



COUNCIL AGENDA

Date: March 31, 2025 Item: 7.



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	February 25, 2025
From:	John Carbon, Planning Technician
Subject:	Preliminary Development Proposal for 660 Duchess Avenue
File:	1010-10-2025

RECOMMENDATION

THAT the preliminary development proposal outlined within the report titled Preliminary Development Proposal for 660 Duchess Avenue, dated February 25, 2025 from the Planning Technician, not proceed for consideration prior to adoption of the Taylor Way Local Area Plan.

1.0 Purpose

The purpose of this report is to:

- 1) provide Council with information on a preliminary development proposal for a duplex project at 660 Duchess Avenue (**Appendix A**); and
- 2) seek Council direction on whether the preliminary development proposal may advance for consideration prior to the Taylor Way Local Area Plan.

The report includes a preliminary analysis of the proposal based on relevant applicable policy within the Official Community Plan (OCP).

2.0 Legislation/Bylaw/Policy

Zoning Bylaw

660 Duchess Avenue is zoned Single Family Dwelling Zone 3 (RS3), which allows for single-family dwellings, secondary suites, and detached secondary suites (coach houses). The zone allows for a maximum Floor Area Ratio (FAR) of 0.3, a maximum of 2 storeys plus basement, a maximum building height of 7.62 metres, and a maximum of 30% site coverage. A RS3-zoned lot may be developed to a maximum of 3 dwelling units, comprised of a single-family dwelling, secondary suite, and coach house.

The proposal includes 2 duplex units, each containing a secondary suite. A total of 4 units are proposed. In addition, the proposal has a FAR of 0.57, a height of 7.62 metres comprised of 2 storeys plus basement, and 33% site coverage. A rezoning is required to accommodate the proposal, as duplexes are not a permitted land use under the existing zone (**Appendix A**).

Preliminary Development Proposal and Public Consultation Policy 02-80-377

Council's Preliminary Development Proposal and Public Consultation Policy requires that, following staff review of preliminary development proposals and after the applicant responds to staff comments and concerns to the satisfaction of the Director, the applicant is to hold a public consultation meeting. Following receipt of the preliminary application, staff advised the applicant that, in staff's opinion, the proposal did not comply with the policy directions of the OCP. The applicant responded and requested to proceed with consideration of the development proposal.

3.0 Council Strategic Objectives/Official Community Plan

Council Strategic Goals and Objectives

Expand a diverse housing supply.

Objective 2.1: Work towards new targets and deliverables mandated by the Province under the *Housing Supply Act*.

Objective 2.5: Complete a Taylor Way Local Area Plan (LAP)

- Deliverable 2.5.1: Taylor Way LAP completed and approved by Council (2025+)

Official Community Plan (OCP) – Community Wide Directions

The OCP calls for the regeneration of the District's neighbourhoods with an estimated 300-400 new sensitive infill units. Policy 2.1.3 enables the increase of duplex housing opportunities by:

- a. Reviewing regulations to ensure the development viability of the building form;
- b. Continuing to allow a basement suite in a duplex;
- c. Identifying areas appropriate for rezoning to allow duplex construction; and
- d. Considering site-specific rezoning applications to allow duplex construction appropriate to the subject site and context.

The OCP provides direction for strengthening of the District's centres and corridors through local area plans. Policy 2.1.13.b. enables capacity for 500-600 estimated net new units through the creation of the Taylor Way LAP. Policy 2.1.14 facilitates preparation of the LAP by:

- a. Reviewing and confirming boundaries and new unit estimates through the local area planning processes;
- b. Determining densities, heights and building forms that respond to neighbourhood context and character (e.g., topography, natural features, site area, transportation and amenities); and

- c. Prioritizing mixed-use and apartment forms in core areas and ground-oriented multifamily forms (e.g., townhouses, duplexes) to transition to adjacent single-family neighbourhoods.

Policy 2.1.15 outlines that prior to the adoption of a local area plan, development proposals may be considered within the local area plan boundary by:

- a. Applying relevant District-wide policies contained in the OCP and any existing area specific policies and guidelines; and
- b. Requiring the proposal's contribution to rental, non-market or supportive housing, or its advancement of low-carbon construction, or its ability to forward the public interest or provide other community benefits as determined by Council.

4.0 Financial Implications

Community Amenity Contributions

If Council directs that the proposal should proceed prior to the Taylor Way LAP (not recommended), a Community Amenity Contribution would be evaluated and determined through the application review process.

5.0 Background

5.1 Previous Decisions

None.

5.2 History

None.

6.0 Analysis

6.1 Site Context & Background

The subject site consists of one property located on the south side of Duchess Avenue and is 335.44 m² (3,611 sq. ft.) in size. The site is currently developed with a one-storey plus basement single-family dwelling with vehicular access from Duchess Avenue. Taylor Way is in close proximity to the west (**Figure 1**). The topography is relatively flat for a large portion of the site, sloping downwards gently from north to south. However, the topography drops steeply by approximately 11 m in the rear portion of the site (**Figure 2**). Residential lots with single-family dwellings are located to the east and west. Amica West Vancouver, a senior-living residence, is located to the south of the subject site.

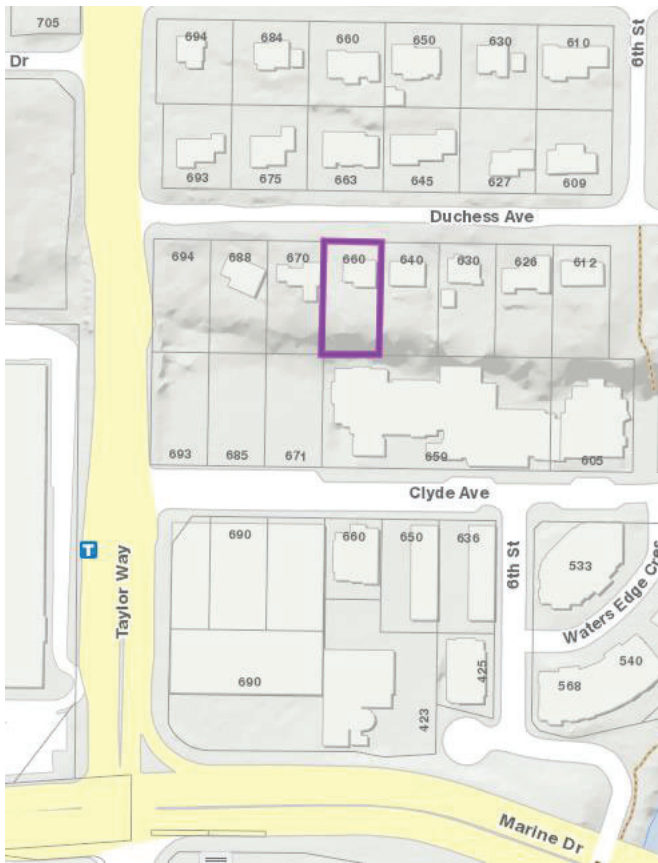


Figure 1: Subject Site (shown outlined)



Figure 2: Site Topography

6.2 Preliminary Proposal

The applicant has submitted preliminary development plans proposing to develop the site with a duplex (**Figure 3 and 4**). The proposal requires a rezoning and development permit to regulate the form and character of the building and landscaping.

Key features of the proposal include:

- 4 total units (2 duplex units and 2 secondary suite units)
- Floor Area Ratio (FAR) of 0.57
- Total net floor area of 579.24 m² (27,600 sq. ft.)
- Building height of 7.62 m



Figure 3: Rendering of the Proposed Duplex (access from Marine Drive)

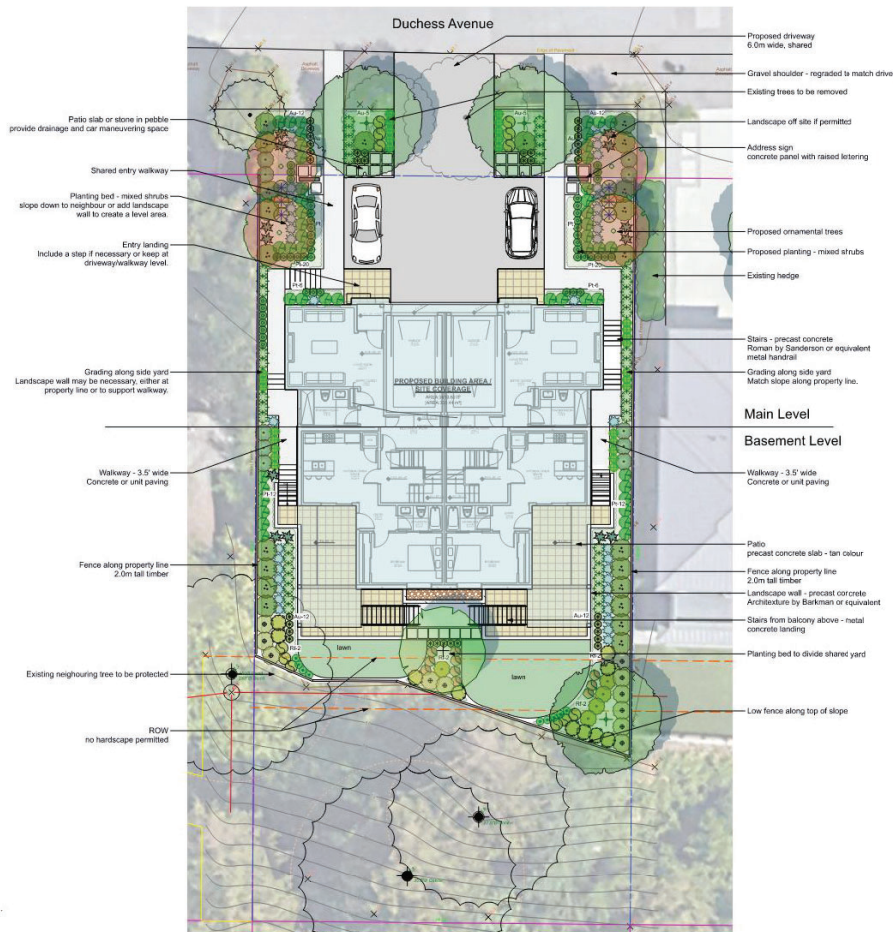


Figure 4: Landscape Plan

6.3 Discussion

Policy Analysis

The preliminary development proposal is subject to OCP Policies 2.1.3, 2.1.13, 2.1.14 and 2.1.15 as noted above.

a. Policy 2.1.3:

Policy 2.1.3 enables the expansion of duplex housing opportunities by considering site-specific rezoning applications to allow duplex construction appropriate to the subject site and context. The subject site is located within the study area boundary for the anticipated Taylor Way LAP (**Figure 5**). In addition, the subject site is in close proximity to the Marine Drive/Taylor Way intersection and Park Royal Shopping Centre, providing convenient access to various services and public transit. In staff's opinion, a duplex development in this location, although it may align with Policy 2.1.3, could preclude future opportunities for consideration of appropriate housing types and forms within the Taylor Way LAP (see below).

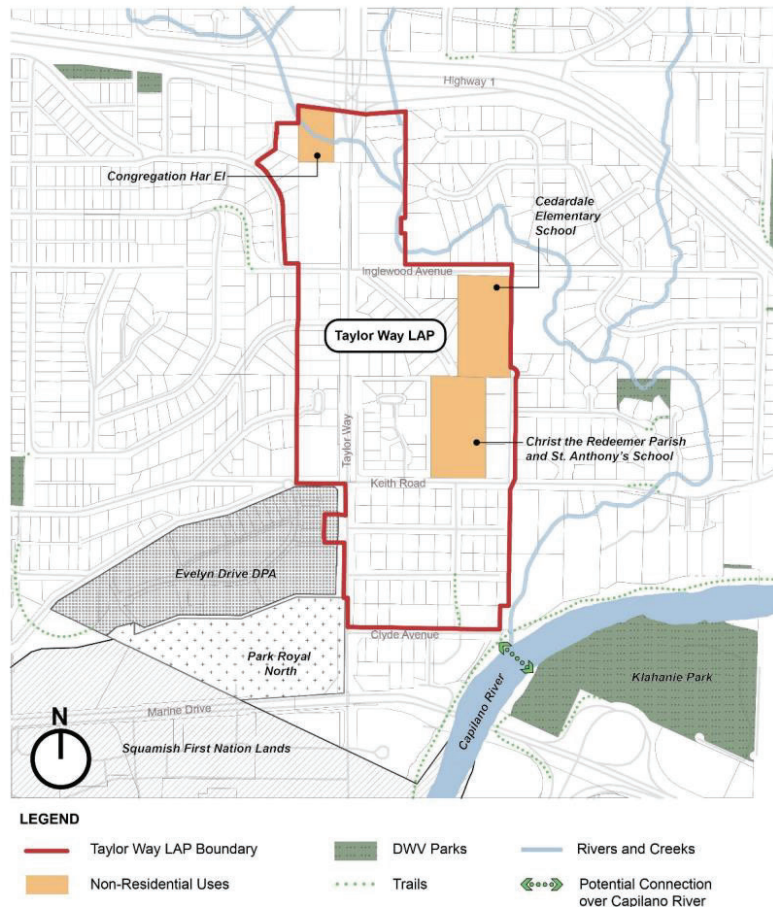


Figure 5: Taylor Way LAP Boundary

b. Policy 2.1.13 & Policy 2.1.14

Policy 2.1.13 anticipates creating the capacity for 500-600 estimated net new housing units through the Taylor Way LAP. Policy 2.1.14 outlines the expected steps for preparation of the LAP including confirming the study area boundary; determining densities, heights and building forms that respond to neighbourhood context and character; and prioritizing mixed-use and apartment forms in core areas and ground-oriented multi-family forms to transition to adjacent single-family neighbourhoods.

District planning staff are currently actively working on the Ambleside LAP, and the Taylor Way LAP planning process has not yet started. As the subject site is in close proximity to Marine Drive, Taylor Way and Park Royal Shopping Centre, development of a duplex on the subject site may preclude consideration of a diverse range of housing types through the Taylor Way LAP planning process on a mid-block site near public transit and commercial and community services. In staff's opinion, development of a duplex on the subject site before completion of the LAP could negatively impact the ability to advance the objectives of OCP Policy 2.1.13 and 2.1.14 in providing new housing units through context-appropriate development.

c. Policy 2.1.15:

OCP Policy 2.1.15 directs consideration of development proposals within the local area plan boundary prior to the adoption of a local area plan by:

- Applying relevant District-wide policies contained in this plan and any existing area specific policies and guidelines; and
- Requiring the proposal's contribution to rental, non-market or supportive housing, or its advancement of low-carbon construction, or its ability to forward the public interest or provide other community benefits as determined by Council.

The proposed duplex development, in staff's opinion, would not forward the public interest as it could preclude the opportunity for considering appropriate housing types through the anticipated Taylor Way LAP process.

6.4 Climate Change & Sustainability

Rezoning proposals are expected to deliver high-performance buildings, including exceeding the minimum step of the BC Energy Step Code specified in the Building Bylaw.

6.5 Public Engagement and Outreach

If Council directs that the proposal should advance (not recommended), community consultation regarding the proposal would be the next step, which would involve the applicant organizing and hosting a public information meeting in accordance with Council's Preliminary Development Proposal and Public Consultation Policy.

6.6 Other Communication, Consultation, and Research

If the proposal advances (not recommended), planning staff will consult with staff from various departments to identify issues and concerns for the applicant's response.

7.0 Options

7.1 Recommended Option

It is recommended that the preliminary development proposal for 660 Duchess Avenue not proceed.

7.2 Considered Options

- a. Defer consideration pending the receipt of additional information (to be specified); or
- b. THAT the preliminary development proposal outlined within the report titled Preliminary Development Proposal for 660 Duchess Avenue, dated February 25, 2025 from the Planning Technician, proceed for consideration prior to adoption of the Taylor Way Local Area Plan.

8.0 Conclusion

It is recommended that the preliminary proposal for 660 Duchess Avenue not proceed for consideration prior to adoption of the Taylor Way Local Area Plan.

Author:



John Carbon, Planning Technician

Concurrence



Michelle McGuire, Senior Manager of Current Planning & Urban Design

Appendices:

- A. Architectural Drawings
- B. Landscape Plan

DUCHESS HOUSE

660 DUCHESS AVENUE, WEST VANCOUVER, BC

NOTES:
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THIS SITE BEFORE PROCEEDING AND NOTIFY THE ARCHITECT IF ANY DISCREPANCIES.
 2. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED.
 3. DRAWINGS ARE NOT TO BE SCALED.

CONTACT LIST

OWNER

ARCHITECTURAL

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 VANCOUVER BC V6J 2J6
 P 604-558-1980

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 a@danesh@danesharchitect.com

No. Date Revision Notes

No.	Date	Revision Notes

No. Date Issue Notes

Issue:

Consultant/Client:

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ARCHITECTURAL

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Sheet Title

DUCHESS HOUSE

ISSUED FOR BP

660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Sheet Title

COVER SHEET

Issue Date	08/20/24	A0.00
Drawn By	AD	
Checked By	TK	
Date	24-241	

GENERAL NOTES - BCBC

BCBC 2024.	ALL CONSTRUCTION IS TO COMPLY WITH THE 2024 BRITISH COLUMBIA BUILDING CODE (BCBC), AS WELL AS OTHER LOCAL GOVERNING CODES, BYLAWS, AND ORDINANCES.
5.3 HEAT TRANSFER.	5.3.1.3.(3) SPRAY IN PLACE POLYURETHANE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CANULC-5705.2, "THERMAL INSULATION SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY, INSTALLER'S RESPONSIBILITIES - SPECIFICATION."
5.4 AIR LEAKAGE.	5.4.1.2.(3) THE AIR BARRIER SYSTEM SHALL BE CONTINUOUS.
5.6 PRECIPITATION.	5.6.1.3.(3) WHERE PROTECTIVE MATERIALS ARE APPLIED TO ASSEMBLIES TO PROVIDE THE REQUIRED PROTECTION FROM PRECIPITATION, THEY SHALL BE INSTALLED SO AS TO SHED PRECIPITATION OR OTHERWISE MINIMIZE ITS ENTRY INTO THE ASSEMBLY AND PREVENT ITS PENETRATION THROUGH THE ASSEMBLY.
5.8 MOISTURE IN THE GROUND.	5.8.1.1.(1) EXCEPT WHERE A WALL OR FLOOR IS SUBJECT TO CONTINUOUS HYDROSTATIC PRESSURE, OR UNLESS IT CAN BE SHOWN TO BE UNNECESSARY, THE BOTTOM OF EVERY EXTERIOR FOUNDATION WALL AND EVERY FLOOR-ON-GROUND SHALL BE PROVIDED WITH DRAINAGE. MATERIALS, COMPONENTS OR ASSEMBLIES INSTALLED TO PREVENT MOISTURE TRANSFER FROM THE GROUND SHALL CONFORM TO BCBC 2024 SECTION 9.9. 9.5.5. ALL DOORWAY SIZES TO CONFORM TO BCBC 2024 SECTION 9.5.5. ALL GLASS SHALL COMPLY WITH BCBC 2024 SECTION 9.6 INCLUDING: 9.6.1.1.(1) GLASS IN WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO SENTENCE 9.7.3.1.(1). 9.6.1.4.(1) GLASS SIDELIGHTS GREATER THAN 500mm WIDE THAT COULD BE MISTAKEN FOR DOORS, GLASS IN STORM DOORS AND GLASS IN SIDING DOORS WITHIN OR AT EVERY ENTRANCE TO A DWELLING UNIT AND IN PUBLIC AREAS SHALL BE (A) SAFETY GLAZING... OR (B)... "WIRED SAFETY GLASS". 9.6.1.4.(6) GLAZING USED FOR A SHOWER OR BATHTUB ENCLOSURE SHALL CONFORM TO CLASS A OF CAN/CGSB-12.1, "SAFETY GLAZING". 9.7 ALL WINDOWS, DOORS, AND SKYLIGHTS SHALL CONFORM TO BCBC 2024 SECTION 9.7 (SEE ALSO SECTIONS 9.10 AND 9.32 FOR FIRE PROTECTION AND VENTILATION AND 9.10.2 FOR ENVIRONMENTAL SEPARATION). 9.7.5.3. ALL DOORS AND WINDOWS SHALL CONFORM TO BCBC 2024 RESISTANCE TO FORCED ENTRY FOR WINDOWS. 9.10.14. THE SPATIAL SEPARATION BETWEEN BUILDINGS SHALL CONFORM TO BCBC 2024 SECTION 9.10.15. 9.10.19. SMOKE ALARMS SHALL BE INSTALLED TO CONFORM TO BCBC 2024 SECTION 9.10.19. 9.13.2.8.(1)(a) WHERE DAMPPROOFING INSTALLED BELOW THE FLOOR, IT SHALL CONSIST OF POLYETHYLENE NOT LESS THAN 0.15mm THICK WITH JOINTS LAPPED NOT LESS THAN 100mm 9.19.1.1.(1) EXCEPT WHERE IT CAN BE SHOWN TO BE UNNECESSARY, WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE TRANSFER OF MOISTURE FROM THE SPACE TO THE EXTERIOR. 9.19.1.2.(1) THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. 9.19.1.2.(2) WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA. ALL CHIMNEYS AND FLUES SHALL CONFORM TO BCBC 2024 SECTION 9.21. ALL FIREPLACES SHALL CONFORM TO BCBC SECTION 9.22 INCLUDING: 9.22.8.1.(1) FACTORY-BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO CANULC-5810 "STANDARD FOR FACTORY-BUILT FIREPLACE SYSTEMS" 9.28.1.2.(1) ROOFS SHALL BE PROTECTED WITH ROOFING, INCLUDING FLASHING, INSTALLED TO SHED RAIN EFFECTIVELY, PREVENT WATER AND MOISTURE INGRESS INTO BUILDING ASSEMBLIES AND OCCUPIED SPACE DUE TO ICE DAMMING. INTERIOR WALL AND CEILING FINISHES SHALL CONFORM TO BCBC 2024 SECTION 9.29 INCLUDING: 9.29.2.1.(1) WATERPROOF FINISH SHALL BE PROVIDED TO A HEIGHT OF NOT LESS THAN (A) 1.8m ABOVE THE FLOOR IN SHOWER STALLS, (B) 1.2m ABOVE THE RIMS OF BATHTUBS EQUIPPED WITH SHOWERS, AND (C) 400mm ABOVE THE RIMS OF BATHTUBS NOT EQUIPPED WITH SHOWERS ALL MECHANICAL VENTILATION SHALL COMPLY WITH BCBC SECTION 9.32.3 9.32.3.1.(1) EVERY DWELLING UNIT THAT IS SUPPLIED WITH ELECTRICAL POWER SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM THAT CONFORMS TO (A) CAN/CSA-F328-M, "RESIDENTIAL MECHANICAL VENTILATION SYSTEMS," (B) THIS SUBSECTION OR FOR DUCTED MECHANICAL VENTILATION SYSTEMS SERVING MORE THAN ONE DWELLING UNIT IN A HOUSE WITH A SECONDARY SUITE INCLUDING THEIR COMMON SPACES, THE MECHANICAL VENTILATION SYSTEM SHALL COMPLY WITH THIS SUBSECTION OR PART 6. CARBON MONOXIDE ALARMS ARE REQUIRED IN 9.32.4.2.(1) ...EVERY BUILDING THAT CONTAINS A RESIDENTIAL OCCUPANCY THAT ALSO CONTAINS (A) A FUEL-BURNING APPLIANCE, OR (B) A STORAGE GARAGE. 9.32.4.2.(2) CARBON MONOXIDE ALARMS REQUIRED...SHALL (A) CONFORM TO CSA 6.19, 9.34.1.1.(1) ELECTRICAL INSTALLATIONS, INCLUDING THE SERVICE CAPACITY OF THE INSTALLATION AND THE NUMBER AND DISTRIBUTION OF CIRCUITS AND RECEPTACLES, SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE PROVINCIAL, TERRITORIAL, OR MUNICIPAL LEGISLATION, OR, IN THE ABSENCE OF SUCH LEGISLATION, SHALL CONFORM TO THE SAFETY STANDARDS ACT AND PURSUANT REGULATIONS
9.5.5 DOOR SIZES.	
9.6 GLASS.	
9.7 WINDOWS, DOORS & SKYLIGHTS.	
9.10 FIRE PROTECTION.	
9.13 DAMPPROOFING, WATERPROOFING AND SOIL GAS CONTROL.	
9.19 ROOF SPACES.	
9.21 MASONRY AND CONCRETE CHIMNEYS AND FLUES	
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9.32 VENTILATION	
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GENERAL NOTES

- ALL CONSTRUCTION IS TO COMPLY WITH THE 2024 BRITISH COLUMBIA BUILDING CODE (BCBC), AS WELL AS OTHER LOCAL GOVERNING CODES, BYLAWS, AND ORDINANCES
- ALL WORK TO BE OF THE BEST PRACTICES OF THE LOCAL TRADES INVOLVED.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. DO NOT SCALE DRAWINGS.
- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND LANDSCAPE DRAWINGS, SPECIFICATIONS, GEOTECHNICAL, AND ARBORIST REPORTS. ANY DISCREPANCIES MUST BE REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING, UNLESS NOTED OTHERWISE
- ALL INTERIOR DIMENSIONS ARE TO CENTERLINE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WALLS ARE TO EXTEND TO US OF STRUCTURE, UNLESS NOTED OTHERWISE.
- ALL WINDOWS AND DOORS ON PLAN ARE DIMENSIONED TO THE CENTRE OF ROUGH OPENING (R.O.), UNLESS NOTED OTHERWISE
- ALL DOORS ARE A MIN. OF 4" (100mm) FROM FACE OF ADJACENT WALLS, UNLESS NOTED OTHERWISE.

SITE & DEVELOPMENT STATISTICS

CIVIC ADDRESS:	660 DUCHESS AVENUE, WEST VANCOUVER, BC		
LEGAL DESCRIPTION:	LOT 28, DL 1039, PLAN 2127		
ZONING INFORMATION			
CURRENT ZONING:	RC3 - DUPLEX DWELLING ZONE 3		
USES:	DUPLX DWELLING		
GROSS SITE AREA:	10,921.274 sq ft	[1,014.62 m ²]	
SITE COVERAGE:			40.0%
PERMITTED	4368.510 sq ft	[406.85 m ²]	
PROPOSED	3602.353 sq ft	[334.67 m ²]	
BUILDING HEIGHT:	PROPOSED	ALLOWABLE	
	25 ft [7.62 m]	25 ft [7.62 m]	
SETBACKS: PROPOSED ALLOWABLE (MM)			
NORTH (DUCHESS AVE) - FRONT	25 ft [7.62 m]	25 ft [7.62 m]	
EAST (SIDE YARD)	5 ft [1.52 m]	5 ft [1.52 m]	
SOUTH (REAR YARD)	29.88 ft [9.10 m]	52.88 ft [15.87 m]	- SRW PLAN 8597
WEST (SIDE YARD)	5 ft [1.52 m]	5 ft [1.52 m]	
FLOOR AREA: PROPOSED			
BASEMENT**	1501.12 sq ft	139.46 m ²	
GROUND FLOOR	2748.96 sq ft	255.39 m ²	
UPPER FLOOR	1984.83 sq ft	184.40 m ²	
TOTAL FLOOR AREA	6234.93 sq ft	579.24 m ²	
BUILDABLE AREA:			
TOTAL FLOOR AREA	6234.93 sq ft	579.24 m ²	
EXCLUDED AREA (GARAGES)	454.52 sq ft	43.16 m ²	
TOTAL BUILDABLE AREA	6689.46 sq ft	622.40 m ²	
FAR			
PERMITTED	8190.96 sq ft	[760.97 m ²]	
PROPOSED	6234.93 sq ft	579.24 m ²	

NOTES
 1. COPYRIGHT ALL RIGHTS RESERVED. ALL LEGAL DESIGN DRAWINGS
 2. SUPERSEDES ALL PREVIOUS DRAWINGS BY DANESH ARCHITECT
 3. THIS DRAWING IS NOT TO BE REPRODUCED OR REPRODUCED WITHOUT WRITTEN PERMISSION OF THE OFFICE.
 4. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND
 5. QUANTITIES OF ALL MATERIALS, FINISHES AND NOTIFY THE
 6. ARCHITECT OF ANY DISCREPANCIES.
 7. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED.
 8. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision	Notes

No.	Date	Issue	Notes

Drawn:
 Checked:
 Consultant/Client:



Scale:
 Project Title:

DUCHESS HOUSE

ISSUED FOR BP

660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Scale Title:
PROJECT DATA

Issue Date	Issue Date	Issue Date
08/20/24	08/20/24	08/20/24
Drawn By	Reviewed By	Checked By
AD	AD	AD
Checked By	Checked By	Checked By
TK	TK	TK
Scale	Scale	Scale
24-241	24-241	24-241

A0.01

BUILDING ASSEMBLIES - EXTERIOR BEARING WALLS					
ASSEMBLIES		F.R.R.	ASSEMBLY # / SOURCE	S.T.C.	DIAGRAM
CW1	CONCRETE WALL 8" THICK CAST-IN-PLACE CONCRETE (SEE STRUCTURAL FOR EXACT DIMENSIONS)	-	-	-	
CW2	CONCRETE WALL - FURRED PROTECTION BOARD 2" RIGID INSULATION 8" THICK CAST-IN-PLACE CONCRETE 1" AIR SPACE 2x4 WOOD STUDS @ 16" O.C. CW FULL CAVITY R22 BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 5/8" G.W.B. CW PAINTED FINISH	-	-	-	

BUILDING ASSEMBLIES - EXTERIOR WALLS					
ASSEMBLIES		F.R.R.	ASSEMBLY # / SOURCE	S.T.C.	DIAGRAM
EW1	EXTERIOR WOOD FRAME WALL (HARDIEPANEL) HARDIEPANEL SIDING 3/8" PT PLYWOOD STRAPPING OR HOMESLICKER™ (OR APPROVED EQUIVALENT) 2x LAYERS 30-MINUTE BUILDING PAPER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" O.C. CW FULL CAVITY R22 BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 5/8" G.W.B. CW PAINTED FINISH	2HR	-	-	
EW2	EXTERIOR WOOD FRAME WALL (STUCCO SIDING) STUCCO SIDING 3/8" PT PLYWOOD STRAPPING OR HOMESLICKER™ (OR APPROVED EQUIVALENT) 2x LAYERS 30-MINUTE BUILDING PAPER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" O.C. CW FULL CAVITY R22 BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 5/8" G.W.B. CW PAINTED FINISH	-	-	-	
EW3	PARAPET WALL HARDIEPANEL SIDING 3/8" PT PLYWOOD STRAPPING OR HOMESLICKER™ (OR APPROVED EQUIVALENT) 2x LAYERS 30-MINUTE BUILDING PAPER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" O.C. 2x LAYERS 30-MINUTE BUILDING PAPER 3/8" PT PLYWOOD STRAPPING OR HOMESLICKER™ (OR APPROVED EQUIVALENT) HARDIEPANEL SIDING	-	-	-	
EW4	EXTERIOR PRIVACY SCREEN HARDIEPANEL SIDING 3/8" PT PLYWOOD STRAPPING OR HOMESLICKER™ (OR APPROVED EQUIVALENT) 2x LAYERS 30-MINUTE BUILDING PAPER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2x4 WOOD STUDS @ 16" O.C. 1" AIR GAP 2x4 WOOD STUDS @ 16" O.C. 2x LAYERS 30-MINUTE BUILDING PAPER 3/8" PT PLYWOOD STRAPPING OR HOMESLICKER™ (OR APPROVED EQUIVALENT) HARDIEPANEL SIDING	-	-	-	

BUILDING ASSEMBLIES - PARTY WALLS					
ASSEMBLIES		F.R.R.	ASSEMBLY # / SOURCE	S.T.C.	DIAGRAM
PW1	PARTY WALL 2x LAYERS 5/8" TYPE 'X' G.W.B. CW PAINTED FINISH 2x4 WOOD STUDS @ 24" O.C. CW FULL CAVITY ACOUSTIC BATT INSULATION 1" AIR GAP 2x4 WOOD STUDS @ 24" O.C. CW FULL CAVITY ACOUSTIC BATT INSULATION 2x LAYERS 5/8" TYPE 'X' G.W.B. CW PAINTED FINISH	2HR	BCBC 2024 FIRE AND SOUND RESISTANCE TABLES TABLE 9.10.3.1-A W15a	66	

BUILDING ASSEMBLIES - INTERIOR WALLS					
ASSEMBLIES		F.R.R.	ASSEMBLY # / SOURCE	S.T.C.	DIAGRAM
IW1	TYPICAL 2x4 WOOD PARTITION 5/8" G.W.B. CW INTERIOR FINISH 2x4 WOOD STUDS @ 16" O.C. 5/8" G.W.B. CW INTERIOR FINISH	-	-	-	
IW2	TYPICAL 2x6 WOOD PARTITION 5/8" G.W.B. CW INTERIOR FINISH 2x6 WOOD STUDS @ 16" O.C. 5/8" G.W.B. CW INTERIOR FINISH	-	-	-	

BUILDING ASSEMBLIES - FLOORS					
ASSEMBLIES		F.R.R.	ASSEMBLY # / SOURCE	S.T.C.	DIAGRAM
F1	TYPICAL SLAB ON GRADE FINISHED FLOOR 1 1/2" CONCRETE TOPPING W/ RADIANT HEATING 4" CONCRETE SLAB ON GRADE (SEE STRUCTURAL FOR DIMENSIONS & REINFORCEMENT) 6 MIL. POLY VAPOUR BARRIER R5(2.1) / R12 RIGID INSULATION GRANULAR BACKFILL SOLID BEARING	30 MIN	-	-	
F2	MAIN FLOOR ASSEMBLY FINISHED FLOOR 5/8" PLYWOOD SHEATHING TJI WOOD FLOOR JOISTS @ 24" O.C. (SEE STRUCTURAL FOR DIMENSIONS) RESILIENT METAL CHANNELS SPEACED 16" O.C. 2 LAYERS 5/8" TYPE 'X' G.W.B. CW INTERIOR FINISH	2HR	-	-	
F3	UPPER FLOOR ASSEMBLY FINISHED FLOOR 5/8" PLYWOOD SHEATHING TJI WOOD FLOOR JOISTS @ 24" O.C. (SEE STRUCTURAL FOR DIMENSIONS) RESILIENT METAL CHANNELS SPEACED 16" O.C. 5/8" TYPE 'X' G.W.B. CW INTERIOR FINISH	-	-	-	
F4	PATIO ASSEMBLY ROOFING MEMBRANE 3/4" PLYWOOD SHEATHING 1x WOOD PURLINS SLOPED MIN. 2% TO DRAIN TJI WOOD FLOOR JOISTS @ 24" O.C. (SEE STRUCTURAL FOR DIMENSIONS) 5/8" TYPE 'X' G.W.B. CW INTERIOR FINISH	-	-	-	

BUILDING ASSEMBLIES - ROOFS					
ASSEMBLIES		F.R.R.	ASSEMBLY # / SOURCE	S.T.C.	DIAGRAM
R1	TYPICAL SLOPED ROOF ASPHALT ROOF SHINGLES ROOFING FELT PLYWOOD SHEATHING AS PER STRUCTURAL ROOF JOISTS OR ENGINEERED ROOF TRUSSES (SEE STRUCTURAL) VENTED ATTIC AIRSPACE R5(7.0) / R40 FIBERGLASS BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 1/2" G.W.B. CW INTERIOR FINISH NOTE: PROVIDE VENTILATION IN ACCORDANCE TO BCBC 2024	-	-	-	
R2	ROOF PATIO ASPHALT ROOF SHINGLES ROOFING FELT PLYWOOD SHEATHING AS PER STRUCTURAL ROOF JOISTS OR ENGINEERED ROOF TRUSSES (SEE STRUCTURAL) VENTED ATTIC AIRSPACE R5(7.0) / R40 FIBERGLASS BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 1/2" G.W.B. CW INTERIOR FINISH NOTE: PROVIDE VENTILATION IN ACCORDANCE TO BCBC 2024	-	-	-	
R3	TYPICAL UNINSULATED CANOPY ROOFING MEMBRANE 3/4" PLYWOOD SHEATHING 1x WOOD PURLINS SLOPED MIN. 2% TO DRAIN 2x6 WOOD STUDS @ 16" O.C. (SEE STRUCTURAL FOR DIMENSIONS)	-	-	-	

NOTES
 1. CONTRACTOR SHALL VERIFY ALL RIGHTS RESERVED. ALL IDEAS, DESIGNS, DRAWINGS, SPECIFICATIONS, AND MATERIALS ARE THE PROPERTY OF DANESH ARCHITECT INC. AND ARE NOT TO BE REPRODUCED OR REPRODUCED WITHOUT WRITTEN PERMISSION OF THE FIRM.
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 3. NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED.
 4. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes

No.	Date	Issue Notes

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Issue Title
DUCHESS HOUSE
 ISSUED FOR BP
 660 DUCHESS AVENUE,
 WEST VANCOUVER, BC
 Issue Title
BUILDING ASSEMBLIES

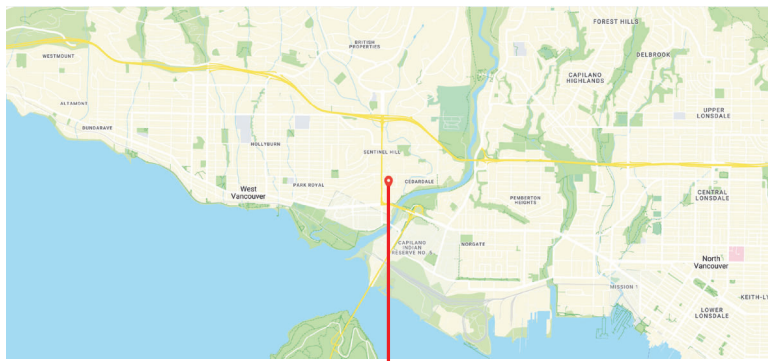
Issue No.	Issue Date	Issue By	Checked By
A0.02	08/20/24	AD	

Scale: 1" = 1'-0"

DWV - AVERAGE GRADE CALCULATIONS						
WALL SECTION		LOWER OF FINISHED OR NATURAL WALL SECTION ENDPOINT (R)		AVERAGE GRADE	LENGTH	AVERAGE GRADE x LENGTH
1	2	1	2			
A-B	90.77 R	89.53 R	90.15 R	89.54	4.28 R	385.84 R
B-C	89.53 R	87.77 R	88.65 R	88.65	13.05 R	1156.88 R
C-D	87.77 R	87.23 R	87.50 R	87.50	9.54 R	834.75 R
D-E	87.23 R	87.13 R	87.18 R	87.18	7.38 R	643.39 R
E-F	87.13 R	87.06 R	87.10 R	87.10	2.40 R	215.00 R
F-G	87.06 R	87.07 R	87.07 R	87.07	24.40 R	2138.57 R
G-H	87.07 R	87.79 R	87.73 R	87.73	6.50 R	605.34 R
H-I	87.79 R	87.65 R	87.72 R	87.72	1.00 R	87.72 R
I-J	87.65 R	87.43 R	87.54 R	87.54	6.23 R	545.37 R
J-K	87.43 R	87.48 R	87.46 R	87.46	1.00 R	87.46 R
K-L	87.48 R	85.68 R	86.58 R	86.58	11.44 R	990.48 R
L-M	85.68 R	86.69 R	86.19 R	86.19	13.38 R	1153.16 R
M-N	86.69 R	86.83 R	86.76 R	86.76	1.14 R	98.91 R
N-O	86.83 R	88.06 R	87.45 R	87.45	30.91 R	2702.92 R
O-P	88.06 R	87.97 R	88.02 R	88.02	1.14 R	100.34 R
P-Q	87.97 R	87.92 R	87.95 R	87.95	13.38 R	1176.70 R

WALL SECTION		LOWER OF FINISHED OR NATURAL WALL SECTION ENDPOINT (R)		AVERAGE GRADE	LENGTH	AVERAGE GRADE x LENGTH
1	2	1	2			
Q-R	87.92 R	88.38 R	88.38 R	88.15	11.44 R	1008.44 R
R-S	88.38 R	88.36 R	88.37 R	88.37	1.00 R	88.37 R
S-T	88.36 R	88.61 R	88.49 R	88.49	6.23 R	551.28 R
T-U	88.61 R	88.64 R	88.63 R	88.63	1.00 R	88.63 R
U-V	88.64 R	88.56 R	88.60 R	88.60	6.00 R	531.54 R
V-W	88.56 R	88.11 R	88.34 R	88.34	24.40 R	2138.57 R
W-X	88.11 R	88.45 R	88.28 R	88.28	2.48 R	218.93 R
X-Y	88.45 R	90.87 R	89.66 R	89.66	7.38 R	661.69 R
Y-Z	90.87 R	92.82 R	91.85 R	91.85	9.54 R	876.20 R
Z-AA	92.82 R	92.86 R	92.84 R	92.84	13.05 R	1211.56 R
AA-AB	92.86 R	92.88 R	92.87 R	92.87	4.28 R	397.48 R
AB-AC	92.88 R	92.99 R	92.94 R	92.94	7.47 R	694.22 R
AC-AD	92.99 R	93.00 R	93.00 R	93.00	2.35 R	218.54 R
AD-AE	93.00 R	92.94 R	92.97 R	92.97	21.59 R	2007.22 R
AE-AF	92.94 R	92.92 R	92.93 R	92.93	2.35 R	218.39 R
AF-A	92.92 R	90.77 R	91.85 R	91.85	7.47 R	686.08 R

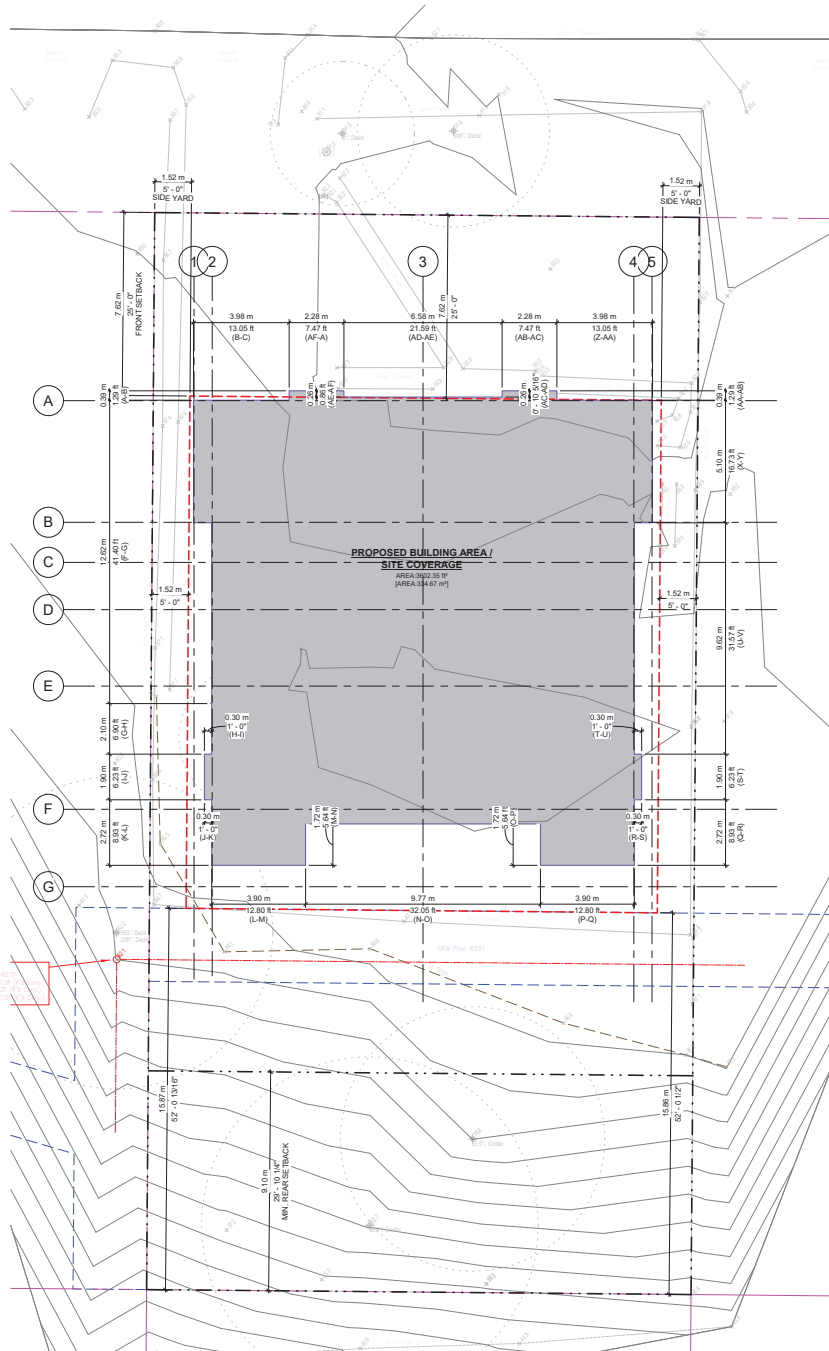
TOTAL LENGTH	SUM OF AVERAGE GRADE x LENGTH	AVERAGE GRADE (SUM OF GRADES / TOTAL LENGTH)



2 LOCATION PLAN



3 CONTEXT PLAN



1 SITE PLAN
1/8" = 1'-0"

PROJECT NORTH

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 3. NOT TO BE USED FOR CONSTRUCTION UNLESS QUANTIFIED.
 4. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes

No.	Date	Issue Notes

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DUCHESS HOUSE

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660 DUCHESS AVENUE,
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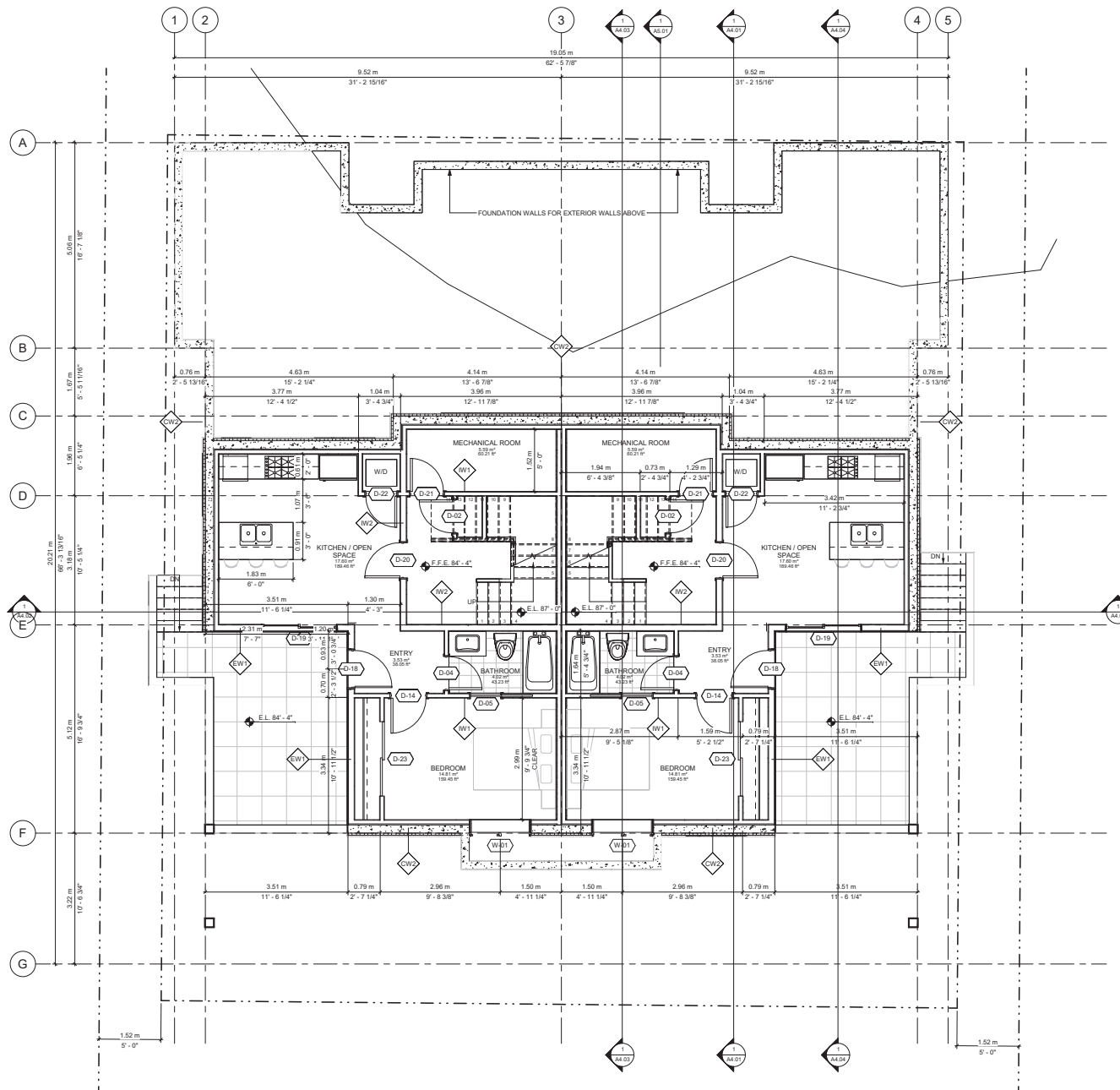
Sheet Title
SITE PLAN

Issue Date	Issue Date
08/20/24	08/20/24

Drawn By	Reviewed By
AD	AD
TK	TK

As Indicated

A1.01



1 BASEMENT
 1/4" = 1'-0"

No.	Date	Revision Notes

No.	Date	Issue Notes

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Project Title
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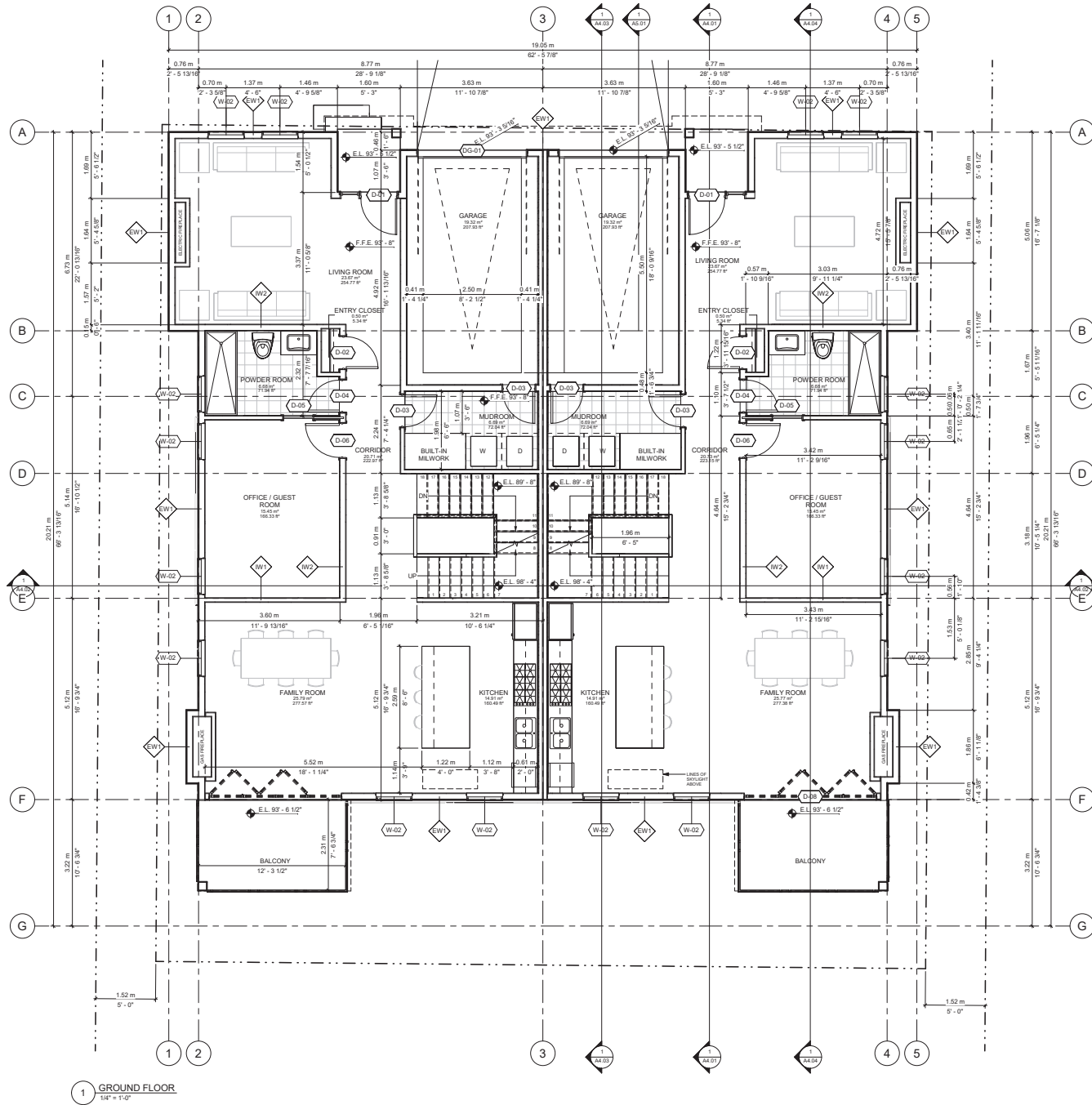
660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Draw Title
PROPOSED BASEMENT FLOOR PLAN

Issue No.	Issue Date	Issue By	Checked By
1	08/20/24	AD	AD

A2.02

Author	Scale
AD	1/4" = 1'-0"



1 GROUND FLOOR
1/4" = 1'-0"

PROJECT NORTH

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 3. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes

No.	Date	Issue Notes

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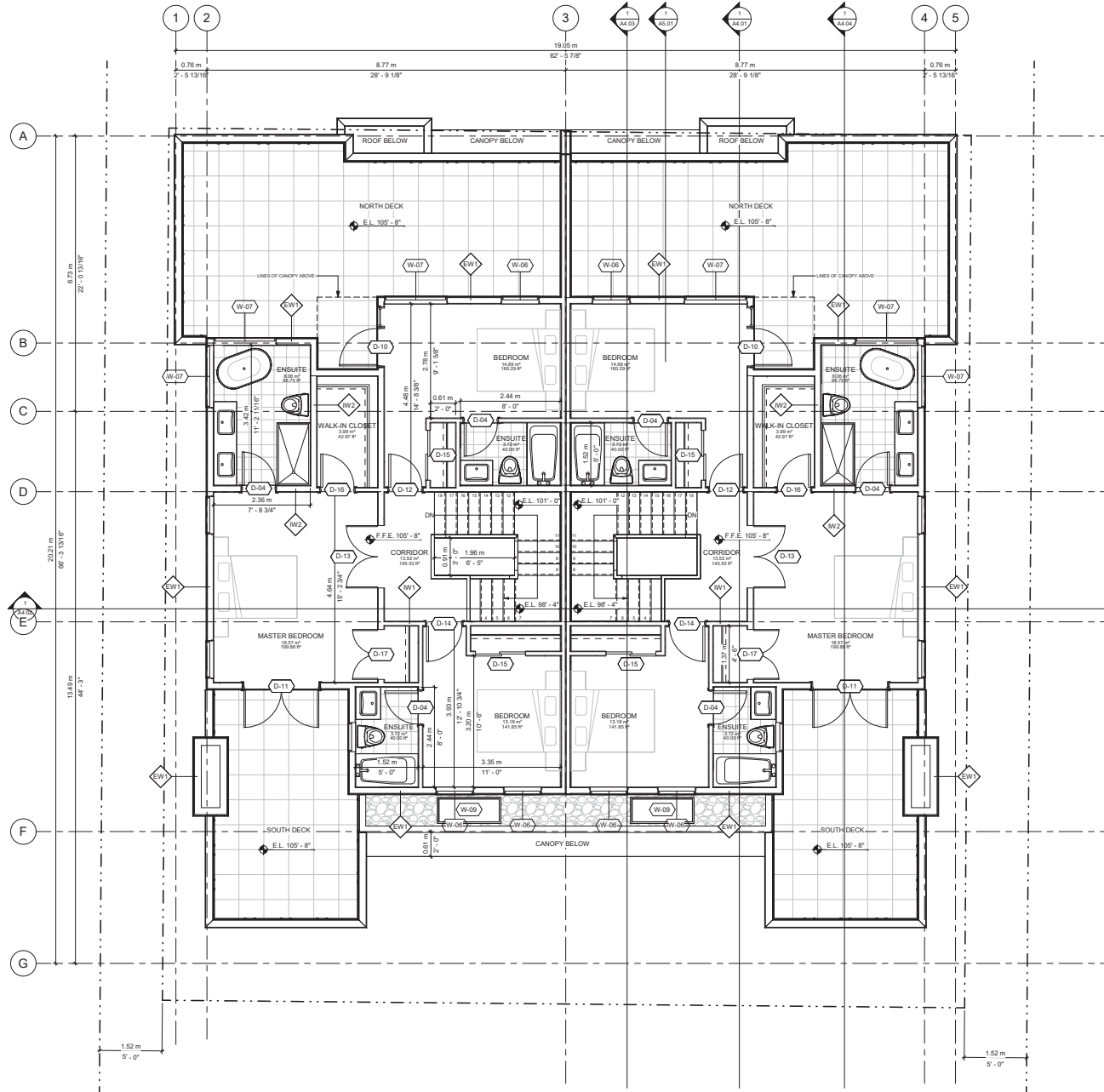
ISSUED FOR BP

660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Issue Title
PROPOSED MAIN FLOOR PLAN

Issue No.	Issue Date	Issue By	Issue For
	08/20/24	AD	AD
		TK	TK

A2.03



1 UPPER FLOOR
1/4" = 1'-0"

PROJECT NORTH

NOTES:
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 2. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED.
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No.	Date	Revision Notes

No.	Date	Issue Notes

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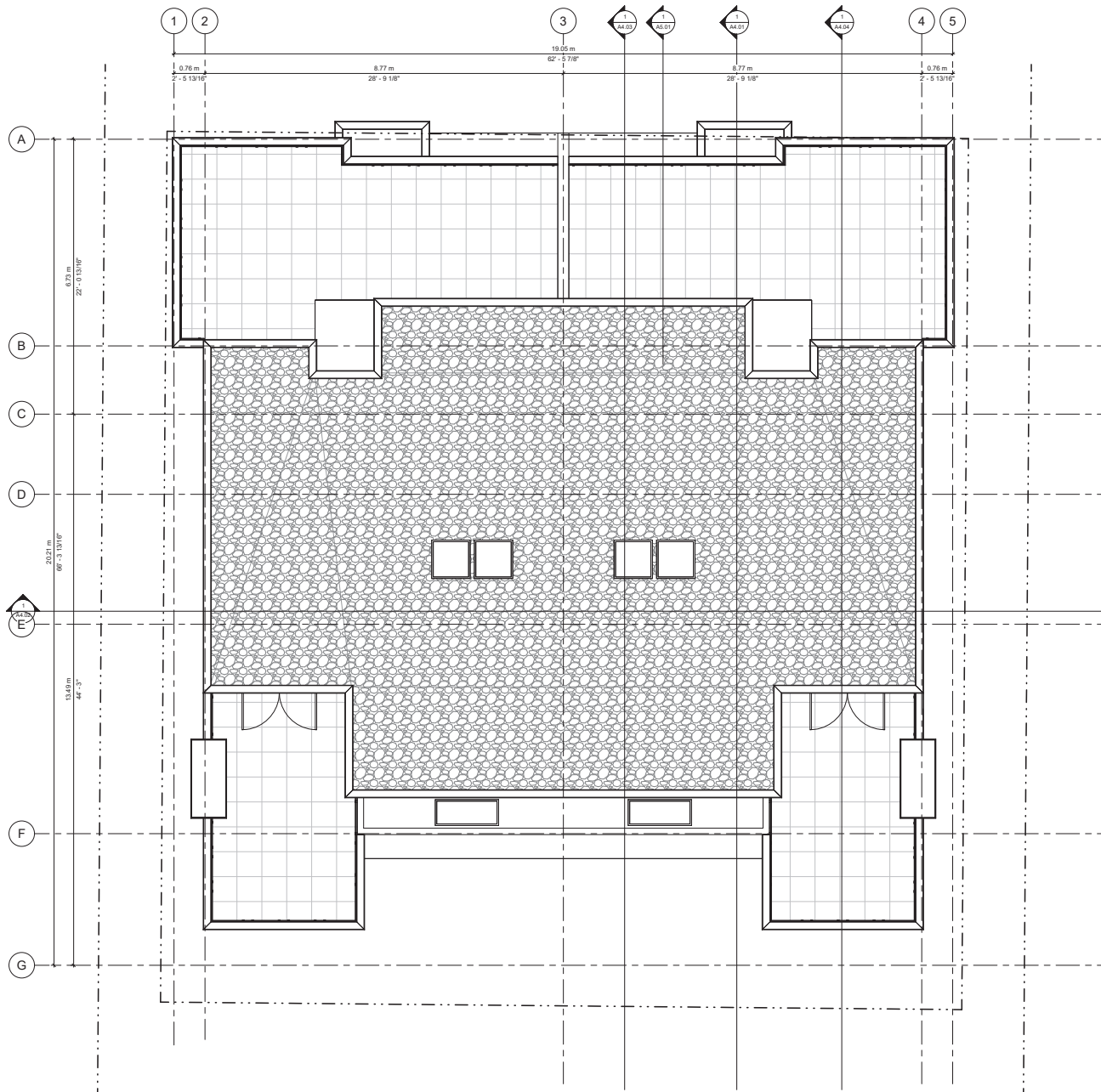
660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Draw Title
PROPOSED UPPER FLOOR PLAN

Issue No.	Issue Date	Issue By	Checked By
1	08/20/24	AD	AD

Author: AD
 Designer: AD
 Checker: AD
 Date: 24-241
 Scale: 1/4" = 1'-0"

A2.04



1 ROOF PLAN
1/4" = 1'-0"

PROJECT NORTH

NOTES:
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 2. THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
 3. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes
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No.	Date	Issue Notes
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Sheet Title

DUCHESS HOUSE

ISSUED FOR BP

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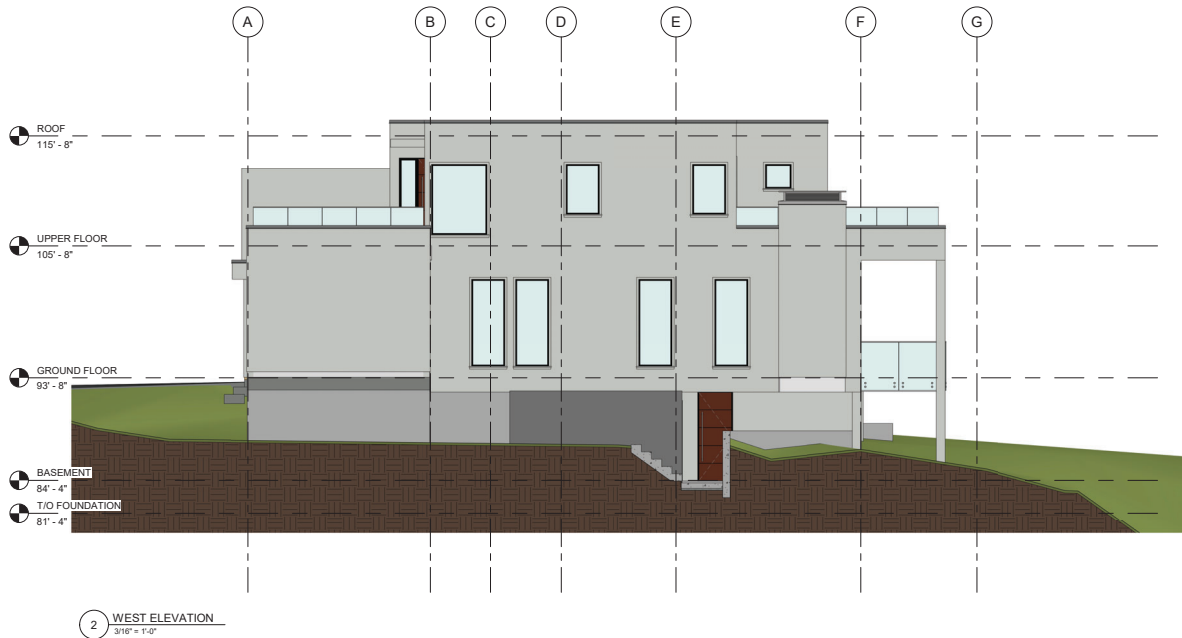
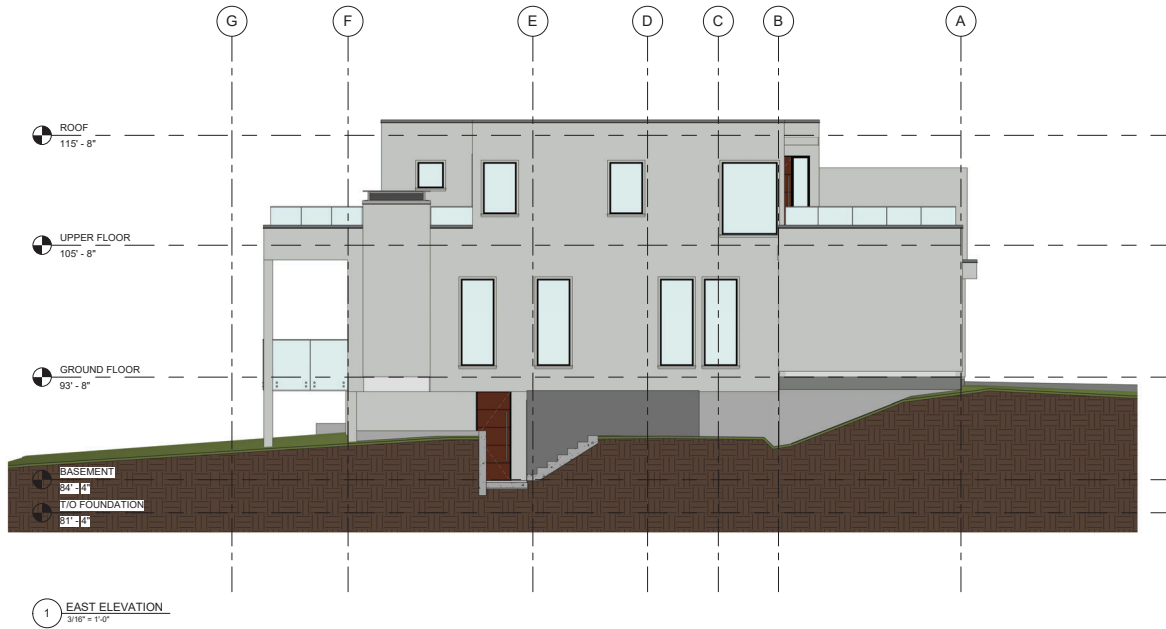
Sheet Title

PROPOSED ROOF PLAN

Issue Date	Issue Date	Issue Date
08/20/24		

Author	Checker	Scale
AD	AD	1/4" = 1'-0"

A2.05



NOTES:
 1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING AND NOTIFY THE ARCHITECT IF ANY DISCREPANCIES.
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 3. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes

No.	Date	Issue Notes

Architect



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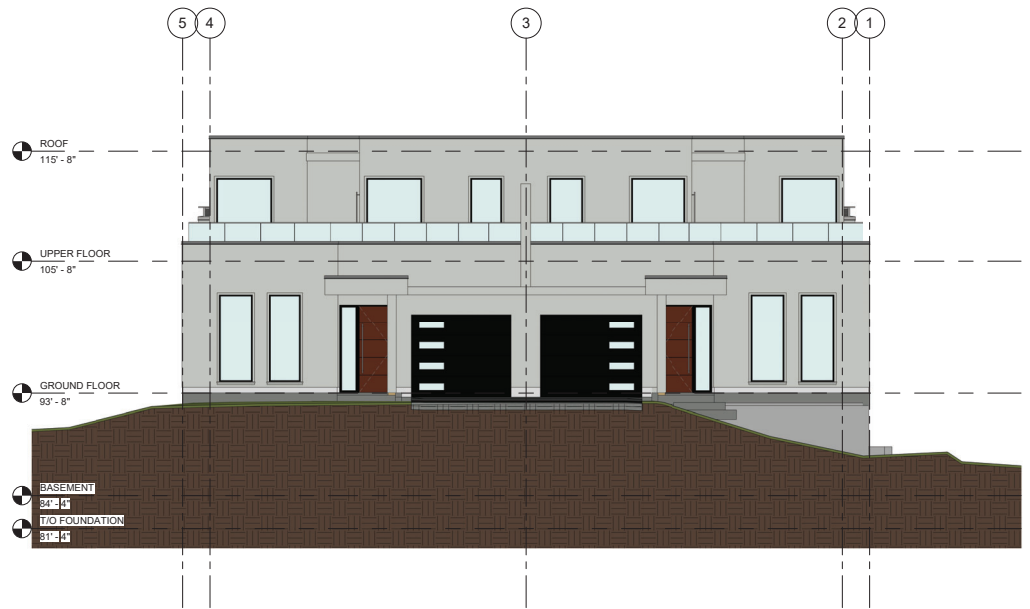
Client
 Project Title
DUCHESS HOUSE

ISSUED FOR BP

660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Client Title
PROPOSED ELEVATIONS

Issue Date	Issue Date	Issue Date
08/20/24	08/20/24	08/20/24
Designed By AD	Reviewed By AD	A3.01
Drawn By TK	Checked By TK	
Project No. 24-241	Scale 3/16" = 1'-0"	



1 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

NOTES
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ANY EXISTING STRUCTURE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
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No.	Date	Revision Notes

No.	Date	Issue Notes

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Project Title
DUCHESS HOUSE

ISSUED FOR BP

660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

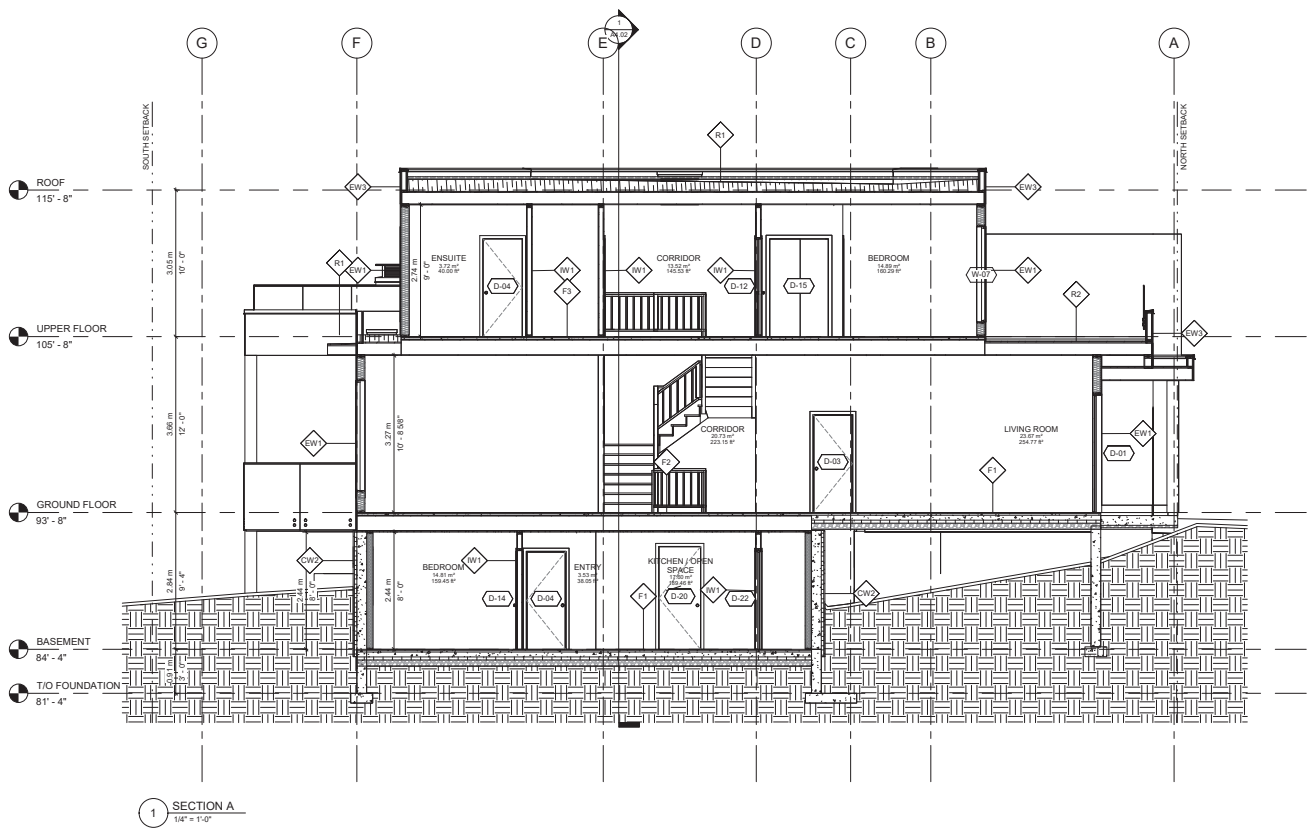
Issue Title
PROPOSED ELEVATIONS

Issue No.	Issue Date	Issue By	Checked By
08/20/24	AD	AD	TK

Scale: 3/16" = 1'-0"

Sheet No. **A3.02**

NOTES
 1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL SERVICES PROVIDED AND NOTIFY THE ARCHITECT IF ANY DISCREPANCIES.
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1 SECTION A
 1/4" = 1'-0"

No.	Date	Revision Notes

No.	Date	Issue Notes

Architect



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Project Title
DUCHESS HOUSE

ISSUED FOR BP

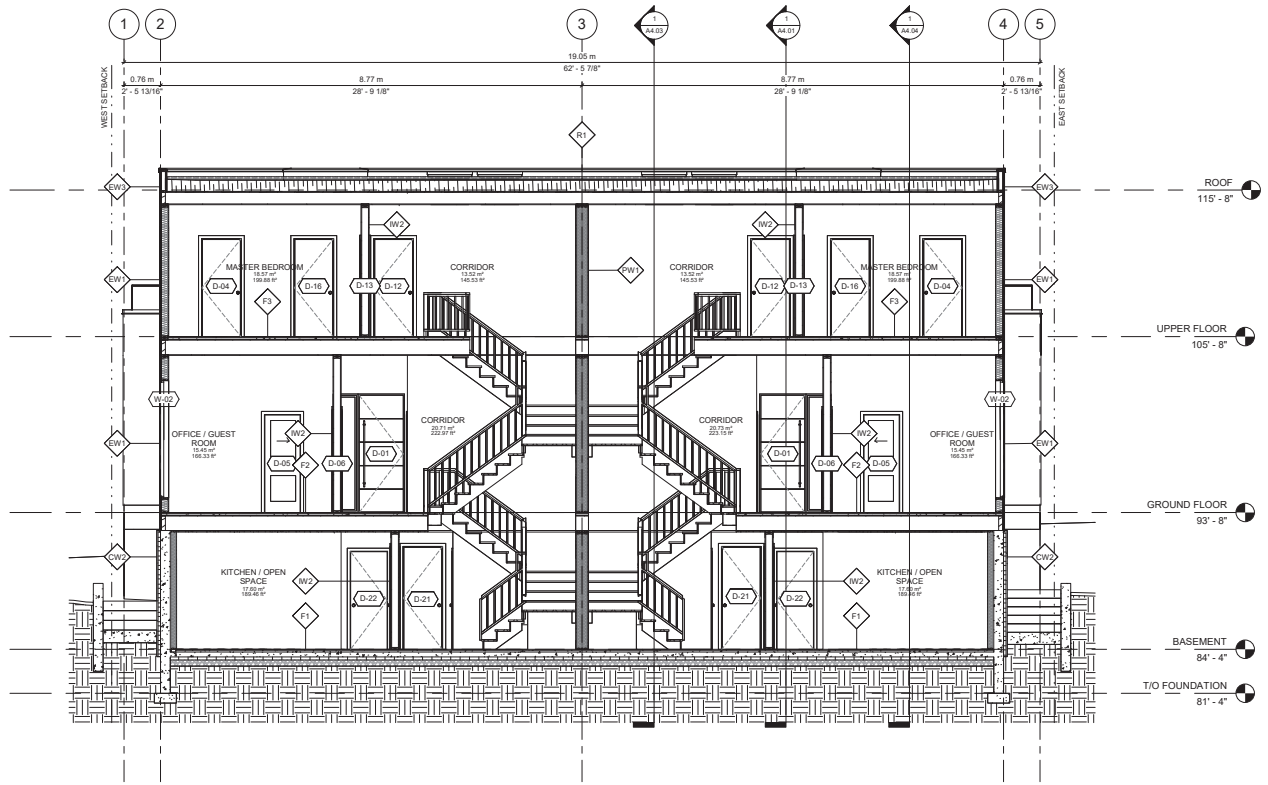
660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Issue Title
BUILDING SECTION

Issue No.	Issue Date	Issue By	Checked By
08/20/24	AD	AD	TK
24-241	1/4" = 1'-0"		

A4.01

NOTES
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL SERVICES PROVIDED AND NOTIFY THE ARCHITECT IMMEDIATELY.
 2. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL SERVICES PROVIDED AND NOTIFY THE ARCHITECT IMMEDIATELY.
 3. DRAWINGS ARE NOT TO BE SCALED.



1 SECTION B
 1/4" = 1'-0"

No.	Date	Revision Notes

No.	Date	Issue Notes

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Project Title
DUCHESS HOUSE

ISSUED FOR BP

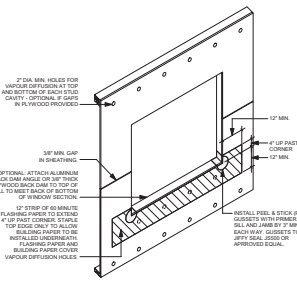
660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Issue Title
BUILDING SECTION

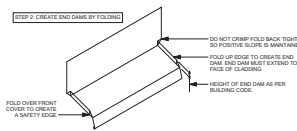
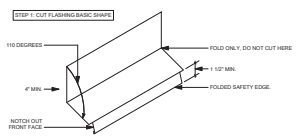
Issue No.	Issue Date	Issue By	Issue For

Scale: 1/4" = 1'-0"

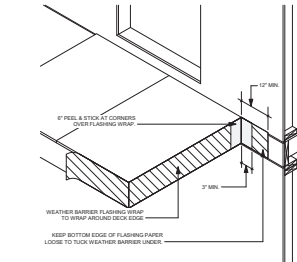
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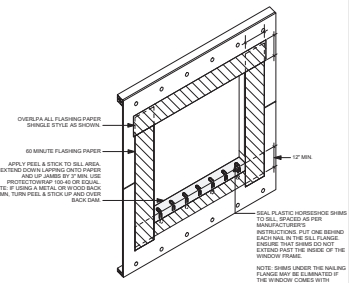
1 WINDOW INSTALLATION - STEP 1
1 1/2" = 1'-0"



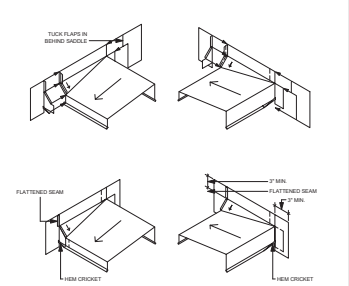
6 WINDOW FLASHING
1 1/2" = 1'-0"



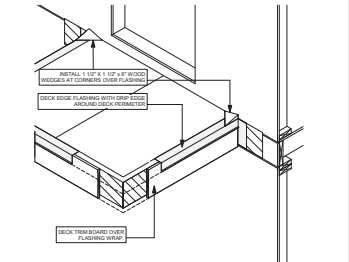
11 DECK TO WALL INTERFACE - STEP 1
1 1/2" = 1'-0"



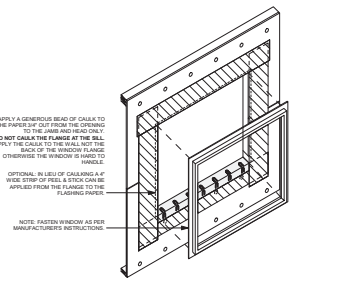
2 WINDOW INSTALLATION - STEP 2
1 1/2" = 1'-0"



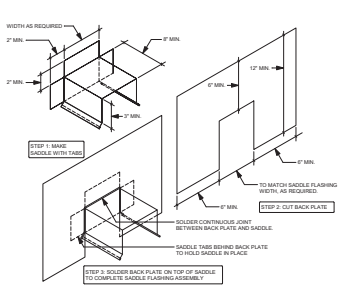
7 TYPICAL SADDLE FLASHING DETAIL
1 1/2" = 1'-0"



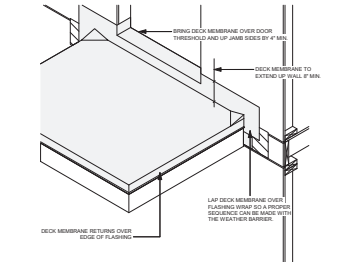
12 DECK TO WALL INTERFACE - STEP 2
1 1/2" = 1'-0"



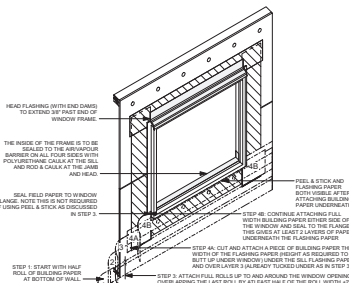
3 WINDOW INSTALLATION - STEP 3
1 1/2" = 1'-0"



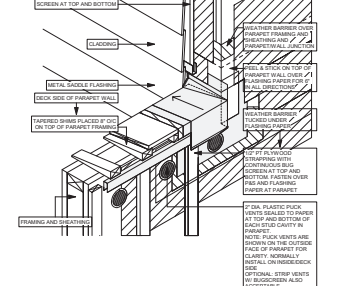
8 TYPICAL SADDLE FLASHING ASSEMBLY
1 1/2" = 1'-0"



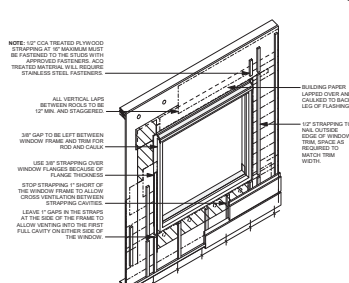
13 DECK TO WALL INTERFACE - STEP 3
1 1/2" = 1'-0"



4 WINDOW INSTALLATION - STEP 4
1 1/2" = 1'-0"



9 SADDLE FLASHING AT END OF WALL
1 1/2" = 1'-0"



5 WINDOW INSTALLATION - STEP 5
1 1/2" = 1'-0"

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3. NOT TO BE USED FOR CONSTRUCTION UNLESS QUANTIFIED.
DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes

No.	Date	Issue Notes

Architect

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 488-235-1618 / 6 AMBER DRIVE VANCOUVER, BC V6V 2M9

Sheet Title
DUCHESS HOUSE

ISSUED FOR BP

660 DUCHESS AVENUE, WEST VANCOUVER, BC

Sheet Title
DETAILS

Issue Date	Rev. Date	Rev. Description
08/20/24		

Drawn By	Checked By
AD	AD
TK	TK
24-241	1 1/2" = 1'-0"

A6.01



1 AERIAL SOUTH EAST LOOKING NORTH WEST



2 GROUND PERSPECTIVE LOOKING NORTH EAST



3 NORTH WEST LOOKING SOUTH EAST



4 NORTH EAST LOOKING SOUTH WEST

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 3. NOT TO BE USED FOR CONSTRUCTION UNLESS COUNTERSIGNED. DRAWINGS ARE NOT TO BE SCALED.

No.	Date	Revision Notes

No.	Date	Issue Notes

Architect



DANESH Architect Inc.
 488-755-9227 • 1474 AVENUE
 WINGFIELD, BC V6L 2J8 © 2024 DANESH ARCHITECT INC.
 ALMENA DANESH ARCHITECT • AEC, MARCH 14 2024

Project Title
DUCHESS HOUSE

ISSUED FOR BP

660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

Sheet Title
3D VIEWS

Issue Date	Issue Date	Issue Date
08/20/24		
Designed By AD	Drawn By AD	A9.01
Checked By TK	Checked By TK	
Scale 1/4"=1'	Scale 1/4"=1'	

FAR CALCULATION SUMMARY

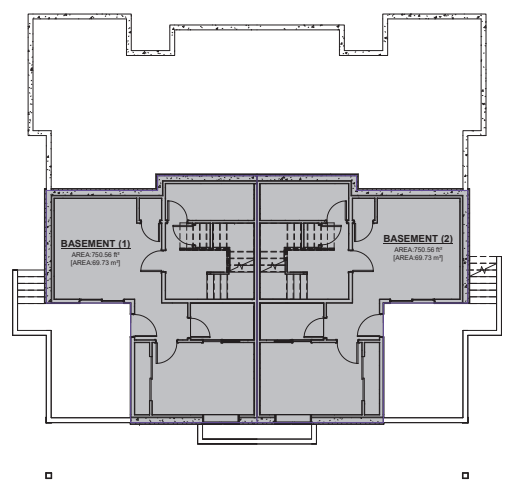
GROSS SITE AREA:	10,921,274 ft ²	[1,014.82 m ²]	
SITE COVERAGE:			40.0%
PERMITTED	4368,510 ft ²	[406.85 m ²]	
PROPOSED	3602,393 ft ²	334.67 m ²	
FLOOR AREA: PROPOSED			
BASEMENT	1501,12 ft ²	139.46 m ²	
GROUND FLOOR	2748,08 ft ²	255.39 m ²	
UPPER FLOOR	1984,83 ft ²	184.40 m ²	
TOTAL FLOOR AREA	6234.93 ft ²	579.24 m ²	
BUILDABLE AREA:			
TOTAL FLOOR AREA	6234.93 ft ²	579.24 m ²	
EXCLUDED AREA (GARAGES)	464.52 ft ²	43.16 m ²	
TOTAL BUILDABLE AREA	6999.46 ft ²	622.40 m ²	
FAR			
PERMITTED	8190.96 ft ²	[760.97 m ²]	
PROPOSED	6234.93 ft ²	579.24 m ²	

PROJECT NORTH

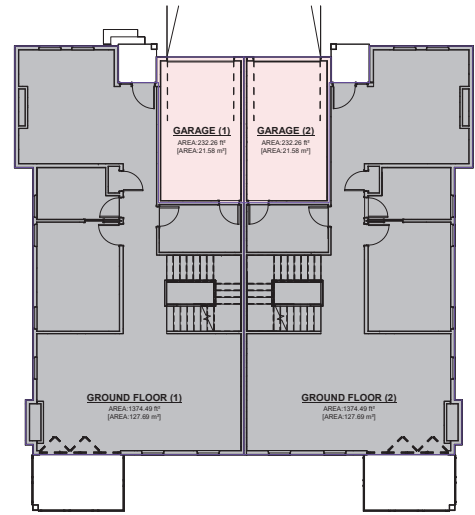
NOTES
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No.	Date	Revision Notes

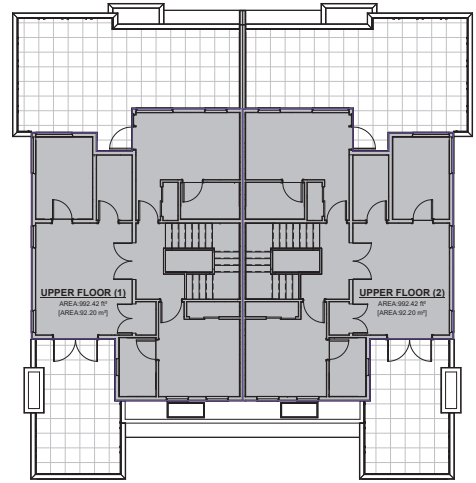
No.	Date	Issue Notes



1 BASEMENT
1/8" = 1'-0"



2 GROUND FLOOR
1/8" = 1'-0"



3 UPPER FLOOR
1/8" = 1'-0"

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DUCHESS HOUSE
 ISSUED FOR BP
 660 DUCHESS AVENUE,
 WEST VANCOUVER, BC

FAR CALCULATION

Issue Date	08/20/24	Issue No.	1
Drawn By	AD	Checked By	AD
Scale	1/8" = 1'-0"	Scale	1/8" = 1'-0"
Project No.	24-241	Project Name	FAR

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Plant List - 660 Duchess

November 14, 2024

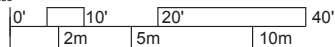
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
3	Acer rubrum	Scarlet Sentinel	Scarlet Sentinel Red Maple	60m Cal, WB	low branching
4	Acer palmatum	Osakazuki	Green Japanese Maple	2.5m tall, multi stem	
1	Cornus florida	Rubra	Pink Flowering Dogwood	2.5m tall, multi stem	
SHRUBS					
11	Arbutus unedo	Compacta	Compact Strawberry Bush	#2 pot	900 o.c.
42	Azalea japonica	Hino Crimson	Hino Crimson Azalea	#2 pot	600 o.c.
10	Forsythia x intermedia	Lynwood Gold	Lynwood Gold Forsythia	#1 pot	900 o.c.
10	Hydrangea macrophylla	FP	Forever Pink Hydrangea	#2 pot	500 o.c.
13	Polystichum munilum		Western Sword Fern	#1 pot	600 o.c.
48	Rhododendron	'Ramanjo'	Dwarf Red Rhodo	#2 pot	750 o.c.
22	Rhododendron	Vulcan	Red Vulcan Rhododendron	#5 pot	900 o.c.
5	Ribes sanguineum		Red-flowering Currant	#2 pot	750 o.c.
47	Sarcococca H.	Humilis	Himalayan Sweet Box	#1 pot	450 o.c.
8	Skimmia J.	macrophylla M + F	Skimmia (male and female)	#5 pot	900 o.c.
12	Spiraea x bumaltida	Gold Flame	Gold Flame Spiraea	#2 pot	900 o.c.
GROUND COVERS					
Au	Arctostaphylos uva-ursi	VJ	Vancouver Jade Kinnikinnick	#1 pot	500 o.c.
30	Casithecia thalictri		Salai	#1 pot	500 o.c.
9	Mahonia nervosa		Longleaf Mahonia	#1 pot	450 o.c.
70	Pachysandra terminalis		Japanese Spurge	10cm pot	450 o.c.
PERENNIALS AND GRASSES					
34	Hemerocallis	'Happy Returns'	Happy Returns Daylily	#1 pot	500 o.c.
39	Hosta sieboldiana	'Elegans'	Elegans Plantain Lily	#1 pot	500 o.c.
RF	Rudbeckia fulgida	'Goldstrum'	Black-Eyed Susan	#1 pot	450 o.c.
10	Pennisetum alopecuroides	'Hameiri'	Hameiri Fountain Grass	#1 pot	5000 o.c.

NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the plan shall prevail.
- 2) All planting shall be in accordance with BCSLA/BCSCLNA Landscape Standard, latest edition.
- 3) All maintenance shall be in accordance with BCSLA/BCSCLNA Landscape Standard, latest edition.
- 4) All planting beds: 450 soil plus 75mm of decomposed organic mulch or approved equal.



Plant Images



Patio slab or stone in pebble provide drainage and car maneuvering space

Shared entry walkway

Planting bed - mixed shrubs slope down to neighbour or add landscape wall to create a level area.

Entry landing include a step if necessary or keep at driveway/walkway level.

Grading along side yard Landscape wall may be necessary, either at property line or to support walkway.

Walkway - 3.5' wide Concrete or unit paving

Fence along property line 2.0m tall timber

Existing neighbouring tree to be protected

ROW no hardscape permitted

Duchess Avenue

Proposed driveway 6.0m wide, shared

Gravel shoulder - graded to match driveway

Existing trees to be removed

Landscape off site if permitted

Address sign concrete panel with raised lettering

Proposed ornamental trees

Proposed planting - mixed shrubs

Existing hedge

Stairs - precast concrete Roman by Sanderson or equivalent metal handrail

Grading along side yard Match slope along property line.

Main Level

Basement Level

Walkway - 3.5' wide Concrete or unit paving

Patio precast concrete slab - tan colour

Fence along property line 2.0m tall timber

Landscape wall - precast concrete Architecture by Barkman or equivalent

Stairs from balcony above - metal concrete landing

Planting bed to divide shared yard

Low fence along top of slope

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#	DATE	ISSUE/REVISION
1	Sept 09, 24	RE-ZONING REVIEW
2	Nov 20, 24	RE-ZONING APPLICATION



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CLIENT

PROJECT
Duchess House
660 Duchess Ave.
West Vancouver BC

DRAWING
Landscape Plan

DRAWING NUMBER

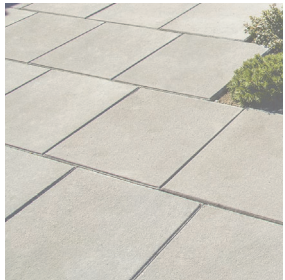
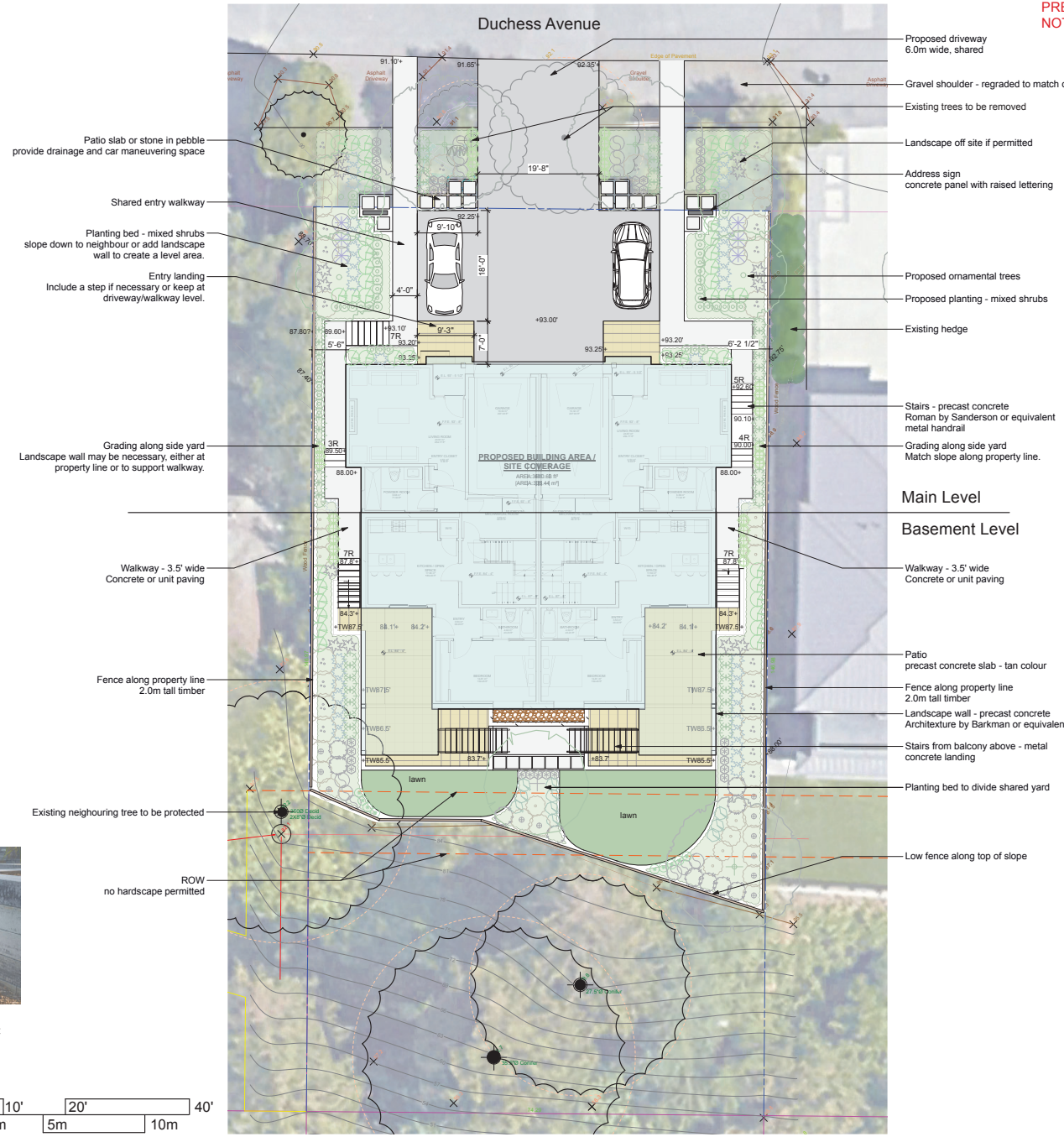
L-1

SCALE 1" = 8' - 0"

DRAWN PACW

SHEET 1 of 2

PROJECT NUMBER 2413



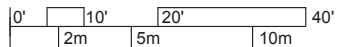
Patio and Entry Landing Paving
12" and 18" precast paver, tan colour, grid pattern



Steps with railing
Roman by Sanderson Concrete or equivalent



Landscape walls
architecture by Barkman Concrete or equivalent



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DATE	ISSUE/REVISION
1. Nov 20, 24	REZONING APPLICATION



SEAL

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Registered Landscape Architect #246

CLIENT

PROJECT
Duchess House
660 Duchess Ave.
West Vancouver BC

DRAWING
Landscape and Grading Plan

DRAWING NUMBER
L-2

SCALE 1" = 8' - 0"
DRAWN PACW
SHEET 2 of 2
PROJECT NUMBER 2413