



# 2378 MARINE DRIVE, WEST VANCOUVER, BC

PRELIMINARY APPLICATION FOR NEW DUPLEX RESIDENTIAL

DESIGNER:  
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**M** EMARY  
 MASTER OF ARCHITECTURE  
 Phone: 604-836-3124  
 E-mail: kayvanmemory@gmail.com

DP REVISION FEB 2022

REVISIONS:	
DRAWN BY:	K.M.
SCALE:	N.T.S.
DATE:	JUNE 2021
FILE:	2378 MARINE DRIVE.DWG

TITLE:  
 COVER PAGE

SHEET:  
**A - 00**

NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK, AND SHALL NOTIFY THE DESIGNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS AND/OR THE SPECIFICATIONS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS CREATED BY CONSULTANTS. THESE DRAWINGS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF THE DESIGNER AND ANY UNAUTHORIZED USE AND REPRODUCTION IS PROHIBITED.

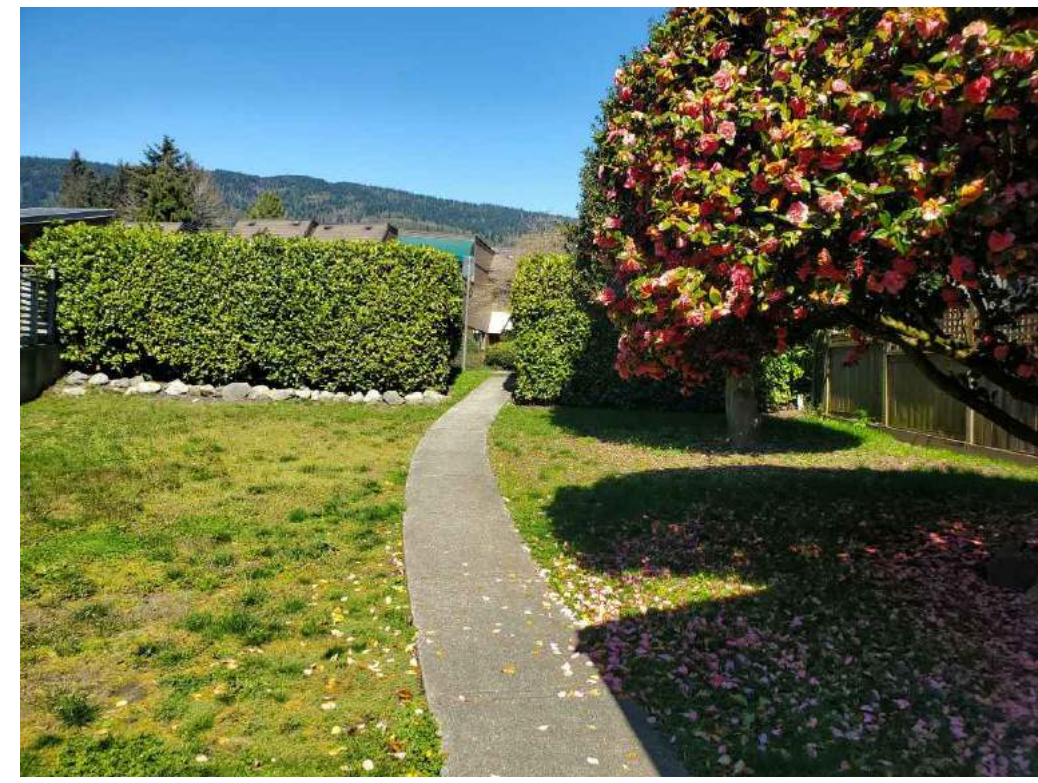


IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 12

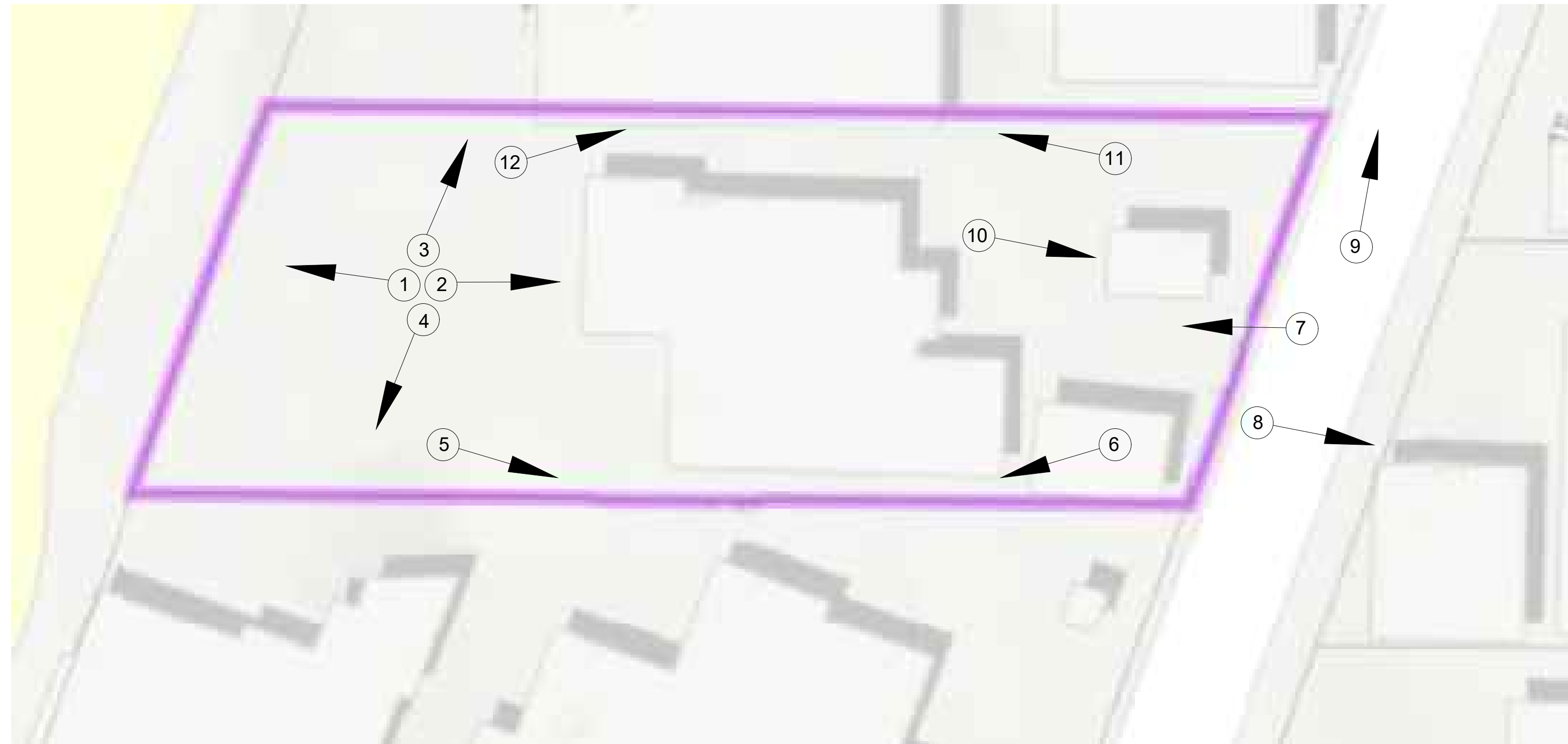
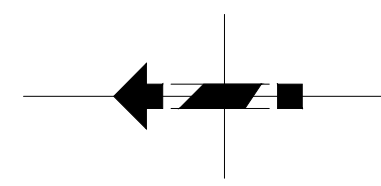


IMAGE 5



IMAGE 11



IMAGE 6

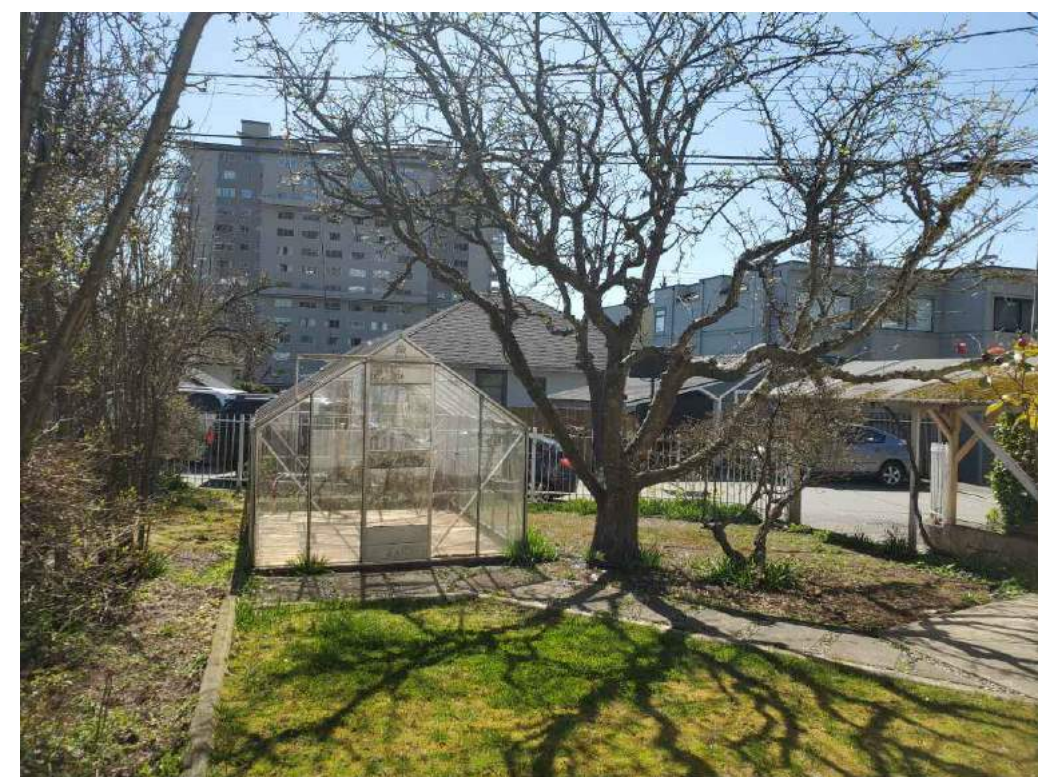


IMAGE 10

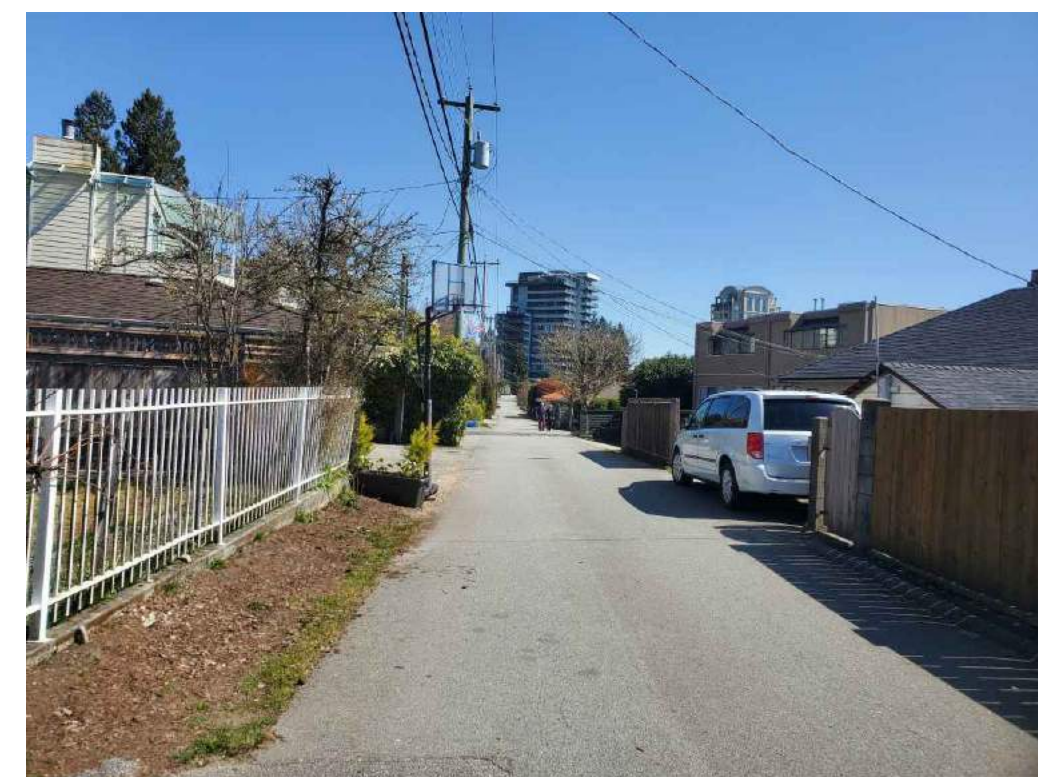


IMAGE 9



IMAGE 8



IMAGE 7

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CIVIC ADDRESS:  
 2378 MARINE DRIVE  
 WEST VANCOUVER, BC

LEGAL DESCRIPTION:  
 LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394

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 EXISTING LOT IMAGES

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**A - 01**

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IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



IMAGE 6



IMAGE 7



IMAGE 8



IMAGE 9



IMAGE 10



IMAGE 11



IMAGE 26



IMAGE 27

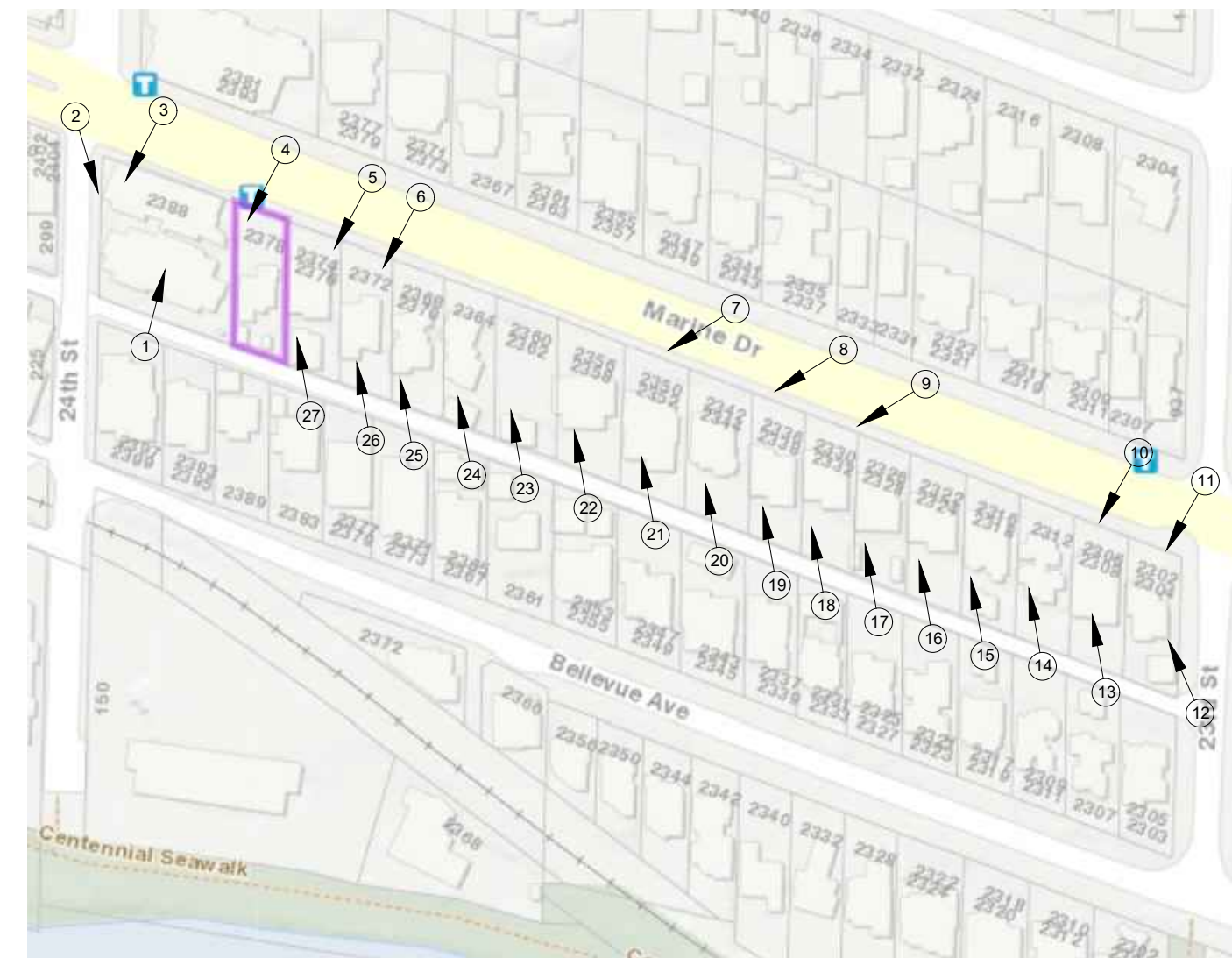


IMAGE 13



IMAGE 12



IMAGE 25



IMAGE 24



IMAGE 23



IMAGE 22



IMAGE 21



IMAGE 20



IMAGE 19



IMAGE 18



IMAGE 17



IMAGE 16



IMAGE 15



IMAGE 14

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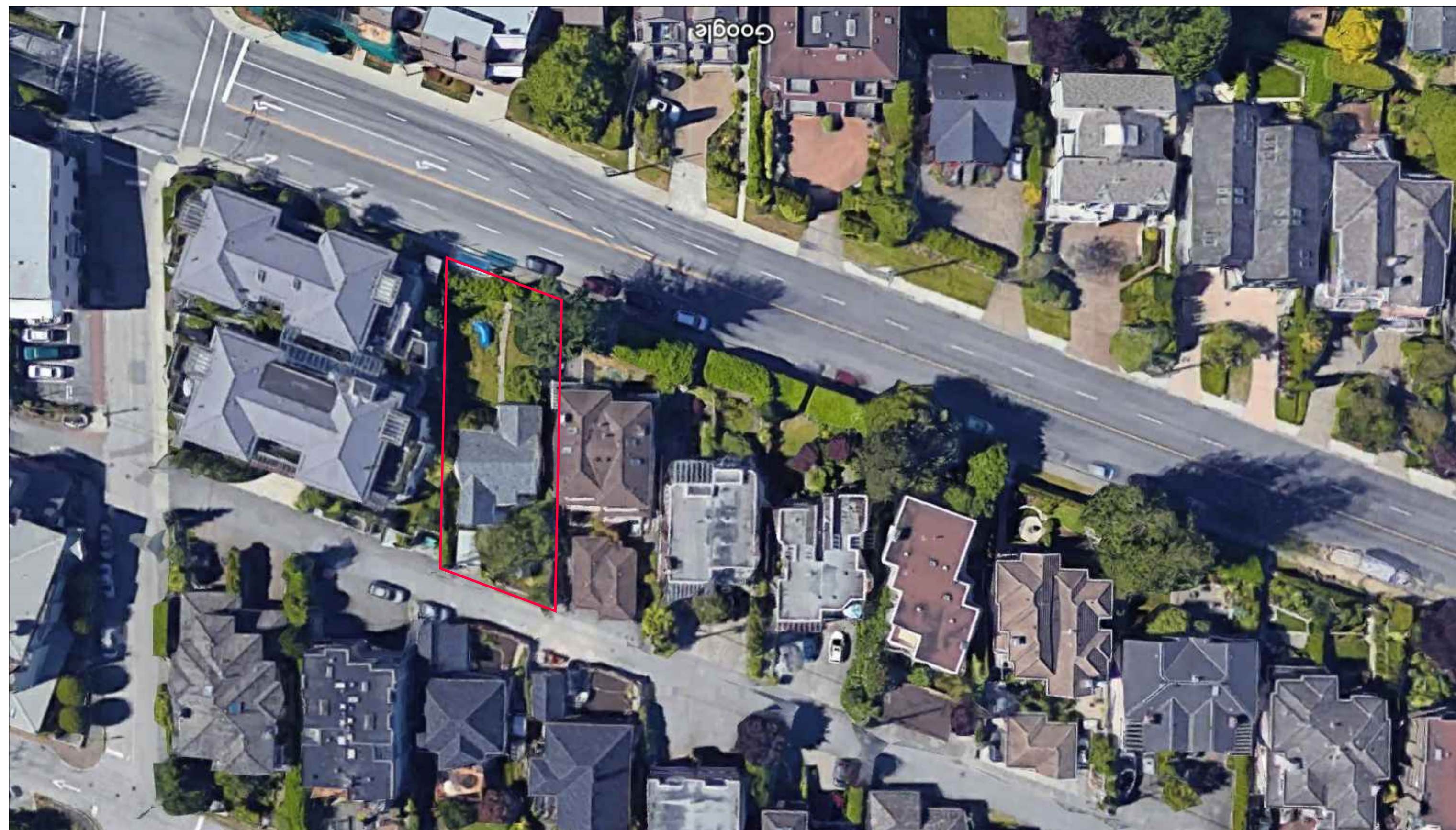
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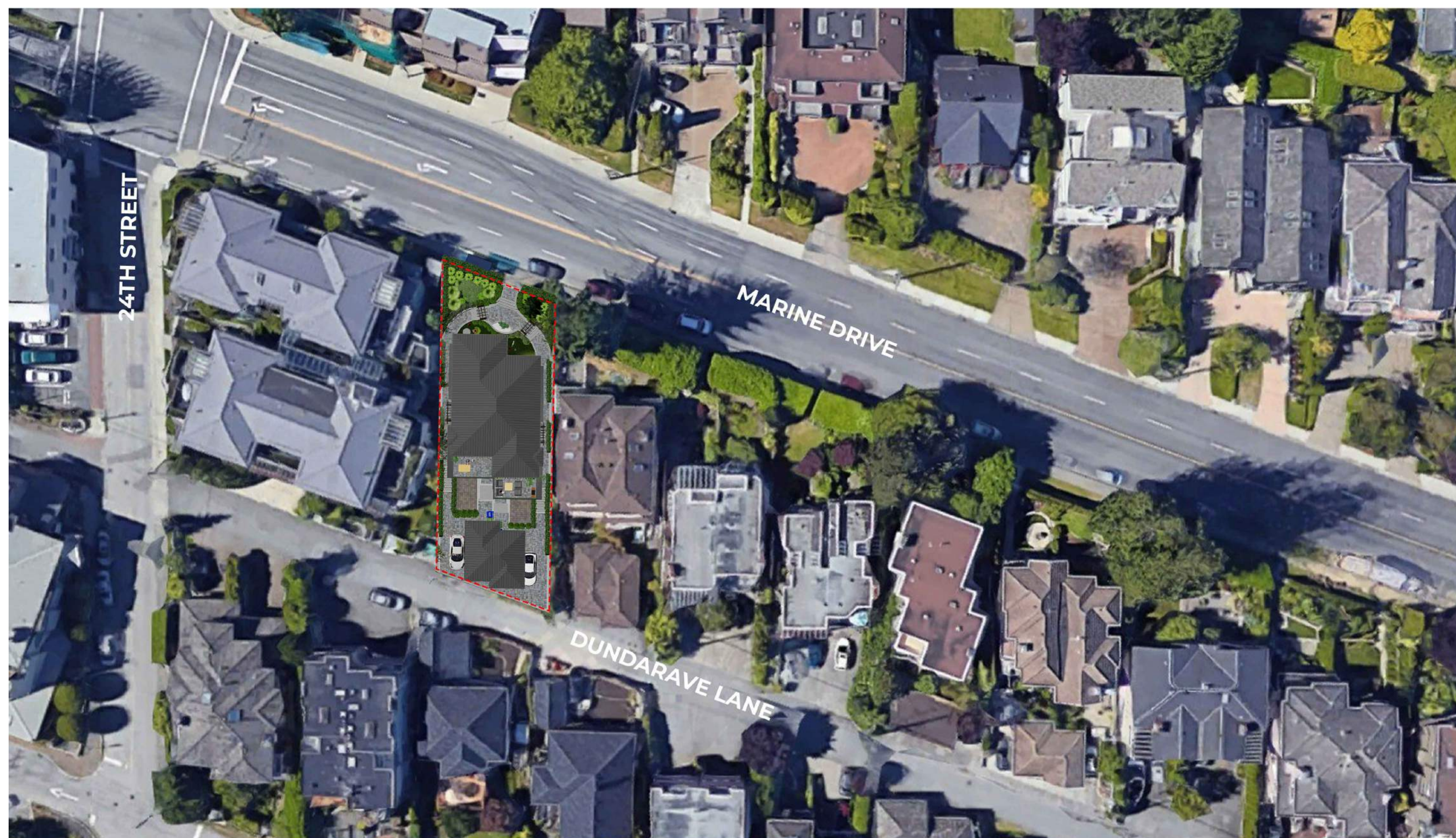
TITLE:  
 EXISTING STREET AND LANE IMAGES

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**A - 02**

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EXISTING CONTEXT PLAN



PROPOSED CONTEXT PLAN

**PROJECT DESCRIPTION:**

-THE PROPERTY IS NEAR THE DUNDARAVE VILLAGE IN WEST VANCOUVER. DAILY COMMUTERS USE THE EXISTING BUS STOP LOCATED AT THE PROPERTY'S FRONT FACE.

-THE LOT IS 566.4 SQUARE METRES IN SIZE, WITH AN AVERAGE SITE WIDTH OF 14.4 METRES AND A SITE LENGTH OF 39.3 METRES.

-THE SITE IS BOUNDED TO THE NORTH BY MARINE DRIVE, TO THE WEST BY DUNDARAVE VILLAGE HOMES (MIXED-USE TOWNHOMES), TO THE EAST BY A DUPLEX, AND TO THE SOUTH BY DUNDARAVE LANE. (DRAWING A-01, PAGE A-01)

-ACCESS TO THE WALKWAY WILL BE VIA MARINE DRIVE, WHILE VEHICULAR ACCESS WILL BE VIA DUNDARAVE LANE.

-THE SITE IS IN ZONE RD1 (DUPLEX DWELLING ZONE), WHERE THE MAJORITY OF THE PROPERTIES IN THE NEIGHBOURHOOD ARE DUPLEX DWELLINGS WITH TWO STORIES PLUS BASEMENTS. (PAGE A-02 OF THE DRAWING)

-AS DO THE MAJORITY OF THE BUILDINGS IN THE NEIGHBOURHOOD, THE PROPOSED BUILDING INCLUDES TWO SIDE-BY-SIDE UNITS, EACH TWO STORY PLUS A SECONDARY SUITE IN THE BASEMENT, WITH A NORTH-SOUTH ORIENTATION TO TAKE ADVANTAGE OF NATURAL LIGHT AND VENTILATION. (PAGE A-02)

-IN ORDER TO FOLLOW THE FRONT PROPERTY LINE ANGLE, THE EASTERN UNIT IS PROPOSED WITH AN ADDITIONAL 2.6 M SETBACK FROM THE WESTERN UNIT.

-EXCEPT FOR THE WESTERN NEIGHBOUR (2388 MARINE DRIVE), THE BUILDING MASSING AND SIZE ARE COMPATIBLE WITH THE EXISTING ADJACENT DUPLEX AND THE OTHER DUPLEXES ON THE BLOCK THE INCORPORATION OF TRELLISES AND WOODWORK FROM 2388 MARINE DRIVE INTO THE PROPOSED BUILDING CONTRIBUTES TO THE COMPATIBILITY OF TWO BUILDINGS. (PAGE A-09)

-THE BUILDING MASSING HAS BEEN DESIGNED TO CREATE ARTICULATION BY USING ELEMENTS SUCH AS TRELLISES, A VARIETY OF MATERIALS SUCH AS HORIZONTAL CEDAR SIDING, WOOD TRIM, CEMENTITIOUS PANEL AND STONE, AND A BALCONY WITH GLASS RAILING. (IMAGES RENDERED ON PAGES A-10 AND A-11)

THE PITCHED ROOF WILL HAVE A DEEPER OVERHANG IN THE FRONT AND BACK AND A NARROWER OVERHANG ON THE SIDES (DUE TO ZONING BYLAW LIMITATION).

AN OPEN CONCEPT LIVING AREA ON THE UPPER FLOOR IS PROPOSED TO TAKE ADVANTAGE OF THE VIEW AS WELL AS NATURAL LIGHT THROUGH LARGE WINDOWS FACING SOUTH DURING THE DAY.

THE MAIN RESIDENT'S DAILY TRIP FROM GARAGE TO UNIT ENTRY WAS PRIORITISED WHEN DESIGNING THE UNITS WITH SIDE ENTRANCES. THIS DECISION WAS INFLUENCED BY THE LENGTH OF THE PATH, THE DIFFERENCE IN GRADES, AND THE NUMBER OF STAIRS. THE GRADE DEPRESSION LIMITATION ONLY ALLOWS FOR SECONDARY SUITE ENTRANCES (HBF LIMITATION), SO A SECOND ENTRY FROM THE LOWER FLOOR WAS NOT AN OPTION.

THE FRONT LANDSCAPING WAS DESIGNED TO AID IN WAYFINDING BY DIRECTING PEDESTRIANS TO THE UNITS' SIDE ENTRANCES. (SITE PLAN DRAWING A-12, RENDERING IMAGES DRAWING A-10 & A11)

TRELLISES WITH GATES, INTEGRATED LIGHTING IN PAVING AND RETAINING WALLS, AND ENTRANCES ALL CONTRIBUTE TO THE WAYFINDING CUE. THE SITE'S FRONT ENTRANCE IS DEFINED BY TWO 4' HIGH MASONRY POSTS WITH INTEGRATED LIGHTING AND NEW PAVING. TRELLISES AND GATES WERE INSTALLED TO DIRECT TRAFFIC FROM A SINGLE WALKWAY TO EACH UNIT'S ENTRY DOORS.

PROPOSED GARAGES AND PAD PARKING ARE ACCESSED FROM THE LANE AND LOCATED IN THE ULTIMATE REAR YARD WITHIN THE ALLOWED SETBACK TO MAXIMISE USABLE REAR YARD SPACE (SMALLER AREA FOR UNIT #2).

PRIVATE OUTDOOR AND OPEN SPACES FOR EACH UNIT, INCLUDING PATIOS IN THE FRONT YARD AND LARGE DECKS IN THE BACK YARDS, AS WELL AS AN OPEN AMENITY FOR SECONDARY SUITES SCREENED WITH LANDSCAPING, ARE PROPOSED.

EXTERIOR FINISHING MATERIALS INCLUDE 6" PREMIUM GRADE HORIZONTAL SIDING AND TRIM, 18" X 30" NITICHA (HIGH QUALITY CEMENTITIOUS PANEL), AND NATURAL STONE.

THE GARAGE'S MASSING AND MATERIALS ARE CONSISTENT WITH THE MAIN BUILDING'S CHARACTER (PLEASE REFER TO DRAWINGS PAGES A-14 TO A-17)

IN TERMS OF ENERGY EFFICIENCY, THE PROPOSED BUILDING ASSEMBLIES ADHERE TO STEP 4 OF THE BC BUILDING CODE. (PLEASE REFER TO THE CAPITAL HOME ENERGY INC. LETTER FORM) (DRAWING PAGE A-04 AND ASSEMBLIES ON PAGE A-18)

PLEASE SEE PROJECT DATA ON PAGES A -12) FOR UNIT SIZES, AREAS, AND ZONING COMPLIANCE.

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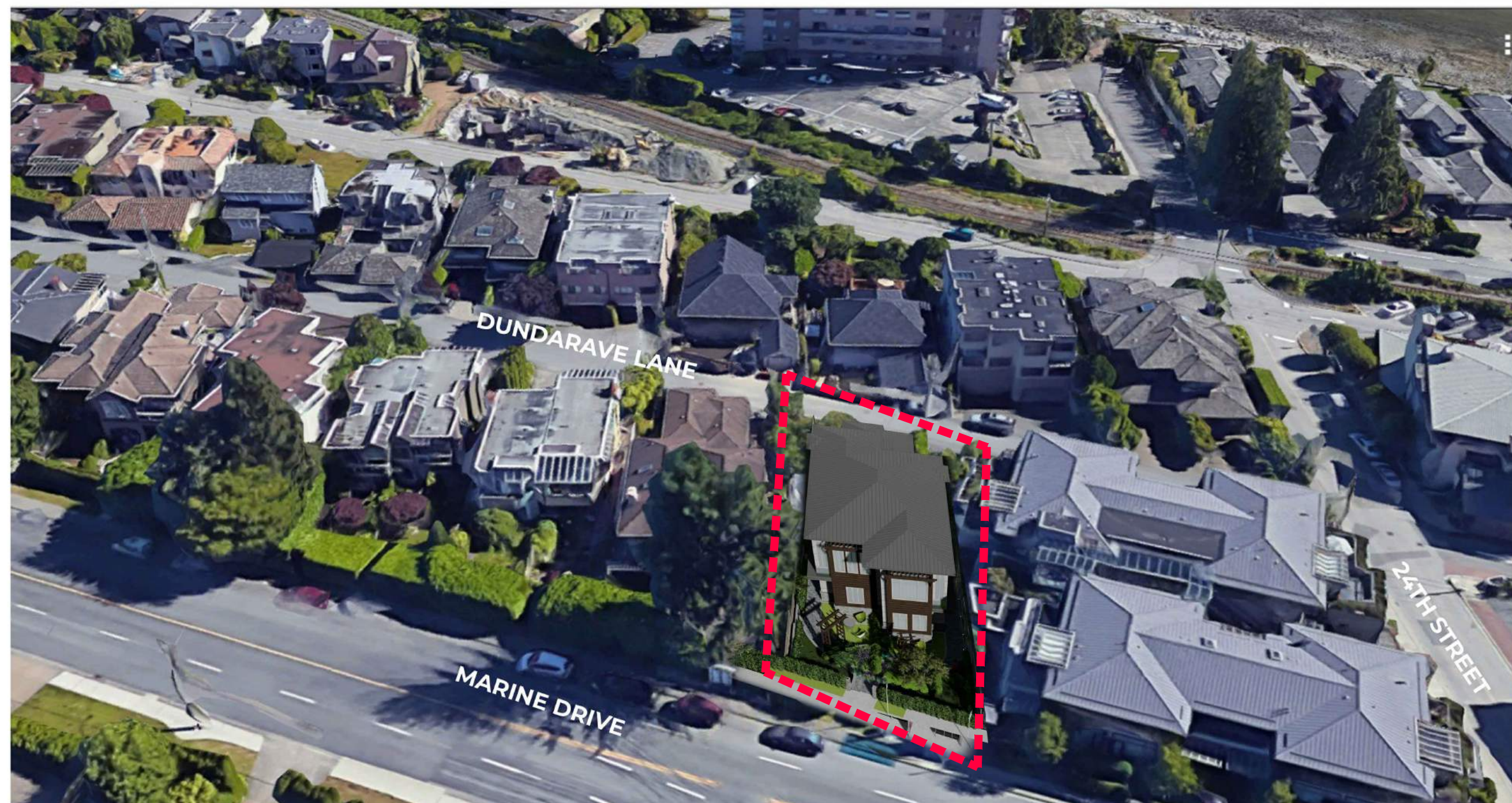
TITLE:  
 EXISTING AND PROPOSED CONTEXT PLANS  
 PROJECT DESCRIPTION

SHEET:  
**A - 03**

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EXISTING AERIAL VIEW FROM MARINE DRIVE



PROPOSED AERIAL VIEW FROM MARINE DRIVE



Oct 14th, 2021

Client: Mehdi Molaie  
 Re: Letter of Intent BC Energy Step Code level 4

Development Address: 2378 Marine Dr, West Vancouver

To whom it may concern:

This letter is to inform the District of West Vancouver Planning Department, that Capital Home Energy Inc has been engaged for Energy Design services, specifically for Step Code 4 compliance, at the above-mentioned development address.

House Characteristics:

- BC Energy Step Code level 4 compliance
- EnerGuide Certification
- Ceilings: Batt R-50
- Above grade walls: Effective R-22
- Below grade walls: Effective R-22
- Underslab: R-15 rigid
- Exposed floors: R-40 2lb spray foam (floors over unheated space)
- Heating system: Natural Gas condensing boiler radiant w/air source heat pump
- Domestic hot water: combo with heat
- Ventilation: HRV 70% SRE
- Windows: High Performance triple glazed US1 1.2 or lower SHGC 0.25 or higher
- Doors: Same as windows
- Exterior air barrier system
- Target 1.5 ACH (air changes per hour)

Please contact our office for any further inquiries about the project.

Regards,

Luke Dolan  
 Principal  
 Capital Home Energy Inc  
[luke@capitalhomeenergy.com](mailto:luke@capitalhomeenergy.com)  
[www.capitalhomeenergy.com](http://www.capitalhomeenergy.com)  
 604-562-0386

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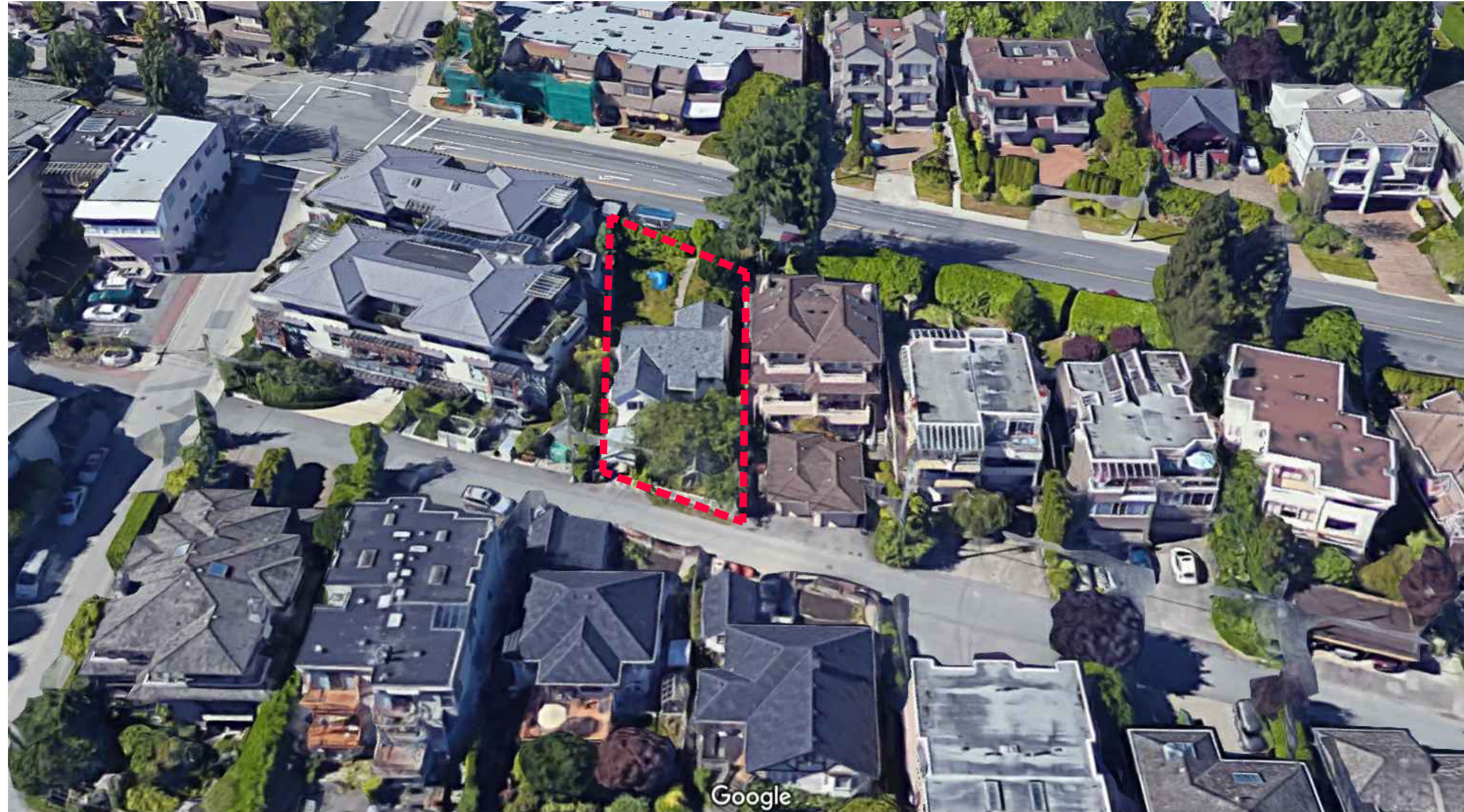
FILE: 2378 MARINE DRIVE.DWG

TITLE:

EXISTING AND PROPOSED AERIAL VIEWS  
 LETTER OF INTENT BC ENERGY STEP CODE

SHEET:

A - 04



EXISTING AERIAL VIEW FROM DUNDARAVE LANE

**LANDSCAPING:**

THERE ARE CRITICAL ELEMENTS CONSIDERED FOR THE DESIGN OF THE LANDSCAPE THAT ARE BUILT ON THE GRADE TRANSITION BETWEEN MARINE DRIVE ON THE NORTH AND DUNDARAVE LANE ON THE SOUTH, AND THIS BRIEF WILL GO OVER THEM BELOW: PLEASE KEEP IN MIND THE LANDSCAPE LAYOUT HAS BEEN REVISED IN RESPONSE TO COMMENTS RECEIVED REGARDING PRELIMINARY DRAWINGS IN ORDER TO ACCOMMODATE THE FOLLOWING:

EXISTING HEDGES WERE KEPT IN ORDER TO MAINTAIN THE STREETScape'S CONSISTENCY AND PRIVACY.

DUE TO THE LOCATION OF THE PROPOSED SIDE UNIT ENTRY, THE FRONT YARD DESIGN HAS BEEN REVISED TO ADDRESS WAYFINDING CONCERNS FROM THE PROPERTY ENTRANCE TO THE FRONT UNIT DOORS.

ITEMS SUCH AS A TWO-POST C/W LIGHT AT THE SITE ENTRY, A CHANGE IN THE PAVING PATTERN FROM THE PROPERTY LINE, THE CREATION OF A FOCAL POINT WITH A WATER FEATURE, TRELLISES AND A GATE ON BOTH SIDES OF THE POND TO PROVIDE A SINGULAR PATH TO THE UNIT'S SIDE ENTRY, AND THE PROPOSAL OF INTEGRATED PATH AND WALL LIGHTING ARE ALL INCLUDED IN THE REVISION.

THE SELECTION OF PLANTS IN THE FRONT YARD IS INFLUENCED BY THE NEED FOR PRIVACY AND A SENSE OF ENCLOSURE FROM MARINE DR. THE FRONT YARD GARDEN IS DESIGNED TO ACCOMMODATE THE SLOPE TRANSITION FROM THE PUBLIC WALKWAY TO THE SUNKEN PATIOS ELEVATION DUE TO THE PROPOSED NEW CIRCULATION, WHICH NECESSITATES SEPARATE ACCESS TO EACH UNIT. AS PREVIOUSLY STATED, THE EXISTING LAUREL HEDGE NORTH OF THE PROPERTY LINE WILL BE RETAINED TO PROVIDE PRIVACY FROM MARINE DR., WHILE THE PROPOSED PLANTING WILL COVER THE SLOPED GARDEN AREA TO PROVIDE VISUAL INTEREST TO THE RESIDENTS.

ARRIVAL FROM MARINE DRIVE: THERE ARE TWO MASONRY POSTS ON EITHER SIDE OF THE ENTRANCE, WHICH IS SURROUNDED BY A LAUREL HEDGE. THE VISITOR DESCENDS THREE STEPS IMMEDIATELY AFTER THE POSTS TO LAND IN A SEMI-PUBLIC LANDING AREA WITH A DECORATIVE POND AND PERENNIALS.

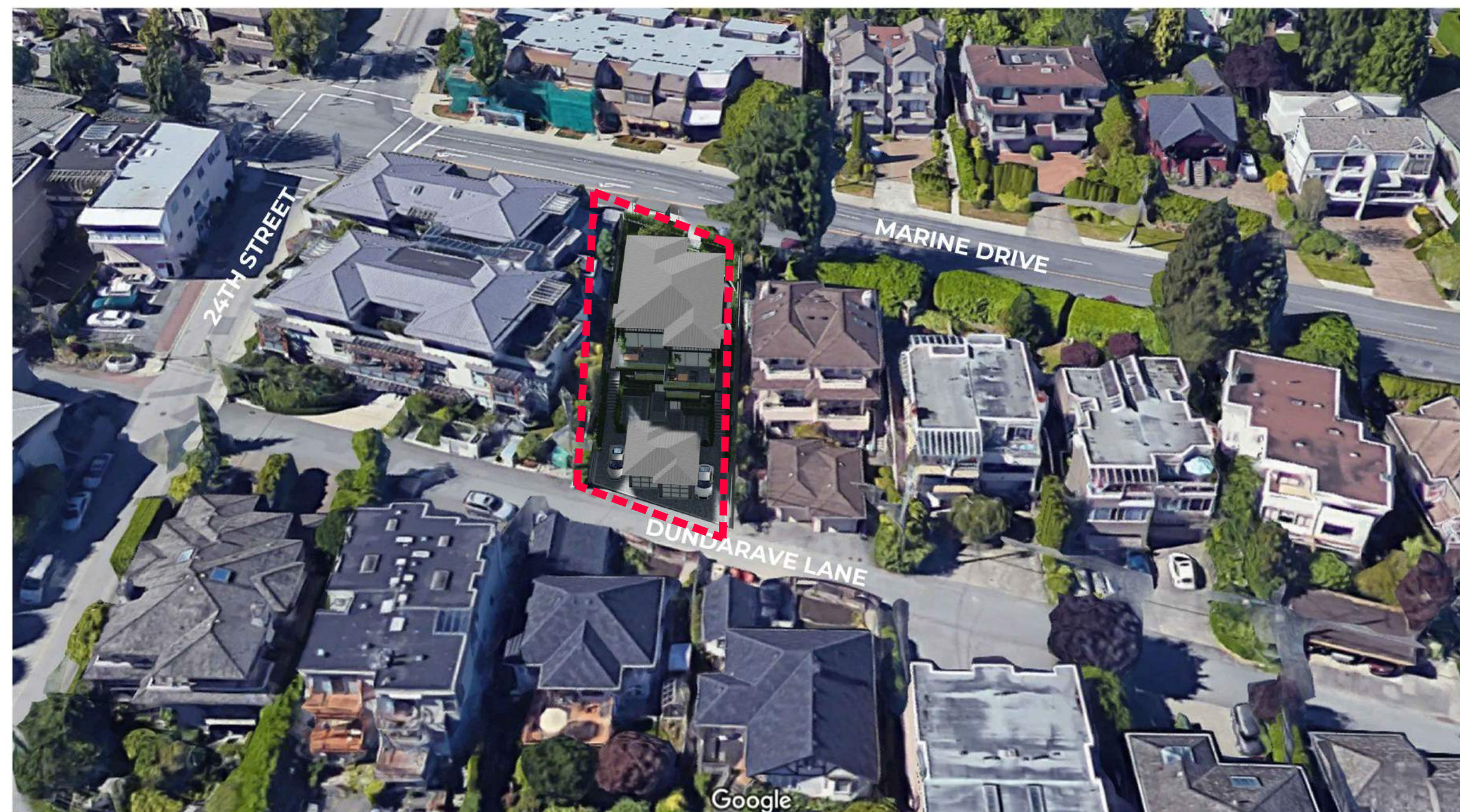
A SMALL WATER FEATURE/POND CREATES A FOCAL POINT FOR THE VISITOR WHO ARRIVES AT THE SITE, AND TWO TRELLISES WITH GATES ARE DESIGNED TO DEFINE THE UNITS' GARDEN ON EITHER SIDE OF THE LANDING AREA (PRIVATE SPACE). EACH GARDEN HAS A GATE TO SEPARATE THE OUTDOOR PRIVATE AND PUBLIC AREAS. THE LANDSCAPE IS DESIGNED SO THAT THERE IS A CLEAR AND DISTINCT PATH FROM THE GATE/TRELLIS TO THE UNIT DOORS, IMPROVING ACCESS TO THE UNITS. TO IMPROVE VISIBILITY, THE PATHWAYS LEADING TO THE UNIT DOORS ARE ILLUMINATED AT NIGHT.

**PLANTING:**

PLANTING CHARACTERISTICS: A ROW OF YEWS SEPARATES THE EAST AND WEST GARDENS TO ENSURE THE PRIVACY OF THE UNITS ON THE SUNKEN PATIOS. TWO DECIDUOUS TREES ARE PROPOSED FOR THE SLOPED PLANTERS: A CUTLEAF JAPANESE MAPLE FOR THE EAST PLANTER AND A SHERWOOD FLAME JAPANESE MAPLE FOR THE WEST PLANTER. A VARIETY OF ORNAMENTAL GRASSES, INCLUDING JAPANESE FOREST GRASS, ALL GOLD HAKONE GRASS WITH ENGLISH LAVENDER, JAPANESE PACHYSANDRA AND SWEETBOX, ARE CHOSEN FOR THE UNDER-CANOPY AREA AND ORGANISED IN A LINEAR EAST-WEST DIRECTION TO EMPHASISE THE GRADE TRANSITION FROM THE ENTRANCE TO THE ON-GRADE GARDEN AREA.

EXCEPT FOR THE TWO-FOOT-WIDE PLANTING BED AT THE BASE OF THE RETAINING WALLS, THE SUNKEN PATIOS ARE SODDED. THE LINEAR PLANTING BED WILL ENCIRCLE THE LOWER SECTION OF THE WALL, ADDING VISUAL INTEREST TO THE SUNKEN PATIO. THE PLANTING DESIGN IN THE FRONT YARD IS COMPLETED WITH A MIXTURE OF ORNAMENTAL GRASS, LAVENDER, AND SPIRAEA.

THE PLANTING DESIGN IN THE BACKYARD IS LIMITED TO THE PROPOSED CONCRETE PLANTERS AT THE ENTRANCES TO THE RESIDENCE BASEMENT UNITS. SNAKE'S BEARD, ROOFTOP IRIS, GOLDMOUND SPIRAEA, JAPANESE FOREST GRASS, AND GREEN VELVET BOXWOOD ARE SUGGESTED FOR THIS AREA. TO ENSURE THE RESIDENTS' PRIVACY, THE PERIMETER OF THE BASEMENT UNITS' OUTDOOR PATIO IS COVERED WITH YEW. THERE ARE ALSO LIMITED PLANTING AREAS AT THE PROPERTY LINE ON THE EAST AND WEST SIDES OF THE STAIRS. TO INCREASE PRIVACY, TAXUS MEDIA 'HILLII' IS PLANTED IN THIS SMALL SPACE.



PROPOSED AERIAL VIEW FROM DUNDARAVE LANE

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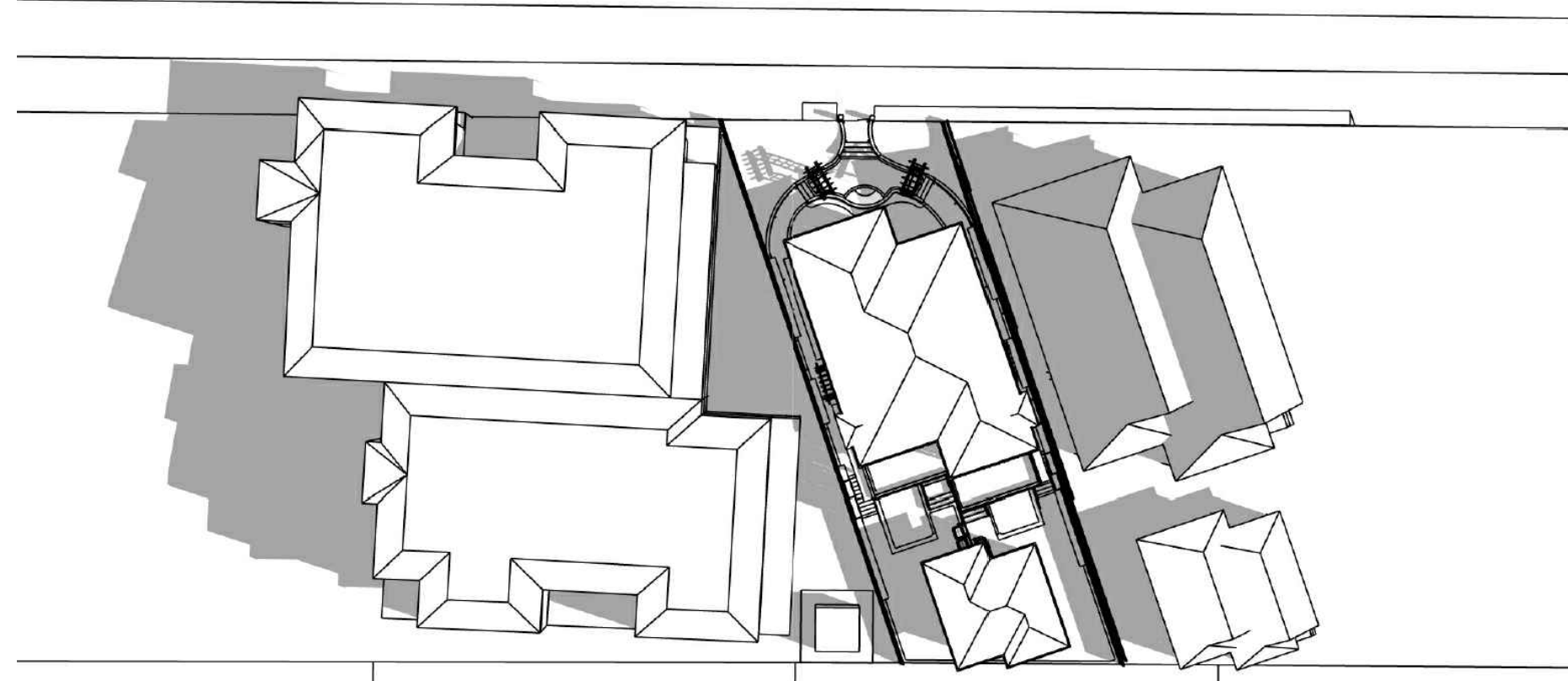
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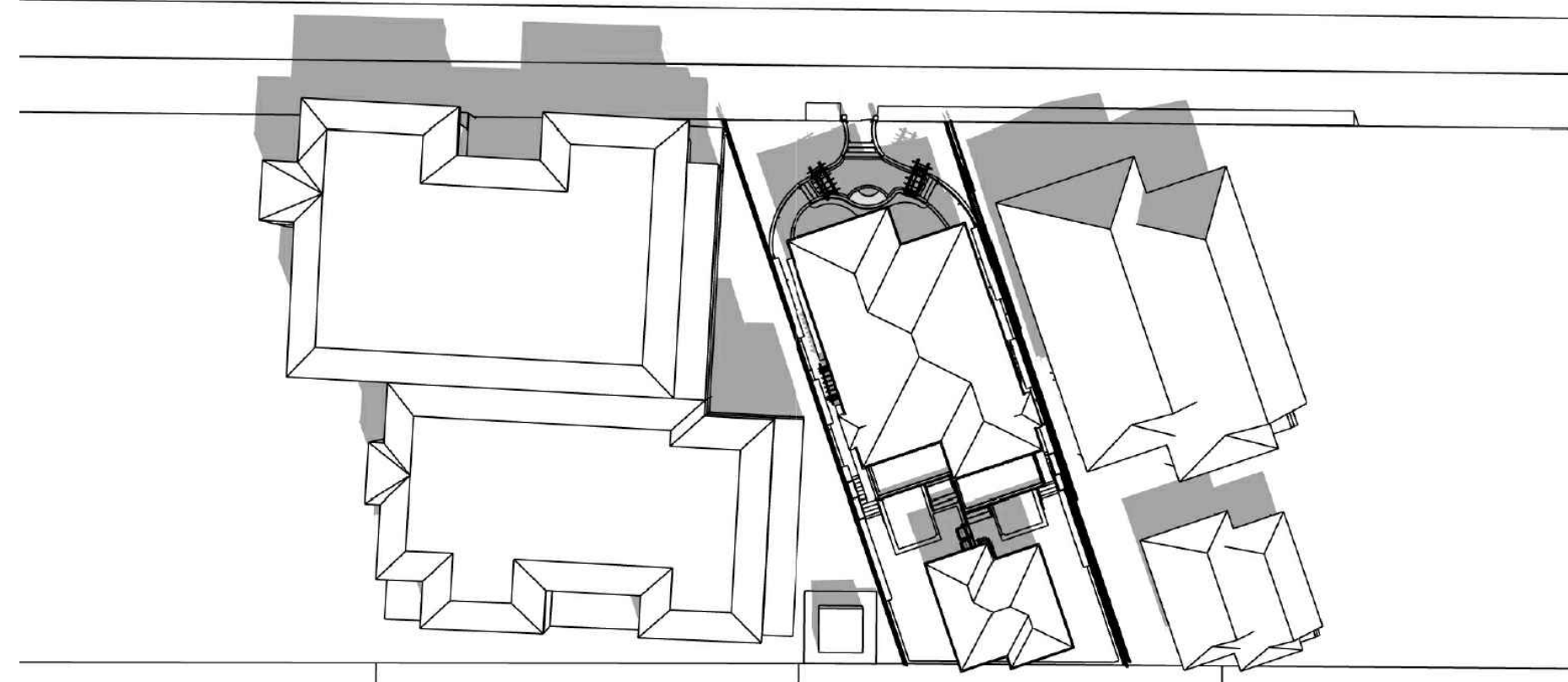
EXISTING AND PROPOSED AERIAL VIEWS  
LANDSCAPING DESIGN STATEMENT

SHEET:

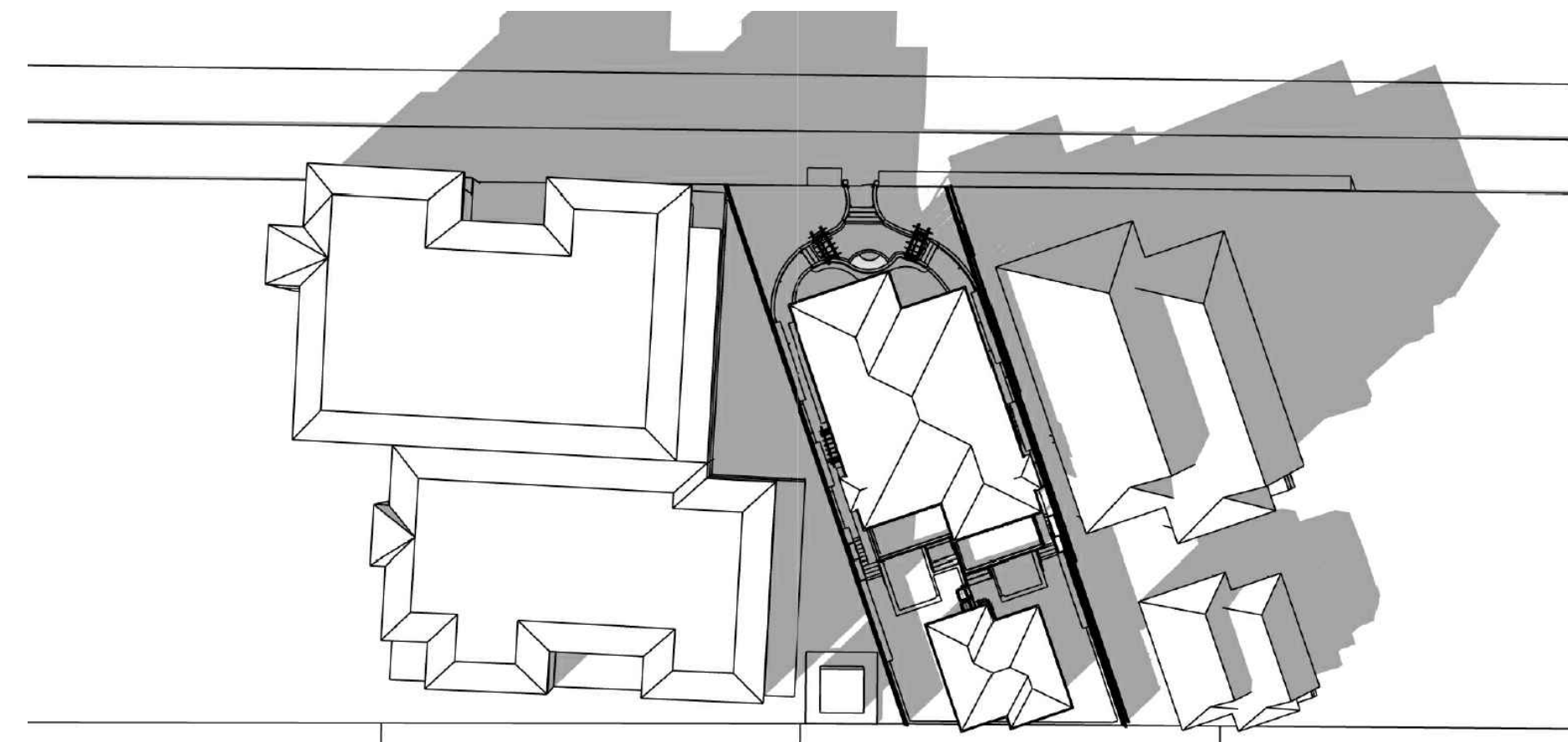
**A - 05**



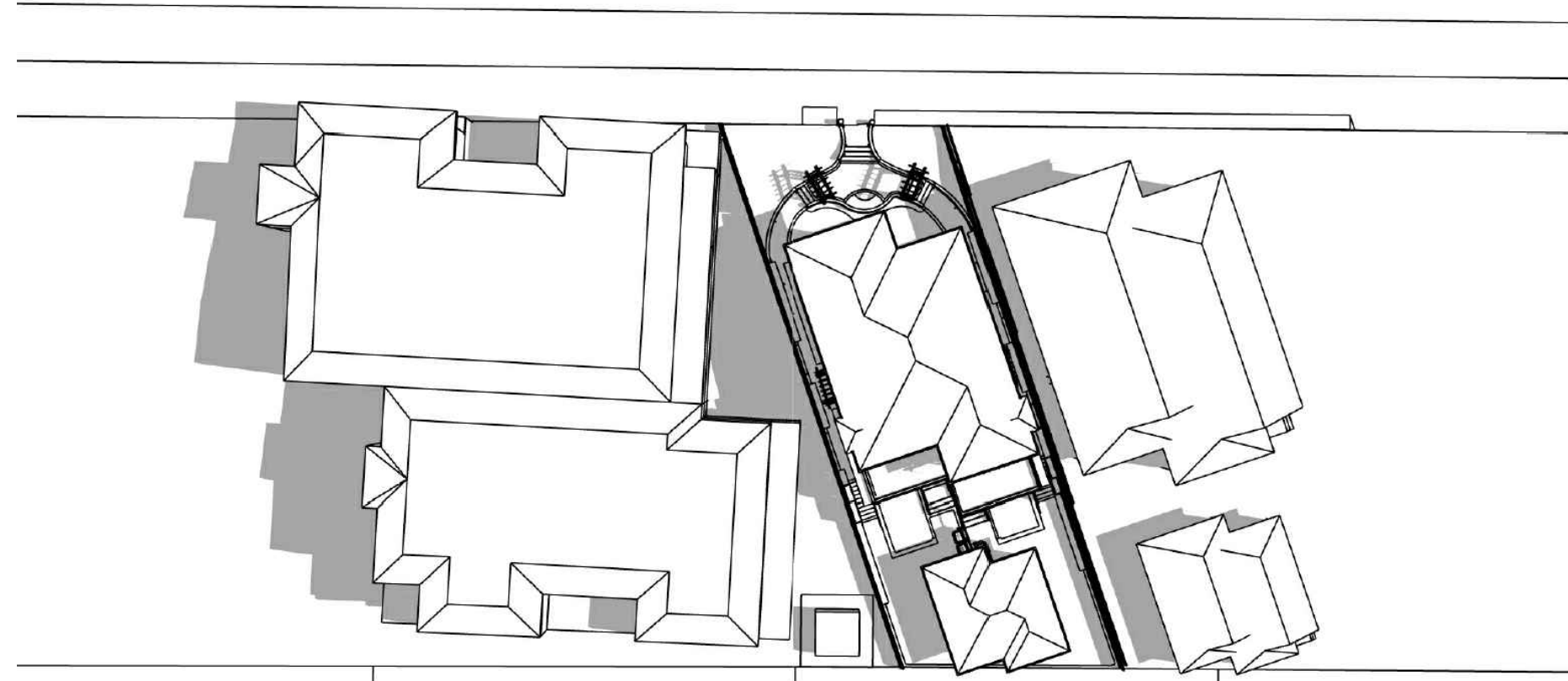
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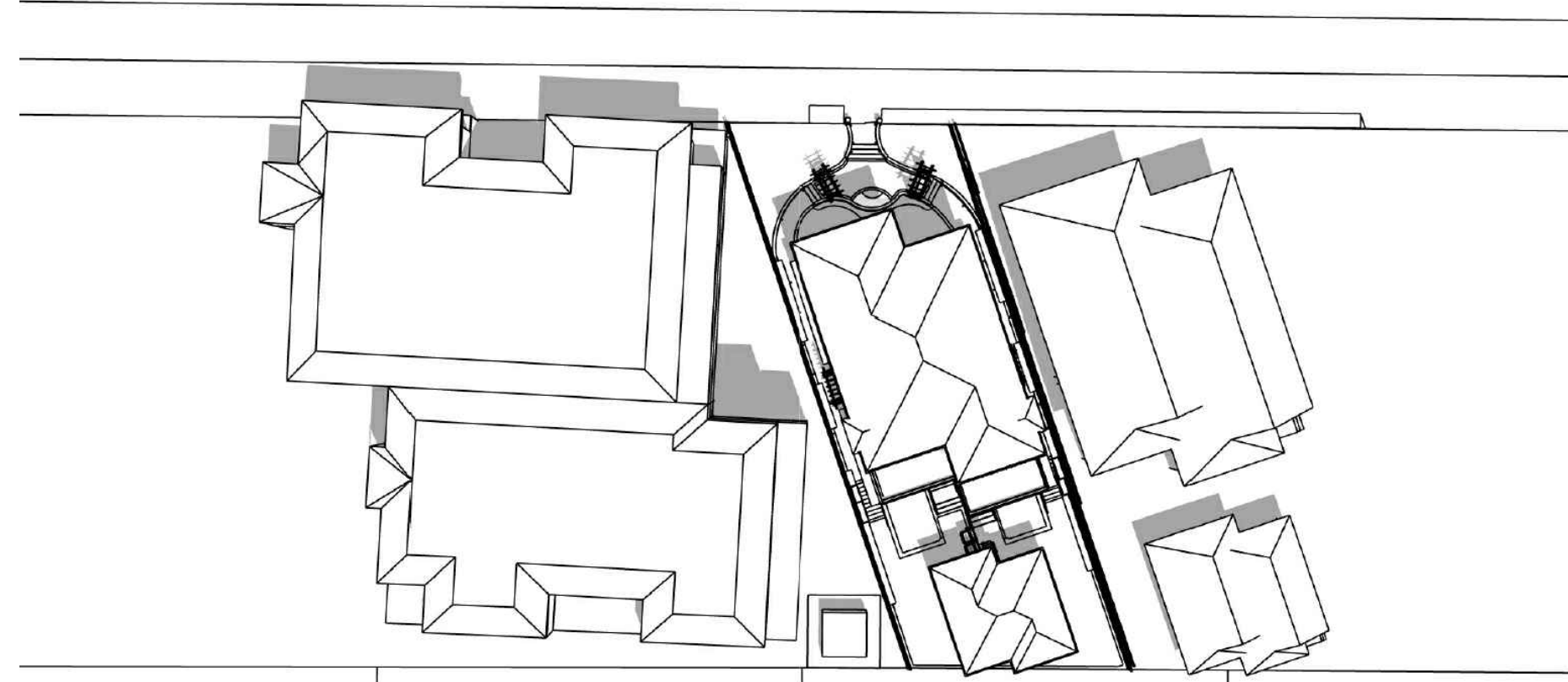
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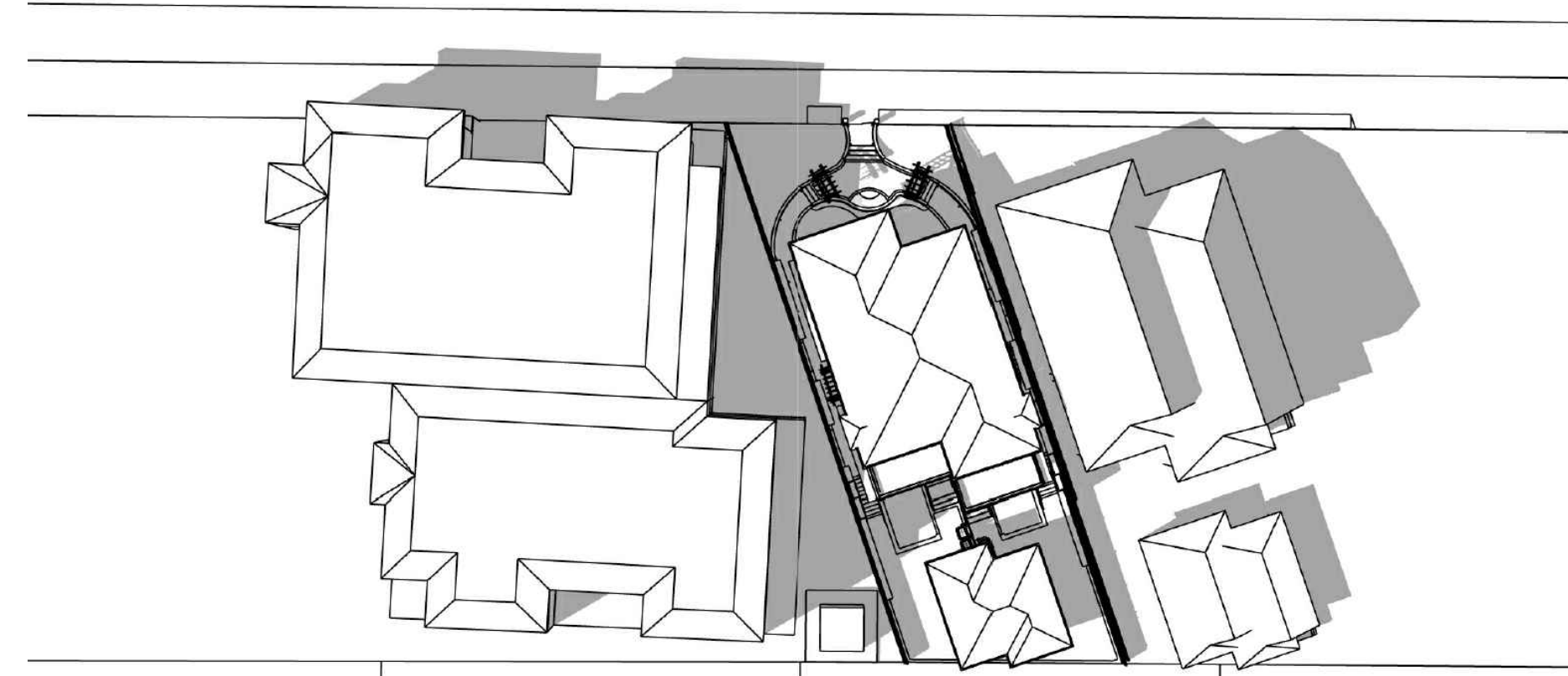
SPRING / FALL 4:00 PM



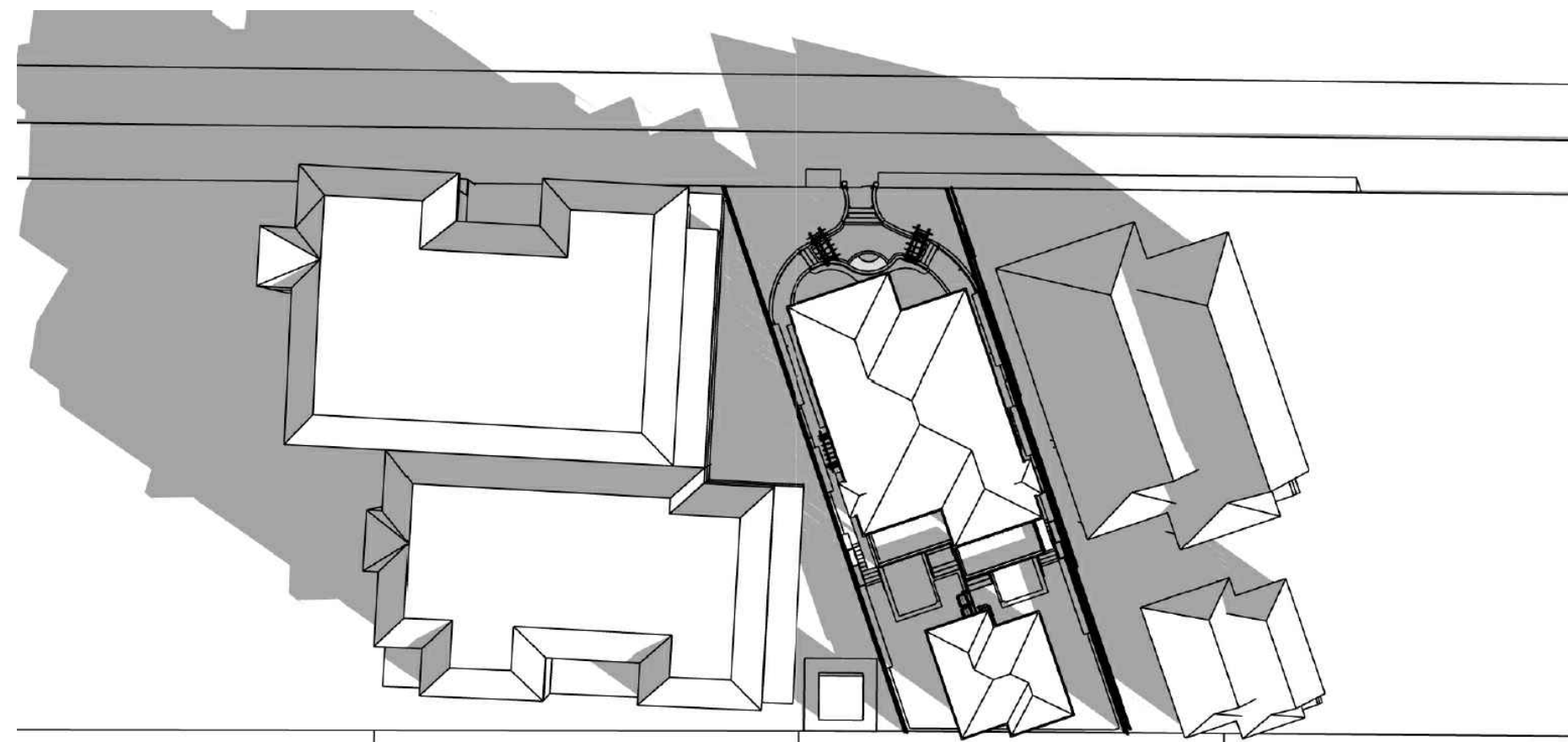
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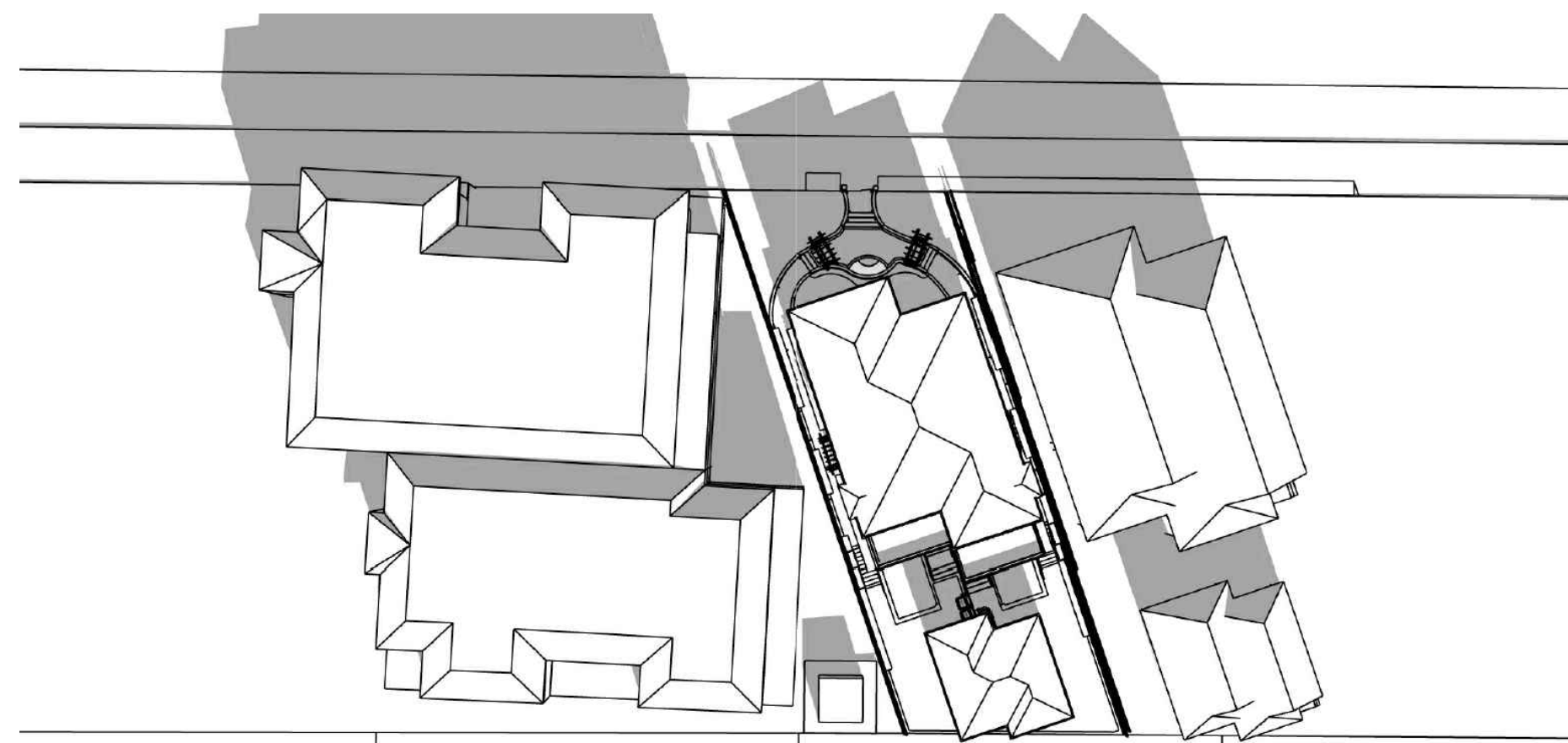
SUMMER NOON



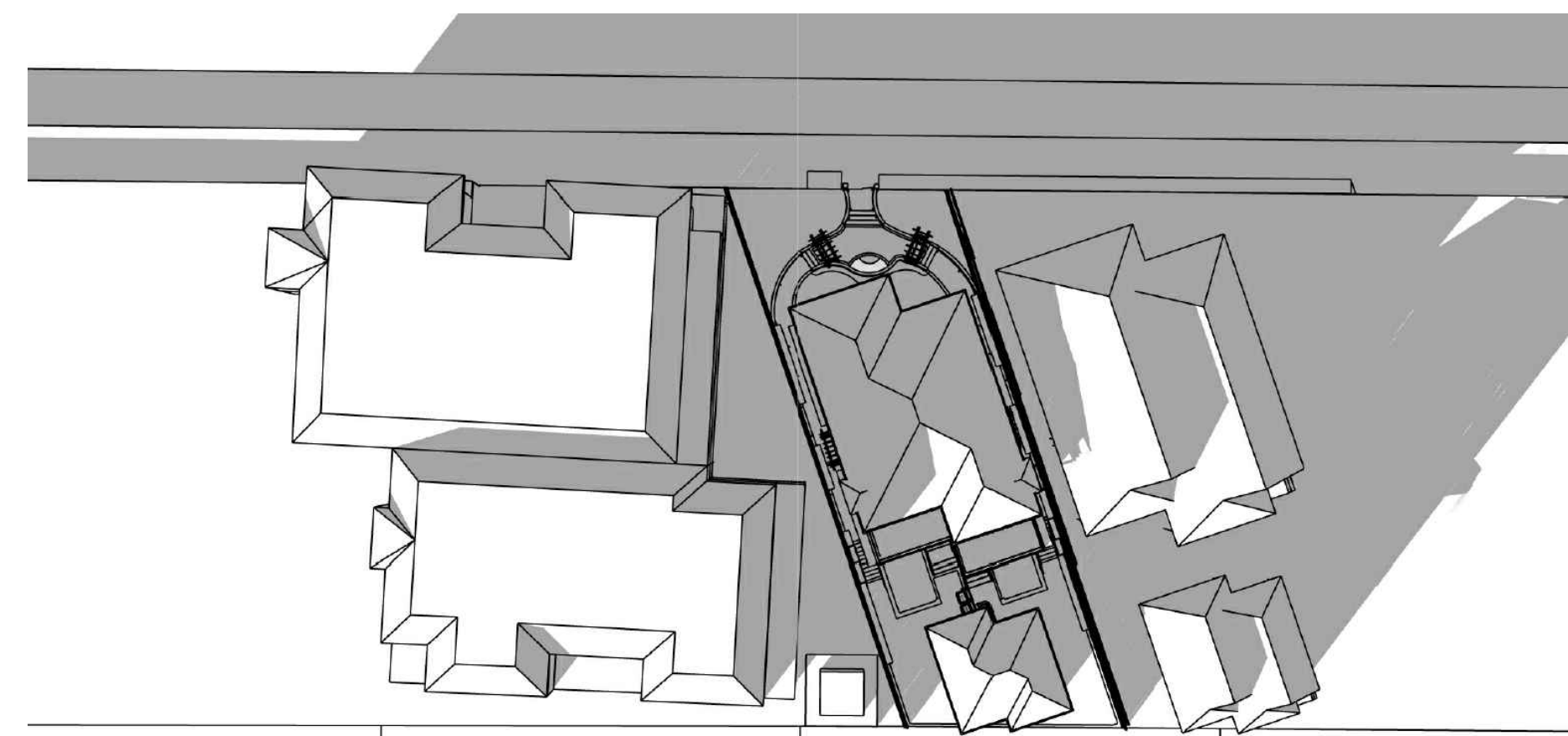
SUMMER 4:00 PM



WINTER 9:00 AM



WINTER NOON



WINTER 4:00 PM

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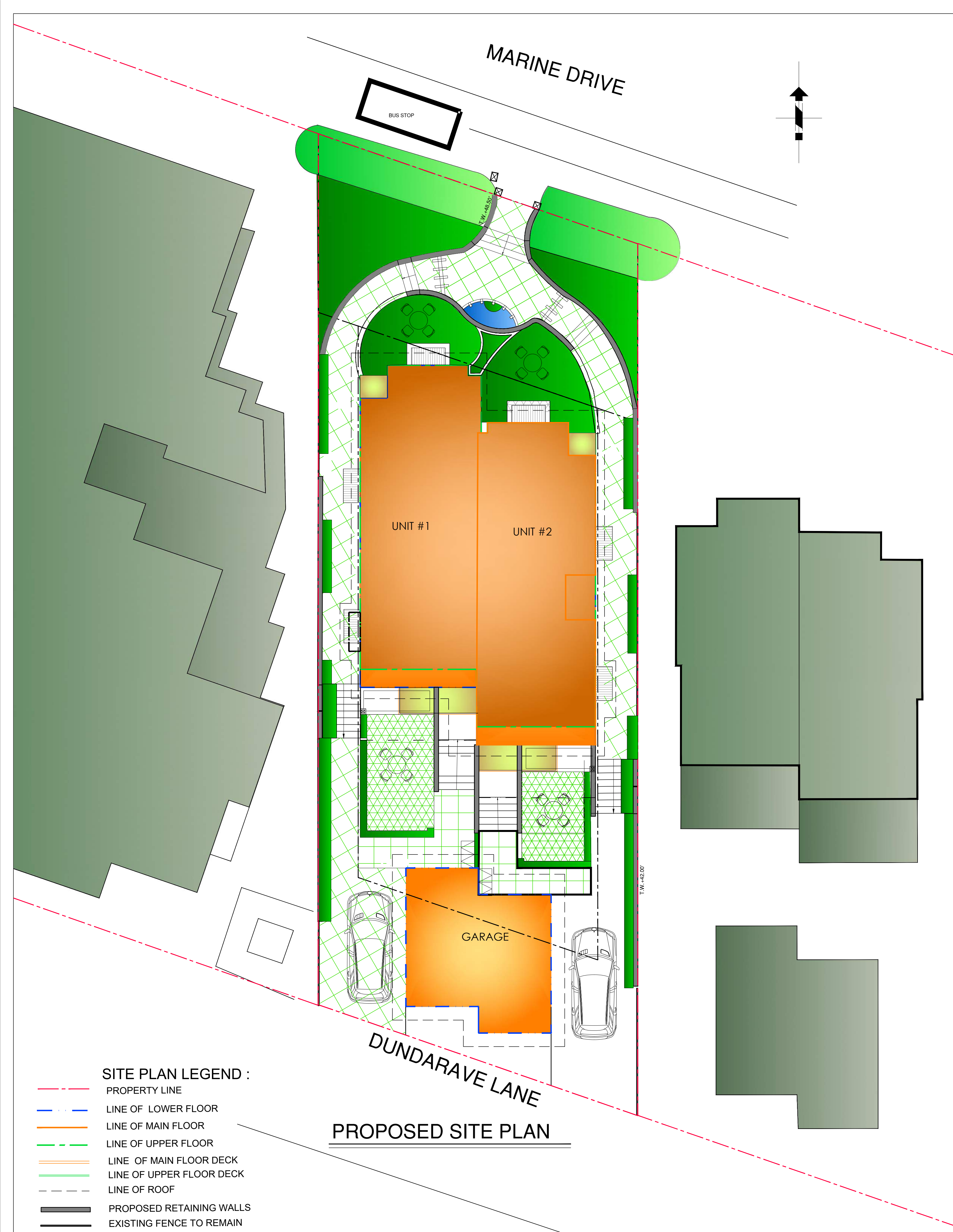
FILE: 2378 MARINE DRIVE.DWG

TITLE:

SHADOW STUDY

SHEET:

**A - 06**



- SITE PLAN LEGEND :**
- PROPERTY LINE
  - LINE OF LOWER FLOOR
  - LINE OF MAIN FLOOR
  - LINE OF UPPER FLOOR
  - LINE OF MAIN FLOOR DECK
  - LINE OF UPPER FLOOR DECK
  - LINE OF ROOF
  - PROPOSED RETAINING WALLS
  - EXISTING FENCE TO REMAIN

**PROPOSED SITE PLAN**

THIS BUILDING IS FULLY SPRINKLERED  
 APPLICABLE CODE: BCBC 2018

PROJECT DATA			
<b>SITE AREA</b>	6,097 S.F. (566.4 m <sup>2</sup> )		
<b>SITE WIDTH</b> (LINE PERPENDICULAR TO BISECTOR OF THE LOT)	47.34' (14.43 m)		
<b>SITE DEPTH</b> (LENGTH OF BISECTOR OF THE LOT)	128.96' (39.31 m)		
<b>ZONING</b>	RD1		
	<b>ZONING REQUIREMENT</b>	<b>ZONING REQUIREMENT INCL. INCENTIVE FOR ACHIEVING STEP 4</b>	<b>PROPOSED</b>
<b>SETBACKS</b>			
<b>PRINCIPAL BUILDING:</b>			
FRONT YARD	min. 24.93' (7.60 m)	min. 24.93' - 0.5' = 24.43' (7.44 m)	25.18' (7.67 m)
REAR YARD	min. 29.86' (9.10 m)	min. 29.85' - 0.5' = 29.35' (8.95 m)	44.04' (13.42 m)
SIDE YARD (EAST)	min. 5.00' (1.52 m)	min. 5.00' - 0.5' = 4.50' (1.37 m)	6.25' (1.90 m)
SIDE YARD (WEST)	min. 5.00' (1.52 m)	min. 5.00' - 0.5' = 4.50' (1.37 m)	6.21' (1.89 m)
COMBINED SIDE YARD (25%)	min. 11.83' (3.6m)	min. 11.83' - 1.00' = 10.83'(3.30 m)	12.46' (3.80 m)
<b>GARAGE:</b>			
FRONT YARD (LANE)	min. 4.00' (1.20 m)		min. 4.00' (1.20 m)
REAR YARD (TO P. BUILDING)	min. 15.00' (4.57 m)		min. 18.25' (5.56 m)
SIDE YARD (EAST)	min. 5.00' (1.52 m)		12.75' (3.88 m)
SIDE YARD (WEST)	min. 5.00' (1.52 m)		13.08' (3.99 m)
<b>FLOOR AREAS</b>			
PERMITTED F.A.R.: 6,097 x 50 % = 3,048.5 S.F. (283.21 m <sup>2</sup> )			
F.A.R. INCENTIVE FOR ACHIEVING STEP 4 : 3,048.5 X 1.04 = 3,170.44 S.F. (294.54 m <sup>2</sup> )			
PROPOSED:			
	<b>TOTAL</b>	<b>INCLUDED IN FAR</b>	<b>EXCLUDED FROM FAR</b>
<b>UNIT #1:</b>			
LOWER FLOOR: (SECONDARY SUITE AREA 735 S.F. (68.28 m <sup>2</sup> )	812 S.F. (75.43 m <sup>2</sup> )	29 S.F. (2.69 m <sup>2</sup> )*	783 S.F. (72.74 m <sup>2</sup> )
MAIN FLOOR:	778 S.F. (72.27 m <sup>2</sup> )	778 S.F. (72.27 m <sup>2</sup> )	-
UPPER FLOOR:	776 S.F. (72.09 m <sup>2</sup> )	776 S.F. (72.09 m <sup>2</sup> )	-
<b>TOTAL UNIT #1 AREA:</b>	<b>2,366 S.F. (219.80 m<sup>2</sup>)</b>	<b>1,583 S.F. (147.06 m<sup>2</sup>)</b>	<b>783 S.F. (72.74 m<sup>2</sup>)</b>
<b>UNIT #2:</b>			
LOWER FLOOR: (SECONDARY SUITE AREA 738 S.F. (68.56 m <sup>2</sup> )	808 S.F. (75.06 m <sup>2</sup> )	30.3 S.F. (2.81 m <sup>2</sup> )**	777.90 S.F. (72.26 m <sup>2</sup> )
MAIN FLOOR:	781 S.F. (72.55 m <sup>2</sup> )	781 S.F. (72.55 m <sup>2</sup> )	-
UPPER FLOOR:	774 S.F. (71.90 m <sup>2</sup> )	774 S.F. (71.90 m <sup>2</sup> )	-
<b>TOTAL UNIT #2 AREA:</b>	<b>2,363.30 S.F. (219.55 m<sup>2</sup>)</b>	<b>1,583.50 S.F. (147.28 m<sup>2</sup>)</b>	<b>777.90 S.F. (72.26 m<sup>2</sup>)</b>
<b>GARAGE:</b>	440 S.F. (40.87 m <sup>2</sup> )	-	440 S.F. (40.87 m <sup>2</sup> )
<b>TOTAL PROPOSED F.A.R.:</b> 3,168.30 S.F. (294.34 m <sup>2</sup> )			
<b>GRAND TOTAL:</b> 4,729.30 S.F. (439.36 m <sup>2</sup> ) EXCLUDED GARAGE AREA			
* 29 S.F. LOWER FLOOR AREA BEYOND MAIN FLOOR UNDER ENTRANCE			
** 29 S.F. LOWER FLOOR AREA BEYOND MAIN FLOOR UNDER ENTRANCE PLUS 1.3 S.F. PARTIALLY INCLUDED LOWER FLOOR (PAGE A2(b))			
<b>SITE COVERAGE</b>			
PERMITTED SITE COVERAGE : 6,097 x 40 % = 2,438.8 S.F. (226.57 m <sup>2</sup> )			
F.A.R. INCENTIVE FOR ACHIEVING STEP 4 : 2,438.8 X 1.04 = 2,536.35 S.F. (233.63 m <sup>2</sup> )			
PROPOSED SITE COVERAGE :			
MAIN BUILDING AND GARAGE: 2,090 S.F. (194.16 m <sup>2</sup> )			
TOTAL DECKS : 282 S.F. (26.19 m <sup>2</sup> )			
TOTAL PROPOSED SITE COVERAGE: 2,372.00 S.F. (220.36 m <sup>2</sup> )			
<b>HEIGHT</b>			
PERMITTED PRINCIPAL BUILDING HEIGHT: 25.0' (7.62 m)			
F.A.R. INCENTIVE FOR ACHIEVING STEP 4 : 25.0' + 6" = 25'-6" (7.77 m)			
PROPOSED PRINCIPAL BUILDING HEIGHT : 24'-1" (7.34 m)			
PERMITTED ACCESSORY GARAGE HEIGHT: 12.0' (3.65 m)			
PROPOSED ACCESSORY GARAGE HEIGHT (TOP OF PARAPET) : 10'-4 1/2" (3.16 m)			
<b>FRONT YARD PERMEABLE COVERAGE</b>			
TOTAL FRONT YARD AREA: 1249 S.F. (116.03 S.M.)			
PERMITTED MAX. IMPERMEABLE AREA :1249 S.F. x 50% = 625 S.F. (58.00 S.M.)			
PROPOSED IMPERMEABLE AREA :406 S.F. (37.72 S.M.)			
PROPOSED BUILDING IS FULLY SPRINKLERED			

DESIGNER: **KAYVAN MEMORY** MASTER OF ARCHITECTURE  
 P hone : 604-836-3124 E mail : kayvanmemory@gmail.com

CIVIC ADDRESS:  
**2378 MARINE DRIVE  
 WEST VANCOUVER, BC**

LEGAL DESCRIPTION :  
**LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394**

DP REVISION FEB 2022

REVISIONS:

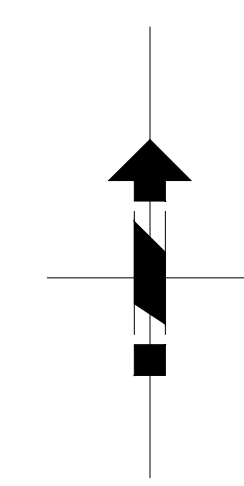
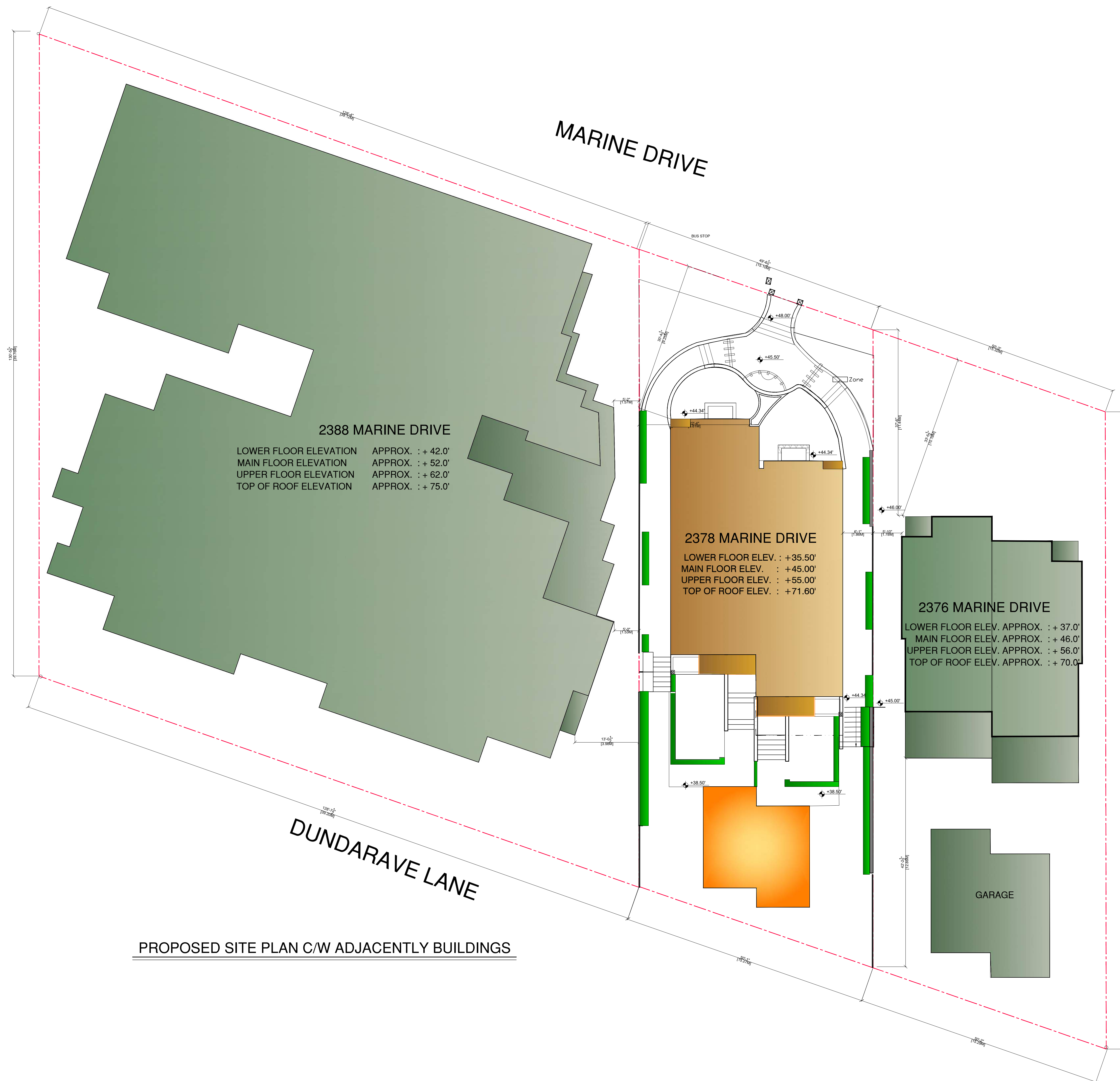
DRAWN BY: K.M.  
 SCALE: 1/8" = 1'-0"  
 DATE: JUNE 2021  
 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
**PROPOSED SITE PLAN  
 PROJECT DATA**

SHEET:  
**A - 6(a)**

NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK, AND SHALL NOTIFY THE DESIGNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS AND/OR THE SPECIFICATIONS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS CREATED BY CONSULTANTS. THESE DRAWINGS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF THE DESIGNER AND ANY UNAUTHORIZED USE AND REPRODUCTION IS PROHIBITED.





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DP REVISION FEB 2022

REVISIONS:

DRAWN BY:	K.M.
SCALE:	N.T.S.
DATE:	JUNE 2021
FILE:	2378 MARINE DRIVE.DWG

TITLE:  
**PROPOSED SITE PLAN**  
**C/W ADJACENTLY BUILDINGS**

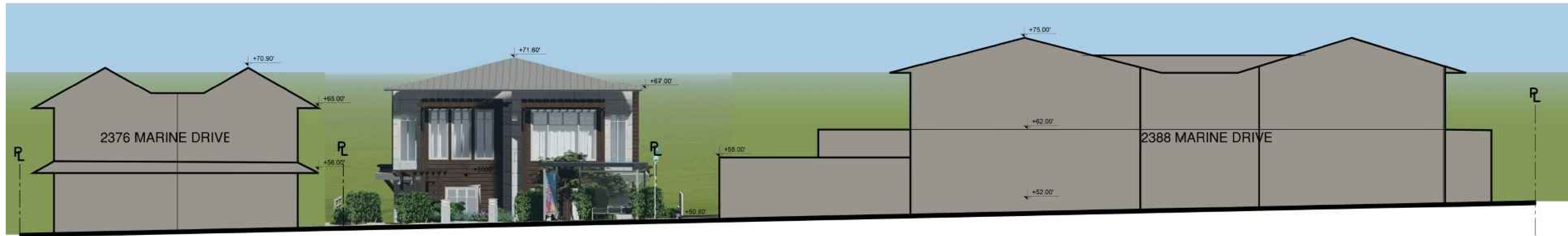
SHEET:  
**A - 6(b)**

PROPOSED SITE PLAN C/W ADJACENTLY BUILDINGS

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STREET VIEW (MARINE DRIVE) INCLUDING ADJACENT BUILDINGS



NORTH ELEVATION (MARINE DRIVE) INCLUDING ADJACENT BUILDINGS



SOUTH ELEVATION (DUNDARAVE LANE) INCLUDING ADJACENT BUILDINGS

CIVIC ADDRESS:  
2378 MARINE DRIVE  
WEST VANCOUVER, BC

LEGAL DESCRIPTION :  
LOT 1, BLOCK 'G',  
DISTRICT LOT 554  
GROUP 1,  
NEW WESTMINSTER DISTRICT  
PLAN EPP108394

DP REVISION FEB 2022

REVISIONS:  
DRAWN BY: K.M.  
SCALE: N.T.S.  
DATE: JUNE 2021  
FILE: 2378 MARINE DRIVE.DWG

TITLE:  
PROPOSED ELEVATIONS  
C/W ADJACENTLY BUILDINGS

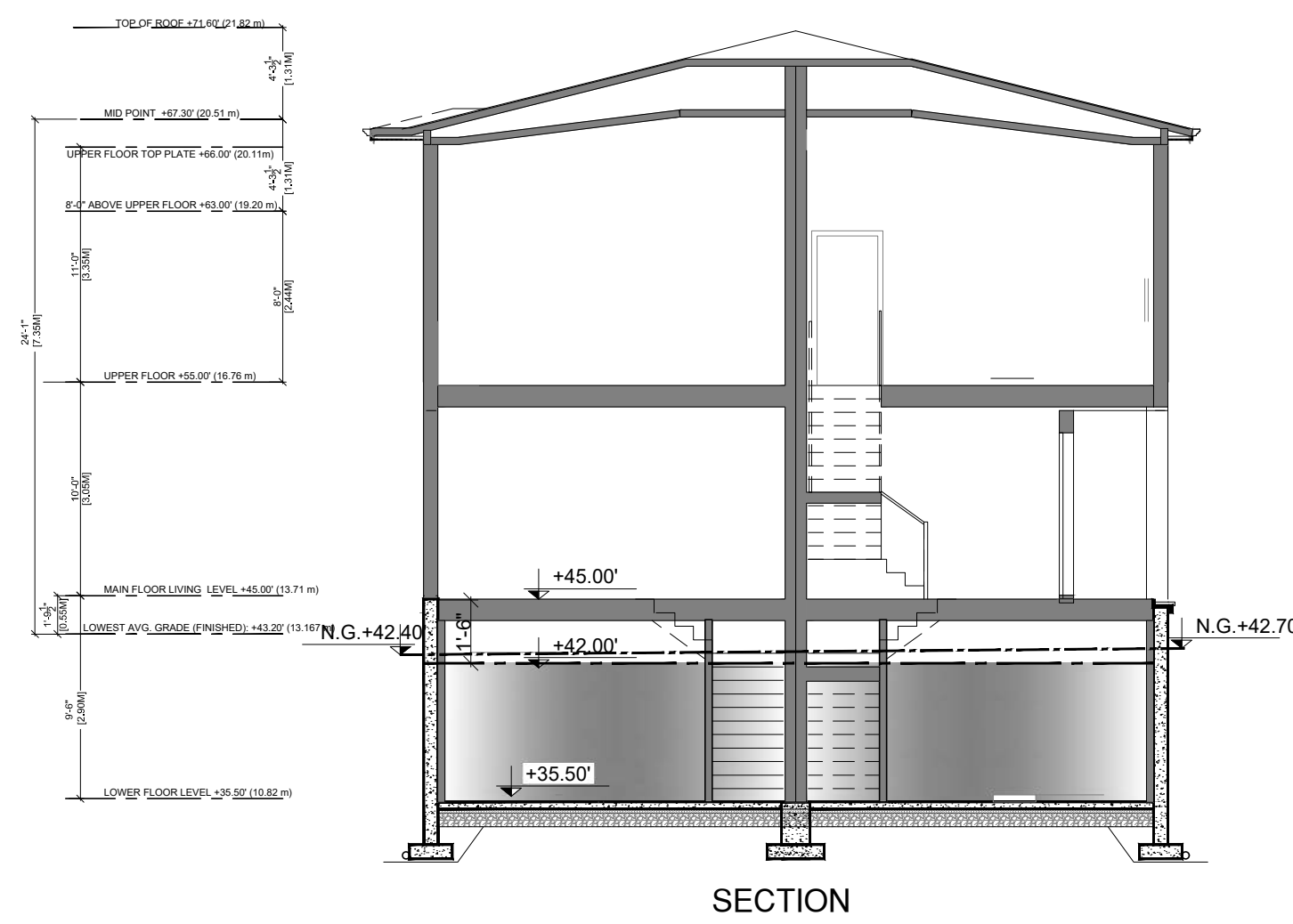
SHEET:  
**A - 6(c)**



\*\*\*UNIT #2 LOWER FLOOR FAR CALCULATION (A-12)  
 LOWER AVERAGE GRADE ELEVATION: 43.15' (13.15 m)  
 LOWER FLOOR ELEVATION: 35.50' (10.82 m)  
 $[(43.15' - 35.50') / 9.5'] \times 100 = 80.52\%$  EXCLUDED  
 PARTIALLY INCLUDED LOWER FLOOR: 6.7 S.F. (0.622 S.M.)  
 LOWER FLOOR INCLUDED: 6.7 S.F. x 19.48% = 1.3 S.F. (0.12 S.M.)

**LEGEND :**  
 100% EXCLUDED  
 100% INCLUDED  
 PARTIALLY INCLUDED

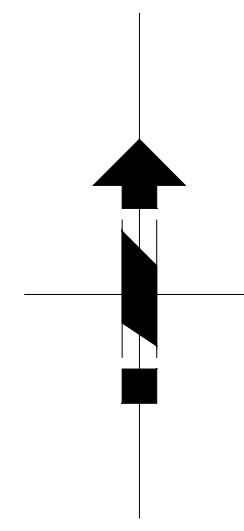
**LOWER FLOOR AREA EXEMPTION**



NOT COMPLY WITH H.B.F. REGULATION  
 EXEMPTED = 1/3

**LOWER FLOOR PLAN**

TOTAL AREA : 1620 S.F.  
 INCL. IN FAR : 59.3 S.F.



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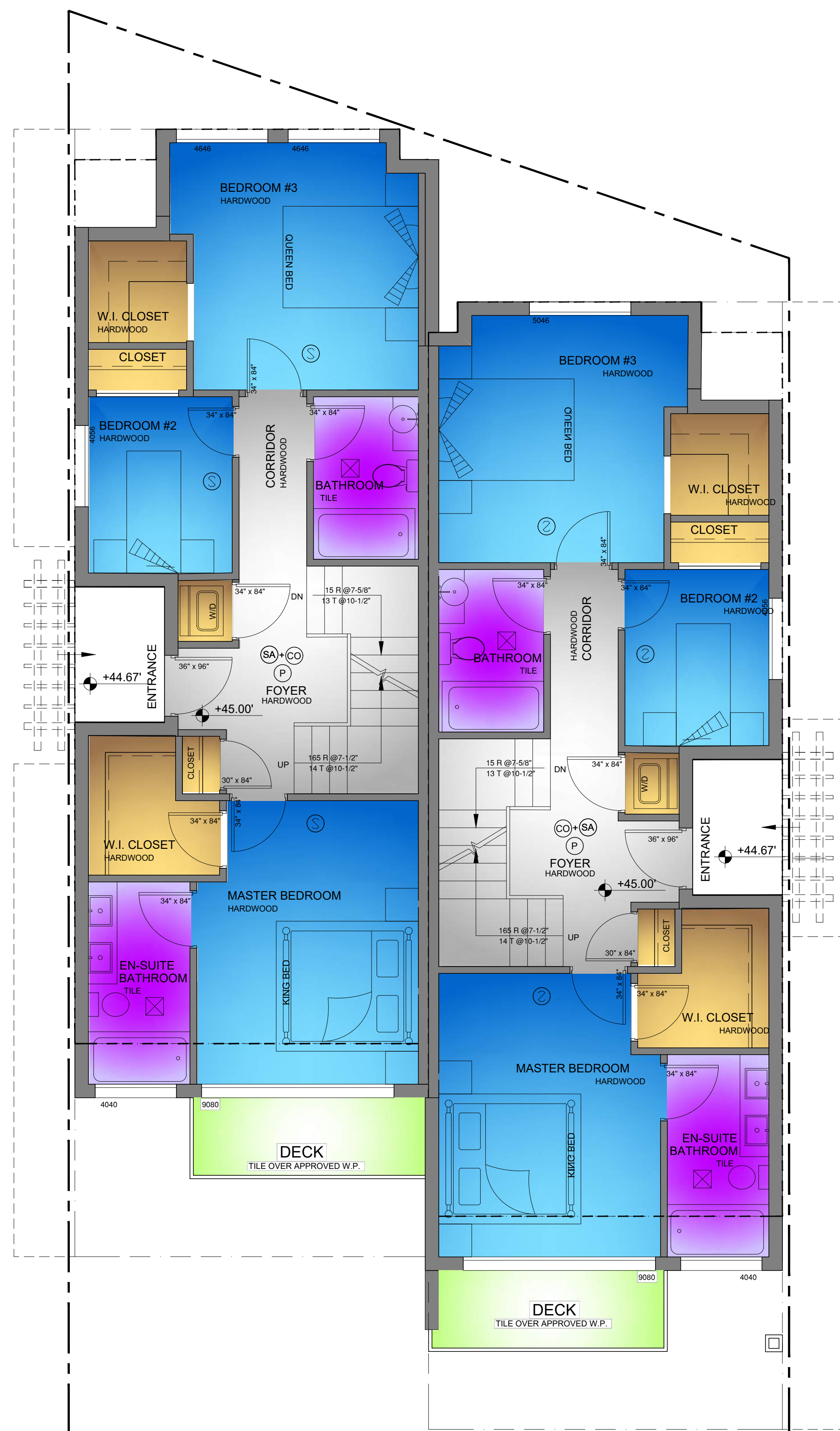
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 DRAWN BY: K.M.  
 SCALE: 1/4" = 1'-0"  
 DATE: JUNE 2021  
 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
 PROPOSED LOWER FLOOR PLAN

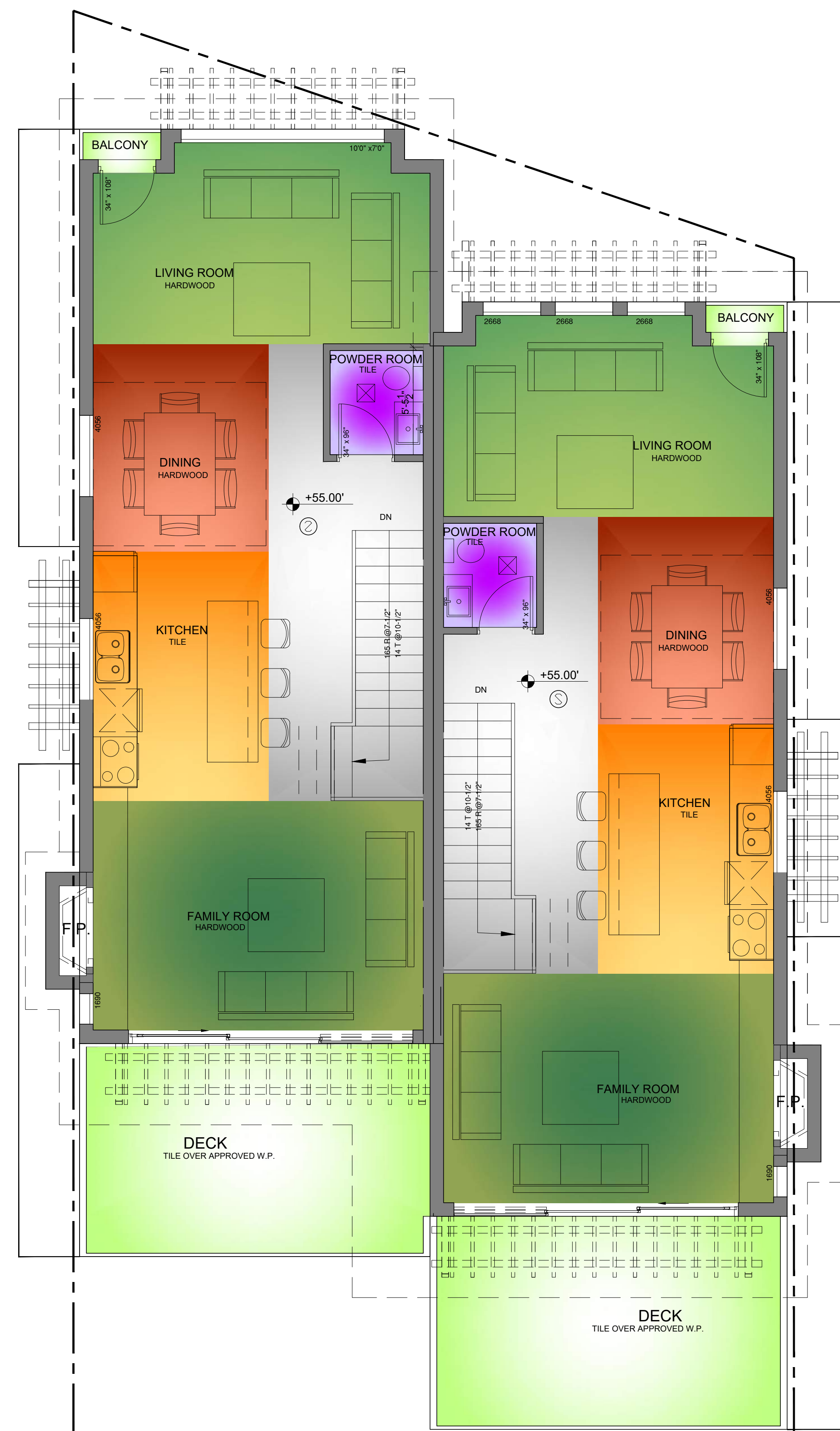
SHEET:  
**A - 6(d)**

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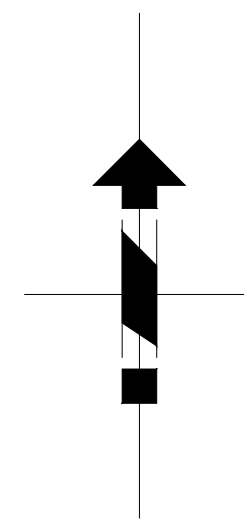
**MAIN FLOOR PLAN**

TOTAL AREA : 1559 S.F.  
100 %INCL. IN FAR



**UPPER FLOOR PLAN**

TOTAL AREA : 1550 S.F.  
100 %INCL. IN FAR



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DP REVISION FEB 2022

REVISIONS:	
DRAWN BY:	K.M.
SCALE:	1/4" = 1'-0"
DATE:	JUNE 2021
FILE:	2378 MARINE DRIVE.DWG
TITLE:	PROPOSED MAIN AND UPPER FLOOR PLANS

SHEET:  
**A - 6(e)**

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NORTH ELEVATION



SOUTH ELEVATION

EXTERIOR FINISH MATERIALS:



UP-STAND SEAM METAL ROOFING GRAY



ALUMINUM WINDOW  
THERMALLY BROKEN TRIPLE LOW E GLAZING



CEDAR TRELLISES AND POST (COLOR : CLOVE BROWN)



NATURAL LEDGESTONE



ALUMINUM SLIDING DOOR  
THERMALLY BROKEN TRIPLE LOW E GLAZING



CEDAR TRELLISES (COLOR : CLOVE BROWN)



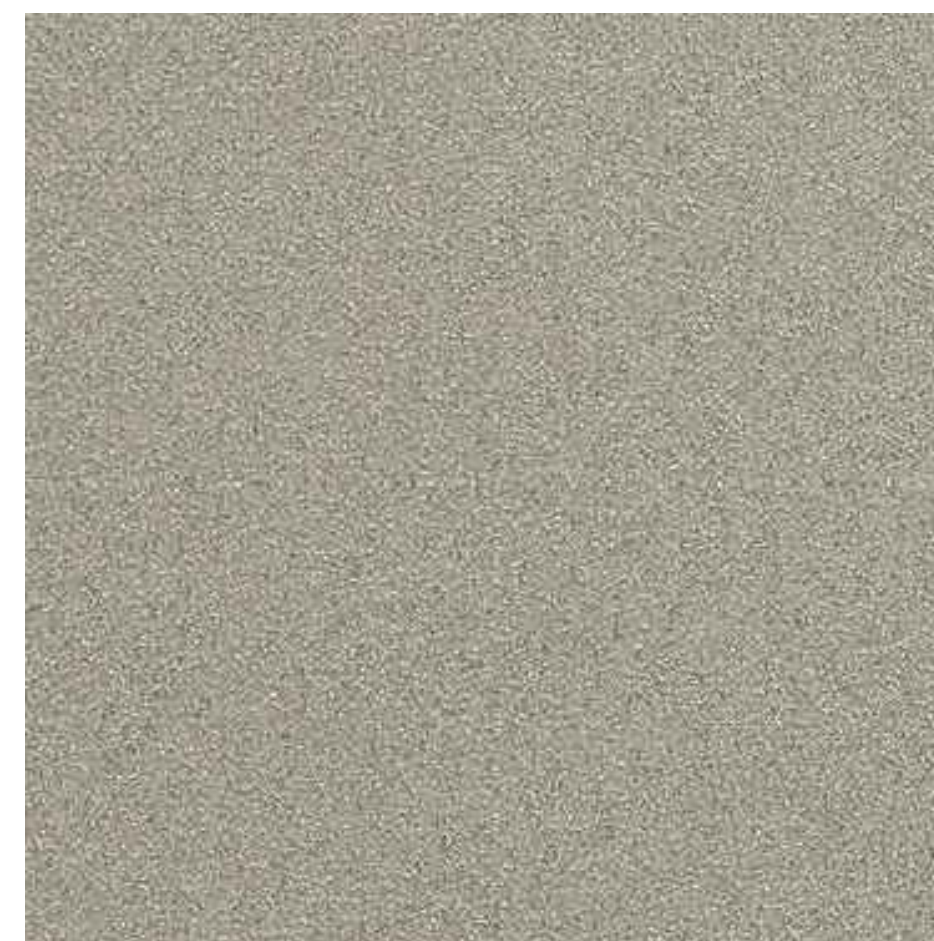
CEDAR SIDING (COLOR : CLOVE BROWN)



ALUMINUM PATIO DOOR  
THERMALLY BROKEN TRIPLE LOW E GLAZING



CLEAR TEMPERED GLASS RAILING (SIDE MOUNT)



NITCHIHA CEMENTITIOUS PANEL GREY



WOOD ENTRY DOOR GLAZED

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 PLAN EPP108394

DP REVISION FEB 2022

REVISIONS:	
DRAWN BY:	K.M.
SCALE:	NTS
DATE:	JUNE 2021
FILE:	2378 MARINE DRIVE.DWG

TITLE:  
 PROPOSED COLOR ELEVATIONS

SHEET:  
**A - 07**



EAST ELEVATION



WEST ELEVATION

DESIGNER:	<b>K</b> AYVAN	MASTER OF ARCHITECTURE
	<b>M</b> EMARY	
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CIVIC ADDRESS:  
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REVISIONS:	
DRAWN BY:	K.M.
SCALE:	N.T.S.
DATE:	JUNE 2021
FILE:	2378 MARINE DRIVE.DWG

TITLE:  
 PROPOSED COLOR ELEVATIONS

SHEET:  
**A - 08**

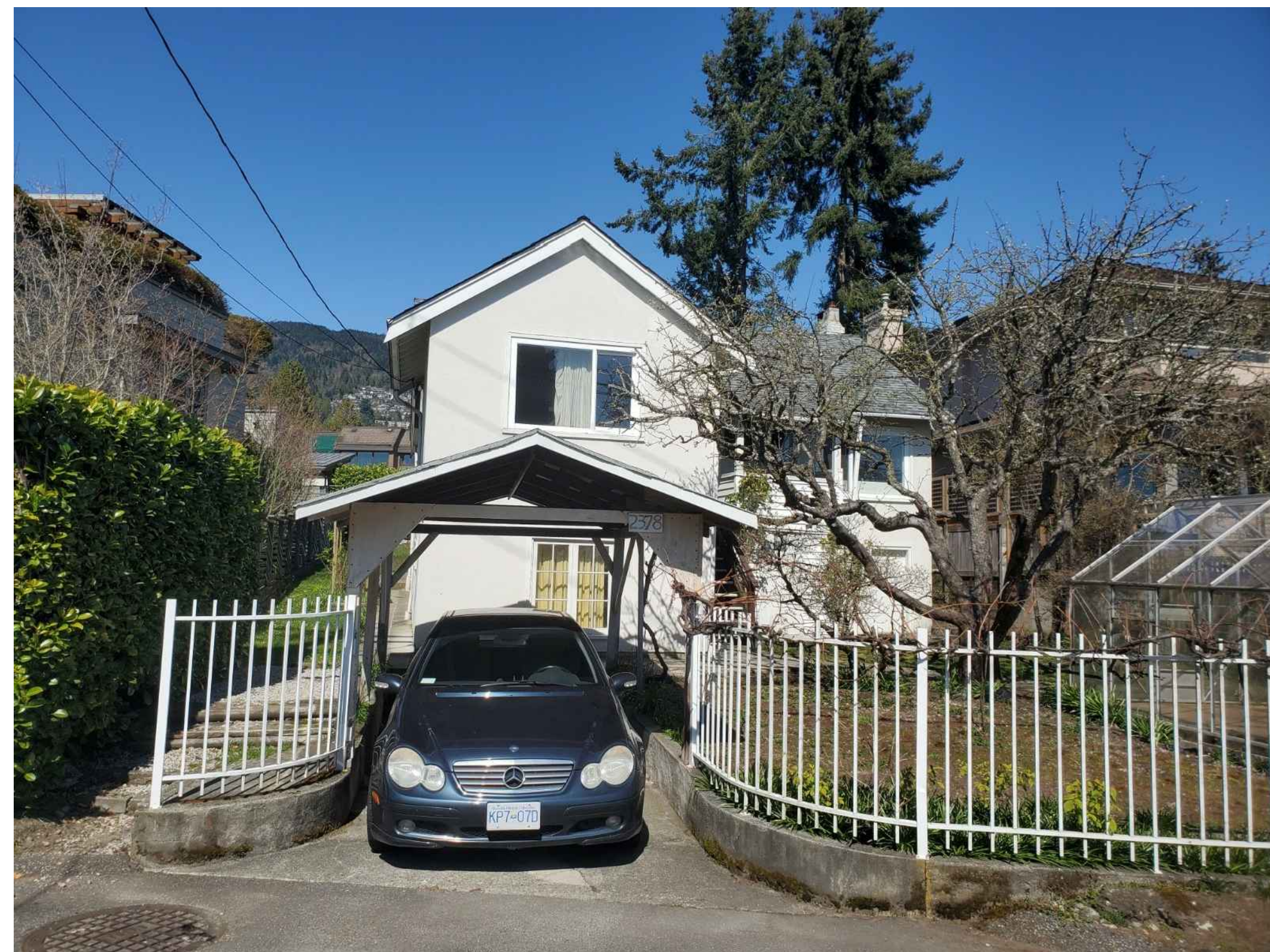
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EXISTING BUILDING VIEW FROM MARINE DRIVE



PROPOSED BUILDING VIEW FROM MARINE DRIVE



EXISTING BUILDING VIEW FROM DUNDARAVE LANE



PROPOSED BUILDING VIEW FROM DUNDARAVE LANE

DESIGNER:  
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**MEMORY**  
 MASTER OF ARCHITECTURE  
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 E-mail : kayvanmemory@gmail.com

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REVISIONS:  
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 SCALE: N.T.S.  
 DATE: JUNE 2021  
 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
 EXISTING BLOCK IMAGES

SHEET:  
**A - 09**



PROPOSED BUILDING RENDERED IMAGE #1



PROPOSED BUILDING RENDERED IMAGE #2



PROPOSED BUILDING RENDERED IMAGE #3



PROPOSED BUILDING RENDERED IMAGE #4



PROPOSED BUILDING RENDERED IMAGE #5



PROPOSED BUILDING RENDERED IMAGE #6

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 SCALE: N.T.S.  
 DATE: JUNE 2021  
 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
 PROPOSED BUILDING RENDERED IMAGES

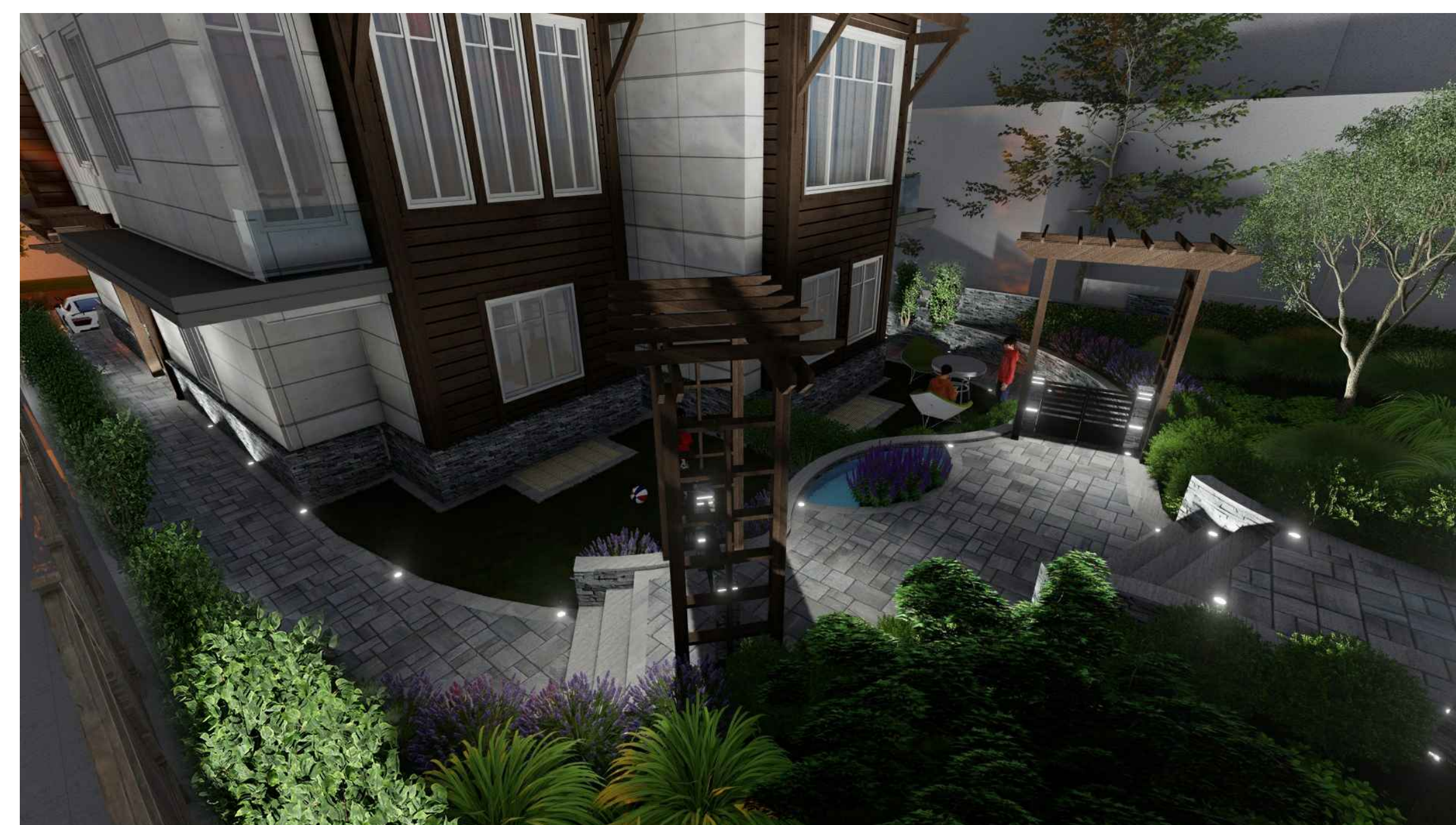
SHEET:  
**A - 10**

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PROPOSED BUILDING RENDERED IMAGE #7



PROPOSED BUILDING RENDERED IMAGE #8



PROPOSED BUILDING RENDERED IMAGE #9



PROPOSED BUILDING RENDERED IMAGE #10



PROPOSED BUILDING RENDERED IMAGE #11



PROPOSED BUILDING RENDERED IMAGE #12

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 DRAWN BY: K.M.  
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 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
 PROPOSED BUILDING RENDERED IMAGES

SHEET:  
**A-11**

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- SITE PLAN LEGEND :**
- PROPERTY LINE
  - LINE OF LOWER FLOOR
  - LINE OF MAIN FLOOR
  - LINE OF UPPER FLOOR
  - LINE OF MAIN FLOOR DECK
  - LINE OF UPPER FLOOR DECK
  - LINE OF ROOF (INCL. GARAGE ROOF)
  - PROPOSED RETAINING WALLS
  - EXISTING FENCE TO REMAIN

THIS BUILDING IS FULLY SPRINKLERED  
 APPLICABLE CODE: BCBC 2018

PROJECT DATA			
<b>SITE AREA</b>	6,097 S.F. (566.4 m <sup>2</sup> )		
<b>SITE WIDTH</b> (LINE PERPENDICULAR TO BISECTOR OF THE LOT)	47.34' (14.43 m)		
<b>SITE DEPTH</b> (LENGTH OF BISECTOR OF THE LOT)	128.96' (39.31 m)		
<b>ZONING</b>	RD1		
	<b>ZONING REQUIREMENT</b>	<b>ZONING REQUIREMENT INCL. INCENTIVE FOR ACHIEVING STEP 4</b>	<b>PROPOSED</b>
<b>SETBACKS</b>			
<b>PRINCIPAL BUILDING:</b>			
FRONT YARD	min. 24.93' (7.60 m)	min. 24.93' - 0.5' = 24.43' (7.44 m)	25.18' (7.67 m)
REAR YARD	min. 29.86' (9.10 m)	min. 29.85' - 0.5' = 29.35' (8.95 m)	44.04' (13.42 m)
SIDE YARD (EAST)	min. 5.00' (1.52 m)	min. 5.00' - 0.5' = 4.50' (1.37 m)	6.25' (1.90 m)
SIDE YARD (WEST)	min. 5.00' (1.52 m)	min. 5.00' - 0.5' = 4.50' (1.37 m)	6.21' (1.89 m)
COMBINED SIDE YARD (25%)	min. 11.83' (3.6m)	min. 11.83' - 1.00' = 10.83'(3.30 m)	12.46' (3.80 m)
<b>GARAGE:</b>			
FRONT YARD (LANE)	min. 4.00' (1.20 m)		min. 4.00' (1.20 m)
REAR YARD (TO P. BUILDING)	min. 15.00' (4.57 m)		min. 18.25' (5.56 m)
SIDE YARD (EAST)	min. 5.00' (1.52 m)		12.75' (3.88 m)
SIDE YARD (WEST)	min. 5.00' (1.52 m)		13.08' (3.99 m)
<b>FLOOR AREAS</b>			
PERMITTED F.A.R.: 6,097 x 50 % = 3,048.5 S.F. (283.21 m <sup>2</sup> )			
F.A.R. INCENTIVE FOR ACHIEVING STEP 4 : 3,048.5 X 1.04 = 3,170.44 S.F. (294.54 m <sup>2</sup> )			
PROPOSED:			
	<b>TOTAL</b>	<b>INCLUDED IN FAR</b>	<b>EXCLUDED FROM FAR</b>
<b>UNIT #1:</b>			
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MAIN FLOOR:	778 S.F. (72.27 m <sup>2</sup> )	778 S.F. (72.27 m <sup>2</sup> )	-
UPPER FLOOR:	776 S.F. (72.09 m <sup>2</sup> )	776 S.F. (72.09 m <sup>2</sup> )	-
<b>TOTAL UNIT #1 AREA:</b>	2,366 S.F. (219.80 m <sup>2</sup> )	1,583 S.F. (147.06 m <sup>2</sup> )	783 S.F. (72.74 m <sup>2</sup> )
<b>UNIT #2:</b>			
LOWER FLOOR: (SECONDARY SUITE AREA 738 S.F. (68.56 m <sup>2</sup> )	808 S.F. (75.06 m <sup>2</sup> )	30.3 S.F. (2.81 m <sup>2</sup> )**	777.90 S.F. (72.26 m <sup>2</sup> )
MAIN FLOOR:	781 S.F. (72.55 m <sup>2</sup> )	781 S.F. (72.55 m <sup>2</sup> )	-
UPPER FLOOR:	774 S.F. (71.90 m <sup>2</sup> )	774 S.F. (71.90 m <sup>2</sup> )	-
<b>TOTAL UNIT #2 AREA:</b>	2,363.30 S.F. (219.55 m <sup>2</sup> )	1,583.30 S.F. (147.28 m <sup>2</sup> )	777.90 S.F. (72.26 m <sup>2</sup> )
<b>GARAGE:</b>	440 S.F. (40.87 m <sup>2</sup> )	-	440 S.F. (40.87 m <sup>2</sup> )
<b>TOTAL PROPOSED F.A.R.:</b>	3,168.30 S.F. (294.34 m <sup>2</sup> )		
<b>GRAND TOTAL:</b>	4,729.30 S.F. (439.36 m <sup>2</sup> ) EXCLUDED GARAGE AREA		
* 29 S.F. LOWER FLOOR AREA BEYOND MAIN FLOOR UNDER ENTRANCE			
** 29 S.F. LOWER FLOOR AREA BEYOND MAIN FLOOR UNDER ENTRANCE PLUS 1.3 S.F. PARTIALLY INCLUDED LOWER FLOOR (PAGE A-13)			
<b>SITE COVERAGE</b>			
PERMITTED SITE COVERAGE : 6,097 x 40 % = 2,438.8 S.F. (226.57 m <sup>2</sup> )			
F.A.R. INCENTIVE FOR ACHIEVING STEP 4 : 2,438.8 X 1.04 = 2,536.35 S.F. (233.63 m <sup>2</sup> )			
PROPOSED SITE COVERAGE :			
MAIN BUILDING AND GARAGE: 2,090 S.F. (194.16 m <sup>2</sup> )			
TOTAL DECKS : 282 S.F. (26.19 m <sup>2</sup> )			
<b>TOTAL PROPOSED SITE COVERAGE:</b>	2,372.00 S.F. (220.36 m <sup>2</sup> )		
<b>HEIGHT</b>			
PERMITTED PRINCIPAL BUILDING HEIGHT: 25.0' (7.62 m)			
F.A.R. INCENTIVE FOR ACHIEVING STEP 4 : 25.0' + 6" = 25'-6" (7.77 m)			
PROPOSED PRINCIPAL BUILDING HEIGHT : 24'-1" (7.34 m)			
PERMITTED ACCESSORY GARAGE HEIGHT: 12.0' (3.65 m)			
PROPOSED ACCESSORY GARAGE HEIGHT (TOP OF PARAPET) : 10'-4 1/2" (3.16 m)			
<b>FRONT YARD PERMEABLE COVERAGE</b>			
TOTAL FRONT YARD AREA: 1249 S.F. (116.03 S.M.)			
PERMITTED MAX. IMPERMEABLE AREA :1249 S.F. x 50% = 625 S.F. (58.00 S.M.)			
PROPOSED IMPERMEABLE AREA :406 S.F. (37.72 S.M.)			
PROPOSED BUILDING IS FULLY SPRINKLERED			

DESIGNER: **KAYVAN MEMARY**  
 MASTER OF ARCHITECTURE  
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 E mail : kayvanmemary@gmail.com

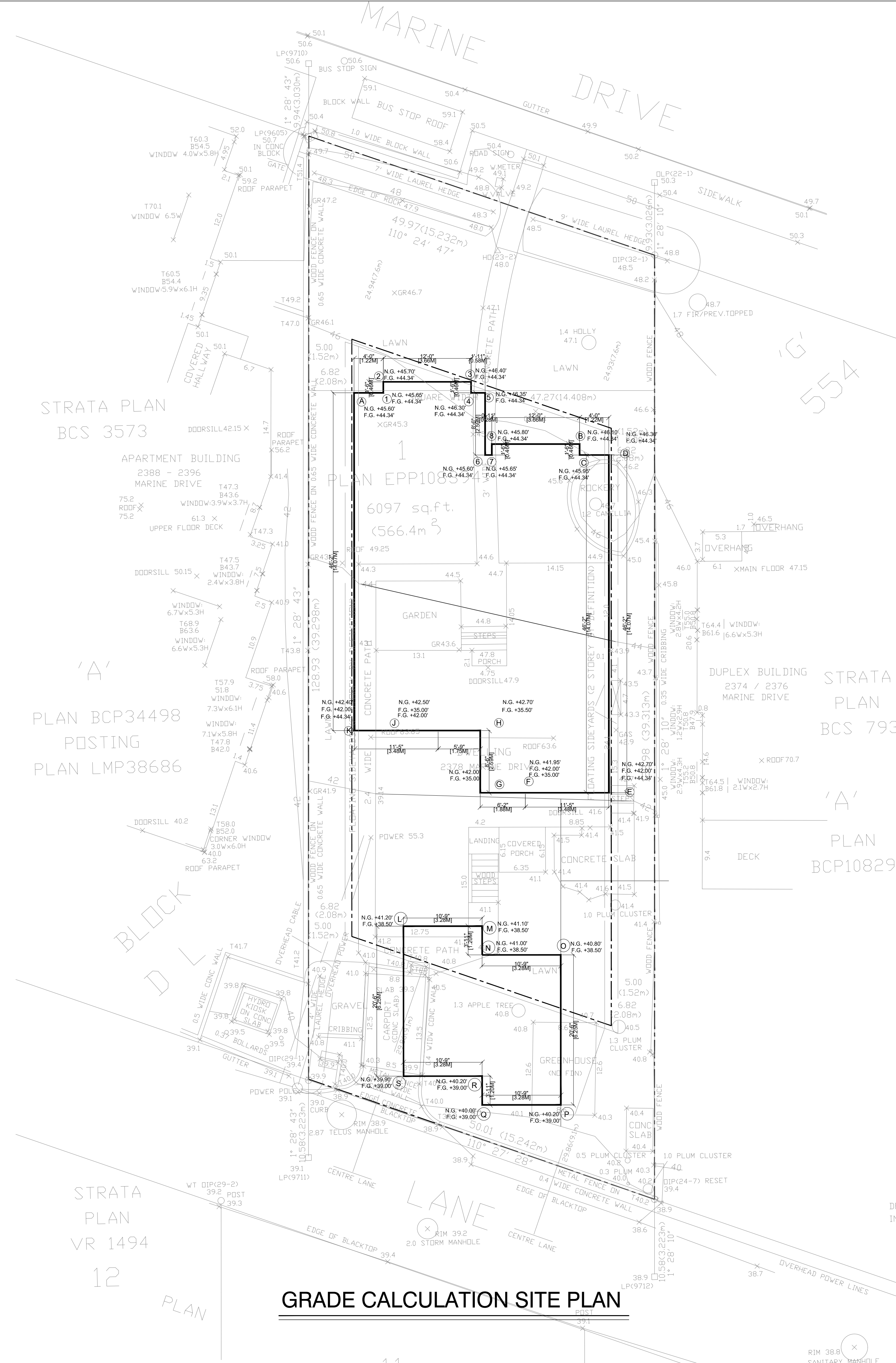
CIVIC ADDRESS:  
**2378 MARINE DRIVE  
 WEST VANCOUVER, BC**

LEGAL DESCRIPTION :  
**LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394**

DP REVISION FEB 2022

REVISIONS:  
 DRAWN BY: K.M.  
 SCALE: 1/8" = 1'-0"  
 DATE: JAN 2022  
 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
**SITE PLAN  
 PROJECT DATA**



**CALCULATION OF NATURAL GRADE OF MAIN BUILDING**

AI	( 45.60 + 45.65 ) / 2 = 45.63	x 4.00 = 182.50
I 2	( 45.65 + 45.70 ) / 2 = 45.68	x 1.50 = 68.51
2 3	( 45.70 + 46.40 ) / 2 = 46.05	x 12.00 = 552.60
3 4	( 46.40 + 46.30 ) / 2 = 46.35	x 1.50 = 69.53
4 5	( 46.30 + 46.35 ) / 2 = 46.33	x 1.92 = 88.94
5 6	( 46.35 + 45.60 ) / 2 = 45.98	x 8.50 = 390.79
6 7	( 45.60 + 45.65 ) / 2 = 45.63	x 0.92 = 41.98
7 8	( 45.65 + 45.80 ) / 2 = 45.73	x 1.50 = 68.59
8 B	( 45.80 + 46.10 ) / 2 = 45.95	x 12.00 = 551.40
BC	( 46.10 + 45.95 ) / 2 = 46.03	x 1.50 = 69.04
CD	( 45.95 + 46.30 ) / 2 = 46.13	x 4.00 = 184.50
DE	( 46.30 + 42.70 ) / 2 = 44.50	x 46.18 = 2055.01
EF	( 42.70 + 41.95 ) / 2 = 42.33	x 11.42 = 483.35
FG	( 41.95 + 42.00 ) / 2 = 41.98	x 5.96 = 250.17
GH	( 42.00 + 42.70 ) / 2 = 42.35	x 8.50 = 359.98
HJ	( 42.70 + 42.50 ) / 2 = 42.60	x 5.96 = 253.90
JK	( 42.50 + 42.40 ) / 2 = 42.45	x 11.42 = 484.78
KA	( 42.40 + 45.60 ) / 2 = 44.00	x 46.18 = 2031.92
		184.96
		8187.47
<b>AVERAGE GARAGE NATURAL GRADE ELEVATION</b>		<b>44.27</b>

**CALCULATION OF FINISH GRADE OF MAIN BUILDING**

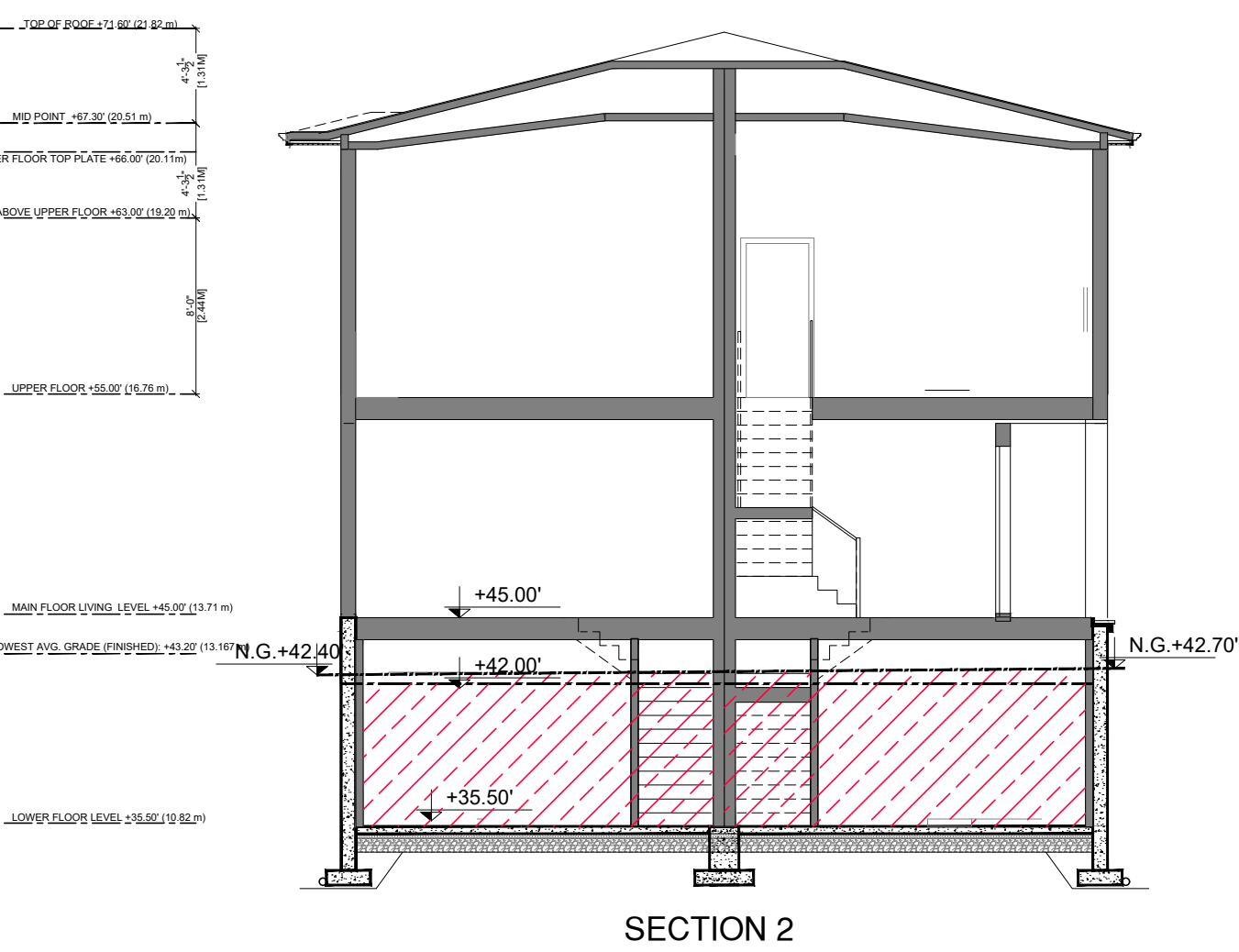
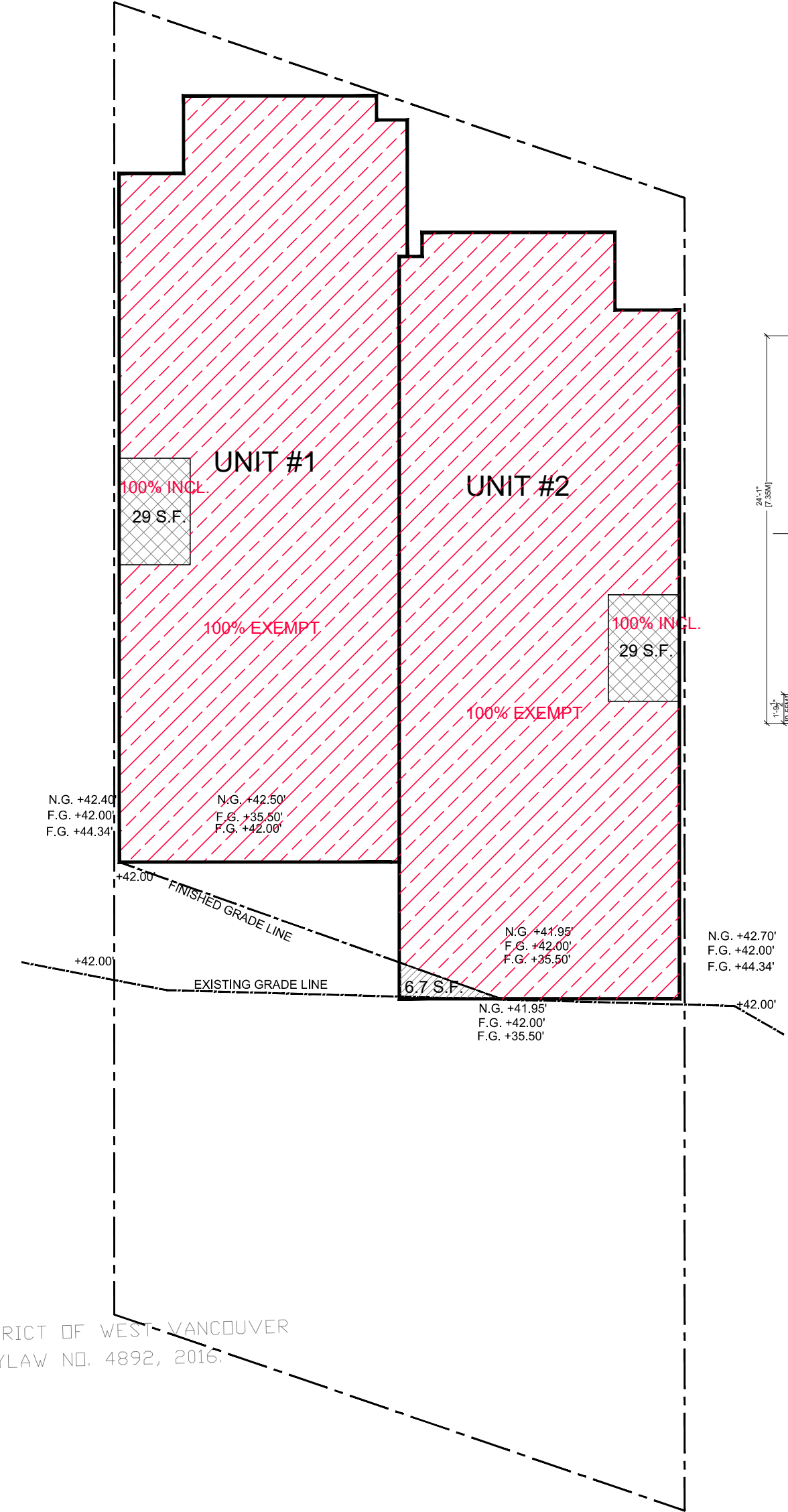
AI	( 44.34 + 44.34 ) / 2 = 44.34	x 4.00 = 177.36
I 2	( 44.34 + 44.34 ) / 2 = 44.34	x 1.50 = 66.51
2 3	( 44.34 + 44.34 ) / 2 = 44.34	x 12.00 = 532.08
3 4	( 44.34 + 44.34 ) / 2 = 44.34	x 1.50 = 66.51
4 5	( 44.34 + 44.34 ) / 2 = 44.34	x 1.92 = 85.13
5 6	( 44.34 + 44.34 ) / 2 = 44.34	x 8.50 = 376.89
6 7	( 44.34 + 44.34 ) / 2 = 44.34	x 0.92 = 40.79
7 8	( 44.34 + 44.34 ) / 2 = 44.34	x 1.50 = 66.51
8 B	( 44.34 + 44.34 ) / 2 = 44.34	x 12.00 = 532.08
BC	( 44.34 + 44.34 ) / 2 = 44.34	x 1.50 = 66.51
CD	( 44.34 + 44.34 ) / 2 = 44.34	x 4.00 = 177.36
DE	( 44.34 + 44.34 ) / 2 = 44.34	x 46.18 = 2047.62
EF	( 42.00 + 42.00 ) / 2 = 42.00	x 11.42 = 479.64
FG	( 35.00 + 35.00 ) / 2 = 35.00	x 5.96 = 208.60
GH	( 35.00 + 35.00 ) / 2 = 35.00	x 8.50 = 297.50
HJ	( 35.00 + 42.00 ) / 2 = 38.50	x 5.96 = 229.46
JK	( 42.00 + 44.34 ) / 2 = 43.17	x 11.42 = 493.00
KA	( 44.34 + 44.34 ) / 2 = 44.34	x 46.18 = 2047.62
		184.96
		7991.18
<b>AVERAGE GARAGE FINISH GRADE ELEVATION</b>		<b>43.20</b>

**CALCULATION OF NATURAL GRADE OF DETACHED GARAGE**

LM	( 41.20 + 41.10 ) / 2 = 41.15	x 10.75 = 442.36
MN	( 41.10 + 41.00 ) / 2 = 41.05	x 3.92 = 160.92
NO	( 41.00 + 40.80 ) / 2 = 40.90	x 10.75 = 439.68
OP	( 40.80 + 40.20 ) / 2 = 40.50	x 20.50 = 830.25
PQ	( 40.20 + 40.00 ) / 2 = 40.10	x 10.75 = 431.08
QR	( 40.00 + 40.20 ) / 2 = 40.10	x 3.92 = 157.19
RS	( 40.20 + 39.90 ) / 2 = 40.05	x 10.75 = 430.54
SL	( 39.90 + 41.20 ) / 2 = 40.55	x 20.50 = 831.28
		91.84
		3723.28
<b>AVERAGE GARAGE NATURAL GRADE ELEVATION</b>		<b>40.54</b>

**CALCULATION OF FINISH GRADE OF DETACHED GARAGE**

LM	( 38.50 + 38.50 ) / 2 = 38.50	x 10.75 = 413.88
MN	( 38.50 + 38.50 ) / 2 = 38.50	x 3.92 = 150.92
NO	( 38.50 + 38.50 ) / 2 = 38.50	x 10.75 = 413.88
OP	( 38.50 + 39.00 ) / 2 = 38.75	x 20.50 = 794.38
PQ	( 39.00 + 39.00 ) / 2 = 39.00	x 10.75 = 419.25
QR	( 39.00 + 39.00 ) / 2 = 39.00	x 3.92 = 152.88
RS	( 39.00 + 39.00 ) / 2 = 39.00	x 10.75 = 419.25
SL	( 39.00 + 38.50 ) / 2 = 38.75	x 20.50 = 794.38
		91.84
		3558.80
<b>AVERAGE GARAGE FINISH GRADE ELEVATION</b>		<b>38.75</b>



\*\*\*UNIT #2 LOWER FLOOR FAR CALCULATION (A-12)  
 LOWER AVERAGE GRADE ELEVATION: 43.15' (13.15 m)  
 LOWER FLOOR ELEVATION: 35.50' (10.82 m)  
 [(43.20'-35.50')/9.5']x100 = 81% EXCLUDED  
 PARTIALLY INCLUDED LOWER FLOOR: 6.7 S.F. (0.622 S.M.)  
 LOWER FLOOR INCLUDED: 6.7 S.F. x 19 % = 1.3 S.F. (0.12 S.M.)

- LEGEND :**
- 100% EXCLUDED
  - 100% INCLUDED
  - PARTIALLY INCLUDED

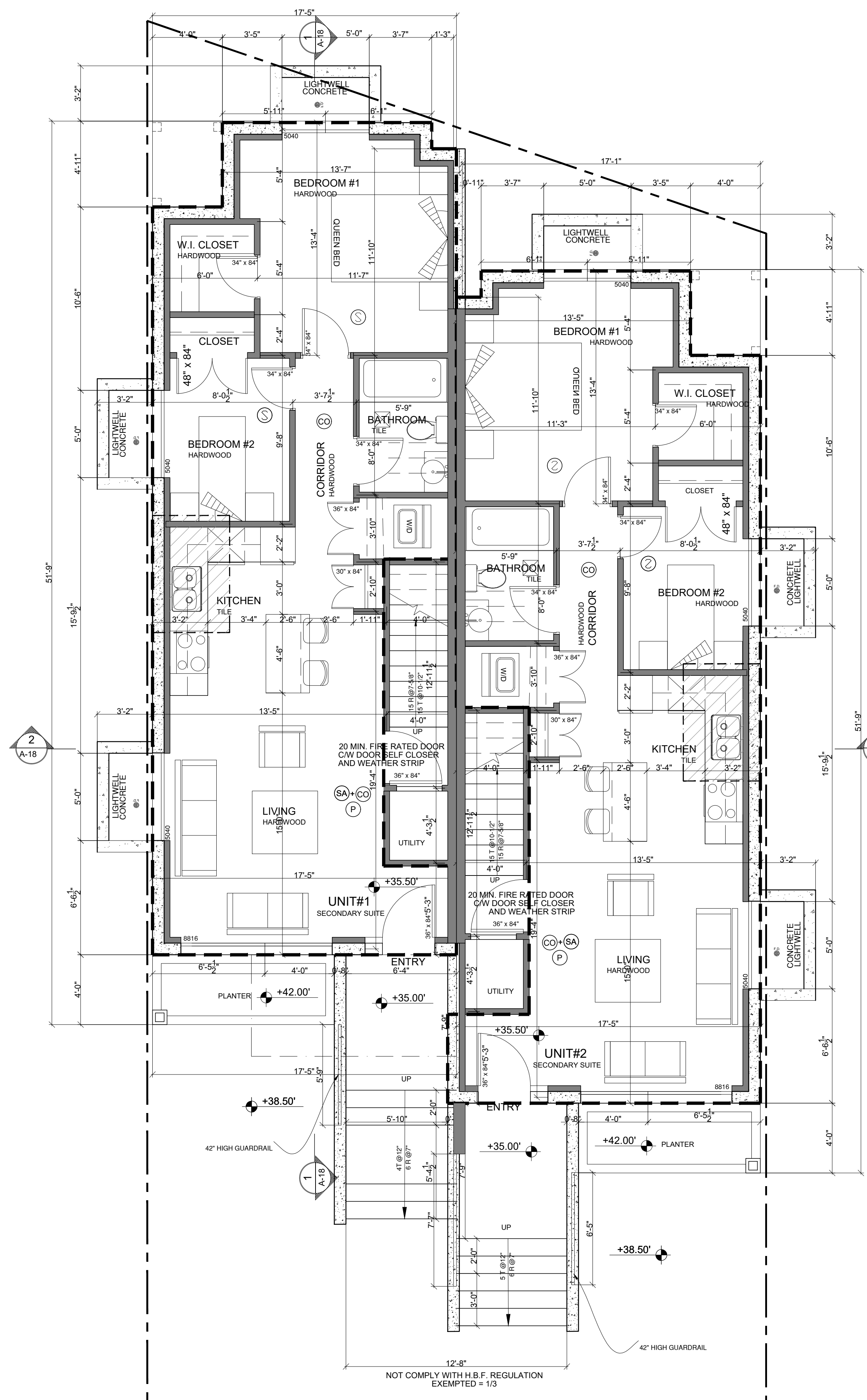
**UNIT #2 LOWER FLOOR FAR CALCULATION**

DESIGNER: **KAYVAN MEMARY**  
 MASTER OF ARCHITECTURE  
 E-mail : kayvanmemary@gmail.com  
 Phone : 604-836-3124

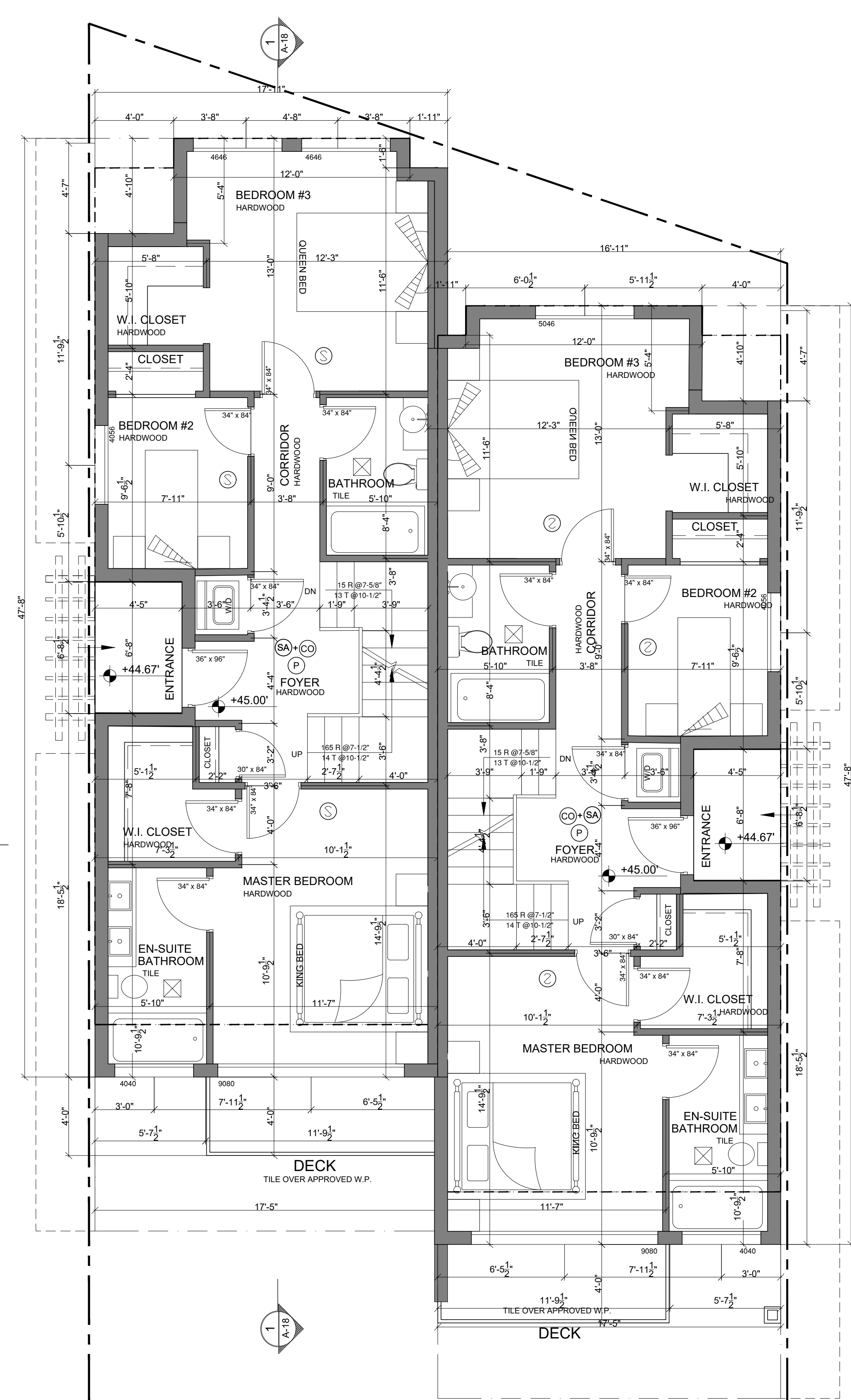
CIVIC ADDRESS:  
 2378 MARINE DRIVE  
 WEST VANCOUVER, BC  
 LEGAL DESCRIPTION :  
 LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394

DP REVISION FEB 2022  
 REVISIONS:  
 DRAWN BY: K.M.  
 SCALE: 1/8" = 1'-0"  
 DATE: JAN 2022  
 FILE: 2378 MARINE DRIVE.DWG  
 TITLE:  
 GRADE CALCULATION SITE PLAN  
 UNIT #2 LOWER FLOOR FAR  
 CALCULATION

NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK, AND SHALL NOTIFY THE DESIGNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS AND/OR THE SPECIFICATIONS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS CREATED BY CONSULTANTS. THESE DRAWINGS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF THE DESIGNER AND ANY UNAUTHORIZED USE AND REPRODUCTION IS PROHIBITED.

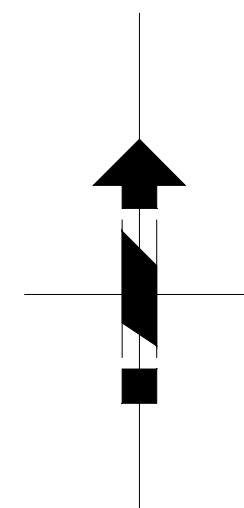


**LOWER FLOOR PLAN**



**MAIN FLOOR PLAN**

- LINE OF FLOOR ABOVE
- - - LINE OF DECK ABOVE
- BORDER OF SECONDARY SUITE (970 S.F.)
- ⊙ INDICATION ON PLANS
- Ⓢ+Ⓢ INTERCONNECTED SMOKE ALARM AND CARBON MONOXIDE ALARM INDICATION ON PLANS
- Ⓟ ADDITIONAL PHOTOELECTRIC TYPE SMOKE ALARM INTERCONNECTED BETWEEN THE DWELLING UNIT AND SECONDARY SUITE BECAUSE FIRE SEPARATION IS 30 MIN.
- ⊠ FAN ABOVE
- NOTES:**
- INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.
- MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3' FROM ANY OPENINGS.
- 100% INCLUDED LOWER FLOOR AREA



DESIGNER:  
**KAYVAN**  
 MASTER OF ARCHITECTURE  
**MEMARY**  
 P hone : 604-836-3124  
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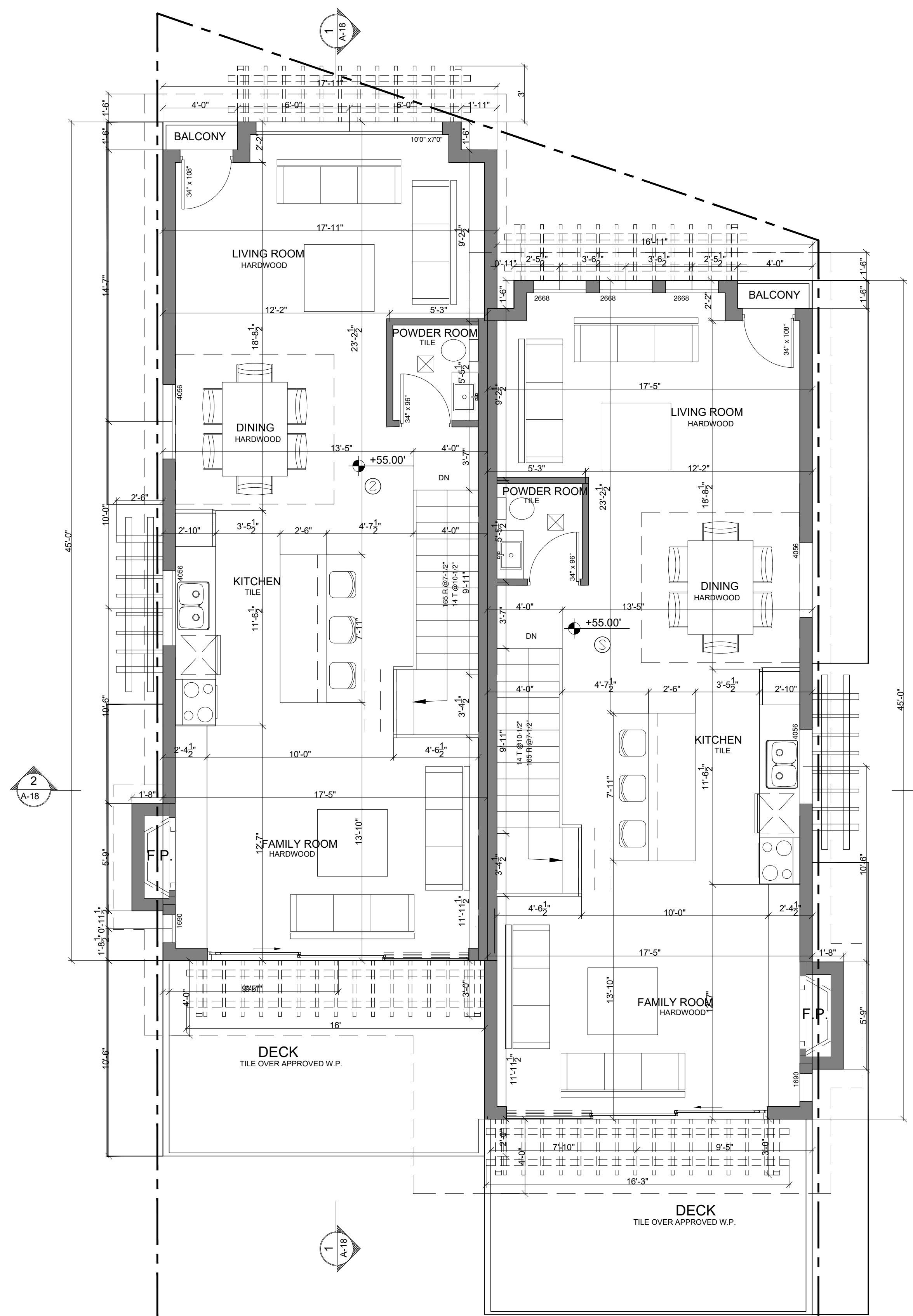
LEGAL DESCRIPTION :  
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 NEW WESTMINSTER DISTRICT  
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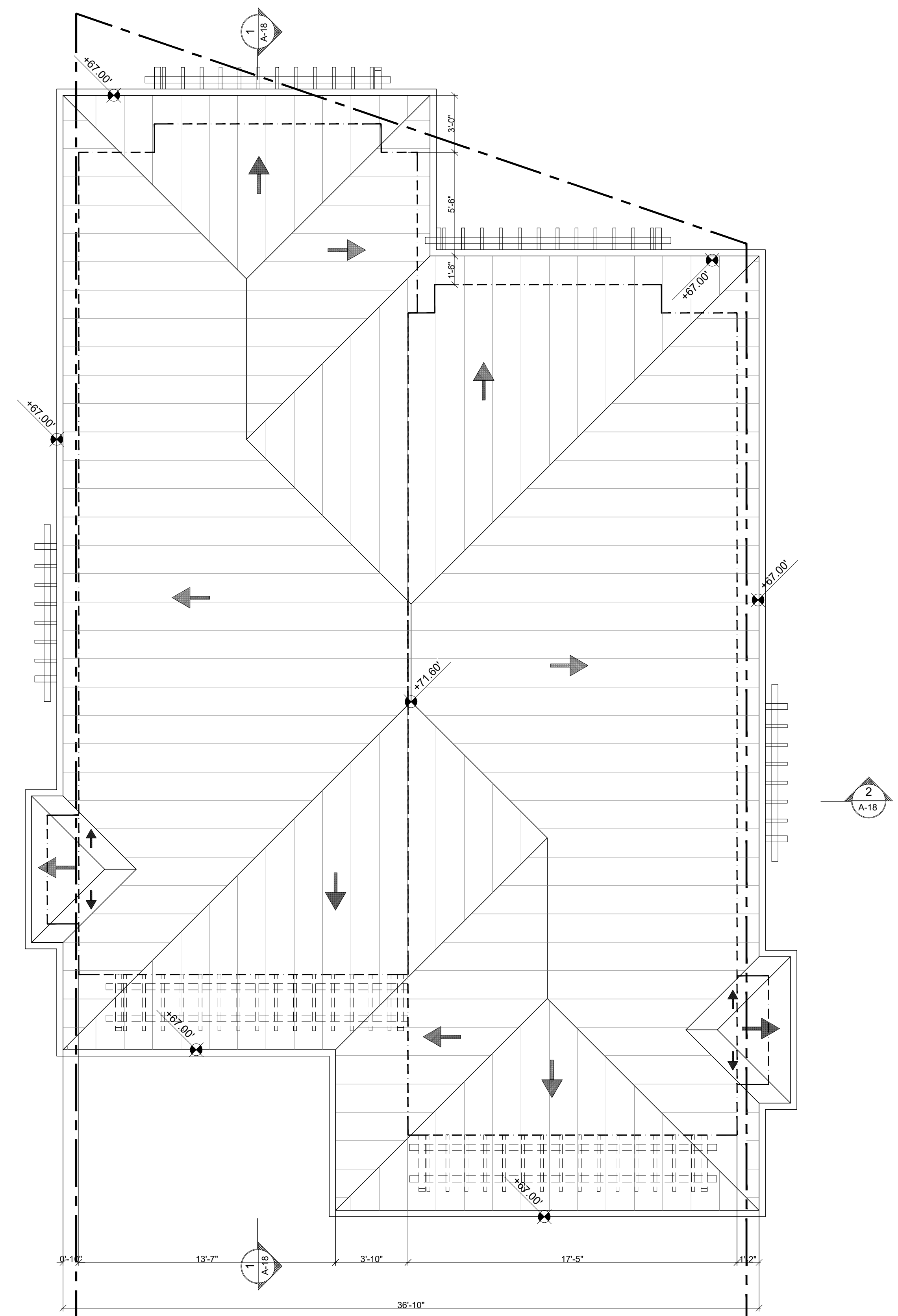
REVISIONS:	
DRAWN BY:	K.M.
SCALE:	1/4" = 1'-0"
DATE:	JAN 2022
FILE:	2378 MARINE DRIVE.DWG
TITLE:	PROPOSED FLOOR PLANS

SHEET:  
**A - 14**

NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK, AND SHALL NOTIFY THE DESIGNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS AND/OR THE SPECIFICATIONS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS CREATED BY CONSULTANTS. THESE DRAWINGS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF THE DESIGNER AND ANY UNAUTHORIZED USE AND REPRODUCTION IS PROHIBITED.



**UPPER FLOOR PLAN**

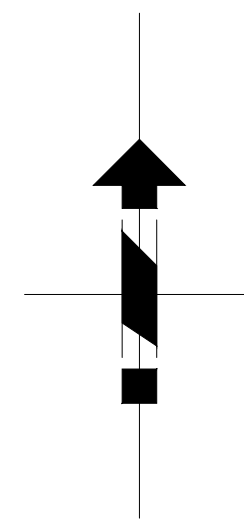


**ROOF PLAN**

--- LINE OF ROOF ABOVE  
 - - - LINE OF FLOOR BELOW

- ⊙ INDICATION ON PLANS
- ⊕ CARBON MONOXIDE ALARM INDICATION ON PLANS
- ⊠ FAN ABOVE

**NOTES:**  
 INTERCONNECTED HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED.  
 MECHANICAL VENTILATION IN BATH ROOMS & KITCHEN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE OUTLET MIN. 3" FROM ANY OPENINGS.



DESIGNER:  
**KAYVAN MEMORY**  
 MASTER OF ARCHITECTURE  
 Phone : 604-836-3124  
 E mail : kayvanmemory@gmail.com

CIVIC ADDRESS:  
 2378 MARINE DRIVE  
 WEST VANCOUVER, BC

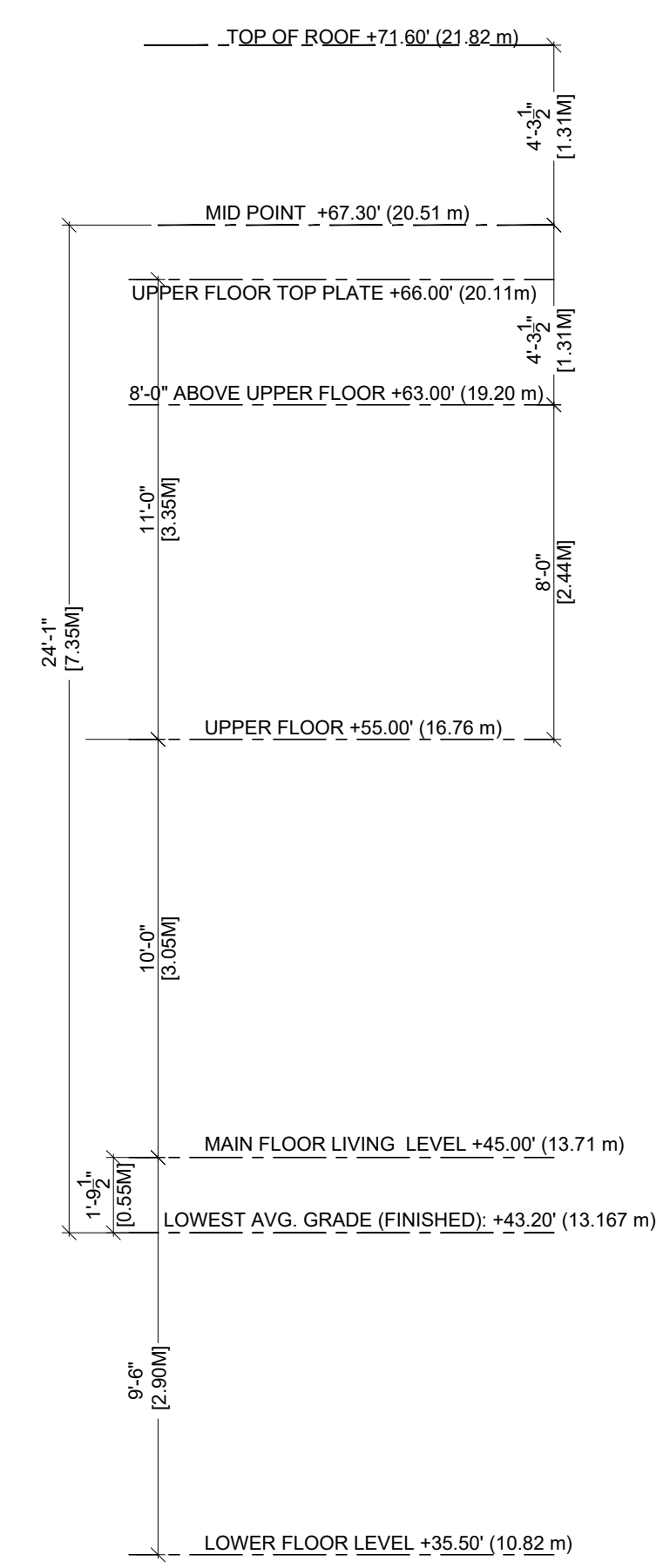
LEGAL DESCRIPTION :  
 LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394

DP REVISION FEB 2022

REVISIONS:	
DRAWN BY:	K.M.
SCALE:	1/4" = 1'-0"
DATE:	JAN 2022
FILE:	2378 MARINE DRIVE.DWG

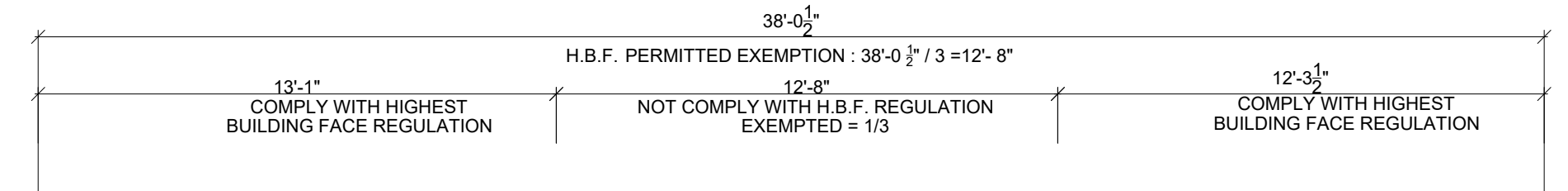
TITLE:  
 PROPOSED FLOOR PLANS

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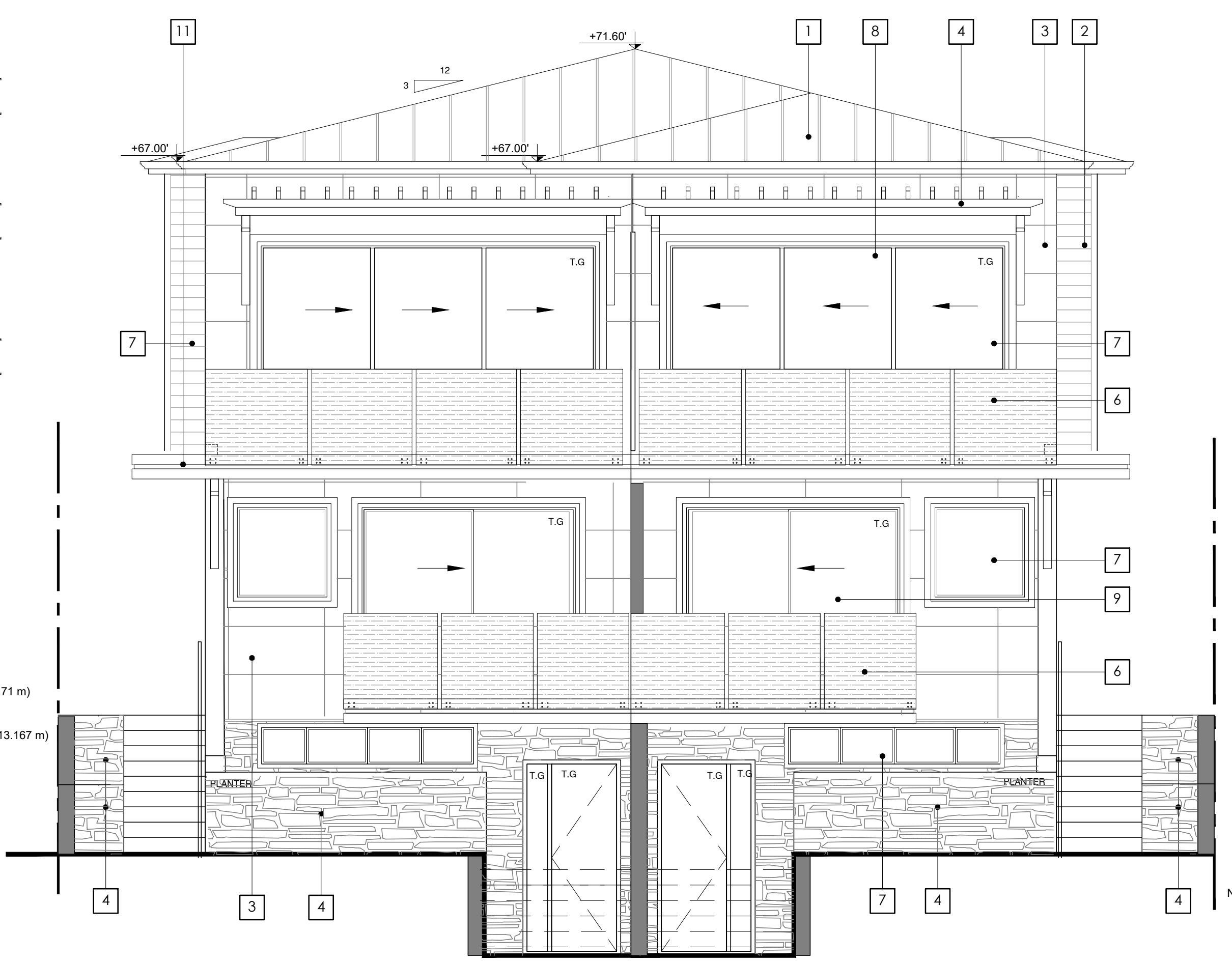
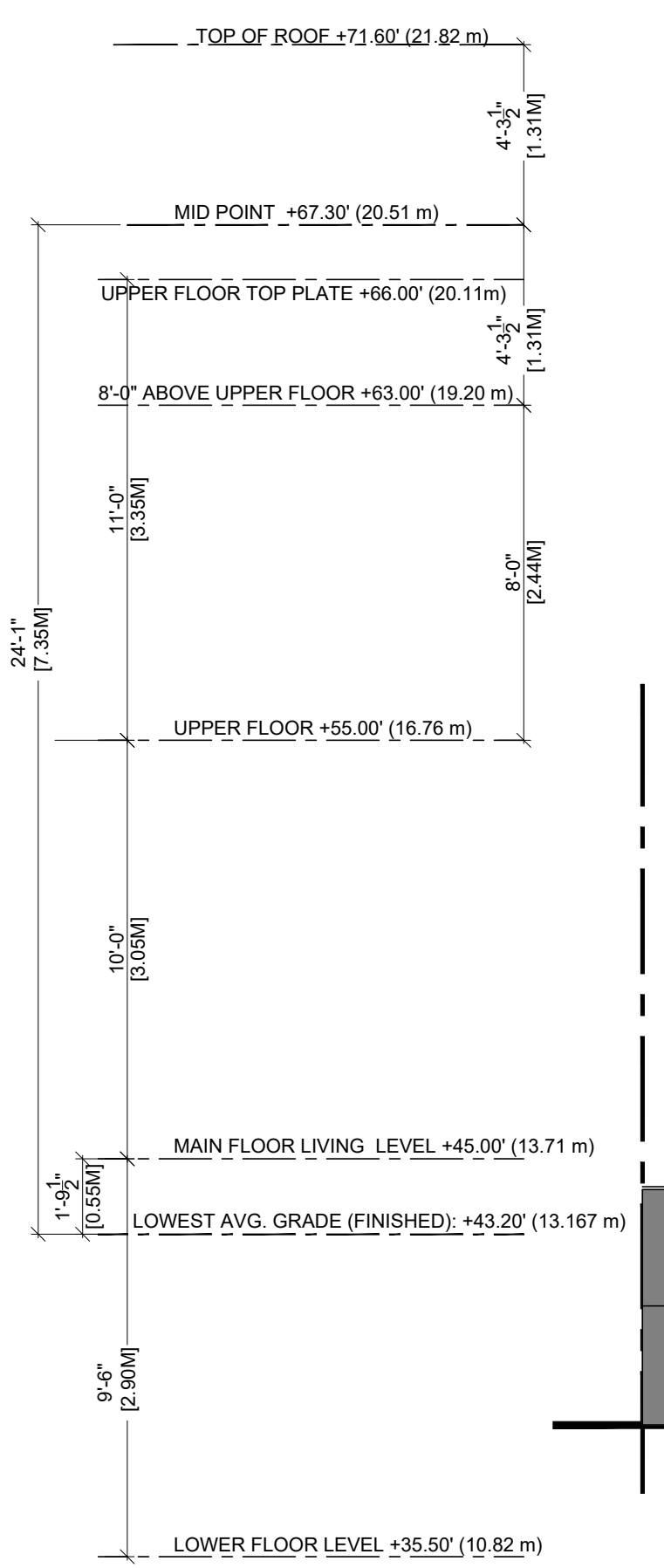


NOTE: DISTANCE TO C.L. OF MARINE DRIVE MORE THAN 12 METERS UNLIMITED ALLOWED PERCENTAGE OF UNPROTECTED OPENING IN EXTERIOR WALLS

**NORTH ELEVATION (MARINE DRIVE)**



FINISHES SCHEDULE	
1.	UP-STAND SEAM METAL ROOFING GRAY
2.	CEDAR SIDING (COLOR : CLOVE BROWN)
3.	NITCIHA CEMENTITIOUS PANEL GREY
4.	NATURAL LEDGESTONE
5.	CEDAR TRELLISES (COLOR : CLOVE BROWN)
6.	CLEAR TEMPERED GLASS RAILING (SIDE MOUNT)
7.	ALUMINUM WINDOW THERMALLY BROKEN TRIPLE LOW E GLAZING
8.	ALUMINUM SLIDING DOOR THERMALLY BROKEN TRIPLE LOW E GLAZING
9.	ALUMINUM PATIO DOOR THERMALLY BROKEN TRIPLE LOW E GLAZING
10.	WOOD ENTRY DOOR GLAZED
11.	METAL FLASHING COLOR MATCHES ROOF



NOTE: DISTANCE TO C.L. OF LANE MORE THAN 12 METERS UNLIMITED ALLOWED PERCENTAGE OF UNPROTECTED OPENING IN EXTERIOR WALLS

**SOUTH ELEVATION (DUNDARAVE LANE)**

DESIGNER:  
**KAYVAN**  
 MASTER OF ARCHITECTURE  
**MEMARY**  
 P hone : 604-836-3124  
 E mail : kayvanmemary@gmail.com

CIVIC ADDRESS:  
**2378 MARINE DRIVE**  
**WEST VANCOUVER, BC**

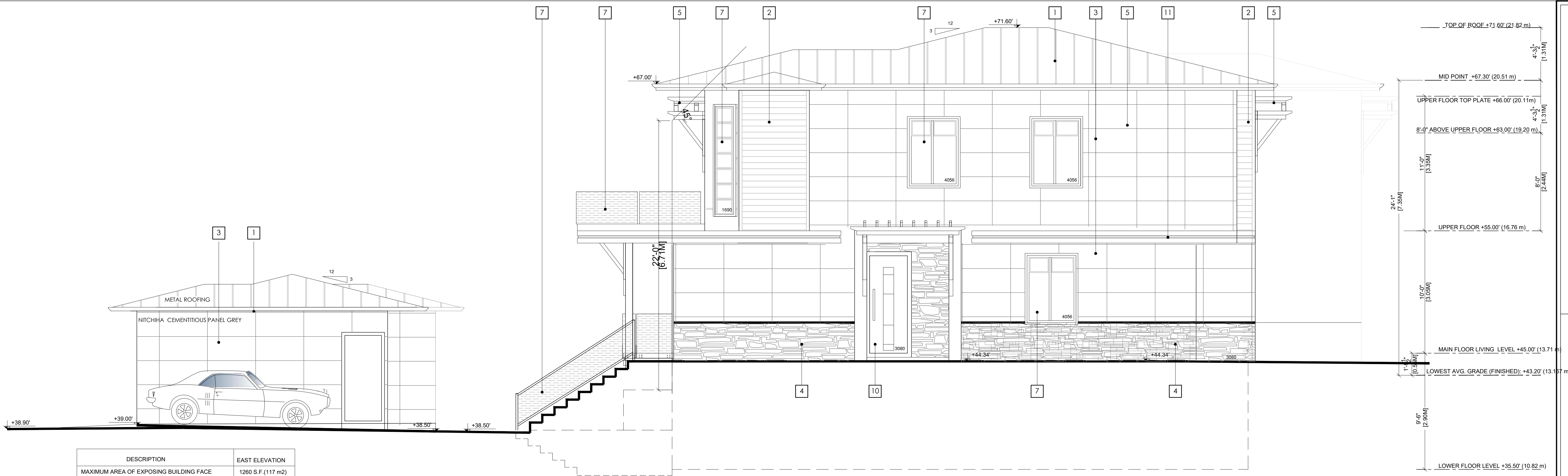
LEGAL DESCRIPTION :  
**LOT 1, BLOCK 'G',**  
**DISTRICT LOT 554**  
**GROUP 1,**  
**NEW WESTMINSTER DISTRICT**  
**PLAN EPP108394**

DP REVISION FEB 2022

REVISIONS:	
DRAWN BY:	K.M.
SCALE:	1/4" = 1'-0"
DATE:	JAN 2022
FILE:	2378 MARINE DRIVE.DWG

TITLE:  
**PROPOSED ELEVATIONS**

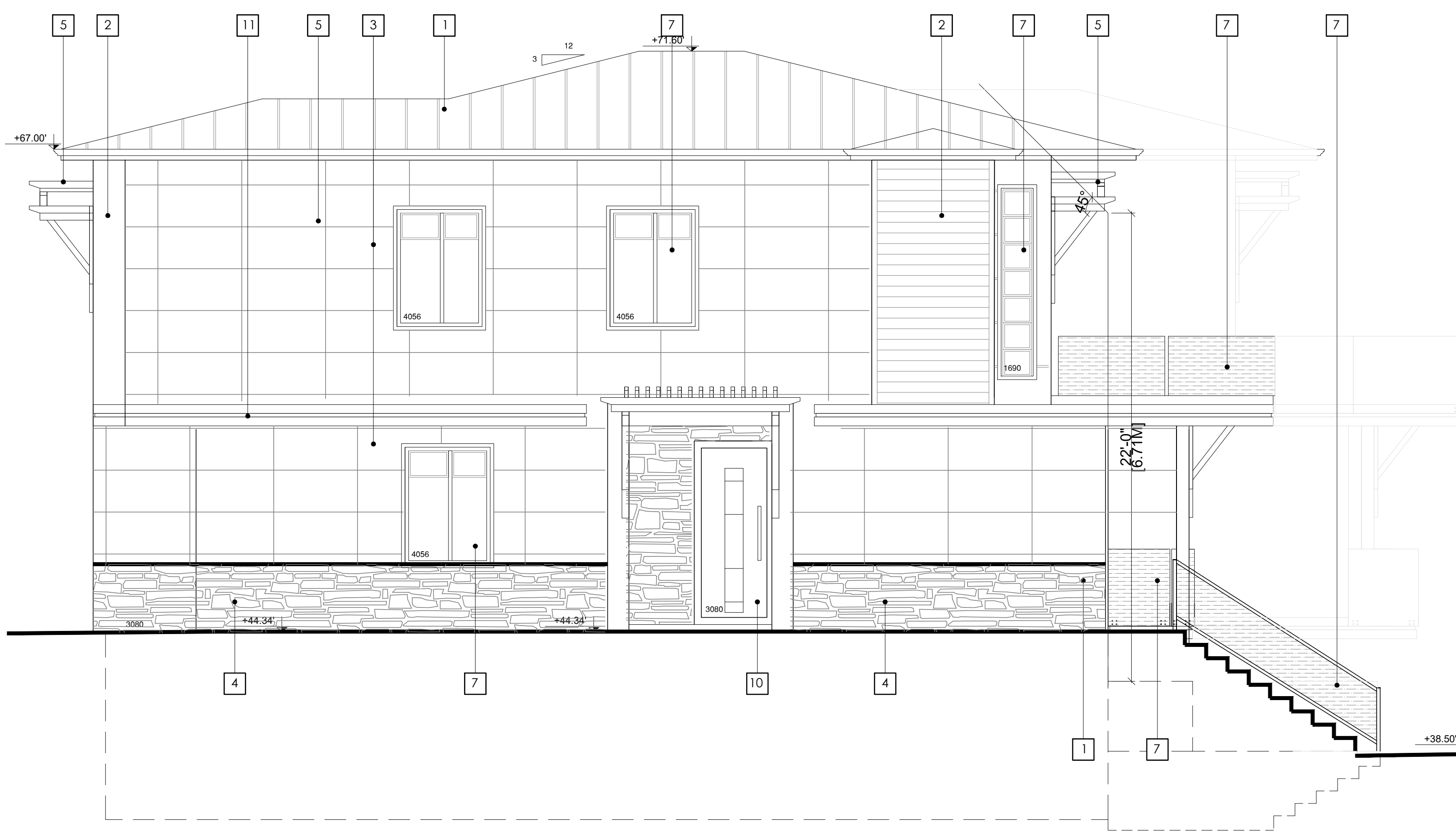
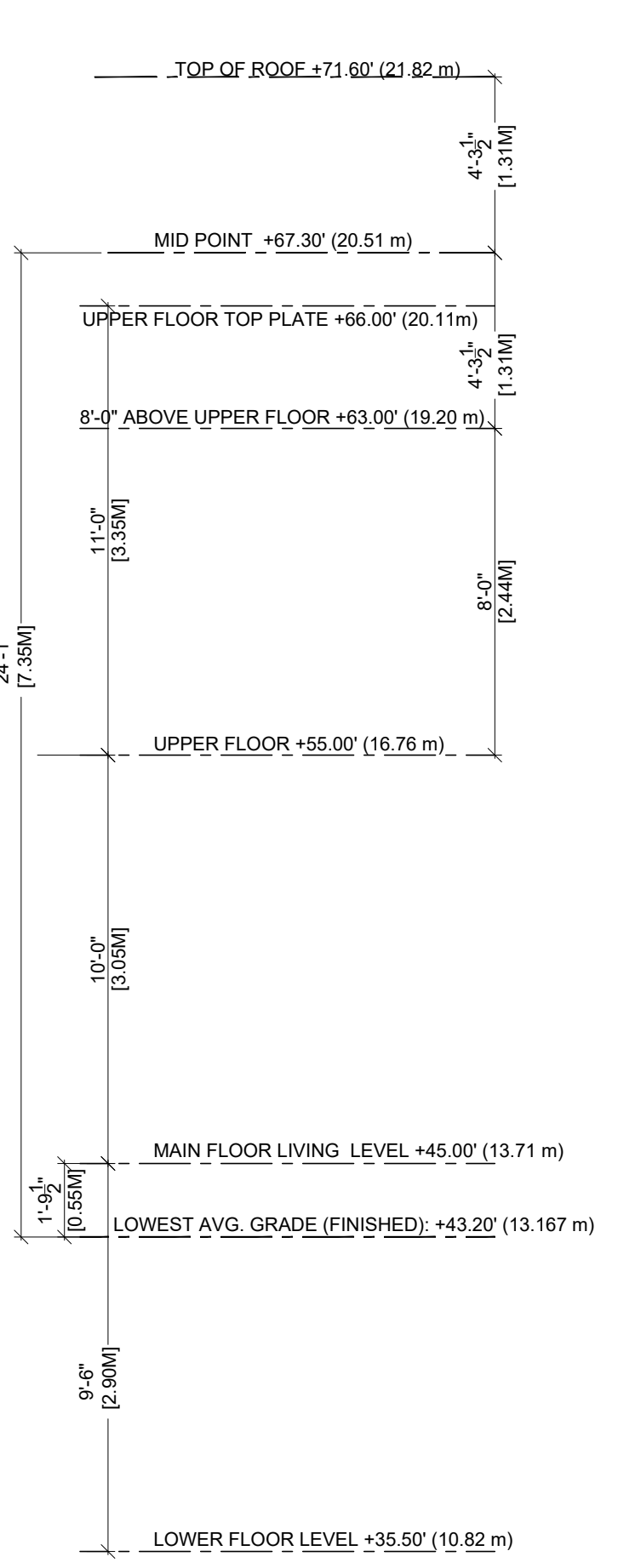
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**EAST ELEVATION**

DESCRIPTION	EAST ELEVATION
MAXIMUM AREA OF EXPOSING BUILDING FACE	1260 S.F. (117 m <sup>2</sup> )
LIMITING DISTANCE	6'-3" (1.90M)
MAX. ALLOWED PERCENTAGE & AREA OF UNPROTECTED OPENING IN EXTERIOR WALLS	17.80% 224 SF (20.80m <sup>2</sup> ) SPRINKLERED
PROVIDED PERCENTAGE & AREA OF UNPROTECTED OPENING IN EXTERIOR WALL (SPRINKLERED)	127.5 SF (11.85 m <sup>2</sup> )

FINISHES SCHEDULE	
1.	UP-STAND SEAM METAL ROOFING GRAY
2.	CEDAR SIDING (COLOR : CLOVE BROWN)
3.	NITCHIIHA CEMENTITIOUS PANEL GREY
4.	NATURAL LEDGESTONE
5.	CEDAR TRELLISES (COLOR : CLOVE BROWN)
6.	CLEAR TEMPERED GLASS RAILING (SIDE MOUNT)
7.	ALUMINUM WINDOW THERMALLY BROKEN TRIPLE LOW E GLAZING
8.	ALUMINUM SLIDING DOOR THERMALLY BROKEN TRIPLE LOW E GLAZING
9.	ALUMINUM PATIO DOOR THERMALLY BROKEN TRIPLE LOW E GLAZING
10.	WOOD ENTRY DOOR GLAZED
11.	METAL FLASHING COLOR MATCHES ROOF



**WEST ELEVATION**

DESCRIPTION	WEST ELEVATION
MAXIMUM AREA OF EXPOSING BUILDING FACE	1286 S.F. (119.5 m <sup>2</sup> )
LIMITING DISTANCE	6'-2 1/2" (1.89M)
MAX. ALLOWED PERCENTAGE & AREA OF UNPROTECTED OPENING IN EXTERIOR WALLS	17.75% 228 SF (21.18m <sup>2</sup> ) SPRINKLERED
PROVIDED PERCENTAGE & AREA OF UNPROTECTED OPENING IN EXTERIOR WALL (SPRINKLERED)	127.5 SF (11.85 m <sup>2</sup> )

DESIGNER: **KAYVAN MEMORY** MASTER OF ARCHITECTURE  
 Phone : 604-836-3124 E-mail : kayvanmemory@gmail.com

CIVIC ADDRESS:  
**2378 MARINE DRIVE  
 WEST VANCOUVER, BC**

LEGAL DESCRIPTION :  
**LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394**

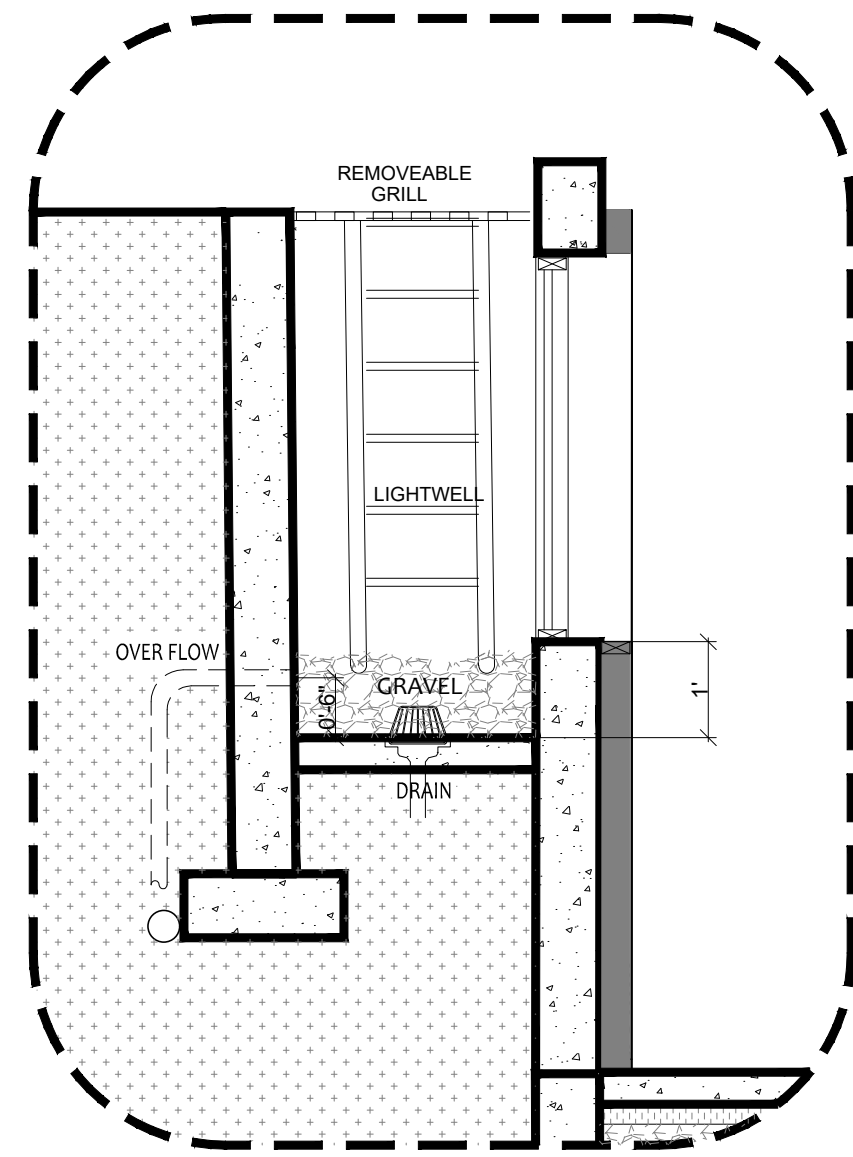
DP REVISION FEB 2022

REVISIONS:  
 DRAWN BY: K.M.  
 SCALE: 1/4" = 1'-0"  
 DATE: JAN 2022  
 FILE: 2378 MARINE DRIVE.DWG

TITLE:  
**PPROPOSED ELEVATIONS**

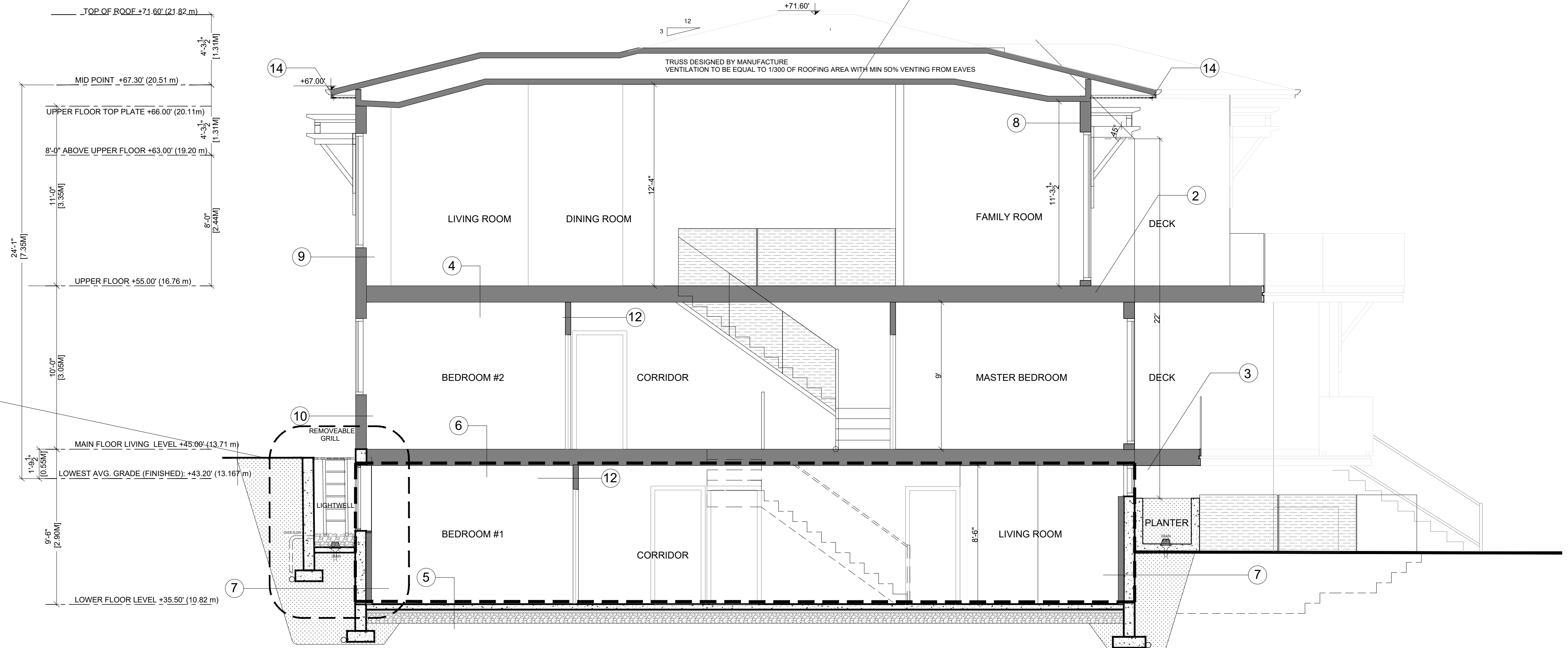
SHEET:  
**A-17**

NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK, AND SHALL NOTIFY THE DESIGNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS AND/OR THE SPECIFICATIONS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS CREATED BY CONSULTANTS. THESE DRAWINGS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF THE DESIGNER AND ANY UNAUTHORIZED USE AND REPRODUCTION IS PROHIBITED.

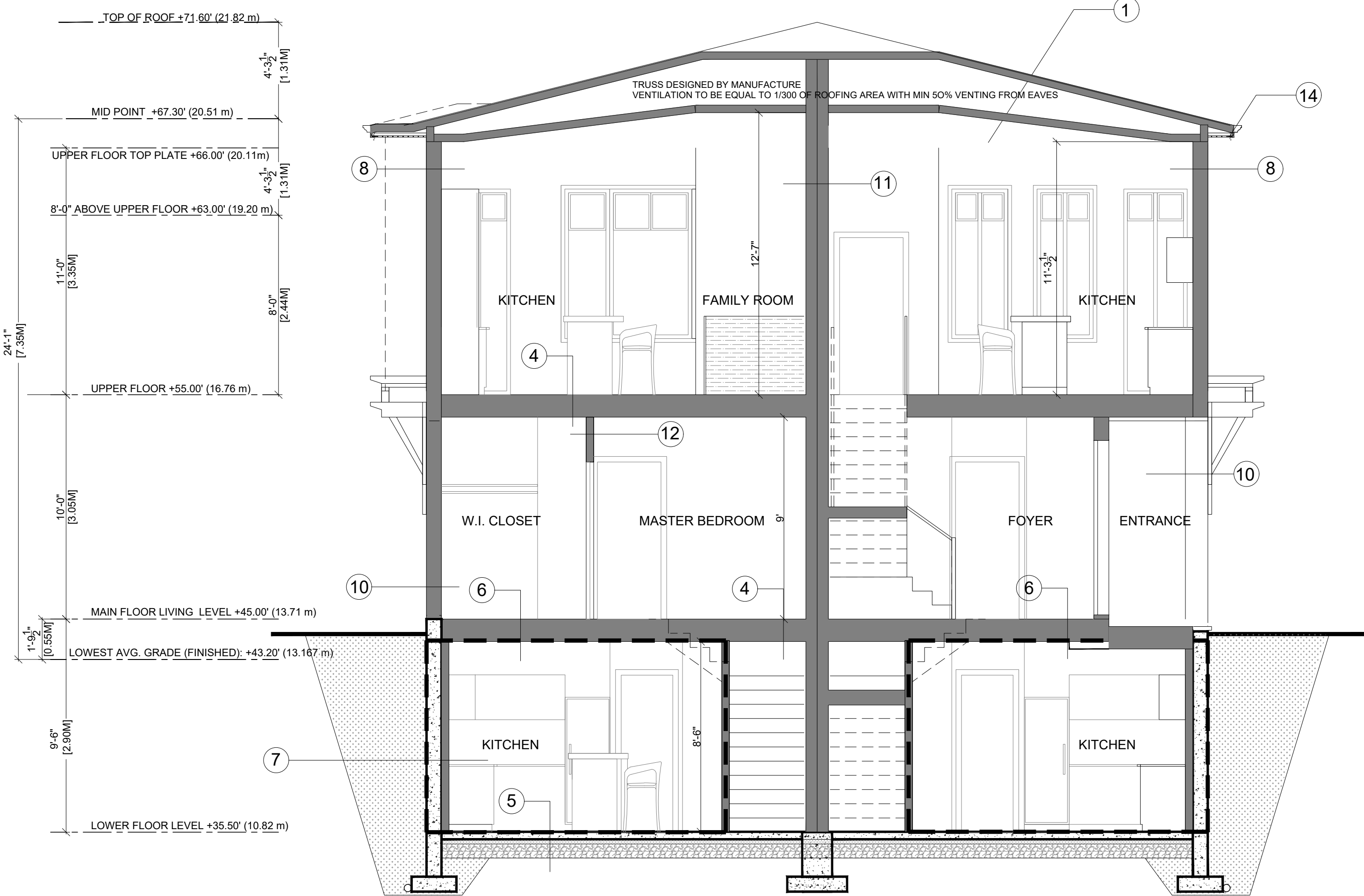


**LIGHT WELL DRAIN AND OVERFLOW**

SCALE : 1/2" = 1'-0"



**SECTION 1**



**SECTION 2**

- 1 ROOF ASSEMBLY**  
 UPSTAND SEAM METAL ROOFING  
 ROOF UNDERLAY  
 WATER PROOFING MEMBRANE  
 1/2" PLYWOOD OR 7/16" O.S.B. ROOF SHEATHING  
 MIN. 2-1/2" CLEARANCE BETWEEN ROOF SHEATHING  
 ENGINEERED TRUSS & R50 BATT INSULATION  
 EAVE PROTECTION TO 12" PASSED INSIDE FACE OF STUD  
 2" CLEARANCE INSULATION STOPS AT EAVES  
 6 MIL U.V. POLY FULLY CAULKED  
 5/8" GYPSUM BOARD CEILING

NOTE:  
 TRUSS DESIGNED BY MANUFACTURE  
 VENTILATION TO BE EQUAL TO 1/300 OF ROOFING AREA WITH MIN 50% VENTING FROM EAVES
- 2 INSULATED DECK ASSEMBLY (OVER LIVING SPACE)**  
 PORCELAIN TILE ON STIFF NEOPRENE PEDESTALS  
 TAPERED SLEEPER TO SLOPE 2%  
 WATERPROOFING MEMBRANE  
 5/8" PLYWOOD SHEATHING  
 2x4 PURLIN FOR CROSS VENTILATION  
 MIN. 2-1/2" CLEARANCE BETWEEN ROOF SHEATHING & INSULATION  
 HIGH DENSITY R28 BATT INSULATION THICKNESS TO ACHIEVE EFFECTIVE R-24  
 6 MIL U.V. POLY FULLY CAULKED  
 FRAMING AS PER STRUCTURAL  
 1/2" GYPSUM BOARD
- 3 UN- INSULATED DECK ASSEMBLY (NOT OVER LIVING SPACE)**  
 PORCELAIN TILE ON STIFF NEOPRENE PEDESTALS  
 TAPERED SLEEPER TO SLOPE 2%  
 WATERPROOFING MEMBRANE  
 1/2" PLYWOOD SHEATHING  
 TAPERED SLEEPER TO SLOPE 2%  
 JOIST TO ENG. SPEC.  
 TIGHT TO UIS OF DECK SHEATHING  
 T&G PAINTED EXTERIOR GRADE WOOD SOFFIT
- 4 TYPICAL INTERIOR MAIN AND UPPER FLOOR U.N.O.**  
 FINISH FLOOR  
 1-1/2" CONCRETE  
 SUBFLOOR OF 5/8" PLYWOOD OSB OR WAFER BOARD  
 ON WOOD JOISTS SPACED NOT MORE THAN 23-5/8" O.C.  
 RESILIENT METAL CHANNELS ON ONE SIDE SPACED 16" O.C.  
 1/2" GYPSUM BOARD ON CEILING SIDE
- 5 TYPICAL INTERIOR LOWER FLOOR**  
 FINISH FLOOR  
 4" CONCRETE  
 6 MIL U.V. POLY  
 R15 RIGID INSULATION BELOW CONC. SLAB  
 MIN. 6" COMPACTED GRANULAR MATERIAL  
 COMPACT SUB FILL
- 6 30 MIN FIRE RATING FLOOR OVER SECONDARY SUITE**  
 FLOOR FINISH  
 SUBFLOOR OF 5/8" PLYWOOD OSB OR WAFER BOARD  
 ON WOOD JOISTS SPACED NOT MORE THAN 23-5/8" O.C.  
 RESILIENT METAL CHANNELS ON ONE SIDE SPACED 16" O.C.  
 ONE LAYERS OF 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE
- 7 EXTERIOR FOUNDATION WALL (BELOW GRADE)**  
 2X8 SILL PLATE  
 45# FELT DPC  
 8" CONCRETE FOUNDATION WALL  
 MIN 2 LAYER ASPHALT EMULSION (EXTERIOR)  
 2" POLYISOCYANURATE (FOIL FACING) RIGID INSULATION  
 CONCRETE FOOTING AS PER STRUC.  
 PERFORATED DRAINAGE PIPE COVERED WITH MIN 6"  
 CRUSHED STONE OR COURSED GRANULAR MATERIAL  
 2X4 STUD SPACED 24" O.C.  
 2 LB. SPRAY POLYURETHANE FOAM INSULATION (THICKNESS TO ACHIEVE  
 MIN R 18)  
 1/2" GYPSUM BOARD
- 8 TYPICAL EXTERIOR CEMENTITIOUS PANEL (NITCHIHA) WALLS**  
 1 LAYER OF GYPSUM BOARD ON INSIDE  
 6 MIL POLYETHYLENE SHEET (VAPOR BARRIER) TO BE CONTINUOUS TO BE CONTINUOUS W/ LAPPED & TAPED JOINT EDGES  
 TERMINATED W/ SEALANT.  
 R28 HIGH DENSITY BATT INSULATION  
 2X8 STUD SPACED 24" O.C.  
 1/2" PLYWOOD SHEATHING  
 PEEL & STICK WHERE REQUIRED  
 2 LAYERS, 30 MINUTE BLDG. PAPER 100% OVERLAP  
 FLASHED WALL DRAINS & BASE  
 CEMENTITIOUS PANEL (NITCHIHA) CW STRAPPING FOR RAIN SCREEN
- 9 TYPICAL EXTERIOR CEDAR SIDING WALLS**  
 1 LAYER OF GYPSUM BOARD ON INSIDE  
 6 MIL POLYETHYLENE SHEET (VAPOR BARRIER) TO BE CONTINUOUS TO BE CONTINUOUS W/ LAPPED & TAPED JOINT  
 EDGES TERMINATED W/ SEALANT.  
 R28 HIGH DENSITY BATT INSULATION  
 2X8 STUD SPACED 24" O.C.  
 1/2" PLYWOOD SHEATHING  
 PEEL & STICK WHERE REQUIRED  
 2 LAYERS, 30 MINUTE BLDG. PAPER 100% OVERLAP  
 FLASHED WALL DRAINS & BASE  
 1X4 P. T. STRAPPING @ MIN 16" O.C. WHERE APPLICABLE  
 MEMBRANE ON APPROVED BAKER BOARD  
 APPROVED ADHESIVE MORTAR COAT  
 NATURAL LEDGESTONE.
- 10 TYPICAL EXTERIOR STONE WALLS**  
 1 LAYER OF GYPSUM BOARD ON INSIDE  
 EDGES TERMINATED W/ SEALANT.  
 R28 HIGH DENSITY BATT INSULATION  
 2X8 STUD SPACED 24" O.C.  
 1/2" PLYWOOD SHEATHING  
 PEEL & STICK WHERE REQUIRED  
 2 LAYERS, 30 MINUTE BLDG. PAPER 100% OVERLAP  
 FLASHED WALL DRAINS & BASE  
 1X4 P. T. STRAPPING @ MIN 16" O.C. WHERE APPLICABLE  
 MEMBRANE ON APPROVED BAKER BOARD  
 APPROVED ADHESIVE MORTAR COAT  
 NATURAL LEDGESTONE.
- 11 WALL BETWEEN TWO UNITS**  
 1 LAYER OF TYPE "X" GYPSUM BOARD ON INSIDE  
 6 MIL POLYETHYLENE SHEET (VAPOR BARRIER) TO BE CONTINUOUS TO BE CONTINUOUS W/ LAPPED & TAPED JOINT  
 EDGES TERMINATED W/ SEALANT.  
 R20 BATT INSULATION  
 DOUBLE 2X6 STUD STAGGERED SPACED 24" O.C.  
 6 MIL POLYETHYLENE SHEET (VAPOR BARRIER) TO BE CONTINUOUS TO BE CONTINUOUS W/ LAPPED & TAPED JOINT  
 EDGES TERMINATED W/ SEALANT.  
 1 LAYER OF TYPE "X" GYPSUM BOARD ON THE OTHER SIDE
- 12 TYPICAL PARTITION (2X4 STUD)**  
 1 1/2" x 3 1/2" STUD SPACED 16" O.C.  
 1/2" GYPSUM BOARD BOTH SIDE
- 13 TYPICAL PARTITION (2X6 STUD)**  
 1 1/2" x 5 1/2" STUD SPACED 16" O.C.  
 1/2" GYPSUM BOARD BOTH SIDE
- 14 GUTTER & SOFFIT**  
 CONTINUOUS ALUMINUM GUTTER  
 2X4 PAINTED FACIAS BOARD  
 T&G PAINTED EXTERIOR GRADE WOOD SOFFIT CW 2" VENT STRIP AT PERIMETER

DESIGNER:  
**KAYVAN**  
**MEMORY**  
 MASTER OF ARCHITECTURE  
 P hone : 604-836-3124  
 E mail : kayvanmemory@gmail.com

CIVIC ADDRESS:  
**2378 MARINE DRIVE**  
**WEST VANCOUVER, BC**

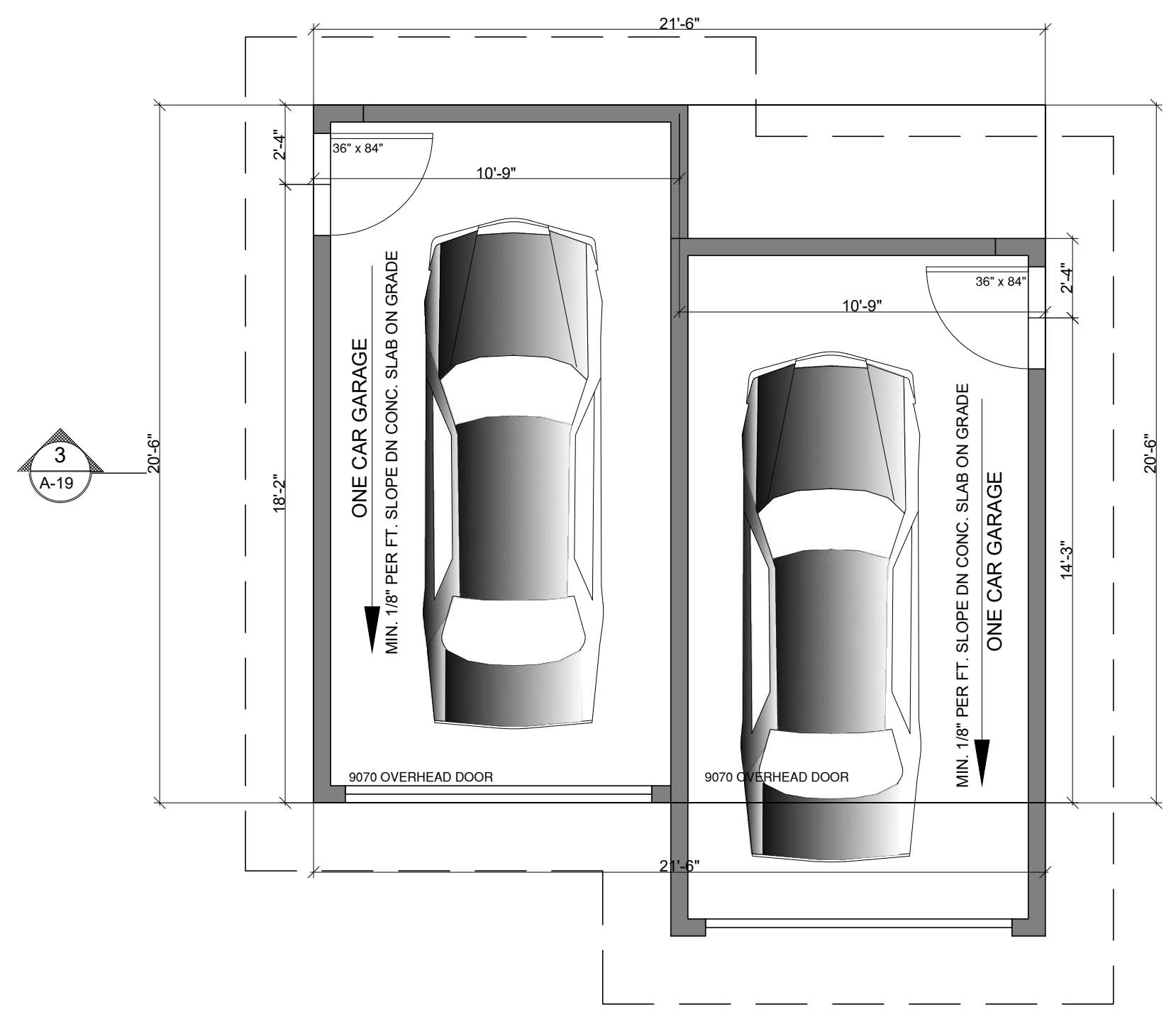
LEGAL DESCRIPTION :  
**LOT 1, BLOCK 'G',**  
**DISTRICT LOT 554**  
**GROUP 1,**  
**NEW WESTMINSTER DISTRICT**  
**PLAN EPP108394**

REVISIONS:  
 DRAWN BY: K.M.  
 SCALE: 1/4" = 1'-0"  
 DATE: JAN 2022  
 FILE: 2378 MARINE DRIVE.DWG  
 TITLE:  
**SECTIONS**

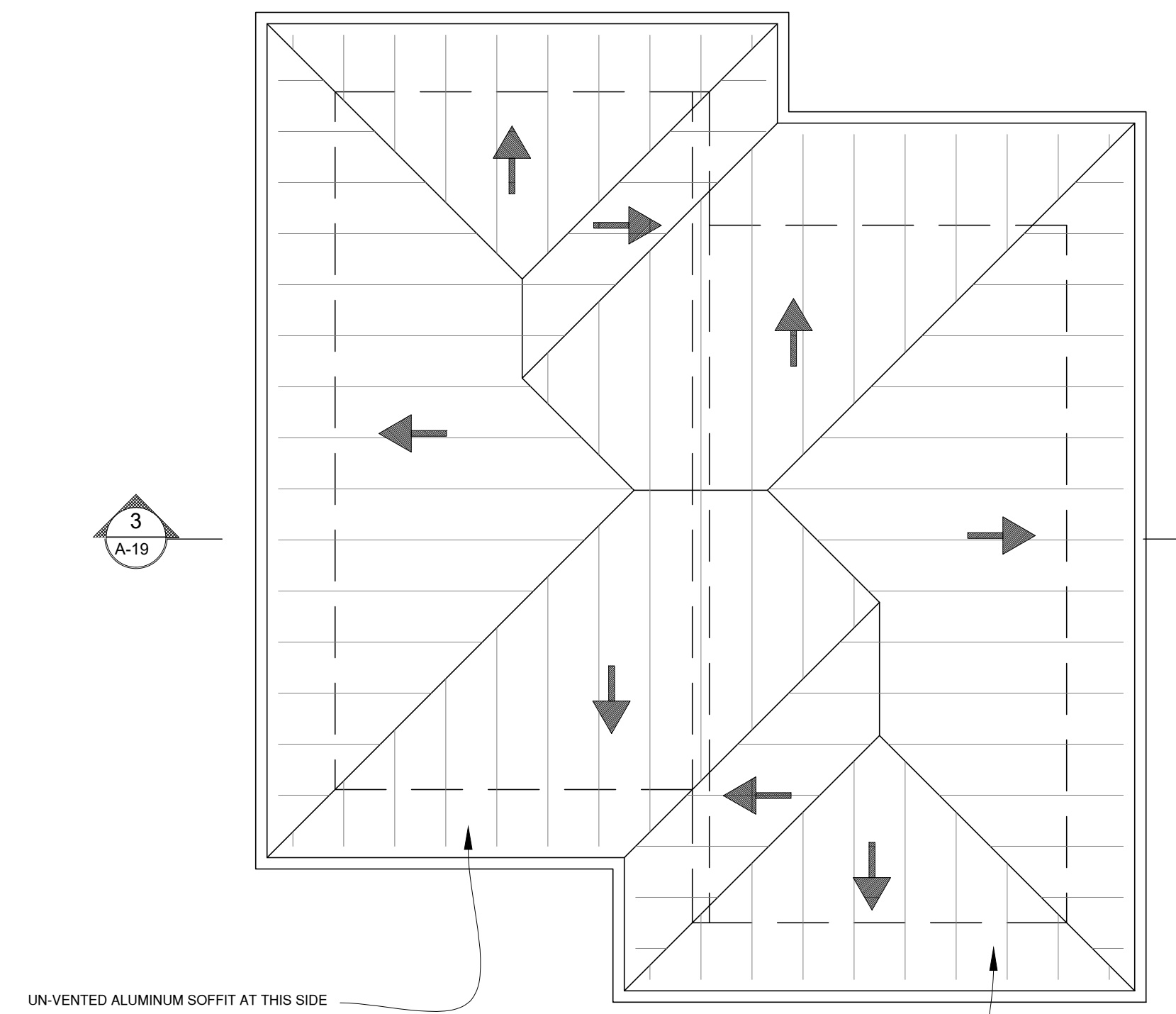
SHEET:  
**A - 18**

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**GARAGE FLOOR PLAN**

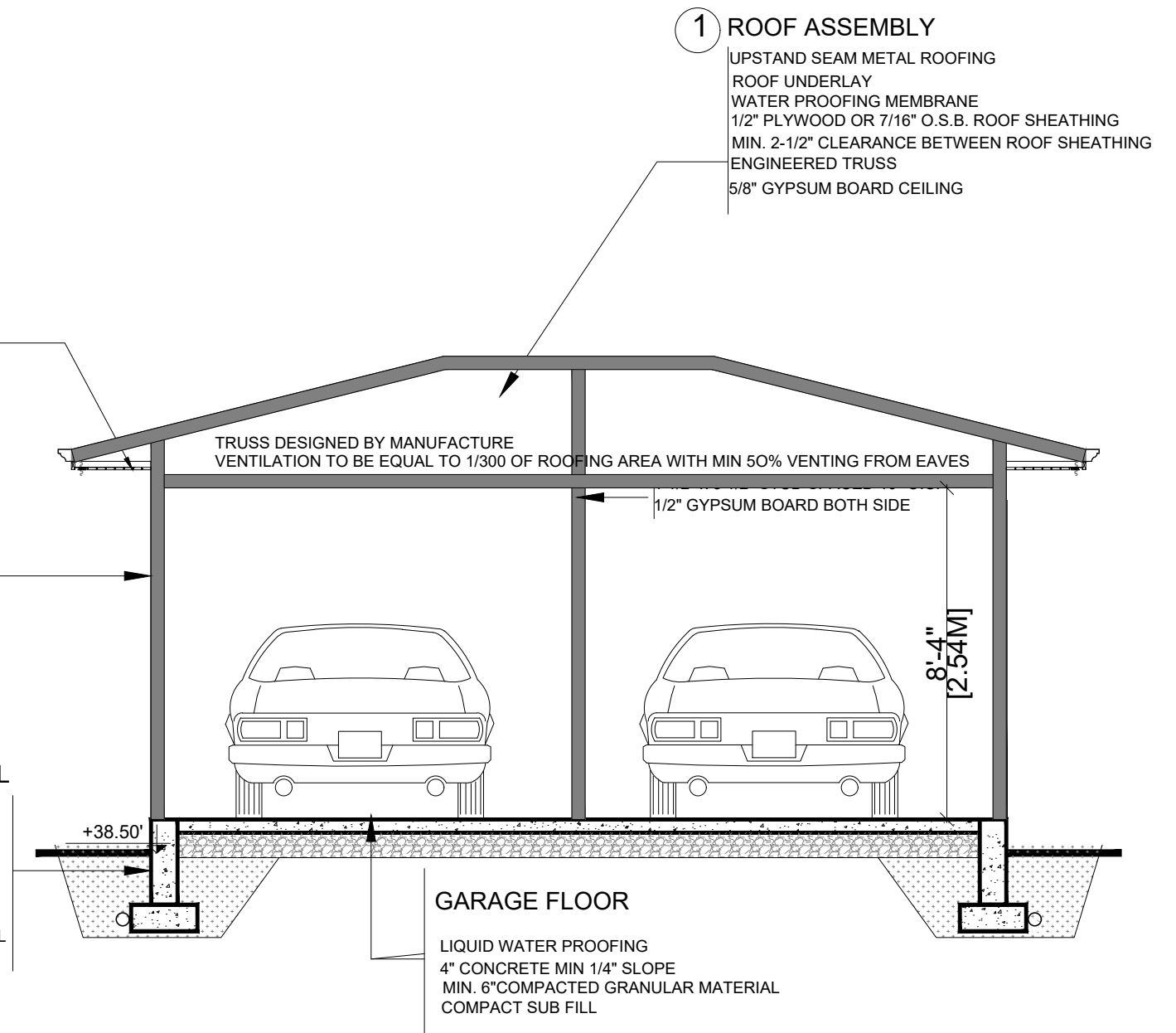


**GARAGE ROOF**

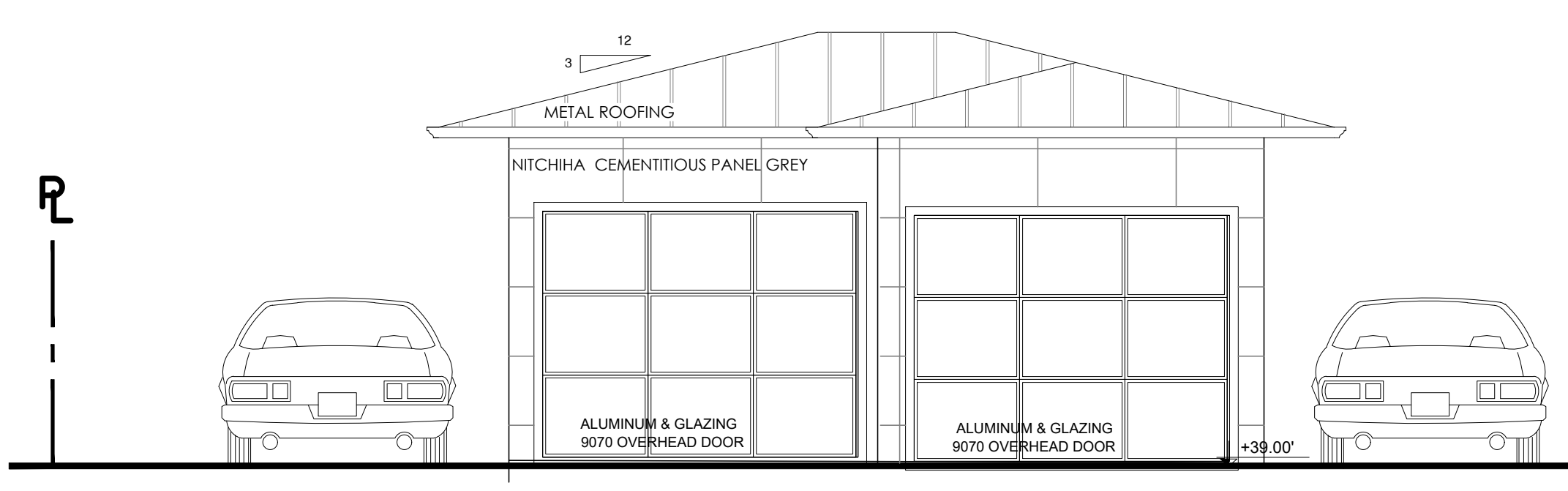
**GUTTER & SOFFIT**  
 CONTINUOUS ALUMINUM GUTTER  
 2X4 PAINTED FACISA BOARD  
 NOTE: UN-VENTED ALUMINUM SOFFIT AT SOUTH SIDE (LANE)

**TYPICAL EXTERIOR CEMENTITIOUS PANEL (NITCIHA) WALLS**  
 1 LAYER OF GYPSUM BOARD ON INSIDE  
 2X4 STUD SPACED 24" O.C.  
 1/2" PLYWOOD SHEATHING  
 PEEL & STICK WHERE REQUIRED  
 2 LAYERS, 30 MINUTE BLDG. PAPER 100% OVERLAP  
 FLASHED WALL DRAINS & BASE  
 CEMENTITIOUS PANEL (NITCIHA) CW STRAPPING FOR RAIN SCREEN

**GARAGE FOUNDATION WALL**  
 2X8 SILL PLATE  
 45# FELT DPC  
 8" CONCRETE FOUNDATION WALL  
 MIN 2 LAYER ASPHALT EMULSION (EXTERIOR)  
 CONCRETE FOOTING AS PER STRUC.  
 PERFORATED DRAINAGE PIPE COVERED WITH MIN 6" CRUSHED STONE OR COURSED GRANULAR MATERIAL

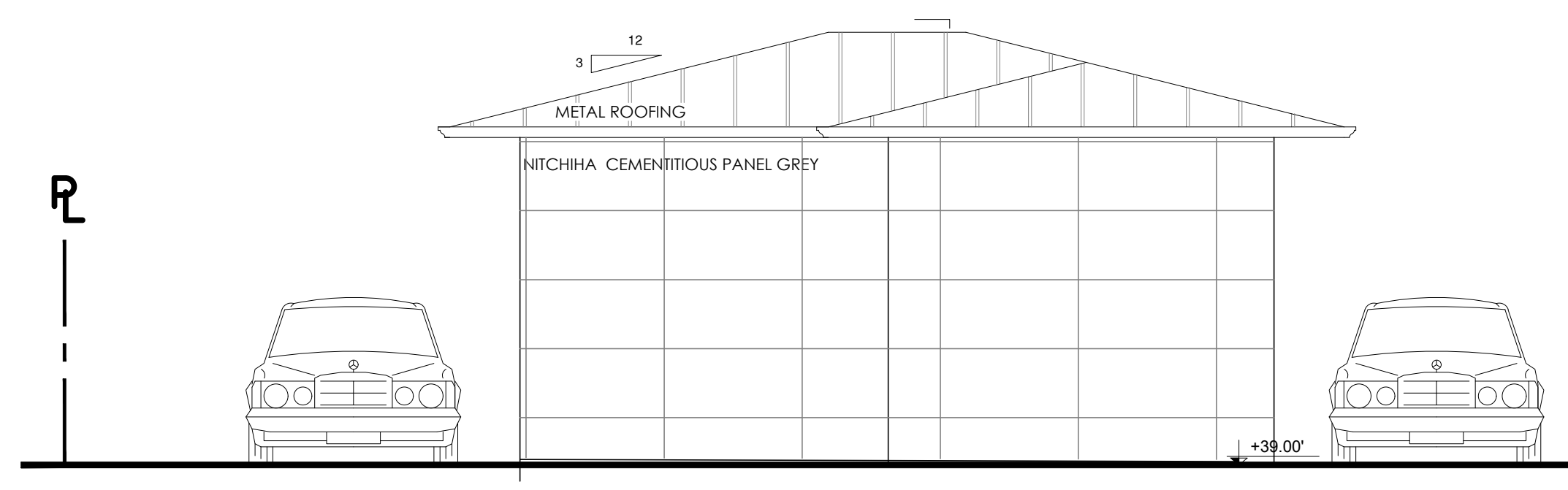


**SECTION 3**



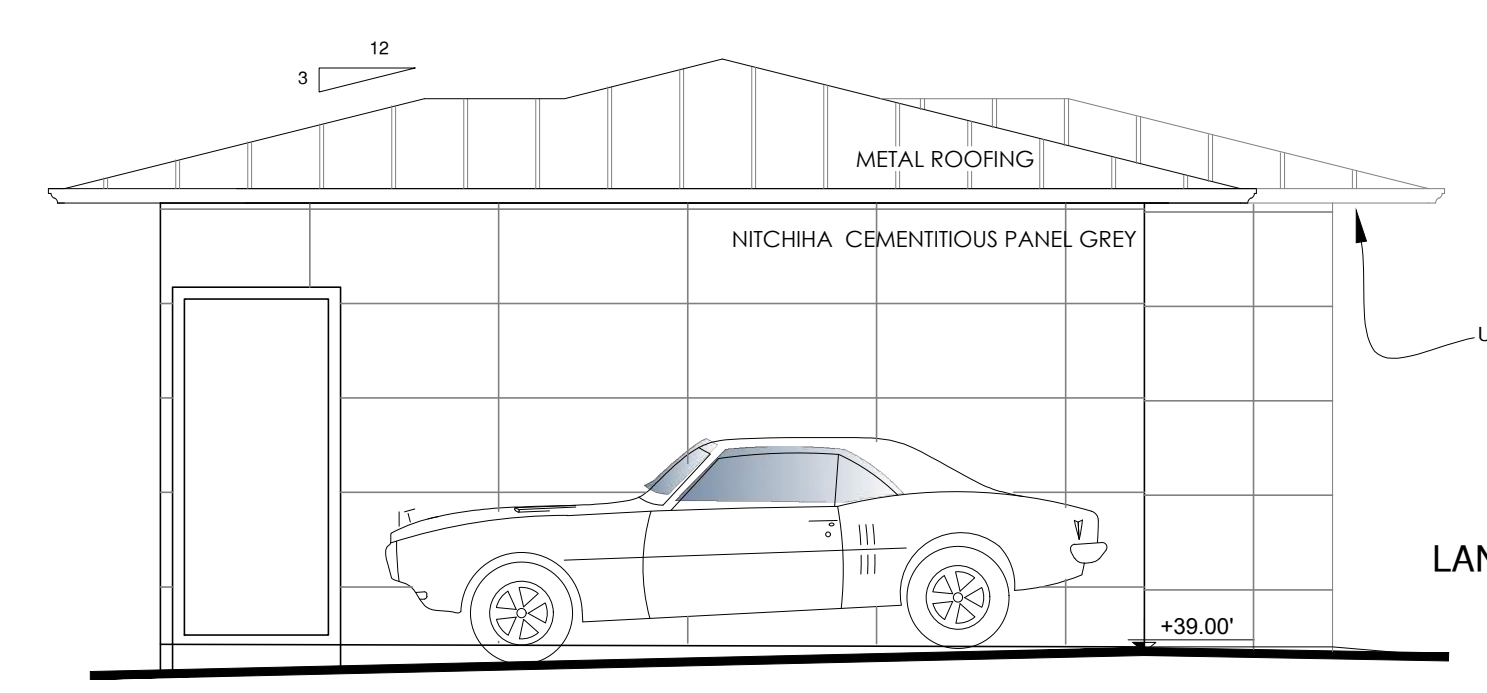
**GARAGE SOUTH ELEVATION**

GARAGE TOP OF ROOF +49.36' (15.04 m)  
 GARAGE TOP OF ROOF +47.18' (14.38 m)  
 GARAGE TOP OF ROOF +45.0' (13.71 m)  
 GARAGE LEVEL +39.0' (10.89 m)  
 LOWEST AVG. GRADE (FINISHED): +38.81' (11.83 m)



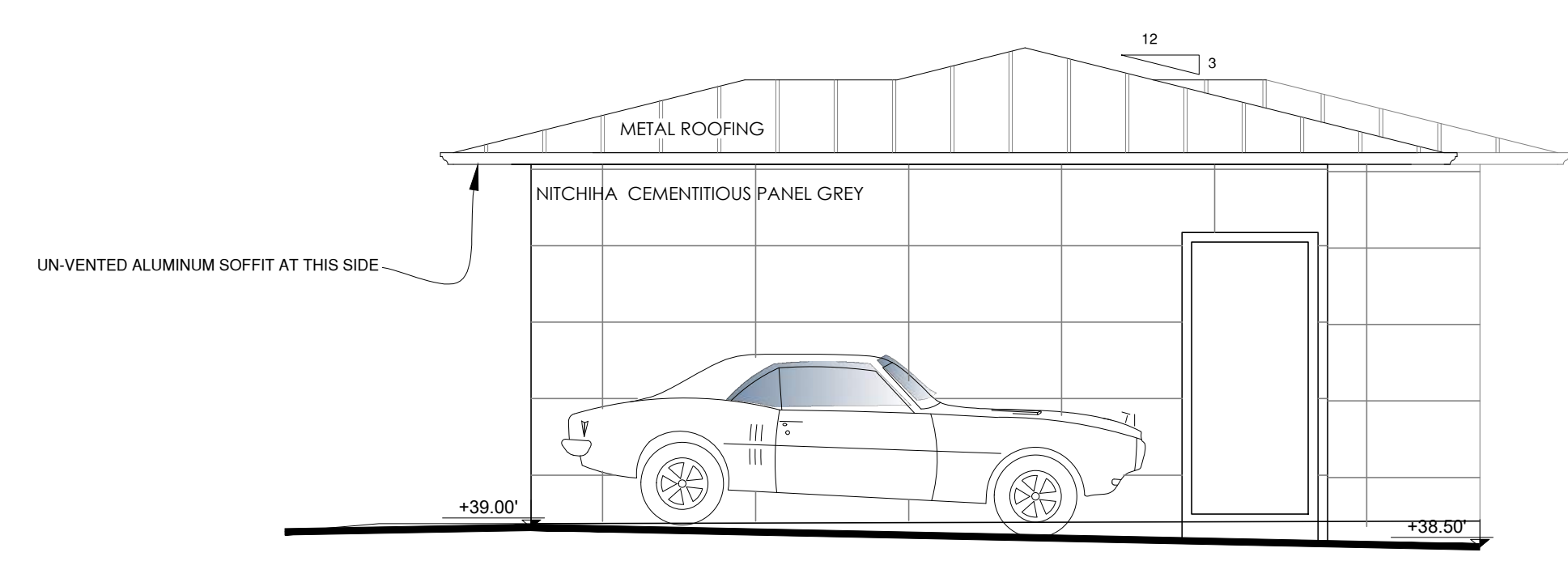
**GARAGE NORTH ELEVATION**

GARAGE TOP OF ROOF +49.36' (15.04 m)  
 GARAGE TOP OF ROOF +47.18' (14.38 m)  
 GARAGE TOP OF ROOF +45.0' (13.71 m)  
 GARAGE LEVEL +39.0' (10.89 m)  
 LOWEST AVG. GRADE (FINISHED): +38.81' (11.83 m)



**GARAGE WEST ELEVATION**

GARAGE TOP OF ROOF +49.36' (15.04 m)  
 GARAGE TOP OF ROOF +47.18' (14.38 m)  
 GARAGE TOP OF ROOF +45.0' (13.71 m)  
 GARAGE LEVEL +39.0' (10.89 m)  
 LOWEST AVG. GRADE (FINISHED): +38.81' (11.83 m)



**GARAGE EAST ELEVATION**

GARAGE TOP OF ROOF +49.36' (15.04 m)  
 GARAGE TOP OF ROOF +47.18' (14.38 m)  
 GARAGE TOP OF ROOF +45.0' (13.71 m)  
 GARAGE LEVEL +39.0' (10.89 m)  
 LOWEST AVG. GRADE (FINISHED): +38.81' (11.83 m)

DESIGNER: **KAYVAN MEMARY**  
 MASTER OF ARCHITECTURE  
 E-mail: kayvanmemary@gmail.com  
 Phone: 604-836-3124

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TITLE:  
 PROPOSED GARAGE

SHEET:  
**A - 19**

## GENERAL NOTES:

THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE.

ALL DIMENSIONS ARE TO THE CENTER OF WALL, FACE OF SHEATHING OR FACE OF CONCRETE UNLESS NOTED OTHERWISE. CONTRACTOR MUST CONFIRM ALL CRITICAL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ADEQUACY OF DRAWINGS, REPORT ALL DISCREPANCIES.

CONTRACTOR SHALL CONFIRM ACTUAL DIMENSION WITH SUPPLIER/MANUFACTURER AND SITE CONDITION.

DO NOT SCALE DRAWINGS.

TELEPHONE AND HYDRO SERVICE ARE EXISTING

WHEN DRAWINGS DO NOT SHOW SUFFICIENT DETAIL TO ALLOW COMPLIANCE WITH RELEVANT SPECIFICATIONS, THE CONTRACTOR SHALL PREPARE DETAILS FOR SUBMISSION TO THE APPROPRIATE CONSULTANT FOR APPROVAL, PRIOR TO CONSTRUCTION OR IMPLEMENTING THAT DETAIL.

ZED STUDIO IS NOT RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THIS BUILDING, IN CASE OF ANY DISCREPANCY BETWEEN THESE NOTES AND STRUCTURAL NOTES PROVIDED BY AN ENGINEER, THE ENGINEER'S NOTES WILL SUPERSEDE. THESE DISCREPANCIES ARE TO BE REPORTED.

ALL MATERIAL AND WORKMANSHIP TO MEET THE REQUIREMENTS OF THE 2018 ISSUE OF THE BRITISH COLUMBIA BUILDING CODE. THE FOLLOWING SPECIFICATIONS ARE RECOMMENDED FOR MINIMUM REQUIREMENTS REFER TO THE B.C.B.C.

ALL FOLLOWING SIZES AND DIMENSIONS ARE TO BE CONFIRMED TO COMPLY WITH MUNICIPAL STANDARDS, THESE STANDARDS SUPERCEDE THE MINIMUM REQUIREMENTS OF THE B.C.B.C (REFERENCE NUMBERS BELOW)

EXCAVATION: 9.12:

FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL.  
18" MINIMUM COVERAGE FOR FROST PROTECTION.

DRAINAGE: 9.14:

CLEAN DRAIN ROCK OVER 4" DRAIN TILE. 4" DIA. PERFORATED PVC DRAIN PIPE. RWL TO SOLID PIPE.

CONCRETE: 9.3.1:

ALL UN-REINFORCED CONCRETE TO BE A MINIMUM OF 15 MPA @28 DAYS.

FOOTINGS AND FOUNDATIONS: 9.15:

STRIP FOOTINGS: MIN. 16"x8". COLUMN FOOTING: MIN. 24"x24"x10 CONC. WALLS TO PROJECT 200mm ABOVE FINISHED GRADE OR 2" ABOVE EXTERIOR CONCRETE SLABS.  
PROVIDE 6" ANCHOR BOLTS @ MAXIMUM 4'-0" O.C. 2 ON EACH SILL PLATE. POSTS TO BE ANCHORED TO RESIST UPLIFT.

SLABS:9.16:

NOT LESS THEN 100mm OF COARSE CLEAN GRANULAR MATERIAL SHALL BE PLACED BENEATH FLOORS ON GROUND. CONCRETE SLABS SHALL NOT BE LESS THEN 75mm THICK EXCLUSIVE IF CONCRETE TOPPING. VEHICLE PARKING: 4" CONCRETE SLABC/W 6x6x10/10 MESH SLOPE 2% OVER 5" COMPACTED GRAVEL.

PROTECTION FROM DAMPNESS: 9.23.2.2:

WOOD FRAME MEMBERS THAT ARE NOT PRESSURE TREATED WITH A WOOD PRESERVATIVE AND THAT ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR SOIL SHALL BE SEPARATED FROM THE CONCRETE BY NOT LESS THEN 0.05mm POLY FILM OR TYPE S ROLL ROOFING.

ROOFING/WATERPROOFING:

ALL BUILDING PAPER USED IN THIS PROJECT MUST BE 2 LAYERS OF 30 MIN. INSTALLED 1/2 LAPPED. ALL CAULKING MUST BE POLYURETHANE BASE NOT SILICONE BASE. PROVIDE CONTINUOUS VAPOR BARRIER ON TOP AND END OF EXTERIOR WALLS OVER BEAMS.

PROVIDE CAULKING AROUND ALL EXTERIOR OPENINGS.

ALL FLASHING MUST BE A MIN. OF '26 GAUGE' AND SHALL BE JOINED WITH STANDING SEAMS. INSTALL PEEL AND STICK MEMBRANE UNDER CAP FLASHING. SHINGLE EXTERIOR VENT SHOULD BE A ECCO -MODEL 051204 OR EQUIVALENT. VENT SHALL BE BACK CAULKED ONTO 30 MIN. FLASHING PAPER THAT IS APPROXIMATELY 12" LARGER THAN THE VENT ON ALL SIDES. THE FLASHING PAPER SHALL THEN BE SHINGLED WITH BUILDING PAPER. WATERPROOF MEMBRANE SHALL CARRY UP INTO PATIO DOOR ROUGH OPENING WITH UPTURN.

WINDOWS: 9.7:

BEDROOM WINDOWS TO HAVE A MIN. UNOBSTRUCTED OPENING OF NOT LESS THAN 0.35M2 AND NO DIMENSION LESS THAN 0.38m. OPENING MUST BE MAINTAINED DURING AN EMERGENCY WITHOUT THE NEED FOR ADDITIONAL SUPPORT. WINDOW FRAMES ARE TO BE THERMALLY BROKEN. ALL WINDOW DIMENSIONS ARE NOMINAL, SITE MEASURE AS REQUIRED. ALL FRAMES TO HAVE NAILING FLANGE AND TO BE PLACED DIRECTLY ON WINDOW SILL. WINDOW LOCATED WITHIN 3'-0" OF DOOR LOCKS REQUIRED TO HAVE SAFETY OR WIRED GLASS CONFORMING TO 3.31.18(2). WINDOWS TO CONFORM TO SECTION 3.7.2 AND SUBSECTION 9.7 NATIONAL BUILDING CODE AND TO BE MANUFACTURED IN ACCORDANCE WITH A3.B3.C3 TO CSA AA440-M98 PERFORMANCE TEST. PROVIDE MOCK UP WINDOW ASSEMBLY FOR TESTING. MIRRORED DOORS AND BIFOLDS TO CONFORM TO BCBC 9.6.6.3. ALL GLAZING 8" OR LOWER A.F.F. TO BE SAFETY GLASS. GLAZING AT ENTRANCE DOORS, SHOWER DOORS, TUBS AND SLIDING DOORS TO CONFORM TO 9.6.6 WINDOWS OVER STAIRS AND LANDINGS TO CONFORM TO 9.7.5.3. WINDOWS THAT EXTEND TO LESS THEN 900mm ABOVE THE LANDING SHALL BE PROTECTED WITH GUARDS (9.8.8.) OR NON-OPENABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS (4.1.5.15.)

GLASS:

9.6.6:  
SAFETY GLASS MUST BE USED WHEN ENCLOSING BATHTUBS OR SHOWERS. ALL DOORS AND WINDOWS TO BE DOUBLE GLAZED.  
FLASHING: 9.27.3:  
FLASH ALL EXT. WALL OPENINGS WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE EAVE TO THE TOP OF THE TRIM IS MORE THAN 1/4 OF THE EAVE OVERHANG.

STAIRS: 9.8:

SEE SECTION FOR STAIR SPECIFICATIONS.:

GUARDRAILS: 9.8.8:

GUARDRAILS REQUIRED WHERE FLOOR TO FLOOR OR FLOOR (DECK, LANDING ETC.) TO GRADE EXCEEDS 24". NO OPENING GREATER THAN 4". NO MEMBERS LOCATED BETWEEN 4"-36" ABOVE FLOOR OR DECK ETC. THAT WILL FACILITATE CLIMBING. INTERIOR GUARDRAILS: MIN. 36" EXTERIOR GUARDRAILS: MIN. 42" EXCEPT WHERE DECK TO GRADE IS LESS THAN 6'-0". THAN EXTERIOR GUARDRAILS: 36" HANDRAILS FOR STAIRS: 32" ABOVE nosing  
GUARDRAILS FOR STAIRS: 36" ABOVE NOSING.  
GUARDRAILS TO BE DESIGNED FOR 1.5 KN/M HORIZONTAL AND VERTICAL LOAD AT TOP OF RAIL PLUS I.O. KP PANEL LOADS, NO OPENING MORE THAN 4"

SMOKE ALARMS:

9.10.19:  
SMOKE ALARMS TO CONFORM TO CAN/ULC-S531. AT LEAST ON SMOKE ALARM ON EACH FLOOR, INCLUDING BASEMENTS. SMOKE ALARM TO WITHIN 5M OF ALL BEDROOM DOORS AND 15M OF ANY POINT THE SAME FLOOR, MEASURED FOLLOWING CORRIDORS. SMOKE ALARMS TO BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT. ALL SMOKE ALARMS TO BE INTERCONNECTED.

CO ALARMS: 9.32.4.2

CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19. CARBON MONOXIDE ALARMS TO BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT. CARBON MONOXIDE ALARM TO BE INSTALLED WITHIN 5M OF ALL BEDROOM DOORS, MEASURED FOLLOWING CORRIDORS.  
MISCELLANEOUS:  
PROVIDE MIRRORS BEHIND ALL BATHROOM SINKS.

FRAMING: 9.23:

ALL MATERIAL SIZES AND SPANS ARE BASED ON #2 D.FIR OR K.D. SPRUCE UNLESS NOTED OTHERWISE.  
HEADER: 2-2x10 #2 D.FIR (UDL OF ONE FLOOR AND ROOF)  
3-2x10 #2 D.FIR (UDL OF TWO FLOORS AND ROOF)  
WALL STUDS: 2x4 STUDS @ 16" O.C. (EXTERIOR) 2x4 STUDS @ 16" O.C. (INTERIOR) (UNLESS NOTED OTHERWISE).

CONTRACTOR SHALL OBTAIN MANUFACTURERS STAMPED ENGINEERED SHOP DWG. AND CERTIFICATE OF INSTALLATION FOR TRUSSES.

PROVIDE SOLID BLOCKING IN TWO SPACES ON BOTH SIDES OF EXTERIOR AT LATCH HEIGHT AND HINGE HEIGHT. CROSS BRIDGING OF ROOF.FLOOR JOISTS REQUIRED AT 7" O/C. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PROTECTED WITH THIN 45 DEG.

FLOORS: 9.30.1:

WATER RESISTANT FLOORING REQUIRED IN ENTRY, LAUNDRY, KITCHEN, MECHANICAL RM. AND BATHROOMS. PROVIDE 2/8" PLY. UNDER.

INSULATION: 9.25.2:

R20 INSULATION AND6 MIL. POLY V.B. BETWEEN HEATED AND UNHEATED SPACE, THE EXTERIOR AIR OR THE EXTERIOR SOIL.

ATTICS. 9.19.1:

CROSS VENT ROOF 1/150TH OF AREA OR ATTIC SPACE MINIMUM 1/300TH OF AREA WITH A MINIMUM OF 25% AT THE TOP AND 25% AT THE BOTTOM. INSTALL INSULATION STOPS AS REQUIRED. PROVIDE MIN 20"x28" ACCESS WITH TIGHT FITTING INSULATED COVER.

FIREPLACE: 9.22:

PROVIDE MINIMUM 4" COMBUSTION AIR DUCT FROM EXTERIOR. FOR WOOD BURNING FIREPLACE PROVIDE MINIMUM 16" NON-COMBUSTIBLE HEARTH AND CO2 DETECTOR. ALL MANUFACTURED FIREPLACE AND FLUES TO CONFORM TO CAN/ULC S610 STANDARD. INSTALL TO MANUFACTURER'S SPECIFICATIONS AND U.L.C. LISTING REQUIREMENT. INSTALL 1/2" WONDERBOARD UNDER NON COMBUSTIBLE HEARTH FINISH.

PLUMBING:

PLUMBING TO MEET REQUIREMENTS OF THE 2012 B.C.B.C. INCLUDING 7.5.5.5: EVERY STORY IN WHICH PLUMBING IS OR MAY BE INSTALLED, INCLUDING THE BASEMENT OF A SINGLE FAMILY DWELLING, SHALL HAVE EXTENDED INTO IT OR PASSING THROUGH IT A VENT PIPE THAT IS AT LEAST 1 1/2" IN SIZE FOR THE PROVISION OF FUTURE CONNECTIONS, ALL BUILDING DRAWINGS TO BE PROVIDED WITH AT LEAST ONE VENT NOT LESS THAN 3" IN SIZE AND SHALL TERMINATE THROUGH THE ROOF.

DRYWALL:

WATERPROOF WALL BOARD REQUIRED AROUND TUB AND SHOWERS.

VENTILATION. 9.32:

WHERE NATURAL VENTILATION OF ROOMS DOES NOT MEET THE REQUIREMENTS OF TABLE 9.32.2.2 MECHANICAL VENTILATION IS REQUIRED: NOT MECHANICALLY COOLED: PROVIDE 1 AIR CHANGE PER HOUR. MECHANICALLY COOLED: PROVIDE 1/2 AIR CHANGE PER HOUR.  
HEATING: 9.33:  
HEATING SYSTEM TO MEET REQUIREMENTS OF 2012 B.C.B.C.

DOORS. 9.6.5:

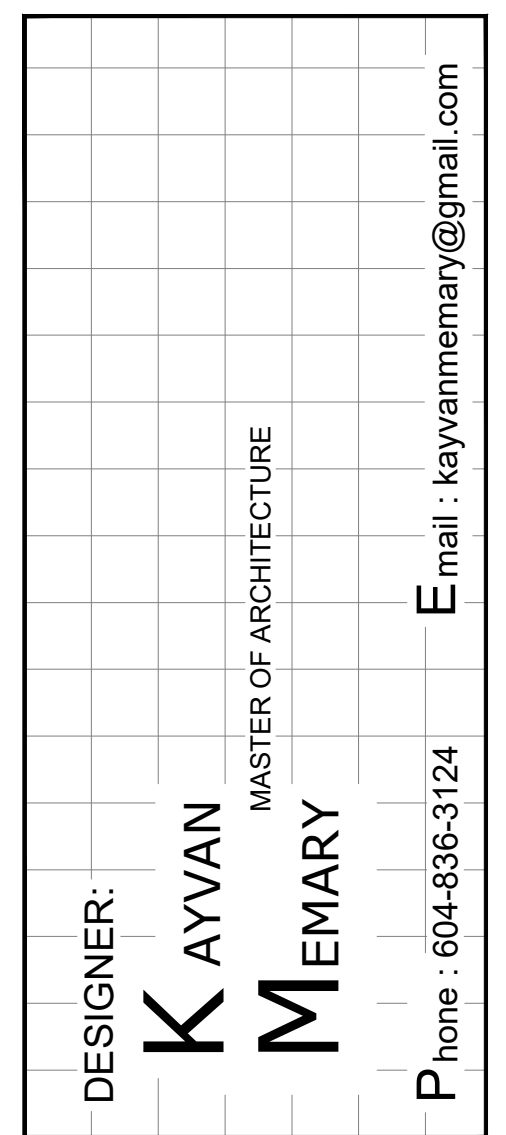
SAFETY OR WIRED GLASS IS REQUIRED WHERE GLASS CAN BE MISTAKEN FOR A DOOR OPENING AND WITHIN 36" OF DOOR LOCKS  
OR 8" OF FLOOR. DOORS BETWEEN GARAGE AND DWELLING TO BE SELF CLOSING AND WEATHER STRIPPED.  
ENTRANCE AND EXTERIOR DOORS TO DWELLING UNITS TO COMPLY WITH B.C.B.C. 9.6.4 & 9.6.6. DOORS TO

BATHROOMS

AND ALL EN-SUITE DOORS TO UNDERCUT 1/2" FOR SUITE VENTILATION.

SECURITY. 9.6.8:

ALL EXTERIOR DOORS TO MEET THE REQUIREMENTS OF 9.6.8



CIVIC ADDRESS:

2378 MARINE DRIVE  
WEST VANCOUVER, BC

LEGAL DESCRIPTION :

LOT 1, BLOCK 'G',  
DISTRICT LOT 554  
GROUP 1,  
NEW WESTMINSTER DISTRICT  
PLAN EPP108394

REVISIONS:

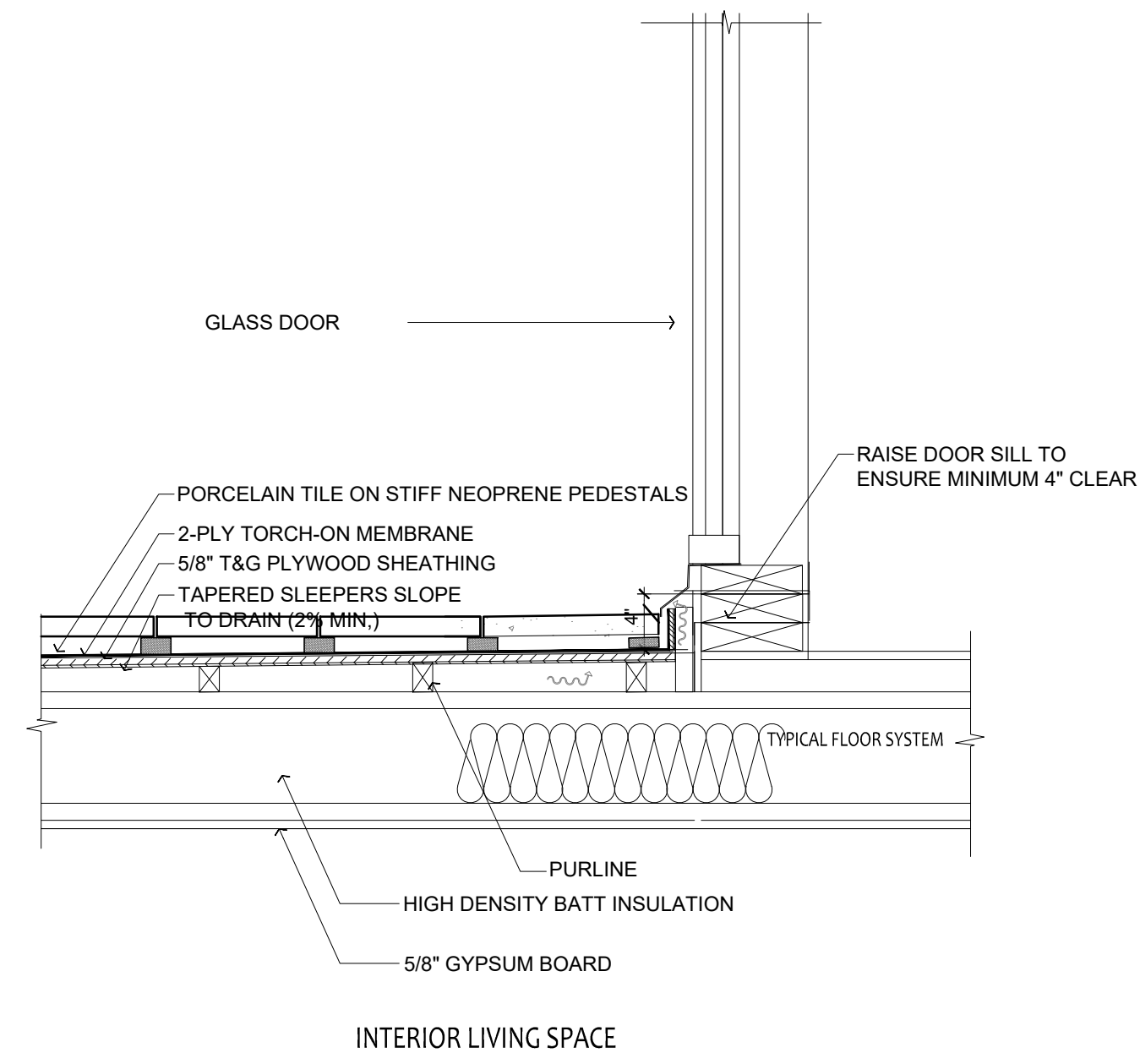
DRAWN BY:	K.M.
SCALE:	N.T.S.
DATE:	JAN 2022
FILE:	2378 MARINE DRIVE.DWG

TITLE:

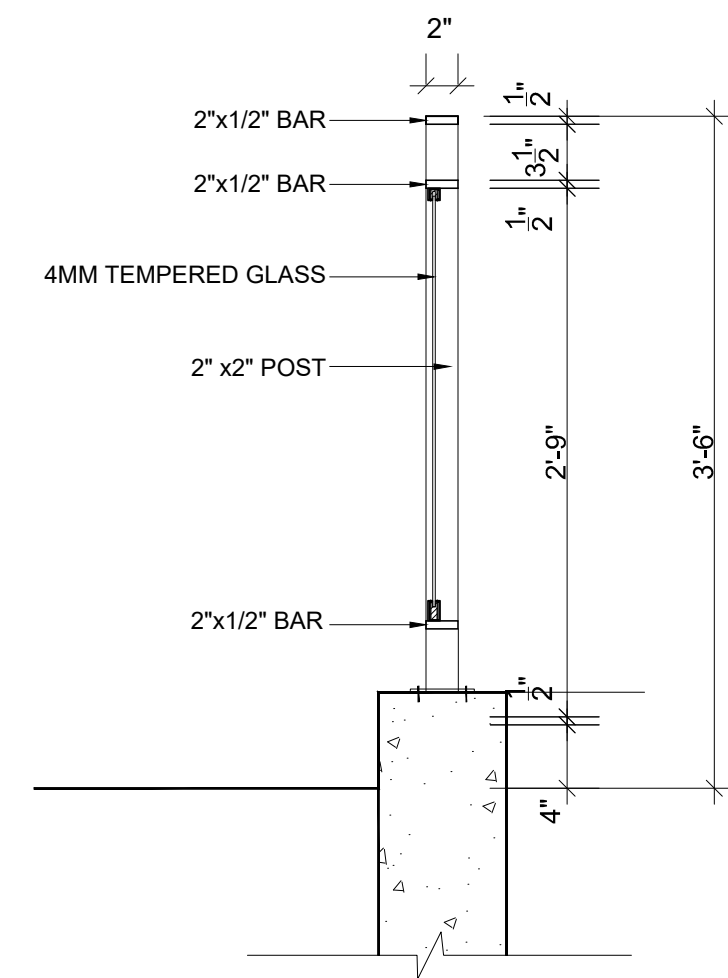
GENERAL NOTES

SHEET:

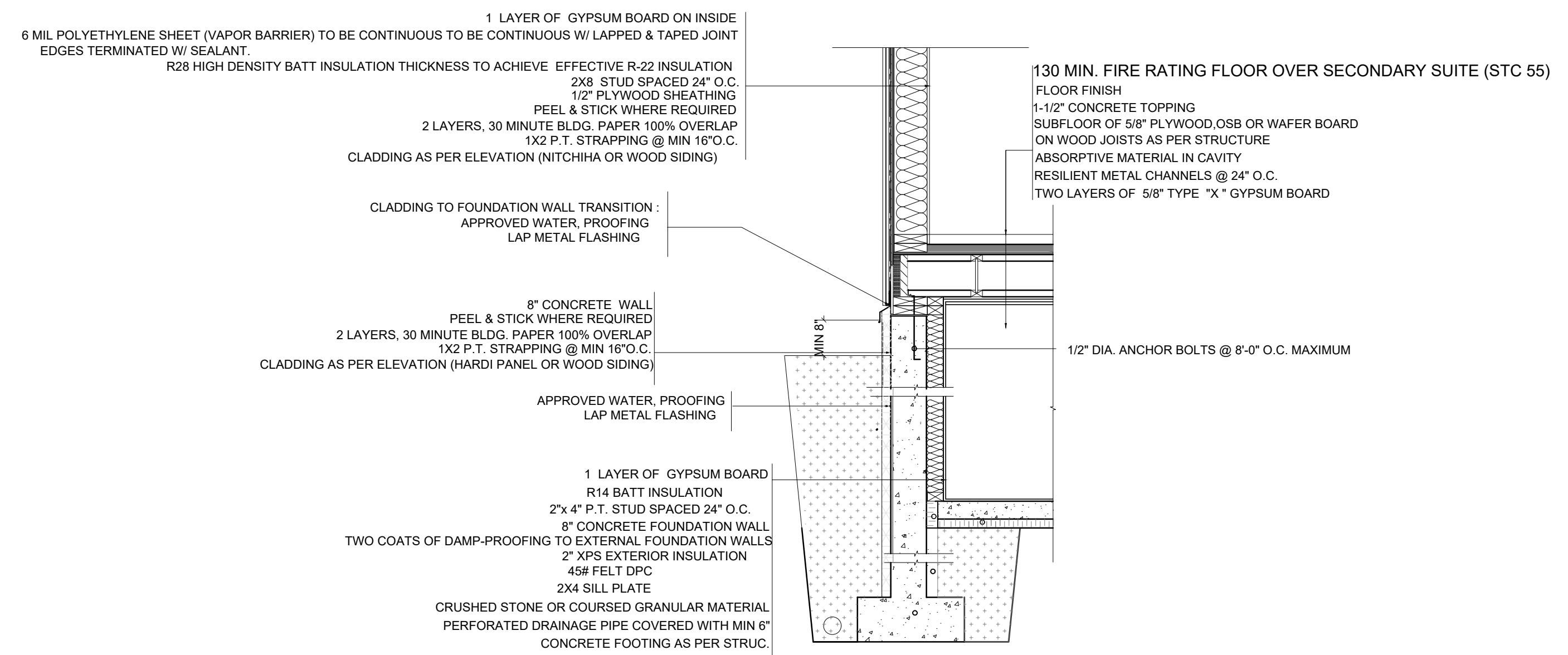
A - 20



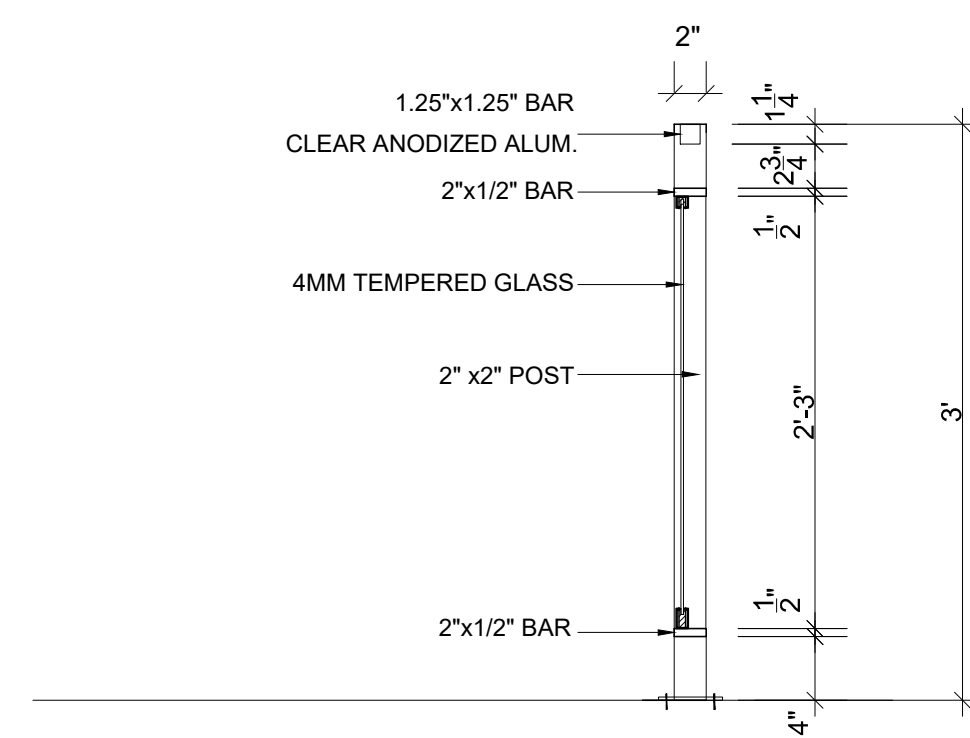
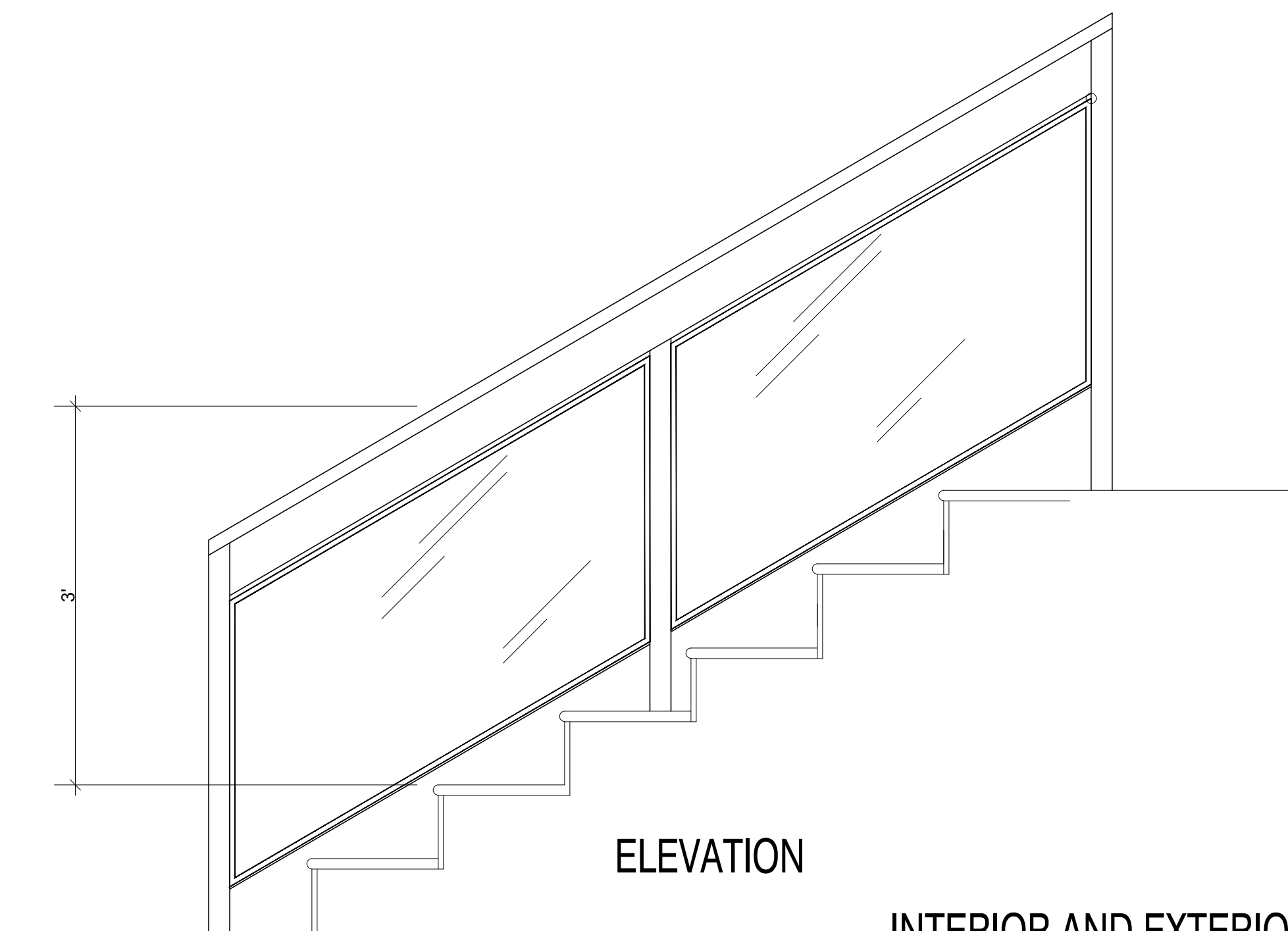
**UPPER FLOOR SOUTH DECK DETAIL**  
SCALE : 1"=1'-0"



**RAILING AROUND SUNKEN PATIO**  
SCALE : 1"=1'-0"

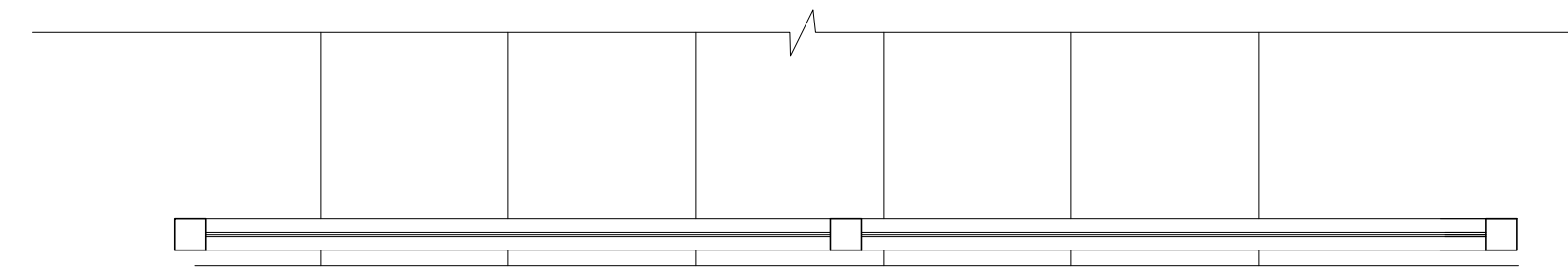


**FOUNDATION WALL & SECONDARY SUITE FIRE RATED CEILING DETAIL**  
SCALE : 1/2"=1'-0"



**SECTION**

**INTERIOR AND EXTERIOR ALUMINUM FRAME AND TEMPERED GLASS STAIR RAILING**  
SCALE : 1"=1'-0"



**PLAN**

DESIGNER:  
**KAYVAN**  
MASTER OF ARCHITECTURE  
**MEMARY**

P phone : 604-836-3124  
E mail : kayvanmemary@gmail.com

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LEGAL DESCRIPTION :  
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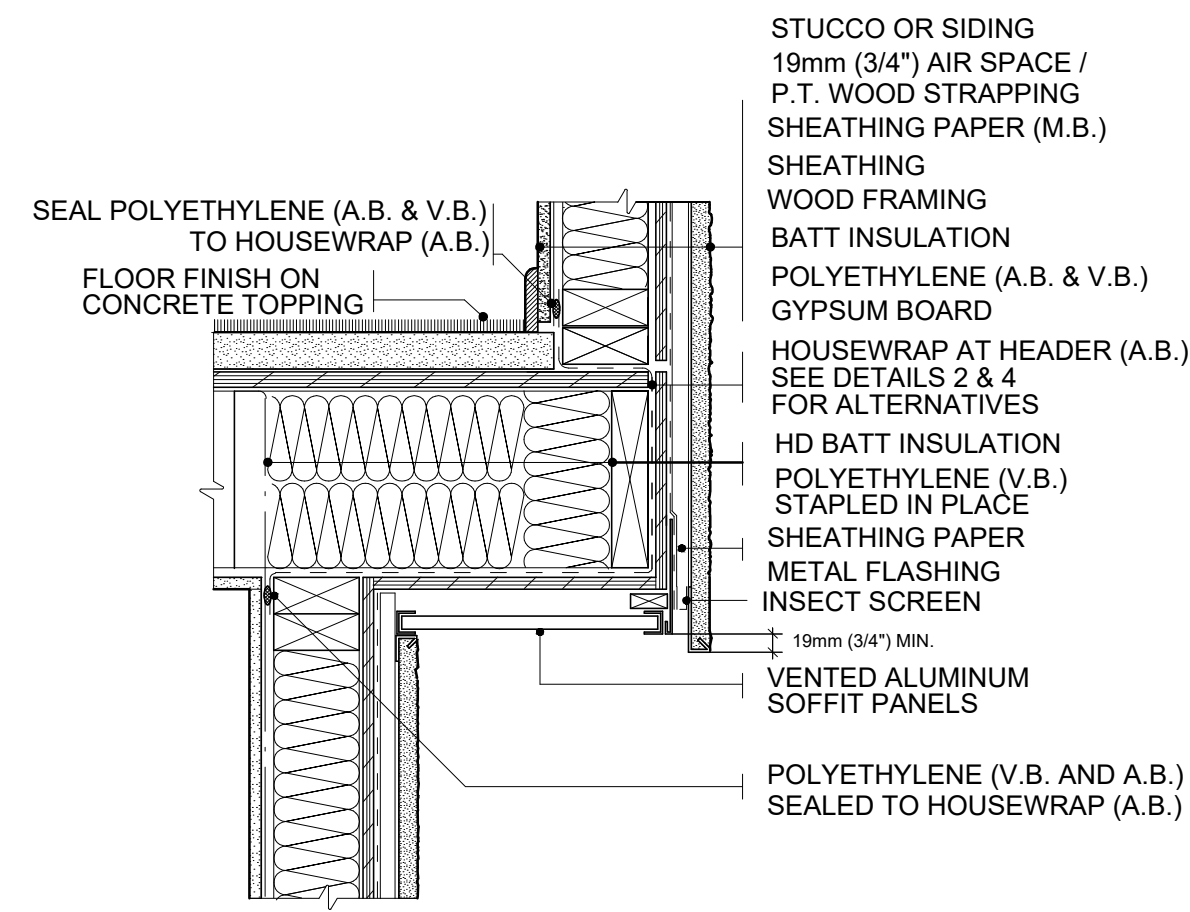
REVISIONS:

DRAWN BY:	K.M.
SCALE:	AS SHOWN
DATE:	JAN 2022
FILE:	2378 MARINE DRIVE.DWG

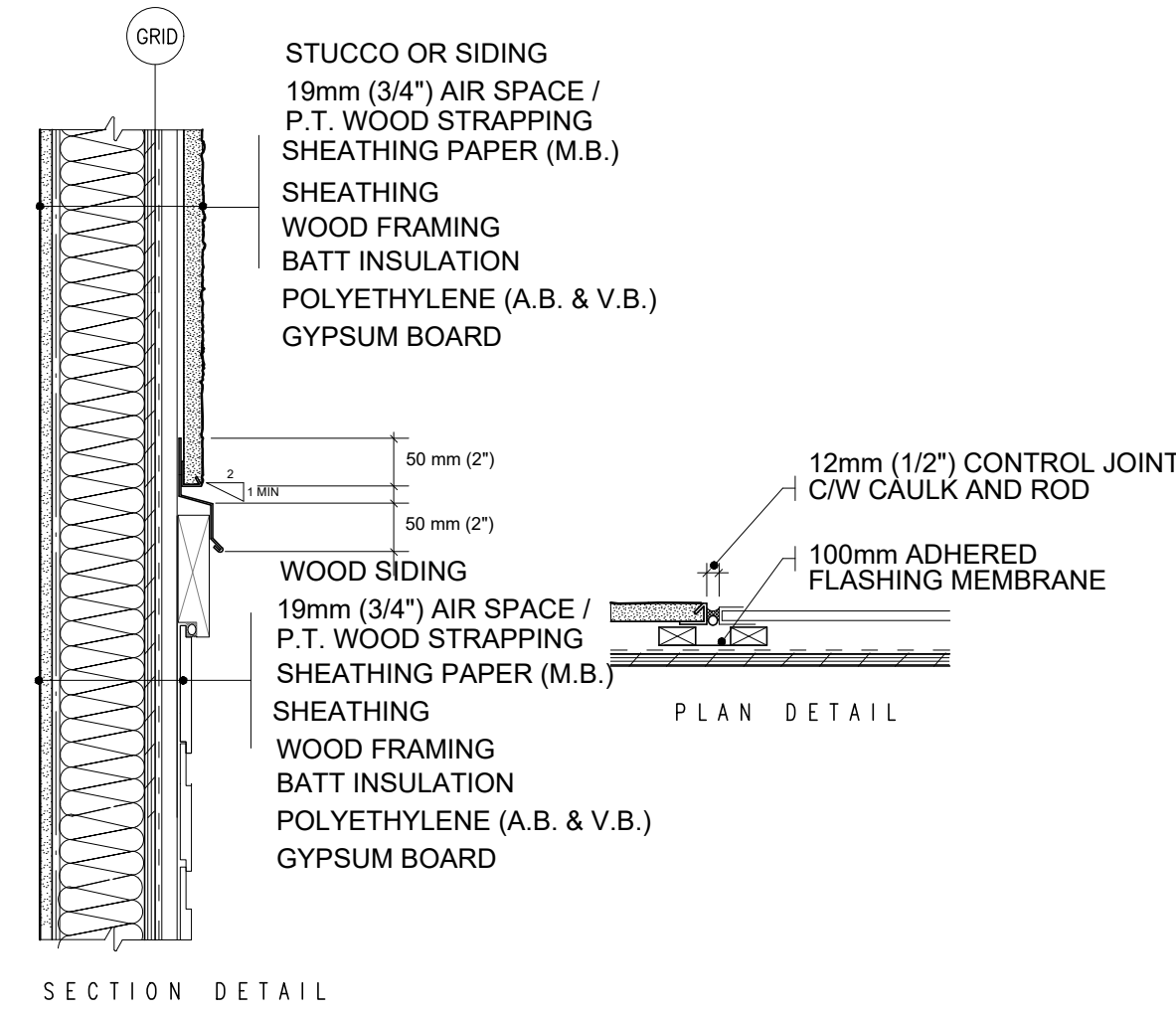
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GENERAL NOTES

SHEET:

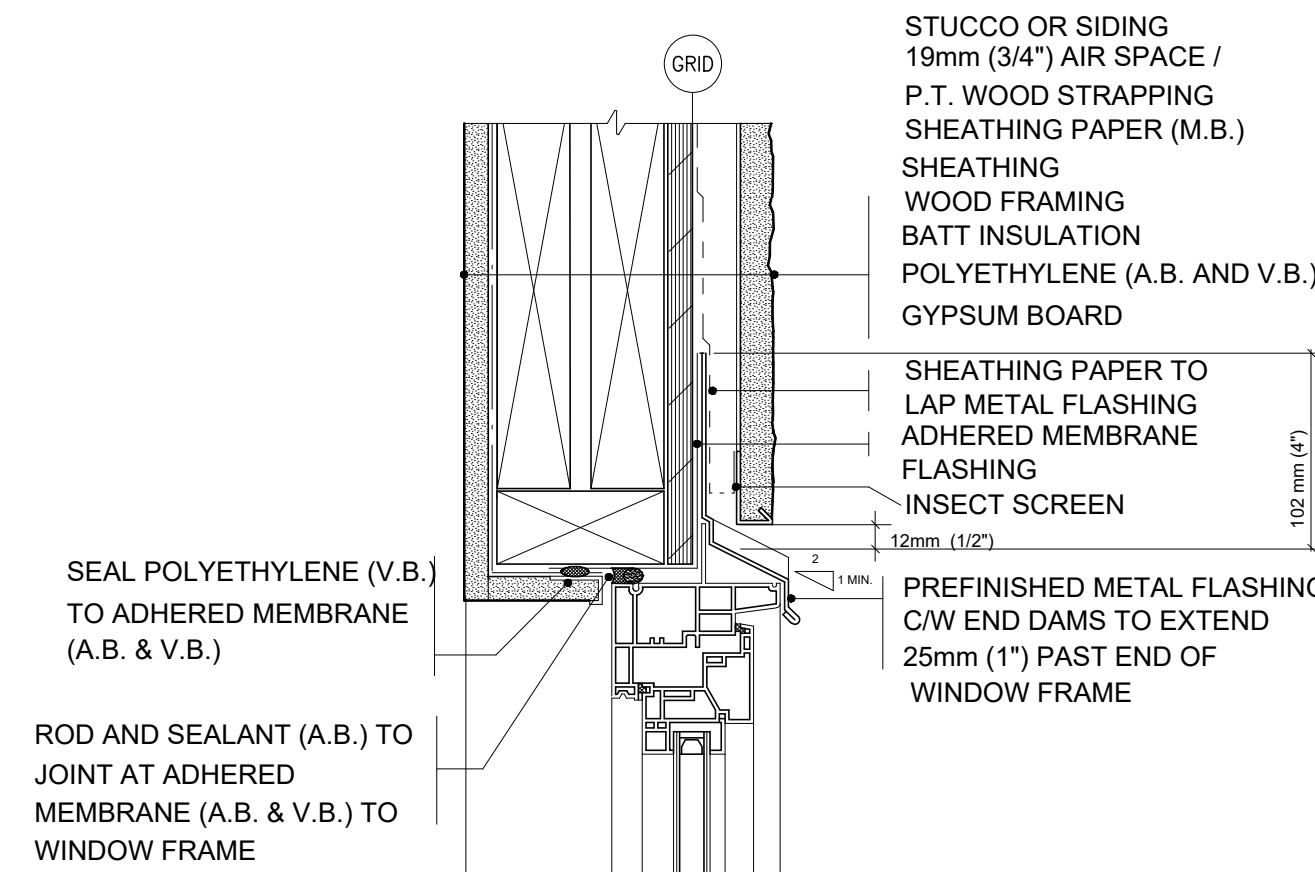
**A - 21**



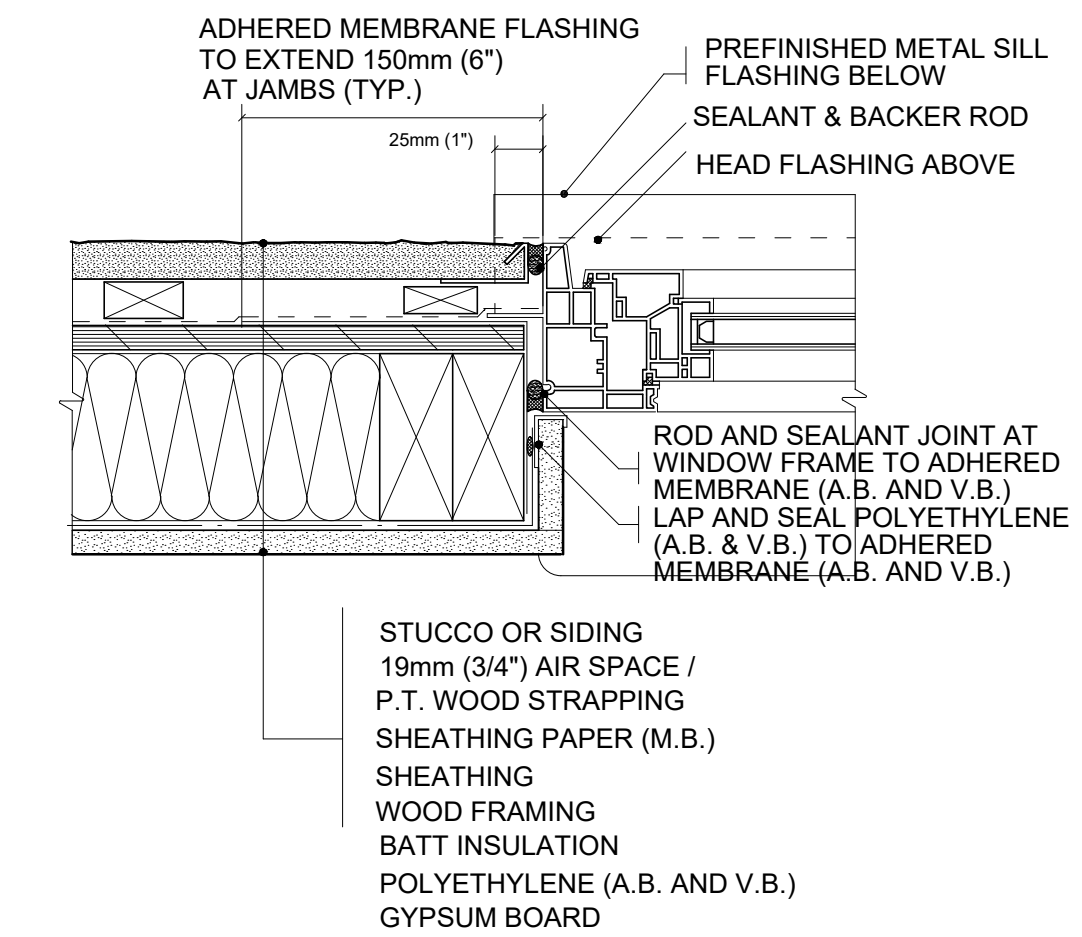
CANTILEVERED FLOOR



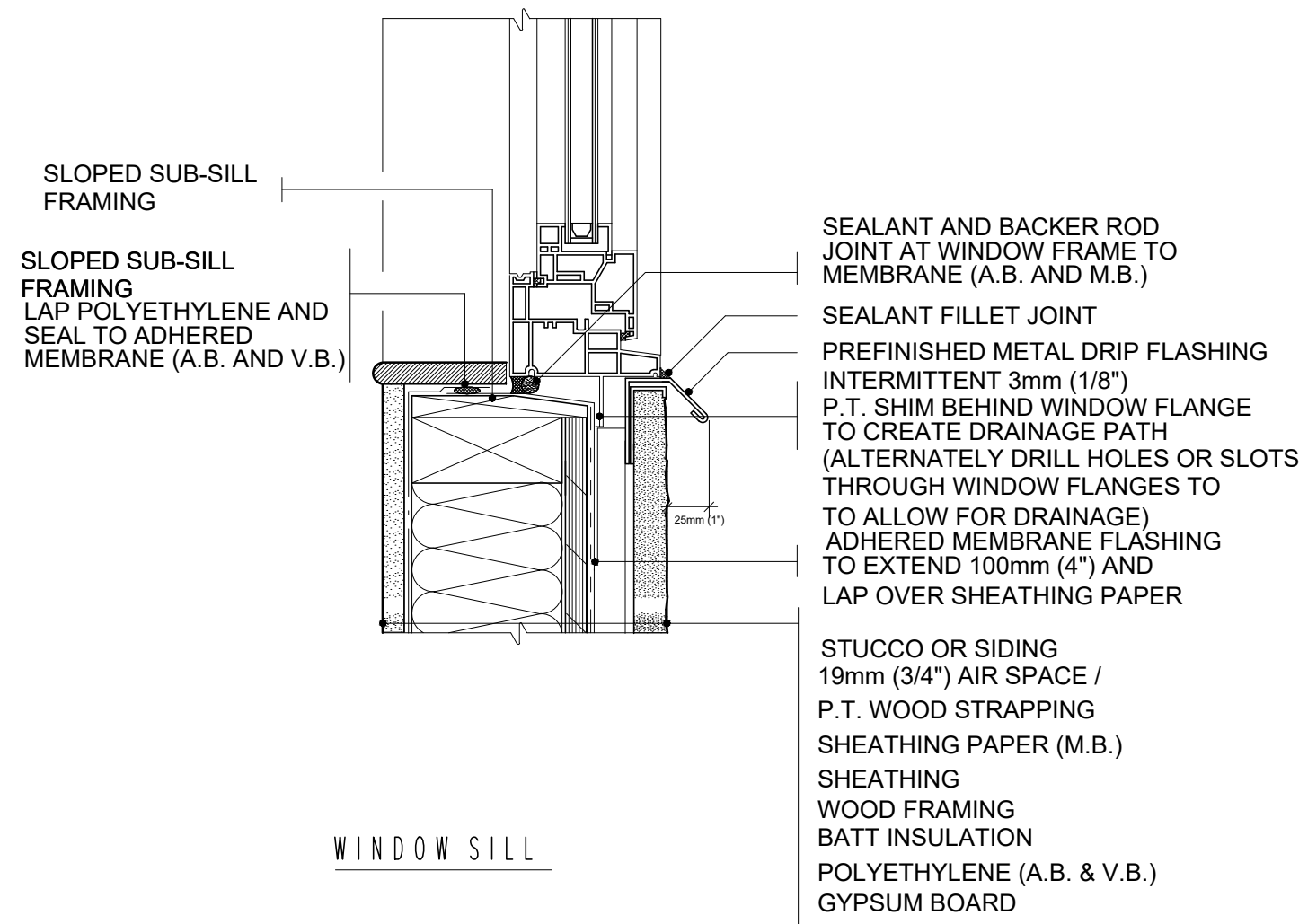
CLADDING TRANSITION



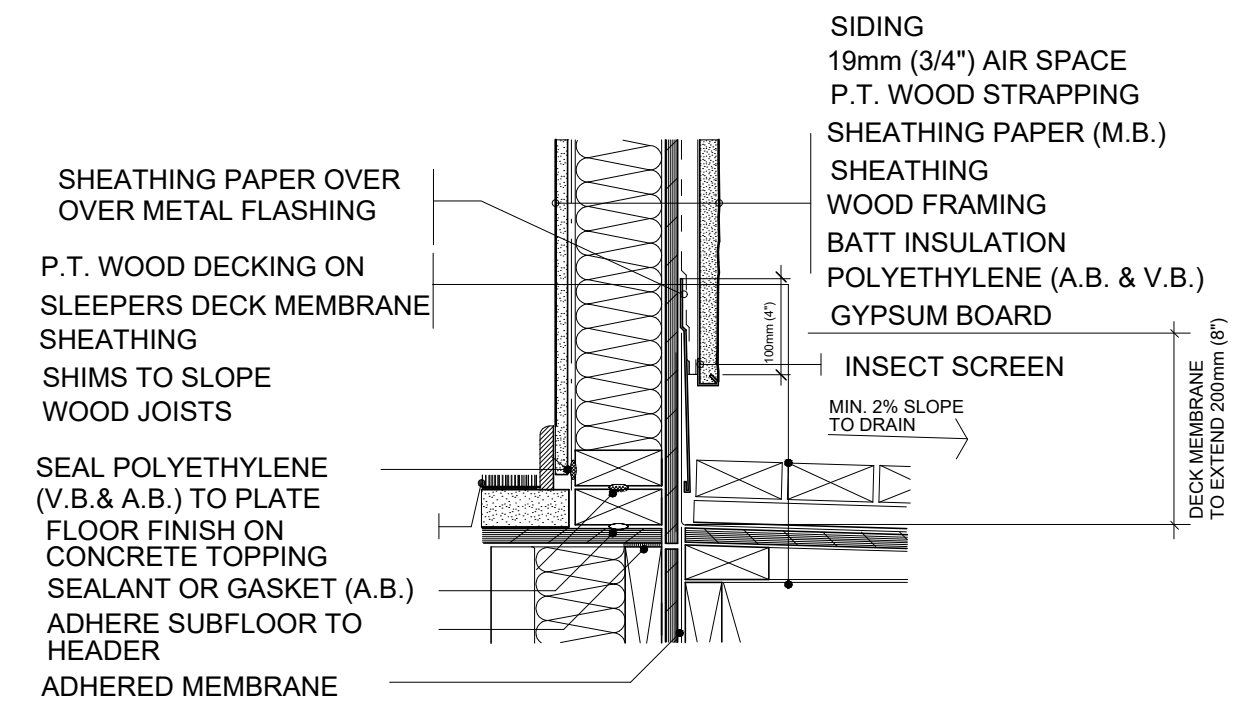
WINDOW HEAD



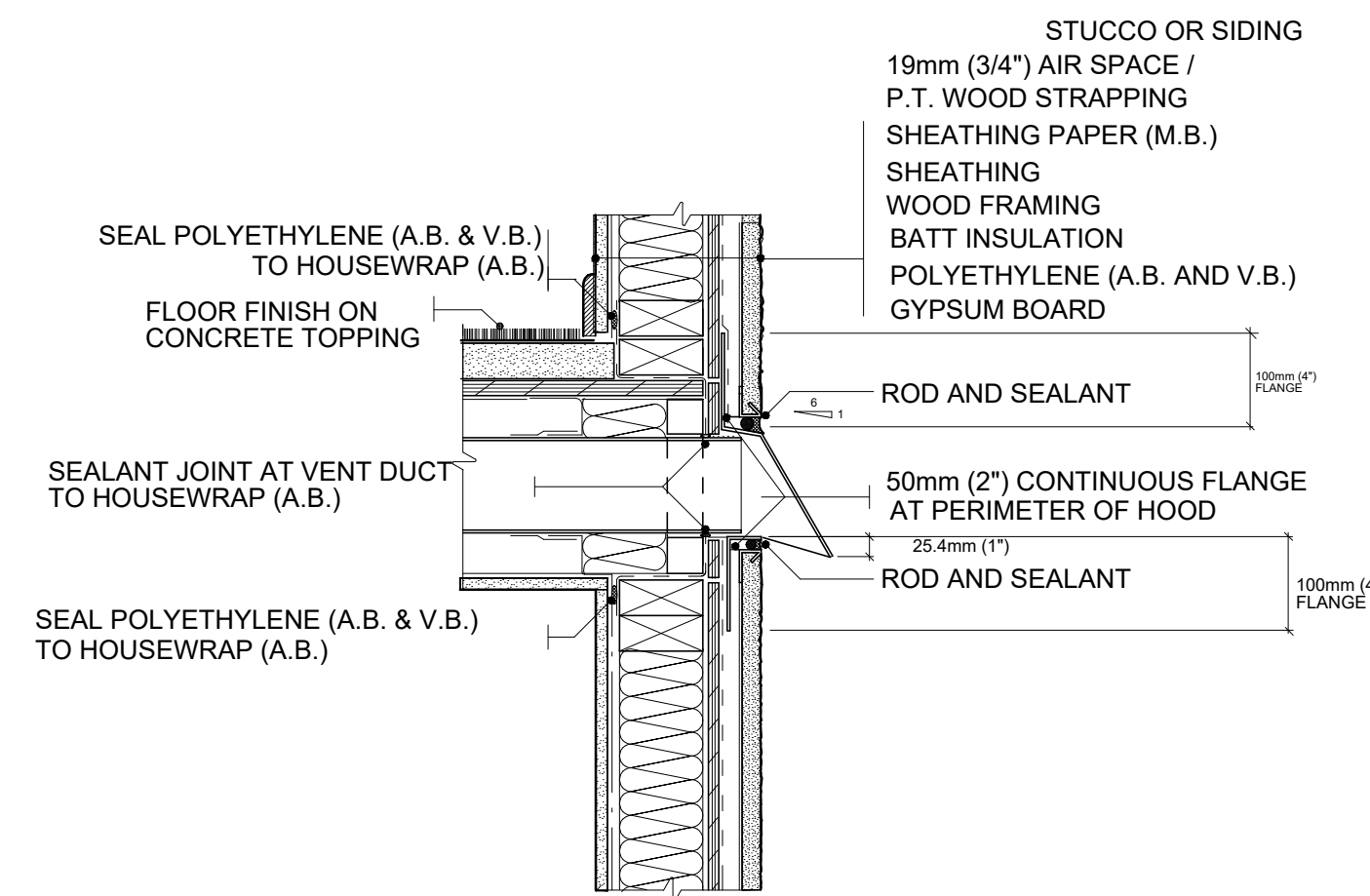
WINDOW JAMB



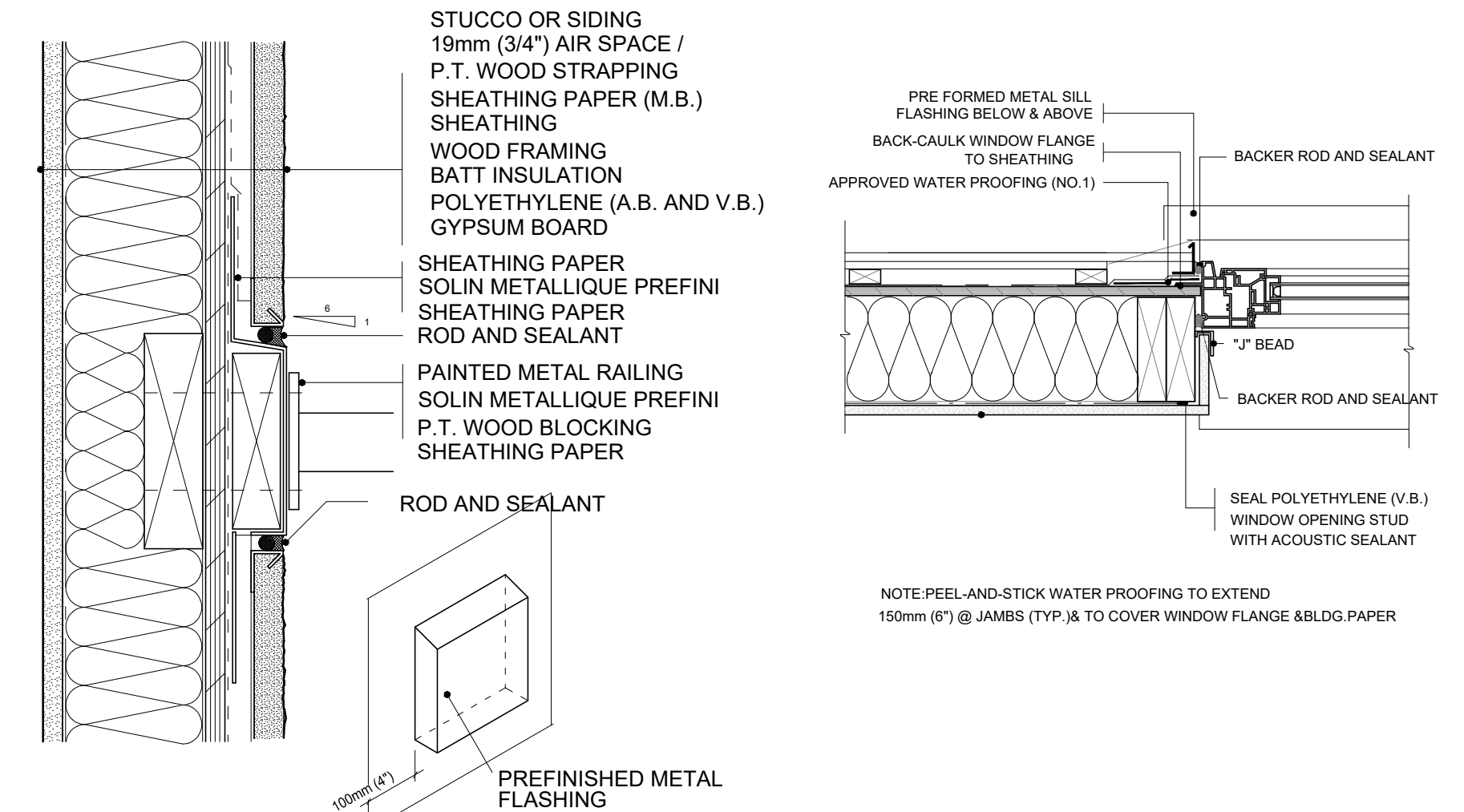
WINDOW SILL



WALL - PEDESTRIAN SURFACE

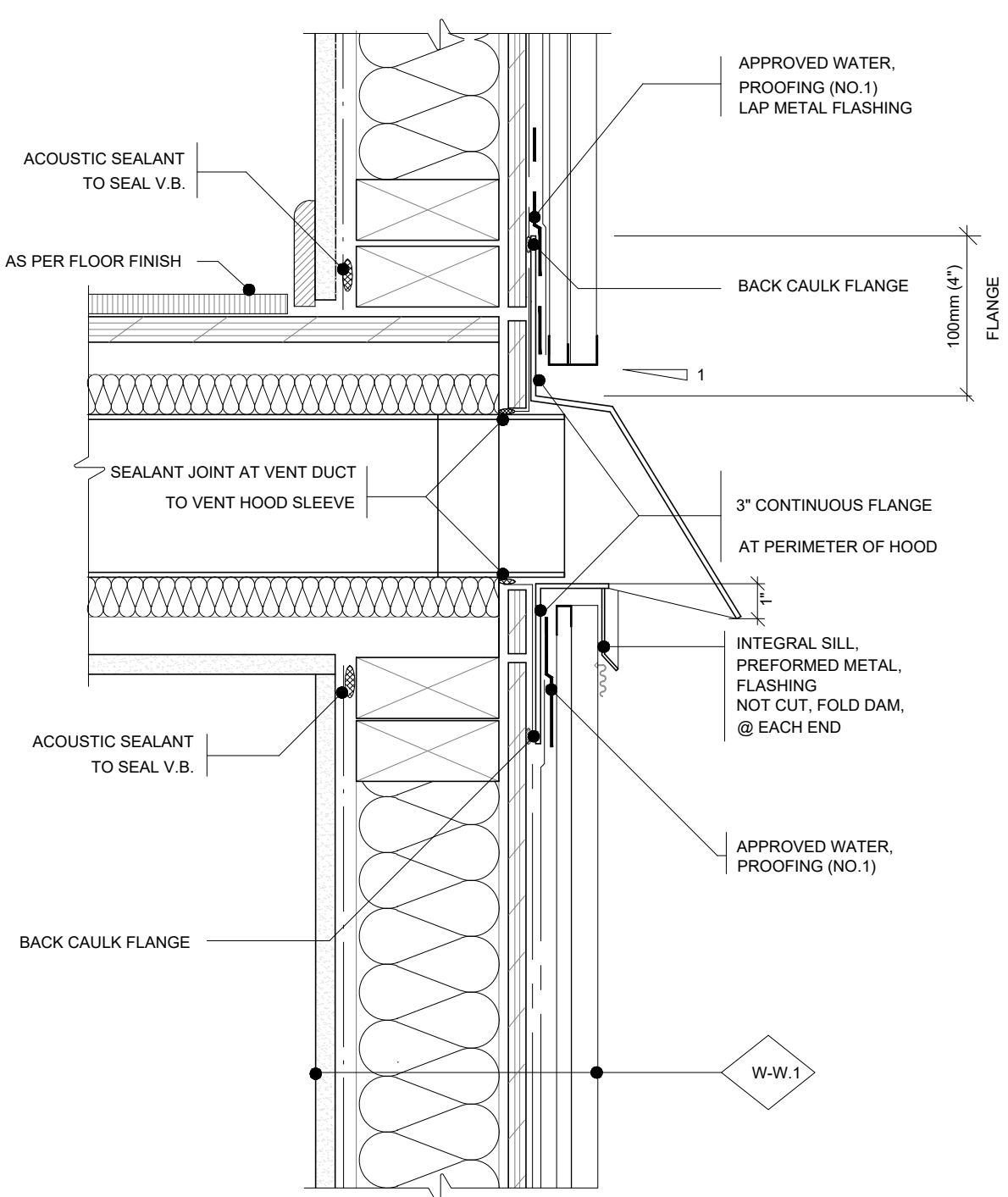


WALL EXHAUST VENT

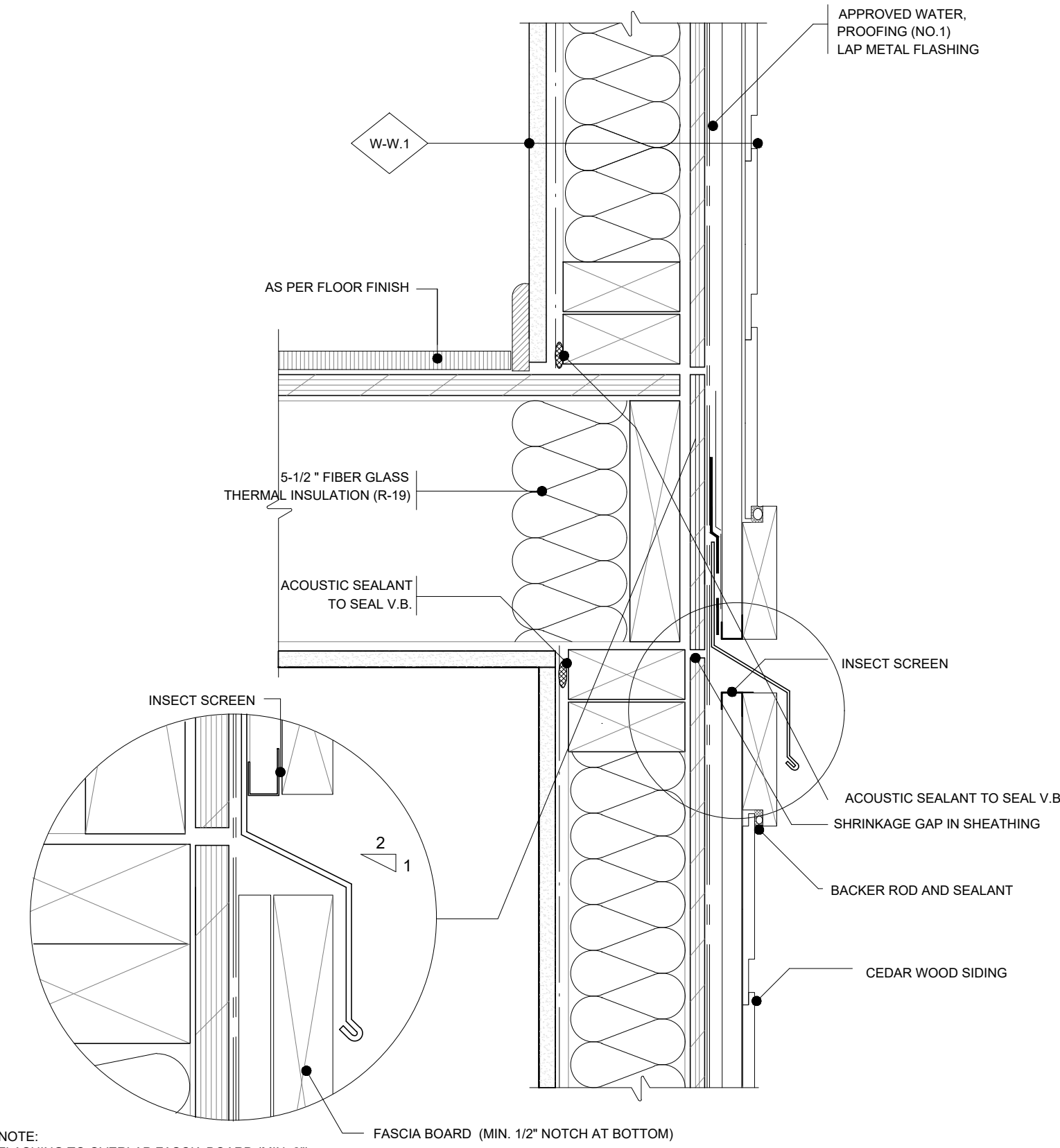


RAILING ATTACHMENT AT WALL

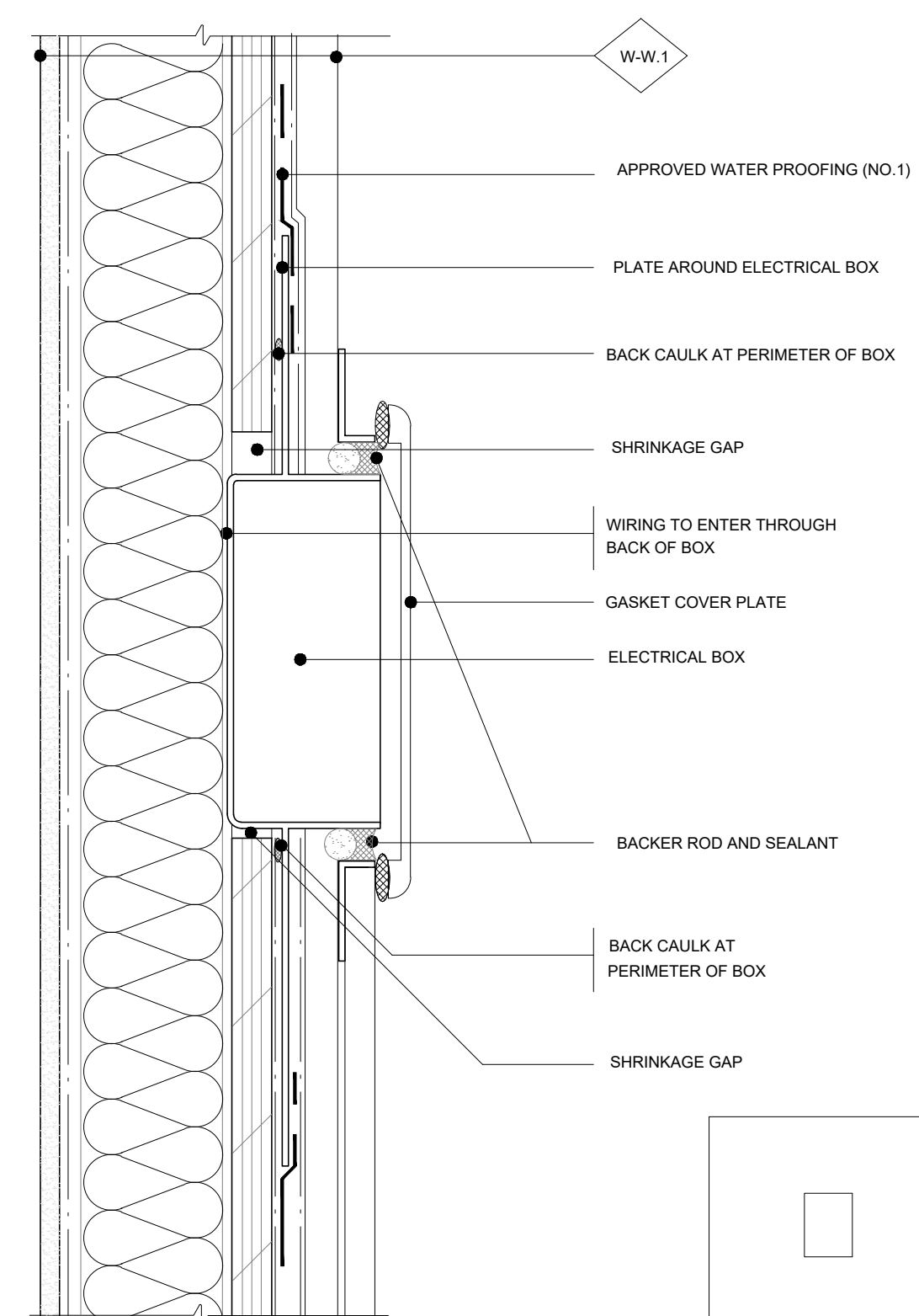
WINDOW JAMB



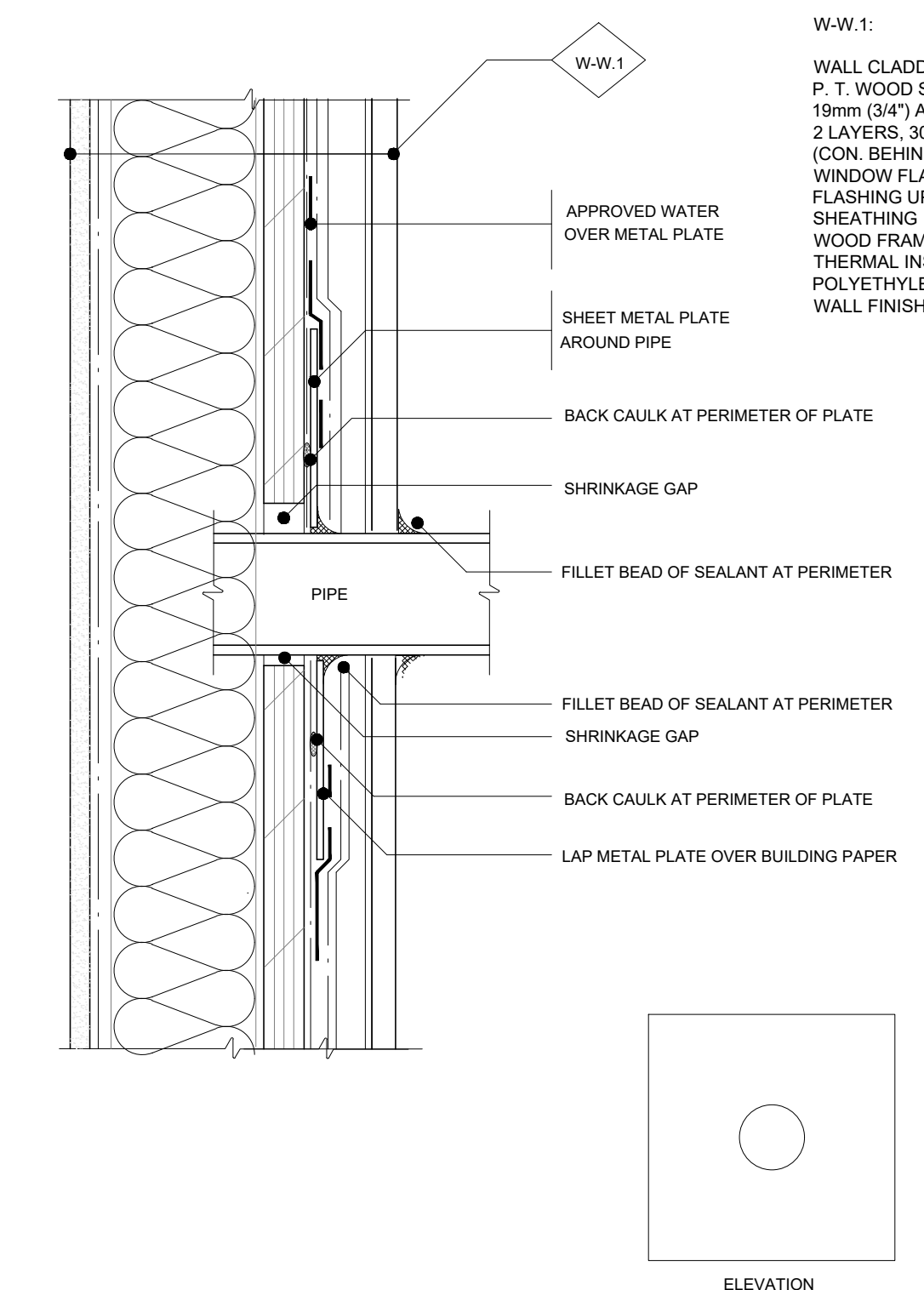
WALL EXHAUST VENT



RIM JOIST



ELECTRICAL FIXTURES



PIPES

NOTE: INSTALL ROD AND CAULK AT JAMB OF VENT HOOD C/W END DAM AT HEAD OF VENT HOOD

NOTE: FLASHING TO OVERLAP FASCIA BOARD (MIN. 2")

DESIGNER: **KAYVAN MEMARY** MASTER OF ARCHITECTURE  
 P Phone: 604-836-3124 E mail: kayvanmemary@gmail.com

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 WEST VANCOUVER, BC**

LEGAL DESCRIPTION:  
**LOT 1, BLOCK 'G',  
 DISTRICT LOT 554  
 GROUP 1,  
 NEW WESTMINSTER DISTRICT  
 PLAN EPP108394**

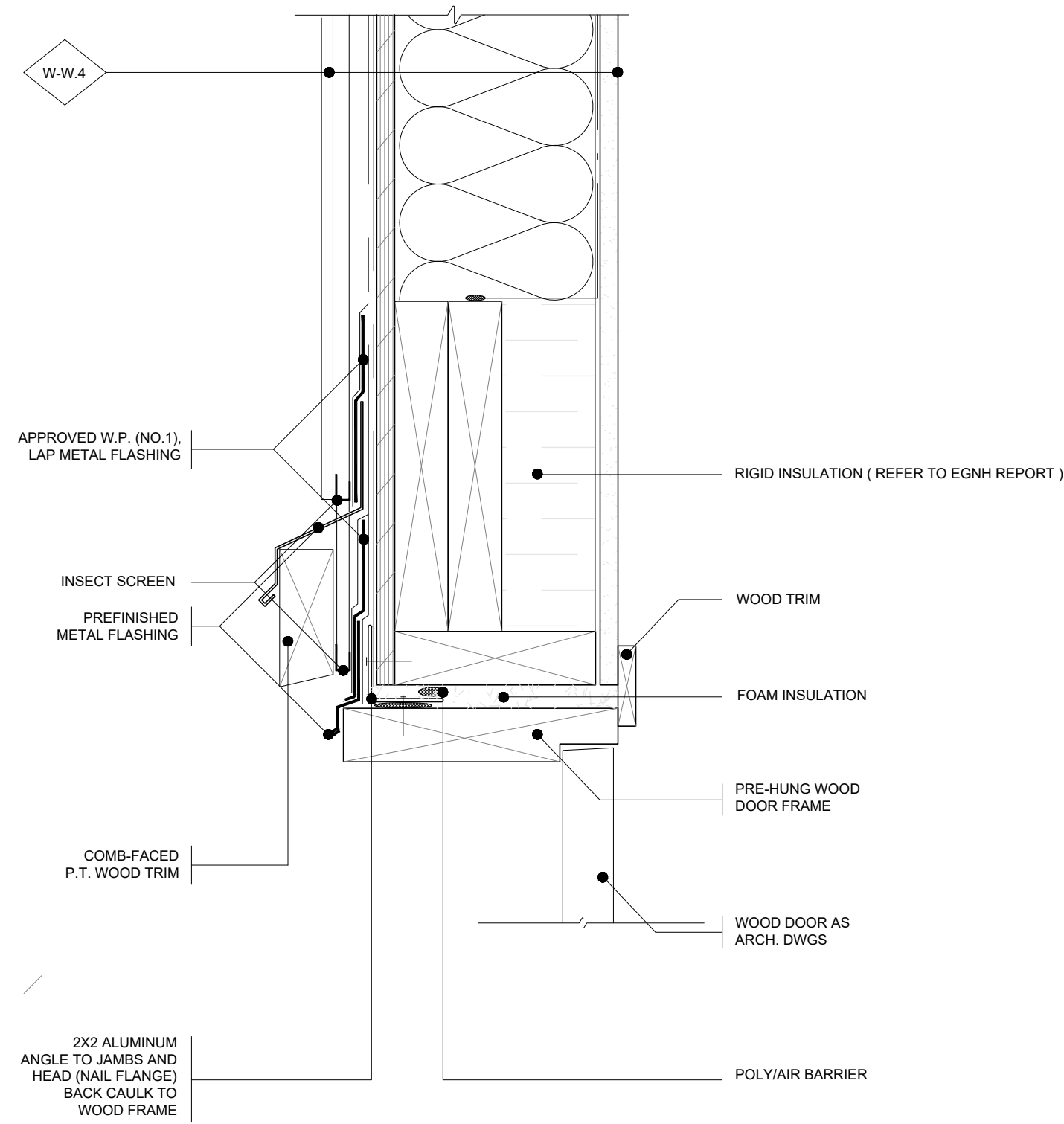
REVISIONS:

DRAWN BY:	K.M.
SCALE:	1 1/2" = 1'-0"
DATE:	JAN 2022
FILE:	2378 MARINE DRIVE.DWG

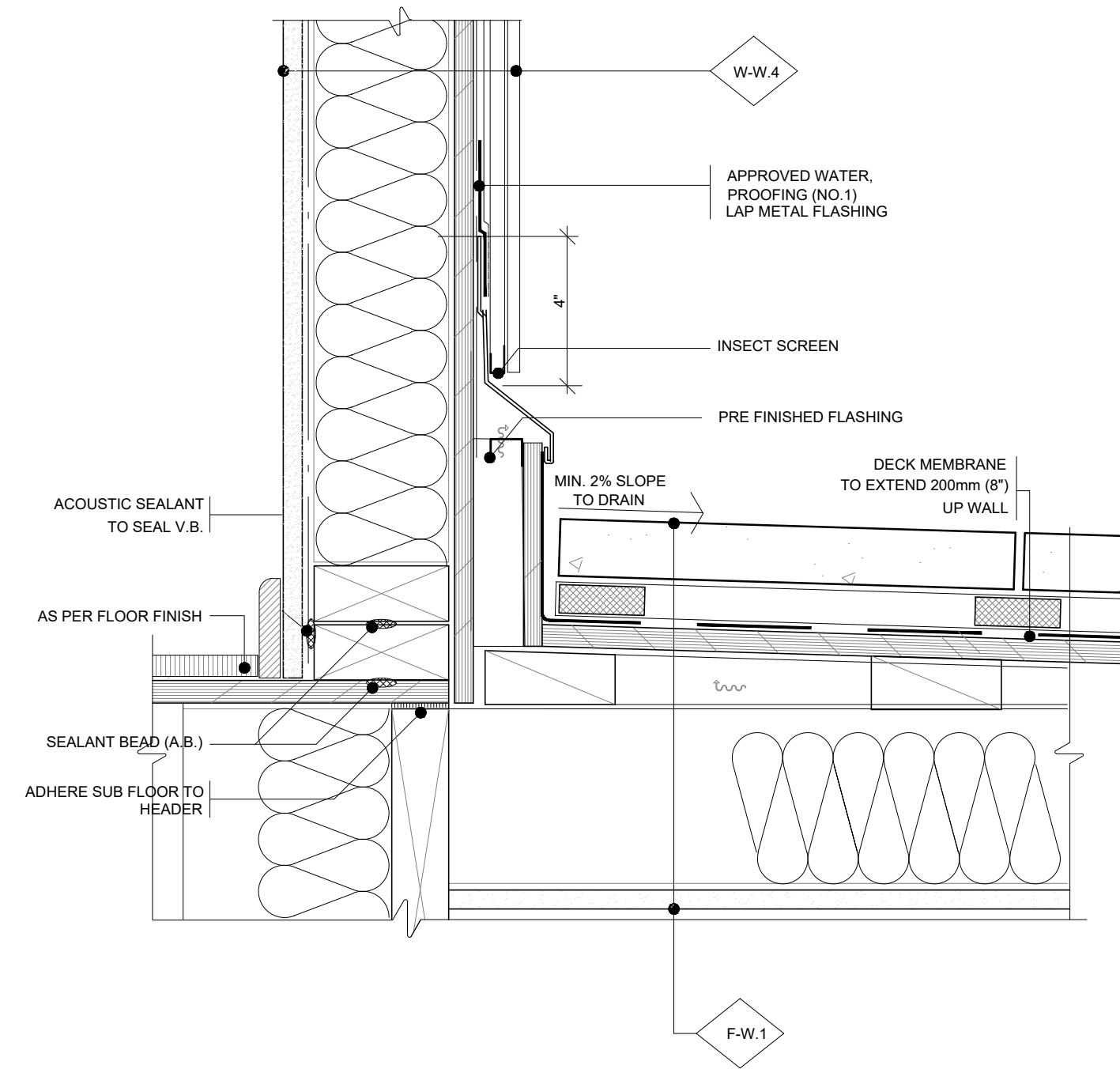
TITLE:  
**DETAILS**

SHEET:  
**A - 22**

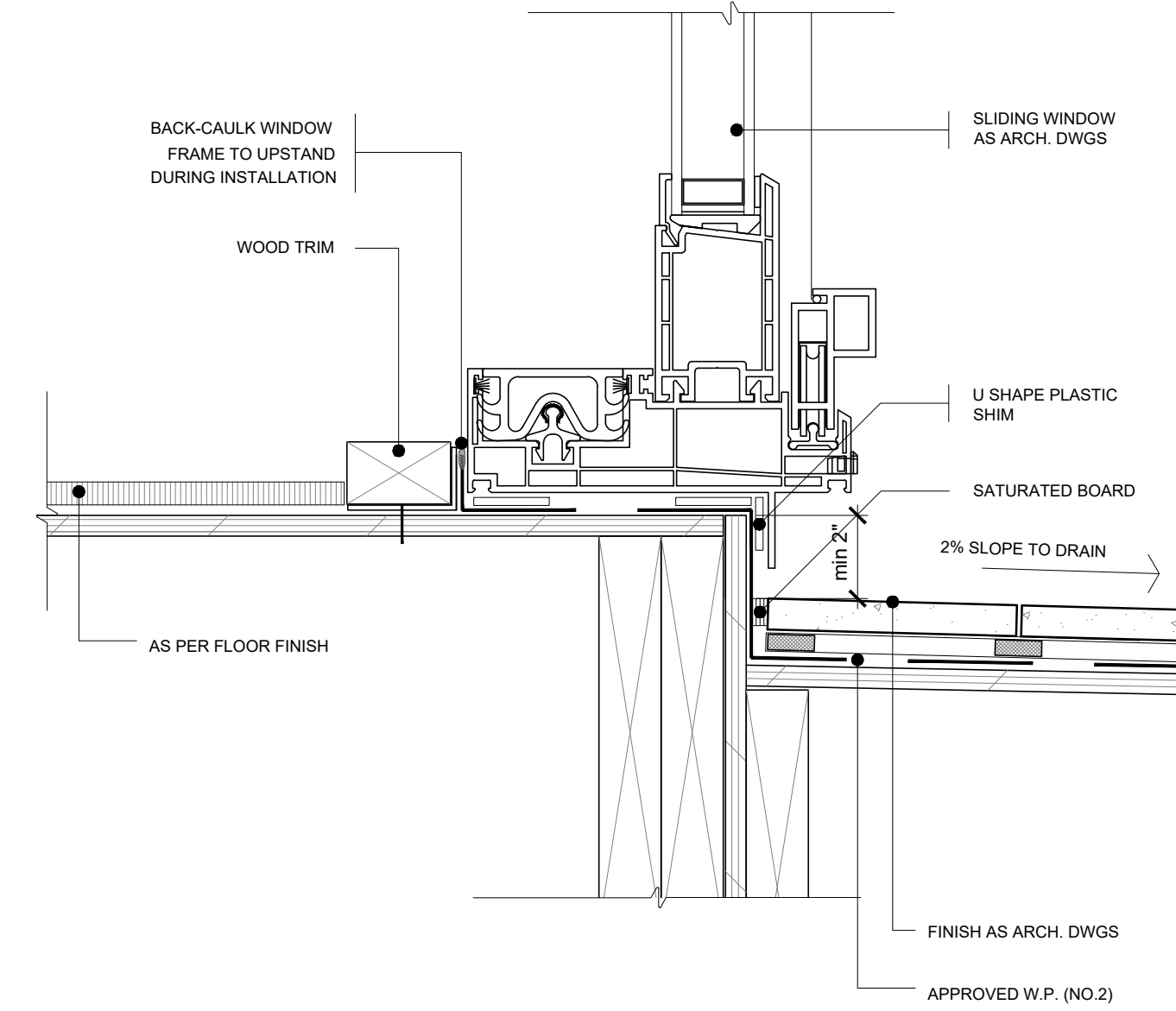
NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING ANY PORTION OF THE WORK, AND SHALL NOTIFY THE DESIGNER IN WRITING IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS AND/OR THE SPECIFICATIONS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DRAWINGS TO BE READ IN CONJUNCTION WITH DOCUMENTS CREATED BY CONSULTANTS. THESE DRAWINGS ARE COPYRIGHTED FOR THE EXCLUSIVE USE OF THE DESIGNER AND ANY UNAUTHORIZED USE AND REPRODUCTION IS PROHIBITED.



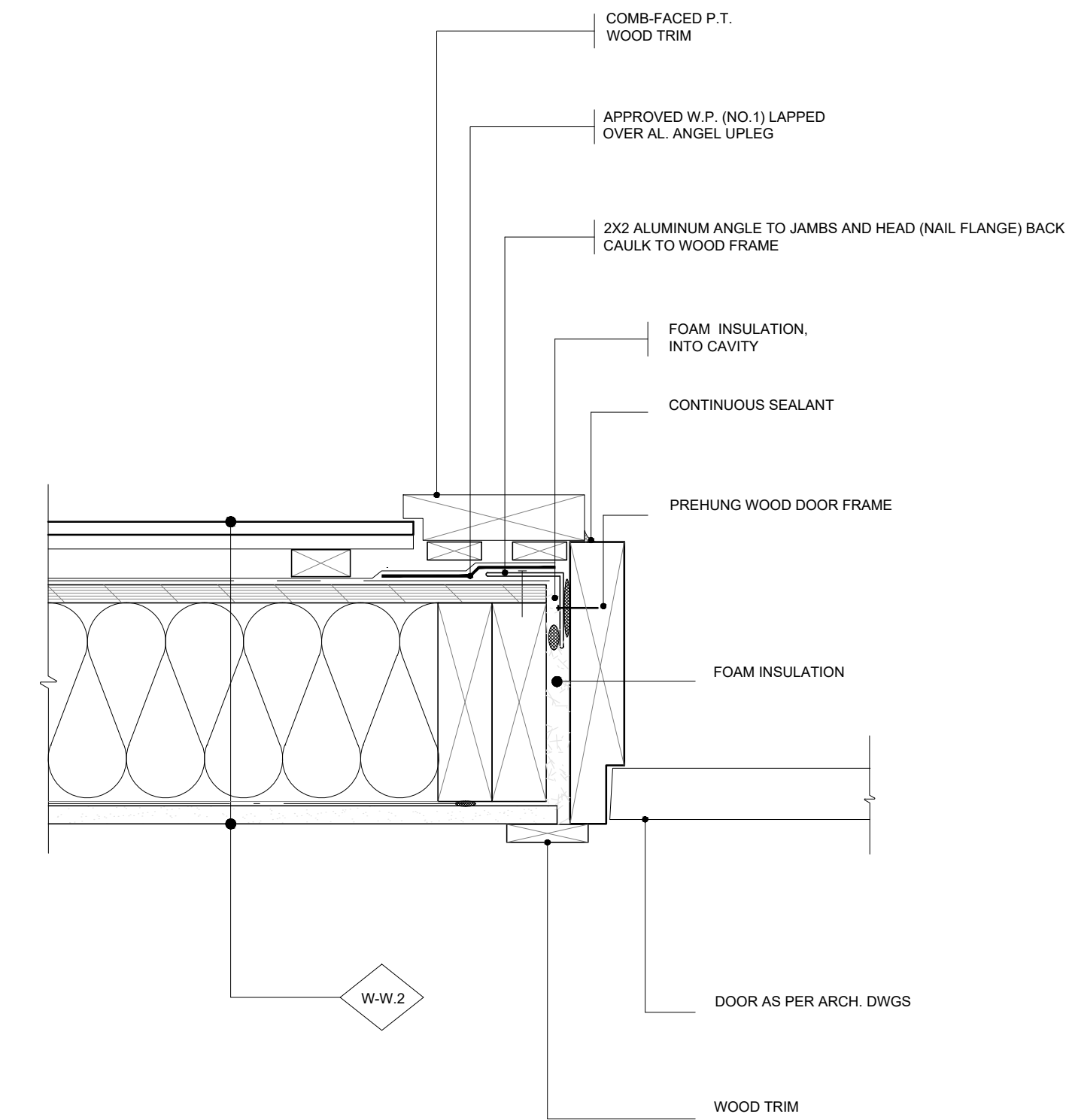
EXTERIOR DOOR HEAD (WOOD)



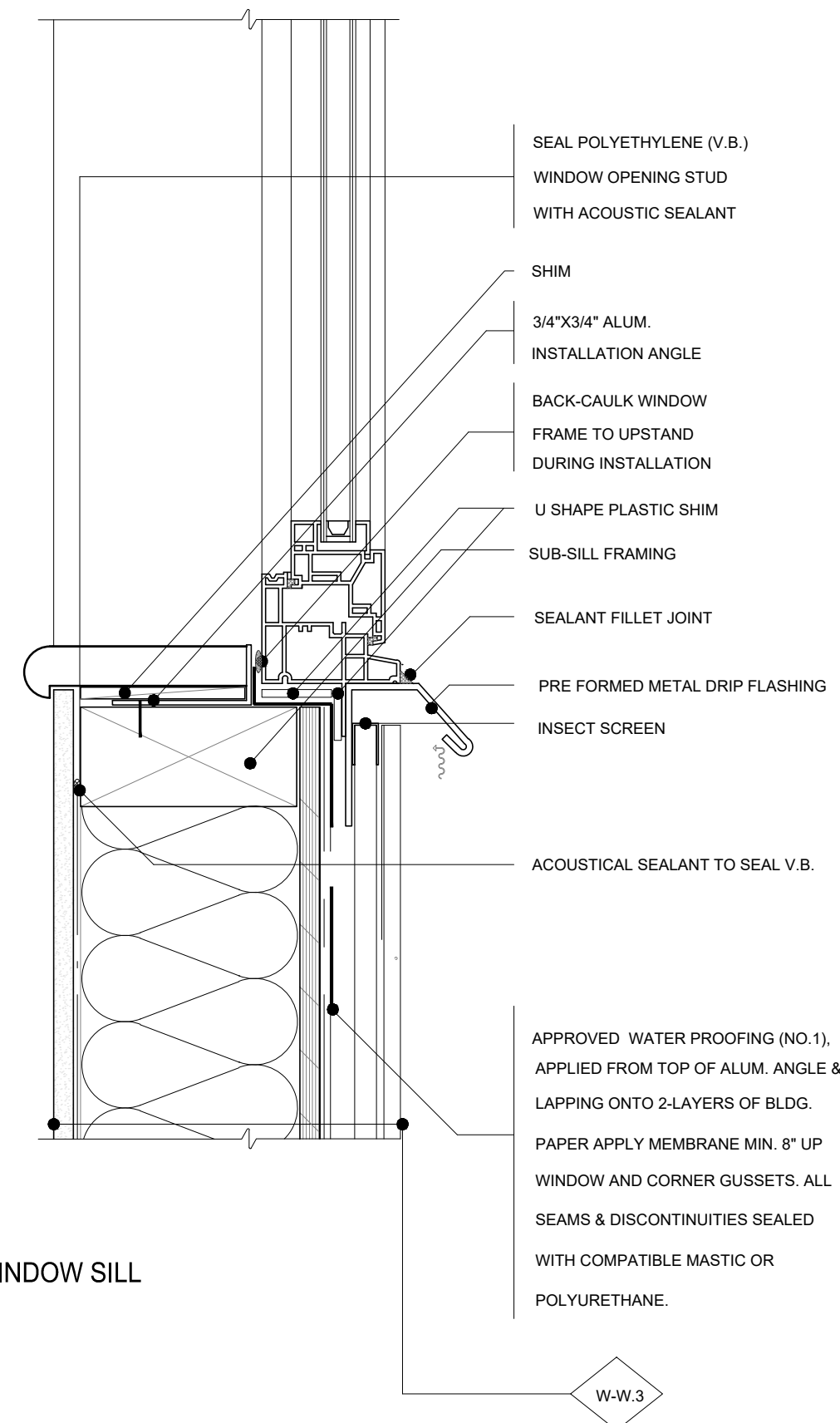
EXTERIOR WALL @ DECK OVER LIVING SPACE



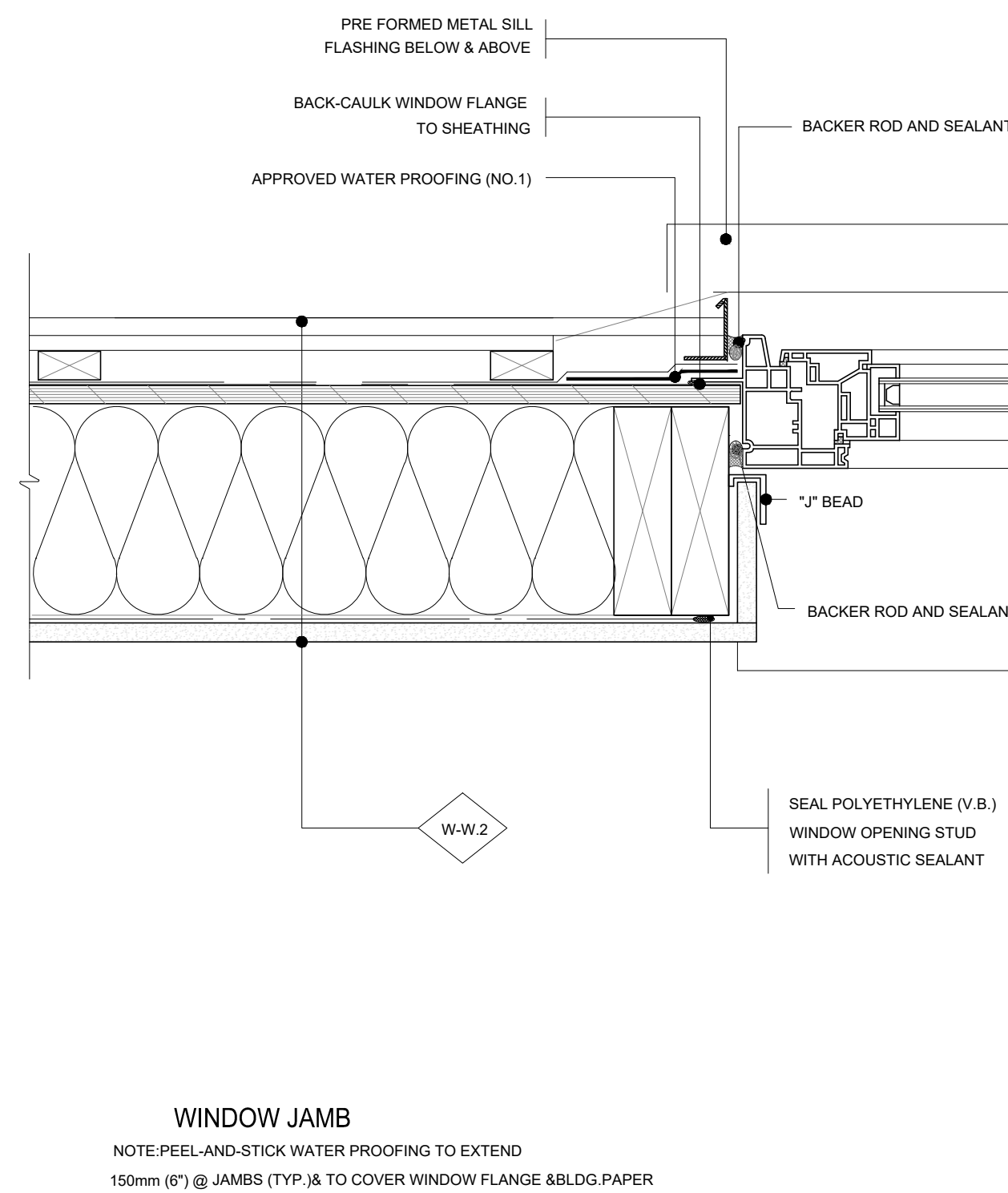
SLIDING WINDOW SILL



EXTERIOR DOOR JAMB (WOOD)

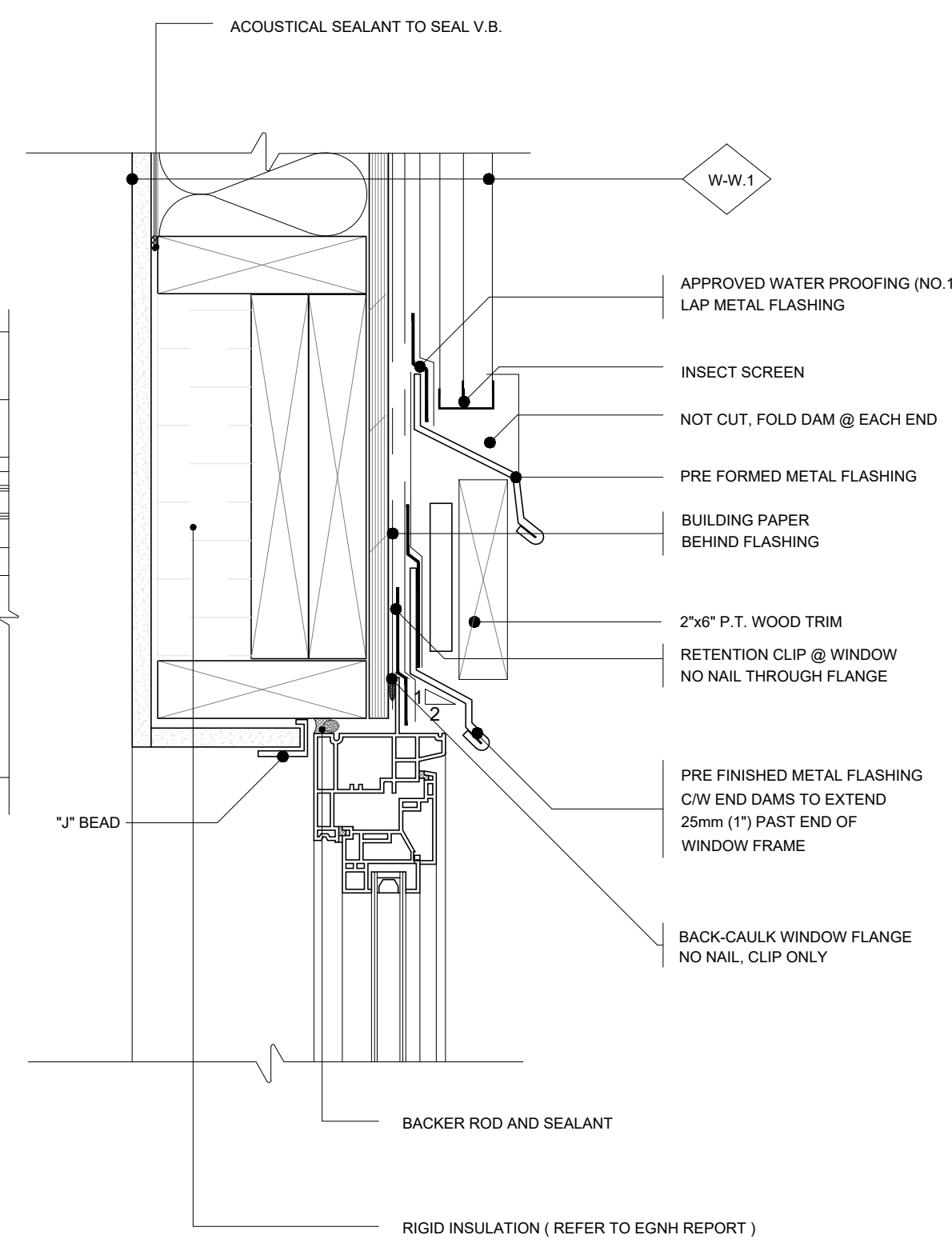


WINDOW SILL

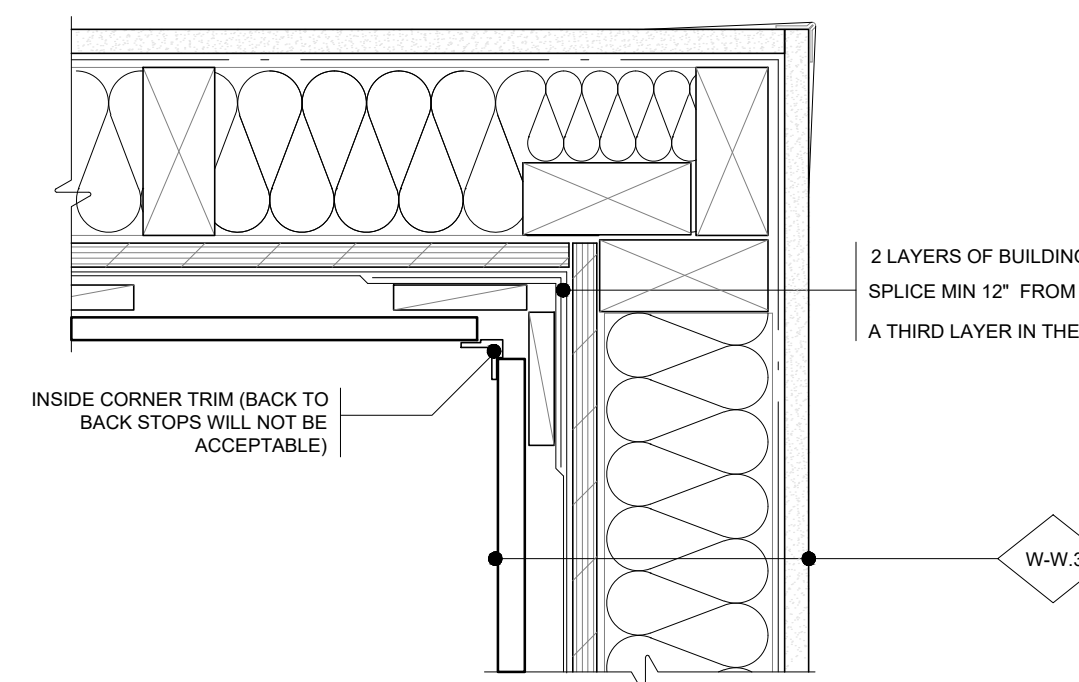


WINDOW JAMB

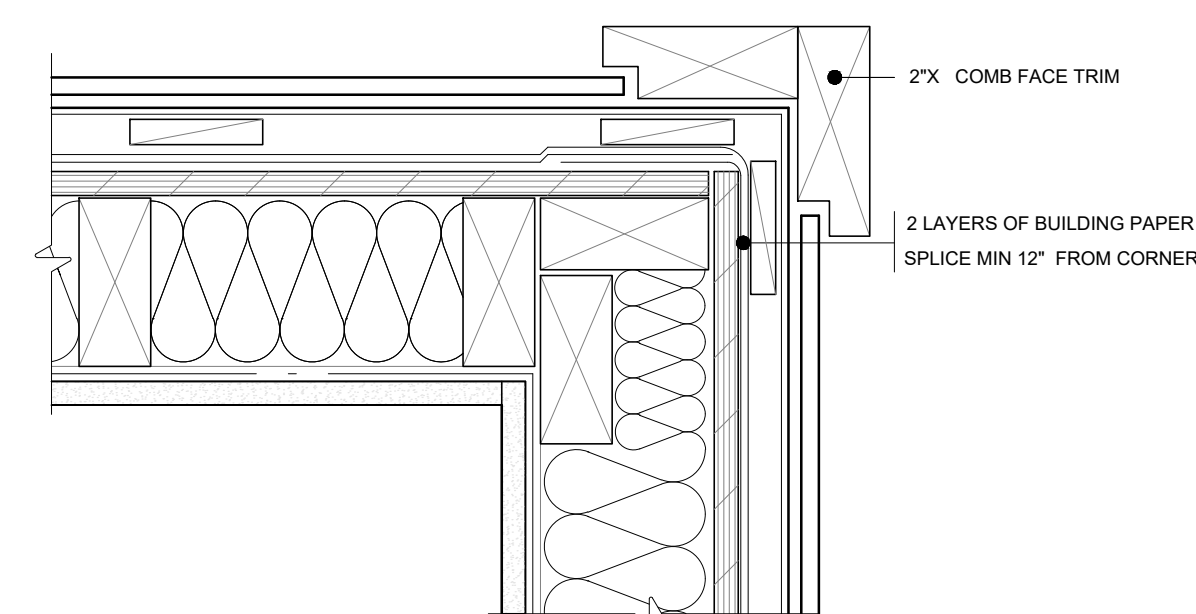
NOTE: PEEL-AND-STICK WATER PROOFING TO EXTEND 150mm (6") @ JAMBS (TYP.) & TO COVER WINDOW FLANGE & BLDG. PAPER



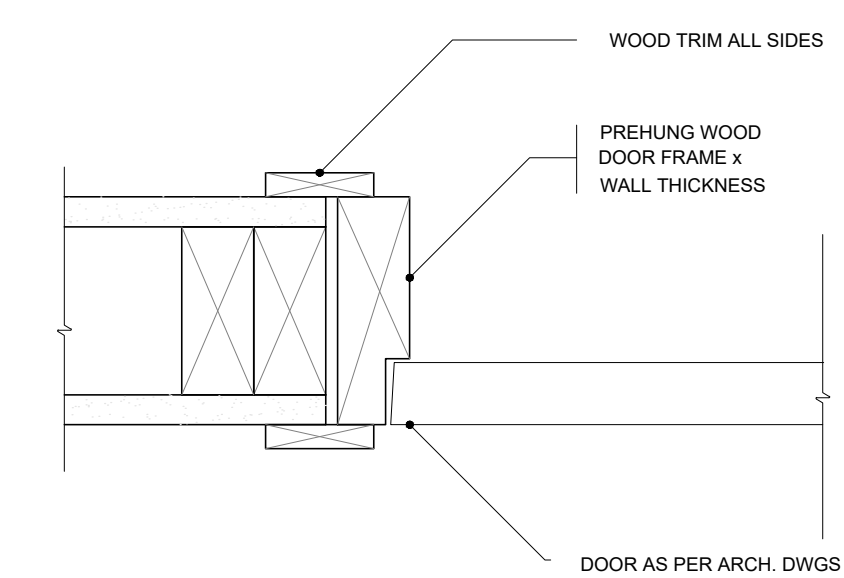
WINDOW HEAD



INTERIOR CORNER



EXTERIOR CORNER



TYPICAL INTERIOR DOOR FRAME

NOTE:  
ALL EXTERIOR WALL FRAMING TO BE 2 X 8 STUD C/W R28 HD BATT INSULATION

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