

DISTRICT OF WEST VANCOUVER  
750 17th STREET, WEST VANCOUVER, BC V7V 3T3

10.2.

Attachments for item 10.2.  
provided under separate cover

**COUNCIL REPORT**

Date: April 2, 2015 File: 1010-20-14-038  
From: Andrew Browne, Senior Community Planner  
Subject: **Development Permit No. 14-038 for Lots 16 to 21 of Rodgers Creek Area 4 (the 'Compact Lots')**

**RECOMMENDED THAT:**

The Municipal Clerk give notice that Development Permit Application No. 14-038 for Lots 16 to 21 of Rodgers Creek Area 4, which would regulate the form and character of residential development and allow variances to Zoning Bylaw No. 4662, 2010, will be considered by Council at its meeting on May 11, 2015.

**Purpose**

The purpose of this report is to provide information to Council on Development Permit Application No. 14-038 for Lots 16 to 21 of Rodgers Creek Area 4, which would regulate the form and character of residential development and allow variances to Zoning Bylaw No. 4662, 2010, relating to building height, highest building face, and building setbacks.

Should Council schedule the application for consideration, the proposed Development Permit would be considered by Council at the May 11, 2015 meeting.

**1.0 Background**

1.1 Prior Resolutions: n/a

1.2 History

July 29, 2013 – Council approved Development Permit No. 10-051 for Rodgers Creek Area 4, which allowed for site development and subdivision for 2 apartment sites, 14 semi-attached homes, 6 small single-family home lots and 15 regular sized single family lots.

June 3, 2013 – Council approved Development Permit No. 12-083 for Rodgers Creek Area 4 Phase 1 (Entry Road and Bridge over Pipe Creek), which allowed for the construction of an entry road including a bridge over Pipe Creek, from Cypress Bowl Road into Rodgers Creek Area 4.

September 10, 2012 – Council approved Development Permit No. 12-026/027 (2758 & 2773 Highview Place), which regulated the form and character of twenty semi-detached cluster housing units within Rodgers Creek Area 2.

June 18, 2012 – Council approved Development Permit No. 09-049 for Rodgers Creek Area 3 West.

November 7, 2011 – Council approved Amendment No. 1 to Development Permit No. 09-008 for Lots 14 to 17 of Rodgers Creek Area 2, which allowed a unique building form for these steeply graded lots.

September 19, 2011 – Council approved Development Permit No. 09-025 for Rodgers Creek Area 3 East.

May 9, 2011 – Council approved Development Permit No. 10-050, which regulated the form and character of eighteen cluster housing units in three buildings within Rodgers Creek Area 1.

June 7, 2010 – Council approved Development Permit No. 09-008 for Rodgers Creek Area 2.

November 17, 2008 – Council approved Development Permit No. 08-035 for Rodgers Creek Area 1.

September 22, 2008 – Council adopted three bylaws to give effect to the Rodgers Creek Area Development Plan Overview Report.

## **2.0 Policy**

### **2.1 Policy**

The Official Community Plan designates the subject lands as Upper Lands Development Permit Area. The objective of this designation is to provide for the protection of the natural environment, its ecosystems and biological diversity, the protection of development from hazardous conditions, and the regulation of the form and character of development.

The subject lands have previously been the subject of a Development Permit authorizing site development and subdivision.

### **2.2 Bylaw**

The Zoning Bylaw establishes rules regarding the form and location of development on individual lots, including setbacks, building height, and highest building face.

The subject lands are zoned CD3 and are part of Rodgers Creek Area 4. In terms of density, the CD3 zone provides for Area 4 to have a maximum total floor area of 22,724 square metres and a maximum 88 dwelling units, of which at least 50% must be apartment units. Single family dwellings are restricted to 25% maximum of units.

### **3.0 Analysis**

#### 3.1 Discussion

##### Context

Area 4 is part of the Mulgrave neighbourhood and is bounded by Area 3 East and Mulgrave School to the east, Area 3 West to the north, Cypress Bowl Road to the south, and Westmount Creek to the west (Appendix A).

##### The Proposal

British Pacific Properties is seeking a Development Permit to allow residential development on six 'compact' lots within Rodgers Creek Area 4. The Development Permit would regulate the form and character of the proposed homes and allow certain Zoning Bylaw variances relating to building height, highest building face, and building setbacks.

The proposal is for six single detached dwellings over six lots. All proposed units, as they are on the south side of the roadway, are 'downhill' configurations and feature walkout basements. Retaining walls are present toward the rear (downhill) side of the lots, and as is the case with most of the Rodgers Creek, the building foundations themselves also serve to 'make' grade.

There are four house floor plans used over the six lots, of approximately 2400 (x4), 2700, and 2800 sq ft (net, excluding exempted areas such as mechanical rooms and the garage, but including basements<sup>1</sup>). All house plans are two storeys plus basement, though for one lot the house presents to the street as only one storey, with the remaining storey and basement downhill and below the driveway and road grade. All plans feature three bedrooms.

Materials employed include Hardie Shingle, Board, and Panel, natural stone cladding, painted concrete, charcoal-coloured vinyl window frames, painted wood decorative elements, engineered wood soffits, and asphalt shingles.

Landscaping includes permeable paver driveways, trellis pedestrian entry and address feature, and a variety of drought-tolerant and native plantings.

Variances are proposed for the lots with respect to building height, highest building face, and setbacks, but the specific extent of the variances differ from lot to lot and are summarized as follows. Full text of the variances can be found in Appendix B.

---

<sup>1</sup> Note: The zoning in Rodgers Creek (CD3) allows for different floor area exemptions than are provided elsewhere in the District. As an example, in the CD3 zone, there is no exemption for basements.

	<b>Bylaw</b>	<b>Proposed</b>	<b>Variance</b>
1. Building height (for Lot 16)	7.62 m	9.1 m, where the driveway grade does not exceed 12% at any point along its length	1.48 m
2. Building height (for Lot 21)	7.62 m	8.2 m, where the driveway grade does not exceed 12% at any point along its length	0.58 m
3. Highest building face (for Lots 16 and 21)	6.7 m	7.62 m, where the driveway grade does not exceed 12% at any point along its length	0.92 m
4. Highest building face (for Lot 20)	6.7 m	7.0 m, where the driveway grade does not exceed 12% at any point along its length	0.3 m
5. Front yard (for Lots 18 and 19)	7.6 m	5.75 m	1.85 m
6. Rear yard (for Lot 21)	7.6 m	6.5 m	1.1 m
7. Combined side yard (for Lot 20)	3.0 m	2.35 m	0.65 m
8. Combined side yard (for Lot 21)	3.0 m	2.7 m	0.3 m
9. Side yard (for Lot 16's east side yard)	1.52 m	1.45 m	0.07 m
10. Side yard (for Lot 20's west side yard)	1.52 m	1.2 m	0.32 m
11. Side yard (for Lot 20's east side yard)	1.52 m	1.15 m	0.37 m
12. Side yard (for Lot 21's west side yard)	1.52 m	1.2 m	0.32 m

### Design Review Committee

The Design Review Committee reviewed the application on July 17, 2014 and passed the following resolution:

*THAT the Design Review Committee has reviewed the Development Permit application for Rodgers Creek Area 4: 6 compact single detached dwellings and recommends SUPPORT; subject to staff review of the following:*

- *Attempt to reduce the number of variances required through grading and design considerations; and*
- *Consider opportunity on Lot 21 to improve east elevation.*

Since that time, the applicant team have reduced the number of requested variances from twenty to fourteen and have improved the proposed east elevation of Lot 21 with additional windows, a modification to the roofline, and a change in grading to moderate the downhill transition at the side yard.

### Analysis & Conclusion

The architect has designed a series of detached homes that fit well into the unusual context (for Rodgers Creek) of compact lots. They are modest in size, address the street well, and deftly minimize the amount of retaining walls and visible grading required.

Staff consider the proposed form and character of development and the requested variances to be in the spirit of the Rodgers Creek Area Development Plan and **recommend Council approve issuance of the Development Permit.**

3.2 Sustainability: n/a

3.3 Consultation & Communications

Consistent with the Development Procedures Bylaw No. 3984, 1996, notification of the application being considered will be provided to property owners and occupants within 100 metres of the subject property.

## **4.0 Options**

4.1 At the time of consideration of this report, Council may:

- (a) set the date for consideration of this application (recommended); or
- (b) set the date for consideration of this application and request that additional information (to be specified) be provided and available to assist in consideration of the application; or
- (c) defer further consideration pending receipt of additional information; or
- (d) reject the application.

Date: April 2, 2015  
From: Andrew Browne, Senior Community Planner  
Subject: **Development Permit No. 14-038 for Lots 16 to 21 of Rodgers Creek Area 4  
(the 'Compact Lots')**

---

Page 6

- 4.2 When the application is considered by Council, Council may:
- (a) approve issuance of Development Permit No. 14-038 (recommended); or
  - (b) request more information (to be specified); or
  - (c) reject proposed Development Permit No. 14-038.

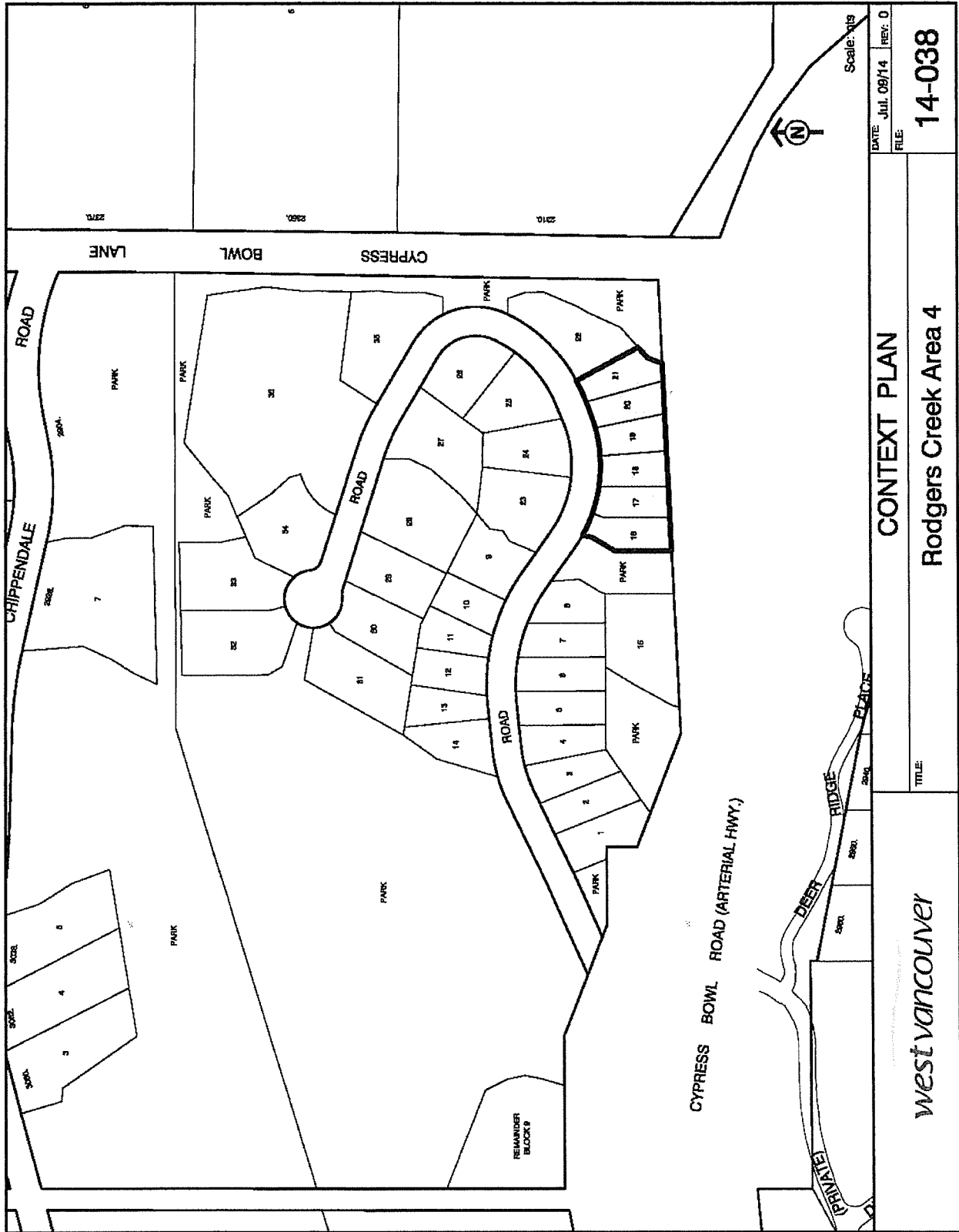
Author:

  
Andrew Browne

Appendices:

A – Context plan

B – Development Permit No. 14-038 (with Schedules)



**This page intentionally left blank**

**This page intentionally left blank**





# District of West Vancouver

## Development Permit No. 14-038

Registered Owner: BRITISH PACIFIC PROPERTIES LIMITED

See attached Schedule A for full ownership information.

This Development Variance Permit applies to:

Civic Addresses: Various addresses on Burfield Place, West Vancouver, BC

Legal Description: LOTS 16 TO 21 DISTRICT LOT 817 GROUP 1 NEW  
WESTMINSTER DISTRICT PLAN EPP36310

See attached Schedule A for full legal descriptions and PIDs.

(the "Lands")

---

### 1.0 This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands: which are designated by the Official Community Plan as Rodgers Creek Area of the Upper Lands Development Permit Area to provide for the protection of the natural environment, its ecosystems and biological diversity, to provide for the protection of development from hazardous conditions and to regulate the form and character of intensive residential and multifamily development; and is subject to Guidelines UL8 and UL8.1 specified in the Official Community Plan; and
- (b) is issued subject to the Registered Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

### 2.0 The following requirements and conditions shall apply to the Lands:

2.1 Zoning Bylaw No. 4662, 2010, as amended, is varied as follows:

- (a) For Lot 16, Section 603.06(1) is varied to allow a maximum building height of 9.1 metres where the driveway grade does not exceed 12% at any point along its length (at the centreline), as shown on Schedule B;
- (b) For Lot 21, Section 603.06(1) is varied to allow a maximum building height of 8.2 metres where the driveway grade does not exceed 12% at any point along its length (at the centreline), as shown on Schedule B;
- (c) For Lots 16 and 21, Sections 130.10 and 603.07(1) are varied to allow a maximum highest building face envelope of 7.62 metres, where the driveway grade is no more than 12% at any point along its length (at the centreline), as shown on Schedule B;

- (d) For Lot 20, Sections 130.10 and 603.07(1) are varied to allow a maximum highest building face envelope of 7.0 metres, where the driveway grade is no more than 12% at any point along its length (at the centreline), as shown on Schedule B;
  - (e) For Lots 18 and 19, Section 603.08(1) is varied to allow a front yard setback of 5.75 metres where a garage faces the street on a single family lot, as shown on Schedule B;
  - (f) For Lot 21, Section 603.08(1) is varied to allow a rear yard setback of 6.5 metres, as shown on Schedule B;
  - (g) For Lot 20, Sections 603.08(1) and 251.09 are varied to allow a combined side yard setback of 2.35 metres, as shown on Schedule B;
  - (h) For Lot 21, Sections 603.08(1) and 251.09 are varied to allow a combined side yard setback of 2.7 metres, as shown on Schedule B;
  - (i) For Lot 16, Sections 603.08(1) and 251.09 are varied to allow an east side yard setback of 1.45 metres, as shown on Schedule B;
  - (j) For Lot 20, Sections 603.08(1) and 251.09 are varied to allow an east side yard setback of 1.2 metres and a west side yard setback of 1.15 metres, as shown on Schedule B; and
  - (k) For Lot 21, Sections 603.08(1) and 251.09 are varied to allow a west side yard setback of 1.2 metres, as shown on Schedule B.
- 2.2 Building, structures, on-site parking, driveways and site development must take place in accordance with the attached Schedule B.
- 2.3 All balconies, decks and patios on the Lands shall at all times remain fully open, uncovered and unenclosed, except as shown on the attached Schedule B.
- 2.4 Wood burning fireplaces must not be installed, constructed or otherwise permitted on the Lands or in any building on the Lands.
- 2.5 Sprinklers must be installed in all areas of the building as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.
- 2.6 On-site landscaping must be installed at the cost of the Owner in accordance with the attached Schedule B.
- 2.7 Sustainability measures and commitments must take place in accordance with the attached Schedule B.
- 3.0 Prior to issuance of a Building Permit for any building or structure on the Lands:**
- 3.1 Engineering civil drawings detailing the storm water management measures and service connections must be submitted to and approved by the District's Manager, Development Engineering;

- 3.2 A Section 219 Covenant shall be placed on the Lands requiring:
- (a) all balconies, decks and patios to remain fully open, uncovered and unenclosed, except as shown on the attached Schedule B; and
  - (b) prohibiting wood burning fireplaces.

Except that a Section 219 Covenant need not be placed on the Lands if equivalent restrictions were placed on the Lands during subdivision.

- 3.3 Security for the due and proper completion of the on-site landscaping set forth in Section 2.6 of this Development Permit must be provided in the amount of \$[ESTIMATE] (the "Landscaping Deposit") to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union and:

- (a) a minimum 20% of the initial value of the Landscaping Deposit shall be retained by the District for one year after installation of the landscaping, as a warranty deposit to ensure successful installation of the landscaping; and
- (b) the initial value of the Landscaping Deposit may only be reduced to the warranty level and the warranty shall only be released when the registered member of the BCSLA for the project provides a field report to the District confirming successful installation of the on-site landscaping in accordance with Schedule A to this Development Permit.

- 4.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

In the event the Owner is delayed or interrupted or prevented from commencing or continuing the development by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the work shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [ date ].

---

MAYOR

---

MUNICIPAL CLERK

---

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

---

Owner: Signature

---

Owner: Print Name above

---

Date

FOR THE PURPOSES OF SECTION 4, THIS PERMIT IS ISSUED ON [ date ].

Schedules:

A – Legal descriptions, PIDs, and land ownership information

B – Drawing booklet (Rodgers Creek Area 4 Lots 16-21 by Creekside Architects)

## Schedule A to Development Permit No. 14-038

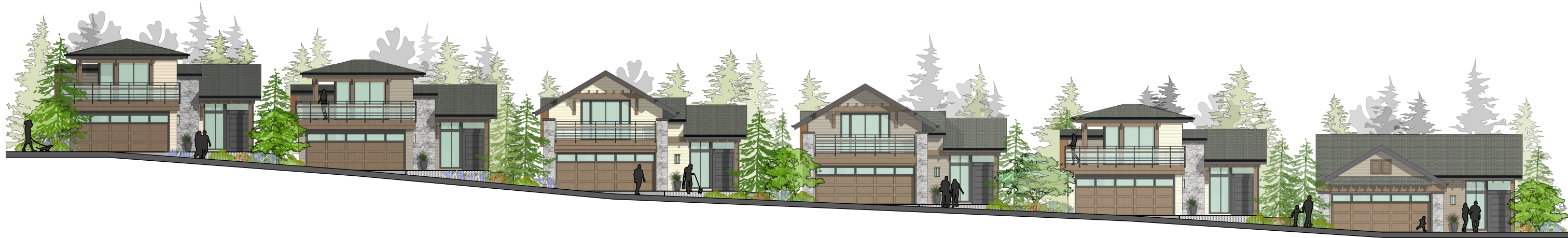
District of West Vancouver

Legal Description	PID	Registered Owner
LOT 16 DISTRICT LOT 817 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP36310	029-473-829	BRITISH PACIFIC PROPERTIES LIMITED, INC.NO. BC0438330 1001 KAPILANO 100, 100 PARK ROYAL WEST VANCOUVER, BC V7V 3N6
LOT 17 DISTRICT LOT 817 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP36310	029-473-837	BRITISH PACIFIC PROPERTIES LIMITED, INC.NO. BC0438330 1001 KAPILANO 100, 100 PARK ROYAL WEST VANCOUVER, BC V7V 3N6
LOT 18 DISTRICT LOT 817 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP36310	029-473-845	BRITISH PACIFIC PROPERTIES LIMITED, INC.NO. BC0438330 1001 KAPILANO 100, 100 PARK ROYAL WEST VANCOUVER, BC V7V 3N6
LOT 19 DISTRICT LOT 817 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP36310	029-473-853	BRITISH PACIFIC PROPERTIES LIMITED, INC.NO. BC0438330 1001 KAPILANO 100, 100 PARK ROYAL WEST VANCOUVER, BC V7V 3N6
LOT 20 DISTRICT LOT 817 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP36310	029-473-861	BRITISH PACIFIC PROPERTIES LIMITED, INC.NO. BC0438330 1001 KAPILANO 100, 100 PARK ROYAL WEST VANCOUVER, BC V7V 3N6
LOT 21 DISTRICT LOT 817 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP36310	029-473-870	BRITISH PACIFIC PROPERTIES LIMITED, INC.NO. BC0438330 1001 KAPILANO 100, 100 PARK ROYAL WEST VANCOUVER, BC V7V 3N6

**This page intentionally left blank**

**This page intentionally left blank**

# SCHEDULE B



## Drawing List

A-0.1 Rodgers Creek Context Plan  
 A-0.2 Area 4 Context Plan  
 A-0.3 Sustainability Statement

A-1.1 Site Plan  
 A-1.2 Coloured Rendering -Day  
 A-1.3 Coloured Rendering -Day  
 A-1.4 Coloured Rendering -Night  
 A-1.5 Coloured Rendering -Night  
 A-1.6 Aerial View From North East  
 A-1.7 Aerial View From North West  
 A-1.8 Lot 16, 17 and 18 South Elevations  
 A-1.9 Lot 19, 20 and 21 South Elevations  
 A-1.10 Lot 16, 17 and 18 North Elevations  
 A-1.11 Lot 19, 20 and 21 North Elevations

A-2.1 Lot 16 Plans  
 A-2.2 Lot 16 Plans  
 A-2.3 Lot 16 North Elevation Colours  
 A-2.4 Lot 16 West Elevation  
 A-2.5 Lot 16 East Elevation  
 A-2.6 Lot 16 Site Section  
  
 A-3.1 Lot 17 and 20 Plans  
 A-3.2 Lot 17 and 20 Plans  
 A-3.3 Lot 17 North Elevation (20 similar) Colours  
 A-3.4 Lot 17 West Elevation  
 A-3.5 Lot 17 East Elevation  
 A-3.6 Lot 20 West Elevation  
 A-3.7 Lot 20 East Elevation  
 A-3.8 Lot 17 Site Section  
 A-3.9 Lot 20 Site Section

A-4.1 Lot 18 and 19 Plans  
 A-4.2 Lot 18 and 19 Plans  
 A-4.3 Lot 18 North Elevation (19 similar) Colours  
 A-4.4 Lot 18 West Elevation  
 A-4.5 Lot 18 East Elevation  
 A-4.6 Lot 19 West Elevation  
 A-4.7 Lot 19 East Elevation  
 A-4.8 Lot 19 Site Section  
 A-4.9 Lot 19 Site Section  
  
 A-5.1 Lot 21 Plans  
 A-5.2 Lot 21 Plans  
 A-5.3 Lot 21 North Elevation Colours  
 A-5.4 Lot 21 East Elevations  
 A-5.5 Lot 21 West Elevation  
 A-5.6 Lot 21 Site Section

L-1 Site Plan  
 L-2 Grading Plan  
 L-3 Landscape Materials / Character  
 L-4 Planting Plan

CREEKSIDE ARCHITECTS










# RODGERS CREEK

AREA 4 LOT 16 - 21  
 ISSUED FOR DEVELOPMENT PERMIT  
 APRIL 13, 2015

# AREA 4, LOT 16-21 - DP Submission

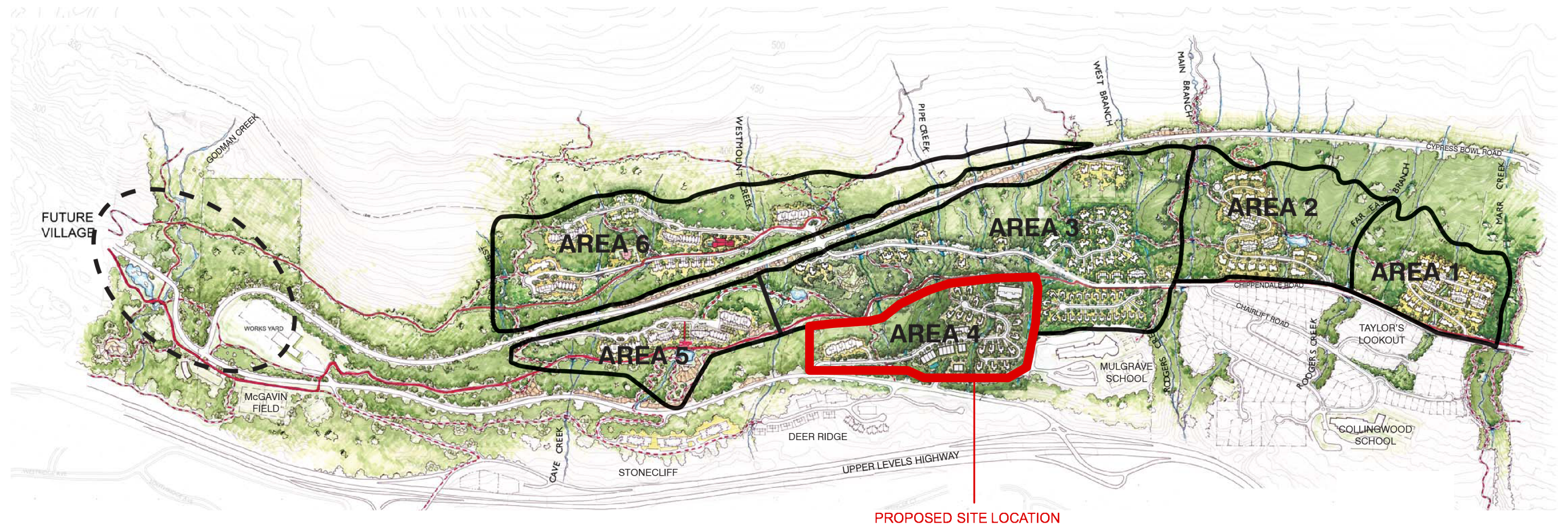
April 13, 2015

LOT #	Lot Area		F.A.R.			Site Coverage max. 35%	Building Height (FT) max.7.6M (25FT)	Building Face (FT) max.6.7M (22FT)	Front Yard min. 7.6M (25FT)	Rear Yard min. 7.6M (25FT)	Combined Side Yard min. 3M (9'-10"FT)	Side Yard min. 1.52M (5FT)	
	SM	SF	Permitted max. 45%	Permitted (SF)	Actual (SF)							West	East
													
Lot 16	569.7	6,132	45	2,759	2,759	26	30	25	-	-	-	-	4.79
Lot 17	490.7	5,282	45	2,377	2,377	29	-	-	-	-	-	-	-
Lot 18	490.8	5,283	45	2,377	2,377	29	-	-	18.92	-	-	-	-
Lot 19	490.8	5,283	45	2,377	2,377	29	-	-	19.13	-	-	-	-
Lot 20	490.7	5,282	45	2,377	2,377	29	-	23	-	-	7.83	4.00	3.83
Lot 21	550.9	5,930	45	2,668	2,668	28	27	25	-	21.63	8.92	3.92	-
<b>TOTAL</b>	<b>3,083.6</b>	<b>33,191.5</b>		<b>14,935.0</b>	<b>14,935.0</b>								

14 Total Variances



Overall Site Plan and Area Boundaries





**Rodgers Creek - Area 4**

Area 4 Context Plan

April 13, 2015

N.T.S. 11"x17"

**A-0.2**



# RODGERS CREEK AREA 4 LOT 16 - 21

## Design Rationale

Design considerations were formulated in the Rodgers Creek Development Plan from March 2008 as follows:

Architecturally the buildings are of a low-pitched roof, alpine derived expression. Roofs are intended to contain snow in the winter rather than shed it. Because of the less urban nature of these areas and the requirements of the Wildland Fire Management plan, finishes will be predominantly fire-resistant other than heavy timber detailing. FR siding, heavy timber, stone and glass will form the basic material palette.

These small houses are intended to engage with the road and provide eyes on the street so reduced front yards are typically required. Front yards will have some ornamental planting but like the rest of the site will be predominantly native planting.



## Sustainability Statement

The Rodgers Creek Area Development Plan Overview Report (March 7, 2008) notes that

*...the Rodgers Creek Area Development Plan is founded on a vision of environmental, social and economic sustainability...The vision of sustainability contained within the Rodgers Creek Area Development Plan complements and supports the District of West Vancouver's OCP, the Working Group's Key Organizing Principles and British Pacific Properties' "8 Pillars" approach. Sustainability is a common thread that runs throughout the fabric of the Rodgers Creek ADP as well as the future planning of the Cypress Village area.*

The Overview Report also details a Green Building Strategy for the Rodgers Creek Development Area that reduces energy and water consumption, reduces greenhouse gas emissions, enhances sustainability and creates a healthy living environment. The Phased Development Agreement between the District of West Vancouver and the Rodgers Creek land owners requires buildings in the Rodgers Creek development area to comply with these green building standards.

The Area 4 single family and two family homes will incorporate many of the sustainable development features detailed in the Green Building Strategy including:

### Green Building Standards

- All units will be certified Built Green® Silver with a minimum EnerGuide Rating of 80.

### Energy Conservation

- Energy efficient heating and cooling system using an Air Source Heat Pump (ASHP)
- Energy efficient, tankless "hot water on demand" domestic water heaters
- Passive solar design, including sun shading to minimize summer heat gain
- Natural cross ventilation
- Maximize daylighting opportunities through extensive glazing and siting of buildings as close to east/west orientation as possible
- High performance, energy efficient, Energy Star-rated windows
- Energy efficient light fixtures
- Energy efficient, Energy Star-labeled appliances
- Real-time energy meters ('Smart Meters') to monitor energy consumption (if acceptable technology is available at time of construction)
- Individual metering for energy use for each unit to encourage conservation
- Provide Energy Star-labeled programmable thermostats or programmable thermostat with dual set back & continuous fan setting
- Insulation levels to meet or exceed the Model National Energy Code for Buildings including a minimum of R-28 for roof insulation, R-20 for exterior wall insulation for non-glazed areas and R-20 for floors above non-heated parkade areas

### Water Conservation

- Water-efficient fixtures including dual-flush toilets, low flow faucets with aerators and low flow showerheads
- Water-efficient dishwashers and front-loading clothes washers
- Water-efficient landscaping materials featuring drought-tolerant and native plants
- Water-efficient irrigation systems only where required

### Green Roof & Terraces

- Extensive Green terraces

### Indoor Environmental Quality

- Only low-emitting adhesives, sealants, sealant primers, paints and coatings and floor covering systems will be used

- Permanent carbon dioxide monitoring systems in all units

### Efficient Use of Materials & Resources

- Use of locally and regionally supplied building materials
- Use of high performance, durable materials
- Recycling facilities for simplified separation and collection of recyclable materials within units
- Comprehensive recycling program for building site including education, site signage and bins
- Recycling of site-generated organics from construction activities to produce topsoil to be re-used on site or on nearby sites
- Re-use of site-harvested trees for construction of homes, landscaping, trails and other amenities
- Re-use of site-generated rock for retaining walls, house detailing and trim, road and trail gravels, landscaping, creek restoration (e.g., ponds, weirs, cascades) and foreshore enhancement
- Re-use of excess structural fill from construction activities in close proximity to the development site. For example, excess structural fill from Area 4 building excavations will be used for road fill embankments and lot grading.
- Use of recycled materials in new home construction where practical, e.g.,

### siding

### Sustainable Design

- Bicycle storage to be provided in each garage
- A dedicated conduit or cable raceway from the electrical panel to an enclosed outlet box in the garage that will allow the future installation of an electrical circuit suitable for recharging electric vehicles or hybrid vehicle battery support to be provided in each garage
- LEED Accredited Professionals and Built Green Certified builder part of the design team
- An Integrated Design Process (IDP) that brings all project team members together early in the design process is being utilized for this project
- A home owner's manual outlining sustainability measures will be provided to all new home owners

### Integrated Stormwater Management

- Protection, and where possible, enhancement of watercourses
- A suite of Low Impact Development strategies (LID's) have been developed and will be implemented as part of an Integrated Stormwater Management plan for both on and off-site stormwater.
- Techniques and strategies for managing stormwater include bioswales, rock exfiltration pits, rain gardens, constructed wetlands, absorbent landscaping, other percolation areas and permeable paving and permeable asphalt to give stormwater runoff multiple opportunities to infiltrate back into the ground before reaching a watercourse or piped system.

### BUILT GREEN PROGRAM

Built Green® is a "green" new home building standard and third party certification program administered by Built Green Canada. British Pacific Properties Limited (BPP) and British Pacific Enterprises (BPE) are Certified Built Green® builders. The program concentrates on several different target areas including:

- Energy efficiency;
- Indoor air quality;
- Waste Management;
- Water Conservation;
- Resource Use; and
- Overall environmental impact.

The Built Green® Checklist provides the foundation of the program's criteria which includes energy efficiency requirements. To achieve a Built Green Silver level, a new home must achieve a minimum of 100 points from the Built Green® Checklist with a minimum of 30 points in the Envelope & Energy Section of the Checklist and be modeled, tested and rated in the EnerGuide Rating System (ERS) administered by Natural Resources Canada (NRCan).

All single family and two family homes in Area 4 will be built to a minimum level of Built Green Silver and a minimum EnerGuide Rating of 80 as certified by a Certified Energy Advisor. Upon completion, each new single family and two family home in Area 4 will receive an EnerGuide for New Houses rating label and the official Built Green® seal for the Built Green® home.

For more information about the Built Green® program, please visit [www.builtgreencanada.ca](http://www.builtgreencanada.ca).

## Rodgers Creek - Area 4

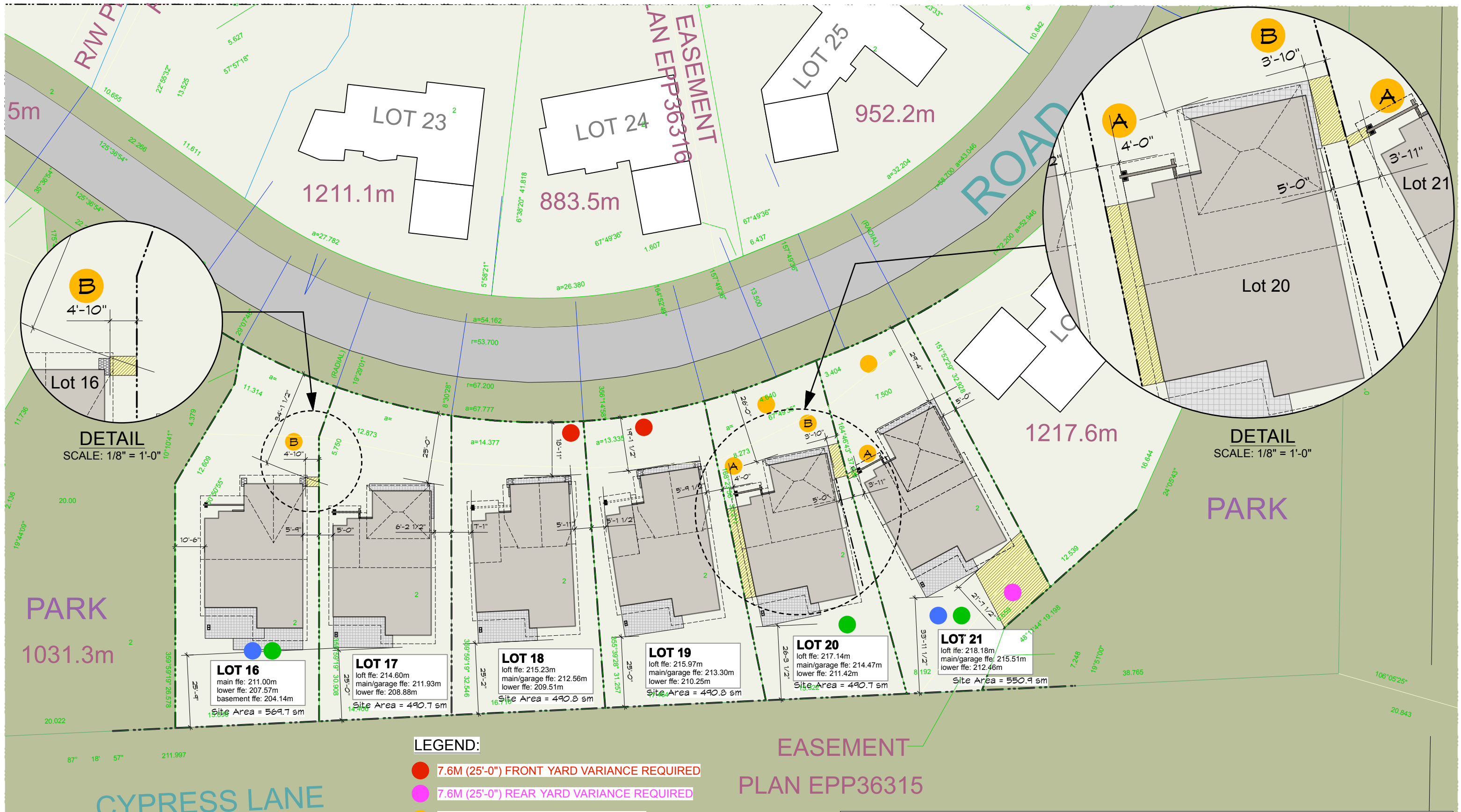
Sustainability Statement

April 13, 2015

N.T.S. 11"x17"

A-0.3





**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 3M (9'-10") MIN. COMBINED SIDE YARD
- 1.52M (5'-0") MIN. SIDE YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

**EASEMENT  
PLAN EPP36315**

**Rodgers Creek - Area 4**

Site Plan  
April 13, 2015 Scales 1/16" = 1'-0" @11x17 (50%)  
**A-1.1**





**Rodgers Creek - Area 4 - Lots 16-21**

Rendering  
April 13, 2015  
N.T.S  
**A-1.2**





**Rodgers Creek - Area 4 - Lots 16-21**

Rendering  
April 13, 2015  
N.T.S  
**A-1.3**





**Rodgers Creek - Area 4 - Lots 16-21**

Rendering  
April 13, 2015  
N.T.S  
**A-1.4**





**Rodgers Creek - Area 4 - Lots 16-21**

April 13, 2015

Rendering  
N.T.S  
**A-1.5**







**AERIAL VIEW FROM NORTH EAST**

**Rodgers Creek - Area 4 - Lots 16-21**

Aerial Views From North East

April 13, 2015

N.T.S

**A-1.6**





**Rodgers Creek - Area 4 - Lots 16-21**

Aerial View From North West

April 13, 2015

N.T.S

**A-1.7**





Lot 16

Lot 17

Lot 18

**Rodgers Creek - Area 4**  
Lot 16, 17 and 18 South Elevations  
April 13, 2015 Scales 3/32"=1'-0" 11"x17"  
**A-1.8**





Lot 19

Lot 20

Lot 21

**Rodgers Creek - Area 4**  
Lot 19, 20 and 21 South Elevations  
April 13, 2015 Scales 3/32"=1'-0" 11"x17"  
**A-1.9**





Lot 18

Lot 17

Lot 16

**Rodgers Creek - Area 4**

Lot 16, 17 and 18 North Elevations  
April 13, 2015 Scales 3/32"=1'-0" 11"x17"

**A-1.10**





Lot 21

Lot 20

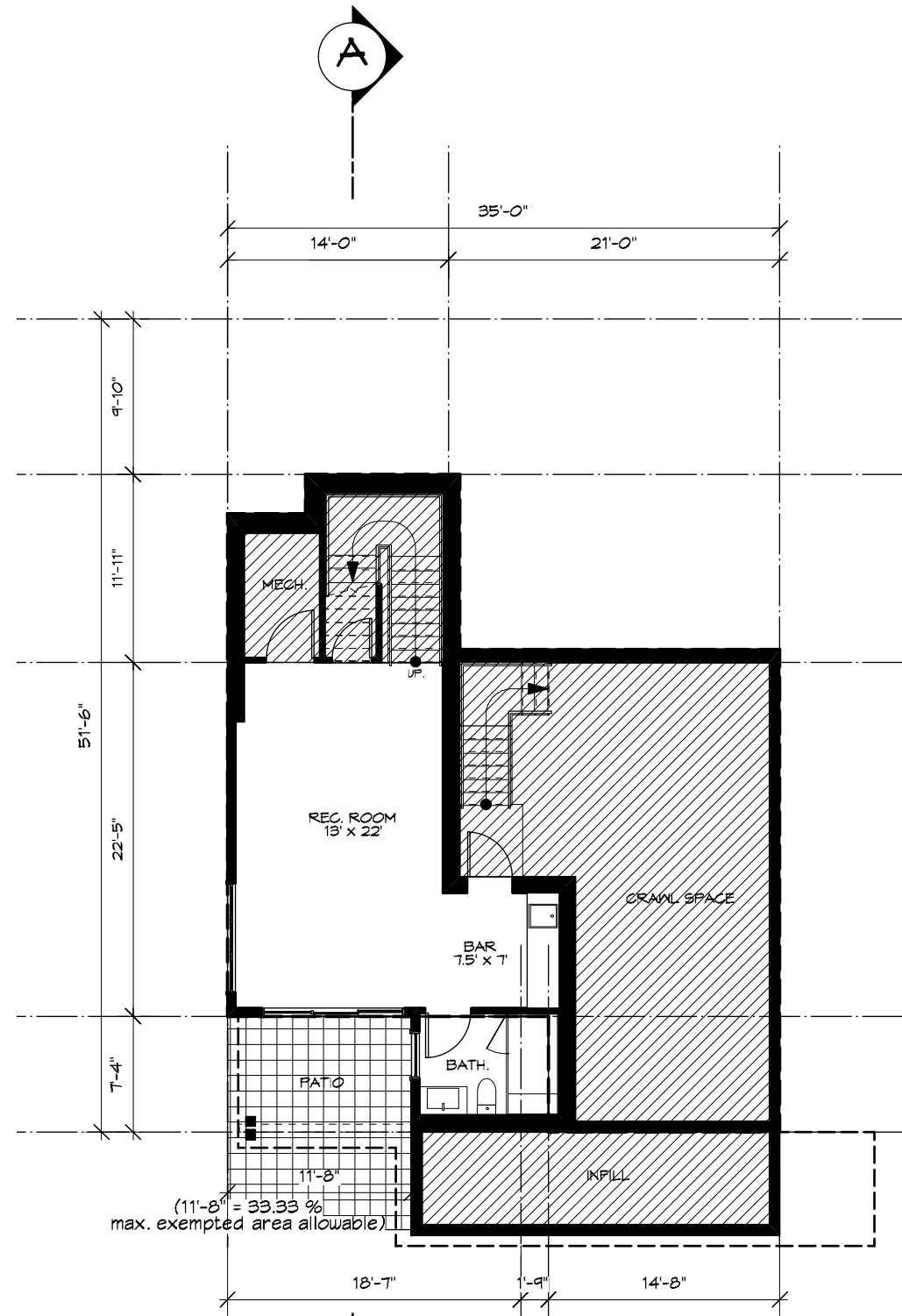
Lot 19

**Rodgers Creek - Area 4**

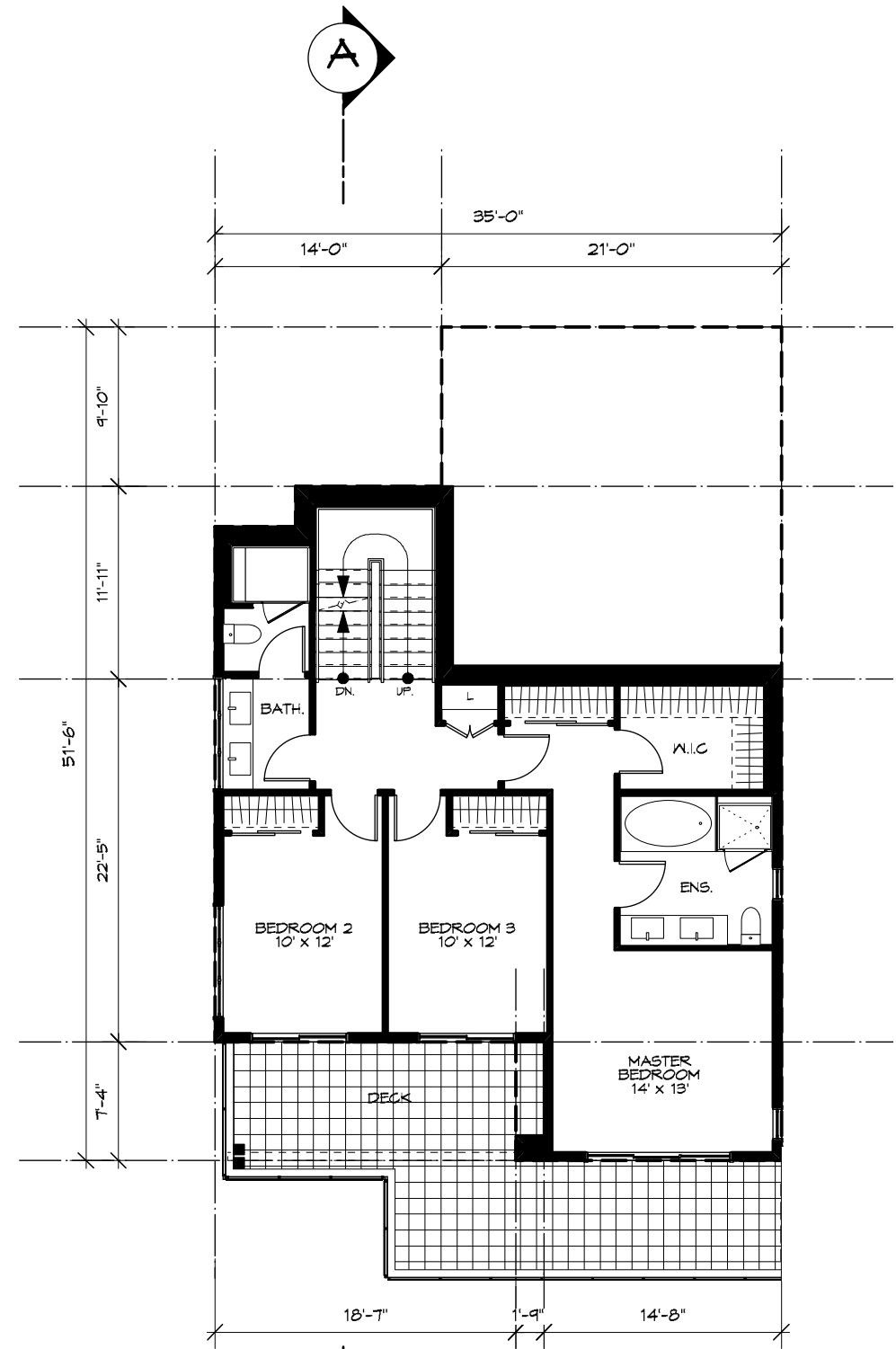
Lot 19, 20 and 21 North Elevations  
April 13, 2015 Scales 3/32"=1'-0" 11"x17"

**A-1.11**





**BASEMENT FLOOR**



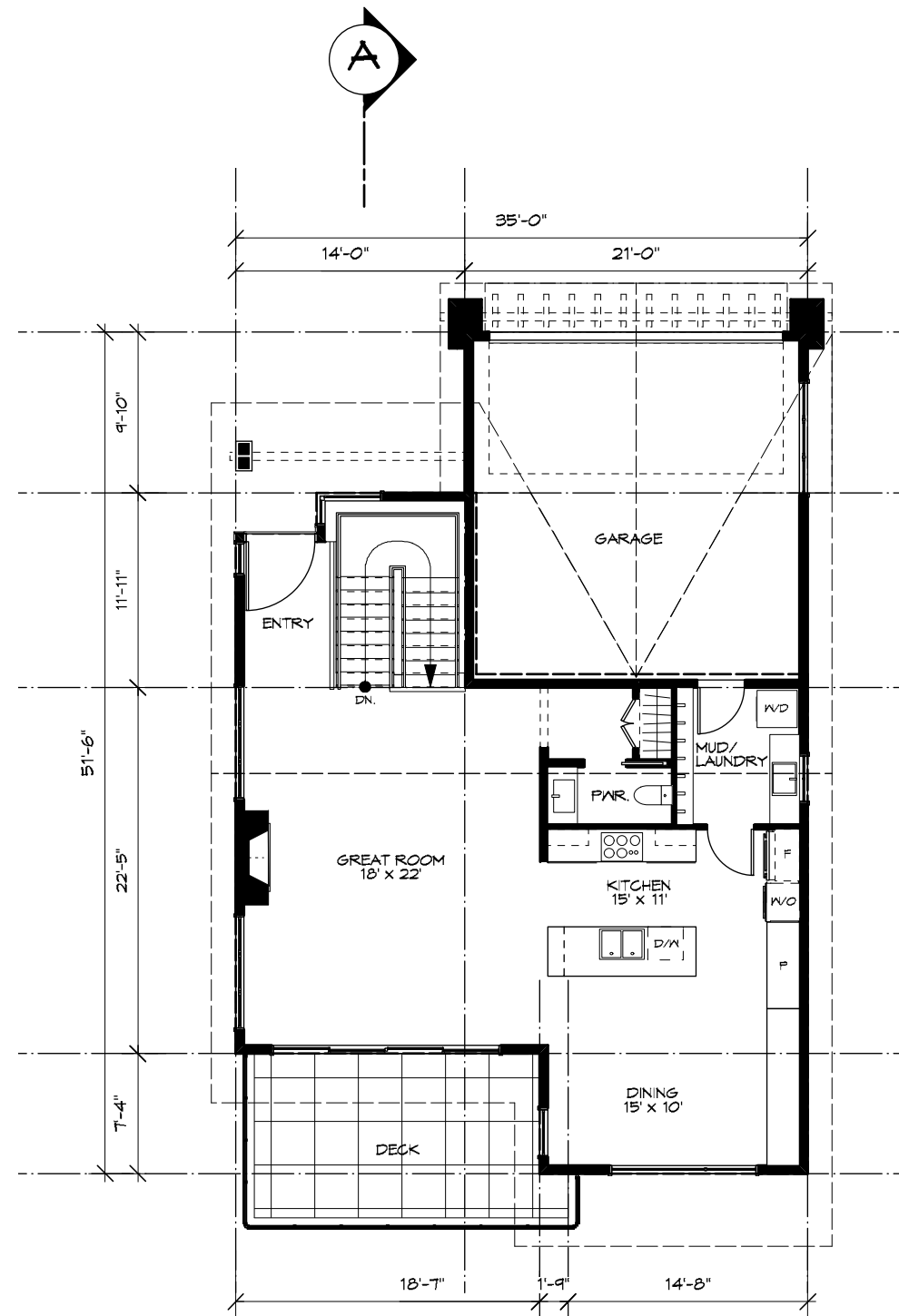
**LOWER FLOOR**

AREA CALCULATION (LOT 16)/(Ft)				
	Basement	Lower	Main	TOTAL
Gross Area	1,288	1,072	1516	3,876
Covered deck Area	0	198	71	269
Exemptions				
mechanical	46	0	0	46
crawl space	655	0	0	655
stair	80	0	0	80
garage	0	0	440	440
covered deck max. 6%	0	165	0	165
F.A.R.	507	1,105	1,147	2,759

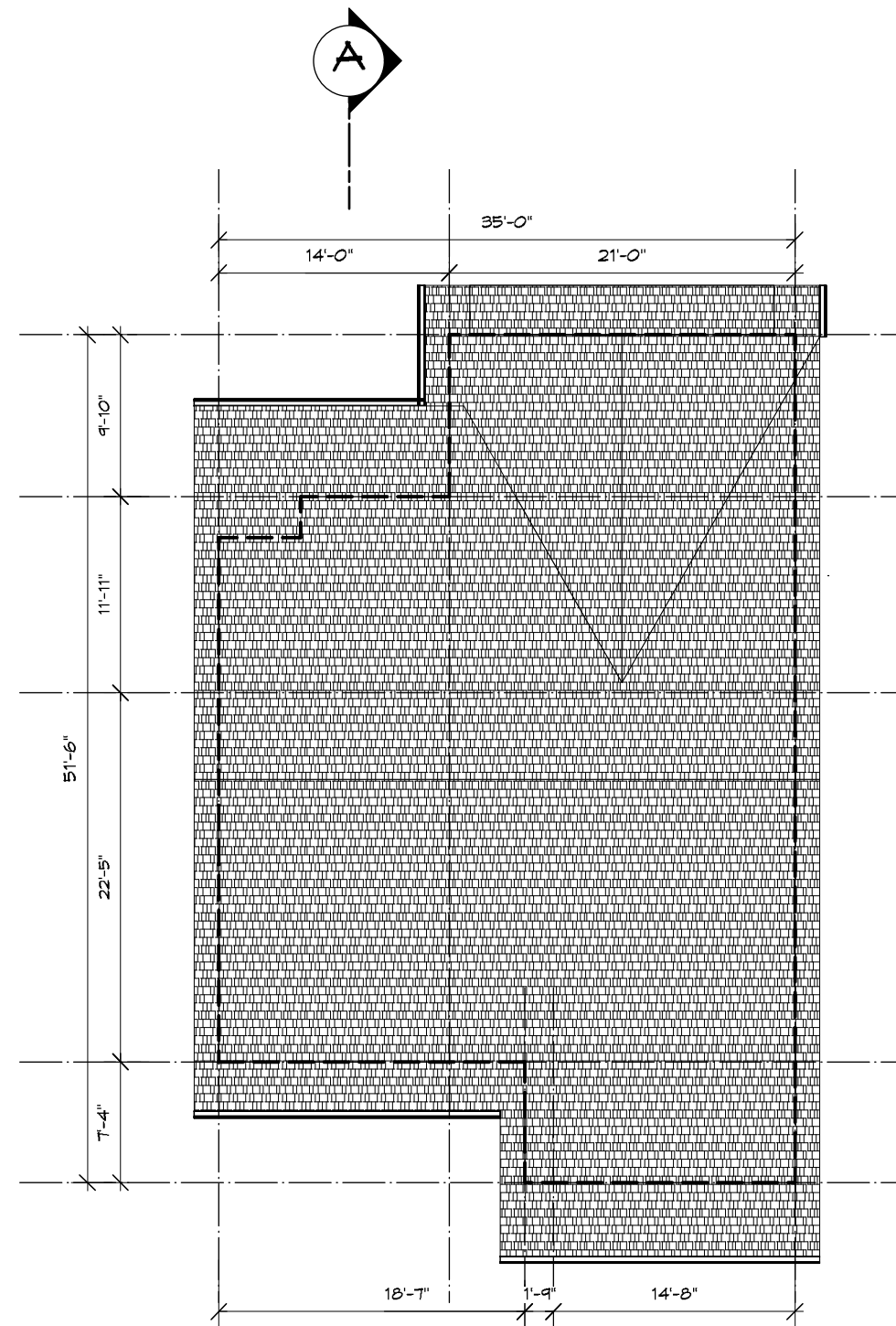
**Rodgers Creek - Area 4**

April 13, 2015      Scale 3/32"=1'-0" @ 11"x17"  
**Lot 16 Plans**  
**A-2.1**





**MAIN PLAN**



**ROOF PLAN**

AREA CALCULATION (LOT 16)/(Ft)				
	Basement	Lower	Main	TOTAL
Gross Area	1,288	1,072	1516	3,876
Covered deck Area	0	198	71	269
Exemptions				
mechanical	46	0	0	46
crawl space	655	0	0	655
stair	80	0	0	80
garage	0	0	440	440
covered deck max. 6%	0	165	0	165
F.A.R.	507	1,105	1,147	2,759

**Rodgers Creek - Area 4**

April 13, 2015

Scale 3/32"=1'-0" @ 11"x17"

Lot 16 Plans

**A-2.2**

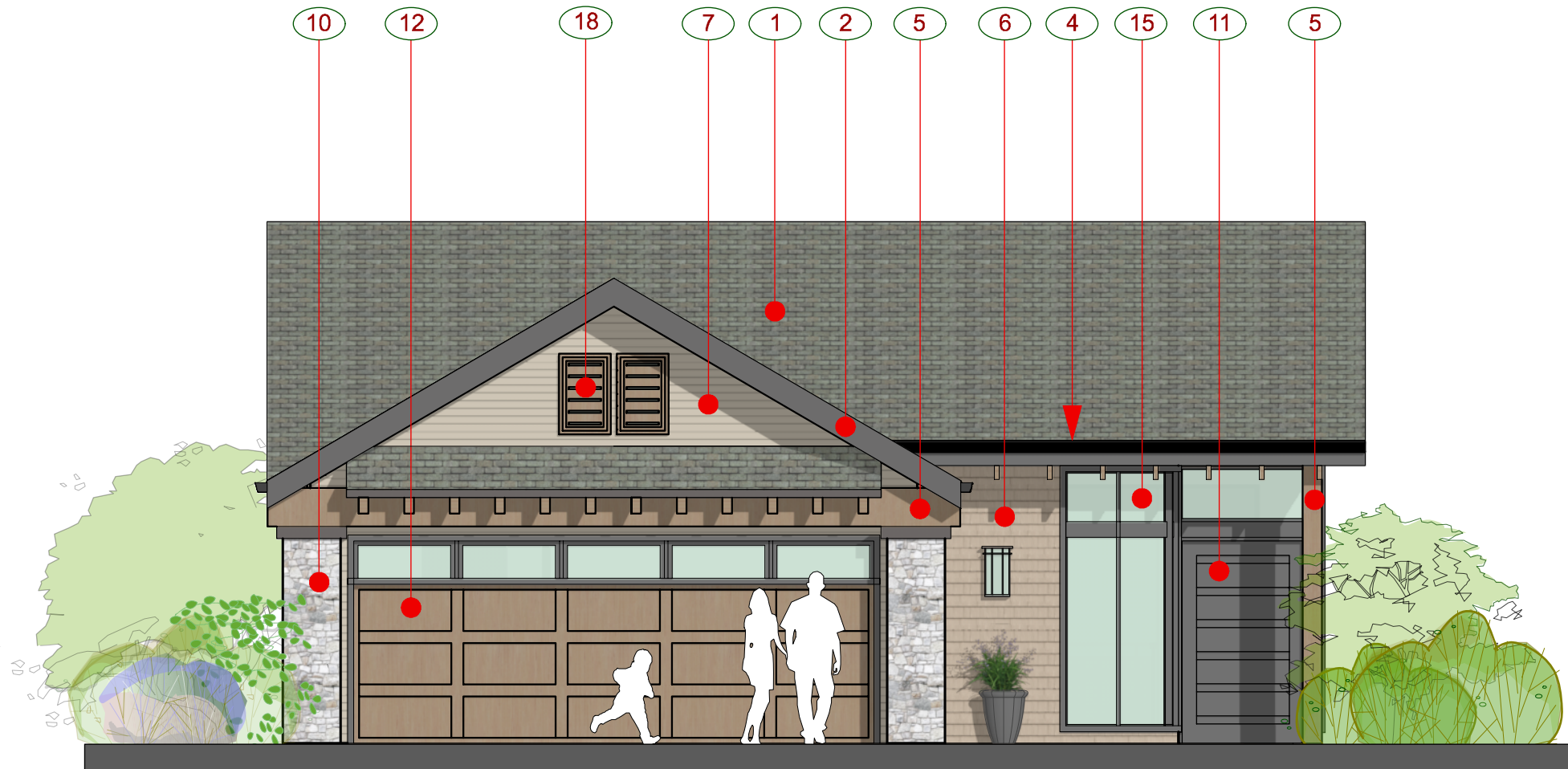




RODGERS CREEK AREA 4 LOT 16

EXTERIOR MATERIAL & COLOUR SCHEDULE

No.	Material	Colour
1	Asphalt Shingle Roofing	Charcoal Grey
2	Painted wood fascia/barge boards	Benjamin Moore 2134-30 Iron Mountain
3	Engineered Wood soffit	Natural wood with stain finish
4	Prefinished metal rain water leader/gutter	Charcoal Grey
5	Exposed wood rafters/beams	Natural wood with stain finish
6	Hardishingle siding: Lot 16	Benjamin Moore HC-86 Kingsport Gray
7	Fibre Cement lap siding - 4" exposure: Lot 16, Lot 18 and Lot 20	Benjamin Moore HC-86 Kingsport Gray
8	Panel siding : Lot 16, Lot 18 and Lot 20	Benjamin Moore HC-86 Kingsport Gray
9	Painted exposed concrete	Colour varies to match hozontal siding
10	Natural stone cladding; column c/w beveled stone cap	Natural real thin stone veneer
11	Painted metal entry door c/w transom	Charcoal Grey
12	Painted metal garage door c/w frosted glass 75%	Benjamin Moore HC-85 Fairview Taupe
13	Metal Railing for decks and balconies	Dark Grey
14	Glazed guardrail	AFGD 5mm green
15	Double-glazed vinyl windows & s.g.d.	Charcoal Grey
16	Painted wood deck edge trim	Benjamin Moore HC-85 Fairview Taupe
17	Prefinished metal flashing	Charcoal Grey
18	Wood Louver Gable Vent	Benjamin Moore HC-85 Fairview Taupe



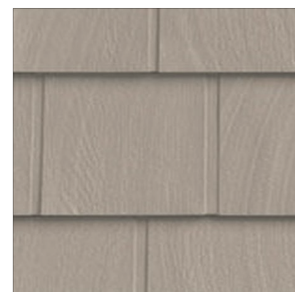
LOT 16 - NORTH ELEVATION



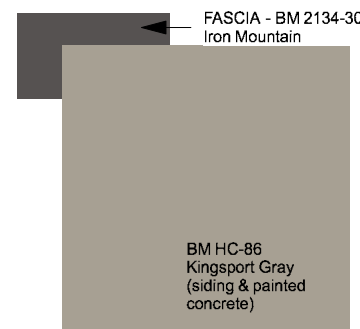
STONE CLADDING



EXTERIOR HARDI PANEL LAP SIDING



EXTERIOR HARDISHINGLE SIDING



LOT 16, 18 & 20



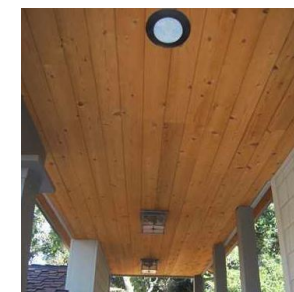
WINDOW FRAME



POSTS /DECORATIVE BEAMS/  
GARAGE & ENTRY DOORS/  
BALCONY EDGE



ASPHALT SHINGLES



ALL SOFFITS TO BE WOOD

Rodgers Creek - Area 4

Lot 16 Elevation North and Colours

April 13, 2015

Scale 3/16"=1'-0" @ 11"x17

A-2.3





**LOT 16 - WEST ELEVATION**

**Rodgers Creek - Area 4**

April 13, 2015

Lot 16 West Elevation

Scale 1/8"=1'-0" @ 11"x17"

**A-2.4**





**LOT 16 - EAST ELEVATION**

**Rodgers Creek - Area 4**

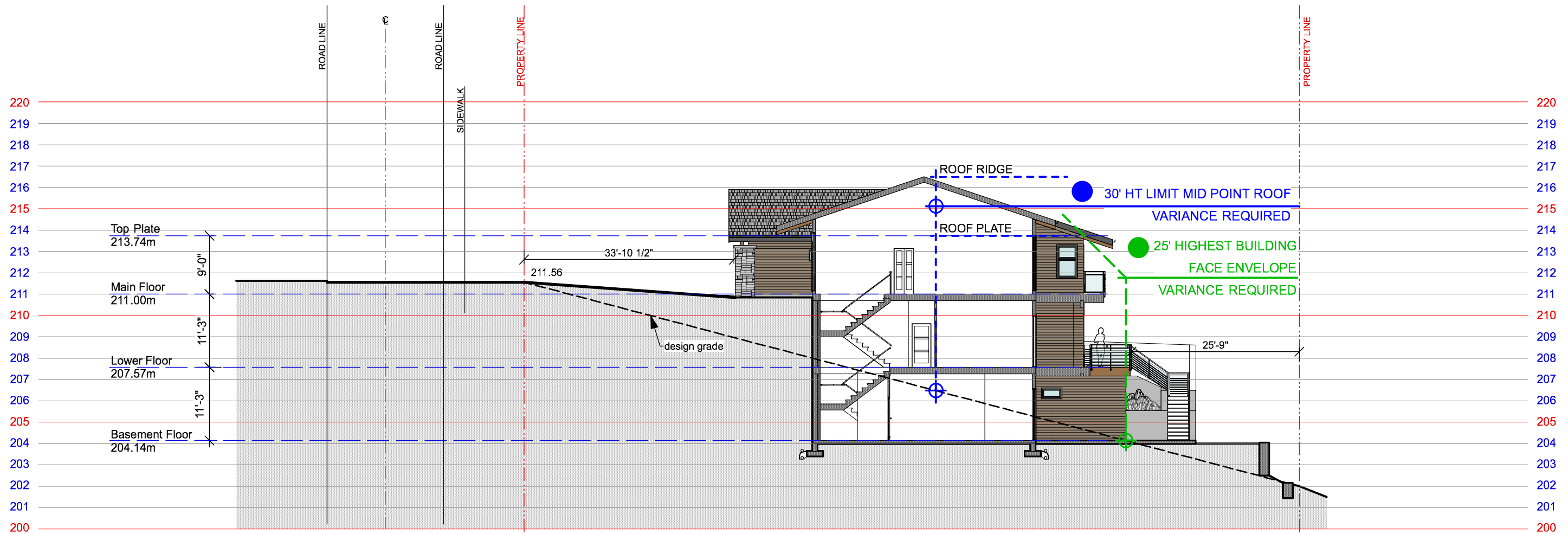
April 13, 2015

Lot 16 East Elevation

Scale 1/8"=1'-0" @ 11"x17

**A-2.5**





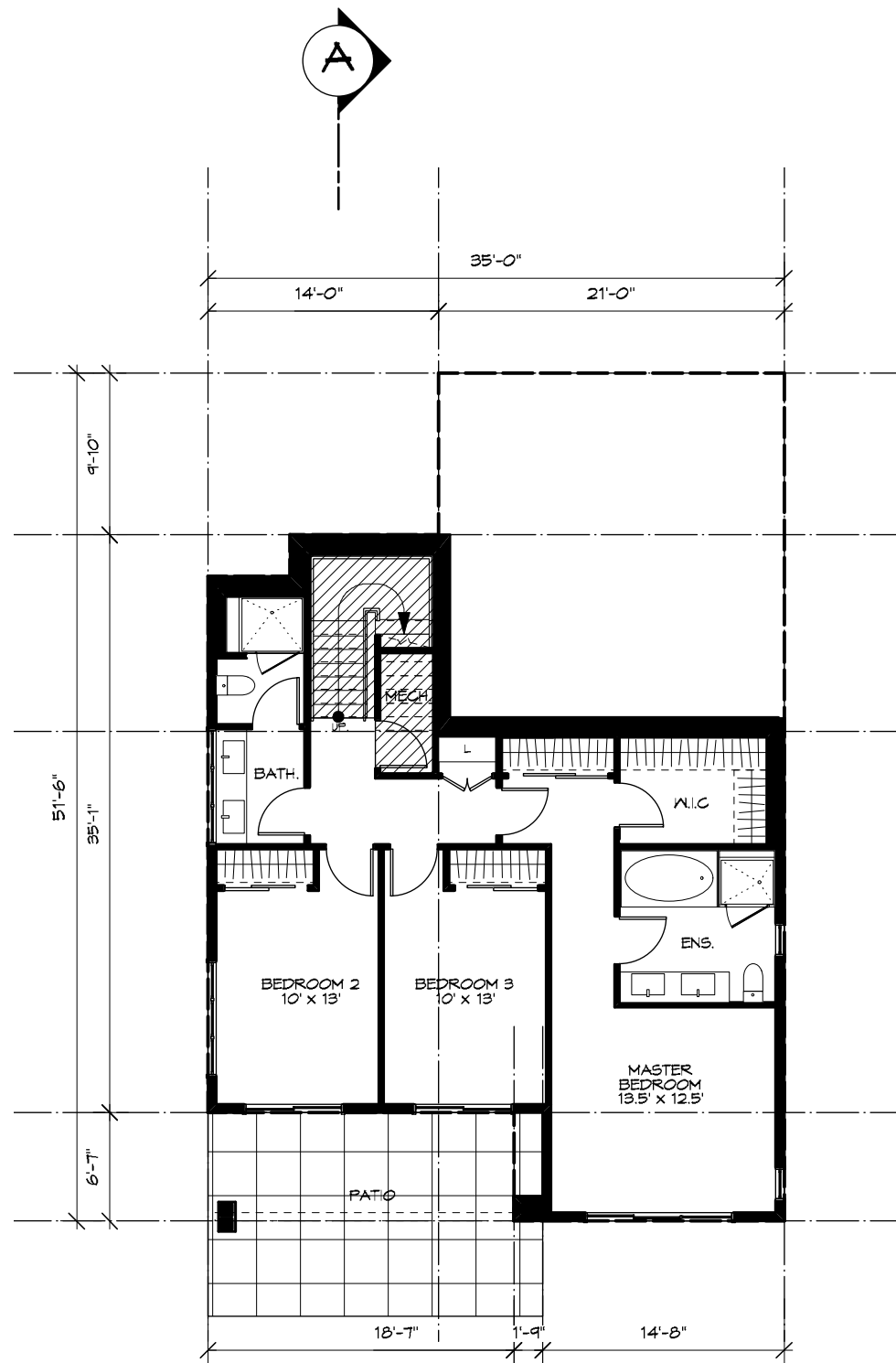
**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

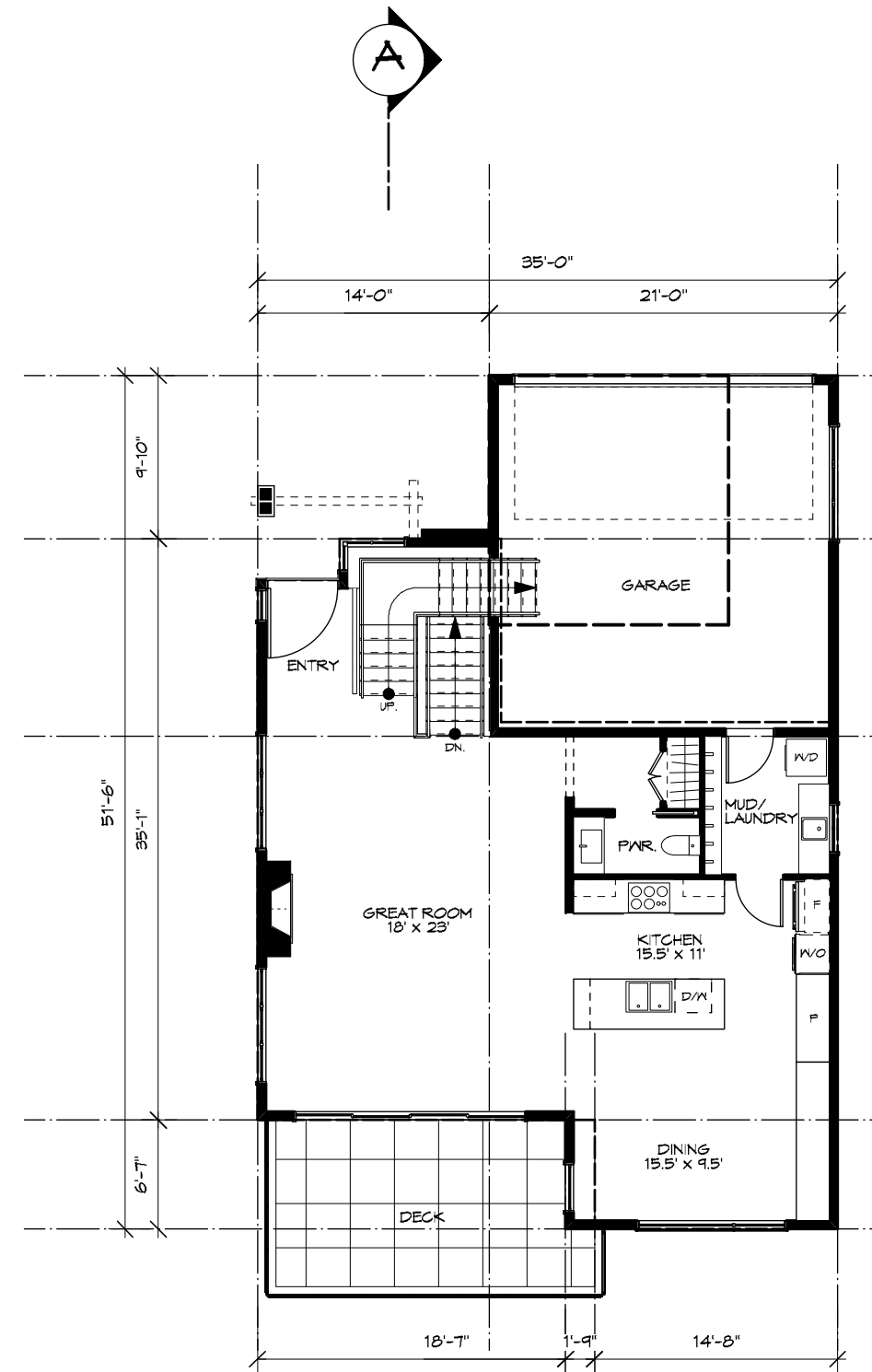
**Rodgers Creek - Area 4**

Lot 16 Site Section  
 April 13, 2015 Scales 1/16"=1'-0" @ 11"x17"  
**A-2.6**





**LOWER FLOOR**



**MAIN FLOOR**

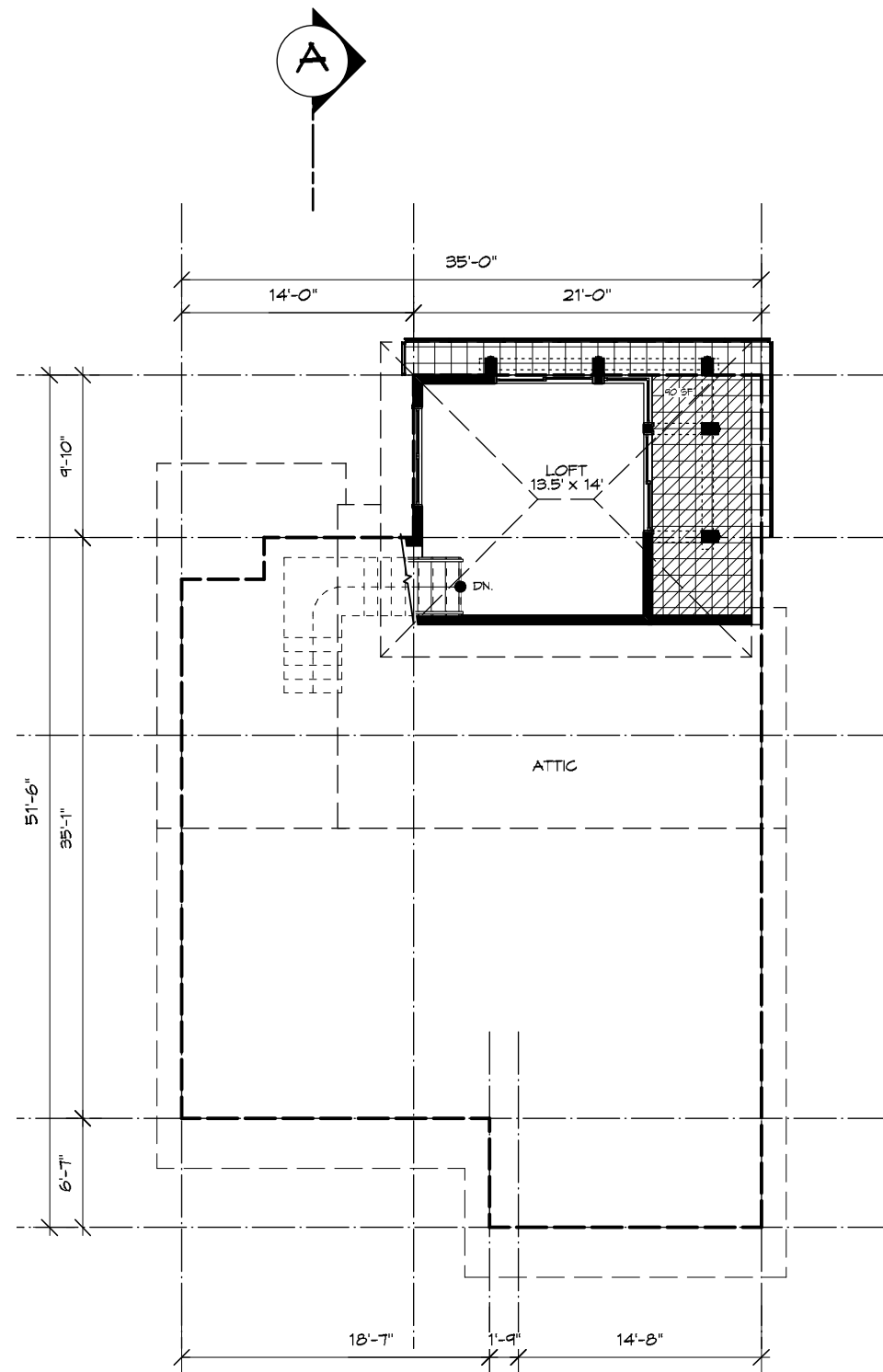
AREA CALCULATION (LOT 17 & 20)/(Ft)				
	Lower	Main	Loft	TOTAL
Gross Area	1,087	1,530	269	2,886
Covered Deck Area	0	70	90	160
Exemptions				
stair/mech.	87	0	0	87
garage	0	440	0	440
covered deck max. 6%	0	70	72	142
F.A.R.	1,000	1,090	287	2,377

**Rodgers Creek - Area 4**

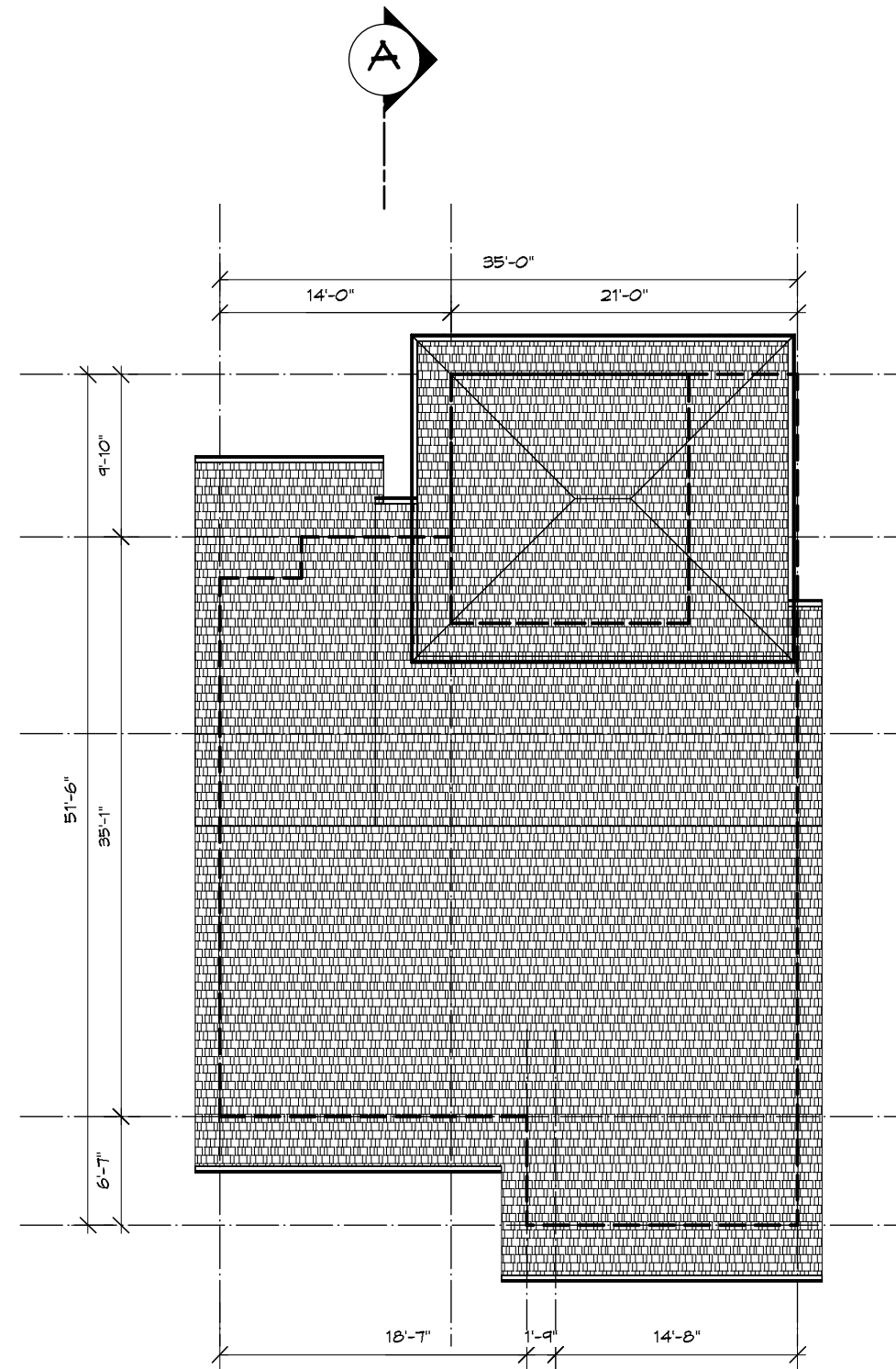
Lot 17 & 20 Plans  
 April 13, 2015 Scale 3/32"=1'-0" @ 11"x17"

**A-3.1**





**LOFT PLAN**



**ROOF PLAN**

AREA CALCULATION (LOT 17 & 20)/(Ft)				
	Lower	Main	Loft	TOTAL
Gross Area	1,087	1,530	269	2,886
Covered Deck Area	0	70	90	160
Exemptions				
stair/mech.	87	0	0	87
garage	0	440	0	440
covered deck max. 6%	0	70	72	142
F.A.R.	1,000	1,090	287	2,377

**Rodgers Creek - Area 4**

Lot 17 & 20 Plans  
 April 13, 2015      Scale 3/32"=1'-0" @ 11"x17"

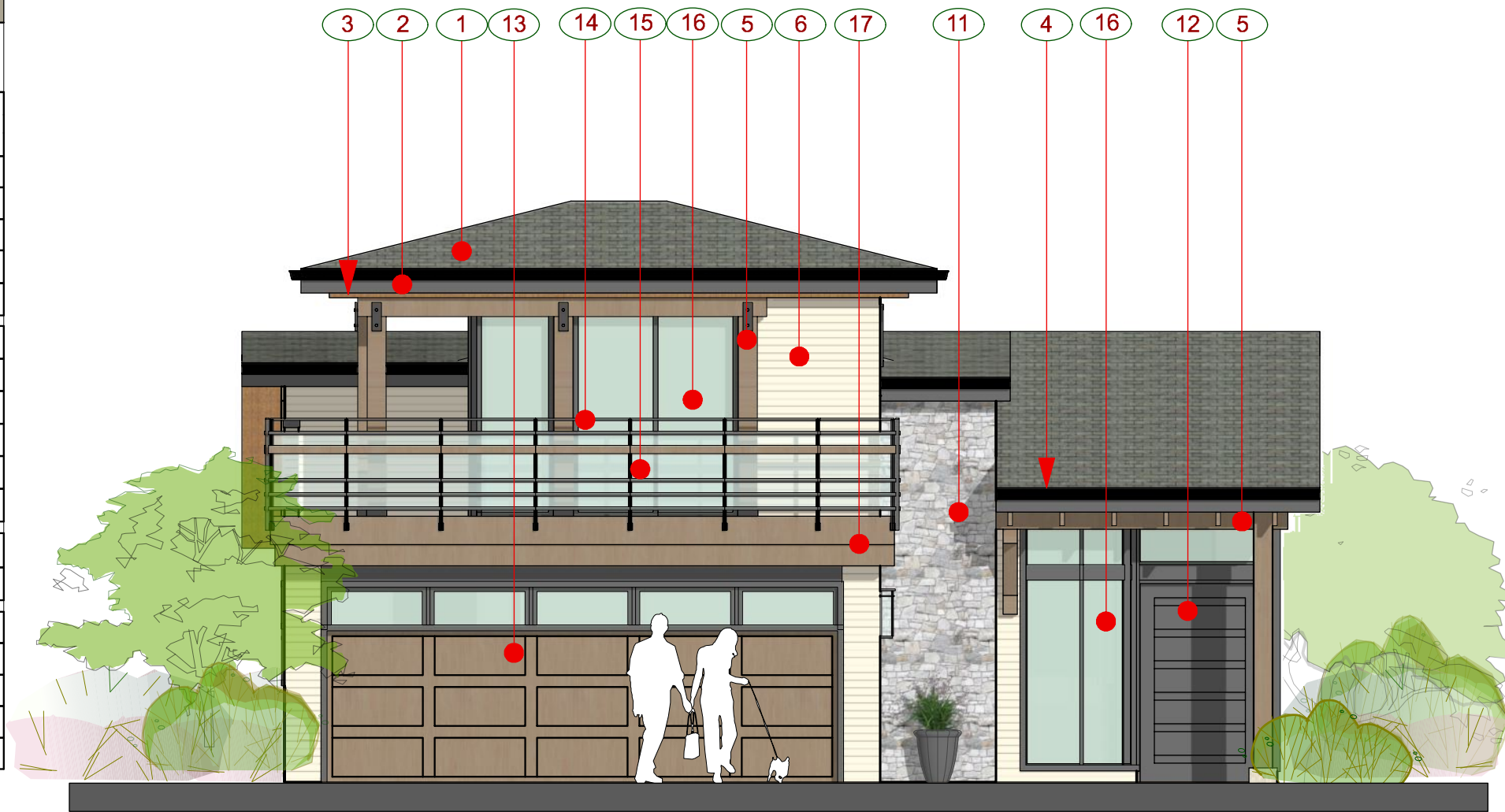
**A-3.2**



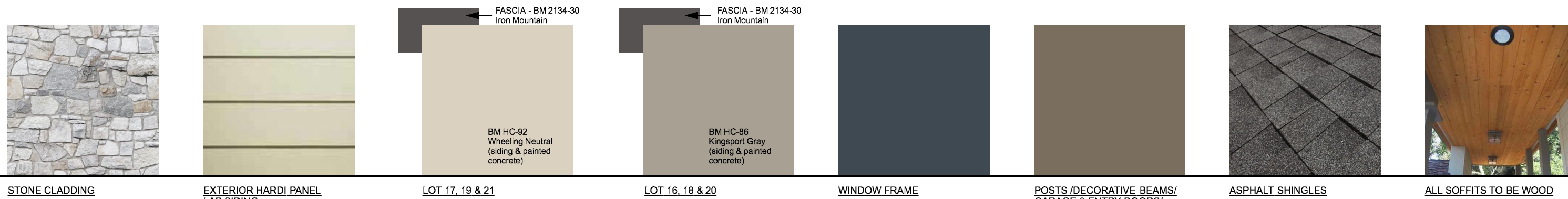
RODGERS CREEK AREA 4 LOT 16 - 21

EXTERIOR MATERIAL & COLOUR SCHEDULE

No.	Material	Colour
1	Asphalt Shingle Roofing	Charcoal Grey
2	Painted wood fascia/barge boards	Benjamin Moore 2134-30 Iron Mountain
3	Engineered Wood soffit	Natural wood with stain finish
4	Prefinished metal rain water leader/gutter	Charcoal Grey
5	Exposed wood rafters/beams	Natural wood with stain finish
6	Fibre Cement lap siding - 4" exposure: Lot 17, Lot 19 and Lot 21	Benjamin Moore HC-92 Wheeling Neutral
7	Fibre Cement lap siding - 4" exposure: Lot 16, Lot 18, Lot 20	Benjamin Moore HC-86 Kingsport Gray
8	Panel siding : Lot 17, Lot 19 and Lot 21	Benjamin Moore HC-92 Wheeling Neutral
9	Panel siding : Lot 16, Lot 18 and Lot 20	Benjamin Moore HC-86 Kingsport Gray
10	Painted exposed concrete	Colour varies to match hozontal siding
11	Natural stone cladding; column c/w beveled stone cap	Natural real thin stone veneer
12	Painted metal entry door c/w transom	Charcoal Grey
13	Painted metal garage door c/w frosted glass 75%	Benjamin Moore HC-85 Fairview Taupe
14	Metal Railing for decks and balconies	Dark Grey
15	Glazed guardrail	AFGD 5mm green
16	Double-glazed vinyl windows & s.g.d.	Charcoal Grey
17	Painted wood deck edge trim	Benjamin Moore HC-85 Fairview Taupe
18	Prefinished metal flashing	Charcoal Grey



LOT 17 - NORTH ELEVATION



STONE CLADDING

EXTERIOR HARDI PANEL LAP SIDING

LOT 17, 19 & 21

LOT 16, 18 & 20

WINDOW FRAME

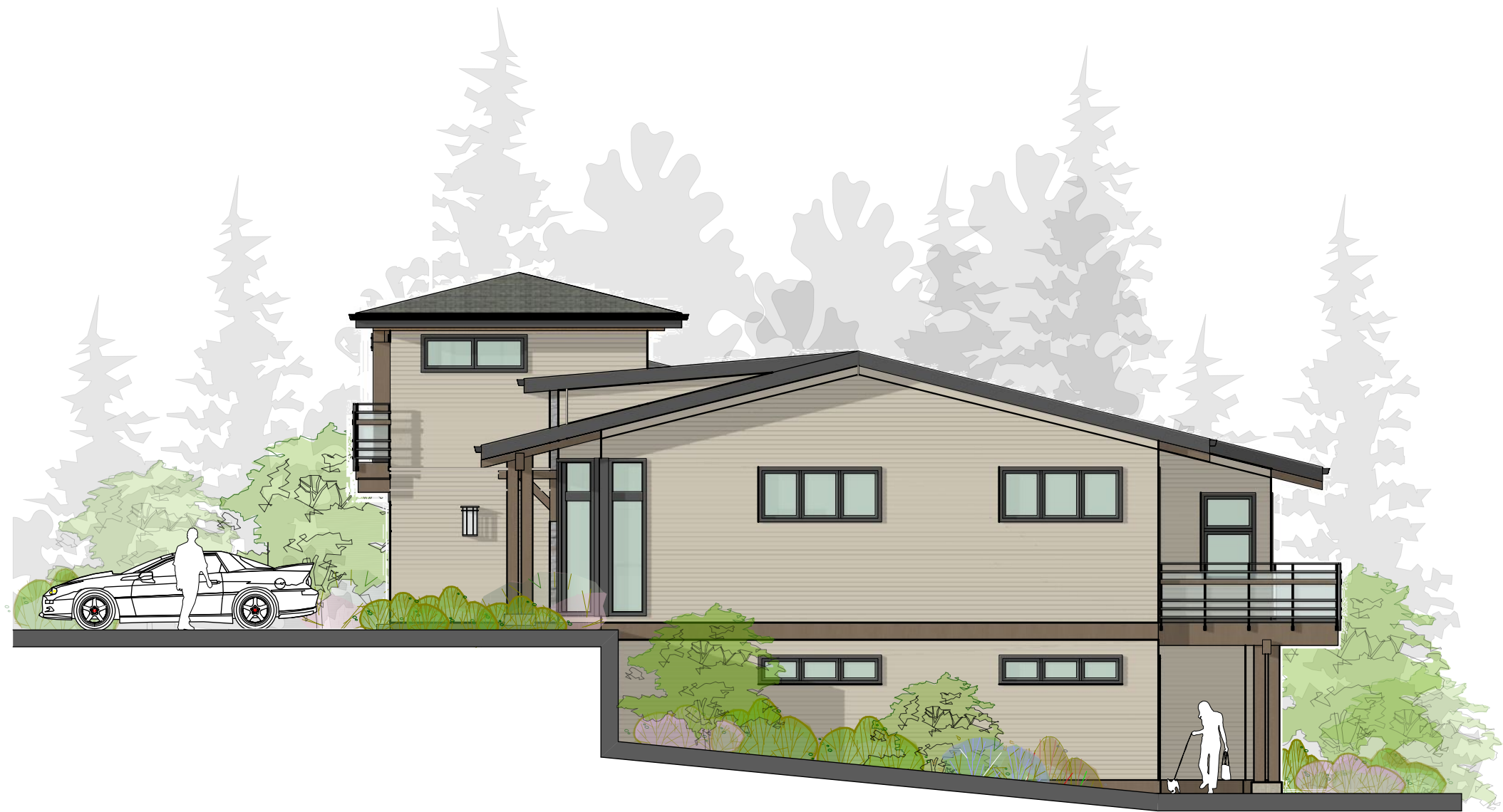
POSTS /DECORATIVE BEAMS/  
GARAGE & ENTRY DOORS/  
BALCONY EDGE

ASPHALT SHINGLES

ALL SOFFITS TO BE WOOD

**Rodgers Creek - Area 4**  
 Lot 17 North Elevations (20 similar) - Colours  
 April 13, 2015 Scale 3/16"=1'-0" @ 11"x17"  
**A-3.3**





**LOT 17 - WEST ELEVATION**

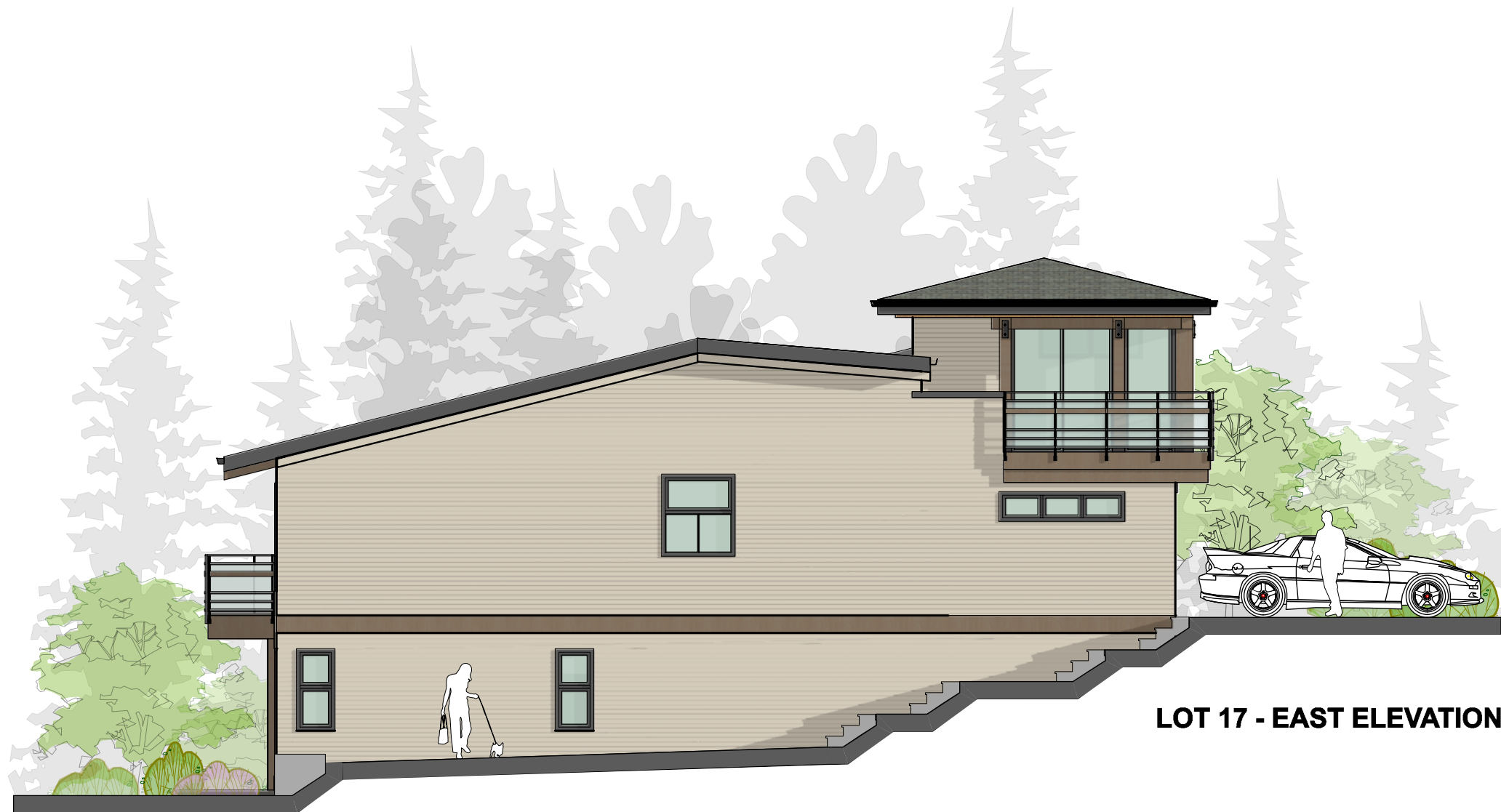
**Rodgers Creek - Area 4**

Lot 17 West Elevations  
April 13, 2015      Scale 1/8"=1'-0" @ 11"x17"

**A-3.4**







**LOT 17 - EAST ELEVATION**

**Rodgers Creek - Area 4**

April 13, 2015

Lot 17 East Elevations

Scale 1/8"=1'-0" @ 11"x17"

**A-3.5**





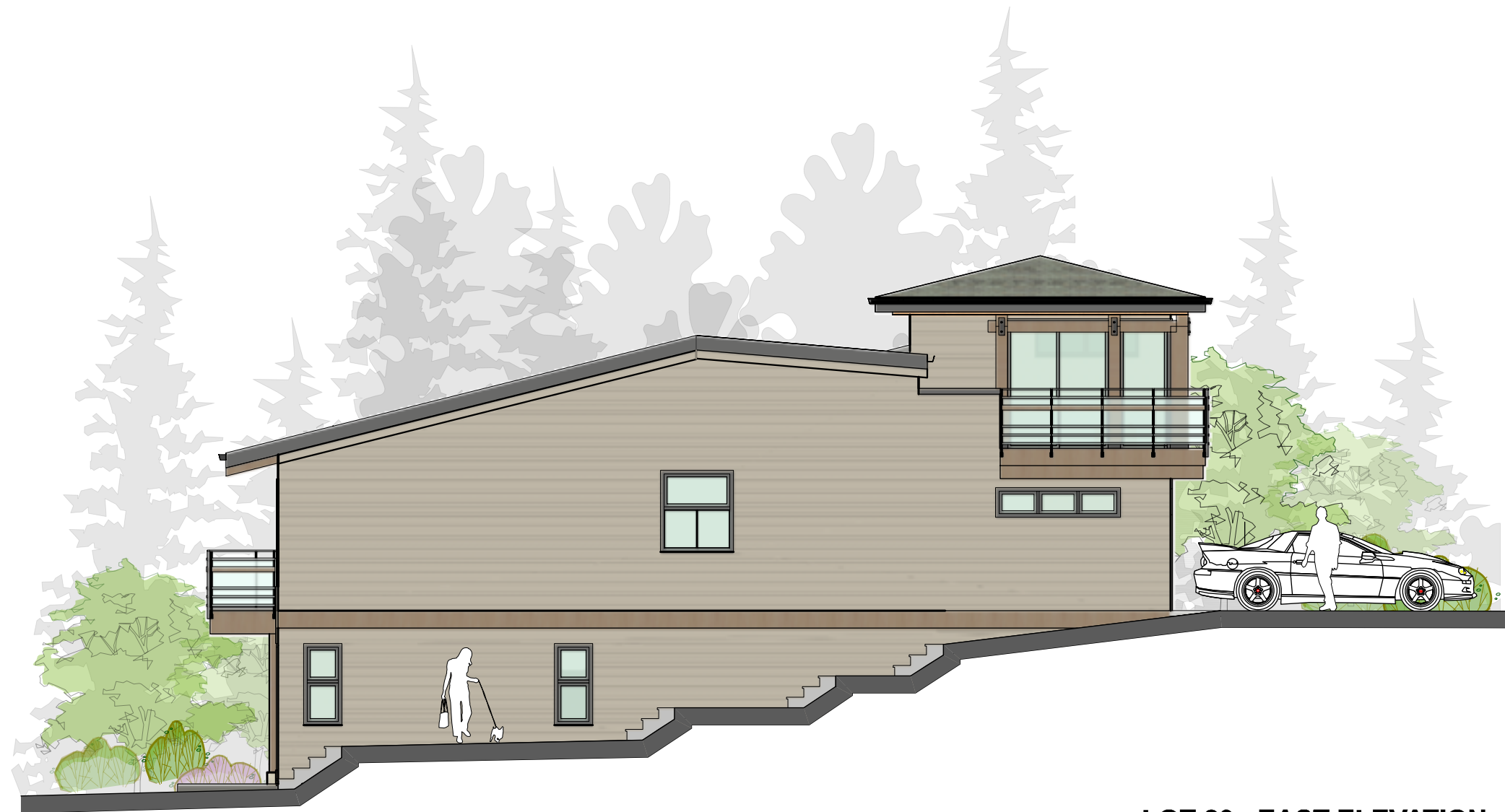
**LOT 20 - WEST ELEVATION**

**Rodgers Creek - Area 4**

Lot 20 West Elevations  
April 13, 2015      Scale 1/8"=1'-0" @ 11"x17"

**A-3.6**





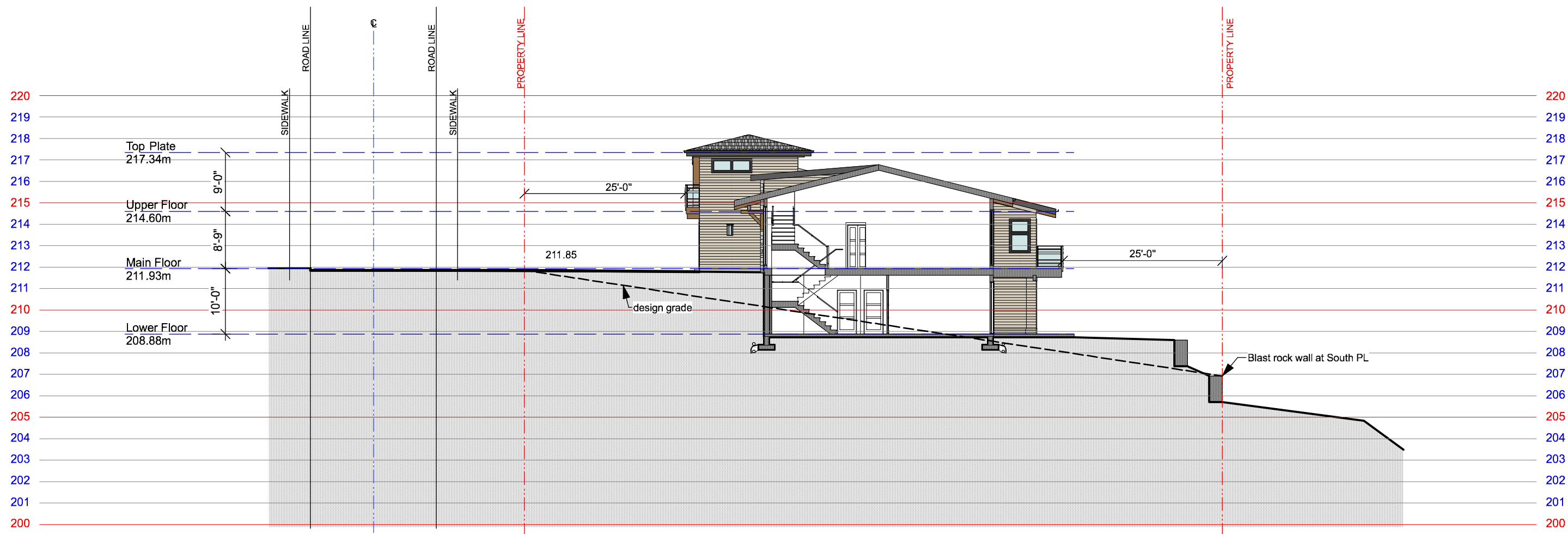
**LOT 20 - EAST ELEVATION**

**Rodgers Creek - Area 4**

Lot 20 East Elevations  
April 13, 2015      Scale 1/8"=1'-0" @ 11"x17"

**A-3.7**

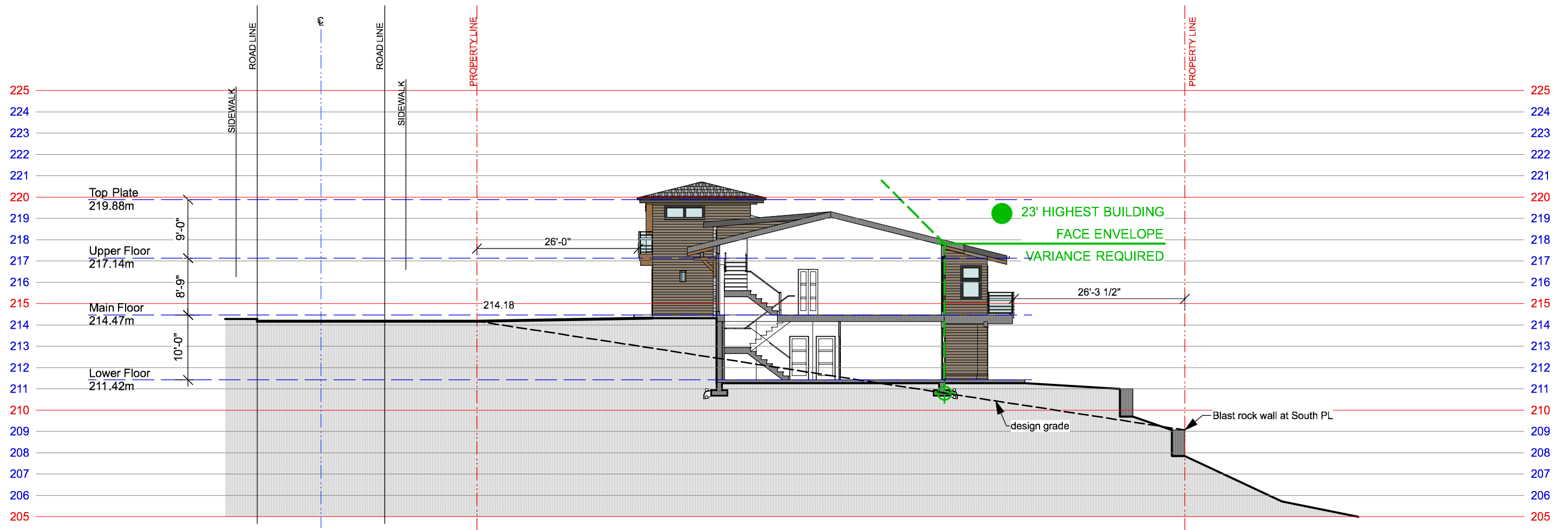




**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

<b>Rodgers Creek - Area 4</b>		 <b>BRITISH PACIFIC HOMES</b>	 <b>CREEKSIDE ARCHITECTS</b>
April 13, 2015	<b>Lot 17 Site Section</b> Scale 1/16" = 1'-0" @ 11"x17" <b>A-3.8</b>		



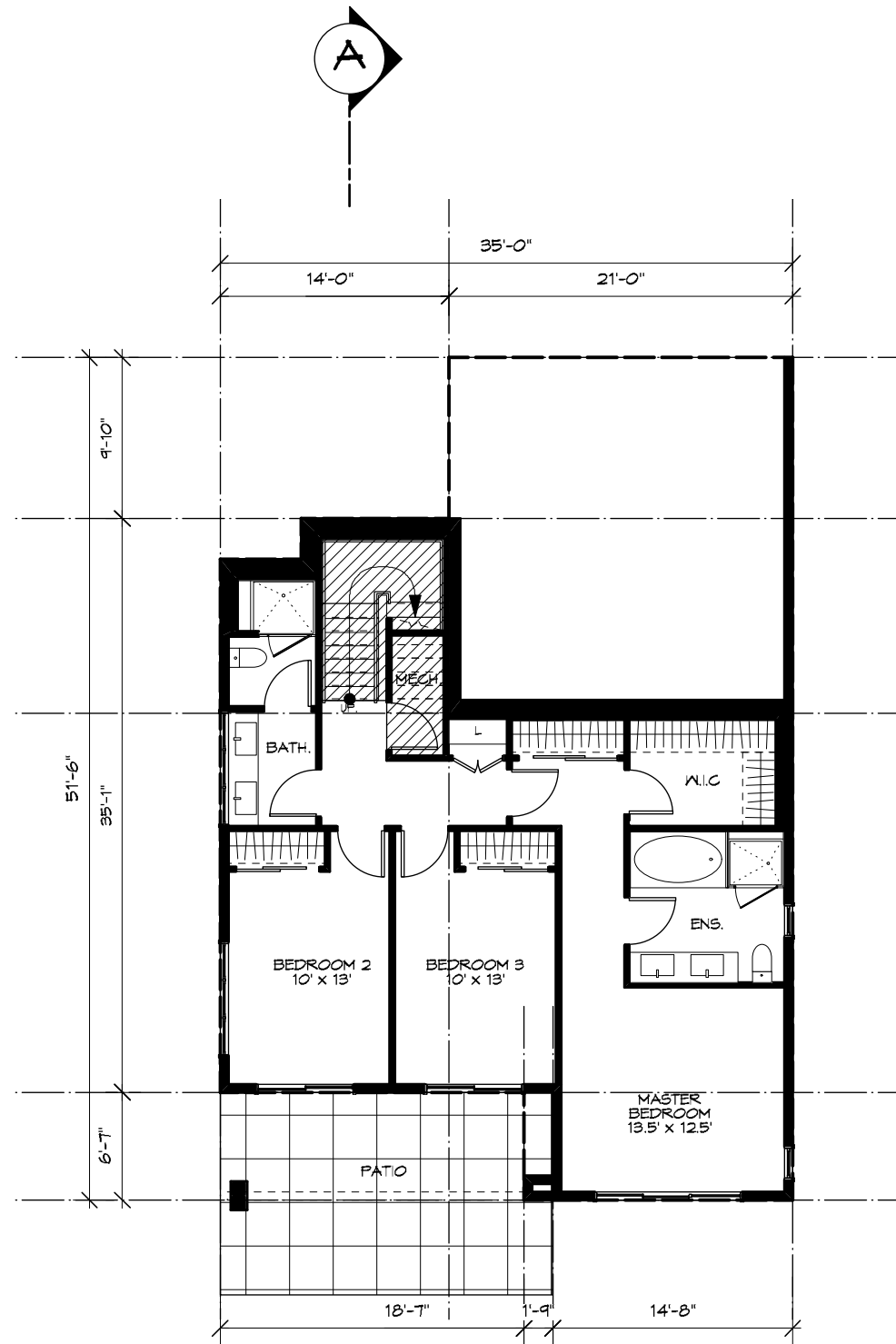
**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

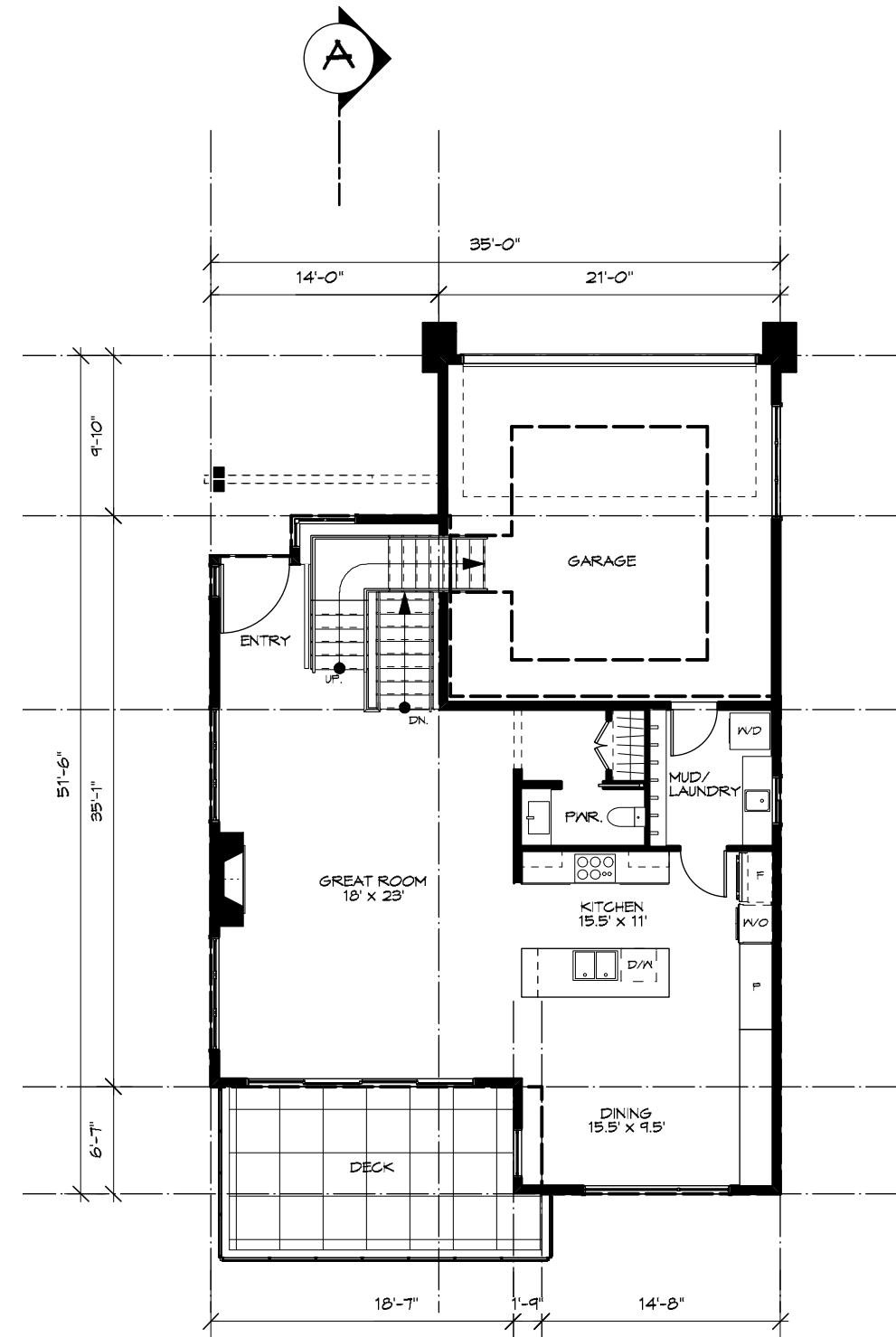
**Rodgers Creek - Area 4**

Lot 20 Site Section  
 April 13, 2015 Scale 1/16" = 1'-0" @11"x17"  
**A-3.9**





**LOWER FLOOR**



**MAIN FLOOR**

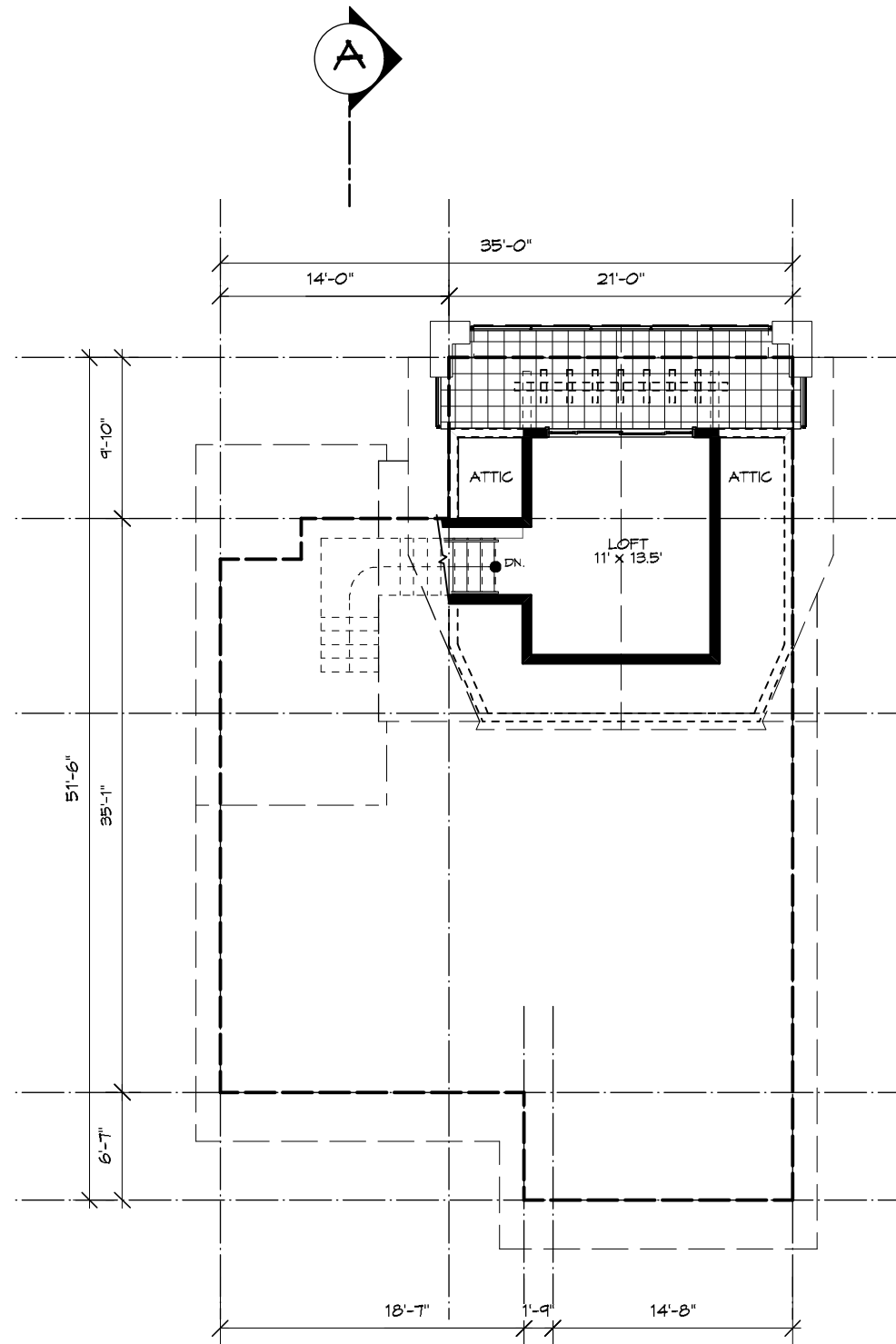
AREA CALCULATION (LOT 18 & 19)/(Ft)				
	Lower	Main	Loft	TOTAL
Gross Area	1087	1,530	239	2,856
Covered Deck Area	0	70	120	190
Exemptions				
stair/mech.	87	0	0	87
garage	0	440	0	440
covered deck max. 6%	0	0	72	142
F.A.R.	1,000	1,160	287	2,377

**Rodgers Creek - Area 4**

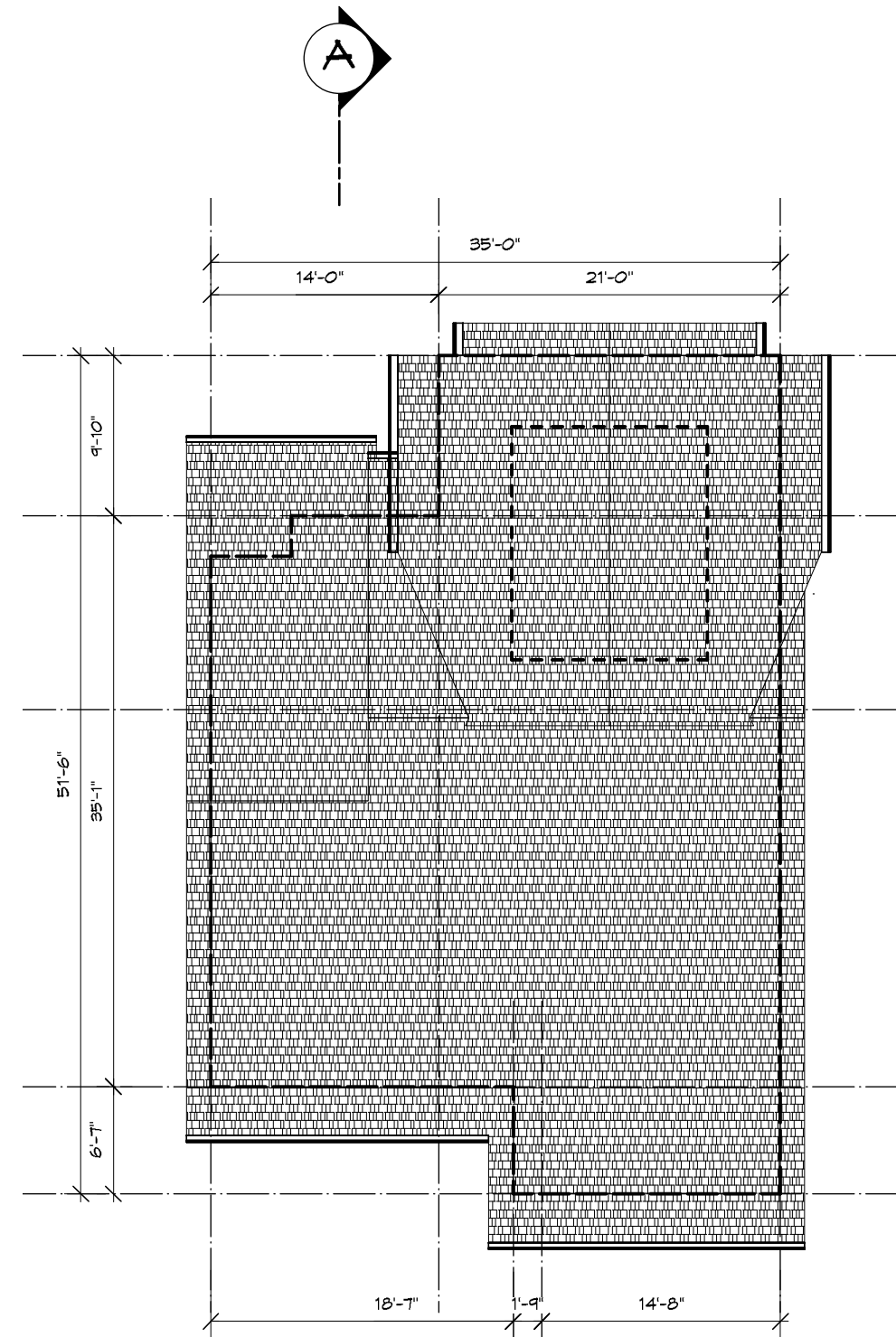
April 13, 2015      Lot 18 & 19 Floor Plans  
 Scale 3/32"=1'-0" @ 11"x17"

**A-4.1**





**LOFT PLAN**



**ROOF PLAN**

AREA CALCULATION (LOT 18 & 19)/(Ft)				
	Lower	Main	Loft	TOTAL
Gross Area	1087	1,530	239	2,856
Covered Deck Area	0	70	120	190
Exemptions				
stair/mech.	87	0	0	87
garage	0	440	0	440
covered deck max. 6%	0	0	72	142
F.A.R.	1,000	1,160	287	2,377

**Rodgers Creek - Area 4**

April 13, 2015      Lot 18 & 19 Floor Plans  
Scale 3/32"=1'-0" @ 11"x17"

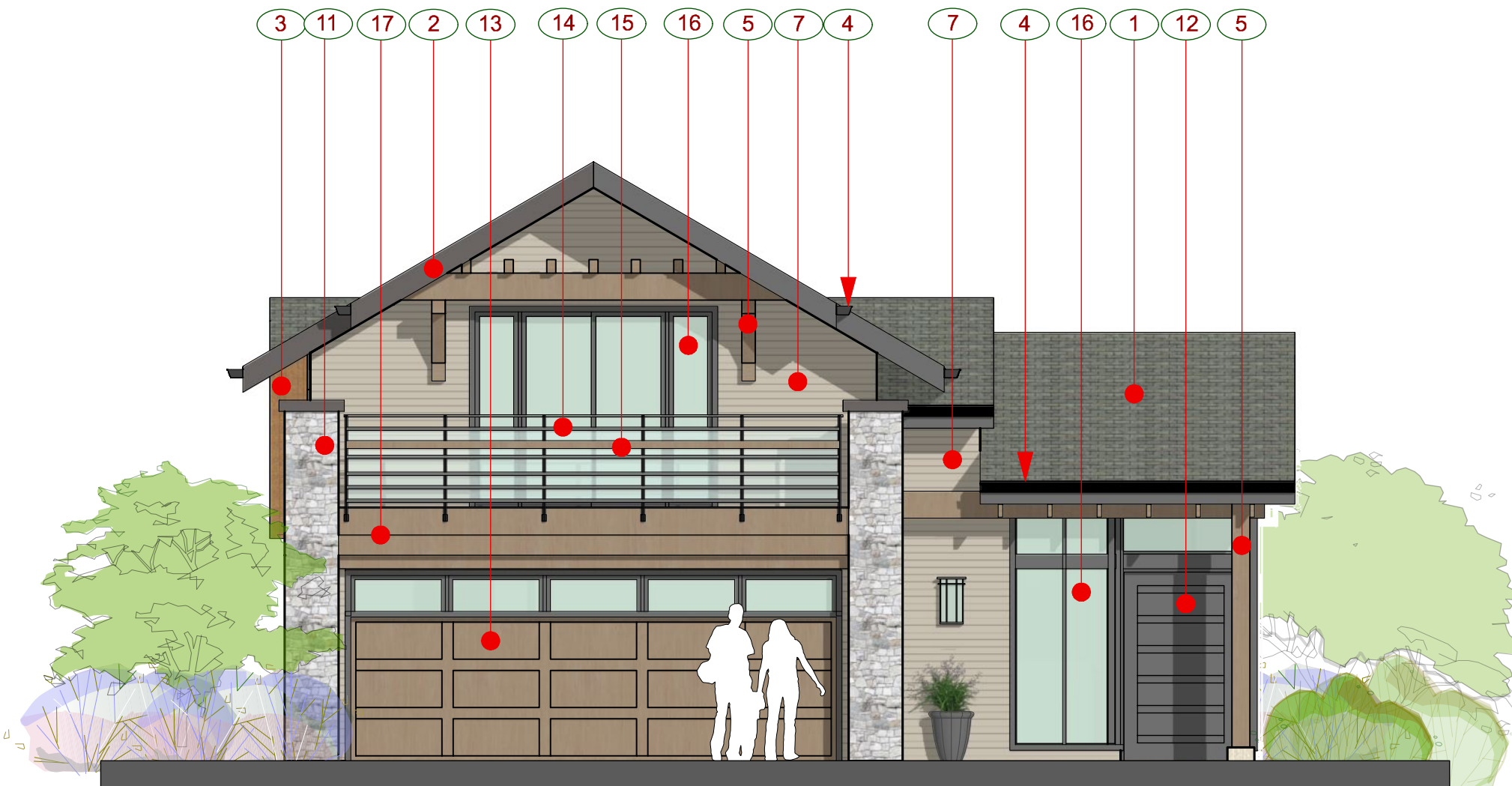
**A-4.2**



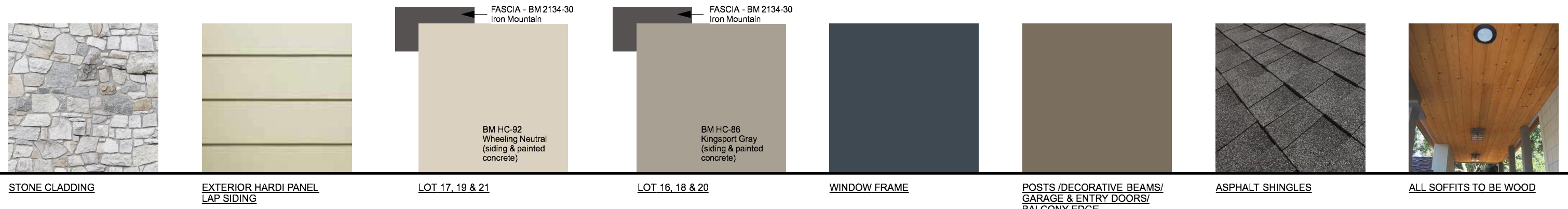
**RODGERS CREEK AREA 4 LOT 16 - 21**

**EXTERIOR MATERIAL & COLOUR SCHEDULE**

No.	Material	Colour
1	Asphalt Shingle Roofing	Charcoal Grey
2	Painted wood fascia/barge boards	Benjamin Moore 2134-30 Iron Mountain
3	Engineered Wood soffit	Natural wood with stain finish
4	Prefinished metal rain water leader/gutter	Charcoal Grey
5	Exposed wood rafters/beams	Natural wood with stain finish
6	Fibre Cement lap siding - 4" exposure: Lot 17, Lot 19 and Lot 21	Benjamin Moore HC-92 Wheeling Neutral
7	Fibre Cement lap siding - 4" exposure: Lot 16, Lot 18, Lot 20	Benjamin Moore HC-86 Kingsport Gray
8	Panel siding : Lot 17, Lot 19 and Lot 21	Benjamin Moore HC-92 Wheeling Neutral
9	Panel siding : Lot 16, Lot 18 and Lot 20	Benjamin Moore HC-86 Kingsport Gray
10	Painted exposed concrete	Colour varies to match hozontal siding
11	Natural stone cladding; column c/w beveled stone cap	Natural real thin stone veneer
12	Painted metal entry door c/w transom	Charcoal Grey
13	Painted metal garage door c/w frosted glass 75%	Benjamin Moore HC-85 Fairview Taupe
14	Metal Railing for decks and balconies	Dark Grey
15	Glazed guardrail	AFGD 5mm green
16	Double-glazed vinyl windows & s.g.d.	Charcoal Grey
17	Painted wood deck edge trim	Benjamin Moore HC-85 Fairview Taupe
18	Prefinished metal flashing	Charcoal Grey



**LOT 18 - NORTH ELEVATION**



**Rodgers Creek - Area 4**

Lot 18 North Elevations (19 similar) Colours

April 13, 2015 Scale 3/16"=1'-0" @ 11"x17"

**A-4.3**







**LOT 18 - WEST ELEVATION**

**Rodgers Creek - Area 4**

April 13, 2015

**Lot 18 West Elevations**  
Scale 1/8"=1'-0" @ 11"x17"  
**A-4.4**





**LOT 18 - EAST ELEVATION**

**Rodgers Creek - Area 4**

April 13, 2015

**Lot 18 East Elevations**  
Scale 1/8"=1'-0" @ 11"x17"  
**A-4.5**





**LOT 19 - WEST ELEVATION**

**Rodgers Creek - Area 4**

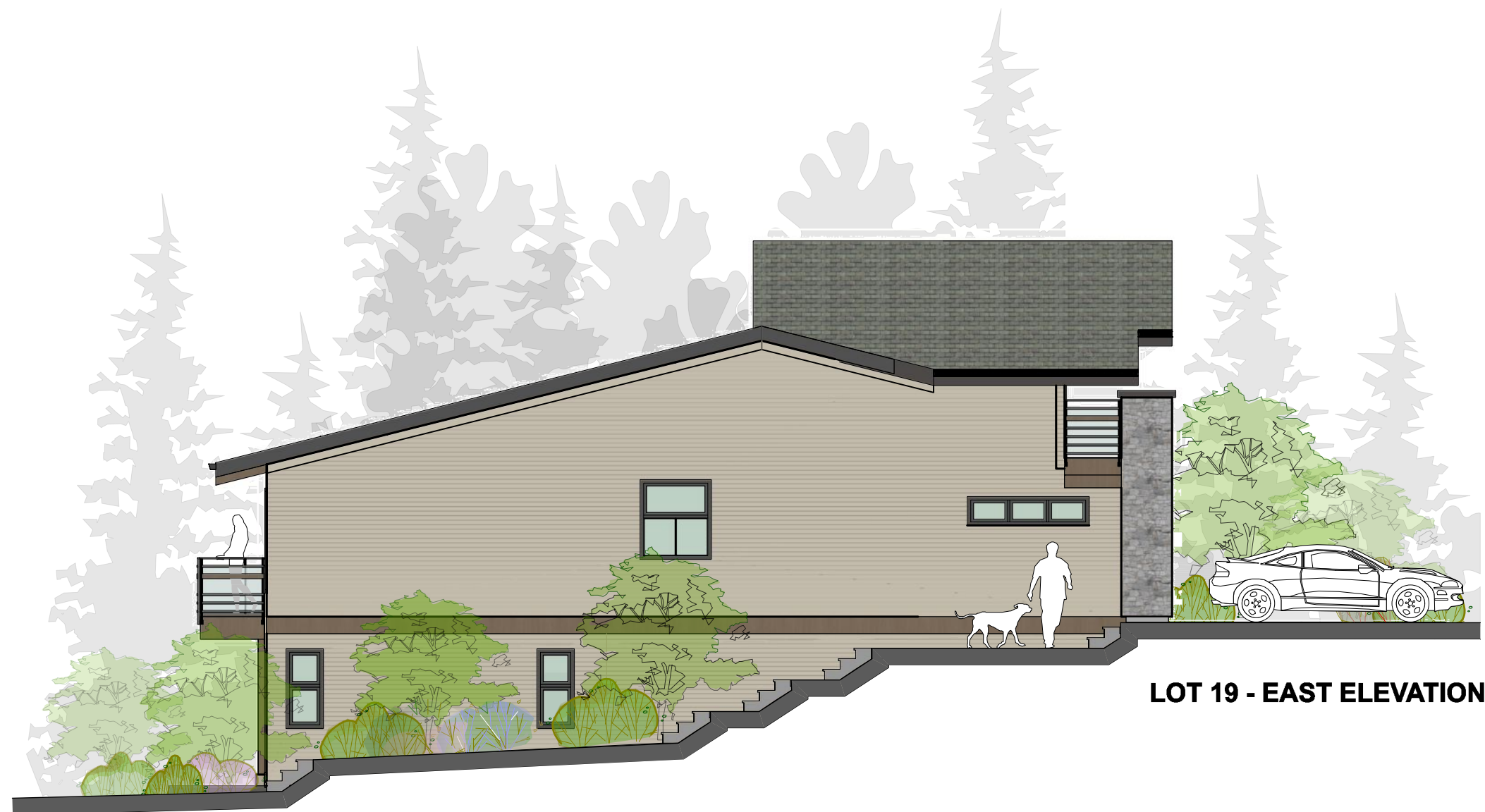
April 13, 2015

**Lot 19 West Elevations**

Scale 1/8"=1'-0" @ 11"x17"

**A-4.6**

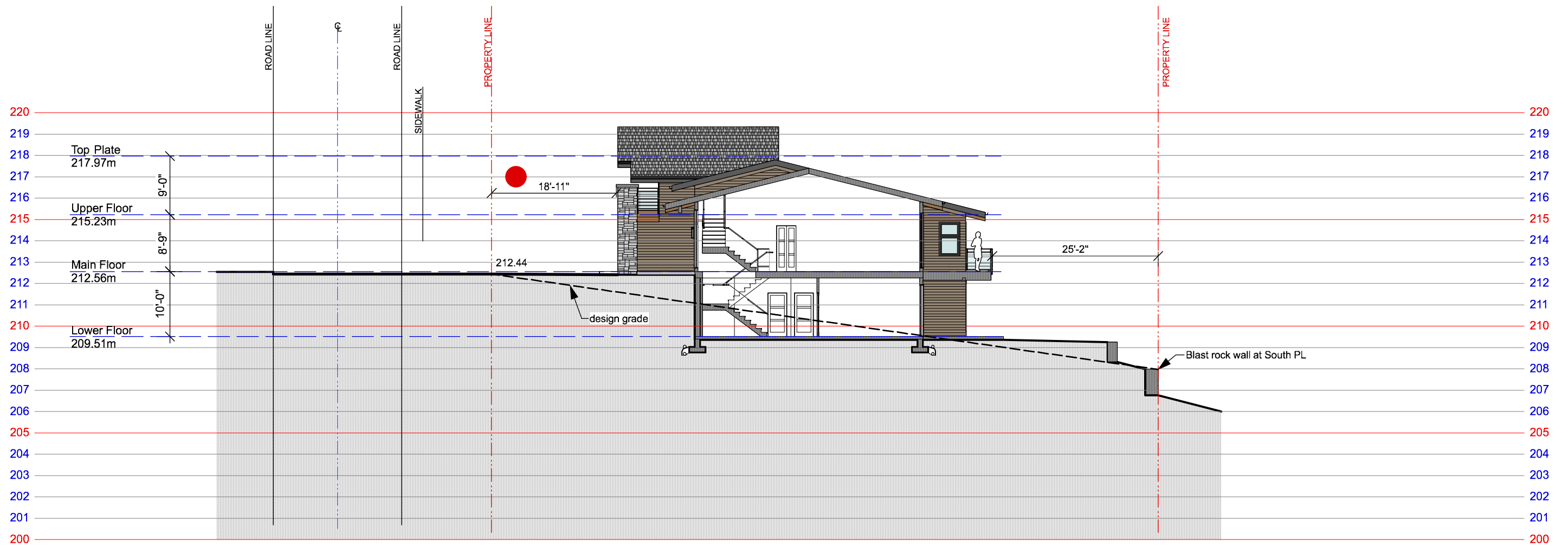




**LOT 19 - EAST ELEVATION**

**Rodgers Creek - Area 4**  
Lot 19 East Elevations  
April 13, 2015  
Scale 1/8"=1'-0" @ 11"x17"  
**A-4.7**





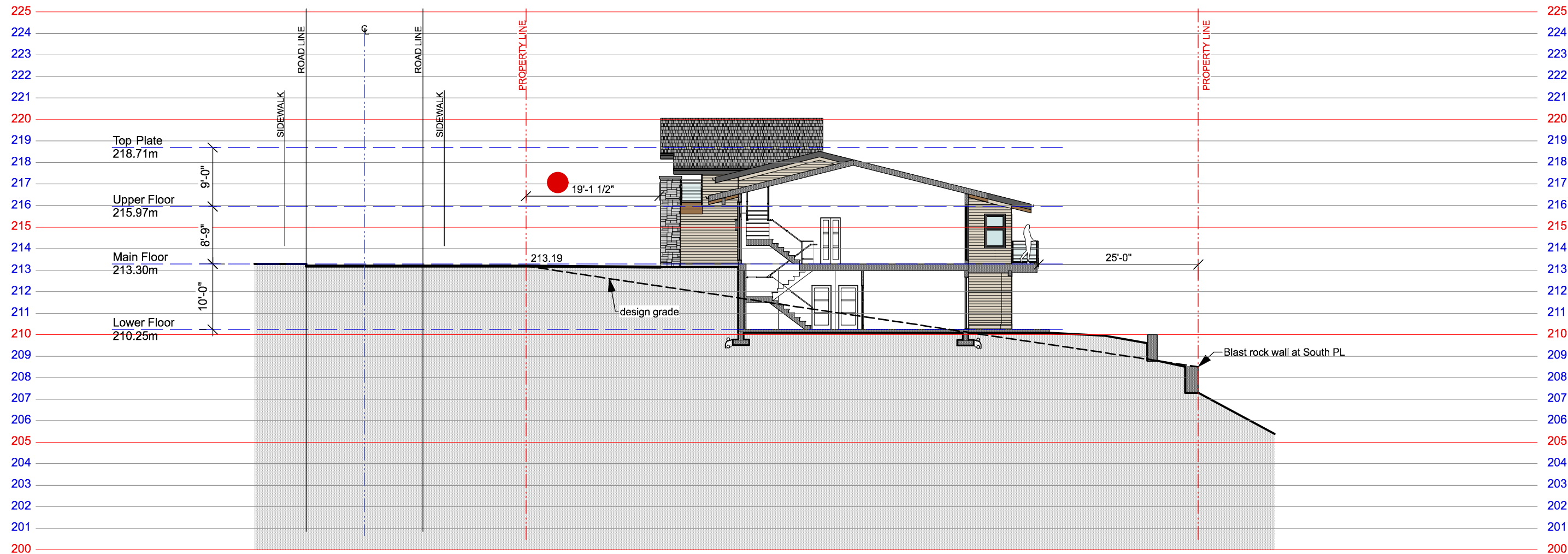
**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

**Rodgers Creek - Area 4**

April 13, 2015  
 Scales 1/16" = 1'-0" @ 11x17  
**A-4.8**





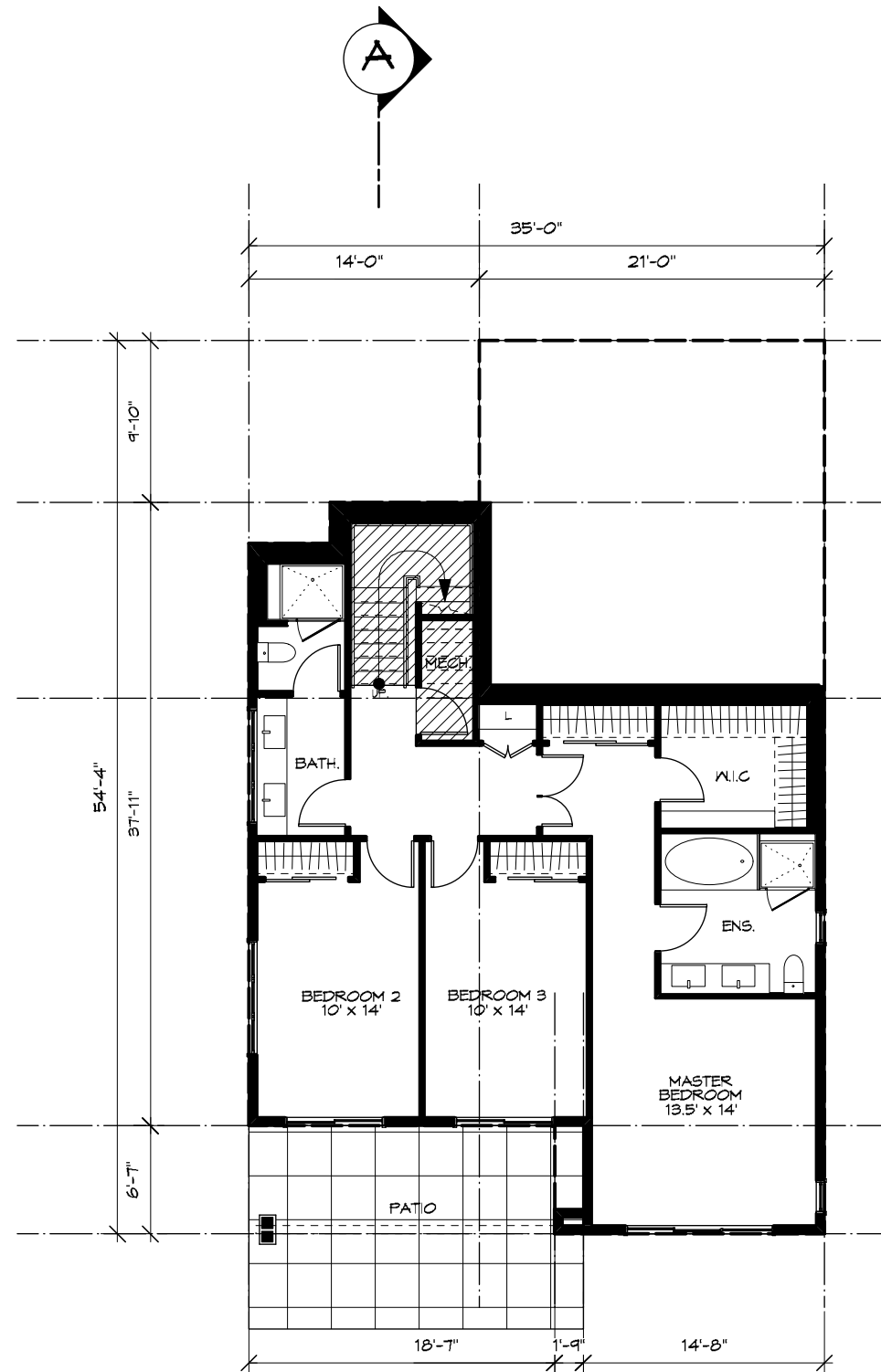
**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

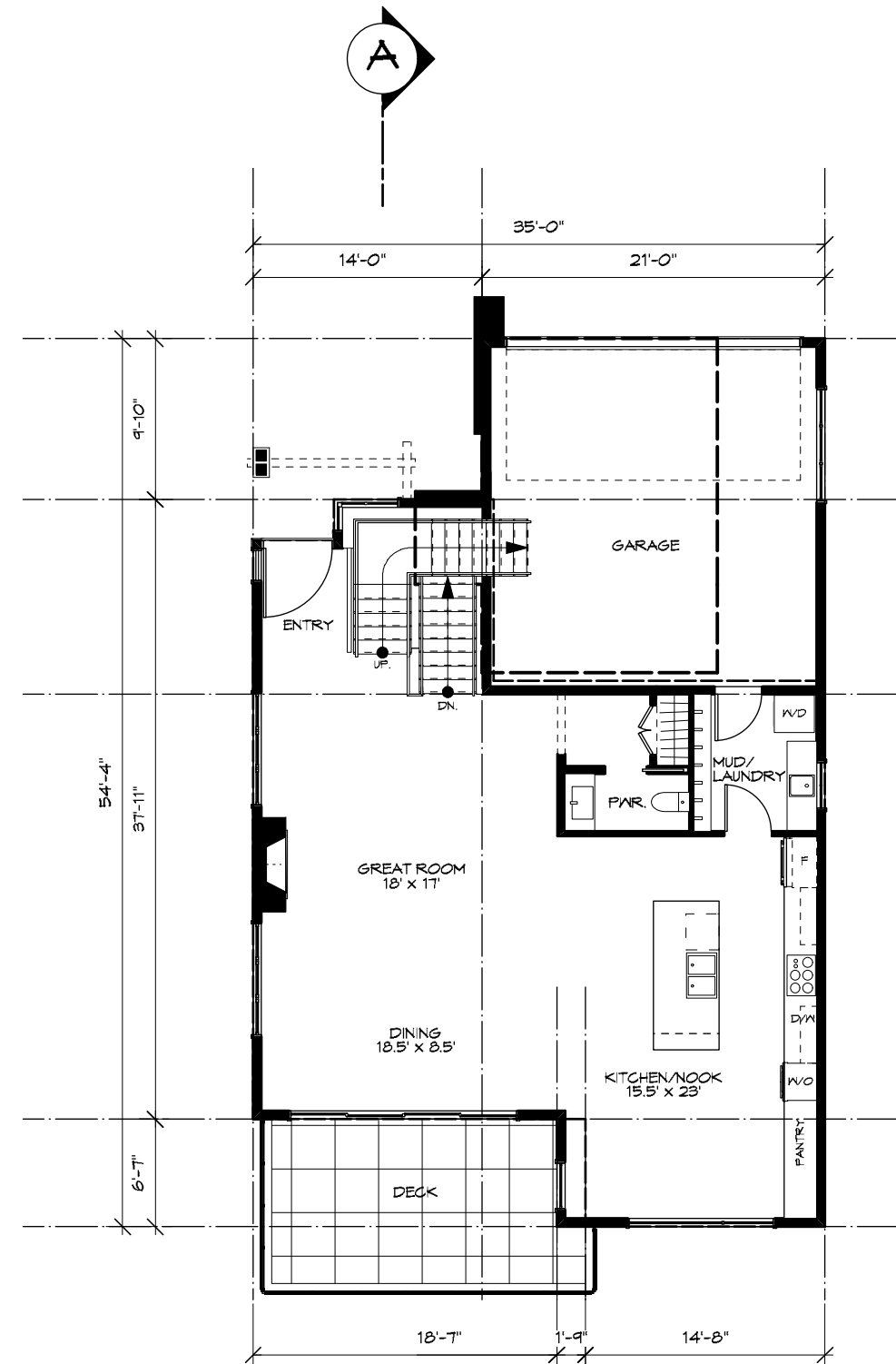
**Rodgers Creek - Area 4**

Lot 19 Section A  
 April 13, 2015 Scales 1/16" = 1'-0" @ 11x17  
**A-4.9**





**LOWER FLOOR**



**MAIN FLOOR**

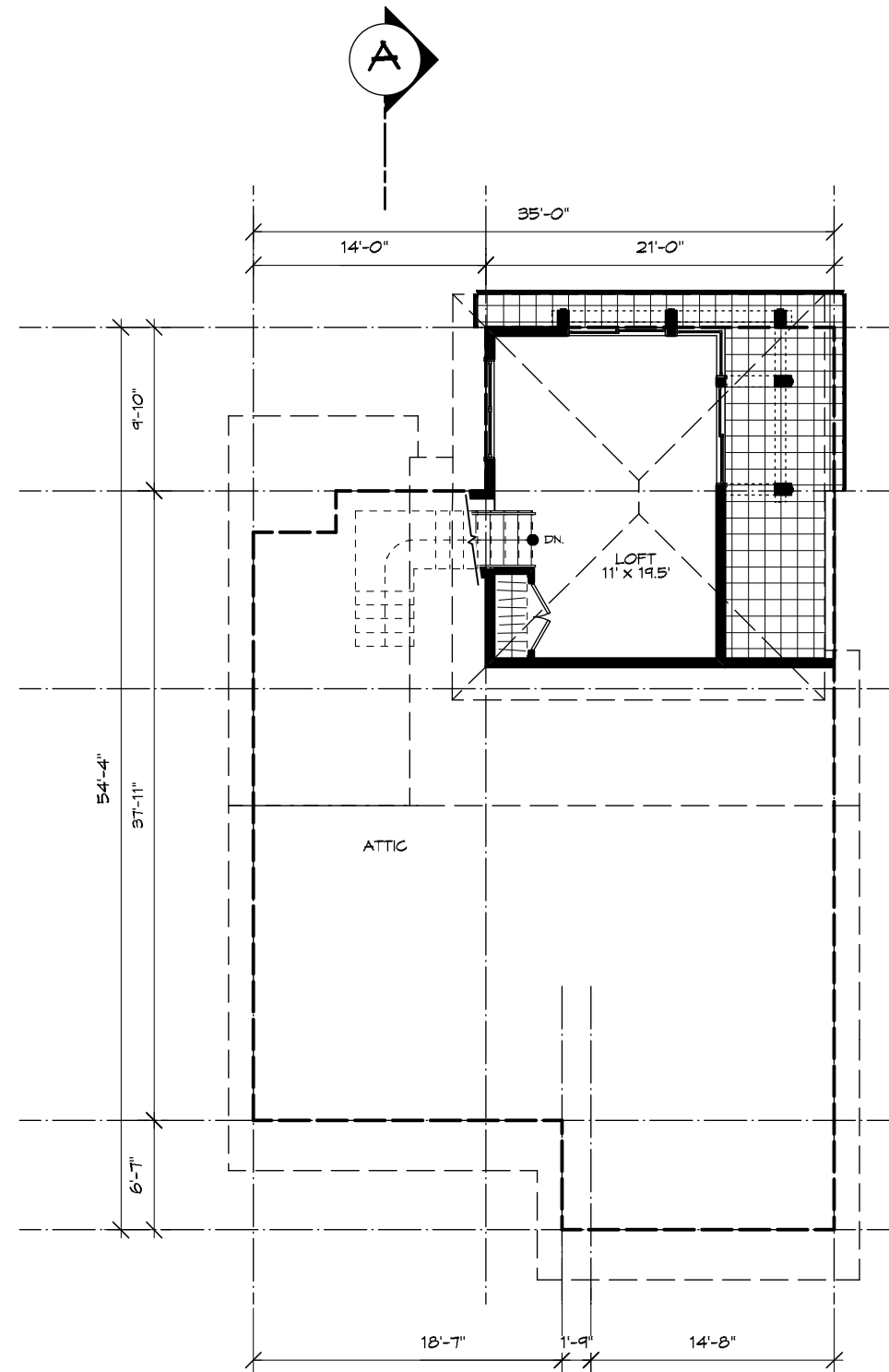
AREA CALCULATION (LOT 21)/(Ft)				
	Lower	Main	Loft	TOTAL
Gross Area	1186	1,629	347	3,162
Covered Deck Area	0	70	123	193
Exemptions				
stair/mech.	87	0	0	87
garage	0	440	0	440
covered deck max. 6%	0	70	90	160
F.A.R.	1,099	1,189	380	2,668

**Rodgers Creek - Area 4**

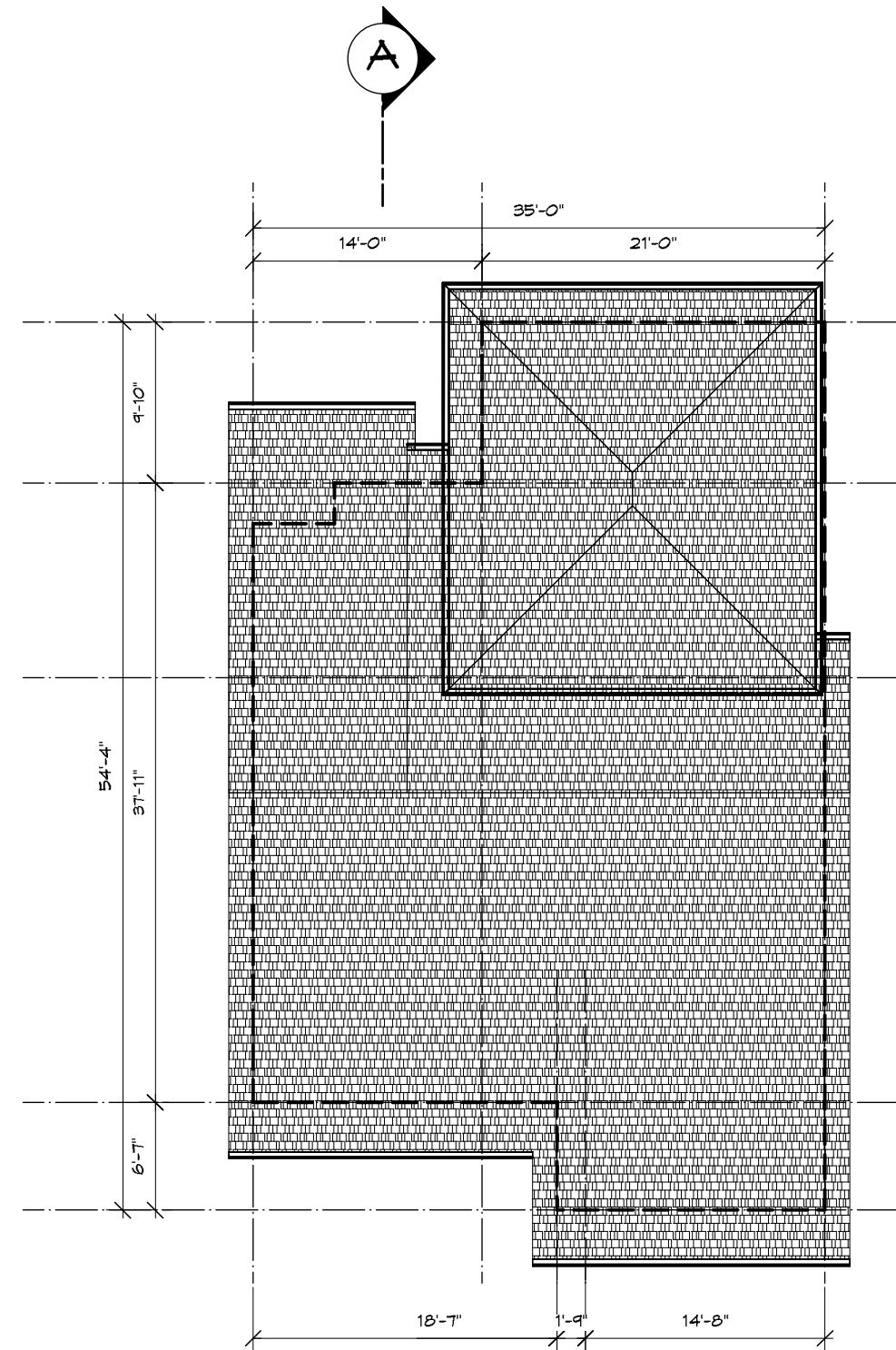
April 13, 2015      Lot 21 Floor Plans      Scale 3/32"=1'-0" @ 11"x17"

**A-5.1**





**LOFT PLAN**



**ROOF PLAN**

AREA CALCULATION (LOT 21)/(Ft)				
	Lower	Main	Loft	TOTAL
Gross Area	1186	1,629	347	3,162
Covered Deck Area	0	70	123	193
Exemptions				
stair/mech.	87	0	0	87
garage	0	440	0	440
covered deck max. 6%	0	70	90	160
F.A.R.	1,099	1,189	380	2,668

**Rodgers Creek - Area 4**

April 13, 2015      Lot 21 Floor Plans      Scale 3/32"=1'-0" @ 11"x17"

**A-5.2**

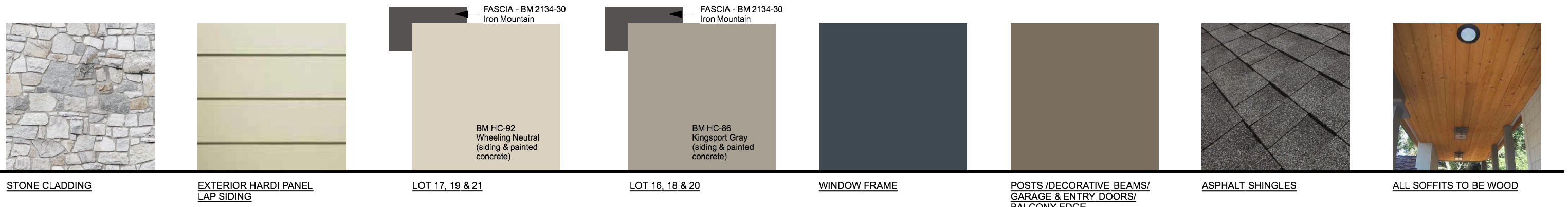
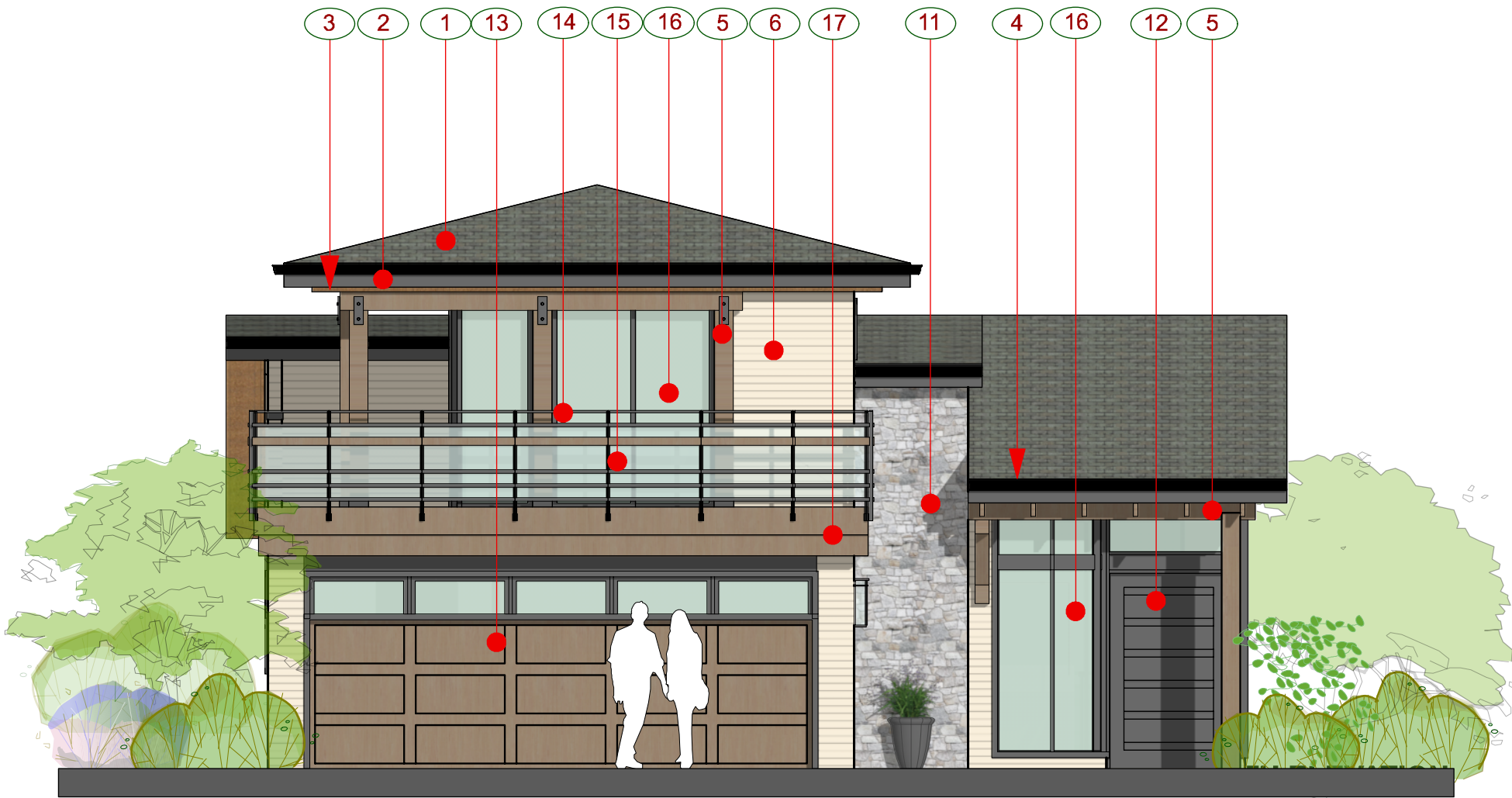




**RODGERS CREEK AREA 4 LOT 17 - 21**

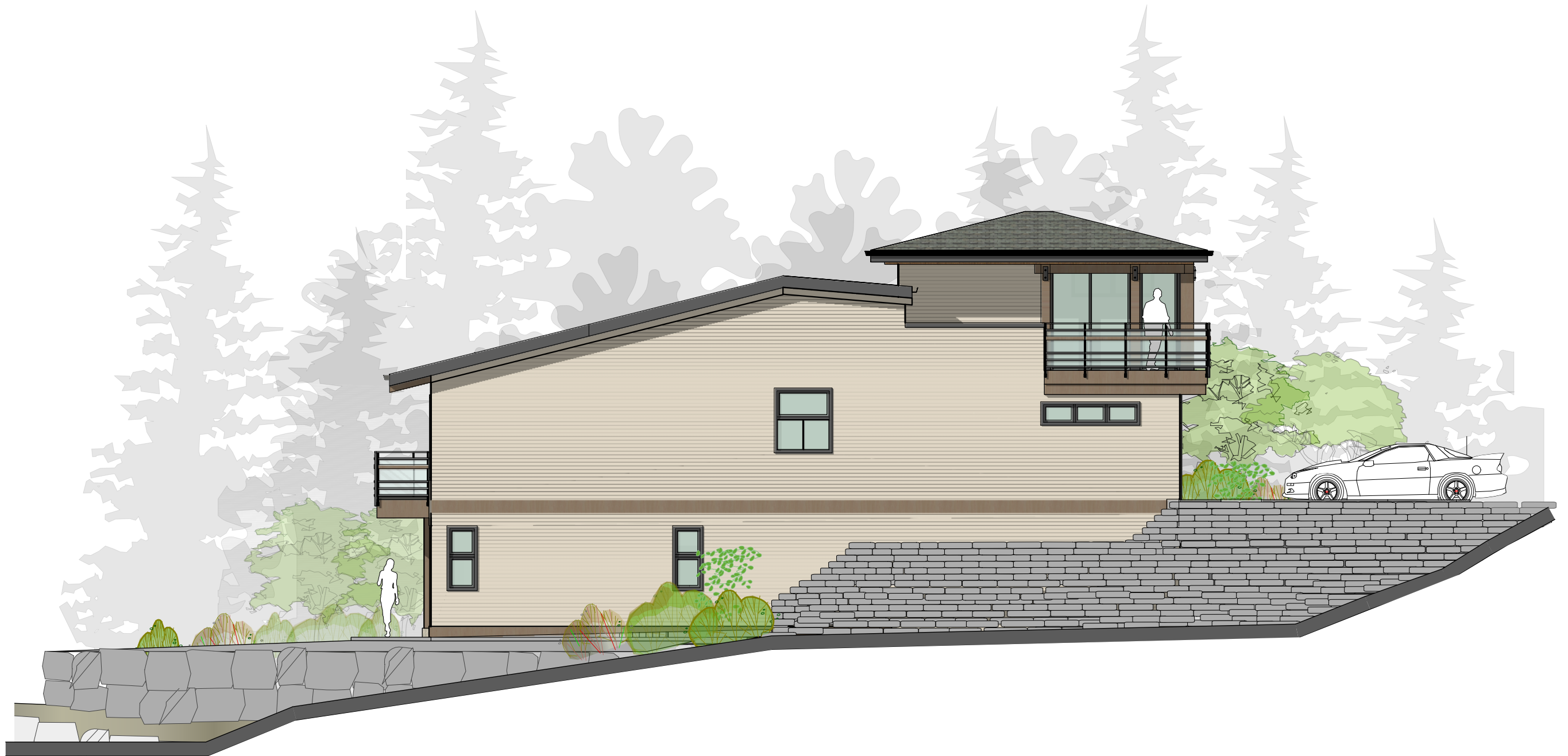
**EXTERIOR MATERIAL & COLOUR SCHEDULE**

No.	Material	Colour
1	Asphalt Shingle Roofing	Charcoal Grey
2	Painted wood fascia/barge boards	Benjamin Moore 2134-30 Iron Mountain
3	Engineered Wood soffit	Natural wood with stain finish
4	Prefinished metal rain water leader/gutter	Charcoal Grey
5	Exposed wood rafters/beams	Natural wood with stain finish
6	Fibre Cement lap siding - 4" exposure: Lot 17, Lot 19 and Lot 21	Benjamin Moore HC-92 Wheeling Neutral
7	Fibre Cement lap siding - 4" exposure: Lot 16, Lot 18, Lot 20	Benjamin Moore HC-86 Kingsport Gray
8	Panel siding : Lot 17, Lot 19 and Lot 21	Benjamin Moore HC-92 Wheeling Neutral
9	Panel siding : Lot 16, Lot 18 and Lot 20	Benjamin Moore HC-86 Kingsport Gray
10	Painted exposed concrete	Colour varies to match hozontal siding
11	Natural stone cladding; column c/w beveled stone cap	Natural real thin stone veneer
12	Painted metal entry door c/w transom	Charcoal Grey
13	Painted metal garage door c/w frosted glass 75%	Benjamin Moore HC-85 Fairview Taupe
14	Metal Railing for decks and balconies	Dark Grey
15	Glazed guardrail	AFGD 5mm green
16	Double-glazed vinyl windows & s.g.d.	Charcoal Grey
17	Painted wood deck edge trim	Benjamin Moore HC-85 Fairview Taupe
18	Prefinished metal flashing	Charcoal Grey



**Rodgers Creek - Area 4**  
 Lot 21 North Elevation Colours  
 April 13, 2015 Scale 3/16"=1'-0" @ 11"x17"  
**A-5.3**





**LOT 21 - EAST ELEVATION**

**Rodgers Creek - Area 4**

April 13, 2015

Lot 21 East Elevation

Scale 1/8"=1'-0" @ 11"x17"

**A-5.4**





**LOT 21 - WEST ELEVATION**

**Rodgers Creek - Area 4**

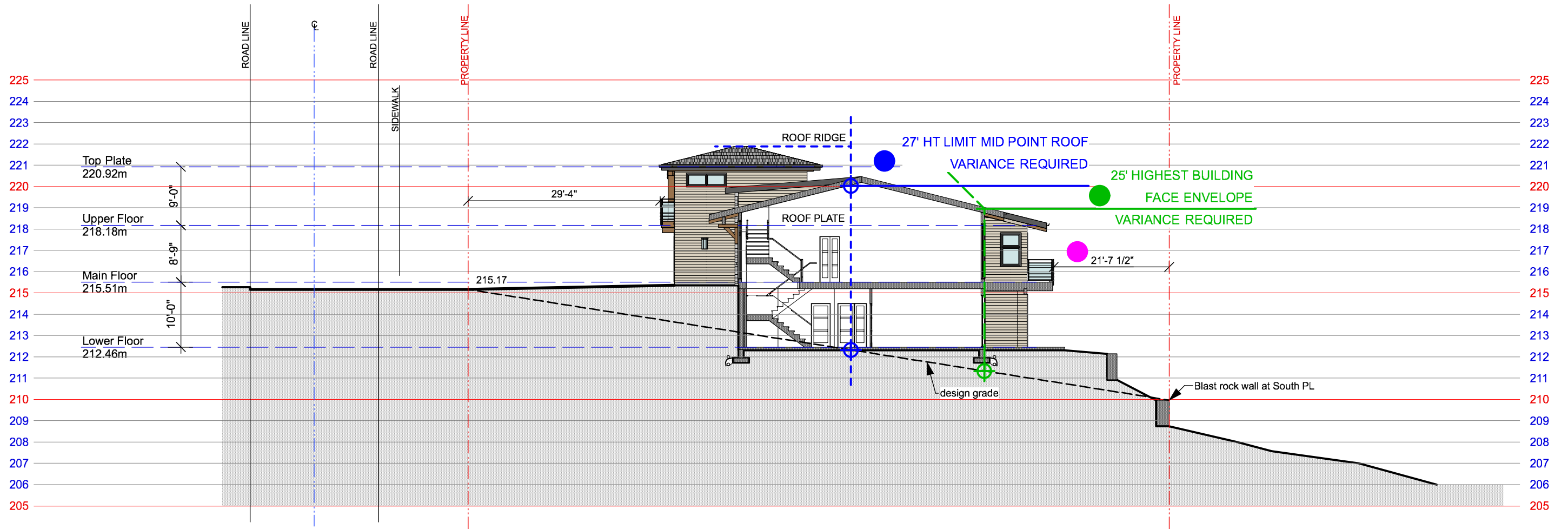
April 13, 2015

Lot 21 West Elevation

Scale 1/8"=1'-0" @ 11"x17"

**A-5.5**





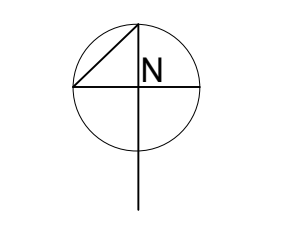
**LEGEND:**

- 7.6M (25'-0") FRONT YARD VARIANCE REQUIRED
- 7.6M (25'-0") REAR YARD VARIANCE REQUIRED
- 6.7M (22'-0") HIGHEST BUILDING FACE ENVELOPE VARIANCE REQUIRED
- 7.6M (25'-0") BUILDING HEIGHT VARIANCE REQUIRED

**Rodgers Creek - Area 4**

Lot 21 Site Section  
 April 13, 2015 Scales 1/16"=1'-0" @ 11"x17"  
**A-5.6**





**FORMA DESIGN INC.**  
www.formadesign.ca

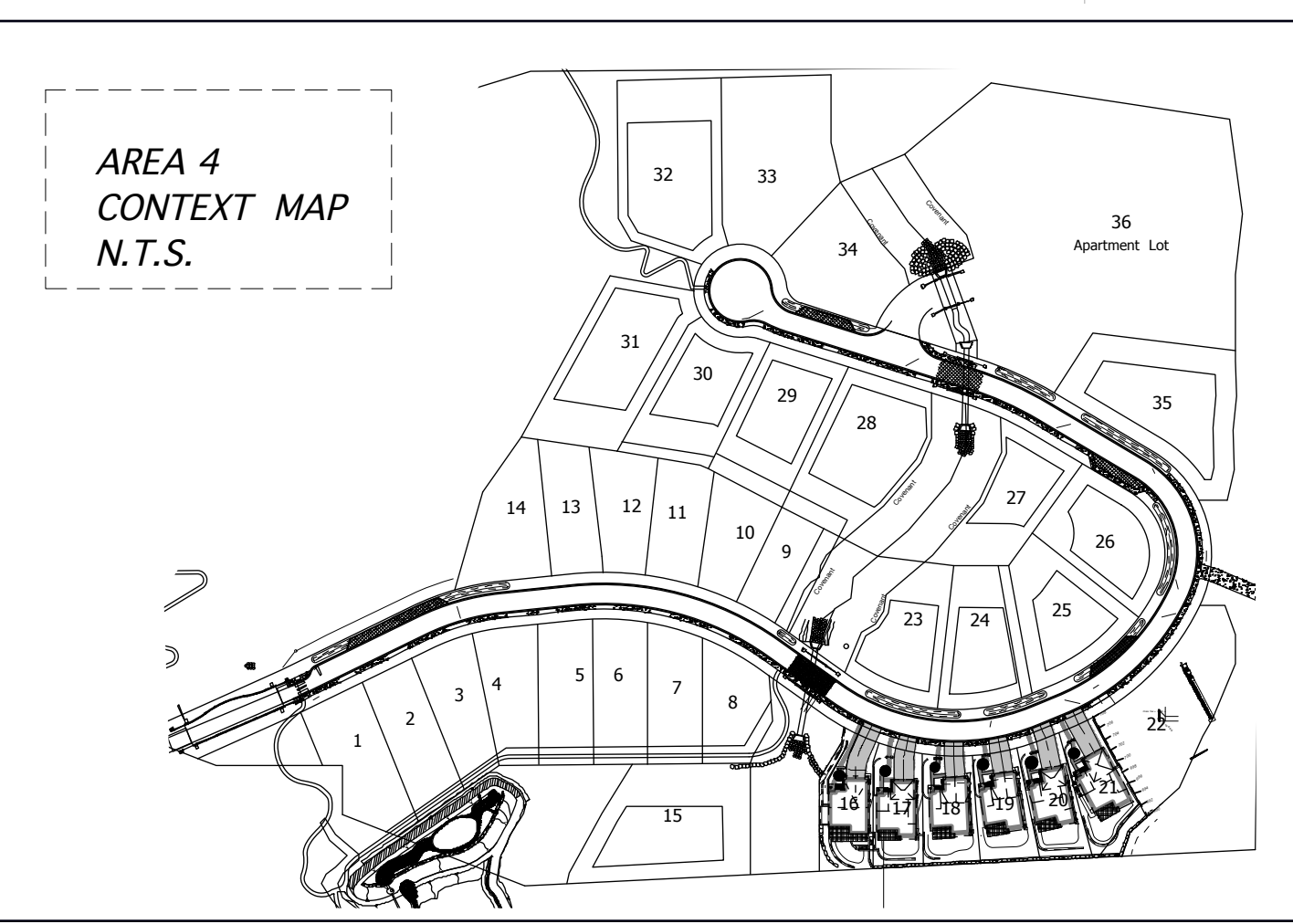
209-828 Harbourside Dr.  
North Vancouver  
British Columbia  
Canada V7P 3R9  
tel 604-986-9193  
fax 604-986-7320

- REVISIONS:
1. DP check set Jan 27, 2015
  2. South wall material revised, out to arch Mar 5, 2015
  3. submit for DP April 13, 2015

COORDINATES:

CHAPMAN LAND SURVEYING LTD.  
British Columbia Land Surveyors  
107-100 Park Royal South  
WEST VANCOUVER, B.C.

Note:  
Elevations are to Geoidic Datum



**General Notes:**

1. All walls to be inspected and approved by geotech and structural engineer.
2. Ensure positive drainage behind all walls and throughout site.
3. All walls to conform to West Vancouver municipal bylaws and Rodgers Creek Design Guidelines
4. All landscape works (including boulevard areas) to be automatically irrigated
5. Where soft landscape areas meet building foundation wall, 12-18" wide gravel drain strip to be installed at landscape grade.

**DRAWING LEGEND:**

- 18" wide gravel drainage strip
- entry arbour
- split-faced blast rock retaining wall
- MSE retaining wall ( w/ 1:6 batter)
- flex mse vegetated geomodular wall ( w/ 1:4 batter)
- cip concrete retaining wall

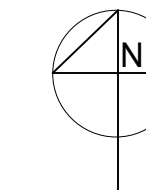
\* NOTE: ALL WALLS TO BE ENGINEERED \*

PROJECT:  
**Small Lots  
Rodgers Creek  
Area 4  
West Vancouver, BC**

SITE PLAN

SCALE:  
3/32" = 1'-0"

DATE:  
14.008  
SHEET:  
L1 OF 4



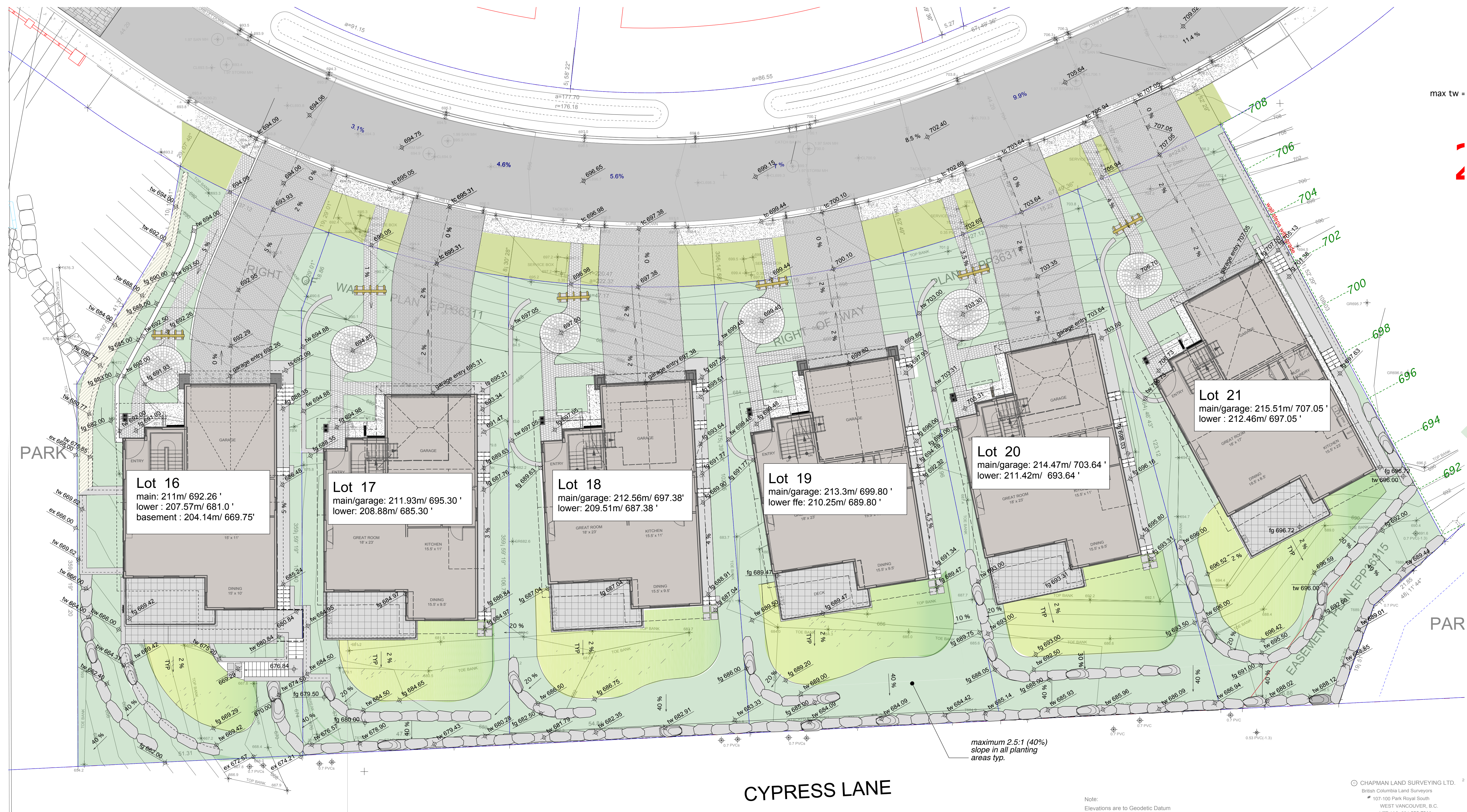
209-828 Harbourside Dr.  
North Vancouver  
British Columbia  
Canada V7P 3R9  
tel 604-986-9193  
fax 604-986-7320

1. DP check set Jan 27, 2015  
2. South wall material revised, out to arch Mar 5, 2015  
3. submit for DP April 13, 2015

**Small Lots  
Rodgers Creek  
Area 4  
West Vancouver, BC**

**GRADING PLAN**

Scale: **3/32" = 1'-0"**



**Lot 16**  
main: 211m/ 692.26'  
lower: 207.57m/ 681.0'  
basement: 204.14m/ 669.75'

**Lot 17**  
main/garage: 211.93m/ 695.30'  
lower: 208.88m/ 685.30'

**Lot 18**  
main/garage: 212.56m/ 697.38'  
lower: 209.51m/ 687.38'

**Lot 19**  
main/garage: 213.3m/ 699.80'  
lower ffe: 210.25m/ 689.80'

**Lot 20**  
main/garage: 214.47m/ 703.64'  
lower: 211.42m/ 693.64'

**Lot 21**  
main/garage: 215.51m/ 707.05'  
lower: 212.46m/ 697.05'

maximum 2.5:1 (40%)  
slope in all planting  
areas typ.

**DRAWING LEGEND:**

- design grade - imperial (proposed)
- interpolated grade contour - imperial (as per lot servicing)

**WALL LEGEND:**

- split-faced blast rock retaining wall
- MSE retaining wall (w/ 1:6 batter)
- flex mse vegetated geomodular wall (w/ 1:4 batter)
- cip concrete retaining wall

\* NOTE: ALL WALLS TO BE ENGINEERED \*

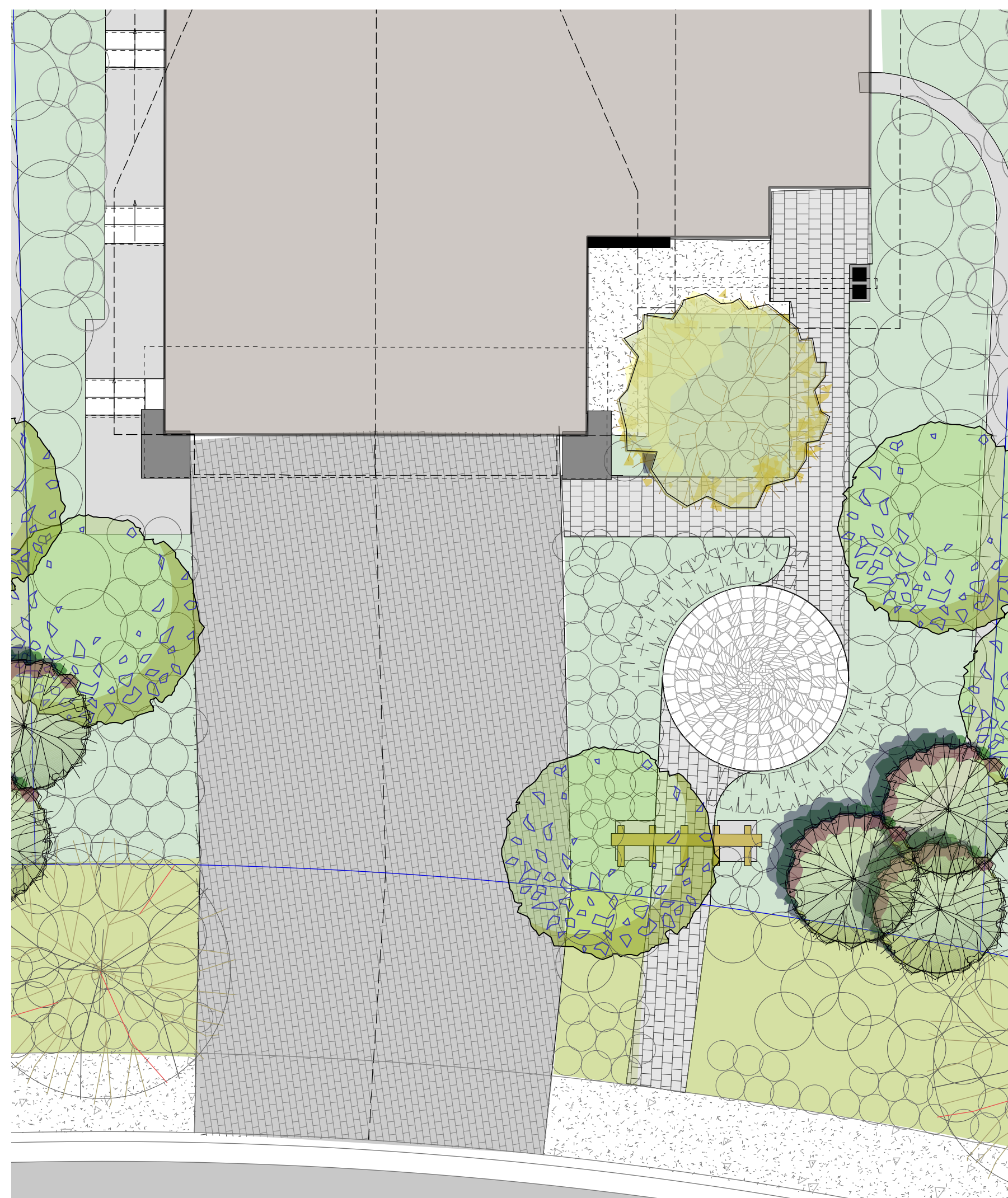
**GENERAL NOTES:**

1. all walls to be inspected and approved by geotech and structural engineer.
2. ensure positive drainage behind all walls and throughout site.
3. all walls to conform to West Vancouver municipal bylaws and Rodgers Creek Design Guidelines
4. all landscape works (including boulevard areas) to be automatically irrigated
5. where soft landscape areas meet building foundation wall, 12-18" wide gravel drain strip to be installed at landscape grade.

Note:  
Elevations are to Geodetic Datum

© CHAPMAN LAND SURVEYING LTD.  
British Columbia Land Surveyors  
107-100 Park Royal South  
WEST VANCOUVER, B.C.

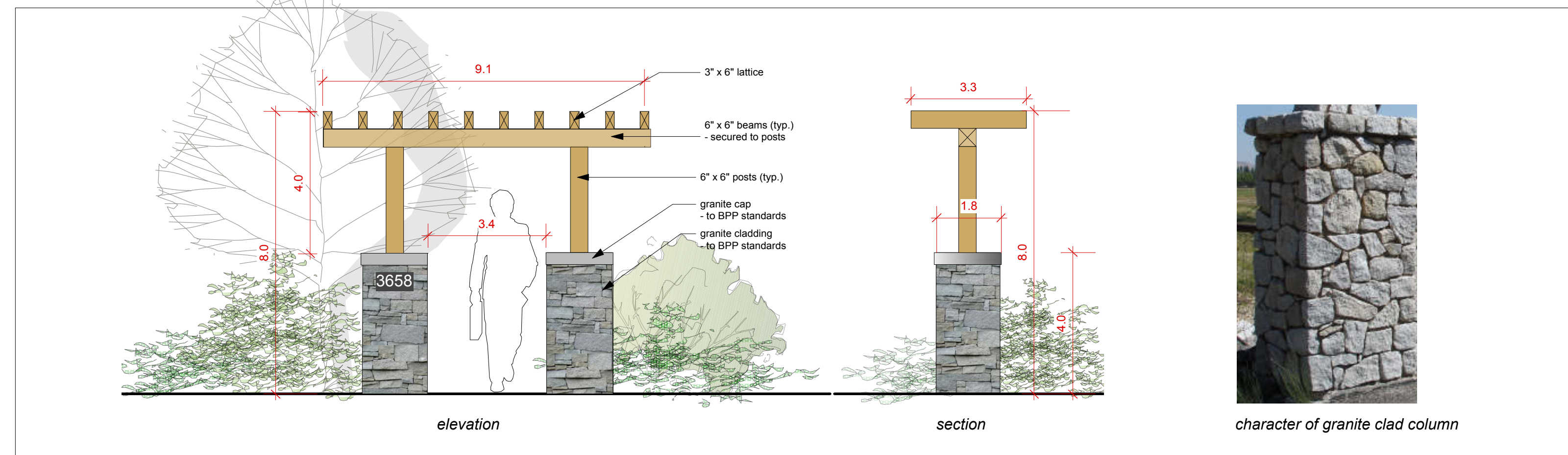
max tw =



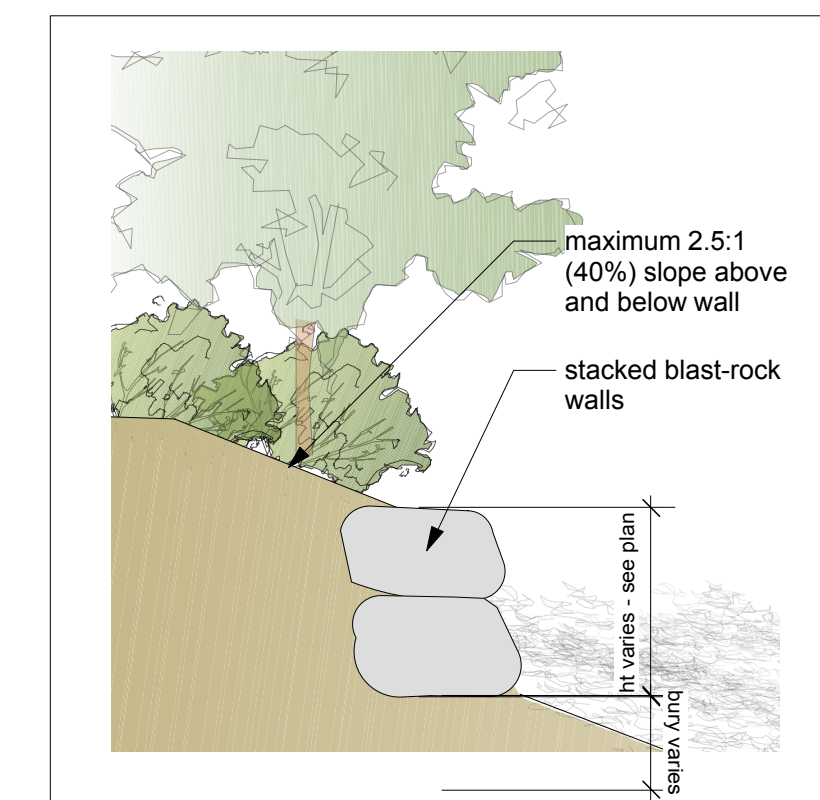
Key Plan - Plan View  
Scale: 3/16"=1'-0"



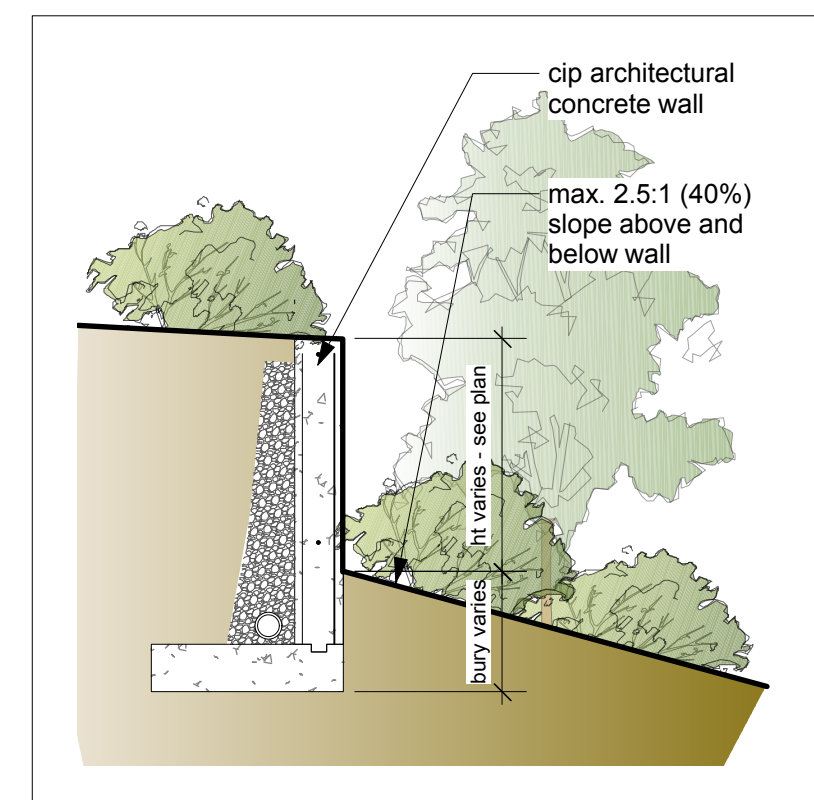
Elevation View Typical Entries - lot 18 & 19  
Scale: 3/16"=1'-0"



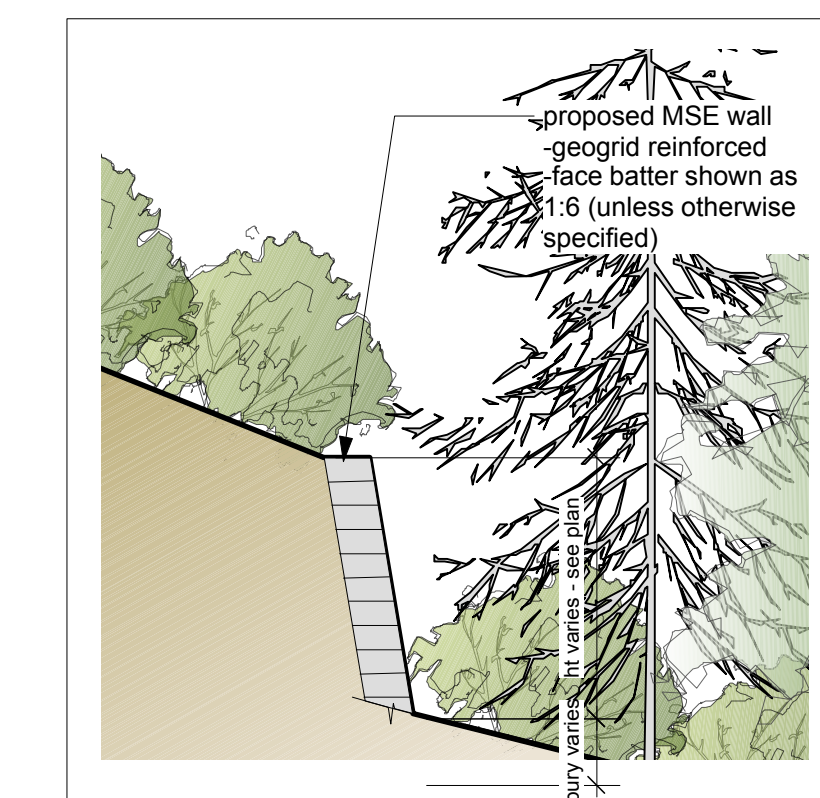
Entry Arbour  
Scale: 3/8"=1'-0"



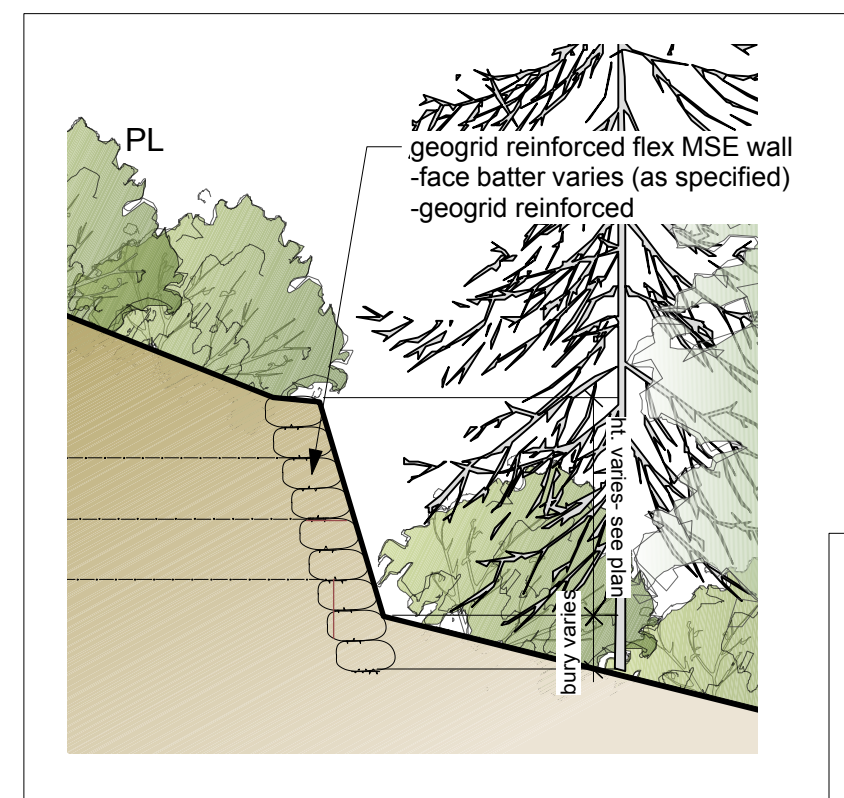
STACKED BLAST-ROCK WALL  
(TYP SECTION)



CIP CONCRETE WALL  
(TYP SECTION)



MSE WALL  
(TYP SECTION)



FLEX MSE VEGETATED GEO-MODULAR WALLS ('LIVE PLANTED')  
(TYP SECTION)

**Live Planted:**  
- maximum suggested 3 cuts per bag  
- 2-3" cut for plant placement

**GENERAL NOTES:**

- detailed designs for all walls to be prepared by professional engineer to satisfaction of Manager of Development Engineering.
- see grading plan sheet L2 for top of wall elevations
- all walls to conform to DWV bylaws



Entry Arbour Perspective Sketch  
NTS



South Elevation View - lot 18 & 19  
Scale: 1/8"=1'-0"

**LANDSCAPE MATERIALS PALETTE**



hydressed slab patio



entry courtyard - concrete unit paver



driveway - permeable paver



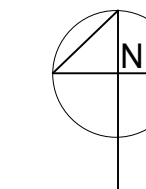
stacked blast rock wall



MSE wall



flex mse vegetated geo-modular walls ('live planted')  
4 months



**FORMA DESIGN INC.**  
www.formadesign.ca

209-828 Harbourside Dr.  
North Vancouver  
British Columbia  
Canada V7P 3R9  
tel 604-986-9193  
fax 604-986-7320

1. DP check set Jan 27, 2015
2. South wall material revised, out to arch Mar 5 2015
3. submit for DP April 13, 2015

PROJECT:  
Small Lots  
Rodgers Creek  
Area 4  
West Vancouver, BC

TITLE:  
LANDSCAPE MATERIALS/ CHARACTER

DATE:  
REVISED:  
BY:  
DATE: January 27, 2015

SCALE:  
as shown

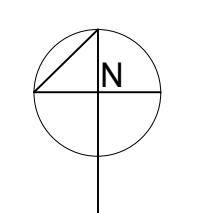
Copyright reserved. This drawing and design is the property of Forma Design Inc. and shall remain the property of the client. No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Forma Design Inc.

Contractor shall verify and be responsible for all dimensions on the job and the client shall be informed of any changes made on site.

FORMA DESIGN INC. 14.008  
FORMA DESIGN INC. 13 OF 14



max tw =



**FORMA DESIGN INC.**  
www.formadesign.ca

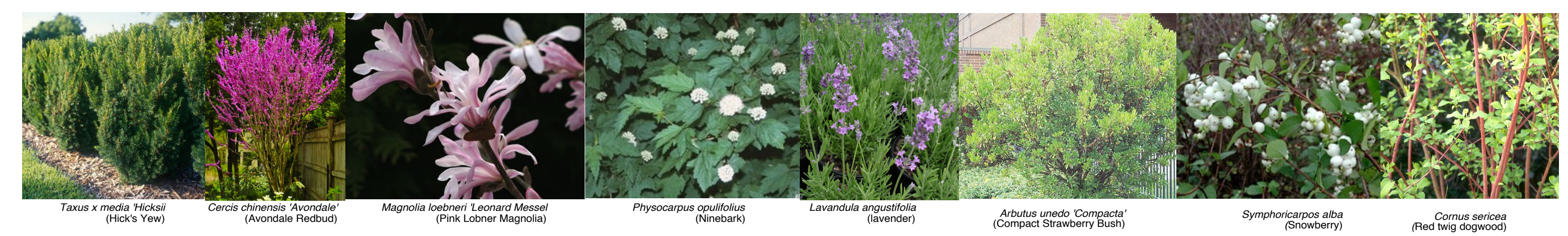
209-828 Harbourside Dr.  
North Vancouver  
British Columbia  
Canada V7P 3R9  
Tel 604-986-9193  
Fax 604-986-7320

1. DP check set Jan 27, 2015  
2. South wall material reviewed, out to arch Mar 5 2015  
3. submit for DP Apr 13, 2015

CHAPMAN LAND SURVEYING LTD.  
British Columbia Land Surveyors  
107-100 Park Royal South  
WEST VANCOUVER, B.C.

Note:  
Elevations are to Geodetic Datum

**CYPRESS LANE**



Drought tolerant native and ornamental species planted on sunny, south-facing terraces

**Planting Notes**  
1. All materials and execution of landscape works shall conform to the B.C.S.L.A./B.C.N.T.A. Landscape standard. Refer to written specifications for complete landscape documentation.  
2. All landscape works (including boulevard) to be automatically irrigated.  
3. The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.  
4. Minimum planting medium depths:  
lawn - 6"/150mm, groundcover - 12"/300 mm,  
shrubs - 18"/450 mm,  
trees - 24"/600 mm (around & beneath rootball)  
5. All plant material shall meet minimum size requirements as indicated in plant list. Quality of plant material and grading of site to conform to the B.C.N.T.A. standard for container grown stock.  
6. All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying Pr will be removed, disposed of and replaced at the contractor's expense.  
7. Tree Protection Measures  
Where construction, demolition, or excavation is to take place within 4m of the drip line of a tree to be retained, a protection barrier at least 40" (1.2m) in height must be installed around the tree or group of trees to be retained. The diameter of the barrier shall be no smaller than the drip line of the tree(s). The barrier must be constructed of snow fencing staked every 3' (1m), plywood sheets fastened to wooden stakes or of another form approved by the municipality. The barrier shall be constructed prior to any site work and remain intact until all construction is complete. The barrier shall clearly display all-weather signage indicating that the area is a protected zone. Any work which must be done within the protection zone is to be done by hand. No burning is to take place close enough for the flames or heat to damage any tree to be retained.

PLANT LIST				
ID	Latin Name	Common Name	Quantity	Scheduled Size
<b>TREES (DECIDUOUS &amp; CONIFEROUS)</b>				
AC	Acer circinatum	Vine Maple ( multi-stemmed )	12	2.5m ht.
AmG	Acer ginnala	Amur Maple ( multi-stemmed )	1	5 cm cal.
CoM	Cornus mas	Cornelian Cherry	5	#7
CN	Cornus nuttallii 'Eddie's White Wonder'	'Eddie's White Wonder' Dogwood	4	2.5m ht.
MGK	Magnolia kobus	Kobus Magnolia	17	B&B 2.0m ht
MST	Magnolia stellata	Star Magnolia	2	B&B 2.0m ht
POM	Picea omarika	Serbian Spruce	7	3.0m
PIO	Pinus contorta var. contorta	Shore Pine	8	3.0m
TCS	Tilia cordata 'Summer Sprite'	Summer Sprite Linden	18	5cm cal.
<b>SHRUBS</b>				
AmI	Amelanchier alnifolia	Saskatoon	3	#2 pot
Arb	Arbutus unedo 'Compacta'	Compact Strawberry Bush	132	#3 pot
Ber	Berberis thunbergii	Japanese Barberry	67	#3 pot
Bs	Buxus sempervirens	Common Boxwood	128	#5 pot
Cor	Cornus sericea 'Red Cardinal'	Red Twig Dogwood	37	#1 pot
gs	Gaetheria shallon	Salal	298	#1 pot
Hol	Holodiscus discolor	Oceanspray	5	#2 pot
hyq	Hydrangea macrophylla 'Glowing Embers'	Glowing Embers Hydrangea	16	#3 pot
Lpa	Lonicera pileata	Boxleaf Honeysuckle	116	#2 pot
Mr	Mahonia repens	Creeeping Mahonia	102	#1 pot
Nap	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	5	#3 pot
Phs	Physocarpus opulifolius	Ninebark	31	#1 pot
Ria	Rhus aromatica 'Gro Low'	Fragrant Sumac	56	#3 pot
Ris	Ribes sanguineum	Red Flowering Currant	60	#1 pot
Ro1	Rosa rugosa 'Purple Pavement'	Purple pavement Rugosa Rose	35	#2 pot
sbx	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	141	#2 pot
sbT	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	108	#2 pot
Spa	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	159	#3 pot
Sym	Symphoricarpos alba	Snowberry	80	#2 pot
Txh	Taxus x media 'Hicksii'	Hick's Yew	73	B&B 1.2 m ht
<b>PERENNIALS &amp; GROUNDCOVERS</b>				
ah	Anemone hybrida 'Honoree Jobert'	Honoree Jobert Windflower	10	#1 pot
ar	Arctostaphylos uva-ursi 'Vancouver Jade'	Bearberry, Kinnikinnick	243	#1 pot
ber	Bergenia cordifolia 'Purpurea'	Heartleaf Bergenia	44	#1 pot
Ecw	Euphorbia characias 'Wulfenii'	Mediterranean Spurge	25	#1 pot
hir	Helleborus niger 'Lenten Rose'	Christmas Rose	95	#1 pot
lsa	Lavandula angustifolia	English Spike Lavender	21	#1 pot
pot	Polystichum munitum	Western sword fern	326	#1 pot
rdh	Rudbeckia hirta	Black-eyed Susan	7	#1 pot
<b>ORNAMENTAL GRASSES &amp; BAMBOOS</b>				
hl	Helictotrichon sempervirens	Blue Oat Grass	232	#1 pot

FLEX MSE VEGETATED GEO-MODULAR WALL PLANT LIST:				
Arctostaphylos uva-ursi 'Vancouver Jade'	Gaetheria shallon (Salal)	Polystichum munitum (western sword fern)	56	#3 pot

Flex vegetated wall to be planted with plugs @ maximum 3plugs/bag. Numbers and quantity to be confirmed on site by landscape contractor. Installed as per manufacturers specifications.

Approximate area of wall = 720 ft<sup>2</sup>

Plant Species:  
Gaetheria shallon  
Arctostaphylos uva-ursi 'Vancouver Jade'  
Polystichum munitum

Small Lots  
Rodgers Creek  
Area 4  
West Vancouver, BC

**PLANTING PLAN**

Scale: 3/32" = 1'-0"