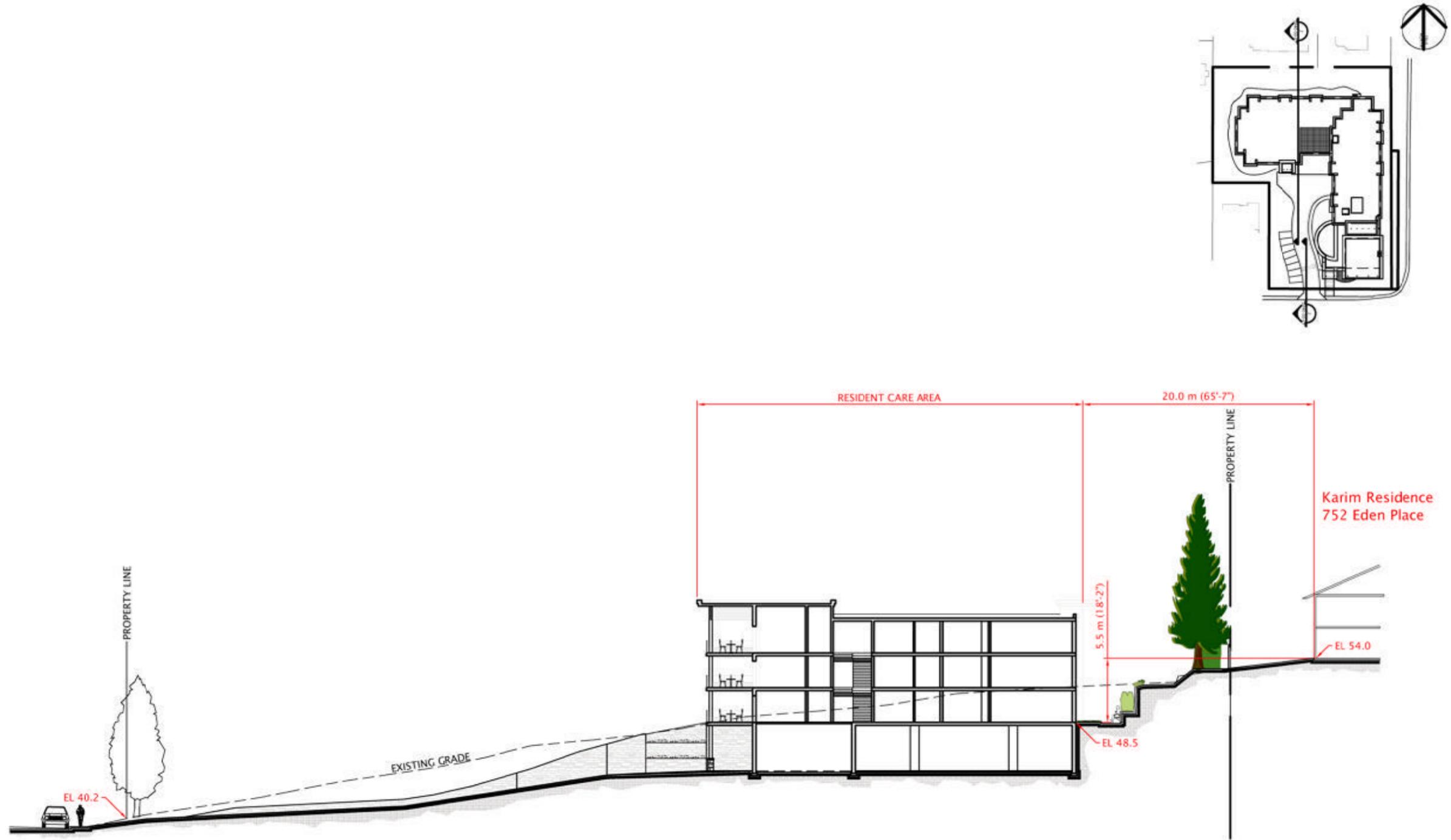


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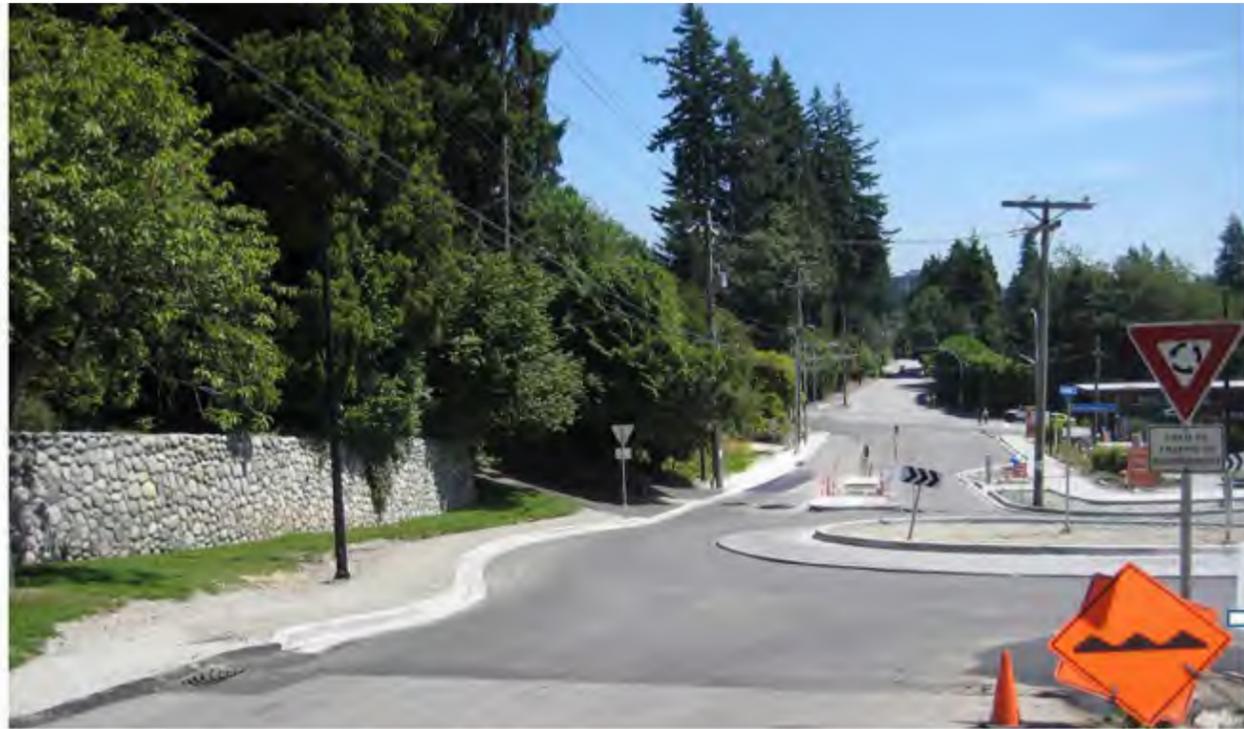




















| LEGEND | |
|---|---------------------|
|  | FRANKS RESIDENCE |
|  | KARIM RESIDENCE |
|  | BECK-KOBY RESIDENCE |
|  | FALLS RESIDENCE |
|  | LOAT RESIDENCE |



736 EDEN PLACE



736 EDEN PLACE PHOTOS



BEFORE



AFTER

752 EDEN PLACE



BEFORE



AFTER

760 EDEN PLACE



BEFORE



AFTER

770 EDEN PLACE

BEFORE



AFTER



780 EDEN PLACE

SECTION 3: ARCHITECTURAL DESIGN DRAWINGS

MAISON SENIOR LIVING

825 TAYLOR WAY & 707 KEITH ROAD, WEST VANCOUVER, BRITISH COLUMBIA

MILLIKEN DEVELOPMENTS
334-901 WEST 3RD ST NORTH VANCOUVER, BC



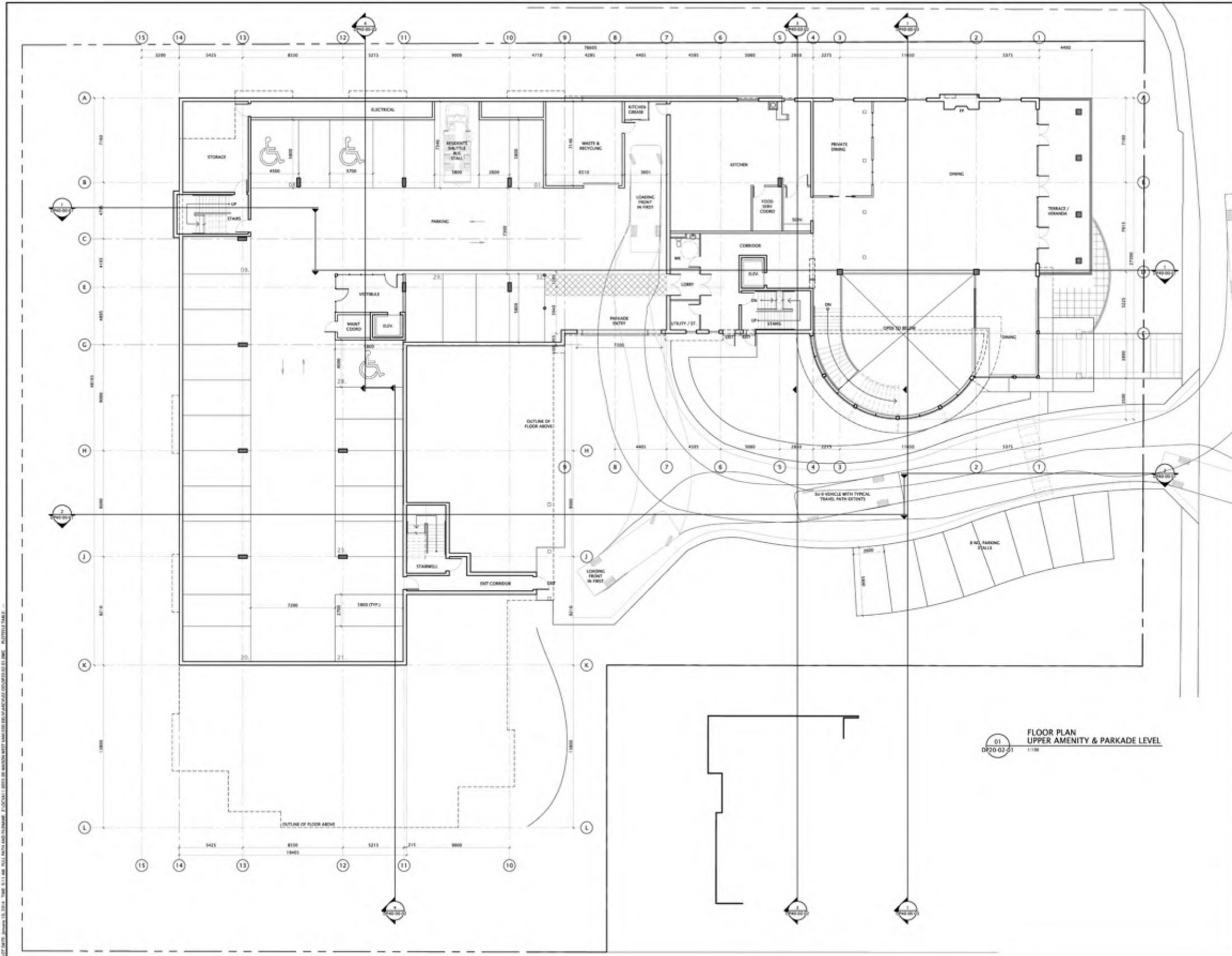
DEVELOPMENT PERMIT: JANUARY 27, 2014
DEVELOPMENT PERMIT NO. 12-084
NORR FILE: OCVA-11-055

| TREE CONSULTANT | TRANSPORTATION | STRUCTURAL | SURVEY | CIVIL | LANDSCAPE | ARCHITECTURAL |
|--|--|--|---|---|--|--|
| <p>RADIX Tree & Landscape Consulting Suite 264, 718-333 Brooksbank Ave. North Vancouver, British Columbia V7J 3V8 T 778 3196164 F 778 2620140</p> | <p>MMM Group Ltd. 1045 Howe Street, Suite 700. Vancouver, British Columbia V6Z 2A9 T 604 685 9381 F 604 683 8655 www.mmm.ca</p> | <p>Glotman Simpson Consulting Engineers 1661 West 5th Ave. Vancouver, British Columbia V3S 5K7 T 604 734 8822 F 604 734 8842 www.glotmansimpson.com</p> | <p>Chapman Land Surveying Ltd. 107 - 100 Park Royal South West Vancouver, British Columbia V7T 1A2 T 604 926 7311 F 604 926 6923 www.http://www.chapmansurvey.com/</p> | <p>Creus Engineering Ltd. 200 - 901 West 16th St. North Vancouver, British Columbia V7P 1R2 T 604 987 9070 F 604 987 9071 www.creus.ca</p> | <p>Eckford Tyacke & Associates 1690 West 2nd Ave. Vancouver, British Columbia V6J 1H4 T 604 683 1456 F 604 683 1459 www.eckfordland.com</p> | <p>NORR Architects Planners 710 - 1201 West Pender St. Vancouver, British Columbia V6E 2V2 T 604 685 3237 F 604 685 3241 www.norr.com</p> |
| | | | | <p>CP-1 DRIVEWAY & SERVICING PLAN</p> <p>SMP STORMWATER MANAGEMENT PLAN</p> | <p>L1.0 TREE MANAGEMENT PLAN</p> <p>L2.1 LANDSCAPE PLAN</p> <p>L2.2 LANDSCAPE PLAN NOTES & SCHEDULES</p> <p>L3.0 LANDSCAPE DETAILS</p> <p>L4.0 LANDSCAPE SECTIONS</p> | <p>DP00-00-00 COVER PAGE</p> <p>DP10-01-01 SITE PLAN, LOCATION PLAN & PROJECT STATISTICS</p> <p>DP20-01-01 LOWER AMENITY LEVEL</p> <p>DP20-02-01 UPPER AMENITY & PARKADE LEVEL</p> <p>DP20-03-01 RESIDENTIAL LEVEL 01- MEMORY CARE</p> <p>DP20-04-01 RESIDENTIAL LEVEL 02- SUPPORTIVE LIVING</p> <p>DP20-05-01 RESIDENTIAL LEVEL 03 SUPPORTIVE LIVING</p> <p>DP20-06-01 ROOF PLAN</p> <p>DP30-00-01 ELEVATIONS</p> <p>DP30-00-02 ELEVATIONS</p> <p>DP30-00-03 ELEVATIONS</p> <p>DP30-00-04 ELEVATIONS</p> <p>DP40-00-01 SECTIONS NORTH - SOUTH</p> <p>DP40-00-02 SECTIONS EAST - WEST</p> <p>DP40-00-03 SECTIONS EAST - WEST</p> |



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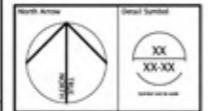




01 FLOOR PLAN UPPER AMENITY & PARKADE LEVEL
 DP20-02-01 1/100

| DATE | ISSUED FOR | REV |
|----------|--------------------|-----|
| 12-12-11 | DEVELOPMENT PERMIT | 01 |
| 13-02-26 | REVISIONS TO DP | 02 |

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- Consultants
- Civil: Creus Engineering Ltd.
 - Landscape: Eckford Tysack & Associates
 - Architectural: NORR Architects Planners
 - Structural: Glotman Simpson Consulting Engineers
 - Mechanical: [Redacted]
 - Electrical: [Redacted]



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| | |
|----------------------------|-----------------------|
| Project Manager B. POON | Drawn J. CARONDALE |
| Project Leader B. POON | Checked C. BURRILL |

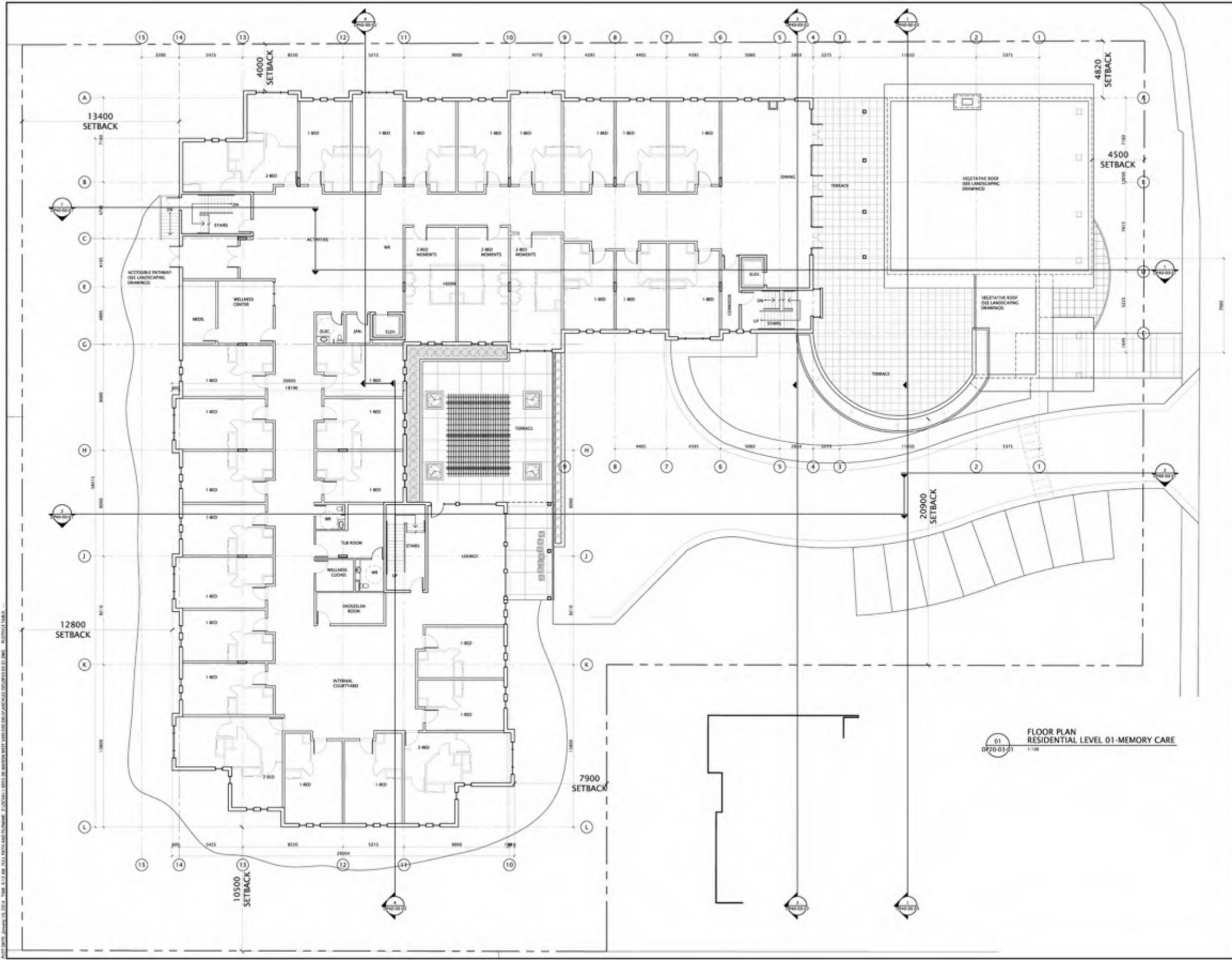
Client
MILLIKEN DEVELOPMENTS
 124-901 WEST 3RD ST NORTH VANCOUVER, BC

Project
MAISON SENIOR LIVING
 821 TAYLOR WAY & 757 KEITH ROAD
 WEST VANCOUVER, BC

Drawing Title
**FLOOR PLAN
 UPPER AMENITY & PARKADE LEVEL**

Check Scale (only for photos reduced):
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 Project No. OCVA-11-0555
 Drawing No. DP20-02-01

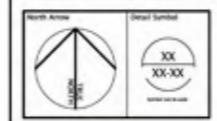
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 - Landscaping: Eckford Tyacke & Associates
 - Architectural: NORR Architects Planners
 - Structural: Chapman Simpson Consulting Engineers
 - Mechanical: [Redacted]
 - Electrical: [Redacted]

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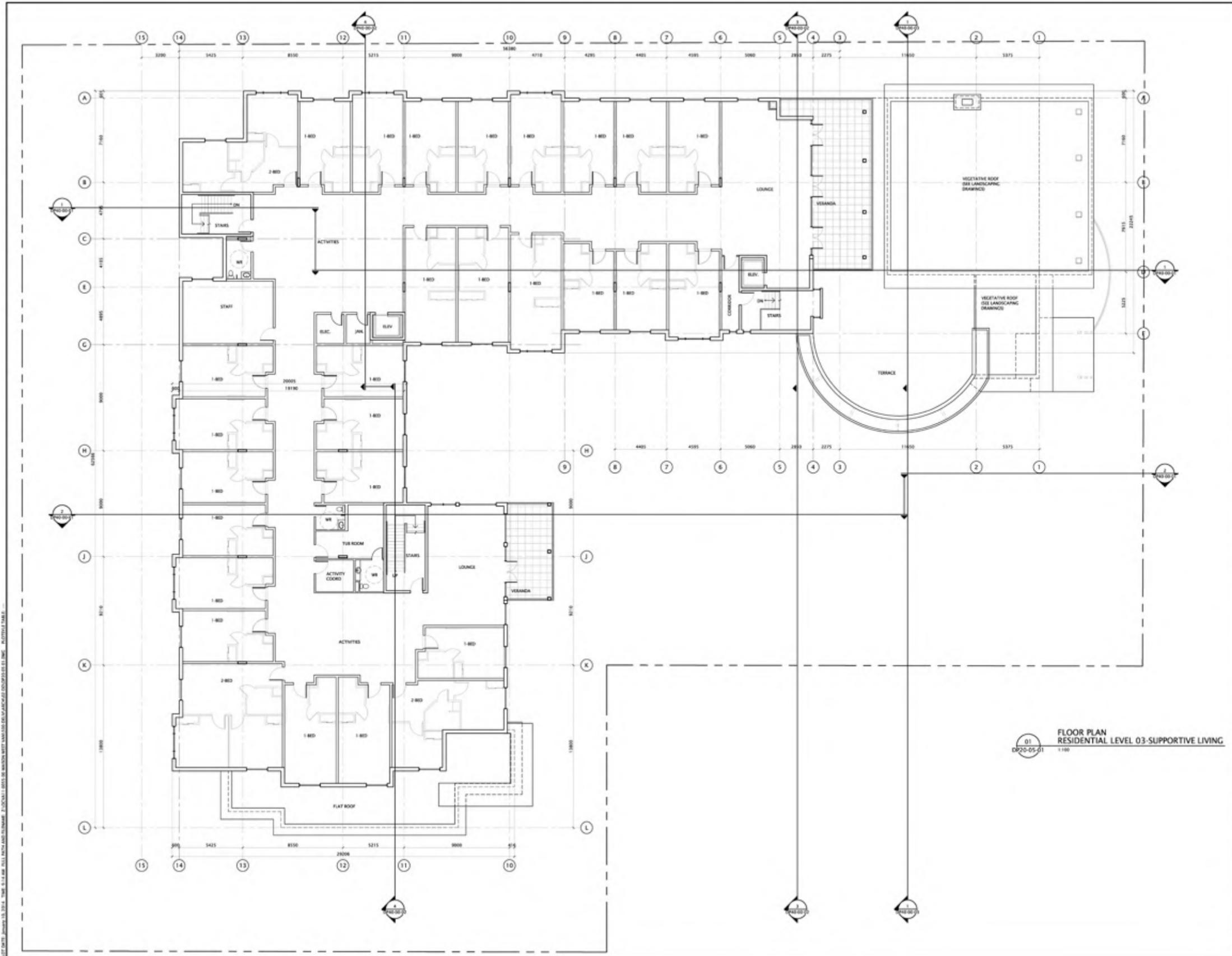
Project Manager: E. POON
Project Leader: E. POON
Client: MILLIKEN DEVELOPMENTS
234 901 WEST 3RD ST NORTH VANCOUVER, BC

Project: MAISON SENIOR LIVING
821 TAYLOR WAY & 707 60TH ROAD
WEST VANCOUVER, BC

Drawing Title: FLOOR PLAN
RESIDENTIAL LEVEL 01 -
MEMORY CARE

Check Scale (may be photo reduced): 1:100
Project No: OCVA-11-0055
Drawing No: DP20-03-01

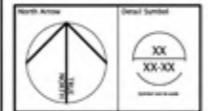
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RESIDENTIAL LEVEL 01-MEMORY CARE
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FLOOR PLAN
RESIDENTIAL LEVEL 03-SUPPORTIVE LIVING

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 - Landscape: Eckford Tysack & Associates
 - Architectural: NORR Architects Planners
 - Structural: Clotman Simpson Consulting Engineers
 - Mechanical: [Redacted]
 - Electrical: [Redacted]



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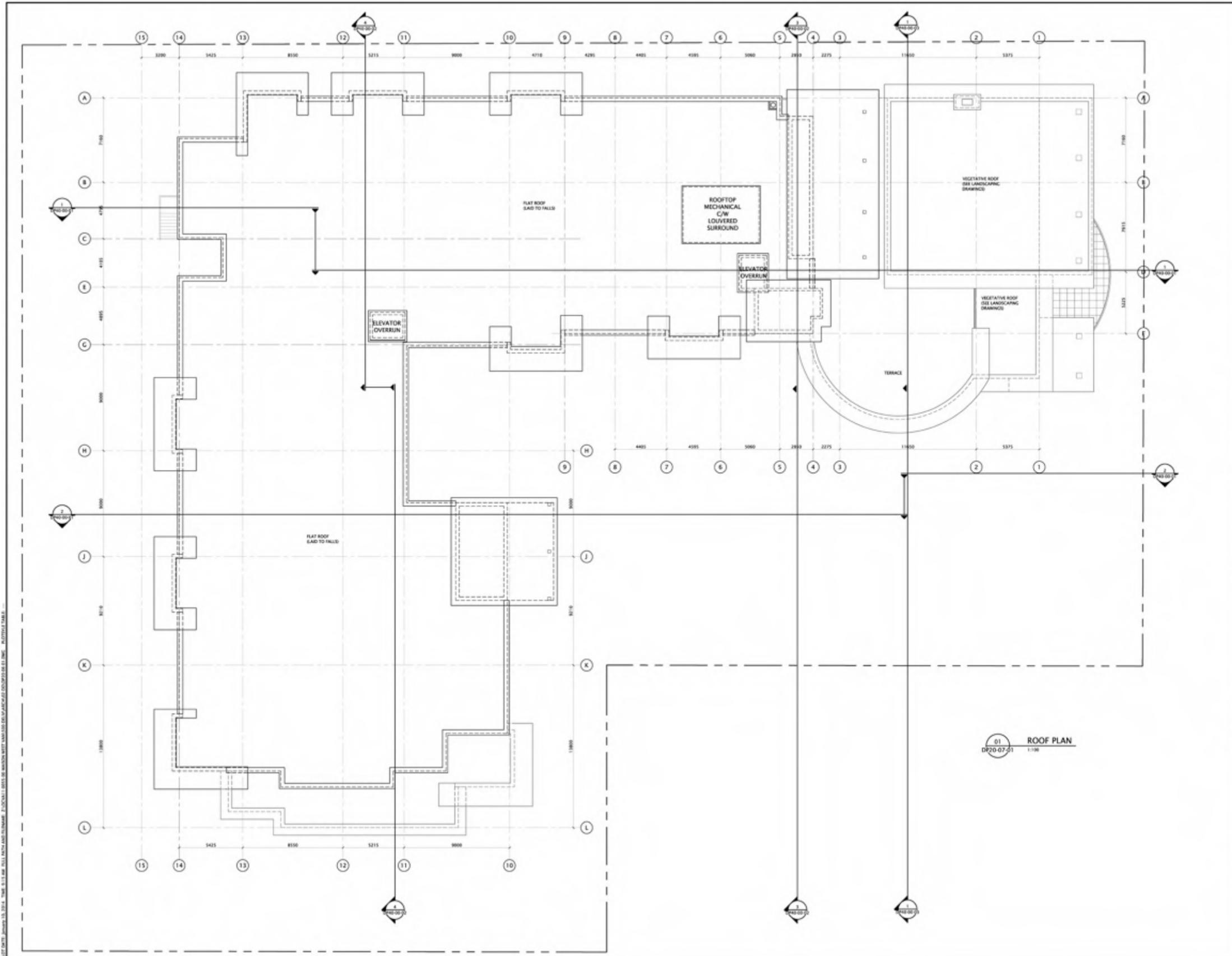
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| Project Manager E. POON | Client J. CARONDALE |
| Project Leader E. POON | Checked G. BURGILL |

Client
MILLIKEN DEVELOPMENTS
124-901 WEST 3RD ST NORTH VANCOUVER, BC

Project
MAISON SENIOR LIVING
821 TAYLOR WAY & 757 82TH ROAD
WEST VANCOUVER, BC

Drawing Title
FLOOR PLAN
RESIDENTIAL LEVEL 03-
SUPPORTIVE LIVING

Check Scale (only for photos reduced):
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Project No. OCVA-11-0555
Drawing No. DP20-05-01

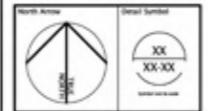


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| 13-02-26 | REVISIONS TO DP | 02 |

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Key Plan



Maison
a Symphony Senior Living Community

Consultants
Civil
Creus Engineering Ltd.
Landscape
Eckford Tysack & Associates
Architectural
NORR Architects Planners
Structural
Glotman Simpson Consulting Engineers
Mechanical
Electrical

DRAWN

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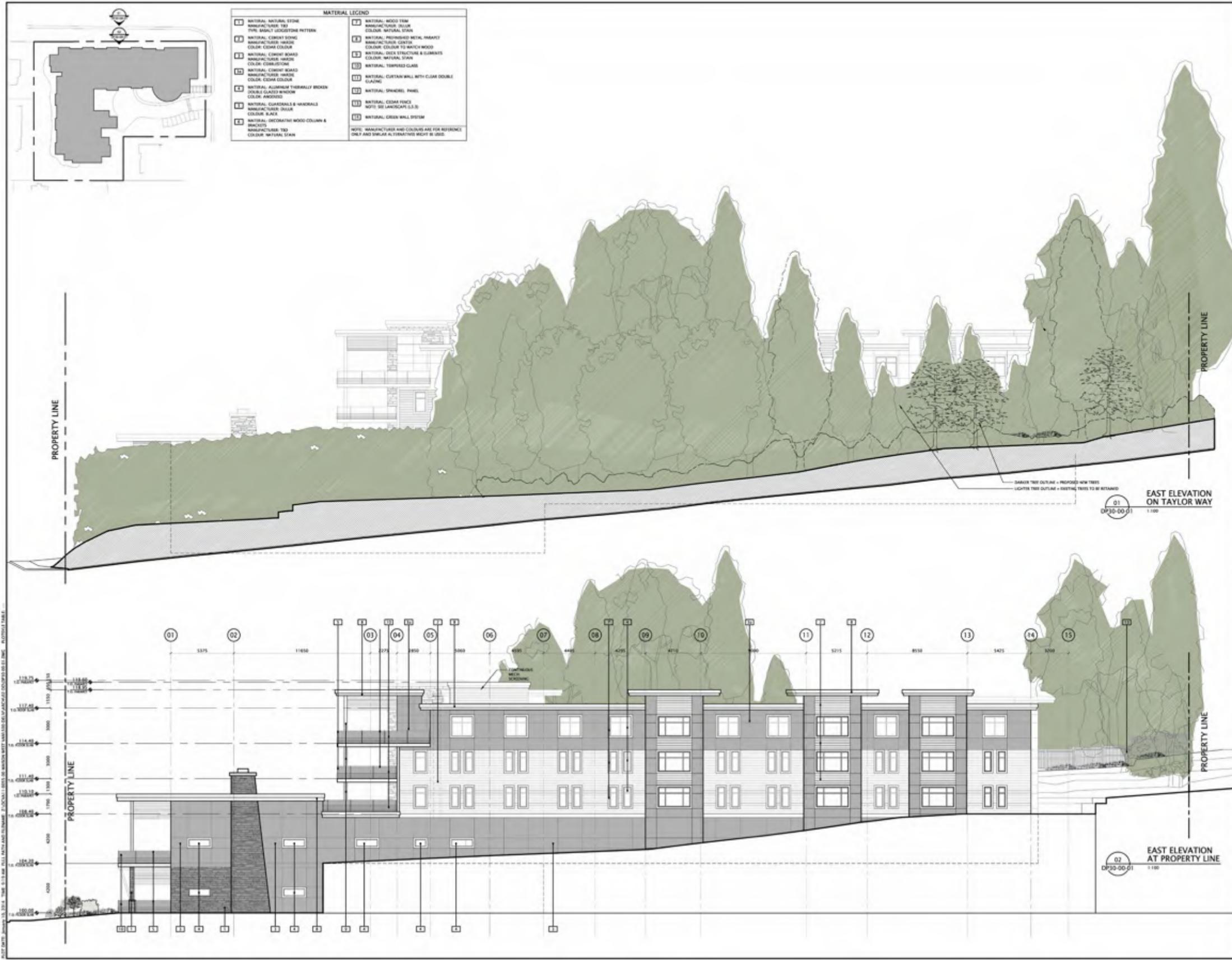
Project Manager
E. POON
Checked
J. CARONDALE
Project Leader
A. POON
Checked
G. BURRILL

Client
MILLIKEN DEVELOPMENTS
224-901 WEST 3RD ST NORTH VANCOUVER, BC

Project
MAISON SENIOR LIVING
821 TAYLOR WAY & 757 KEITH ROAD
WEST VANCOUVER, BC

Drawing Title
ROOF PLAN

Check Scale (only for photos reduced):
1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0" 3/4" = 1'-0" 1" = 1'-0"
Project No. OCVA-11-0555
Drawing No. DP20-06-01



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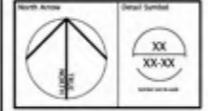
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| 02 NATURAL CEMENT STONE WITH RANDOM VEGETATION PATTERN | 07 NATURAL FINISHED METAL PANELED MANUFACTURER/COLOUR TO MATCH WOOD |
| 03 NATURAL CEMENT STONE COLOUR: CEDAR COLOUR | 08 NATURAL SLICK STRUCTURE & ELEMENTS COLOUR: NATURAL STAIN |
| 04 NATURAL CEMENT STONE MANUFACTURER/COLOUR: CEDAR COLOUR | 09 NATURAL TINTED GLASS |
| 05 NATURAL ALUMINUM THERMALLY BROKEN DOUBLE GLAZED WINDOW COLOUR: ANODIZED | 10 NATURAL CURTAIN WALL WITH CLEAR DOUBLE GLAZING |
| 11 NATURAL GUARDRAILS & HANDRAILS MANUFACTURER/COLOUR: BLACK | 11 NATURAL SPANDREL PANELS |
| 12 NATURAL DECORATIVE WOOD COLUMN & BRACKETS MANUFACTURER TBD COLOUR: NATURAL STAIN | 12 NATURAL CEDAR FENCE NOTE: SEE LANDSCAPE S.D.S. |
| | 13 NATURAL GREEN WALL SYSTEM |

NOTE: MANUFACTURER AND COLOURS ARE FOR REFERENCE ONLY AND SIMILAR ALTERNATIVES MIGHT BE USED.

| DATE | ISSUED FOR | REV |
|----------|--------------------|-----|
| 12-12-13 | DEVELOPMENT PERMIT | 01 |
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Consultants:
Civil: Citrus Engineering Ltd.
Landscape: Eckford Tyacke & Associates
Architectural: Norr Architects Planners
Structural: Clouston Simpson Consulting Engineers
Mechanical: ...
Electrical: ...

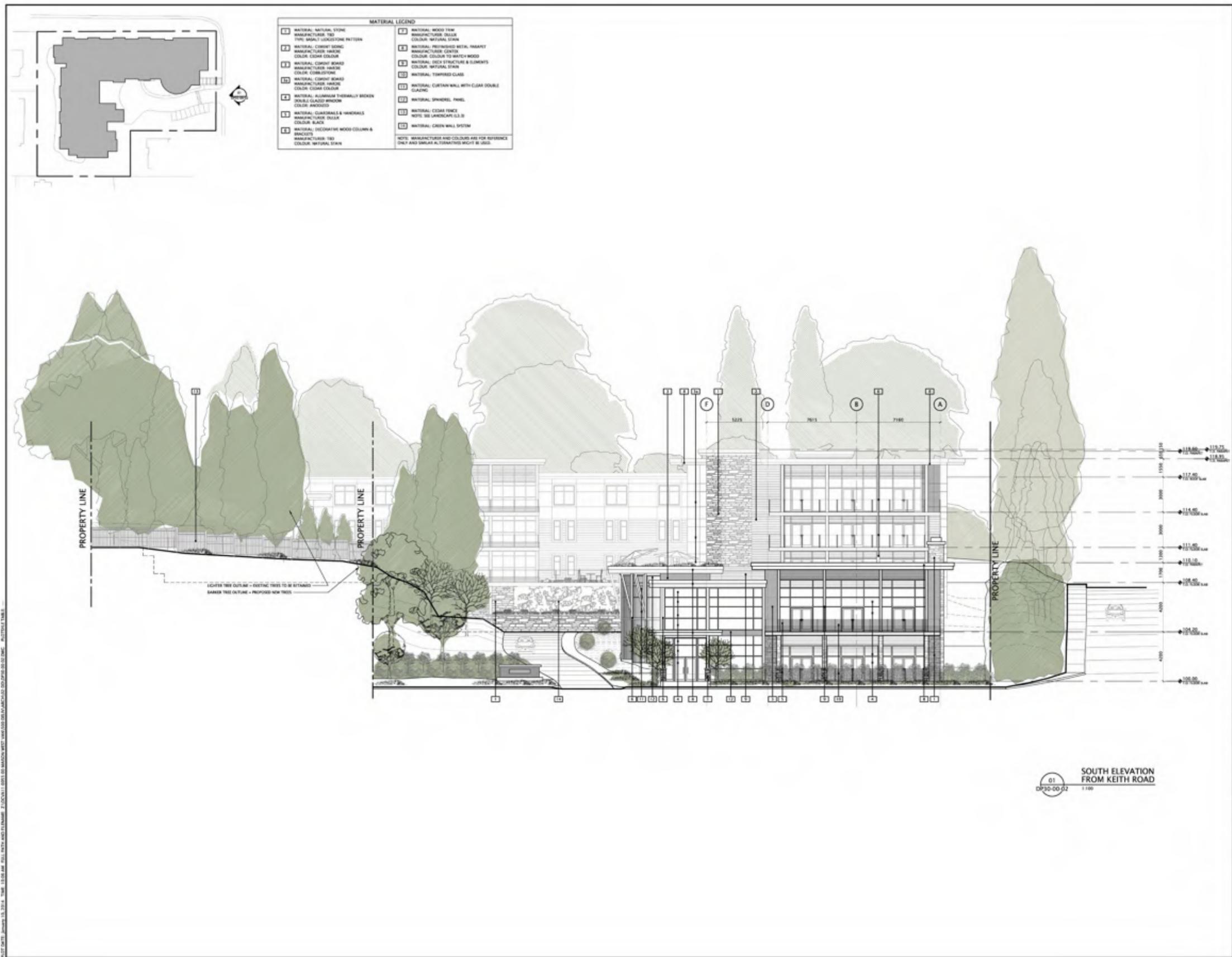
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Project Manager: B. POON
Project Leader: B. POON
Client: MILLIKEN DEVELOPMENTS
234 901 WEST 3RD ST NORTH VANCOUVER, BC

Project: MAISON SENIOR LIVING
821 TAYLOR WAY & 757 60TH ROAD
WEST VANCOUVER, BC

Project No: OCVA 11-0055
Drawing No: DP30-00-01

Check Scale (only by photo reduced): 1/8" = 1'-0"
Project No: OCVA 11-0055
Drawing No: DP30-00-01



MATERIAL LEGEND

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| 02 NATURAL CONCRETE BOARD MANUFACTURED: 1400 COLOUR: CONCRETE | 08 NATURAL FINISHED WOOD: 1400 COLOUR: COLOUR TO MATCH MESSY |
| 03 NATURAL CONCRETE BOARD MANUFACTURED: 1400 COLOUR: CONCRETE | 09 NATURAL WOOD STRUCTURE & CLIMBERS COLOUR: NATURAL STAIN |
| 04 NATURAL CONCRETE BOARD MANUFACTURED: 1400 COLOUR: CONCRETE | 10 NATURAL THERMOPLASTIC GLASS |
| 05 NATURAL ALUMINUM THERMALLY BROKEN DOUBLE GLAZED WINDOW COLOUR: CONCRETE | 11 NATURAL CURTAIN WALL WITH CLEAR DOUBLE GLAZING |
| 06 NATURAL GRANITE & MARBLE MANUFACTURED: 1500 COLOUR: BLACK | 12 NATURAL SHIMMER FINISH |
| 13 NATURAL DECORATIVE WOOD COLUMN & BRACKETS MANUFACTURED: 150 COLOUR: NATURAL STAIN | 14 NATURAL CEDAR FENCE NOTE: SEE LANDSCAPE 11.03 |
| | 15 NATURAL CROWN WALL SYSTEM |

NOTE: MANUFACTURE AND COLOUR ARE FOR REFERENCE ONLY AND SIMILAR ALTERNATIVES MUST BE USED

| DATE | ISSUED FOR | REV |
|---------|--------------------|-----|
| 2-12-13 | DEVELOPMENT PERMIT | 01 |
| 3-02-26 | REVISIONS TO DP | 02 |

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Key Plan

North Arrow

Seal of the Architect

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a Symphony Senior Living Community

Consultants

Civil
Creus Engineering Ltd.

Landscaping
Eckhardt Tysack & Associates

Architectural
Norr Architects Planners

Structure
Gloman Simpson Consulting Engineers

Mechanical
Electrical

01
DP30-00-02

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ARCHITECTS PLANNERS

| | |
|---------------------------------|--------------------------|
| Project Manager E. POON | Checker S. CARPENTALE |
| Project Leader E. POON | Checked C. BURNELL |
| Client MILLIKEN DEVELOPMENTS | |

234-901 WEST 3RD ST NORTH VANCOUVER, BC

Project
MAISON SENIOR LIVING
875 TAYLOR WAY & 757 80TH ROAD
WEST VANCOUVER, BC

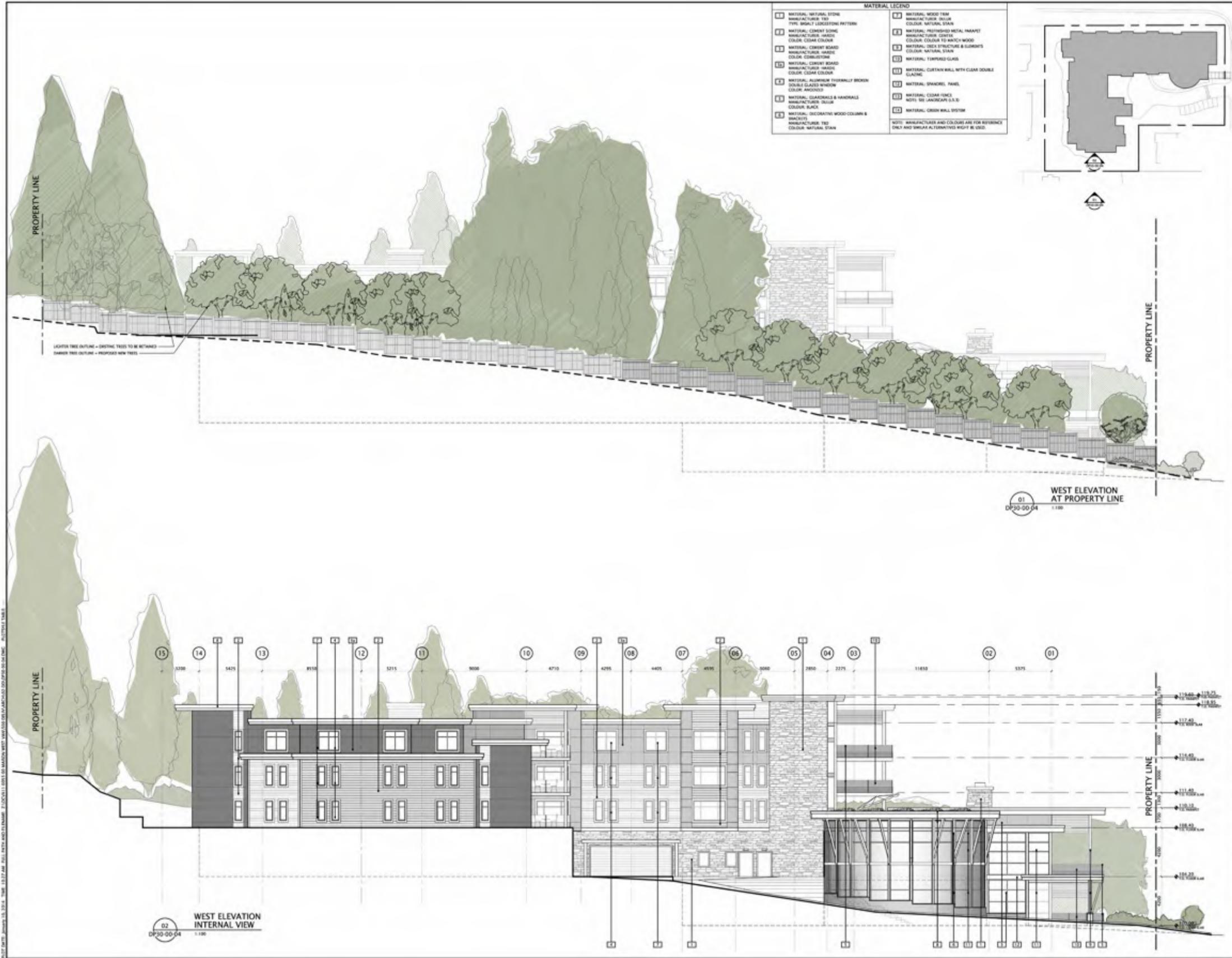
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ELEVATIONS

Check Scale (only by photo reduced) 1:100

Project No. OCV-11-0555

Drawing No. DP30-00-02

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DP30-00-02
1:100
**SOUTH ELEVATION
FROM KEITH ROAD**



MATERIAL LEGEND

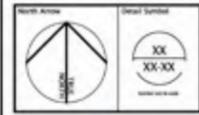
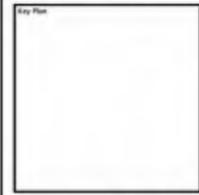
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| 02 MATERIAL: CEMENT SOUNE MANUFACTURE: HARDC COLOR: CEDAR COLOR | 08 MATERIAL: FINISHED METAL IMBERT MANUFACTURE: CENTER COLOR: COLOR TO MATCH WOOD |
| 03 MATERIAL: CEMENT BOARD MANUFACTURE: HARDC COLOR: CONCRETE | 09 MATERIAL: DECK STRUCTURE & SUBMITTS COLOR: NATURAL STAIN |
| 04 MATERIAL: CEMENT BOARD MANUFACTURE: HARDC COLOR: CEDAR COLOR | 10 MATERIAL: TUMPOLED GLASS |
| 05 MATERIAL: ALUMINUM THERMALLY BROKEN DOUBLE GLAZED WINDOW COLOR: ANODIZED | 11 MATERIAL: CURTAIN WALL WITH CLEAR DOUBLE GLAZING |
| 06 MATERIAL: GRANITE & MARBLES MANUFACTURE: BELLAR COLOR: BLACK | 12 MATERIAL: SHARDOL PANEL |
| 07 MATERIAL: DECORATIVE WOOD COLUMN & BRACKETS MANUFACTURE: YES COLOR: NATURAL STAIN | 13 MATERIAL: CEDAR FENCE NOTE: SEE LANDSCAPE S.S.D. |
| | 14 MATERIAL: GREEN WALL SYSTEM |

NOTE: MANUFACTURES AND COLORS ARE FOR REFERENCE
ONLY AND SIMILAR ALTERNATIVES WOULD BE USED.

| DATE | ISSUED FOR | REV |
|----------|--------------------|-----|
| 12-12-13 | DEVELOPMENT PERMIT | 01 |
| 13-02-26 | REVISIONS TO DP | 02 |

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This drawing shall not be used for construction purposes until the seal appearing herein is signed and dated by the Architect or Designer.



Maison
a Symphony Senior Living Community

Consultants:
Civil: Cetus Engineering Ltd.
Landscape: Eckford Tysack & Associates
Architectural: NORR Architects Planners
Structural: Gorman Simpson Consulting Engineers
Mechanical: [Redacted]
Electrical: [Redacted]

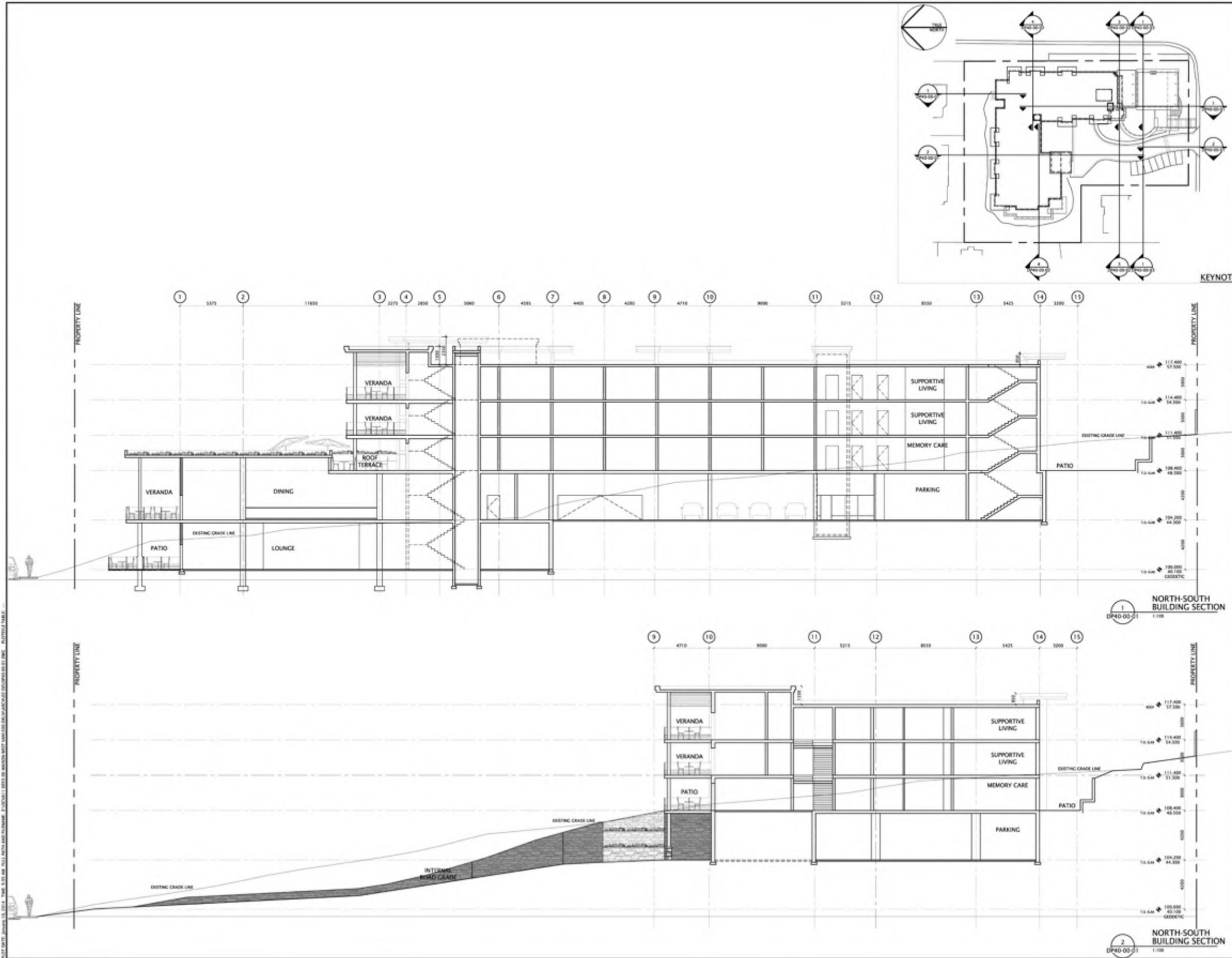
NORR
ARCHITECTS PLANNERS INC.

400-1000-1000
Suite 710 - 1200 West Pender Street
Vancouver, BC, Canada V6E 2E2
T: 604 681 3217 F: 604 681 1241
www.norr.ca

Project Manager: E. POON
Project Leader: E. POON
Client: MILLIKEN DEVELOPMENTS
234 801 WEST 3RD ST NORTH VANCOUVER, BC

Project: MAISON SENIOR LIVING
821 TAYLOR WAY & 707 80TH ROAD
WEST VANCOUVER, BC

Drawing Title: ELEVATIONS
Check Scale (Units for photos indicated): 1/8" = 1'-0" & 3/16" = 1'-0"
Project No.: OCVA 11-0055
Drawing No.: DP30-00-04

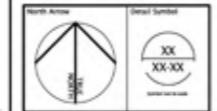


| DATE | ISSUED FOR | REV |
|----------|--------------------|-----|
| 12-12-11 | DEVELOPMENT PERMIT | 01 |
| 13-02-26 | REVISIONS TO DP | 02 |

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Key Plan



Maison
a Symphony Senior Living Community

Consultants
Civil
Creus Engineering Ltd.
Landscape
Eckford Tysack & Associates
Architectural
NORR Architects Planners
Structural
Gloman Simpson Consulting Engineers
Mechanical
Electrical

NOOR Architects Planners Inc.
An Equal Opportunity Employer
Suite 710 - 1201 West Beaver Street
Richmond, BC, Canada V6X 2C2
T 604 881 3217 F 604 881 3241
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| | |
|---|-------------------------------|
| Project Manager B. POON | Client J. CARONDALE |
| Project Leader B. POON | Checked G. BURRILL |
| Client MILLIKEN DEVELOPMENTS 124-901 WEST 180 ST NORTH VANCOUVER, BC | |

Project
MAISON SENIOR LIVING
821 TAYLOR WAY & 757 KEITH ROAD
WEST VANCOUVER, BC

Drawing Title
BUILDING SECTIONS
NORTH - SOUTH

Check Scale (only for photos indicated)
Project No. **OCVA-11-0055**
Drawing No. **DP40-00-01**



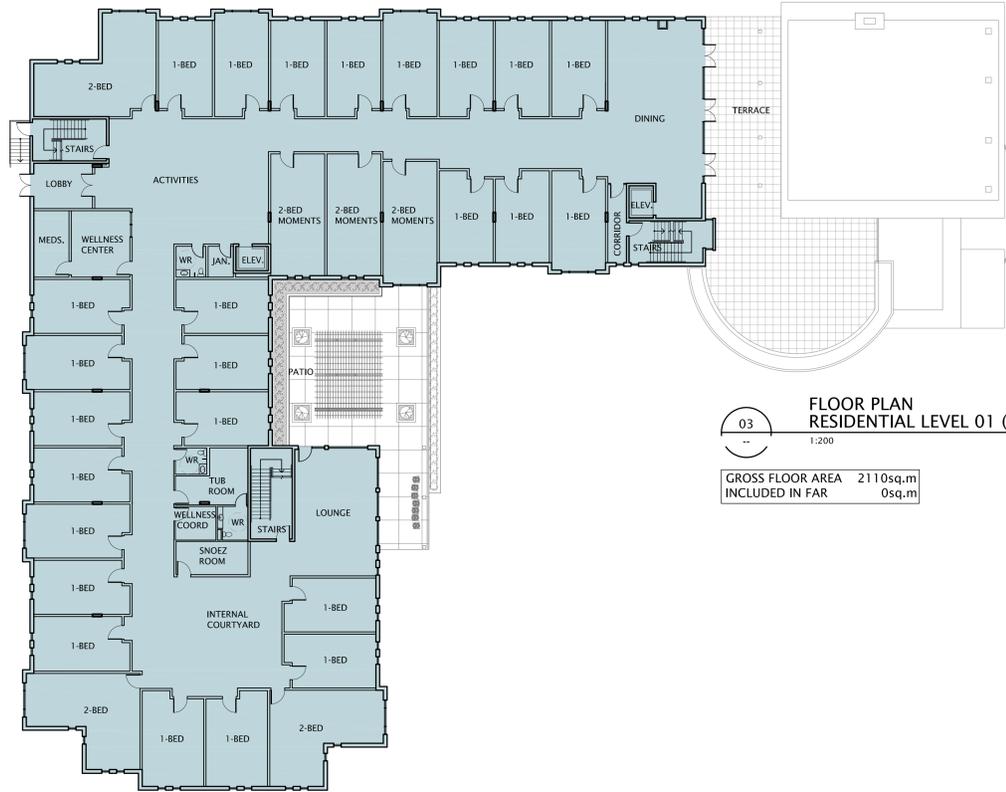
**FLOOR PLAN
RESIDENTIAL LEVEL 03 (SUPPORTIVE LIVING)**

05
1:200
GROSS FLOOR AREA (EACH FLOOR) 1992sq.m
INCLUDED IN FAR (EACH FLOOR) 0sq.m



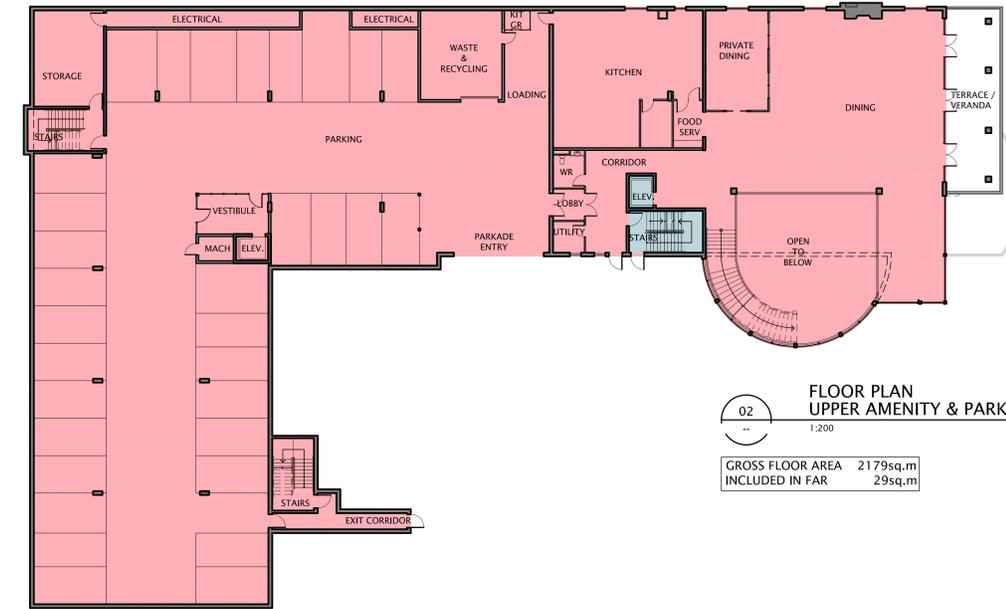
**FLOOR PLAN
RESIDENTIAL LEVEL 02 (SUPPORTIVE LIVING)**

04
1:200
GROSS FLOOR AREA (EACH FLOOR) 2097sq.m
INCLUDED IN FAR (EACH FLOOR) 0sq.m



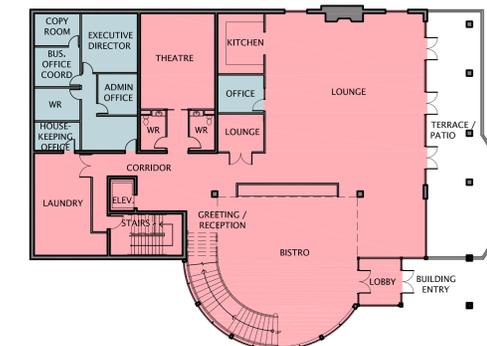
**FLOOR PLAN
RESIDENTIAL LEVEL 01 (MEMORY CARE)**

03
1:200
GROSS FLOOR AREA 2110sq.m
INCLUDED IN FAR 0sq.m



**FLOOR PLAN
UPPER AMENITY & PARKADE LEVEL**

02
1:200
GROSS FLOOR AREA 2179sq.m
INCLUDED IN FAR 29sq.m



**FLOOR PLAN
LOWER AMENITY LEVEL**

01
1:200
GROSS FLOOR AREA 733sq.m
INCLUDED IN FAR 103sq.m

| FAR AREA CALCULATION | | | |
|----------------------------------|-----------------|-----------------|---------------------|
| LEVEL | FLOOR AREA | INCLUDED IN FAR | NOT INCLUDED IN FAR |
| LOWER AMENITY | 733sq.m | 103sq.m | 630sq.m |
| UPPER AMENITY/PARKADE | 2179sq.m | 29sq.m | 2150sq.m |
| RESIDENTIAL 01-MEMORY CARE | 2110sq.m | 0sq.m | 2110sq.m |
| RESIDENTIAL 02-SUPPORTIVE LIVING | 2097sq.m | 0sq.m | 2097sq.m |
| RESIDENTIAL 03-SUPPORTIVE LIVING | 1992sq.m | 0sq.m | 1992sq.m |
| TOTALS | 9111sq.m | 6331sq.m | 2780sq.m |

⇒ FAR = 6331 / 6434.55 = 0.98

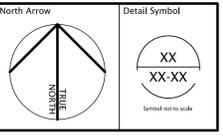
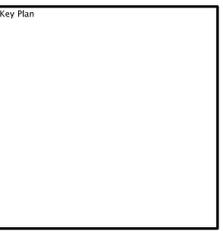
LEGEND

- INCLUDED IN FAR
- NOT INCLUDED IN FAR

| DATE | ISSUED FOR | REV |
|----------|--------------------|-----|
| 13-12-12 | DEVELOPMENT PERMIT | 01 |
| 13-02-26 | REVISIONS TO DP | 02 |
| 14-01-27 | REISSUE FOR DP | 03 |

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Consultants
Civil
Creus Engineering Ltd.
Landscape
Eckford Tyacke & Associates
Architectural
Norr Architects Planners
Structural
Glottman Simpson Consulting Engineers
Mechanical
Electrical

NORR Architects Planners Inc.
An Ingenium Group Company
Suite 710 - 1201 West Pender Street
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Project Manager
R. POON
Project Leader
R. POON
Client
MILLIKEN DEVELOPMENTS
334-901 WEST 3RD ST NORTH VANCOUVER, BC

Project
MAISON SENIOR LIVING
825 TAYLOR WAY & 707 KEITH ROAD
WEST VANCOUVER, BC

Drawing Title
FAR AREA PLANS
& CALCULATIONS

Check Scale (may be photo reduced)
0 1inch 0 10mm

Project No. OCVA-11-0055
Drawing No. DP20-00-01A

PLOT DATE: March 14, 2014 TIME: 4:58 PM FILE: PLN1 AND PLANNAME: Z:\OCVA11-0055-00 MAISON WEST VANSUB-DEVELOPMENTS\02-DP20-00-01-PLANING FLOOR PLAN TABLE

SECTION 4: LANDSCAPE DESIGN DRAWINGS

825 TAYLOR WAY & 707 KEITH RD

for Milliken Developments

Legal Description:

Address: 825 TAYLOR WAY & 707 KEITH ROAD
WEST VANCOUVER, BC

eckford tyacke + associates

landscape architecture inc.

1690 West 2nd Avenue, Vancouver, BC, V6J 1H4
t | 604.683.1456 f | 604.683.1459 w | www.etala.ca

Owner: Milliken Developments
Architect: NORR Architects Planners Inc.

Consultants:

Electrical:

Civil: Creus Engineering Ltd.

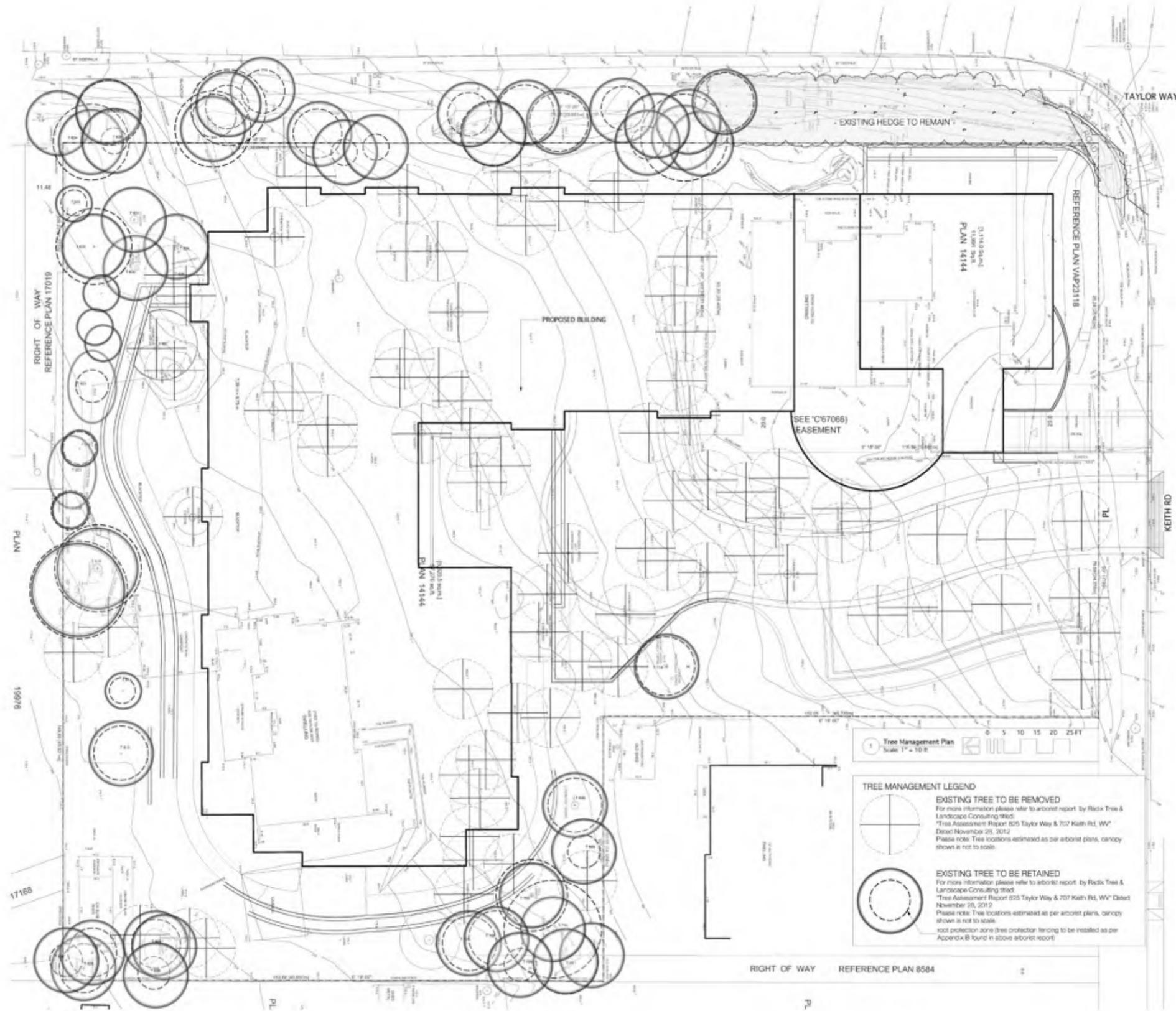
Structural: Glotman Simpson Consulting Engineers

Landscape: eckford tyacke + associates

RE-ISSUED FOR DEVELOPMENT PERMIT JANUARY 10, 2014

LANDSCAPE:

| Sheet No. | Sheet Name |
|-----------|------------------------|
| L1.0 | Tree Management Plan |
| L2.1 | Landscape Plan |
| L2.2 | Landscape Detail Plans |
| L3.0 | Schedules & Notes |
| L4.1 | Landscape Details |
| L4.2 | Landscape Details |
| L5.1 | Landscape Sections |
| L5.2 | Landscape Sections |



| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1 | 05/01/14 | ISSUED FOR PERMIT |
| 2 | 05/01/14 | ISSUED FOR PERMIT |
| 3 | 05/01/14 | ISSUED FOR PERMIT |

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1 | 05/01/14 | ISSUED FOR PERMIT |
| 2 | 05/01/14 | ISSUED FOR PERMIT |
| 3 | 05/01/14 | ISSUED FOR PERMIT |

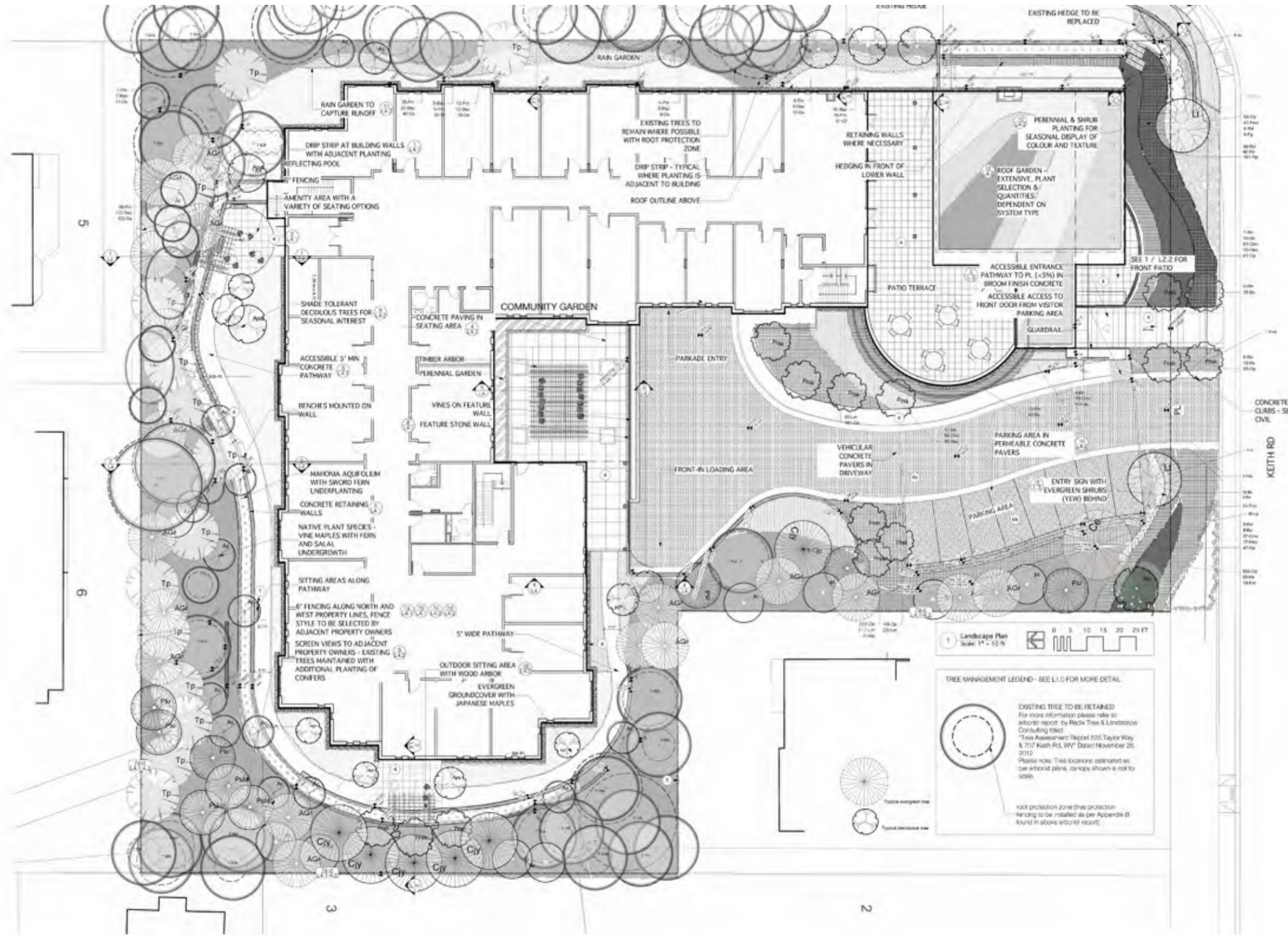


eta
LANDSCAPE ARCHITECTS

Project
825 Taylor Way & 707 Keith Road
West Vancouver, BC

Drawing Title
Tree Management Plan

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------|
| 1 | 01/08/2014 | ISSUED FOR PERMIT |
| 2 | 01/08/2014 | ISSUED FOR PERMIT |
| 3 | 01/08/2014 | ISSUED FOR PERMIT |



| Rev | Date | Revised By | Revised For |
|-----|------------|------------|-------------|
| 1 | 08/01/2014 | W. Vanover | Final |
| 2 | 08/01/2014 | W. Vanover | Final |

| Rev | Date | Revised By | Revised For |
|-----|------------|------------|-------------|
| 1 | 08/01/2014 | W. Vanover | Final |
| 2 | 08/01/2014 | W. Vanover | Final |
| 3 | 08/01/2014 | W. Vanover | Final |
| 4 | 08/01/2014 | W. Vanover | Final |
| 5 | 08/01/2014 | W. Vanover | Final |
| 6 | 08/01/2014 | W. Vanover | Final |
| 7 | 08/01/2014 | W. Vanover | Final |

eta
 ecoterra terra
 landscape architecture + consulting
 1100 West 10th Avenue, Suite 200
 Vancouver, BC V6H 2G6
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.eta-landscape.com

Project:
825 Taylor Way & 707 Keith Road
 West Vancouver, BC

Drawn by:
Landscape Plan

Landscape Plan
 Scale: 1" = 10'-0"

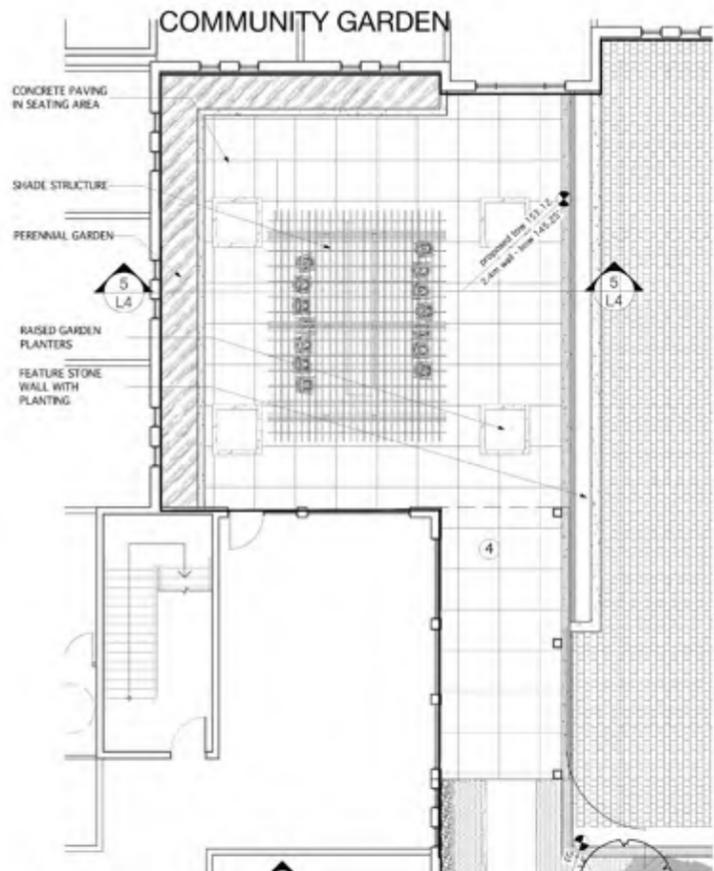
TREE MANAGEMENT LEGEND - SEE L1.0 FOR MORE DETAIL

EXISTING TREE TO BE RETAINED
 For more information please refer to arborist report by Rick Tree & Landscape Consulting titled "Tree Assessment Report 825 Taylor Way & 707 Keith Rd, WY" Dated November 26, 2012.
 Please note: Tree locations estimated as per arborist plans, canopy shown is not to scale.

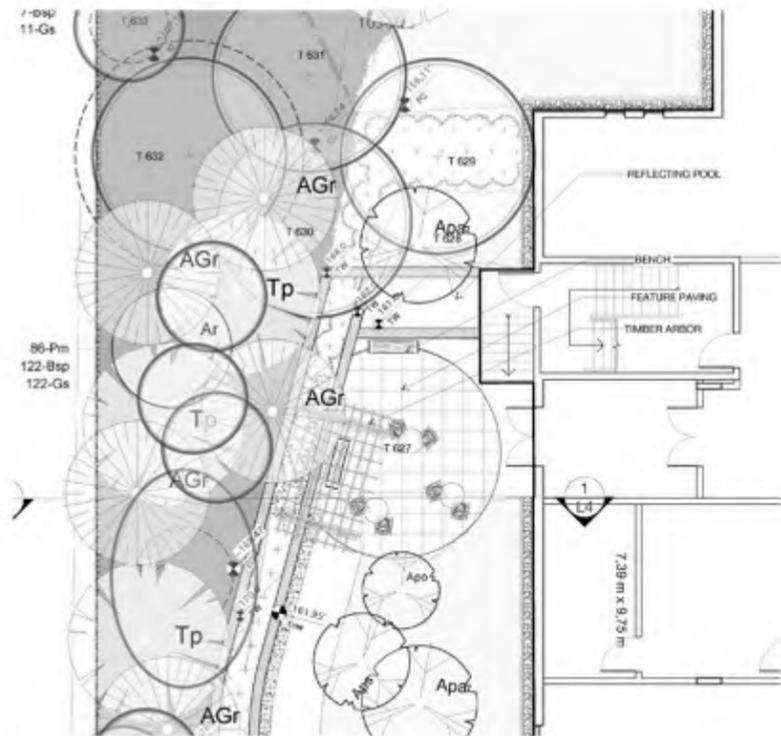
ROOT PROTECTION ZONE (RPZ) OR OTHER FENCING TO BE INSTALLED AS PER ACCORDS IS FOUND IN ABOVE ARBORIST REPORT.

| Rev | Date | Revised By | Revised For |
|-----|------------|------------|-------------|
| 1 | 08/01/2014 | W. Vanover | Final |
| 2 | 08/01/2014 | W. Vanover | Final |

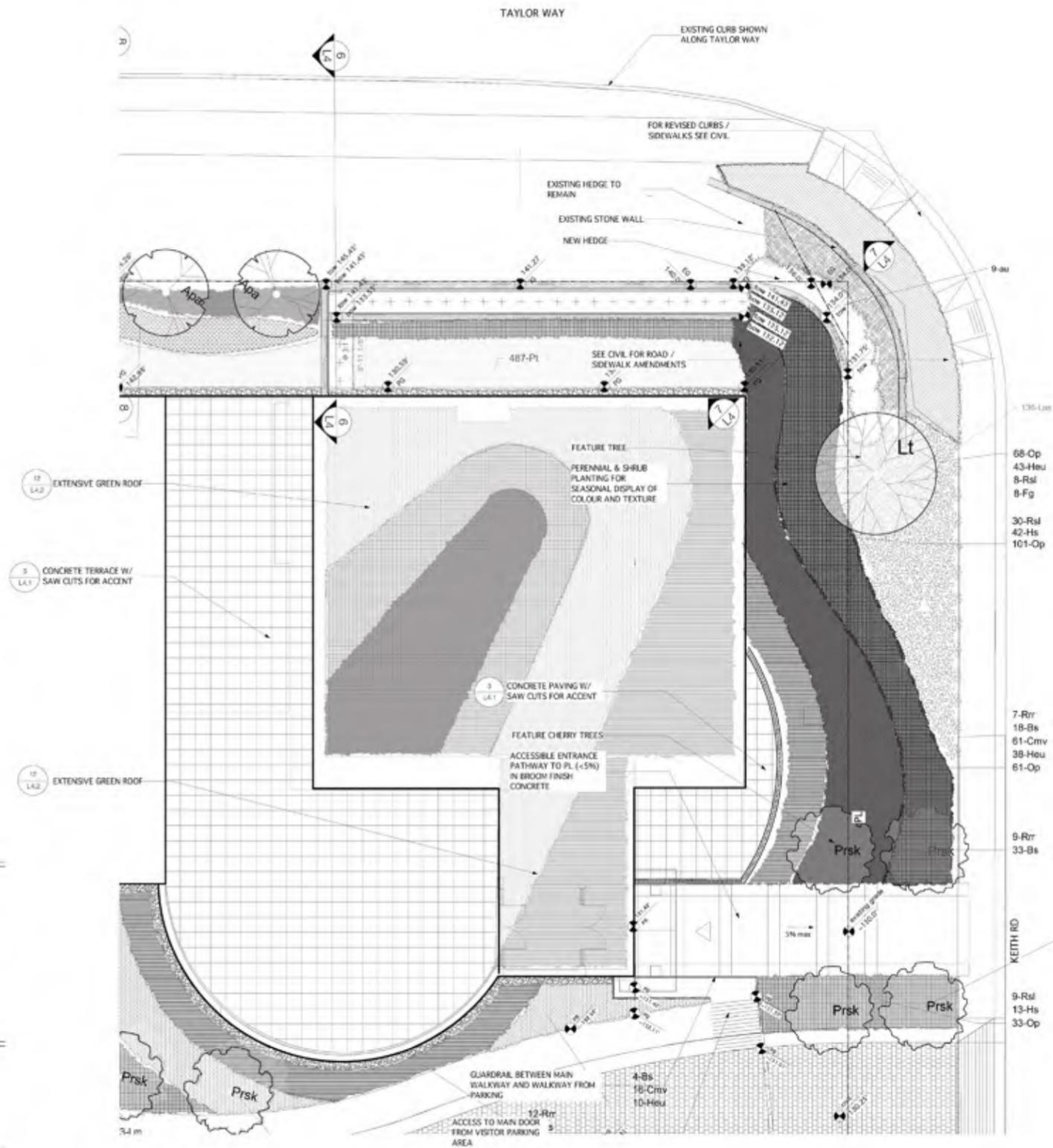
Sheet: **L2.1**



1 Community Garden
Scale: 3/16" = 1'-0"



2 North Terrace
Scale: 3/16" = 1'-0"



1 Taylor Way and Keith
Scale: 3/16" = 1'-0"

| Rev | Date | Author | Notes |
|-----|---------|------------|-------------------|
| 1 | 2014.11 | JAC/LO/STW | ISSUE FOR PERMITS |
| 2 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |

| Rev | Date | Author | Notes |
|-----|---------|------------|-------------------|
| 1 | 2014.11 | JAC/LO/STW | ISSUE FOR PERMITS |
| 2 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 3 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 4 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 5 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 6 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |



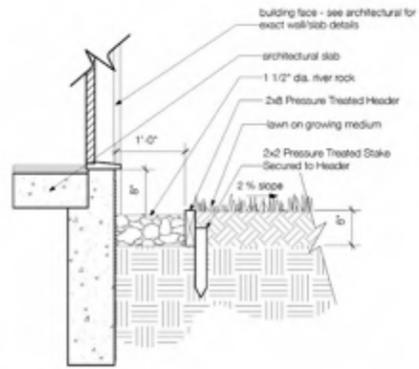
400 West 10th Avenue
Vancouver, BC, Canada V6J 1K4
Tel: 604.681.1111
Fax: 604.681.1112
www.eta-ecological.com

825 Taylor Way
& 707 Keith Road
West Vancouver, BC

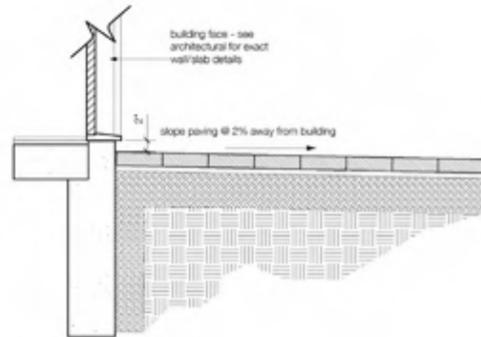
eta
Landscape
Detail Plans

| Rev | Date | Author | Notes |
|-----|---------|------------|-------------------|
| 1 | 2014.11 | JAC/LO/STW | ISSUE FOR PERMITS |
| 2 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 3 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 4 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 5 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |
| 6 | 2015.01 | JAC/LO/STW | ISSUE FOR PERMITS |

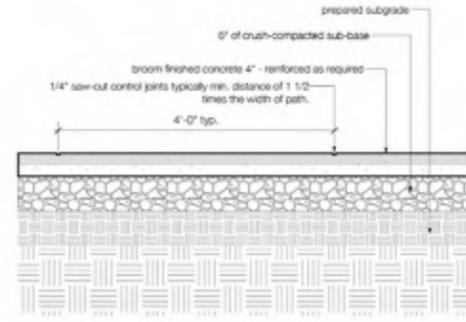
12.2



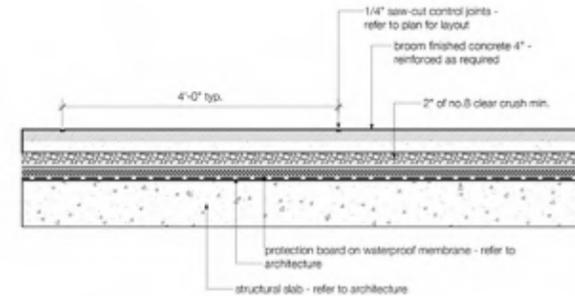
1 Detail: Typical Drip strip at building
Scale: 1" = 1'-0"



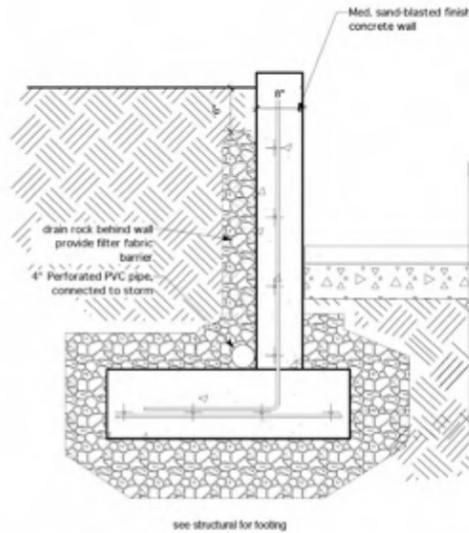
2 Detail: Typical threshold
Scale: 1" = 1'-0"



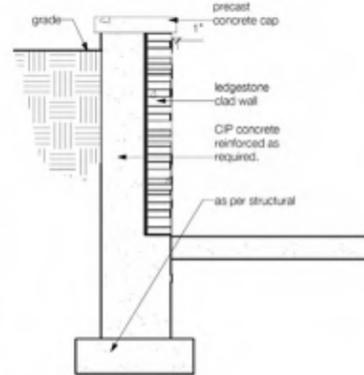
3 Detail: Typical Broom finish concrete on grade
Scale: 1" = 1'-0"



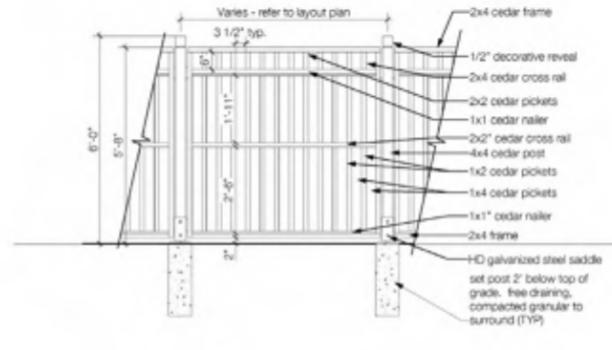
4 Detail: Concrete walkway on slab
Scale: 1" = 1'-0"



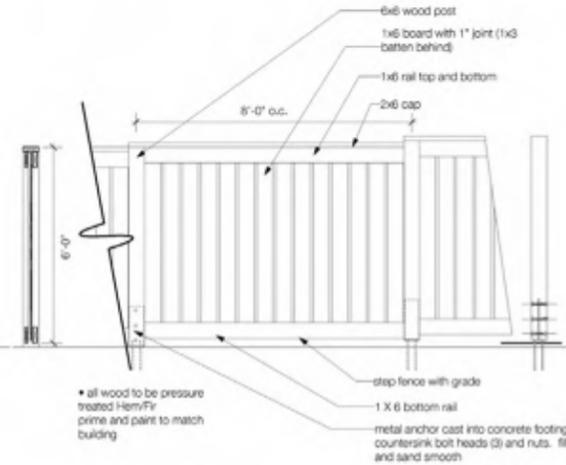
5 Detail: Typical Concrete Wall
Scale: 1" = 1'-0"



6 Detail: Typical Concrete Wall with stone facing
Scale: 1" = 1'-0"



7a Fence A
Scale: 1/2" = 1'-0"



7b Fence B
Scale: 1/2" = 1'-0"

| Revised | By | Date | Reason |
|---------|----|------|--------|
| | | | |

| Sheet | Date | Sheet Title |
|-------|----------|---------------|
| A | 03/10/14 | General Notes |
| B | 10/10/14 | General Notes |
| C | 10/10/14 | General Notes |
| D | 03/10/14 | General Notes |
| E | 03/10/14 | General Notes |

Professional Seal

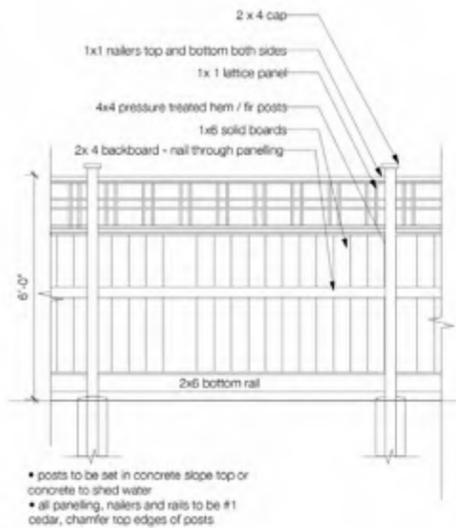
eta
 ARCHITECTURE + INTERIORS
 1601 West 2nd Avenue
 Vancouver, BC V6L 1A6, CAN
 TEL: 604.681.1111
 FAX: 604.681.1112
 WWW.ETAVANCOUVER.COM

Project
Maison Senior Living
 825 Taylor Way & 707 Keith Road
 West Vancouver, BC

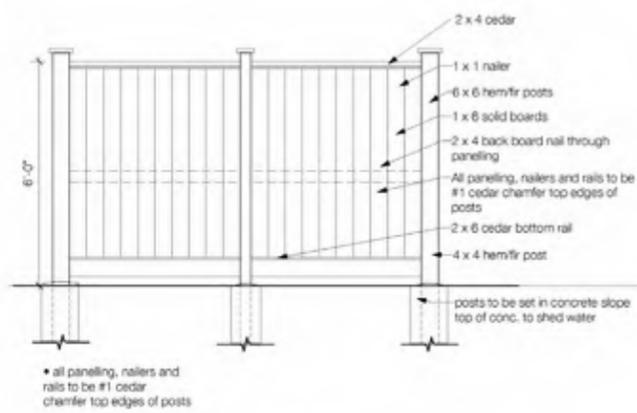
Drawing Title
Landscaping Details

| Drawn | Checked |
|-------|---------|
| | |
| | |
| | |
| | |

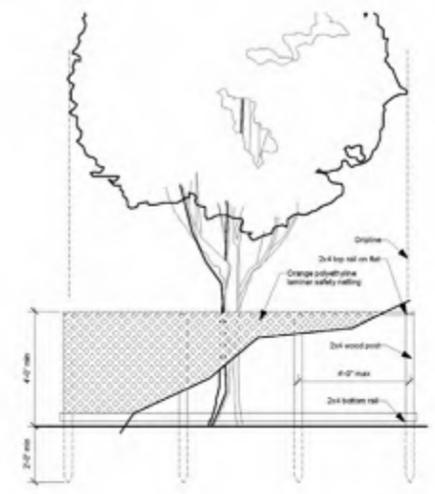
13/14
 1140 West Senior Plan SET 10/06/14 11/06/14 use



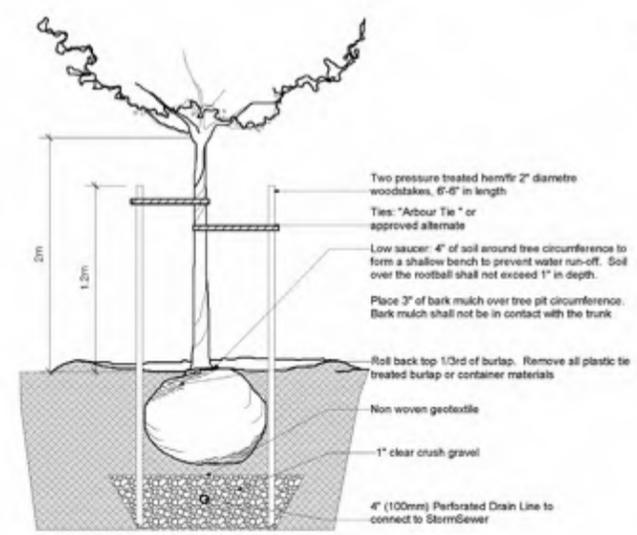
7c Fence C
Scale: 1/2" = 1'-0"



7d Fence D
Scale: 1/2" = 1'-0"



8 Detail: Tree protection fencing
Scale: 3/8" = 1'-0"



9 Detail: Tree Planting
Scale: 1/2" = 1'-0"

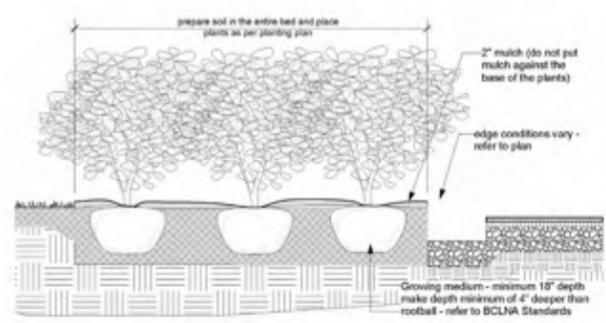
| Rev | Date | Revised By |
|-----|----------|----------------|
| 1 | 03/20/14 | Michael P. ... |
| 2 | 03/20/14 | Michael P. ... |
| 3 | 03/20/14 | Michael P. ... |
| 4 | 03/20/14 | Michael P. ... |
| 5 | 03/20/14 | Michael P. ... |
| 6 | 03/20/14 | Michael P. ... |

eta
architectural + associates
1001 Third Street
Vancouver, BC, Canada V6C 1K6
Tel: 604.681.1111
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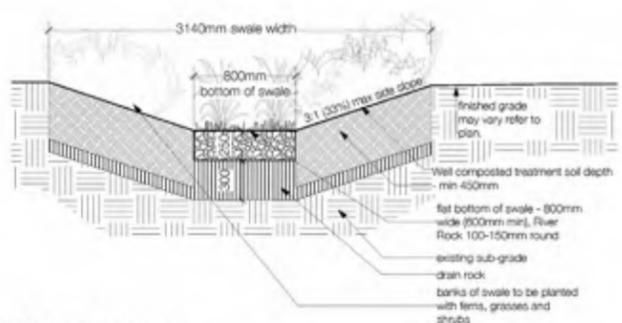
Project
Maison Senior Living
825 Taylor Way & 707 Keith Road
West Vancouver, BC

Discipline
Landscape Details

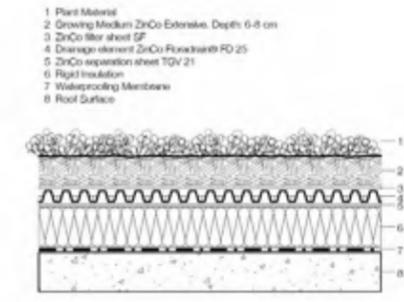
| Rev | Date | Revised By |
|-----|----------|----------------|
| 1 | 03/20/14 | Michael P. ... |
| 2 | 03/20/14 | Michael P. ... |
| 3 | 03/20/14 | Michael P. ... |
| 4 | 03/20/14 | Michael P. ... |
| 5 | 03/20/14 | Michael P. ... |
| 6 | 03/20/14 | Michael P. ... |



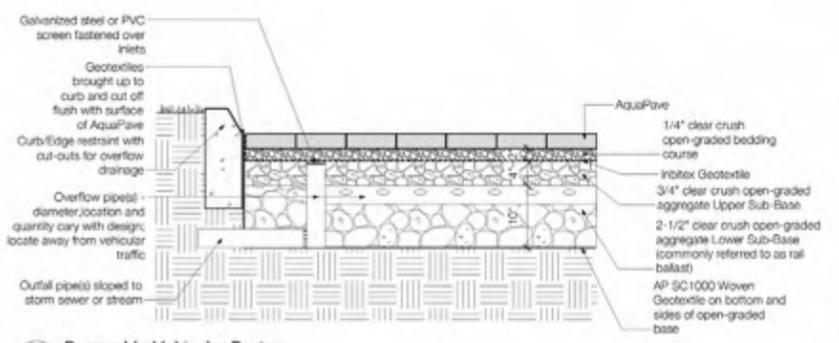
10 Detail: Shrub planting
Scale: 1/2" = 1'-0"



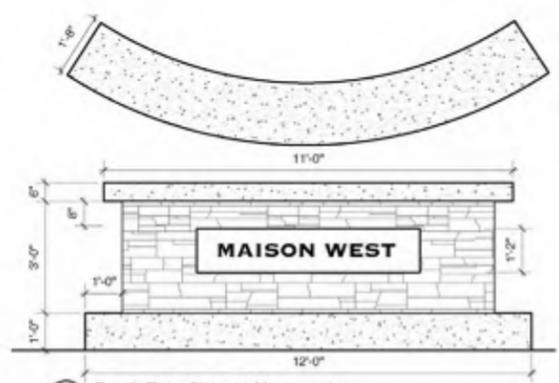
11 Detail: Rain Garden
Scale: 1/2" = 1'-0"



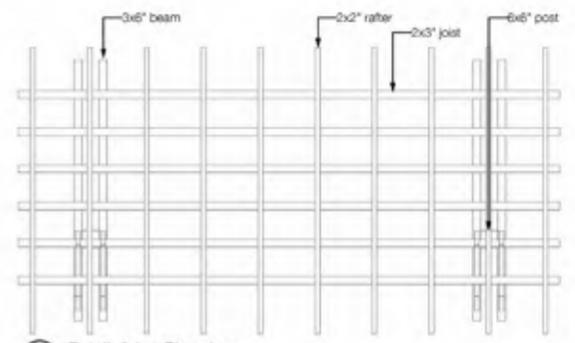
12 Detail: Extensive Greenroof System - ZnCo
Scale: 1" = 1'-0"



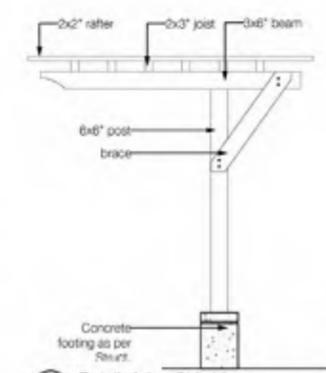
14 Permeable Vehicular Paving
Scale: 1" = 1'-0"



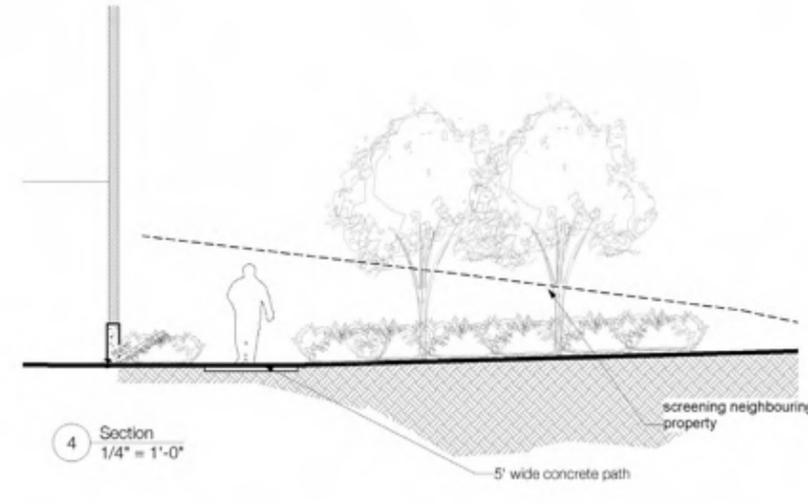
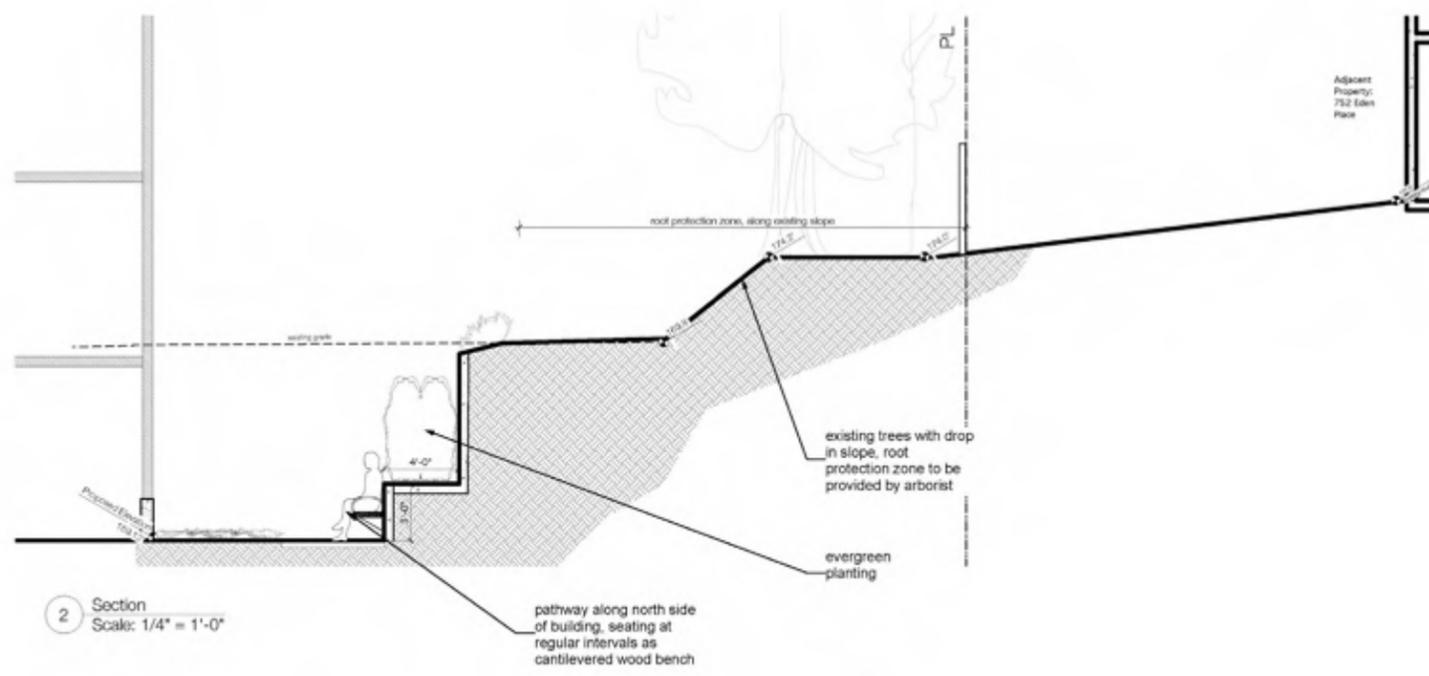
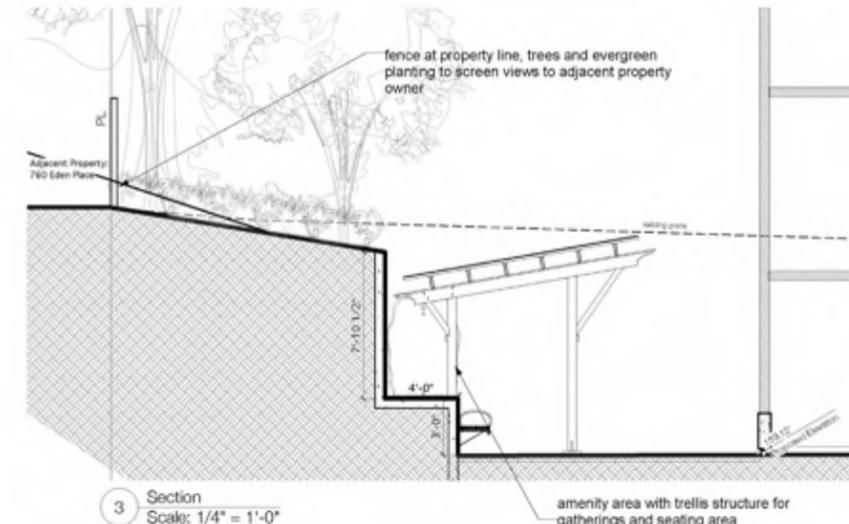
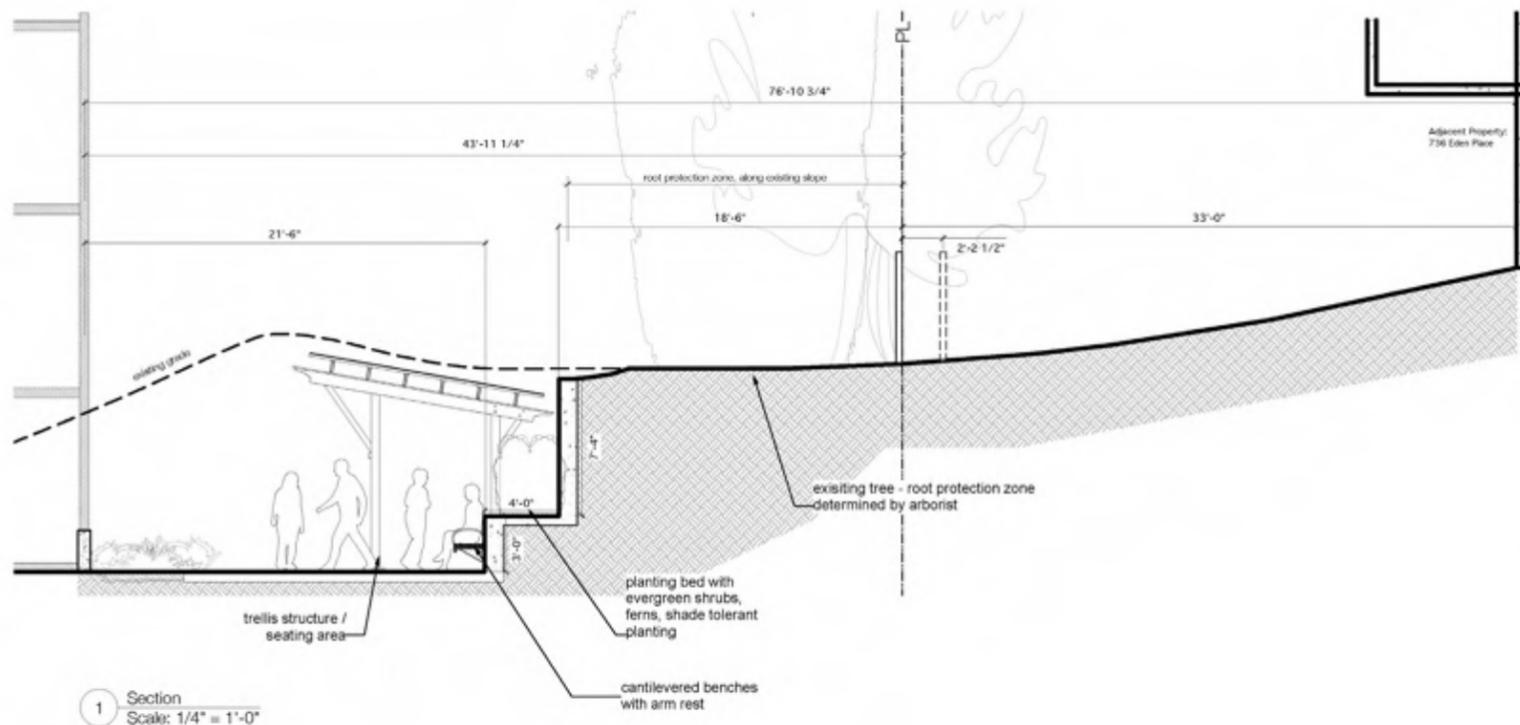
15 Detail: Entry Signage Monument
Scale: 1/2" = 1'-0"



16 Detail: Arbor Plan view
Scale: 1/2" = 1'-0"



16.2 Detail: Arbor Side View
Scale: 1/2" = 1'-0"



| Rev | Date | Description |
|-----|----------|------------------|
| 1 | 09/02/14 | Issue for Review |
| 2 | 09/02/14 | Issue for Review |
| 3 | 09/02/14 | Issue for Review |
| 4 | 09/02/14 | Issue for Review |
| 5 | 09/02/14 | Issue for Review |

Professional Seal

eta
architectural - associates
architects & landscape architects

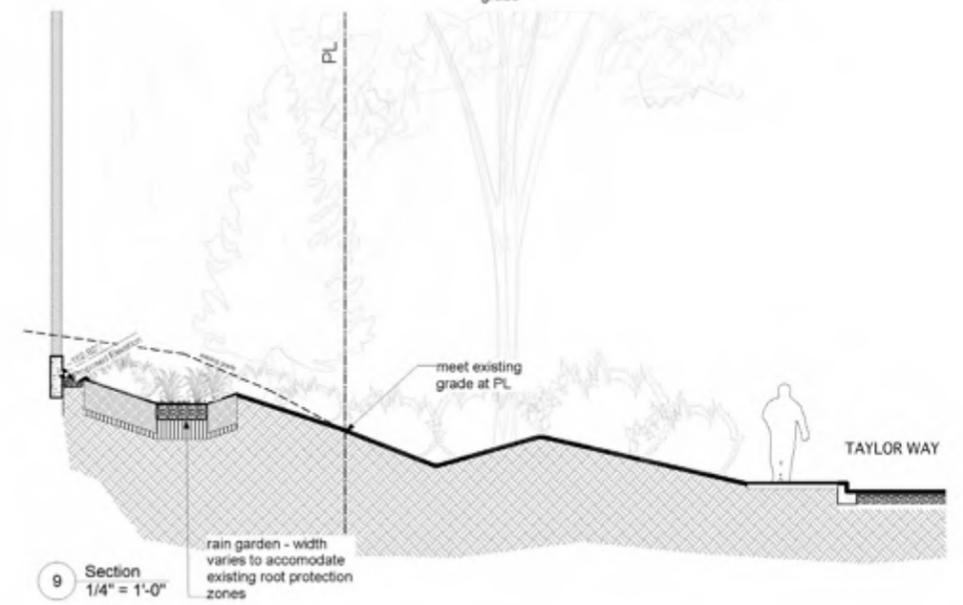
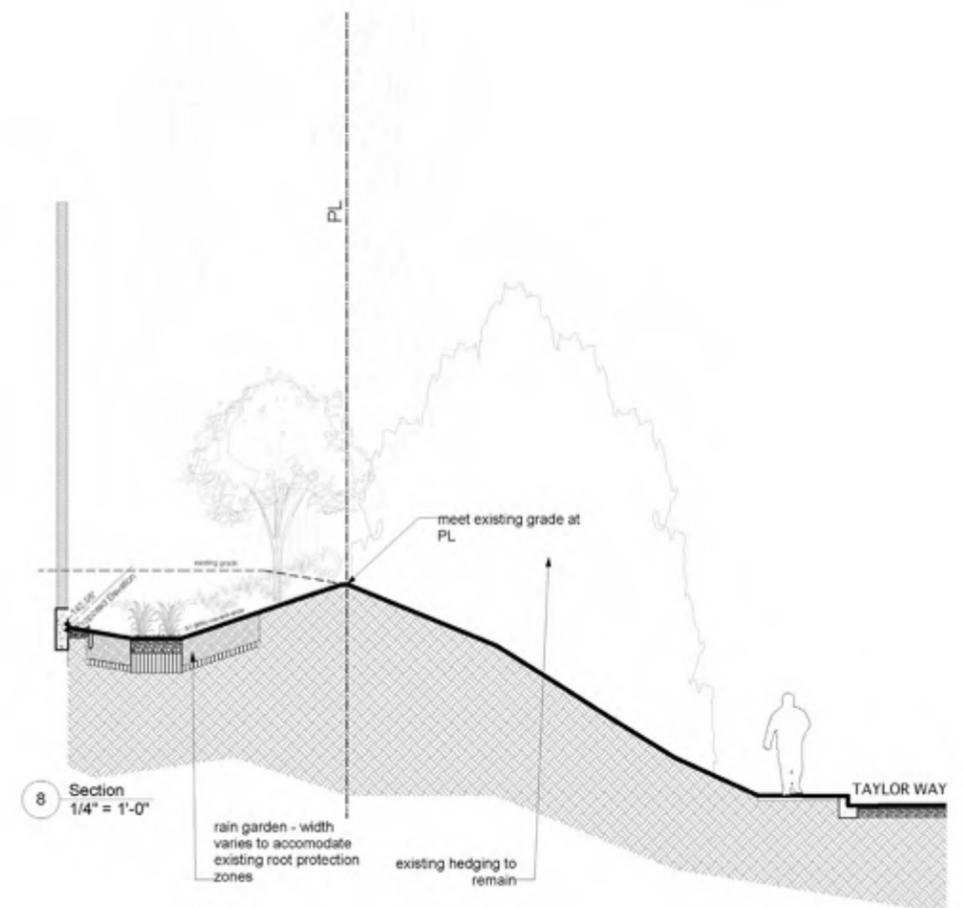
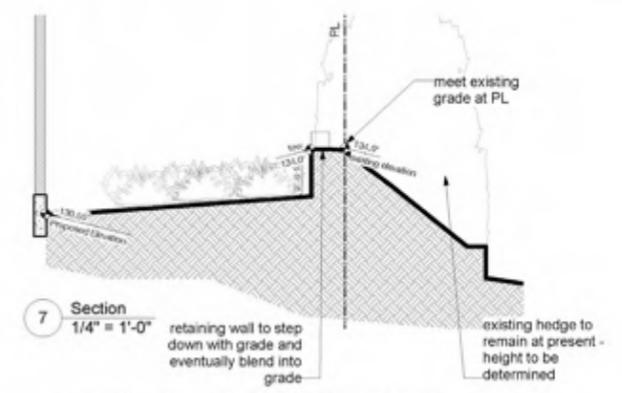
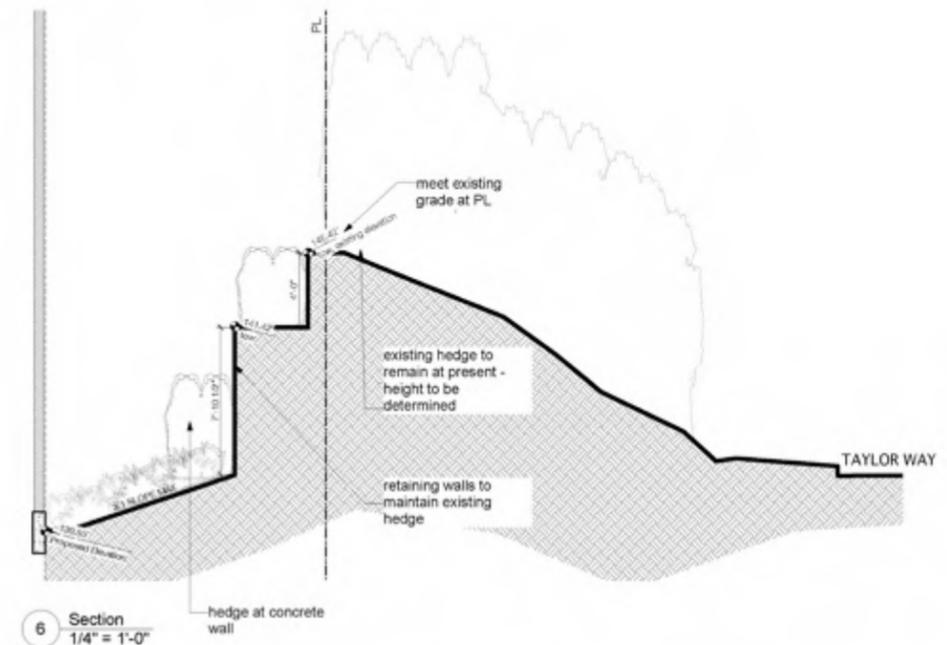
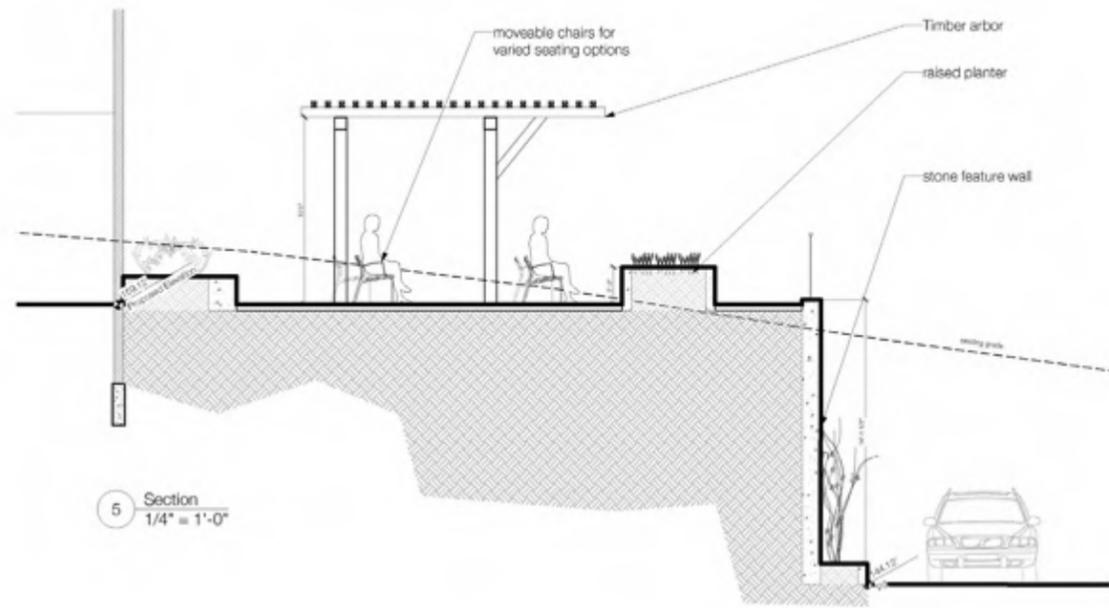
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Project
Maison Senior Living
825 Taylor Way & 707 Keith Road
West Vancouver, BC

Drawing Title
Landscape Sections

| Author | Checked |
|------------|---------|
| GE | PLM |
| 01.09.2014 | LS 1 |
| | 5 |

1/2/14
21-040-Water-Senior-Living-SECTION-01-08-2014.dwg



| Rev | Date | Description |
|-----|----------|------------------------|
| 1 | 01/15/14 | Initial Design |
| 2 | 02/10/14 | Revised Design |
| 3 | 03/05/14 | Final Design |
| 4 | 04/01/14 | Construction Documents |
| 5 | 05/01/14 | As-Built |

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Project
Maison Senior Living
 625 Taylor Way & 707 Keith Road
 West Vancouver, BC

Drawing Title
Landscape Sections

| | |
|----------------|--------------|
| Project Number | 21349 |
| Client | SLC |
| Scale | 1/4" = 1'-0" |
| Date | 01/08/2014 |
| Sheet Number | 15.2 |
| Total Sheets | 8 |

SECTION 5: SUPPORTING STUDIES & REPORTS

PRELIMINARY SUSTAINABLE CHECKLIST

As owner and operator of the Maison Seniors Living Residence where health and wellness will be paramount, Milliken Developments has a vested interest in and is committed to reaching a meaningful environmental standards. As a result, and to better clarify the specific sustainability elements anticipated in the building, the following LEED and BuiltGreen Checklists were completed indicating the expected and possible points for the building. The ultimate expectation is that the Maison Seniors Living Residence will reach the Silver level under each rating system.

The general location of the project along with specific treatments to the site including the green roofs and water efficient landscaping provide for a good amount of points in each checklist. Furthermore, a strong sustainable focus is expected to exist with the Energy & Atmosphere and Indoor Air Quality elements of the building were strategic choices of mechanical systems will yield good benefits for each checklist category. Specifically, systems designed around each residential unit provide both good efficiencies and controllability of individual atmospheres, both which are very important as an operator.

LEED Canada-NC 2009 Preliminary Project Checklist

Maison Senior Living Residence, West Vancouver

| Yes | ? | No | Project Totals (pre-certification estimates) | | | 110 Possible Points |
|---|----|----|--|--|--|---------------------|
| 40 | 19 | 51 | | | | |
| Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above | | | | | | |

| Yes | ? | No | Sustainable Sites | | | 26 Points |
|-----|---|----|-------------------|--|--|-----------|
| 12 | 7 | 7 | | | | |

| Yes | ? | No | Prereq | Description | Points |
|-----|---|----|------------|--|----------|
| ✓ | | | Prereq 1 | Construction Activity Pollution Prevention | Required |
| 1 | | | Credit 1 | Site Selection | 1 |
| | | 5 | Credit 2 | Development Density and Community Connectivity | 3, 5 |
| | | 1 | Credit 3 | Brownfield Redevelopment | 1 |
| 6 | | | Credit 4.1 | Alternative Transportation: Public Transportation Access | 3, 6 |
| | 1 | | Credit 4.2 | Alternative Transportation: Bicycle Storage & Changing Rooms | 1 |
| 1 | 2 | | Credit 4.3 | Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles | 3 |
| 1 | 1 | | Credit 4.4 | Alternative Transportation: Parking Capacity | 2 |
| 1 | | | Credit 5.1 | Site Development: Protect and Restore habitat | 1 |
| | 1 | | Credit 5.2 | Site Development: Maximize Open Space | 1 |
| | | 1 | Credit 6.1 | Stormwater Design: Quantity Control | 1 |
| | 1 | | Credit 6.2 | Stormwater Design: Quality Control | 1 |
| 1 | | | Credit 7.1 | Heat Island Effect: Non-Roof | 1 |
| 1 | | | Credit 7.2 | Heat Island Effect: Roof | 1 |
| | 1 | | Credit 8 | Light Pollution Reduction | 1 |

| Yes | ? | No | Water Efficiency | | | 10 Points |
|-----|---|----|------------------|--|--|-----------|
| 4 | 0 | 6 | | | | |

| Yes | ? | No | Prereq | Description | Points |
|-----|---|----|----------|------------------------------------|----------|
| ✓ | | | Prereq 1 | Water Use Reduction | Required |
| 2 | | 2 | Credit 1 | Water Efficient Landscaping | 2, 4 |
| | | 2 | Credit 2 | Innovative Wastewater Technologies | 2 |
| 2 | | 2 | Credit 3 | Water Use Reduction | 2 - 4 |

| Yes | ? | No | Energy & Atmosphere | | | 35 Points |
|-----|---|----|---------------------|--|--|-----------|
| 6 | 6 | 23 | | | | |

| Yes | ? | No | Prereq | Description | Points |
|-----|---|----|----------|--|----------|
| ✓ | | | Prereq 1 | Fundamental Commissioning of Building Energy Systems | Required |
| ✓ | | | Prereq 2 | Minimum Energy Performance | Required |
| ✓ | | | Prereq 3 | Fundamental Refrigerant Management | Required |
| 6 | | 13 | Credit 1 | Optimize Energy Performance | 1 - 19 |
| | | 7 | Credit 2 | On-Site Renewable Energy | 1 - 7 |
| | 2 | | Credit 3 | Enhanced Commissioning | 2 |
| | 2 | | Credit 4 | Enhanced Refrigerant Management | 2 |
| | 2 | 1 | Credit 5 | Measurement and Verification | 3 |
| | | 2 | Credit 6 | Green Power | 2 |

| Yes | ? | No | Materials & Resources | | | 14 Points |
|-----|---|----|-----------------------|--|--|-----------|
| 3 | 2 | 9 | | | | |

| Yes | ? | No | Prereq | Description | Points |
|-----|---|----|------------|---|----------|
| ✓ | | | Prereq 1 | Storage and Collection of Recyclables | Required |
| | | 3 | Credit 1.1 | Building Reuse: Maintain Existing Walls, Floors, and Roof | 1 - 3 |
| | | 1 | Credit 1.2 | Building Reuse: Maintain Interior Non-Structural Elements | 1 |
| 1 | | 1 | Credit 2 | Construction Waste Management | 1 - 2 |
| | | 2 | Credit 3 | Materials Reuse | 1 - 2 |
| 1 | 1 | | Credit 4 | Recycled Content | 1 - 2 |
| 1 | 1 | | Credit 5 | Regional Materials | 1 - 2 |
| | | 1 | Credit 6 | Rapidly Renewable Materials | 1 |
| | | 1 | Credit 7 | Certified Wood | 1 |

| Yes | ? | No | Indoor Environmental Quality | | | 15 Points |
|-----|---|----|------------------------------|--|--|-----------|
| 11 | 1 | 3 | | | | |

| Yes | ? | No | Prereq | Description | Points |
|-----|---|----|------------|---|----------|
| ✓ | | | Prereq 1 | Minimum Indoor Air Quality Performance | Required |
| ✓ | | | Prereq 2 | Environmental Tobacco Smoke (ETS) Control | Required |
| 1 | | | Credit 1 | Outdoor Air Delivery Monitoring | 1 |
| | | 1 | Credit 2 | Increased Ventilation | 1 |
| 1 | | | Credit 3.1 | Construction IAQ Management Plan: During Construction | 1 |
| 1 | | | Credit 3.2 | Construction IAQ Management Plan: Before Occupancy | 1 |
| 1 | | | Credit 4.1 | Low-Emitting Materials: Adhesives and Sealants | 1 |
| 1 | | | Credit 4.2 | Low-Emitting Materials: Paints and Coatings | 1 |
| 1 | | | Credit 4.3 | Low-Emitting Materials: Flooring Systems | 1 |
| 1 | | | Credit 4.4 | Low-Emitting Materials: Composite Wood and Agrifibre Products | 1 |
| 1 | | | Credit 5 | Indoor Chemical and Pollutant Source Control | 1 |
| 1 | | | Credit 6.1 | Controllability of System: Lighting | 1 |
| | 1 | | Credit 6.2 | Controllability of System: Thermal Comfort | 1 |
| | | 1 | Credit 7.1 | Thermal Comfort: Design | 1 |
| | | 1 | Credit 7.2 | Thermal Comfort: Verification | 1 |
| 1 | | | Credit 8.1 | Daylight and Views: Daylight | 1 |
| 1 | | | Credit 8.2 | Daylight and Views: Views | 1 |

| Yes | ? | No | Innovation in Design | | | 6 Points |
|-----|---|----|----------------------|--|--|----------|
| 4 | 0 | 2 | | | | |

| Yes | ? | No | Credit | Description | Points |
|-----|---|----|------------|-------------------------------|--------|
| 1 | | | Credit 1.1 | Innovation in Design | 1 |
| 1 | | | Credit 1.2 | Innovation in Design | 1 |
| 1 | | | Credit 1.3 | Innovation in Design | 1 |
| | | 1 | Credit 1.4 | Innovation in Design | 1 |
| | | 1 | Credit 1.5 | Innovation in Design | 1 |
| 1 | | | Credit 2 | LEED® Accredited Professional | 1 |

| Yes | ? | No | Regional Priority | | | 4 Points |
|-----|---|----|-------------------|--|--|----------|
| 0 | 3 | 1 | | | | |

| Yes | ? | No | Credit | Description | Points |
|-----|---|----|------------|--------------------------|--------|
| | | 1 | Credit 1 | Durable Building | 1 |
| | 1 | | Credit 2.1 | Regional Priority Credit | 1 |
| | 1 | | Credit 2.2 | Regional Priority Credit | 1 |
| | 1 | | Credit 2.3 | Regional Priority Credit | 1 |

PRELIMINARY SUSTAINABLE MATRICES



BUILT GREEN® High Density (HD) Project Checklist

Items selected must be applied to every unit, except where noted otherwise (i.e. central systems).

Section 1: 33 Section 2: 18 Section 3: 22 Section 4: 33 Section 5: 10 Section 6: 13 Section 7: 12 TOTAL POINTS: 141

Builder Name: _____
House Address: _____

I. OPERATIONAL SYSTEMS

This section awards points for construction methods and types of products that contribute toward lower energy consumption and/or renewable heating and electrical systems.

Minimum 32 (UNDER REVIEW)

| | | | |
|-------------|--|---|--------|
| 1-1 | All ductwork joints and penetrations sealed with low toxic mastic or aerosolized sealant system. Duct mastic is a preferred flexible sealant that can move with the expansion, contraction, and vibration of the duct system components. A high quality duct system greatly minimizes energy loss from ductwork. The additions to the system should be sized and designed to deliver the correct airflow to each room. | 3 | 3 |
| 1-2 | Install individual unit programmable thermostats capable of starting and stopping the system for at least 2 different daily schedules per week (2 pts. total for all units). A set back thermostat regulates the heating/cooling system to provide optimum comfort when the unit is occupied and to conserve energy when it is not. Builders are encouraged to install a central override system to ensure adequate temperatures for building durability (reference minimum temperatures recommended by CMHC). | 2 | 2 |
| 1-3 | Install high efficiency heating systems for all units and/or systems serving common areas (min. 90% AFUE gas furnace, min. 85% AFUE oil furnace, or min. 85% AFUE oil/gas boiler). High efficiency condensing furnaces and boilers reduce energy consumption and consequently fossil fuel reliance. | 3 | 3 |
| 1-4 | Calculate design heat loss and properly size HVAC equipment using CSA F280-M90 or ASHRAE/ACCA Standard 183, and/or implement a boiler management system to match the system operation to building loads and optimize controls for maximum energy savings. A properly sized heating and cooling system can reduce costs as well as conserve energy. When properly sized, HVAC equipment will run for longer periods which increases the efficiency and durability of the equipment due to less cycling on and off. | 2 | 2 |
| 1-5a (new) | Install high efficiency cooling systems for all units and/or systems serving common areas (min. 14 SEER central A/C, or min. ENERGY STAR® window A/C). High efficiency A/C units reduce electricity consumption and associated pollution. | 1 | 1 |
| 1-5 | Centrally locate HVAC systems inside the building's heated envelope and reduce duct length. Roof top units are poorly insulated and waste heat is lost to the environment rather than added to the building. High efficiency heating systems with shorter distribution distances require less energy. | | 1 |
| 1-6 | Install HVAC systems with variable speed motors (ECM). A variable speed fan motor is designed to vary its speed based on the building's heating and air conditioning requirements. Working in conjunction with the thermostat, it keeps the appropriate air temperature circulating through the building, reducing temperature variances in the home. It also provides greater air circulation and filtration, better temperature distribution, humidity control, higher efficiency and quiet performance. | | 3 |
| 1-7 | Units contain multiple heating/cooling zones, thermostatically controlled zones (2 zones = 2pts., 3 zones = 3pts., 4 zones = 4pts.). Efficiency can be significantly improved by only heating or cooling when occupants are present and by only heating/cooling to the exact desired temperature. Different desired temperatures can be set in each room or space and an individual zone can be turned off when not occupied. This type of system results in a dramatic reduction of energy consumption and operating costs. | | 2 to 4 |
| 1-8 | Install ground/water/solar heat pumps (10) or air-source heat pumps (7), either radiant or forced air, to supply majority of space heating and cooling loads. Heat pumps can significantly reduce primary energy use for building heating and cooling. The renewable component displaces the need for primary fuels, which, when burned, produce greenhouse gases and contribute to global warming. Please Note: Effectiveness of heat pumps is related to climate zone and energy costs. Please consult with specialist or engineer to confirm effectiveness. | | 10 |
| 1-9 | Provide electricity (1 pt.) and/or natural gas (1 pt.) direct metering for each unit. Direct metering in a Multi Context may require significant additional expenses above and beyond prorated condominium energy fees and holds individuals responsible for energy use. | | 1 to 2 |
| 1-10 | Install and balance an individually controlled active Heat Recovery Ventilator (HRV) and/or solar/geo fresh air pre-heating for each unit (4 pts.) and/or common area (2 pts.) and/or buildings exhaust air (3 pts.) HRVs exhaust return air out of the home while bringing in fresh air for ventilation. The process used to do this takes advantage of the heat in the exhaust air to preheat the incoming air, saving energy. | | 2 to 9 |
| 1-13 | Install a district high efficiency domestic hot water heating system, with min. 85% AFUE boiler, or min. 0.67 EF gas storage water heater (3 pts.). Alternatively install an instantaneous "tankless" domestic hot water system in each unit (3 pts.). Hot water heater is direct vented with a closed combustion system, i.e. all air for combustion is taken directly from the outside. A direct system utilizes a co-axial vent pipe (pipe inside a pipe), drawing combustion air in through the outer pipe and exhausting the products of combustion through the inner pipe. A power vented heater exhausts air out of the building via a positive exhaust during main burner operation. Both systems eliminate the need for conventional chimneys or flue systems. A tankless water heater does not have a storage tank to keep heated all day, or a pilot light; it burns gas only when you need hot water. This eliminates standby heat loss and its higher efficiency will save on utility costs. | 3 | 3 |
| 1-13a (new) | Install high efficiency pump drive motors for service water distribution with variable speed/flow capabilities. Pumps with variable speed drive motors operate more efficiently and help reduce electricity consumption. | | 1 |

| | | | |
|-------------|--|---|---------|
| 1-14 | Hot water storage tanks insulated by manufacturer to a minimum R-15. An insulation blanket will reduce the standby heat loss of the hot water in the tank. | | 2 |
| 1-15 | Install solar/air/water/geo (solar fraction >50%) DHW Heating System to supply a minimum of 25% of the peak DHW heating load and 70% of the total DHW energy load. A substantial amount of energy is wasted heating water in a traditional gas system. Using renewable sources will reduce the consumption of non-renewable energy and also reduce green house gas emissions. | | 2 |
| 1-16 | Provide roof area (min. 10% area of total) designed for future solar collector (Make solar ready; with solar thermal or PV conduit installed). A roof area with an appropriate slope allows for the effective addition of future solar air, water heating or photovoltaics. | | 1 |
| 1-17 | Install urban wind/photovoltaic electrical generation system which supplies (10%-2 pts., 20%-4 pts., 50%-8 pts., 100%-10 pts.) of design electrical load for the private area(s) of the building. This does not include electric heat. Urban wind and photovoltaics use renewable energy to generate electricity for the home, greatly reducing reliance on non-renewable energy sources and also reducing green house gas emissions. | | 2 to 10 |
| 1-18 | Install photovoltaic electrical generation system which supplies 50% (1 pt.) or 100% (2 pts.) of electrical needs for the common areas. This does not include electric heat. Photovoltaics use the sun's energy to generate electricity for the home, greatly reducing reliance on non-renewable energy sources and also reducing green house gas emissions. | | 1 or 2 |
| 1-19 | 50% (2 pts.) or 100% (4 pts.) of electricity used during construction of the project is generated by wind power or equivalent green power certificate. This practice encourages and promotes the use of renewable, sustainable energy resources as well as reducing green house gas emissions. | | 2 or 4 |
| 1-20 | 50% (2 pts.) or 100% (4 pts.) of electricity used by building during first year of occupancy is generated by wind power or equivalent green power certificate (prepaid by builder). This practice encourages and promotes the use of renewable, sustainable energy resources as well as reducing green house gas emissions. | | 2 or 4 |
| 1-21 | Install a central drain water heat recovery, with a minimum of 1 DWHR unit installed per 4 apartments (2 pt.) or per 2 apartments (3 pts.). Drain water heat recovery units enable an exchange of heat from greywater to the incoming water. This pre-heating reduces the amount of energy required for the hot water tank. | | 1 to 3 |
| 1-22 | Fireplaces in all units are electric, or gas with sealed combustion and electronic ignition. Sealed combustion fireplaces involve a double-walled special vent supplied by the manufacturer that normally vents through a sidewall in a horizontal position. The inner surface removes the flue gases and the outer container provides for passage of combustion air. | | 2 |
| 1-23 | Install fireplace fan kit to circulate warm air into room on all fireplaces. A fan kit allows the heat generated by a fireplace to be transferred into the home more effectively. | | 2 |
| 1-24 | All windows in the project are ENERGY STAR® labeled. ENERGY STAR labeled windows save energy by insulating better than standard windows, making the home more comfortable all year round, reducing outside noise and can result in less condensation forming on the window in cold weather. | | 2 |
| 1-25 | All Electric ranges use below 480 kWh/yr based on EnerGuide rating system. EnerGuide label often reduces fuel consumption by approximately 20%. | | 1 |
| 1-26 | Refrigerators (1 pt.), dishwashers (1 pt.), clothes washers (1 pt.) and/or combo washer dryer (2 pts.) are all ENERGY STAR® labeled products. An ENERGY STAR label for refrigerator indicates the product has met strict requirements to reduce energy consumption. | 4 | 1 to 4 |
| 1-27 | All clothes dryers have an energy performance auto sense dry setting which utilizes a humidity sensor for energy efficiency. Sensor saves energy by shutting dryer off when clothes are dry rather than leaving it on for a specified time. | | 1 |
| 1-27a (new) | Install ENERGY STAR® labeled bathroom exhaust fans for each unit An ENERGY STAR label for a bathroom exhaust fan indicates the product has met strict requirements to reduce energy consumption. | 1 | 1 |
| 1-28 | Other building appliances supplied at the time of sale (i.e., TV, LCDs, security systems) are energy efficient/ENERGY STAR® rated. An ENERGY STAR label indicates the product has met strict requirements to reduce energy consumption. | | 1 |
| 1-29 | Exposed Exterior Accessibility Ramps heated with renewable energy or waste heat. This practice encourages and promotes the use of renewable, sustainable energy resources as well as reducing green house gas emissions. | | 2 |
| 1-30 | Install properly supported ceiling fan wired rough-in for each unit. Intended to allow for future temperature equalization. | | 1 |
| 1-31 | Install interior motion sensor light switches in over 25% (1 pt.), 50% (2 pts.) or 75% (3 pts.) of hallways/corridors and stairwells. Motion sensor switches prevent lights from staying on in rooms that are unoccupied. This helps reduce electricity consumption. | 3 | 1 to 3 |
| 1-32 | Install lighting with an automation control system capable of unified automation control of lighting loads for all common areas. Lighting and automation control systems prevent lights from staying on in rooms without occupants, thereby reducing electricity consumption. | 2 | 2 |
| 1-33 | Install automatic lighting system (2 pts.) and/or ventilation system (2 pts.), which are triggered by movement or CO levels, for garages/parkade. Automating will allow better control and energy efficiency. | 4 | 2 to 4 |
| 1-34 | Exterior lighting follows IESNA illuminance requirements for recommended practice manual: Lighting for Exterior Environments. This addresses light pollution issues. The Illuminating Engineering Society of North America can be found online at: iesna.org and the "Lighting for Exterior Environments" guide (IESNA RP-33-99) can be purchased there. | 2 | 2 |
| 1-35 | Common Area lit with high efficiency (non-incandescent) lamps. | 1 | 1 |

| | | | |
|---|---|---|-----------|
| 1-36 | Minimum 25% (1 pt.), 50% (2 pts.) or 100% (4 pts.) of light fixtures are L.E.D., fluorescent or have compact fluorescent light bulbs installed in each unit. Fluorescent, compact fluorescent and L.E.D bulbs use 50% less energy than standard bulbs and last up to ten times longer. | | 1, 2 or 4 |
| 1-37 | Minimum 50% of recessed lights in the entire building use halogen bulbs. Halogen bulbs are slightly more energy efficient, last longer and provide a more effective task light than conventional bulbs. | | 1 |
| 1-38 | All EXIT signs are photo luminescent or LED. Photo luminescent exit signs use no power as the light is supplied by a phosphorous chemical that absorbs light until needed and then emits it. | 2 | 2 |
| 1-39 | Air tight, insulation contact-rated recessed lights are used in all insulated ceilings, or insulated ceilings have no recessed lights. Prevent heated air from exhausting through ceiling. Air tight light fixtures lead to a more airtight, energy efficient home. | | 1 |
| TOTAL SECTION POINTS (min. 32 required): | | | 33 |

II. BUILDING MATERIALS

This section deals with building components that make up the structure of the home. Items involve alternatives to using large dimensional lumber, products with a recycled component, utilizing wood products that come from sustainable managed forests and reducing the overall amount of lumber used.

Minimum 10 (UNDER REVIEW)

| | | | |
|------|--|---|--------|
| 2-1 | Insulating Concrete Forming system (ICF's) used below grade (2 pts.) and/or above grade (2 pts.). Insulating Concrete Forms (ICFs) are hollow building elements made of plastic foam that are assembled, often like building blocks, into the shape of a building's exterior walls. The ICFs are filled with reinforced concrete to create structural walls. Unlike traditional forms, the ICFs are left in place to provide insulation and a surface for finishes. | | 2 to 4 |
| 2-2 | Minimum of R-7.5 insulation installed under entire basement/foundation slab under conditioned space. Insulation installed under the basement slab will reduce the downward heat transfer into the ground below the slab, especially when hydronic in-slab heating is installed. Insulation under the slab can reduce temperature swings in the heated space and respond quicker to new changes in thermostat settings. | | 2 |
| 2-3 | Attached garage, parking and/or loading dock overhead doors are insulated with R8 to R12 (1 pt.) or greater than R12 (2 pts.). An insulated overhead garage door will reduce heat loss. | 1 | 1 or 2 |
| 2-4 | Attached garage/parking walls and ceiling are insulated to NBC minimum (R12 for walls, R34 for ceilings). A fully insulated garage acts as a buffer zone, reducing heat loss. | 1 | 1 |
| 2-5 | Non-solvent based damp proofing (seasonal application). Water based damp proofing products use water as a thinner. Oil based damp proofing give off a number of volatile organic compounds (VOCs) as the solvent evaporates after application. These VOCs can be a strong irritant and can add to air pollution. | 1 | 1 |
| 2-6 | Point Parkade semi gloss white to reduce number of required lighting fixtures. Using high reflectance white paint allows for fewer lights to be used in the parkade area. | 1 | 1 |
| 2-7 | Steel studs made from a recycled steel (min. 75%) are used to replace wood studs (min.15%). Recycling steel reduces landfill waste and saves on wood consumption. | | 1 |
| 2-8 | Use Optimum Value Engineering (OVE) to reduce wood use in framing: - Exterior and interior wall stud spacing at 24" on-center (2 points) or 19.2" on-center (1 pt.) - Elimination of headers at non-bearing interior and exterior walls. (1 pt.) - Use of header hangers instead of jack studs. (1 pt.) - Elimination of cripples on hung windows. (1 pt.) - Elimination of double plates, use single plates with connectors by lining up roof framing with wall & floor framing (1 pt.) - Use of two stud corner framing with drywall clips or scrap lumber for drywall backing instead of studs. (1 pt.) For more details on Optimum Value Engineering (OVE) framing principles see www.buildingcience.com. | 5 | 1 to 7 |
| 2-9 | Walls and roof designed as 24" module to reduce waste. A 24" module takes into account the size of sheets of OSB or plywood, stud spacing, carpet size etc. | 2 | 2 |
| 2-10 | Use of insulated headers (either manufactured or site built open insulated single headers) with minimum insulation value of R10. Headers can either be insulated on site or can be a pre-manufactured product (often insulated with a foamed plastic). | | 1 |
| 2-11 | Install manufactured insulated rim/band joist or build on site by setting back joists to allow rigid insulation filler of a minimum R10. Rim and band joists can either be insulated on site or can be pre-manufactured (often insulated with a foamed plastic). | | 2 |
| 2-12 | Structural insulated panel system (SIPS) used for walls (3 pts.) and/or for roofs (2 pts.). Reduces thermal migration and controls air leakage - Keeps heating and cooling costs to a minimum compared to a conventionally framed wall. | | 2 to 5 |
| 2-13 | All insulation used in the project is third-party certified to contain a minimum recycled content: 40% (1 pt.) or 50% (2 pts.). Recycled content means less landfill waste and raw material use. Also, according to the North American Insulation Manufacturers' Association, insulation with recycled content takes less energy to produce than using all raw materials. | | 1 or 2 |
| 2-14 | Insulation levels meet or exceed the MNECB (may include Roof-R28, Walls R14, Floor R14). Model New Energy Code minimums will help to keep heating and cooling costs to a minimum compared to a conventionally framed wall. | 1 | 1 |
| 2-15 | Replace exterior wood sheathing with installed insulating sheathing. | 2 | 1 to 2 |

PRELIMINARY SUSTAINABLE MATRICES

| | | |
|---|---|-----------|
| 2-16 | Using rigid insulation instead of wood for exterior sheathing conserves forest resources, reduces thermal migration and controls air leakage; it also keeps heating and cooling costs to a minimum compared to a conventional wall. Deck (1pt.), balcony surfaces (1pt.), and/or veranda structure (1 pt.) made from a third-party certified sustainable harvested wood source or third-party certified sustainable concrete. The issue of sustainable forest management (SFM) is considered to be of such importance by the Canadian forest industry that, in 1993, a group of 22 organizations representing virtually all of the industry came together to form the Canadian Sustainable Forestry Certification Coalition. The coalition regrouped several different certification standards that each have their strengths and weaknesses. For more information, see www.sfsms.com. Concrete produced from aggregates derived from a pit or quarry with a valid reclamation plan approved by Materials and Resources Canada or the governing provincial body. | 1 to 3 |
| 2-17 | Dimensional lumber from a third-party certified sustainable harvested source used for floor framing (1 pt.), wall framing (2 pts.), and/or roof framing (1 pt.). Saves old growth forests by using trees from a second generation forest. | 1 to 4 |
| 2-18 | Environmentally engineered flooring system (i.e., Uses reclaimed/recycled/rapidly renewable wood waste, fly ash concrete (1pt-30%), recycled steel (1pt-90%)). Use of Engineered floor system saves old growth forest by using components from second generation forests and the use of recycled materials. | 1 |
| 2-19 | Environmentally engineered products for all load bearing beams (i.e., Uses reclaimed/recycled/rapidly renewable wood waste, fly ash concrete (30%), recycled steel (90%)). Engineered products include wood products, concrete and recycled steel. | 2 |
| 2-20 | Environmentally engineered products for all exterior window and door headers (i.e., Uses reclaimed/recycled/rapidly renewable wood waste, fly ash concrete (30%), recycled steel (90%)). Engineered products include wood products, concrete and recycled steel. | 1 |
| 2-21 | Engineered stud material for 10% of stud wall framing. Use of Engineered lumber products saves old growth forest by using components from second generation forests and recycled materials. | 1 |
| 2-22 | Engineered and/or finger-jointed plate material. Use of recycled materials saves old growth forest. | 1 |
| 2-23 | Finger-jointed studs for 90% of non-structural stud wall framing. Use of recycled materials saves old growth forest. | 2 |
| 2-25 | Recycled content exterior wall sheathing (min. 50% pre or post consumer). Recycled content reduces landfill waste and the use of new materials. | 2 |
| 2-27 | 100% Recycled content rainscreen attachment system. Use of recycled content polypropylene, steel or aluminum rainscreen strapping may replace the traditional use of treated wood strapping on rainscreen systems. | 2 |
| 2-28 | Advanced sealing package, non-HCFC expanding foam around window, door openings and all exterior wall penetrations (2 pts.). All sill plates sealed with foam gaskets or a continuous bead of acoustical sealant (1 pt.). Controls air leakage and keeps heating and cooling costs to a minimum. | 1 to 3 |
| 2-29 | Builder has installed a green roof over 50% (3 pts.), 75% (5 pts.) or 100% of total roof area (7 pts.). Green roofs are defined as a system of plants, growing medium and roof/waterproof membrane that acts as a whole to maximize the available environmental benefits of improving air temperature (reduced heat island effect), air pollution, storm water management and green space. Extensive or 2-4" Thickness typically requires 30-40 lbs./ft ² structural support, while Intensive roofs (8"-4") require significant structural support. | 3, 5 or 7 |
| 2-30 | Builder has incorporated exterior horizontal and/or vertical shading devices for glazing (2 pts.), or exterior operational shading devices (4 pts.). Shading windows from solar heat gain is a key design strategy for passive cooling and to reduce cooling loads on active HVAC systems in multi buildings. Light shelves and/or louvers can be optimized to allow for winter solar gain, while reducing overheating during the summer. | 2 or 4 |
| 2-31 | All decks or balconies are thermally broken from the envelope by R10 (1 pt.), or fully separated (3 pts.). | 1 or 3 |
| TOTAL SECTION POINTS (min. 10 required): | | 18 |

III. EXTERIOR and INTERIOR FINISHES

This section focuses on the finish materials used both inside and outside of the project. The items listed include using longer lasting products, products with recycled content and products that are harvested from third party certified managed forests.
Minimum 10 (UNDER REVIEW)

| | | |
|-----|--|--------|
| 3-1 | Exterior doors with a minimum of 15% recycled, recovered, or third party sustainably harvested content. Recycled or recovered content ensures we keep our landfill use to a minimum. | 1 |
| 3-2 | All exterior doors manufactured from fiberglass. Fiberglass doors insulate better than steel skinned or wood doors, have a longer lifespan, do not warp, twist or crack, and therefore reduce landfill use. | 1 |
| 3-3 | Exterior window frames contain a minimum of 10% recycled, recovered, or third party sustainably harvested content. Reusing materials such as plastics reduces landfill usage, which may not be biodegradable. | 1 |
| 3-4 | Exterior window frames are made from third-party certified sustainable harvested wood. Uses trees from a forest managed system that prevents clear cutting trees, and replants trees to replace from which they've been harvested. | 2 |
| 3-5 | Concrete used in home has a minimum supplementary cementing material of 25% (1 pt.) and/or 40% (2 pts.) and is within the scope of proper engineering practices. | 1 to 2 |

| | | |
|-------------|--|-----------------|
| 3-6 | For every one tonne of Portland cement generated, eighth tenths of a ton of carbon dioxide is produced. Supplementary cementitious products include fly ash, blast furnace slag as well as metakaolin. Natural cementitious stone/stucco/brick or fiber cement siding – complete or combination thereof for 100% of exterior cladding. Battens are included in cladding. Strong, long lasting, fireproof material. | 4 |
| 3-7 | Exterior trim and finish is made of recycled content (50% min.) material, durable and fire rated; trim (1 pt.) and/or wall finish (4 pts.). Fiber cement fascia and soffit, made with recycled content from sawmill waste and Portland cement, is a strong, long lasting and fireproof material. | 1 to 5 |
| 3-8 | Exterior trim (3 pts.) and /or siding materials (4 pts.) have recycled and/or recovered-content (min. 50%). Recycled and/or recovered-content trim materials reduce the amount of new material used in production by gluing up miss scraps into large pieces, which conserves natural resources and reduces landfill usage. | 3 to 4 |
| 3-9 | Exterior trim materials are manufactured from OSB . Trim materials manufactured from OSB uses a laminating process to make larger pieces from smaller pieces or strands of wood. The process saves old growth forests by using trees from forest managed systems that prevents clear cutting trees, and replants trees in areas from which they have been harvested. | 1 |
| 3-10 | All exterior trim is clad with pre-finished metal (1 pt. over top wood backings, 2 pts. without wood backings). Trim clad with pre-finished metal is a durable long lasting product that requires no maintenance, reduces waste in landfills due to long life of product. | 2 |
| 3-11 | Deck or balcony surfaces made from recycled materials: 50% (1 pt.), 75% (2 pts.), 100% (3 pts.), and/or from low maintenance materials (2 pts.) (Deck surfaces should not need maintenance of any kind, including painting, for a minimum of 5 years). Substituting recycled material outdoors avoids the use of pressure treated and high mildew resistant wood that may otherwise be harvested from disappearing old growth or rain forests. Material which lasts longer and reduces landfill usage tends to require little to no maintenance, saving replacement costs and reducing energy spent. | 1, 2, 3 or 5 |
| 3-12 | Install 25-year (2 pts.), 30-year (3 pts.), 35-year (4 pts.), 40-year (5 pts.), or 50-year (6 pts.) roofing material – with manufacturer's warranty. A longer warranted roof system saves money in replacement costs, and reduces the use of landfills due to the longevity of the product. | 2, 3, 4, 5 or 6 |
| 3-13 | Minimum 25% recycled-content roofing material. Recycled content roof material reduces the use of new resources, and waste in landfills. | 3 |
| 3-13a (new) | Use roofing material with a high solar reflectance index (SRI) of ≥78 (for roof slopes ≤ 2:12), or ≥29 (for roof slopes > 2:12). Roofs with a high solar reflectance help cool the building during the summer by reducing the heat island effect. | 1 |
| 3-14 | Interior doors made with recycled or recovered content (min.15%-1 pt.), or from third-party certified sustainably harvested sources (2 pts.). Recycled or recovered content ensures we keep our landfill use to a minimum. | 1 to 2 |
| 3-16 | Domestic wood from reused/recovered or re-milled sources – 500 square foot minimum for flooring or all cabinets or all millwork. Reused, recovered or re-milled sources eliminate the need for new resources, saves energy, transportation costs, and forestry from depletion. | 6 |
| 3-17 | All carpet padding made from natural or recycled textile, or fire waste. Natural or recycled-content carpet padding is a good use of reusable resources. Rebound still qualifies. | 2 |
| 3-18 | Install carpet that has a minimum of 50% recycled content. Recycled-content carpet is a good use of renewable resources, lessens off gases, and improves air quality. | 2 |
| 3-19 | 100% recycled or recovered content underlayment or use of concrete finishes to enable the flooring to remain concrete. Concrete finishes such as stamped or stained concrete etc. | 1 |
| 3-20 | Install a minimum of 300 square feet per unit of laminate flooring. Laminate flooring is made up of sustainable raw materials. | 2 |
| 3-21 | Bamboo, cork or hardwood flooring used in the project (min. 300 square feet per unit installed). Products must be third-party certified to be from managed forests or from certified sustainable sources. Cork flooring comes from stripping the bark off cork oak, which regenerates itself. The cork tiles are moisture, rot and mold resistant, providing a floor that can last over 30 years. Bamboo flooring is a good use of natural resources because it is fast growing, durable and flexible. | 3 |
| 3-22 | All ceramic tile installed in the project has a minimum of 25% recycled-content. Reduces landfill usage. | 2 |
| 3-23 | MDF casing and baseboard used throughout the project. MDF casing is created from sawdust and glues, utilizing all wood waste to create usable product. | 1 |
| 3-24 | Finger-jointed casings, baseboards and jams used throughout the project. Finger-jointed casing and baseboards maximize wood usage, buy using small pieces of wood glued together to create longer pieces. The process saves old growth forests by using trees from forest managed systems that prevents clear cutting trees, and replants trees in areas from which they have been harvested. | 1 |
| 3-25 | Solid hardwood trim from third party certified sustainable harvested sources approved for millwork (2 pts.) and/or cabinets (2 pts.). This process saves old growth forests by using trees from forest managed systems that prevents clear cutting trees, and replants trees in areas from which they have been harvested. | 2 to 4 |
| 3-26 | Paints or finishes with minimum of 20% recycled content. Paints or finishes made from recycled content are environmentally friendly because recycling paint reduces the hazardous waste in landfills. | 1 |
| 3-27 | Natural granite, concrete, recycled glass or stone countertops in 100% of the kitchens (2 pts.) and all other countertop areas (1 pt.). Natural product is more durable, easy to clean and maintain and is resistant to heat and staining. | 1 to 3 |
| 3-28 | 100% agricultural waste or 100% recycled wood particle board used for shelving. | 2 |

| | | |
|---|---|-----------|
| 3-29 | Products such as wheat board are made from agricultural waste. PVD finish on all door hardware (1 pt.) PVD finish on all faucets (1 pt.). Physical Vapor Deposition (PVD) provides a more durable product; no toxic wastes are produced making it. | 1 to 2 |
| TOTAL SECTION POINTS (min. 10 required): | | 22 |

IV. INDOOR AIR QUALITY

This section focuses on the quality of the air within the finished project. Products listed here include materials that are low in VOC's, products made from all natural materials as well as various air cleaning and ventilation systems.
Minimum 15 (UNDER REVIEW)

| | | |
|-------------|---|--------|
| 4-1 | Install pleated media filter (1 pt.) or an electrostatic air cleaner (2 pts.) or an electronic air cleaner (3 pts.) or a HEPA filtration system (6 pts.) or an ultraviolet air purifier (2 pts.) in conjunction with the HVAC system. Pleated air filters are made with materials that are chemically treated to provide their surface area. These pleated air filters are used the most efficient of all the media air filter types and are a whole house air filter. By increasing the surface area for collecting dust, airflow through the pleated air filter is less restricted. The electrostatic air cleaner is a permanent washable air filter that traps and removes airborne particles from the air before being circulated through the furnace and into the home. An Electronic Air Cleaner offers a superior level of filtration by using advanced, 3-stage filtration technology to trap and filter airborne particles like dust, cat dander and smoke. It works by placing an electric charge on airborne particles, and then collecting the charged pollutants like a magnet. The air cleaner cells can be washed in your dishwasher or sink. HEPA stands for High-Efficiency Particle Arresting. HEPA filtration offers the highest particulate removal available - 99.97% of particles that pass through the system including dust, cat dander, certain bacteria, pollens and more. The system is constructed to the strict standards of the Federal Standards for High-Efficiency Particulate Arresting systems. | 1 |
| 4-2 | Install power drum humidifier (1pt.) or a drip type humidifier (2 pts.) in conjunction with the HVAC system. Proper humidity provides a more comfortable living environment at a lower temperature, so you can turn down your thermostat for energy savings. Controlling humidity also means moisturizing dry air to prevent damage to hardwood floors and woodwork. Power drum humidifiers direct the heated air through a water-laden evaporator sleeve which absorbs moisture and then returns to the heating system for distribution throughout the home. | 2 |
| 4-4 | Install in-line ventilation fan with programmable timer (separate switch from lighting) in each unit. A programmable timer ensures necessary, regular, automatic mechanical ventilation of the housing units. | 1 |
| 4-5 | Install passive Heat Recovery Ventilator (HRV-2 pts.) or an active Heat Recovery Ventilator/ Energy Recovery Ventilator (HRV or ERV- 4pts.) in each unit . A Heat Recovery Ventilator (HRV) is an air exchanger that exhausts humid, stale, polluted air out of the housing unit and draws in fresh, clean outdoor air. Invisible pollutants produced by common household substances, plus dust and excess humidity that get trapped in today's houses, can increase your risk of chronic respiratory illness and your home's risk of serious structural damage. A passive HRV unit does not have its own internal fan and is 100% furnace assisted. It works by lying the exhaust side of the unit to the supply air plenum which forces air to exhaust from the housing unit and at the same time fresh air enters from outside through the unit and into the cold air return duct work. Much like the HRV the ERV recovers heat. It also recaptures the energy trapped in moisture; this greatly improves the overall recovery efficiency. In dry climates and humidified homes the ERV limits the amount of moisture expelled from the home. In humid climates and air conditioned homes, when it is more humid outside than inside, the ERV limits the amount of moisture coming into the housing unit. | 2 to 4 |
| 4-6 | Install thermostat that indicates the need for the air filter to be changed or cleaned. This feature displays filter maintenance reminders on the thermostat. Regular furnace maintenance is required to keep your mechanical equipment running efficiently and problem free as well as ensuring a healthy indoor air environment. | 1 |
| 4-6 a (new) | Install bathroom exhaust fan controls in each unit using either an occupancy sensor, automatic humidistat controller, automatic timer, or continuously operating exhaust fan. Bathroom exhaust fan controls increase occupant comfort by further controlling indoor moisture and odour levels. | 1 |
| 4-6 b (new) | Install timer switches or occupancy sensors on all local exhaust fans outside of individual units (i.e. laundry, recreation, storage areas, etc.). Operating of local exhaust fans only when necessary using controls helps reduce heat loss of interior air to outside, and also reduces electrical consumption by reducing duration of fan operation. | 1 |
| 4-6 c (new) | For indoor pool areas, install a designated dehumidification system designed by a consulting engineer or qualified contractor to match the water and air temperatures maintained in the area. Dehumidification systems serving pool areas eliminate the need to exhaust large quantities of indoor air, therefore reducing heat loss. | 1 |
| 4-6 d (new) | For all permanent entryways leading from outdoors, install an entryway system of at least 10 feet in length to captures dirt and particulates (i.e. grates/grills/slotted systems, or roll-out mats that are maintained weekly by a service organization). Entryway systems that capture dirt and particulates from outdoors help reduce occupants exposure to indoor airborne contaminants. | 2 |
| 4-7 | All combustion space and water heating equipment located within building are sealed with no possibility of backdraft. Sealed-combustion appliances draw all their combustion air from the outdoors, which eliminates any chance of back drafting. This feature is especially helpful in well sealed buildings. These types of appliances do not negatively affect indoor air quality. | 3 |
| 4-8 | Install hardwired carbon monoxide detector within each unit, if combustion spillage susceptible appliances are used in the building. Carbon monoxide detectors warn against high levels of toxic carbon monoxide. | 1 |
| 4-9 | Seal all permanent ductwork upon installation, removing seals once all phases of construction are complete (1 pt.), and/or power vacuum all HVAC ducting prior to occupancy (1 pt.). This process helps eliminate pollutants that drop into the HVAC ducting during the construction process from being circulated into the housing unit. | 2 |
| 4-9 a | Flush out each unit with fresh air for at least 48 hours after all construction phases and prior to occupancy by opening all exterior windows and interior doors and running ventilation system. | 2 |

PRELIMINARY SUSTAINABLE MATRICES

| | | | |
|---|---|-----------|--------|
| (new) | Flushing out units with fresh air after construction helps reduce occupants' exposure to indoor airborne contaminants from dust, VOCs and other particulates that have accumulated during construction. | | |
| 4-11 | All insulation in the project is third-party certified as low or zero formaldehyde. Formaldehyde may cause eye, nose, and throat irritation, headaches, loss of coordination, nausea, damage to liver, kidney, and central nervous system. | 2 | 2 |
| 4-12 | Third-party certified low formaldehyde sub floor sheathing. Formaldehyde is colorless gaseous organic compound, water soluble, with a characteristic pungent and stifling smell. Building materials low in or free of formaldehyde glues are used in the floor underlayment, cabinetry and elsewhere to protect the indoor air quality. | | 3 |
| 4-13 | Third-party certified low formaldehyde underlayment is used in the project. (ANSI A208.1 – 2009 concentration ≤0.21 ppm). Low formaldehyde (phenol) and formaldehyde-free binders (PMDI) are available and becoming more common. FSC certified OSB is becoming more common, reducing environmental impacts on air, water, social quality. | | 1 |
| 4-14 | Low formaldehyde particle board/MDF used for cabinets (ANSI A208.2 – 2009 concentration ≤0.21 ppm). Urea formaldehyde-free fibreboard can be used in the same way as conventional fibreboard, but with the added caution of greater potential for water damage. | 1 | 1 |
| 4-15 | Low formaldehyde particle board/MDF used for shelving (ANSI A208.2 – 2009 concentration ≤0.21 ppm). | 1 | 1 |
| 4-16 | Zero formaldehyde particle board/MDF used for cabinets (2 pts.) and/or for shelving (2 pts.). Cabinets made from formaldehyde free particleboard or MDF eliminate the Volatile Organic Compounds (VOC) that off gas into the home, resulting in healthier indoor air quality. | 4 | 2 to 4 |
| 4-17 | All interior wire shelving is factory powder coated. Vinyl coating on conventional shelving units off gas VOC fumes. | 2 | 2 |
| 4-18 | Water-based urethane finishes used on all site-finished wood floors. Water-based Epoxy: Generally referred to as "epoxy-modified finish," water-based epoxy finish differs from its solvent-based counterpart in that the epoxy resin is itself the catalyst for an acrylic or urethane resin. | | 2 |
| 4-19 | All wood or laminate flooring in the project is factory finished. Installing a pre-finished floor eliminates the time, the dust and the odors associated with the on-site sanding and finishing of an unfinished product. | 2 | 2 |
| 4-20 | Water-based Lacquer or paints are used on all site built and installed millwork, including doors, casing and baseboards. Water based interior finish products reduces VOC off-gassing which improves indoor air quality. | 3 | 3 |
| 4-21 | Interior paints are used that have low VOC content (2 pts.–Standards are < 150 grams/liter of VOCs) and/or interior paint is used that has no VOC's in base paint—prior to tint (3 pts.). Volatile Organic Compounds (VOC) are a class of chemical compounds that can cause short or long-term health problems. A high level of VOCs in paints/finishes off gas and can have detrimental effects to a building's indoor air quality and occupant health. Any paint with VOCs in the range of 5 grams/liter or less can be called "zero VOC," according to an EPA standard. Some manufacturers may claim "Zero-VOCs", but these paints may still use colorants, biocides and fungicides with some VOCs. Adding a color tint usually brings the VOC level up to 10 grams/liter, which is still quite low. | 2 | 2 to 5 |
| 4-22 | Carpet and Rug Institute (CRI) IAQ label on all carpet used in units (2 pts.) and/or on all underlay used in units (1 pt.). To identify carpet products that are truly low-VOC, CRI has established a labeling program. The green and white logo displayed on carpet samples, of the CRI Indoor Air Quality Carpet Testing Program, in showrooms informs the consumer that the product type has been tested by an independent laboratory and has met the criteria for very low emissions. The adhesives used to install carpets and the latex rubber by some manufacturers to adhere face fibers to backing materials generate volatile organic compounds (VOCs). Carpets also cover large surfaces within an interior environment and can provide "sinks" for the absorption of VOCs from other sources. | 3 | 1 to 3 |
| 4-23 | Natural wool carpet in all living areas. Natural wool carpets are durable and use less secondary backing materials and chemicals. Off gassing is typically caused by the secondary backings and chemical additives in synthetic carpets, for controlling mildew, fungus, fire and rot. | | 2 |
| 4-24 | All vinyl sheet flooring is installed with low VOC adhesives (1 pt.–Low VOC = standard is < 60 grams per litre), and/or is replaced by hard surface flooring (2pts.), and/or is replaced by natural linoleum (1pt.). Low VOC adhesive or backing minimizes the amount of VOC off-gassing, therefore improving IAQ. | 2 | 1 to 4 |
| 4-26 | All ceramic tiles are installed with low VOC adhesives and plasticizer-free grout. (Low VOC = standard is less than 65 grams per litre). Most adhesives are still based on SB latex, which releases large quantities of volatile organic compounds (VOCs). The volatile solvents are used to emulsify (or liquefy) the resin that acts as the bonding agent. However, water-based adhesives emit far less VOCs than their conventional solvent based counterparts. There are three types of low-VOC formulas: water-based (latex and acrylics); reactive (silicone and polyurethane); and exempt solvent-based (VOC-compliant solvents). While all three technologies yield low- or zero-VOC caulk, sealant, and adhesives, their performance is slightly different. | | 1 |
| 4-28 | All carpet in units are replaced by hard surface flooring. Hard surface flooring is generally more durable and improves the IAQ within a building. Carpets collect dust, dust mites and other allergens which when disturbed become airborne particulates, directly affecting the health of the occupants. | 4 | 4 |
| TOTAL SECTION POINTS (min. 15 required): | | 33 | |

V. WASTE MANAGEMENT

This section deals with the handling of waste materials on the construction site and encourages recycling. Minimum 7 (UNDER REVIEW)

| | | | |
|-----|---|--|---|
| 5-1 | Comprehensive recycling program for building site including education, site signage and bins. A comprehensive recycling program that is strictly followed significantly reduces the amount of waste ending up in landfills. Currently it is estimated that up to 50% of landfill waste is construction related. | | 2 |
|-----|---|--|---|

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|--|--|-----------|--------|
| 5-2 | Collection of waste materials from site by a waste management company that is a current member of a provincial recycling council or equivalent association and verifies that a minimum of 10% of the materials collected from the construction site have been recycled. Not only does this reduce overall waste of product, it ensures that as much product as possible is being utilized for the production of future resources. | 4 | 4 |
| 5-3 | Suppliers and Trades recycle their own waste. (1 pt. per trade, max. 4 pts.). Trades being responsible for recycling and removal of waste not only reduces landfill waste, but also promotes a cleaner and safer working environment. | | 1 to 4 |
| 5-4 | Minimum 25% (2 pts.) or 50% (4 pts.) by weight of waste materials collected from construction site is diverted from waste stream. Trades being responsible for recycling and removal of waste not only reduces landfill waste, but also promotes a cleaner and safer working environment. | 2 | 2 or 4 |
| 5-5 | Use of recycled materials derived from local construction sites (1 pt. for each different product used, max of 3 pts.). Products recycled from the construction site, such as mulched wood cut offs or mulched gypsum are often useable as either clay/ soil water retention additives or for organic burning. | 1 | 1 to 3 |
| 5-6 | Trees and natural features on site protected during construction. The protection of existing trees and other natural features such as streams, ponds and other vegetation reduces environmental impact, and ecosystem impact. Many of these features can be protected simply by following good waste management procedures. | | 1 |
| 5-7 | Shared transportation benefits: provide one parking stall for a car-sharing vehicle (1 pt.), and/or a car sharing vehicle as one component of condominium association (3 pts.) and/or bicycle storage on site (1 pt.). Providing a vehicle to share allows occupants to live without their own vehicle and using the shared vehicle when needed. Provision of covered storage facilities for securing bicycles on site encourages the use of alternative transportation. | 1 | 1 to 5 |
| 5-8 | Metal or engineered durable form systems used for concrete foundation walls. The use of metal forming systems reduces the requirement of lumber, a limited resource. | | 1 |
| 5-9 | Reusable bracing is used for framing. The use of reusable bracing for framing reduces the requirement of lumber, a limited resource. | | 1 |
| 5-10 | Install built-in recycling center with two or more bins in each unit (2 pts.) and/or provide composter to each unit (1 additional pt.). By installing built in recycling centers, which can be as simple as labeled containers (paper, cardboard, cans, plastics, etc.). Occupants are more likely to utilize the pre-existing facilities and thus contribute to the reduction in landfill waste. Providing a composter promotes a reduction in wastes heading to the landfill by giving occupants an option for organic waste such as food leftovers. | | 2 to 3 |
| 5-11 | Provide a central recycling center for the housing project (1 pt.–min. of paper, glass and tin recycling) and/or install trash compactor for unit or building (1 pt.). Providing a recycling center will promote recycling among the occupants. Installing a trash compactor, while not actually reducing the mass of waste, does help by reducing it's volume, which over time can make a significant difference to landfill levels. | 2 | 1 to 2 |
| TOTAL SECTION POINTS (min. 7 required): | | 10 | |

VI. WATER CONSERVATION

This section encourages a reduction in the amount of water used in the home or in individual units within multi story buildings. Minimum 7 (UNDER REVIEW)

| | | | |
|-----|--|---|--------|
| 6-1 | CSA approved single flush toilet averaging 1.6 GPF or less installed in all bathrooms. Lower flow toilets can save a substantial amount of water over time. | | 2 |
| 6-2 | Install a dual flush or 1.2 GPF toilet in one or more bathrooms in each unit (2 pts. for one bathroom, 3 pts. for all). These toilets offer a choice between two water levels for every flush: 1.6 GPF (6 LPF) or 0.8 GPF (3 LPF). | 3 | 2 or 3 |
| 6-3 | Install waterless urinals in men's public facilities. The Average public urinal uses approximately 400 litres of water/day or 3.8- 10 litres per flush. Waterless urinals are more sanitary, reduce maintenance, installation costs and are only marginally more expensive to purchase. | | 1 |
| 6-4 | Insulate the first three feet of the water lines on the hot water tank with flexible pipe insulation where units contain independent DHW system (1 pt.) and/or insulate all hot water lines to all locations (2 pts.). Minimizing the heat loss in the water line will decrease the initial water wasted by delivering hot water faster. Minimizing the heat loss in the water line will decrease the initial water wasted by delivering hot water faster. | 1 | 1 |
| 6-5 | Install hot water recirculation line. Having the hot water re-circulated from the hot water source to the fixture points will decrease the initial water wasted by delivery the hot water faster. | 3 | 3 |
| 6-6 | Install low flow faucet aerators on all bathroom and kitchen sinks (1 pt.) and/or install hands free lavatory or kitchen faucets in each unit (4 pts.). Low flow faucets may be included if flow rate is a maximum of 3.8 L/minute on bathroom sinks and/or 6.8 L/minute on kitchen sinks. Battery powered electronic sensor minimizes the spread of germs and saves water. | 1 | 1 to 5 |
| 6-7 | Supply front loading clothes washer in each unit. Front loading clothes washers conserve water by design, as they are only required to fill up the washing compartment 1/3 full to effectively wash clothing. Additionally they use up to 75% less environmentally damaging laundry detergent. AND they also conserve electrical or gas energy by significantly reducing drying time for clothes with a more thorough spin cycle. | 3 | 3 |
| 6-8 | Install water saving dishwasher that uses less than 26.0 L/water per load in each unit. Water saving dishwasher uses technology to reduce both the amount of water required as well as electrical energy requirements. The EnerGuide appliance directory put out by Natural Resources Canada has a comprehensive listing of all manufacturers and models of dishwashers and other appliances with water usage and energy efficiency ratings. | 1 | 1 |

| | | | |
|--|---|-----------|--------|
| 6-9 | Install permeable paving materials for driveways and walkways (min. 70% of hardscape area). Permeable paving materials allow rainwater to flow back into the ground instead of into storm sewers. | | 1 |
| 6-9 a | Design all impermeable hardscape surfaces to direct rainwater to an on-site infiltration feature (i.e. vegetated swale, rain-garden, cistern, etc.) | | 1 |
| (new) | Designing for on-site infiltration allows rainwater to flow back into the ground instead of into storm sewers. | | |
| 6-10 | Install a water meter in every unit. Installing a water meter in each unit makes the occupants more aware or and responsible for water use. | | 3 |
| 6-11 | Install Efficient Irrigation Technology that has head-to-head coverage (1 pt.), a central shut-off valve (1 pt.), a sub meter (1 pt.), uses drip irrigation for at least 50% of planting bed area (1 pts.), has a pressure regulating device to reduce (1 pt.), high efficiency nozzles with a distribution uniformity of ≥ 0.7 (1pt.), and/or motion sensor/rain delay controller (1 pt.). Max. 3 points can be claimed. Water efficient irrigation systems that include sensors, regulators, micro drip feed systems etc. help reduce the demand on the municipal water system. | 1 | 1 to 3 |
| 6-12 | Provide a list of drought tolerant plants and a copy of the local municipality water usage guide to building owner with closing package. Most municipalities provide a guide that gives the water requirements of various plants and grasses. When properly designed, landscaping choices can significantly contribute to water conservation. | | 1 |
| 6-13 | Reduce lawn/turf to 50% of landscaped area. Lawns require a large amount of water to maintain. By reducing the amount of lawn, water use can also be reduced. | | 1 |
| 6-14 | Builder captures rainwater for use in atrium, patio garden feature, landscaping and/or indoor water use. Using rainwater helps with stormwater management, and also reduces demand on the municipal water system. | | 1 |
| 6-15 | Greywater is collected, treated and reused throughout the project for landscaping and/or indoor water use. Reusing greywater helps reduce demand on the municipal water system. | | 5 |
| TOTAL SECTION POINTS (min. 7 required): | | 13 | |

VII. BUSINESS PRACTICE

This section deals more with manufacturers and builders office and business practices. Minimum 9 (UNDER REVIEW)

| | | | |
|--|--|------------|--------|
| 7-1 | Products used for the project are manufactured within 800 km. (1 pt. for each product to a max. of 5 products). Products made closer to the location of use will have less embodied energy. Basically this means that the shorter the transportation distance the less energy used in moving the product. Less energy used means fewer emissions. | 2 | 1 to 5 |
| 7-2 | Builder provides BUILT GREEN building owner manual and/or educational walkthrough and/or Green systems manual for building managers. Building owner education is an important component to any high performance building. If the technology is not used correctly, it will diminish the efficiency. | 2 | 2 |
| 7-3 | Builders office and show homes purchase a minimum of 50% (1 pt.) up to 100% (2 pts.) solar, wind or renewable energy. Wind Energy is a cleaner way to provide energy. Lower emissions benefit the environment. | | 1 to 2 |
| 7-4 | Manufacturers and/or suppliers purchase 50% or more solar, wind or renewable electricity. Wind Energy is a cleaner way to provide energy. Lower emissions benefit the environment. | | 1 |
| 7-5 | Builder supplies a minimum of 8" of topsoil as finish grading throughout site. Compared to subsoil materials, topsoils usually have higher aggregate stability, lower bulk density, and more favourable pore size distributions which leads to higher hydraulic conductivity, water-holding capacity, and aeration porosity. | 2 | 2 |
| 7-6 | Development site provides community amenity space for not for profit community services. Floor area made available to the City for not-for-profit community use. (i.e., Assemblies, offices, educational facilities etc.). | | 1 |
| 7-7 | Development site provides for Publicly Accessible Private Space. i.e., Atriums, open courtyards etc. which are part of the residential project but have links to/or public access. | | 1 |
| 7-8 | Development includes a diversity of housing types including 20% live/work units (2pts.), 25% mixed use (2 pts.) facilities and/or 20% with separate basement suite units (2pts.) This type of development encourages neighborhoods where people can live, work, shop etc. without having to drive. | | 2 to 6 |
| 7-9 | Builder has written environmental policy which defines their commitment (which must include an office recycling program and energy efficient lighting). A statement of commitment helps to emphasize priority and ultimately define a corporate culture. | | 1 |
| 7-10 | Manufacturer and/or supplier has a written environmental policy which defines their commitment (this must include an office recycling program and energy efficient lighting). (1 pt. per supplier/manufacturer, max. of 2 pts.). Doing business with others committed to the environment helps to promote the ideals of being earth friendly. | 2 | 1 to 2 |
| 7-11 | Builder has written an environmental policy which prioritizes milestones for future net zero housing developments. The next step toward easing our reliance on non-renewable energy is net zero housing. Net zero houses produce as much energy as they consume using renewable sources such as solar, thermal, wind, geoechange etc. | | 1 |
| 7-12 | Make provision Truck Management Plan, to avoid high congestion areas during construction. A truck management plan would minimize the impact of trucks in the construction neighborhood. Features include scheduled arrivals/departures, reuse of materials to reduce truck traffic, communication with community and specific hours of work designated. | 1 | 1 |
| 7-13 | Delivery Area wheel washed/ treated during construction. Wheel wash area will cut down on dust pollution in the neighborhoods where construction is taking place. | | 1 |
| 7-14 | Builder's company vehicles are hybrid or bio-diesel vehicles (1 pt. per vehicle to max. of 3 pts.). A commitment to the environment shouldn't stop at construction. Using a hybrid vehicle produces lower harmful emissions. Diesel construction vehicles converted to bio-diesel reduce fuel consumption by up to 75%. | | 1 |
| 7-15 | Builder uses radiantly supplied cold weather construction practice. Propane heaters under tarp are often inefficient; this results in a great deal of wasted energy while reducing the quality of workmanship. Alternatives may include manufacturing components indoors. | | 1 |
| 7-16 | Environmental certification for builder's place of business (building, office etc.). Many commercial buildings have been rated with various energy efficiency standards. Does your company work within an ENERGY STAR or LEED certified office building? | | 3 |
| 7-17 | Builder agrees to construct and label a min. of 50% of all projects to the BUILT GREEN standard per calendar year. (3 pts. for 50% or 5 pts. for 100%). A commitment to the environment from the builder can expand energy efficiency exposure to a large number of home owners and other home builders. Every BUILT GREEN project that is built is a reduction in material use, a reduction of green house gas emissions, less waste and better efficiency. | | 3 or 5 |
| 7-18 | Contracted trades and/or suppliers have successfully taken BUILT GREEN Builder Training. (1 pt. per company, max 3 pts.). Using trades or suppliers who have successfully taken Built Green Builder Training means that there is common understanding about what needs to be done and how it will be accomplished, streamlining the process. | 3 | 1 to 3 |
| TOTAL SECTION POINTS (min. 9 required): | | 12 | |
| TOTAL CHECKLIST POINTS | | 141 | |



File No. NYKV984020

Milliken Developments
234 19th Street West
North Vancouver, BC
V7M 1X5

Attention: Ms. Kate Milliken Binns

**Re: Market Overview for a Proposed Assisted Living & Memory Care Retirement Residence
825 Taylor Way, West Vancouver, BC**

Dear Ms. Milliken Binns:

We have completed investigations and analyses pursuant to your request for a market overview of the assisted living and memory care market in the West Vancouver area, specifically relating to your proposal for development of the above noted property. The purpose is to examine potential demand for a luxury retirement residence providing assisted living (AL) and memory care (MC) in West Vancouver. The intended use is for internal planning and decision making and no other use.

The following map captures the market area under analysis.



Based on our data, the West Vancouver market area had a total population of approximately 73,000 in 2011. The total seniors' population was about 14,700, or almost 20% of the total population. By 2021 it is forecasted to reach nearly 25%. The following table captures total and seniors' population statistics.

| Population | | | | | | | |
|------------|-----------|--------|--------|-------|-------|--------|-------|
| Year | Van CMA | PMA | 65-74 | 75-84 | 85+ | 65+ | 75+ |
| 2006 | 2,111,581 | 69,734 | 6,424 | 5,243 | 2,098 | 13,765 | 7,341 |
| 2011 | 2,415,782 | 73,042 | 7,150 | 5,067 | 2,514 | 14,731 | 7,581 |
| 2014 | 2,538,522 | 73,714 | 8,541 | 4,893 | 2,623 | 16,057 | 7,516 |
| 2016 | 2,621,378 | 74,017 | 9,149 | 4,913 | 2,687 | 16,749 | 7,600 |
| 2021 | 2,839,988 | 74,498 | 10,063 | 5,430 | 2,664 | 18,157 | 8,094 |

| Percentage of PMA Population | | | | | | |
|------------------------------|--|-------|-------|------|-------|-------|
| Year | | 65-74 | 75-84 | 85+ | 65+ | 75+ |
| 2006 | | 9.2% | 7.5% | 3.0% | 19.7% | 10.5% |
| 2011 | | 9.8% | 6.9% | 3.4% | 20.2% | 10.4% |
| 2014 | | 11.6% | 6.6% | 3.6% | 21.8% | 10.2% |
| 2016 | | 12.4% | 6.6% | 3.6% | 22.6% | 10.3% |
| 2021 | | 13.5% | 7.3% | 3.6% | 24.4% | 10.9% |

| Population Growth Forecast | | | | | | | |
|----------------------------|---------|------|-------|-------|-------|------|-------|
| Period | Van CMA | PMA | 65-74 | 75-84 | 85+ | 65+ | 75+ |
| 2006 - 2011 | 14.4% | 4.7% | 11.3% | -3.4% | 19.8% | 7.0% | 3.3% |
| 2011 - 2014 | 5.1% | 0.9% | 19.5% | -3.4% | 4.3% | 9.0% | -0.9% |
| 2014 - 2016 | 3.3% | 0.4% | 7.1% | 0.4% | 2.4% | 4.3% | 1.1% |
| 2016 - 2021 | 8.3% | 0.6% | 10.0% | 10.5% | -0.9% | 8.4% | 6.5% |

The West Vancouver area is one of the most affluent in the GVA. The following table illustrates the difference in average seniors' and household incomes.

| Average Incomes | | | | | |
|-----------------|----------|----------|----------|-----------|----------|
| 65-74 | | 75+ | | Household | |
| PMA | Van CMA | PMA | Van CMA | PMA | Van CMA |
| \$66,224 | \$32,198 | \$46,553 | \$28,671 | \$126,195 | \$72,639 |
| 51.4% | Delta | 38.4% | Delta | 42.4% | Delta |

West Vancouver also has the highest priced real estate in the GVA. According to Greater Vancouver Real Estate Board statistics, the House Price Index* (HPI) for West Vancouver was \$1,608,800 in January 2012, almost 2.5 times the corresponding Vancouver HPI at \$660,600. In fact, the next highest HPI is Vancouver West at \$933,600. This will have a major impact on affordability since it is well documented that seniors count on equity release from the sale of their home in moving to retirement housing.

As noted above, the population of seniors' 65 years of age and older in the market area is estimated at 14,730. Based on our research and analysis of dementia occurrence, we estimate that in total about 1,585, or 10.8% of the population, have a need for memory care assistance.

* The MLS® HPI is a more stable price indicator than average prices, because it tracks changes of "middle-of-the-range" or "typical" homes and excludes the extreme high-end and low-end properties



However, the subject proposal involves an upscale offering, commensurate with the affluent profile of the West Vancouver community. When we take into consideration affordability factors, including income levels and housing values, we estimate that the potential qualified demand is for over 300 memory care spaces. In addition, we estimate that the need for assisted daily living would add up to 150 spaces for a total of 450 spaces.

It is also well documented in surveys that wealthy neighbourhoods tend to draw significant demand from outside the primary market area due to “influencers”, or adult children living in the area. Seniors very often choose to relocate closer to their adult children (and grandchildren). This tendency is more common in assisted living and memory care than independent living. While our own research indicates that between 25% and 35% of demand comes from outside a ten kilometre radius of the site, it is our experience that the ratio is typically upwards of 50% for affluent areas.

Based on our research and demand modeling, we estimate that the total potential demand would be for as many as 900 AL/MC spaces in an upscale residence in West Vancouver.

Our research into existing supply indicated a total of 394 existing care beds in the market, including both funded and private long term care and private retirement residences.

| Property Name | Operator | Units |
|----------------------------|----------------|------------|
| Amica at West Vancouver | Amica | 34 |
| Hollyburn House | Revera | 36 |
| Kiwanis Manor | InSite Housing | 30 |
| West Vancouver Care Centre | VCHA | 79 |
| Capilano Care Centre | Revera | 73 |
| Inglewood Care Centre | VCHA | 142 |
| | Total | 394 |



The only competitive high-end, private pay supply to the proposed subject development would be Amica West Vancouver and Hollyburn House. Opened in 2006, Amica is a 118 suite independent living residence with a secured floor containing 32 suites. It is primarily for assisted living but they do provide early dementia care. Hollyburn House opened in 1987 and has been renovated over the years. It has a designated wing containing 36 units for private pay care, including dementia.

Therefore, only 70 spaces are available for private pay care in upscale retirement residences in West Vancouver and neither specializes in memory care. The nearest true competitor is Sunrise Lynn Valley in North Vancouver which is reported to have a long waiting list.

The balance of existing supply (324 beds) noted in the chart involved publicly funded or subsidized care units. While they may have some impact on demand, they are there for seniors who are not income qualified in our analysis. Notwithstanding, based on our needs analysis, that this segment of the market is also significantly under-supplied in West Vancouver.

Conclusion

Based on our research and analysis, we conclude that the West Vancouver market is significantly under-supplied with respect to upscale assisted living and memory care spaces, having a potential demand for 900 seniors relative to an existing supply of only 70 units. This is supported by the long waiting lists at other comparable upscale residences in the GVA such as Sunrise Senior Living.

We hereby certify that we have no present or contemplated interest in the herein described property of any kind whatsoever. If you require any further information on this matter, please do not hesitate to contact the undersigned.

Respectfully submitted,
Altus Group Limited

Stephen Hiscox, AACI, PApp.
 Senior Director

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December 7, 2012

File: 5012230-001

Milliken Developments
901 West 3rd Street, Suite 304
North Vancouver, BC V7P 3P9

Attention: Ms. Kate Milliken-Binns

Dear Ms. Milliken-Binns,

Reference: Traffic Impact Study
707 Keith Road – West Vancouver, BC

As part of its Rezoning and Development Permit application, Milliken Developments retained MMM Group to prepare a Traffic Impact Study of their proposed Supportive Living and Memory Care community on the surrounding road network. This letter report presents our findings, recommendations, and conclusions regarding the need for any improvements to the adjacent and nearby transportation system in order to maintain a satisfactory level of service, an acceptable level of safety, and the appropriate access provisions. Key items that have been considered include, in no particular order:

- ✓ Spacing between the proposed site driveway and the Taylor Way intersection
- ✓ Trip generation rates and parking generation ratios
- ✓ Impact on traffic on the surrounding road network

PROPOSED DEVELOPMENT

As shown in **Figure 1**, Milliken Developments is proposing to construct a 92-suite / 110-resident (bed) Supportive Living and Memory Care community on two single-family residential lots (707 Keith Road and 525 Taylor Way) which are located in the northwest corner of the intersection of Taylor Way and Keith Road in the District of West Vancouver (District). Access to the eight surface and 32 underground parking spaces would be provided from a right-in / right-out driveway located on Keith Road (see **Figure 2**.)

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Figure 1 – Vicinity Map

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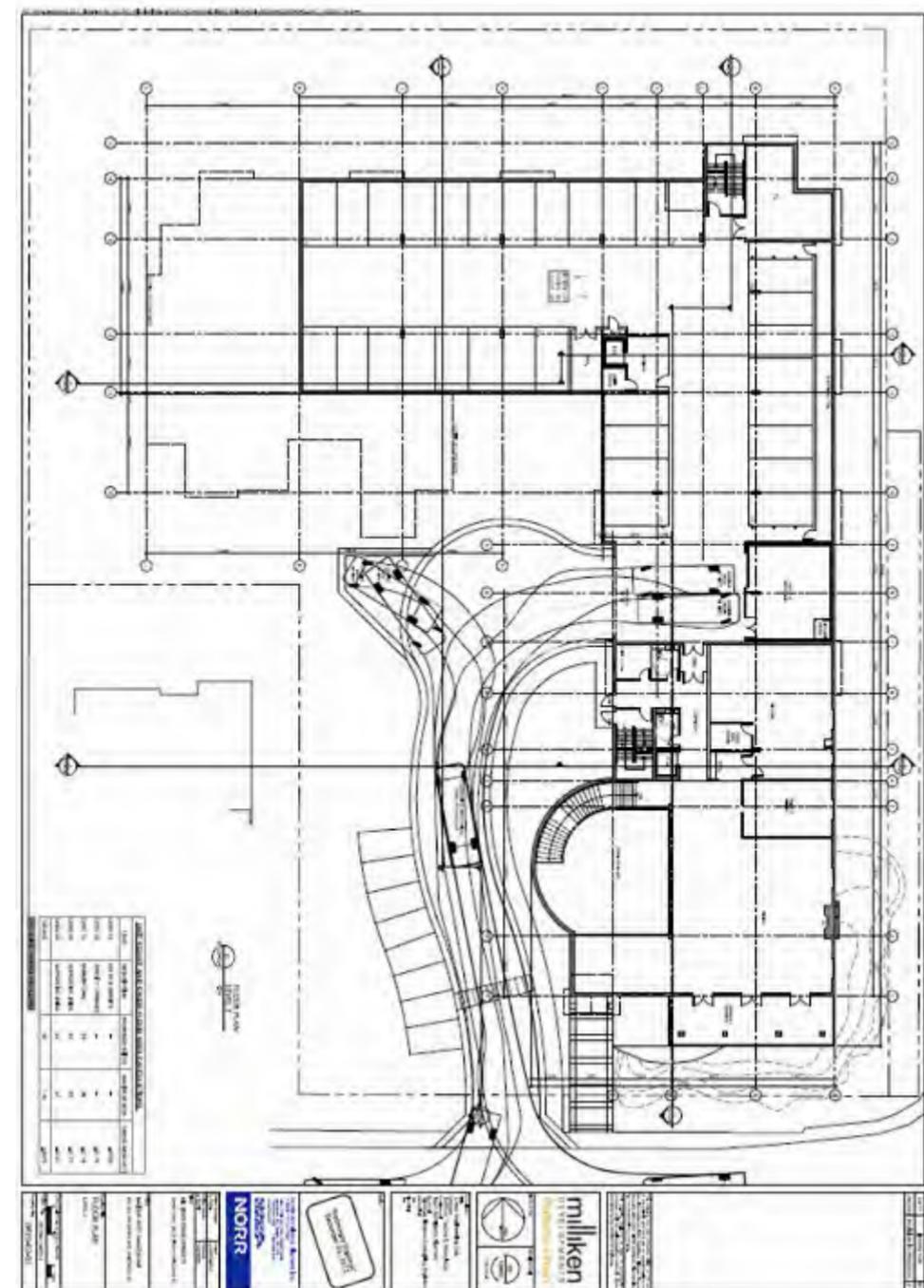


Figure 2 – Site Plan

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METHODOLOGY

In order to address the District’s requirements, MMM Group completed the following work plan:

- ✓ Confirmed the scope of the Traffic Impact Study with District staff.
 - ✓ Conducted peak period trip generation surveys at the 107-unit Sunrise of Lynn Valley assisted living facility located at 980 Lynn Valley Road, North Vancouver on Tuesday, November 20, 2012 between 7:00 and 9:00 a.m. and 4:00 and 6:00 p.m.
 - ✓ Visited the site and surroundings on Monday, November 26, 2012 to clearly understand the study area in terms of current access, street laning, parking, pedestrian and cyclist facilities, transit, and traffic control measures.
 - ✓ Estimated background traffic for the study horizon (2022) which incorporates traffic generated by the Evelyn by Onni project plus the annual growth rate of 1.0 percent per year provided by the Ministry.
 - ✓ Estimated site-generated traffic for the development (at build-out) based on trip rate results of the trip generation survey, information in MMM Group files measured at similar developments in Metro Vancouver as well as data published in the Institute of Transportation’s *Trip Generation, 8th Edition*.
 - ✓ Quantified the traffic generated by existing uses, i.e. single-family homes
 - ✓ Quantified the amount of new site-generated vehicular traffic that will be added to the adjacent road at build-out (= proposed development – existing uses)
 - ✓ Estimated directional distribution for the development (at build-out) using trip orientation established during the rezoning process for the Evelyn by Onni project and assigned site-generated traffic to the road network for the 2022 peak hour scenarios.
 - ✓ Estimated total traffic for the 2022 horizon year by summing the site-generated and background traffic.
 - ✓ Used Synchro 8 software to evaluate operational performance (i.e. delays, queues, etc.) at study intersections for the following scenarios:
 - Existing (2012) weekday AM and PM peak hours
 - Future (2022) weekday AM and PM peak hours without the development
 - Future (2022) weekday AM and PM peak hours with the development
- During the weekday PM peak hour, southbound traffic queues on Taylor Way were observed to spill back from the Marine Drive intersection through the Keith Road intersection. As such, the capacity of the southbound through lanes (in Synchro) was reduced to 1000 vehicles per hour (weekday afternoon peak hour only) to better reflect observed capacity of the southbound movement through the intersection.
- ✓ Reviewed and commented on site circulation, pedestrian connections and parking supply.

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 Ms. Kate Milliken-Binns

FINDINGS

Existing Traffic Volumes

Existing weekday morning and afternoon Saturday midday peak hour traffic volumes at the intersection of Keith Road and Taylor Way are illustrated in **Figure 3**. As suggested above, southbound traffic on Taylor Way experiences long queues (and corresponding long delays) during peak periods. Queues spillback from the Marine Drive intersection, resulting from capacity constraints on the Lions Gate Bridge. This condition was observed during the traffic counts for the weekday afternoon peak hour only (i.e. did not occur during the morning peak hour).

Trip Generation Counts

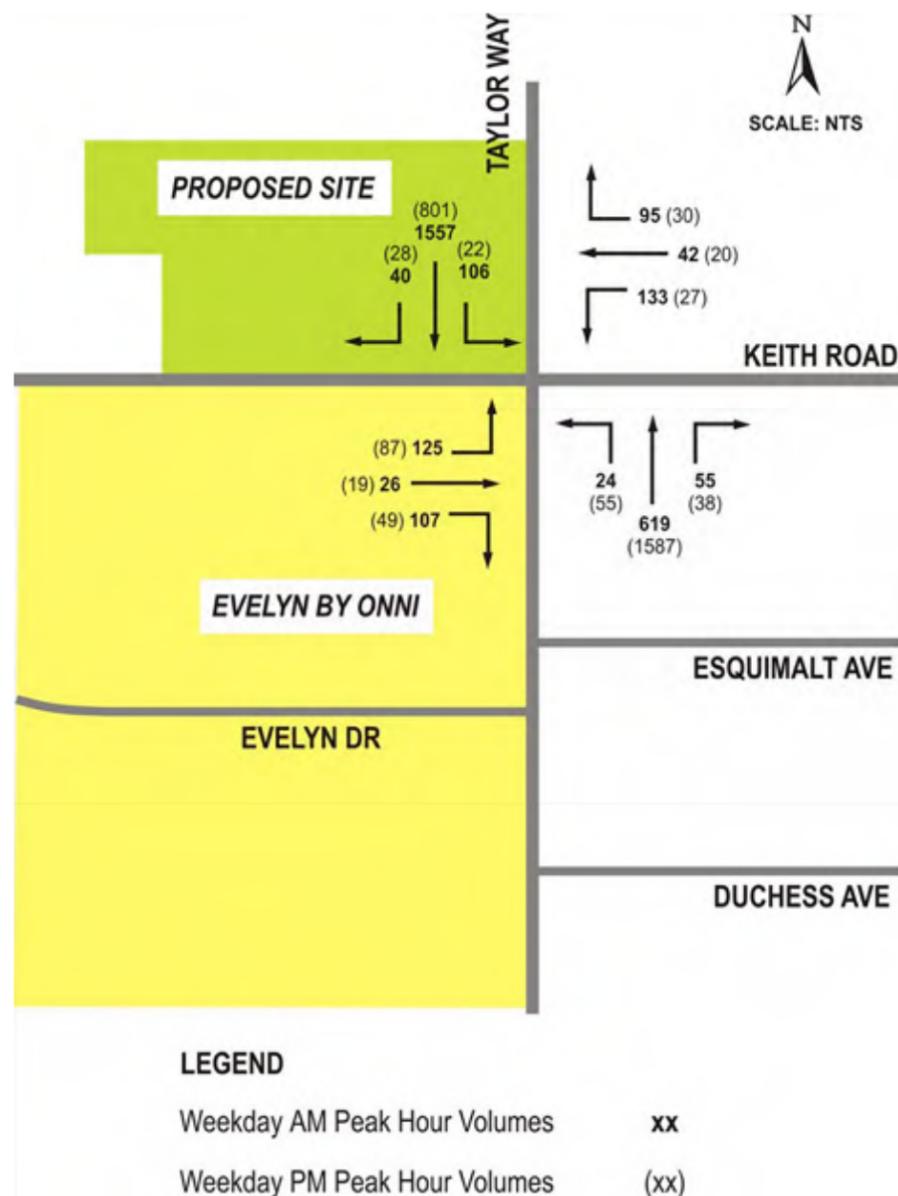
Trip generation counts were conducted by MMM Group to measure the trip generation at a similar Supportive Living and Memory Care community, namely Sunrise of Lynn Valley in North Vancouver. Statistics for the existing and proposed Supportive Living and Memory Care communities are compared in **Table 1**.

Table 1: Comparison of Building Statistics

| Characteristic | Sunrise of Lynn Valley (Existing) | 707 Keith Road (Proposed) |
|--|-----------------------------------|-----------------------------------|
| Building | | |
| • Land Use | Supportive Living and Memory Care | Supportive Living and Memory Care |
| • Suites | 96 | 92 |
| • Residents (Beds) | 107 | 110 |
| Other Variables | | |
| • Classification of adjacent street | Major Arterial | Major Road |
| • Availability of on-street parking | Prohibited | Limited |
| • No. of bus routes on adjacent street | 3 | 1 |
| • Distance to nearest bus stop | <200m | <200m |
| • Distance to nearest residences | <200m | <200m |

As shown in Table 1, the existing and proposed Supportive Living and Memory Care communities share similar characteristics including availability of transit service, lack of nearby on-street parking, and classification of adjacent streets.

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December 7, 2012
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Published data indicates that trip generation peaks at Supportive Living and Memory Care communities during the weekday AM and PM peak hours.¹ The trip generation at Sunrise of Lynn Valley is summarized in **Table 2** for typical weekday AM and PM peak hours with published trip generation rates provided for comparative purposes.

Table 2 – Supportive Living and Memory Care Trip Rates

| Source | Independent Variable | AM Peak Hour | | | PM Peak Hour | | | Notes |
|------------------------|----------------------|--------------|---------|--------|--------------|---------|--------|-------|
| | | Entering | Exiting | Total* | Entering | Exiting | Total* | |
| Trip Generation Survey | Beds | 73% | 27% | 0.24 | 41% | 59% | 0.30 | 1 |
| ITE | Beds | 65% | 35% | 0.14 | 44% | 56% | 0.22 | 2 |

Notes: * - vehicle trips per independent variable, e.g. bed
1 – Trip Generation Survey, Tuesday, November 20, 2012 - Sunrise of Lynn Valley, North Vancouver
2 – Land Use 254: Assisted Living, *Trip Generation, 8th Edition* (Washington, DC: Institute of Transportation Engineers, 2008)

A key finding is that the trip rates and directional distribution measured at Sunrise of Lynn Valley provide a conservative (or high) estimate of trip generation for the proposed form of development.

Site Generated Traffic

Trip rates used to estimate site-generated traffic for the existing and proposed forms of development during the weekday AM and PM peak hours are summarized in **Table 3**.

Table 3 – Weekday Peak Hour Trip Rates

| Land Use | Independent Variable | AM Peak Hour | | | PM Peak Hour | | | Source |
|-----------------------------------|----------------------|--------------|---------|--------|--------------|---------|--------|--------|
| | | Entering | Exiting | Total* | Entering | Exiting | Total* | |
| Supportive Living and Memory Care | Beds | 73% | 27% | 0.24 | 41% | 59% | 0.30 | 1 |
| Single-Family Residential | Dwelling Units | 25% | 75% | 0.75 | 63% | 37% | 1.01 | 2 |

Notes: * - vehicle trips per independent variable, e.g. bed
1 – Trip Generation Survey, Tuesday, November 20, 2012 - Sunrise of Lynn Valley, North Vancouver
2 – Land Use 210: Single-Family Residential, *Trip Generation, 8th Edition* (Washington, DC: Institute of Transportation Engineers, 2008)

The site-generated traffic volumes for the proposed development are presented in **Table 4**.

¹ *Trip Generation, 8th Edition* (Washington, DC: ITE, 2008)

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Table 4 – Site-Generated Traffic Volumes*

| Land Use | AM Peak Hour | | | PM Peak Hour | | |
|--------------------------------------|--------------|----------|-----------|--------------|-----------|-----------|
| | Entering | Exiting | Total | Entering | Exiting | Total |
| Supportive Living and Memory Care | 20 | 7 | 27 | 13 | 20 | 33 |
| Single-Family Residential (Existing) | -1 | -1 | -2 | -1 | -1 | -2 |
| TOTAL | 19 | 6 | 25 | 12 | 19 | 31 |

Notes: * - vehicles per hour (vph)

When completed, the development is expected to add 25 new vehicle trips (= 19 entering + 6 exiting) to the road network during the weekday AM peak hour of adjacent street traffic and 31 vehicle trips (= 12 entering + 19 exiting) during the PM peak hour.

Trip Distribution and Traffic Assignment

Site-generated traffic was distributed using trip orientation established during the rezoning process for the Evelyn by Onni project across the street:

- ✓ 20% to/from west
- ✓ 30% to/from north
- ✓ 50% to/from south

The assignment of site-generated traffic to the study intersection is illustrated in **Figure 4** and accounts for the right-in / right-out movements at the site driveway plus the new roundabout just west of the site at Keith Road and Evelyn Drive. Consequently, site-generated traffic must approach from Taylor Way while departing traffic has an opportunity to U-turn at Evelyn Drive in order to turn north (left) or south (right) at Taylor Way.

Future (2022) Total Traffic

The background 2022 peak hour traffic volumes (i.e. without development) incorporates traffic generated by the Evelyn by Onni project plus the annual growth rate of 1.0 percent per year provided by the Ministry. Given that traffic volumes at the Keith Road / Taylor Way intersection currently operate at capacity during peak periods, increases in through traffic may result in longer queues rather than more traffic traveling through the intersection.

Future 2022 total traffic volumes were determined by adding the site-generated traffic volumes to the 2022 future traffic volumes without development. Total traffic volumes are illustrated in **Figure 5**.

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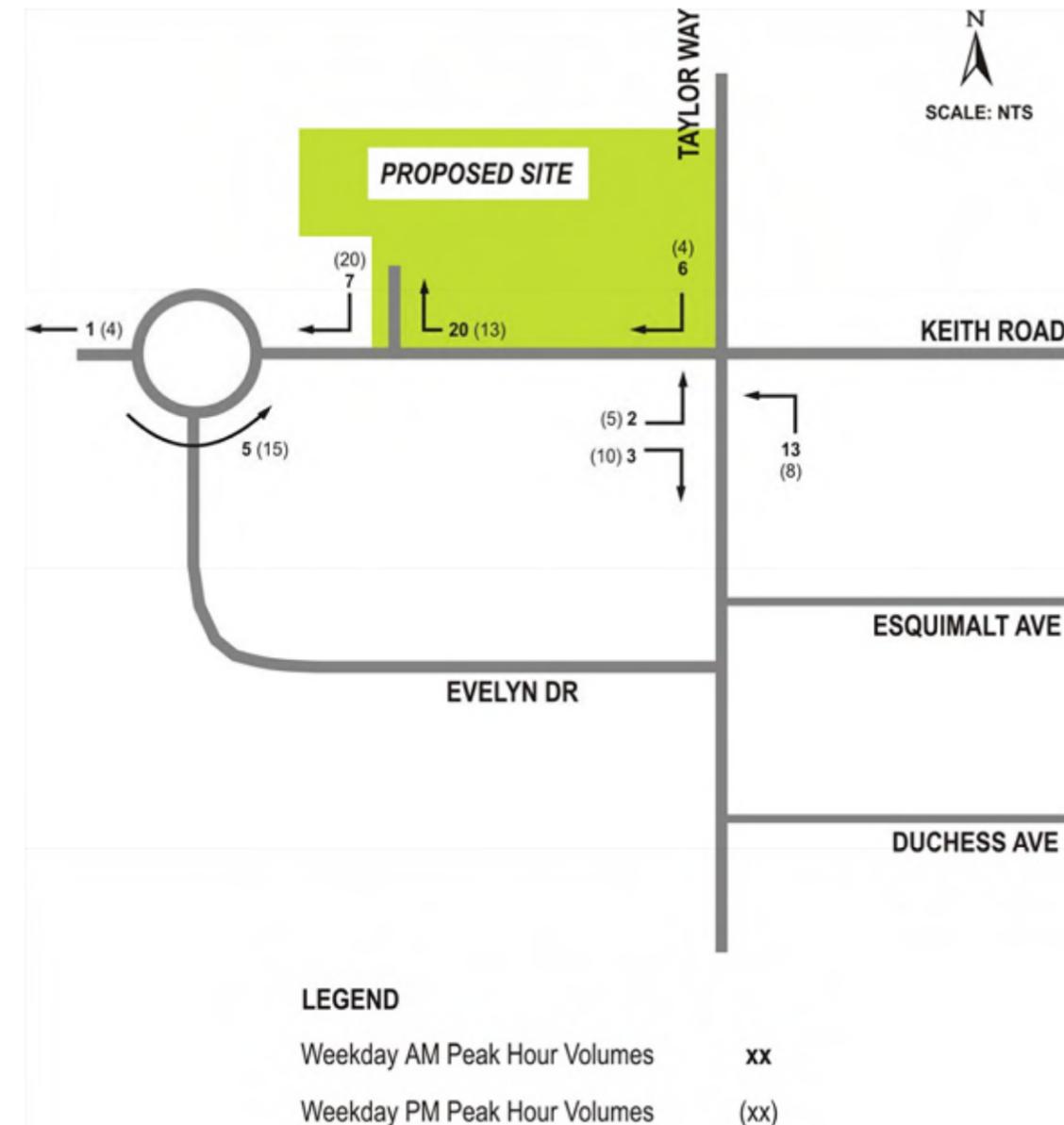


Figure 4 – Site-Generated Traffic Volumes (at build-out)

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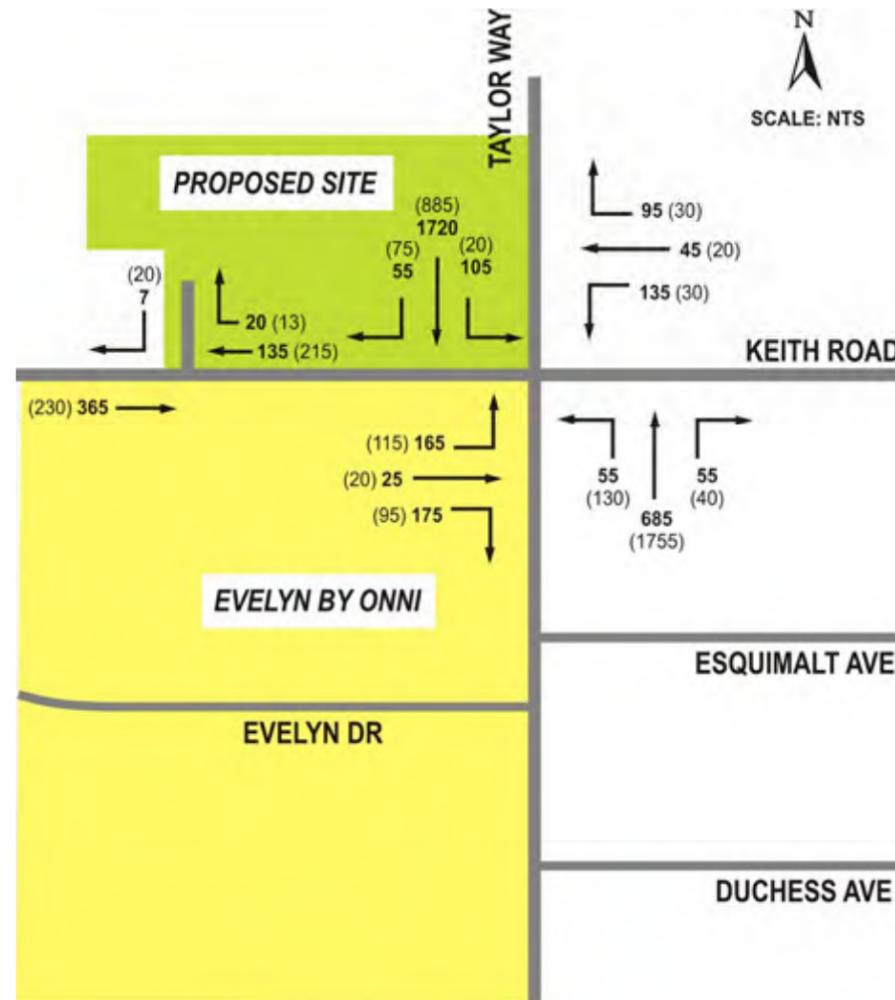


Figure 5 – Future (2022) Total Peak Hour Traffic Volumes

Operational Analysis

The future analysis accounts for the right-in / right-out movements at the site driveway and includes improved laning on Keith Road at Taylor Way (west leg of intersection) which provides eastbound left-turn and right-turn lanes (each with 35m storage length). The remaining intersection approaches are modeled per existing conditions.

Reported measures of traffic performance include volume to capacity (v/c) ratio and a delay-based traffic Level of Service (LOS) indicator ranging from LOS A (ideal) to LOS F (over-saturated) conditions. Typical peak hour urban conditions are in the LOS C to LOS D range with average delays ranging from 20 to 55 seconds per vehicle at signalized intersections and 15 to 35 seconds per vehicle at unsignalized intersections. As a target for design parameters, LOS D for individual approaches is considered appropriate for the study area. The results – based upon the *Highway Capacity Manual* (Washington DC: Transportation Research Board, 2010) intersection capacity generated by the Synchro software – are attached to this report and summarized in **Table 5** for the following scenarios:

- ✓ Existing (2012) weekday AM and PM peak hours
- ✓ Future (2022) weekday AM and PM peak hours without the development
- ✓ Future (2022) weekday AM and PM peak hours with the development

Key findings from Table 5 include:

- ✓ Keith Road / Taylor Way:
 - During the weekday AM peak hour, the east and westbound approaches to this signalized intersection currently operate at LOS E and LOS F. These approaches are expected to continue operating at LOS E and LOS F in the future, even with the planned improvements.
 - During the weekday PM peak hour, movements on all but one of the approaches operate at LOS D or better. Southbound traffic is expected to operate at LOS E, given that southbound traffic queues on Taylor Way spill back from the Marine Drive intersection through the Keith Road intersection.
- ✓ Keith Road / Driveway:
 - The site driveway is expected to operate at LOS B or better.

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Table 5 – Existing and Future Peak Hour Traffic Conditions

| Location | Intersection Control | Movement | Existing (2012) | | Future (2022) without Development | | Future (2022) with Development | |
|-----------------------------|---------------------------|--------------|-----------------|-----------|-----------------------------------|-----------|--------------------------------|-----------|
| | | | LOS | V/C Ratio | LOS | V/C Ratio | LOS | V/C Ratio |
| Weekday AM Peak Hour | | | | | | | | |
| Keith Road / Taylor Way | Traffic Signal | EBL | | | F | 1.74 | F | 1.87 |
| | | EBT | F | 1.77 | C | 0.09 | C | 0.09 |
| | | EBR | | | F | 1.34 | F | 1.36 |
| | | WBLT | F | 1.12 | E | 0.89 | E | 0.92 |
| | | WBR | B | 0.35 | B | 0.38 | C | 0.39 |
| | | NBL | A | 0.13 | A | 0.23 | B | 0.29 |
| | | NBT | B | 0.51 | B | 0.51 | B | 0.49 |
| | | SBL | A | 0.28 | A | 0.29 | A | 0.28 |
| | | SBT | C | 0.89 | D | 0.98 | D | 1.01 |
| Keith Road / Driveway | Minor Street Stop Control | WBTR SBR | n/a | | n/a | | A | 0.01 |
| | | SBLR | n/a | | n/a | | A | 0.10 |
| Weekday PM Peak Hour | | | | | | | | |
| Keith Road / Taylor Way | Traffic Signal | EBL | | | D | 0.66 | D | 0.67 |
| | | EBT | D | 0.75 | C | 0.08 | C | 0.08 |
| | | EBR | | | A | 0.33 | A | 0.34 |
| | | WBLT | C | 0.28 | D | 0.29 | D | 0.28 |
| | | WBR | A | 0.13 | A | 0.14 | A | 0.14 |
| | | NBL | A | 0.16 | A | 0.40 | A | 0.43 |
| | | NBT | C | 0.90 | C | 0.97 | C | 0.97 |
| | | SBL | A | 0.13 | A | 0.13 | A | 0.13 |
| | | SBT | C | 0.89 | E | 1.08 | F | 1.09 |
| Keith Road / Driveway | Minor Street Stop Control | WBTR SBLR | n/a | | n/a | | A | 0.03 |
| | | SBLR | n/a | | n/a | | A | 0.15 |

Notes: NB = northbound, etc. L = left, etc. LOS = Level of Service, V/C Ratio = Volume-to-Capacity Ratio

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The results of the intersection queuing analysis are summarized in **Table 6**.

Table 6 – Comparison of Future (2022) Queues and Storage Length

| Location | Movement | Storage Length (m) | 95 th Percentile Queue Length (m) | |
|-----------------------------|----------|--------------------|--|--------------------------------|
| | | | Future (2022) without Development | Future (2022) with Development |
| Weekday AM Peak Hour | | | | |
| Keith Road / Taylor Way | EBL | 35 | 85 | 85 |
| | EBT | n/a | 10 | 10 |
| | EBR | 35 | 15 | 25 |
| | WBT | n/a | 55 | 50 |
| | WBR | channelized | 15 | 15 |
| | NBL | 45 | 10 | 10 |
| | NBT | n/a | 75 | 75 |
| | SBL | 40 | 15 | 15 |
| | SBT | n/a | 280 | 280 |
| Weekday PM Peak Hour | | | | |
| Keith Road / Taylor Way | EBL | 35 | 40 | 40 |
| | EBT | n/a | 10 | 10 |
| | EBR | 35 | 15 | 10 |
| | WBT | n/a | 20 | 20 |
| | WBR | channelized | 5 | 0 |
| | NBL | 45 | 20 | 20 |
| | NBT | n/a | 300 | 305 |
| | SBL | 40 | 5 | 5 |
| | SBT | n/a | 180 | 185 |

Notes: NB = northbound, etc., queue length rounded to the nearest 5m

Key findings include:

- ✓ Northbound and southbound left-turn queue lengths on Taylor Way (from analysis) are within available storage limits.
- ✓ If forecasted site traffic volumes materialize, the eastbound left-turn queue may exceed available storage length during weekday peak hours and consequently block the site driveway.
- ✓ During peak hours, queues on Taylor Way are expected to range between 75 and 300m at the Keith Road intersection. Spillback from adjacent intersections, however, was observed during the weekday afternoon peak hour. Increases in traffic volume could, therefore, result in longer queues rather than increased intersection utilization.

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Site Circulation

As illustrated in Figure 2, key circulation elements of the site include:

- ✓ Hardscaped road with an adjacent sidewalk connecting the site driveway on Keith Road and the underground parkade.
- ✓ Eight perpendicular visitor parking spaces located on the hardscaped road near the building entrance.
- ✓ A hammerhead turnaround at the entrance to the underground parkade.
- ✓ Designated loading area under the building adjacent to the lobby, kitchen, and waste and recycling room.
- ✓ Thirty-two underground parking spaces for visitors and staff.

Benefits of the current site plan include:

- ✓ The throat length at the site driveway would accommodate at least one vehicle, which is equal to the maximum number of vehicles expected to queue at this location.
- ✓ Site servicing (i.e. deliveries, garbage and recycling pick-up, etc.) would occur under the building thereby reducing, if not eliminating visual and auditory impacts.

Concerns about the current site plan include:

- ✓ Combining the loading area and the entrance to the underground parkade may result in truck-passenger car conflicts as trucks back into the loading area while passenger cars attempt to enter or exit the parkade. This concern could be mitigated by adding engineering controls (preferred) such as traffic signals, parabolic mirrors, etc.; or providing administrative controls (least preferred) such as having staff stop traffic while trucks manoeuvre around the loading area.

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Pedestrian Connectivity

Sidewalk along Keith Road / Taylor Way – sidewalk would continue to be provided along the site frontage providing opportunities for residents, visitors and staff to walk to nearby destinations, e.g. bus stops on Taylor Way, shops and services at Park Royal.

Keith Road / Taylor Way Intersection – this signalized intersection is equipped with push-button-actuated pedestrian signals and marked with crosswalks facilitating the movement of pedestrians across the intersection.



Figure 6 – Pedestrian Signals and Sidewalk on Northwest Corner of Keith Road / Taylor Way

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Parking Supply

Forty off-street parking spaces (= 8 surface + 32 underground) would be provided on the site. As summarized in **Table 7**, the District's requirements yield a need for at least 34 vehicle parking spaces for the proposed development. The number of small car parking spaces on the site may not exceed 30% of the total parking spaces. Consequently, these requirements will be met.

Table 7 – Zoning Bylaw No. 4662, 2010 Parking Requirements

| Land Use | Parking Ratio | Independent Variable | Parking Spaces |
|-----------------|---|----------------------|----------------|
| Assisted Living | 1 parking space for every 3.3 beds, minimum | 110 beds | 34 |

Notes: Zoning Bylaw No. 4662, 2010, PH1 – Private Hospital 1, p 550-2

Table 8 compares the peak parking demand from the ITE *Parking Generation, 4th Edition* and a Lower Mainland assisted living facility.

Table 8 – Parking Demand at Supportive Living and Memory Care Communities

| Source | Independent Variable | Parking Ratio | Peak Period Parking Demand | Notes |
|--------------|----------------------|---------------------|----------------------------|-------|
| ITE | 110 occupied beds | 0.35 spaces per bed | 39 spaces | 1 |
| Nikkei Place | 110 occupied beds | 0.36 spaces per bed | 40 spaces | 2 |

Notes: 1 – Land Use 254: Assisted Living, *Parking Generation, 4th Edition* (Washington, DC: Institute of Transportation Engineers, 2010)
 2 – Parking Utilization Survey of 72-bed Nikkei Home (Assisted Living), Burnaby, BC (Vancouver, BC: MMM Group (formerly ND LEA), May 2003)

Key findings include:

- ✓ At comparable Supportive Living and Memory Care Communities, the average peak parking demand varies from 0.35 to 0.36 parking spaces per bed
- ✓ At 0.36 parking spaces per bed, the proposed parking supply at 707 Keith Road equals the typical parking demand at comparable facilities (i.e. 0.35 to 0.36 parking spaces per bed)

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RECOMMENDATIONS

In light of the findings, the following recommendations are forwarded for consideration:

1. Limit movements at the site driveway to right-in / right-out through signage.
2. Revisit the design of the loading area with a view to adding engineering controls (preferred); such as traffic signals, parabolic mirrors, etc.; or providing administrative controls (least preferred) such as having staff stop traffic while trucks manoeuvre around the loading area.

SUMMARY AND CONCLUSIONS

A 92-suite / 110-resident Supportive Living and Memory Care community is proposed for the northwest corner of Keith Road and Taylor Way in West Vancouver. Access to the eight surface and 32 underground parking spaces would be provided from a right-in / right-out driveway located on Keith Road. The site is currently occupied by two single-family dwelling units.

- ✓ When completed, the development is expected to add 25 new vehicle trips (= 19 entering + 6 exiting) to the road network during the weekday AM peak hour of adjacent street traffic and 31 vehicle trips (= 12 entering + 19 exiting) during the PM peak hour.
- ✓ An operational analysis indicated that the site driveway on Keith Road is expected to operate at acceptable levels (i.e. LOS A or better) with the proposed development. Consequently, intersection improvements do not appear to be required.
- ✓ At 35m, the proposed spacing between the site driveway and Taylor Way appears to be sufficient.
- ✓ The operational analysis indicated that the signalized intersection of Keith Road and Taylor Way currently operated at unacceptable levels (i.e. LOS E or worse) with and without the proposed development given the planned improvements.
- ✓ The north and southbound left-turn lanes at the Keith Road / Taylor Way intersection are anticipated to accommodate future traffic volumes such that vehicle queues (generated by left-turning traffic) will not spill back into the through traffic lanes on Taylor Way.
- ✓ If forecasted traffic volumes generated by the adjacent Evelyn by Onni project materialize in 10 years, the eastbound left-turn queue may exceed available storage length during weekday peak hours. Consequently, northbound drivers leaving the site may choose to head west from the site, avoiding the Keith Road / Taylor Way intersection.
- ✓ The proposed parking supply (= 40 spaces) meets both District requirements (=34 spaces) and the peak demand observed at comparable facilities (=40 spaces).
- ✓ Improvements to the site plan and road network have been identified for consideration. These include turning restrictions at the site driveway and the design of the loading area.

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Should you have any questions about our methodology, findings, recommendations or conclusions; please contact me at (604) 685-9381 or vanweelderenf@mmm.ca.

Yours truly,

MMM Group Limited

<original signed by>

Floris van Weelderen, P.Eng., PTOE
Manager, Transportation Planning
Associate Partner

Attachments:

Appendix A – Trip Generation Survey at Sunrise of Lynn Valley, North Vancouver, BC
Appendix B – Intersection Capacity and Queuing (Synchro) Calculations

5012230-001-REP-01-Rev1 (TIS).doc

5012230-001
 707 Keith Road - West Vancouver, BC
 21-Nov-12
 FvW / SW

Trip Generation Survey - Sunrise at Lynn Valley

Land use: ITE 254 - Assisted Living
 Address: 980 Lynn Valley Road, North Vancouver, BC
 Date of Count: 20-Nov-12
 Day of Week: Tuesday
 Light: Dusk / Daylight
 Weather: Cloudy
 Road Surface: Damp
 Independent Variable: 96 rooms
 107 beds

Weekday AM Peak Period

| Time of Day | Passenger Car | | | Heavy Vehicle | | | Total | | | Peak Hour | | |
|-------------|---------------|----------|-------|---------------|----------|-------|---------|----------|-------|-----------|----------|-------|
| | Inbound | Outbound | Total | Inbound | Outbound | Total | Inbound | Outbound | Total | Inbound | Outbound | Total |
| 7:00 AM | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 1 | 1 | | | 14 |
| 7:15 AM | 0 | 0 | 0 | 1 | 1 | 2 | 1 | 1 | 2 | | | 18 |
| 7:30 AM | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 1 | 1 | | | 23 |
| 7:45 AM | 4 | 1 | 5 | 3 | 2 | 5 | 7 | 3 | 10 | 19 | 7 | 26 |
| 8:00 AM | 4 | 1 | 5 | 0 | 0 | 0 | 4 | 1 | 5 | | | 22 |
| 8:15 AM | 5 | 1 | 6 | 0 | 1 | 1 | 5 | 2 | 7 | | | |
| 8:30 AM | 3 | 1 | 4 | 0 | 0 | 0 | 3 | 1 | 4 | 73% | 27% | 0.27 |
| 8:45 AM | 3 | 3 | 6 | 0 | 0 | 0 | 3 | 3 | 6 | 73% | 27% | 0.24 |

7:45 - 8:45 a.m.

trips per room
trips per bed

Weekday AM Peak Period

| Time of Day | Passenger Car | | | Heavy Vehicle | | | Total | | | Peak Hour | | |
|-------------|---------------|----------|-------|---------------|----------|-------|---------|----------|-------|-----------|----------|-------|
| | Inbound | Outbound | Total | Inbound | Outbound | Total | Inbound | Outbound | Total | Inbound | Outbound | Total |
| 4:00 PM | 2 | 3 | 5 | 0 | 1 | 1 | 2 | 4 | 6 | | | 26 |
| 4:15 PM | 3 | 4 | 7 | 0 | 0 | 0 | 3 | 4 | 7 | | | 30 |
| 4:30 PM | 2 | 6 | 8 | 0 | 0 | 0 | 2 | 6 | 8 | 13 | 19 | 32 |
| 4:45 PM | 2 | 3 | 5 | 0 | 0 | 0 | 2 | 3 | 5 | | | 29 |
| 5:00 PM | 6 | 4 | 10 | 0 | 0 | 0 | 6 | 4 | 10 | | | 30 |
| 5:15 PM | 3 | 6 | 9 | 0 | 0 | 0 | 3 | 6 | 9 | | | |
| 5:30 PM | 4 | 1 | 5 | 0 | 0 | 0 | 4 | 1 | 5 | 41% | 59% | 0.33 |
| 5:45 PM | 2 | 4 | 6 | 0 | 0 | 0 | 2 | 4 | 6 | 41% | 59% | 0.30 |

4:30 - 5:30 p.m.

trips per room
trips per bed

File N°: 5012230-001**From:** Floris van Weelderen, P.Eng., PTOE**Date:** August 30, 2013**Subject:** Off-street Parking Supply
707 Keith Road - West Vancouver, BC

This technical memorandum presents the rationale for providing 40 off-street parking spaces at the 103-resident (bed) Supportive Living and Memory Care community proposed for the northwest corner of the intersection of Taylor Way and Keith Road in the District of West Vancouver (District).

Proposed Off-Street Parking Supply

Visitors 30 parking spaces
Staff 10 parking spaces
Total 40 parking spaces

Note: * - For key periods, such as Mother's Day, staff parking would be reduced to 2 stalls for that day only, allowing for 38 visitor stalls.

Parking Demand derived from First Principles

- Residents
 - Maximum number of residents – 103
 - Total residents when accounting for turnover – 100
 - Residents are no longer able to drive and do not have cars
- Visitors
 - Typical visiting hours are 8:00 a.m. - 8:00 p.m., seven days per week
 - Each resident typically receives 1 visitor every 2 days staying for up to 2 hours
 - Equates to an average of 50 visitors per day or 350 visitors per week
 - Disproportionate number of visitors on weekend days; consequently
 - Assume 40 visitors per day on typical weekday, i.e. Monday – Friday
 - Assume 75 visitors per day on Saturday and Sunday
 - Totals to 350 visitors per week
 - Visitor parking demand typically peaks at 7 vehicles on a typical weekday
= 40 visitors per day / 12 visiting hours per day * 2 hours per visitor * 1 visitor per vehicle
 - Visitor parking demand typically peaks at 13 vehicles on a typical Saturday and Sunday
= 75 visitors per day / 12 visiting hours per day * 2 hours per visitor * 1 visitor per vehicle
- Staff
 - 10 stalls reserved for staff parking, leaving 30 stalls for visitors
 - Balance of staff will use other modes of transport, e.g. transit, bicycle, carpool, etc.

Residents 0 parking spaces
Visitors 7-13 parking spaces
Staff 10 parking spaces
Total 17-23 parking spaces

Conclusion

The proposed parking supply (40 spaces) exceeds the peak parking demand (23 spaces) when estimated using first principles.

Traffic and Transportation



Site Generated Traffic:

| Time of Day / Scenario | Existing Homes | Proposed Development | Net Change |
|------------------------|----------------|----------------------|------------|
| Weekday AM Peak Hour | 2 vph | 27 vph | +25 vph |
| Weekday PM Peak Hour | 2 vph | 33 vph | +31 vph |

Note: vph = vehicles per hour

- Amount of traffic generated is comparable to other Supportive Living and Memory Care communities in North Vancouver.
- Total peak vehicle trip generation would be in the order of **one car every two minutes**.
- **Site driveway on Keith Road**
 - Expected to operate at acceptable levels (LOS A) given low volumes.
 - Movements should be limited to right-in / right-out through signage.
- **Signalized intersection of Taylor Way / Keith Road**
 - Expected to continue operating at unacceptable levels (LOS E or worse) with development.
 - Site-generated traffic (27 vph) **< 1 percent** of total intersection traffic (3,215 vph).



Parking



Off-street parking supply (= 40 spaces):

- Exceeds District requirements (= 34 spaces)
- Exceeds peak demand based on anticipated travel behavior (= 23 spaces)
- Meets peak demand observed at comparable facilities (= 40 spaces)

