

COUNCIL AGENDA	
Date: <u>October 21, 2024</u>	Item: <u>7.5.</u>



DISTRICT OF WEST VANCOUVER  
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

## COUNCIL REPORT

Date:	October 7, 2024
From:	Erika Syvokas, Community Planner
Subject:	Proposed Development Variance Permit for 1735 Inglewood Avenue
File:	1010-20-24-015

### RECOMMENDATION

THAT proposed Development Variance Permit No. 24-015 regarding 1735 Inglewood Avenue to allow for an inflatable sports bubble, as described in the report dated October 7, 2024, be considered at the November 18, 2024, Council meeting in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software); and that notice be given of consideration of the proposed development variance permit (**Appendix A**).

#### 1.0 Purpose

The purpose of this report is to provide information on proposed Development Variance Permit No. 24-015 for an inflatable sports bubble at 1735 Inglewood Avenue and to request scheduling of Council consideration of the application. The proposed Development Variance Permit (DVP) would allow for variances to enable the building to be sited in the proposed location and to exceed the maximum permitted height.

#### 2.0 Legislation/Bylaw/Policy

##### *Local Government Act*

A DVP may be issued by resolution of Council in accordance with Section 498 of the Local Government Act. The DVP is a permit that changes regulation(s) for a particular development site allowing development to proceed or exist in a manner otherwise not allowed by the Zoning Bylaw.

##### *Zoning Bylaw*

The site is currently zoned Public Assembly Zone 1 (PA1).

#### 3.0 Council Strategic Objective(s)/Official Community Plan

Council's Strategic Plan includes an objective to expand recreational opportunities for residents and visitors of all ages.

The Official Community Plan has policies that support provision of new community uses and facilities.

#### 4.0 Financial Implications

There are no specific financial implications for the District related to the proposed DVP No. 24-015.

## 5.0 Background

The West Vancouver “Place for Sport” project, which includes a new track and artificial turf field, is currently under construction on the subject site.

The current proposal, although a separate project from the “Place for Sport”, has been designed to integrate with the plans for the new track and field situated to the north.

### 5.1 Previous Decisions

Not applicable.

## 6.0 Analysis

### 6.1 Discussion

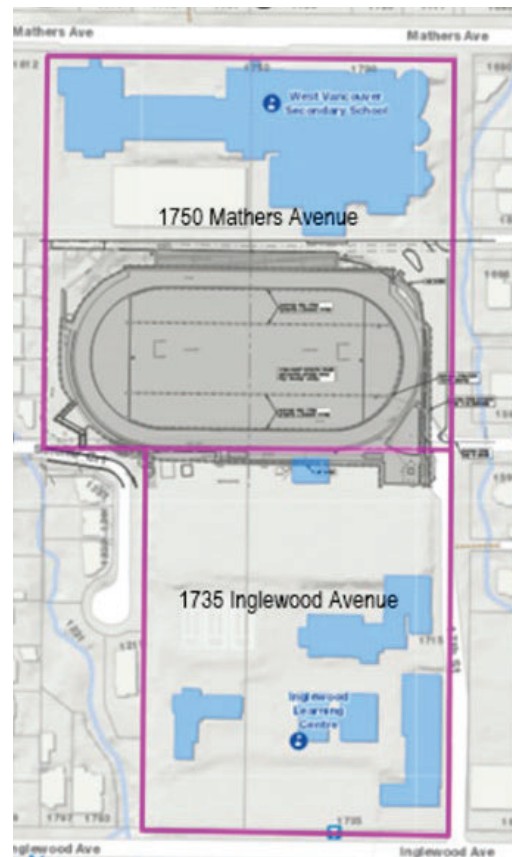
#### Site Context

The subject site consists of four properties (**Appendix B**).

- two properties addressed 1750 Mathers Avenue (North Campus, West Vancouver Secondary School and Kay Meek Centre); and
- two properties addressed 1735 Inglewood Avenue (South Campus West Vancouver Secondary School and Inglewood Secondary School and Learning Centre).

The site is zoned PA1 and is owned by West Vancouver School District. All four properties are considered as one site for the purposes of Zoning Bylaw compliance. Several buildings are located on the site and a grass field and athletic track facility (known as “Place for Sport”) is currently being replaced on the northern part of the site.

Established boulevard trees are located along the southwest portion of the site along Sinclair Court. Lawson Creek travels north-south to the west of the subject site and Vinson Creek travels north-south to the east of the site.



**Figure 1 – Existing site with Place for Sport facility shown**

Proposal overview

West Vancouver Football Club (WVFC), a non-profit community organization, in partnership with West Vancouver Secondary School, proposes to construct an inflatable sports bubble, relocate existing paths and retaining walls, and create space for an outdoor practice field south of the “Place for Sport” athletic track and field facility.

The sports bubble is proposed to be located on a currently unused gravel sports field in the northwest corner of the two properties addressed 1735 Inglewood Avenue (PID 015-956-202 and PID 015-956-211 in Figure 2 below) and straddle the interior lot line between these two properties.



**Figure 2 - Context map showing proposed site location**

The bubble would provide a dry and comfortable environment for sports throughout the year, especially during rainy and cold months. West Vancouver currently has limited sports facilities, and this proposal would be the first indoor turf field in the community.

The facility is proposed to be used by West Vancouver School during regular school hours and West Vancouver Football Club outside of school hours (i.e. evenings, school closures, holidays and weekends).

The sports bubble is designed as a distinctive symbol for West Vancouver, featuring a coloured dome inspired by the natural landscape surrounding the site. The design alternates light and dark colours to simulate an artificial structure within the bubble while enhancing the exterior aesthetic appeal. The sports bubble also incorporates a semi-translucent material along its spine, allowing natural daylight to permeate the space.

A designated “drop-off and pick up only” zone is proposed in the existing parking lot to the east of the proposed bubble, which is to remain available for the use of West Vancouver Secondary School and the Kay Meek Centre. Parking for the proposed facility (mainly for coaches and staff that are unable to drop off and go) is proposed to be accommodated in the other existing parking spaces on the site and the existing street parking in the immediate vicinity.

*Proposed Zoning Variances*

The proposal requires the following Zoning Bylaw variances to accommodate the project:

Zoning Bylaw Section	Proposed	Bylaw	Variance
560.08 (Building Height)	12.06 m	9.1 m	2.96 m
120.05(2)(c) (Sites Composed of More Than One Legal Lot)	To allow the structure to straddle the property lines and remove the requirement for a legal covenant to prevent transfer unless the building, structures and use are brought into conformance for the new site.		

The site is naturally integrated, with large trees to the west, obscuring views from nearby homes. Due to the sloping topography and existing buildings on the site, the structure will be minimally visible from Inglewood Avenue, and will not be visible at all from Mathers Avenue. Further, the proposed colour scheme for the sports bubble was selected to blend in with the natural surroundings as compared to conventional white structures. Finally, the proposed bubble will soften the impact of the adjacent Place for Sport retaining wall. As such the proposal will have minimal impact on neighbouring properties or the streetscape.

6.2 Climate Change & Sustainability

The proposal contributes to the District’s long term sustainability by supporting the social-well being of school students, community soccer clubs, community field sports groups and the greater community’s recreation needs.

6.3 Public Engagement and Outreach

*Notification*

Should the proposal advance, owners and occupants of properties located within 50 m of the subject site will be notified of the proposed

Development Variance Permit in accordance with the Development Procedures Bylaw No. 4940, 2017.

*Website*

In alignment with current practice, a description of the proposal will be posted online. Applicable dates will be updated should the proposal advance.

- 6.4 Other Communication, Consultation, and Research  
Not applicable.

**7.0 Options**

- 7.1 Recommended Option

At the time of consideration of this report, Council may:


- a) Set the date for consideration of the application (recommended); or


- 7.2 Considered Options

- a) set a date for consideration of the application and request that public notification occur and/or additional information (to be specified) be provided and available to assist in consideration of the application; or  
b) defer further consideration pending receipt of additional information (to be specified); or  
c) reject the application.

**8.0 Conclusion**

The proposed sports bubble project requires variances. Subject to public input, staff recommend that proposed Development Variance Permit No. 24-015 be advanced to consideration and approved by Council.

Author:   
Erika Syvokas, Community Planner

Concurrence   
Michelle McGuire, Senior Manager of Current Planning and Urban Design

Appendices:

- A – Proposed Development Variance Permit 24-015  
B – Context Plan

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## District of West Vancouver Development Variance Permit No. 24-015

**Current Owner(s):** THE BOARD OF SCHOOL TRUSTEES DISTRICT NO.45  
AND THE BOARD OF EDUCATION OF SCHOOL DISTRICT  
NO.45

**This Development Variance Permit applies to:**

**Civic Address:** 1735 INGLEWOOD AVENUE

**Legal Description:** 015-956-202  
THE EAST 165 FEET OF THE SOUTH WEST 1/4 OF  
DISTRICT LOT 1061 GROUP 1 NEW WESTMINSTER  
DISTRICT

AND

015-956-211  
THE SOUTH EAST 1/4 OF DISTRICT LOT 1061 GROUP 1  
NEW WESTMINSTER DISTRICT

(the "Lands")

- 
- 1.0 For the purposes of this Development Variance Permit, the Lands shall be developed in substantial compliance with the drawings approved by Council, attached as Schedule "A".
  - 2.0 This Development Variance Permit is issued and varies and supplements the District's Zoning Bylaw No. 4662, 2010, as amended, in accordance with plans attached as Schedule "A".
  - 3.0 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development variance permit to Director of Planning and Development Services (or designate). Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.
  - 4.0 This Development Variance Permit lapses if construction of the additions and renovations has not commenced, under an issued Building Permit, within 24 months of the date this permit is issued.

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THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY  
RESOLUTION PASSED ON

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MAYOR

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CORPORATE OFFICER

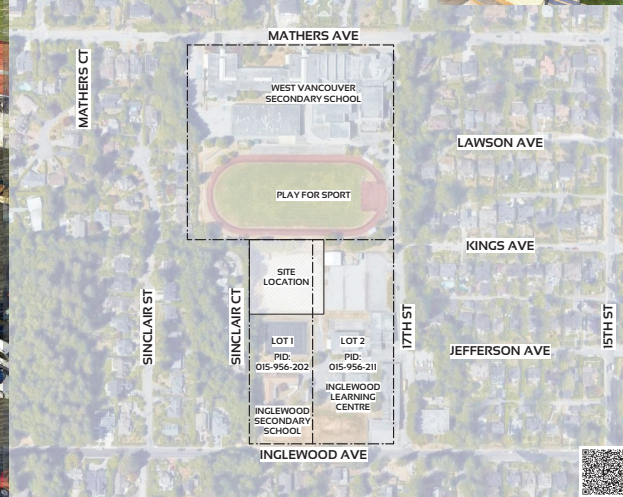
THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS  
ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT  
OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

**FOR THE PURPOSES OF SECTION 4.0, THIS PERMIT IS ISSUED ON \_\_\_\_\_.**

Schedules:

A – Development Plans prepared by Longpre Architecture Inc. revision dated  
September 16, 2024



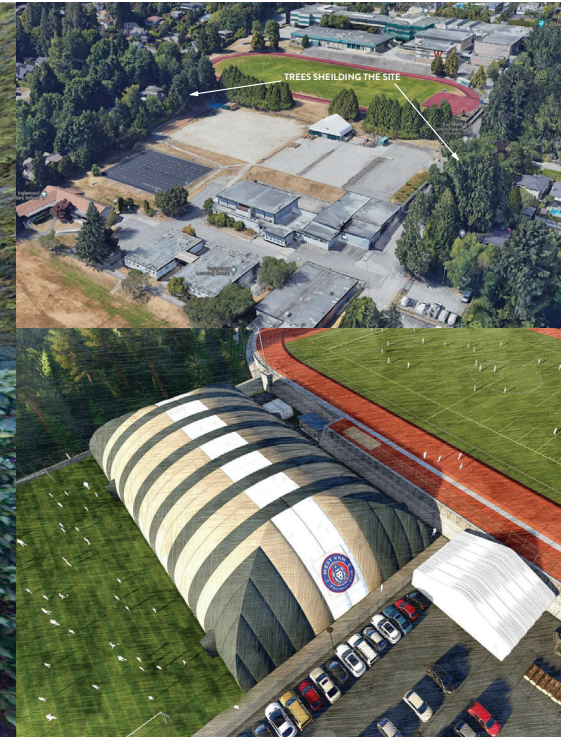
**GENERAL NOTES**

1. ALL CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH THE LATEST NATIONAL, BRITISH COLUMBIA AND LOCAL CODES, REGULATIONS AND STANDARDS THAT SPECIFICALLY AFFECT THIS PROJECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS, DATA AND SITE CONDITIONS, PROVIDED BY OWNER AND PROFESSIONALS. CONTRACTOR WILL PROCEED AT HIS/HER OWN RISK AND WITHOUT LIABILITY TO PROFESSIONALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONFLICTS/CONTRADICTIONS WITH DIMENSIONS AND CONDITIONS PROVIDED BY PROFESSIONALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT INCLUDING BUILDING PERMITS, ZONING VARIANCES, AND ANY NECESSARY ENVIRONMENTAL PERMITS. ALL PERMITS, APPROVALS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH OBTAINING SUCH PERMITS AND APPROVALS.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE FEATURES, ADJACENT PROPERTIES, AND UTILITIES DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO TREES AND CRITICAL ROOT ZONE PROTECTION.
5. THE CONTRACTOR SHALL ENSURE ALL WORK IS COMPLETED IN PLACE AND MAINTAINS SAFE WORKING ENVIRONMENT THROUGHOUT THE PROJECT. IN ACCORDANCE WITH WORKSAFE BC AND OTHER APPLICABLE REGULATIONS.
6. ALL MATERIALS, EQUIPMENT, AND INSTALLATIONS SHALL BE NEW AND OF GOOD QUALITY, CONFORMING TO SPECIFIC STANDARDS, MANUFACTURER'S RECOMMENDATIONS AND LOCAL BYLAWS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND SUBCONTRACTORS THROUGHOUT THE PROJECT.
8. ANY CHANGES OR DEVIATIONS FROM THE CONTRACT DOCUMENTS WILL BE APPROVED BY THE ARCHITECT IN WRITING BEFORE IMPLEMENTATION.
9. THE CONTRACTOR SHALL PROVIDE A MINIMUM 90-DAY WARRANTY ON ALL WORKMANSHIP AND MATERIALS COMMENCING FROM THE DATE OF SUBstantial COMPLETION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A CLEAN AND ORGANIZED SITE THROUGHOUT THE PROJECT. ALL DEBRIS MUST BE STORED IN THE DESIGNATED AREAS AND WASTE MATERIALS ADEQUATELY PACKED AND REMOVED WITHIN 24 HOURS OF REMOVAL.
11. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONDITIONS THAT MAY AFFECT THE PERFORMANCE OF THE WORK. ANY SUCH CONDITIONS WILL BE RECORDED AND APPROVED BY THE ARCHITECT IN WRITING. THE ARCHITECT'S APPROVAL DOES NOT CONSTITUTE A GUARANTEE OF THE PERFORMANCE OF THE WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH OBTAINING PERMITS, APPROVALS, AND REGULATIONS.
13. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT COVERAGE AS REQUIRED BY THE CONTRACT AND APPLICABLE LAWS AND REGULATIONS.
14. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL UTILITIES AND SERVICES AS REQUIRED BY THE CONTRACT AND APPLICABLE LAWS AND REGULATIONS.
15. THE CONTRACTOR SHALL PROTECT AND PRESERVE EXISTING BUILDING ELEMENTS AND FINISHES DESIGNATED TO REMAIN IN PLACE, AS INDICATED ON THE DRAWINGS, AND SHALL REPAIR OR REPLACE ANY DAMAGED EXISTING CONSTRUCTION.
16. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND OWNER TO VERIFY THE SCOPE OF EXISTING MATERIALS, SUCH AS MATERIALS OF LEAD-BASED PAINT, AND FOLLOW PROPER PROCEDURES FOR REMOVAL, CONTAINMENT, OR ABANDONMENT AS REQUIRED BY APPLICABLE REGULATIONS.
17. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OR RECYCLING OF ALL WASTE MATERIALS IN ACCORDANCE WITH LOCAL BYLAWS AND ENVIRONMENTAL REGULATIONS.
19. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCES AND FACILITIES AS REQUIRED, TO MAINTAIN CONTINUED CONFORMANCE WITH EXISTING REGULATIONS DURING THE RECONSTRUCTION WORK.
20. ALL WORK SHALL BE SUBJECT TO INSPECTION AND TESTING TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND APPLICABLE CODES AND STANDARDS.
21. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PROVIDING NECESSARY PERMITS, APPROVALS, AND TOOLS, AND FOR OBTAINING ANY REQUIRED SPECIAL APPROVALS AS REQUIRED BY APPLICABLE REGULATIONS.
22. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO CONDUCT THEIR OWN INSPECTIONS AND TESTS AT ANY TIME, AND THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY WORK THAT DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT THE CONTRACTOR'S COST TO THE OWNER.
23. THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS COMPLETED AND MEETS THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE FINAL INSPECTION BY THE OWNER AND ARCHITECT.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH CORRECTING OR REPAIRING WORK TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS DURING FINAL INSPECTION.
25. UNLESS OTHERWISE NOTED, A DETAIL INDICATES THE GENERAL INTENT AND APPLICATION OF WORK. ALL LOCATIONS REFERRED TO MUST BE IDENTIFIED ON ALL DIMENSIONED WORK. WORK MUST BE COMPLETED IN A MANNER CONSISTENT WITH THE DETAILS PROVIDED. ANY DEVIATIONS FROM THE REQUIREMENTS MUST BE APPROVED IN WRITING BY THE ARCHITECT OR OWNER.

LONGPRE ARCHITECTURE	
1600 - 701 W GEORGIA ST, VANCOUVER, BC V7Y 1C5 1.604.240.7997 info@longprearchitecture.ca	
<b>DEVELOPMENT PERMIT</b>	
<b>A</b>	ISSUED FOR DEVELOPMENT 2024-05-21
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VIEW OF BUBBLE FROM SINCLAIR CT



VIEW OF BUBBLE LOOKING WEST

## DESIGN RATIONALE

### CONTEXT

Located in a vibrant community deeply invested in sports and youth development, the proposed WV Football Bubble Project represents a collaborative venture that ties together West Vancouver Football Club (WVFC), and West Vancouver Secondary School. This partnership underscores a shared commitment to enhancing the local infrastructure for sports and supporting the growing demand for youth football programs in West Vancouver.

Founded in 1920, WVFC has long been a bastion for cultivating football talent and promoting sportsmanship among the youth. The club's historical significance and sustained community involvement make it an integral part of West Vancouver's cultural fabric. With the global spotlight on football, heightened by Vancouver's selection as a FIFA host city, the need for adequate facilities to foster and harness local talent has never been more pronounced.

The partnership with West Vancouver Secondary School is particularly strategic, leveraging the school's central location and existing facilities to maximize the project's impact. This collaboration not only facilitates logistical advantages, such as shared use of space and resources, but also fosters a stronger community connection. The school's engagement provides a direct link to potential young athletes and ensures that the project aligns with the educational and developmental goals of local youth.

In addition to serving WVFC and the secondary school, the Football Bubble Project aims to create a hub for various sporting activities that will be accessible year-round. This initiative is particularly crucial for the wet and colder months, where options for indoor sports facilities remain limited in the region. By introducing the first covered artificial turf field in West Vancouver's history, the project not only fills a critical gap in the local sports landscape but also sets a precedent for future developments in community-oriented sports infrastructure.

This project's integration into the community, surrounded by the natural beauty of creeks and large trees, ensures minimal impact on neighboring residences. The existing Play for Sport retaining walls, which are nearly the same height as the proposed inflatable bubble, further minimize visual intrusiveness. The bubble's design allows for seasonal adjustments, with the possibility of being dismantled during the summer months to maintain the area's aesthetic during less inclement weather, though it may remain erected year-round as needed due to varying climatic conditions.

### BUILT FORM

In designing the WVFC Dome, we conducted a comprehensive study of both local and international inflatable structures. Our findings highlighted a prevalent issue: many existing designs lack a connection with their environments, presenting an industrial, impersonal aesthetic. Located in West Vancouver, a region celebrated for its scenic beauty and community focus, the Dome presented a unique opportunity to redefine what an inflatable sports structure could be.

The design approach for the WVFC Dome was inspired by the natural palette surrounding the site. To seamlessly integrate the structure into its environment, we selected colors that evoke both warmth and elegance: Farrow & Ball's Hague Blue, a rich, faded blue, and Mouse's Back, a light, warm brown tone. These choices help the dome blend with the landscape, enhancing rather than overpowering its natural setting.

The construction technique typically used for air domes involves welding strips together. Drawing on my British heritage and the historical roots of football, I introduced a tartan-like pattern across these strips. This design not only adds an aesthetic layer resembling basketweave but also instills a sense of structural integrity and familiarity, reminiscent of traditional sports architecture.

A distinctive feature of our design is the incorporation of a translucent material forming a central stripe that runs the length of the dome. This choice aims to enhance the natural lighting within, reconnecting players and spectators with their environment. During the day, this stripe allows daylight to penetrate, enriching the interior with a sense of space and time. At night, it becomes a visual spectacle, appearing white from the outside while projecting the silhouettes of surrounding trees from the inside, fostering a dynamic interaction between the structure and its natural setting.

Additional functional enhancements include fencing to protect the dome from potential damage and unauthorized access. We have also designated areas for fenced-off storage facilities and a mechanical pad, essential for the structure's maintenance and operation. Furthermore, our designs leave space for the addition of a future bathroom facility, which is currently subject to available funding. These elements are integral to ensuring the dome's functionality and security, while maintaining its aesthetic appeal and environmental synergy.

### EFFECT ON NEIGHBOURS AND RESIDENCE

The proposed WVFC Dome is thoughtfully designed to respect and integrate seamlessly with its natural and built environment. The site is strategically surrounded by creeks and densely populated with tall trees on all sides, which naturally screen the structure from nearby residences, significantly reducing visual impact.

The height of the WVFC Dome is carefully considered to ensure it is only slightly taller than the existing Play-For-Sport retaining walls, which are already approved and under construction. These walls are quite tall, and the presence of the dome will soften the hardscape of the retaining wall, making the additional height of the dome less intrusive. Furthermore, Play-For-Sport's recent initiative to plant additional trees near Sinclair Ct enhances this natural barrier.

The mature trees and dense brush along Sinclair Ct effectively obscure views from nearby homes, ensuring that the dome remains largely hidden from view. It is important to note also that Sinclair Ct is lower than our site which further will ensure the dome is covered by the foliage along this street. From the eastern side of the lot, the dome is similarly shielded by natural vegetation.

The topographical differences ensure that the structure is also minimally visible from Inglewood Ave, if at all noticeable and will not be visible at all from Mathers Ave.

In addition to these natural and structural mitigations, the design of the dome itself prioritizes aesthetic harmony with the surrounding landscape. Its colors and materials are chosen to blend with the natural environment, making it a visually appealing addition rather than an eyesore.


Given the comprehensive design and strategic placement of the dome, we also recommend that the accompanying parking lot developments, managed by West Vancouver Secondary School, include the planting of additional trees. This would not only enhance the visual buffer but also contribute to the overall sustainability and ecological benefits of the project area.

### PARKING

In response to the unique needs of the WVFC Sports Bubble, we have developed a parking management strategy that aligns with the varying operational hours and minimizes impact on the local community. During regular school hours, the sports bubble will be primarily utilized by students from West Van Secondary who are expected to access the facility on foot, thereby not contributing to any additional vehicle traffic.


For activities scheduled outside of school hours—including evenings, weekends, and during school closures—parking requirements change significantly. Our strategy includes the use of an adjacent parking lot, which offers about 96 spaces, primarily reserved for the school district and the Kay Meek center. To supplement this, we have designed a "Drop Off Only" zone at the main entrance of the bubble to streamline vehicle flow and reduce congestion. Additional parking options have been organized to accommodate bubble users effectively: a nearby small lot provides 16 spaces, on-street parking along 17th Street adds 10 to 12 spots, and 13 more spaces are available on the north side of Inglewood outside school hours.

These measures collectively offer around 40 parking spots, which are expected to meet the demands of the bubble during its busiest times. By carefully coordinating these resources and maintaining clear communication with the School District, we ensure that our parking plan supports smooth operations and minimizes disruption to both the school and local residents.



**LONGPRE ARCHITECTURE**

1600 - 701 W GEORGIA ST. VANCOUVER, BC V7Y 1C6  
1.604.240.7992 info@longprearchitecture.ca

STATUS	<b>DEVELOPMENT PERMIT</b>	
A	ISSUED FOR DEVELOPMENT PERMIT	2024-05-21
B	RE ISSUED FOR DEVELOPMENT PERMIT	2024-06-04
C	RE ISSUED FOR DEVELOPMENT PERMIT	2024-09-16
NEIGHBOURS		
CONSULTANT		
DRAWN BY	DAVID L.	SCALE
PLOT DATE	9/16/2024	
GENERAL NOTES	<p>All drawings and designs are the exclusive property of Longpre Architecture Inc. and may not be used or reproduced without written consent. Do not scale drawings; written dimensions take precedence. The contractor must verify existing conditions and dimensions, report discrepancies to Longpre Architecture Inc. before starting work, and read these drawings in conjunction with other Contract Documents. Use these documents for construction only when expressly noted. Ensure proper coordination with all relevant disciplines and trades for accurate and comprehensive implementation of the project.</p>	
CLIENT		
PROJECT NAME	<b>WVFC SOCCER BUBBLE</b>	
ADDRESS	1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8	
DRAWING	<b>RATIONALE</b>	
PROJECT ID #	2022-01	SCALE
		NTS
SHEET	<b>A001</b>	

**BUILDING INFORMATION:**

**MUNICIPAL ADDRESS:** 1735 INGEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8  
**LEGAL DESCRIPTION:** LOT: 1061 BLOCK: 26 PID: 015-956-2028 015-956-211  
**LAND USE:** ASSEMBLY (A) - (A3) - ASSEMBLY OF THE ARENA TYPE  
**BUILDING AREA:** 2481 SQM  
**BUILDING HEIGHT:** 1 STOREY  
**SPRINKLERED:** NO  
**# OF STREETS FACING:** FACING 1 STREET, FO ACCESS ROUTE TO BE CONSIDERED. (3.2.2)(02)  
**MAJOR OCCUPANCIES:** GROUP A, DIVISION 3 - ASSEMBLY OF ARENA TYPE (3.1.2)

**CONSTRUCTION TYPE:** CONSTRUCTION IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION  
**FLOOR ASSEMBLIES:** NOT APPLICABLE  
**COLUMNS & LOAD BEARING WALLS:** NOT APPLICABLE  
**SCOPE OF WORK AREA:** NET: 810.39 SQM / 8,723 SQFT GROSS: 847.83 SQM / 9,126 SQFT

**BUILDING CODE ANALYSIS:**

**BUILDING CODE USED:** BC BUILDING CODE 2024

**3.1.2.1 CLASSIFICATION OF BUILDINGS**  
 1) EXCEPT AS PERMITTED BY ARTICLES 3.1.2.1 TO 3.1.2.5, EVERY BUILDING OR PART THEREOF SHALL BE CLASSIFIED ACCORDING TO ITS MAJOR OCCUPANCY AS BELONGING TO ONE OF THE GROUPS OR DIVISIONS DESCRIBED IN TABLE 3.1.2.1. (SEE NOTE A-3.1.2.1(0))

**TABLE 3.1.2.1 MAJOR OCCUPANCY CLASSIFICATION**  
 GROUP A: ASSEMBLY OCCUPANCIES OF THE ARENA TYPE

**3.1.18. TENTS AND AIR-SUPPORTED STRUCTURES**  
**3.1.18.1 MEANS OF EGRESS**  
 1) TENTS AND AIR-SUPPORTED STRUCTURES SHALL CONFORM TO SECTIONS 3.3. AND 3.4  
**3.1.18.2 RESTRICTIONS**  
 1) AN AIR SUPPORTED STRUCTURE SHALL NOT BE LOCATED ABOVE THE FIRST STOREY ON ANY BUILDING  
 2) AN AIR-SUPPORTED STRUCTURE SHALL NOT BE USED FOR GROUPS B,C OR GROUP F, DIVISION 1 MAJOR OCCUPANCIES OR FOR CLASSROOMS  
 3) AN AIR-SUPPORTED STRUCTURE SHALL BE DESIGNED AS AN OPEN FLOOR SPACE WITHOUT INTERIOR WALLS, MEZZANINES, INTERMEDIATE FLOORS OR SIMILAR CONSTRUCTION.  
**3.1.18.3 CLEARANCE TO OTHER STRUCTURES**  
 1) EXCEPT AS PERMITTED BY SENTENCES (2)(3) AND (4), EVERY TENT AND AIR-SUPPORTED STRUCTURE SHALL CONFORM TO SUBSECTION 3.2.3  
 2) TENTS AND AIR-SUPPORTED STRUCTURES  
 A) SHALL NOT BE ERRECTED CLOSER THAN 3M TO OTHER STRUCTURES ON THE SAME PROPERTY EXCEPT AS PERMITTED BY SENTENCES (3) AND (4), AND  
**3.1.18.4 CLEARANCE TO FLAMMABLE MATERIAL**  
 1) THE GROUND ENCLOSED BY A TENT OR AIR-SUPPORTED STRUCTURE AND NOT LESS THAN 3M OF GROUND OUTSIDE THE STRUCTURE SHALL BE CLEARED OF ALL FLAMMABLE MATERIAL OR VEGETATION THAT WILL SPREAD FIRE.  
**3.1.18.5 FLAME RESISTANCE**  
 1) EVERY TENT AND AIR-SUPPORTED STRUCTURE AND ALL TARPULINS AND DECORATIVE MATERIALS USED IN CONNECTION WITH THESE STRUCTURES SHALL CONFORM TO CANULC-5109 "FLAME TESTS OF FLAME-RESISTANCE FABRICS AND FILMS"  
**3.1.18.6 EMERGENCY AIR SUPPLY**  
 NOT APPLICABLE.

**3.1.18.7 ELECTRICAL SYSTEMS**  
 1) THE ELECTRICAL SYSTEM AND EQUIPMENT IN A TENT OR AIR SUPPORTED STRUCTURE, INCLUDING ELECTRICAL FUSES AND SWITCHES, SHALL BE INACCESSIBLE TO THE PUBLIC  
 2) CABLES ON THE GROUND IN AREAS USED BY THE PUBLIC IN A TENT OR AIR-SUPPORTED STRUCTURE SHALL BE PLACED IN TRENCHES OR PROTECTED BY COVERS TO PREVENT DAMAGE FROM TRAFFIC.  
**3.1.17.1 OCCUPANT LOAD DETERMINATION**  
 1) THE OCCUPANT LOAD OF A FLOOR AREA OR PART OF A FLOOR AREA SHALL BE BASED ON  
 A) THE NUMBER OF SEATS IN AN ASSEMBLY OCCUPANCY HAVING FIXED SEATS,  
 B) 2 PERSONS PER SLEEPING ROOM IN A DWELLING UNIT (N/A), OR  
 C) THE NUMBER OF PERSONS FOR WHICH THE AREA IS DESIGNED, BUT NOT LESS THAN THAT DETERMINED FROM TABLE 3.1.17.1.FOR OCCUPANCIES OTHER THAN THOSE DESCRIBED IN CLAUSES (A) AND (B), UNLESS IT CAN BE SHOWN THAT THE AREA WILL BE OCCUPIED BY FEWER PERSONS.  
 2) IF A FLOOR AREA OR PART THERE OF HAS BEEN DESIGNED FOR AN OCCUPANT LOAD OTHER THAN THAT DETERMINED FROM TABLE 3.1.17.1, A PERMANENT SIGN INDICATING THAT OCCUPANT LOAD SHALL BE POSTED IN A CONSPICUOUS LOCATION.

OCCUPANT LOAD CALCULATIONS AS PER BCBC 3.1.17.1					
MAJOR OCCUPANCY AREA (SQM)	ARC FACTOR (SQM)	CALCULATED OCCUPANT LOAD	ANTI-CIPED OCCUPANT LOAD	TOTALS	
ASSEMBLY OCCUPANCY ARENA (A3) (BCBC 3.1.2.1)	2480.79	0.6	1488	200	200
TOTAL	2480.79	0.6	1488.474	200	200

**3.2.2.2 SPECIAL AND UNUSUAL STRUCTURES**  
 1) A STRUCTURE THAT CANNOT BE IDENTIFIED WITH THE CHARACTERISTICS OF A BUILDING IN ARTICLES 3.2.2.20 TO 3.2.2.90, SHALL BE PROTECTED AGAINST FIRE SPREAD AND COLLAPSE IN CONFORMANCE WITH GOOD FIRE PROTECTION ENGINEERING PRACTICE.

**3.2.5.5. LOCATION OF ACCESS ROUTES**  
 1) ACCESS ROUTES REQUIRED BY ARTICLE 3.2.5.4, SHALL BE LOCATED SO THAT THE PRINCIPAL ENTRANCE AND EVERY ACCESS OPENING REQUIRED BY ARTICLES 3.2.5.1 AND 3.2.5.2, ARE LOCATED NOT LESS THAN 3 M AND NOT MORE THAN 15 M FROM THE CLOSEST PORTION OF THE ACCESS ROUTE REQUIRED FOR FIRE DEPARTMENT USE, MEASURED HORIZONTALLY FROM THE FACE OF THE BUILDING.  
 2) ACCESS ROUTES SHALL BE PROVIDED TO A BUILDING SO THAT  
 B) FOR A BUILDING NOT PROVIDED WITH A FIRE DEPARTMENT CONNECTION, A FIRE DEPARTMENT PUMPER VEHICLE CAN BE LOCATED SO THAT THE LENGTH OF THE ACCESS ROUTE FROM A HYDRANT TO THE VEHICLE PLUS THE UNOBSTRUCTED PATH OF TRAVEL FOR THE FIRE FIGHTER FROM THE HYDRANT TO THE BUILDING IS NOT MORE THAN 90M, AND  
 C) THE UNOBSTRUCTED PATH OF TRAVEL FOR THE FIRE FIGHTER FROM THE VEHICLE TO THE BUILDING IS NOT MORE THAN 150 M.  
 3) THE UNOBSTRUCTED PATH OF TRAVEL FOR THE FIRE FIGHTER REQUIRED BY SENTENCE (2) FROM THE VEHICLE TO THE BUILDING SHALL BE MEASURED FROM THE VEHICLE TO THE FIRE DEPARTMENT CONNECTION PROVIDED FOR THE BUILDING, EXCEPT THAT IF NO FIRE DEPARTMENT CONNECTION IS PROVIDED, THE PATH OF TRAVEL SHALL BE MEASURED TO THE PRINCIPAL ENTRANCE OF THE BUILDING  
**3.4.3.2. EXIT WIDTH**  
 8) THE MINIMUM WIDTHS OF EXITS SHALL CONFORM TO TABLES 3.4.3.2 - A AND 3.4.3.2 - B  
 TABLE 3.4.3.2 - MINIMUM WIDTHS OF EXIT CORRIDORS, PASSAGEWAYS, RAMPS, STAIRS AND DOORWAYS IN GROUP A, GROUP B, DIVISION 1, EXIT PASSAGEWAYS, 100MM, DOORWAYS, 850MM AND GROUPS C, D, E AND DOORWAYS FORMING PART OF SENTENCE 3.4.3.2.(8); STAIRS WIDTH REQUIRED 100 MM.  
**3.4.2.5. LOCATION OF EXITS**  
 1) EXCEPT AS PERMITTED BY SENTENCES (2) AND 3.3.2.5.(6), IF MORE THAN ONE EXIT IS REQUIRED FROM A FLOOR AREA, THE EXITS SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN  
 F) 30M IN ANY FLOOR AREA OTHER THAN THOSE REFERRED TO IN CLAUSES (A) TO (E)  
**3.4.3.4. HEADROOM CLEARANCE**  
 (SEE NOTE A-3.4.3.4.)  
 1) EXCEPT AS PERMITTED BY SENTENCES (4) AND (5), EVERY EXIT SHALL HAVE A CLEAR HEIGHT OVER THE CLEAR WIDTH OF THE EXIT OF NOT LESS THAN 2 050 MM.  
 2) THE CLEAR HEIGHT OF STAIRWAYS SHALL BE MEASURED VERTICALLY OVER THE CLEAR WIDTH OF THE STAIRWAY, FROM THE STRAIGHT LINE TANGENT TO THE TREAD AND LANDING NOSINGS TO THE LOWEST ELEMENT ABOVE. (SEE NOTE A-3.4.3.7.)  
 3) THE CLEAR HEIGHT OF LANDINGS SHALL BE MEASURED WITHIN THE CLEAR WIDTH OF THE LANDING VERTICALLY TO THE LOWEST ELEMENT ABOVE.  
 4) EXCEPT AS PERMITTED BY SENTENCE (6), THE HEADROOM CLEARANCE FOR DOORWAYS SHALL BE NOT LESS THAN 2 030 MM.  
 5) NO DOOR CLOSER OR OTHER DEVICE SHALL BE INSTALLED SO AS TO REDUCE THE HEADROOM CLEARANCE OF A DOORWAY TO LESS THAN 1 980 MM.  
**3.4.5.1. EXIT SIGNS**  
 1) EVERY EXIT DOOR SHALL HAVE AN EXIT SIGN PLACED OVER OR ADJACENT TO IT IF THE EXIT SERVES  
 B) A BUILDING HAVING AN OCCUPANT LOAD OF MORE THAN 150,  
 C) A ROOM OR FLOOR AREA THAT HAS A FIRE ESCAPE AS PART OF REQUIRED MEANS OF EGRESS  
 2) EVERY EXIT SIGN SHALL  
 A) BE VISIBLE ON APPROACH TO THE EXIT  
**3.4.5.2. EXIT SIGNS WITH TACTILE INFORMATION**  
 1) AN EXIT SIGN DISPLAYING THE WORD "EXIT" IN TACTILE FORM THAT COMPLIES WITH SUBSECTION 3.8.3. SHALL BE MOUNTED ON THE APPROACH SIDE OF EXIT DOORS DESCRIBED IN SENTENCE 3.4.5.1(0), IN THE DIRECTION OF TRAVEL TO THE EXIT.  
**3.4.6.1. SLIP RESISTANCE OF RAMPS AND STAIRS**  
 1) THE SURFACES OF RAMPS, AND LANDINGS AND TREADS  
 A) SHALL HAVE A FINISH THAT IS SLIP RESISTANT, AND  
 B) IF ACCESSIBLE TO THE PUBLIC, SHALL HAVE EITHER A COLOUR CONTRAST OR A DISTINCTIVE PATTERN, READILY VISIBLE FROM BOTH DIRECTIONS OF TRAVEL, TO DEMARKATE THE LEADING EDGE OF THE TREAD AND THE LEADING EDGE OF THE LANDING, AS WELL AS THE BEGINNING AND END OF A RAMP.  
 2) TREADS AND LANDINGS OF EXTERIOR EXIT STAIRS MORE THAN 10 M HIGH SHALL BE DESIGNED TO BE FREE OF ICE AND SNOW ACCUMULATIONS.  
**3.4.6.4. DIMENSIONS OF LANDINGS**  
 (SEE NOTE A-3.4.6.4.)  
 1) EXCEPT AS PROVIDED IN SENTENCE (2), A LANDING SHALL BE AT LEAST AS WIDE AND AS LONG AS THE WIDTH OF THE STAIRWAY IN WHICH IT OCCURS.  
 2) IN A STRAIGHT STAIRWAY AND IN A STAIRWAY THAT TURNS LESS THAN 90°, THE LENGTH OF THE LANDING NEED NOT BE MORE THAN THE LESSER OF  
 A) THE REQUIRED WIDTH OF STAIR, OR  
 B) 1100 MM.  
 3) THE LENGTH OF A LANDING SHALL BE MEASURED PERPENDICULAR TO THE NOSING OF ADJACENT STEPS, AT A DISTANCE EQUAL TO HALF THE LENGTH REQUIRED IN SENTENCE (2), FROM THE NARROW EDGE OF THE LANDING.  
**3.4.6.5. HANDRAILS**  
 1) ONE HANDRAIL SHALL BE PROVIDED ON STAIRS THAT ARE LESS THAN 1100 MM IN WIDTH.  
 2) ONE HANDRAIL SHALL BE PROVIDED ON EACH SIDE OF  
 A) STAIRS THAT ARE 1100 MM OR MORE IN WIDTH,  
 C) RAMPS,  
 3) IN ADDITION TO SENTENCE (2), INTERMEDIATE HANDRAILS SHALL BE PROVIDED SO THAT  
 A) A HANDRAIL IS REACHABLE WITHIN 750 MM OF ALL PORTIONS OF THE REQUIRED EXIT WIDTH,  
 B) AT LEAST ONE PORTION OF THE STAIR OR RAMP BETWEEN TWO HANDRAILS IS THE MINIMUM WIDTH REQUIRED FOR STAIRWAYS OR RAMPS (SEE SENTENCES 3.4.3.2.(8) AND 3.4.3.3.(4)) AND C) ALL OTHER PORTIONS OF THE STAIR OR RAMP BETWEEN TWO HANDRAILS HAVE A CLEAR WIDTH OF 310 MM OR MORE.  
 4) WHERE A STAIR OR RAMP IS WIDER THAN ITS REQUIRED EXIT WIDTH, HANDRAILS SHALL BE LOCATED ALONG THE MOST DIRECT PATH OF TRAVEL. (SEE NOTE A-3.4.6.5.(4))  
 5) HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THEIR ENTIRE LENGTH, BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS, AND HAVE  
 A) A CIRCULAR CROSS-SECTION WITH AN OUTSIDE DIAMETER NOT LESS THAN 30 MM AND NOT MORE THAN 50 MM, OR BRITISH COLUMBIA BUILDING CODES 2024 DIVISION B 3-241 3.4.6.6.  
 B) A NON-CIRCULAR CROSS-SECTION WITH A PERIMETER NOT LESS THAN 100 MM AND NOT MORE THAN 160 MM AND WHOSE LARGEST CROSS-SECTIONAL DIMENSION IS NOT MORE THAN 57 MM.  
 6) THE HEIGHT OF HANDRAILS ON STAIRS, ON AISLES WITH STEPS AND ON RAMPS SHALL BE MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO  
 A) A STRAIGHT LINE DRAWN TANGENT TO THE TREAD NOSINGS OF THE STAIR OR AISLE STEP SERVED BY THE HANDRAIL (SEE NOTE A-3.4.6.7.(4)), OR  
 B) THE SURFACE OF THE RAMP, FLOOR OR LANDING SERVED BY THE HANDRAIL.  
 7) EXCEPT AS PROVIDED IN SENTENCES (8) AND (9), THE HEIGHT OF HANDRAILS ON STAIRS, ON AISLES WITH STEPS AND ON RAMPS SHALL BE  
 A) NOT LESS THAN 865 MM, AND  
 B) NOT MORE THAN 1 070 MM.  
 8) HANDRAILS INSTALLED IN ADDITION TO REQUIRED HANDRAILS NEED NOT COMPLY WITH SENTENCE (7).  
 9) REQUIRED HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE THROUGHOUT THE LENGTH OF A RAMP, AND  
 A) A FLIGHT OF STAIRS, FROM THE BOTTOM RISER TO THE TOP RISER. (SEE NOTE A-9.8.7.2.)

10) EXCEPT WHERE INTERRUPTED BY DOORWAYS, AT LEAST ONE HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF A STAIRWAY OR RAMP, INCLUDING AT LANDINGS.  
 11) HANDRAILS SHALL BE TERMINATED IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL OR CREATE A HAZARD. (SEE NOTE A-3.4.6.5.(10)).  
 12) AT LEAST ONE HANDRAIL AT THE SIDE OF A STAIRWAY OR RAMP SHALL EXTEND HORIZONTALLY NOT LESS THAN 300 MM BEYOND THE TOP AND BOTTOM OF THE STAIRWAY OR RAMP.  
 13) THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN  
 A) 50 MM, OR  
 B) THE SURFACE BEHIND THE HANDRAIL IS ROUGH OR ABRASIVE.  
 14) HANDRAILS AND THEIR SUPPORTS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND THE LOADING VALUES SPECIFIED IN SENTENCE 4.15.14.(7).  
**3.4.6.8. TREADS AND RISERS**  
 (SEE NOTE A-9.8.4.)  
 4) EXCEPT FOR STAIRS AND WHERE AN EXTERIOR STAIR ADJOINS A WALKWAY AS PERMITTED IN SENTENCE 3.4.6.3.(3), RISERS, MEASURED AS THE VERTICAL NOSING-TO-NOSING DISTANCE, SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT, WITH A MAXIMUM TOLERANCE OF 4.5 MM BETWEEN ADJACENT TREADS OR LANDINGS, AND  
 B) 10 MM BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT.  
 5) EXCEPT FOR FIRE ESCAPE STAIRS, TREADS SHALL HAVE A UNIFORM RUN WITH A MAXIMUM TOLERANCE OF A) 5 MM BETWEEN ADJACENT TREADS, AND B) 10 MM BETWEEN THE DEEPEST AND SHALLOWEST TREADS IN A FLIGHT.  
 6) TREADS AND RISERS SHALL NOT DIFFER SIGNIFICANTLY IN RUN AND RISE IN SUCCESSIVE FLIGHTS IN ANY STAIR SYSTEM.  
 7) THE SLOPE OF TREADS OR LANDINGS SHALL NOT EXCEED 1 IN 50.  
 8) EXCEPT AS PERMITTED BY SENTENCE (10), THE TOP OF THE NOSING OF STAIR TREADS SHALL HAVE A ROUNDED OR BEVELED EDGE EXTENDING NOT LESS THAN 6 MM AND NOT MORE THAN 13 MM MEASURED HORIZONTALLY FROM THE FRONT OF THE NOSING.  
 9) THE FRONT EDGE OF STAIR TREADS IN EXITS AND PUBLIC ACCESS TO EXITS SHALL BE AT RIGHT ANGLES TO THE DIRECTION OF EXIT TRAVEL.  
 10) IF RESILIENT MATERIAL IS USED TO COVER THE NOSING OF A STAIR TREAD, THE MINIMUM ROUNDED OR BEVELED EDGE REQUIRED BY SENTENCE (8) IS PERMITTED TO BE REDUCED TO 3 MM.  
**3.4.6.11. DOORS**  
 4) EXIT DOORS SHALL BE CLEARLY IDENTIFIABLE. (SEE NOTE A-3.4.6.11.(4))  
 5) NO DOOR LEAF IN AN EXIT DOORWAY WITH MORE THAN ONE LEAF SHALL BE LESS THAN 610 MM WIDE.  
**3.4.6.12. DIRECTION OF DOOR SWING**  
 1) EXCEPT FOR DOORS SERVING A SINGLE DWELLING UNIT AND EXCEPT AS PERMITTED BY SENTENCE (2), (3) AND ARTICLE 3.4.6.14, EVERY EXIT DOOR SHALL  
 A) OPEN IN THE DIRECTION OF EXIT TRAVEL, AND  
 B) SWING ON ITS VERTICAL AXIS.  
**3.4.6.13. SELF-CLOSING DEVICES**  
 1) AN EXIT DOOR IS NORMALLY REQUIRED TO BE KEPT CLOSED.  
 A) SHALL BE PROVIDED WITH A SELF-CLOSING MECHANISM AND  
 B) SHALL NEVER BE SECURED IN AN OPEN POSITION EXCEPT AS PERMITTED BY SENTENCE 3.1.14.(4).  
**3.4.6.12. WATER CLOSETS**  
 1) EXCEPT AS PERMITTED BY SENTENCE (4), WATER CLOSETS SHALL BE PROVIDED FOR EACH SEX ASSUMING THAT THE OCCUPANT LOAD IS EQUALLY DIVIDED BETWEEN MALES AND FEMALES, UNLESS THE PROPORTION OF EACH SEX EXPECTED IN THE BUILDING CAN BE DETERMINED WITH REASONABLE ACCURACY. (SEE NOTE A-3.7.2.2.(1)).

WATER CLOSET OCCUPANT LOAD		
OCCUPANT LOAD GROUP	200	100
PER SEX	2	2

UNIVERSAL 3.8.2.3		
REQUIRED	PROVIDED	
2	2	4

**SECTION 3.8 ACCESSIBILITY**  
**3.8.1. SCOPE**  
 1) THIS SECTION IS CONCERNED WITH THE DESIGN AND CONSTRUCTION OF BUILDINGS AND OCCUPANCIES TO MAKE THEM ACCESSIBLE.  
 2) BUILDINGS AND FACILITIES REQUIRED TO BE ACCESSIBLE IN ACCORDANCE WITH SUBSECTION 3.8.2, SHALL BE DESIGNED IN ACCORDANCE WITH SUBSECTION 3.8.3.  
**3.8.2.1. EXCEPTIONS**  
 1) EXCEPT AS REQUIRED BY SENTENCE (2), THE REQUIREMENTS OF THIS SECTION APPLY TO ALL BUILDINGS EXCEPT  
 A) DETACHED HOUSES, SEMI-DETACHED HOUSES, HOUSES WITH A SECONDARY SUITE, DUPLEXES, TRIPLEXES, TOWNHOUSES, ROWHOUSES AND BOARDING HOUSES (SEE NOTE A-3.8.2.1.(1) FOR DIVISION 3, SECONDARY SUITE),  
 B) BUILDINGS OF GROUP F, DIVISION 1 MAJOR OCCUPANCY, AND  
 C) BUILDINGS THAT ARE NOT INTENDED TO BE OCCUPIED ON A DAILY OR FULL-TIME BASIS, INCLUDING AUTOMATIC TELEPHONE EXCHANGES, PUBHOUSES AND SUBSTATIONS.  
 2) BUILDINGS DESCRIBED IN CLAUSE (1)(A) SHALL COMPLY WITH SENTENCE 3.8.5.1.(2).  
**3.8.2.2. ENTRANCES**  
 1) EXCEPT FOR SERVICE ENTRANCES AND ENTRANCES TO SUITES DESCRIBED IN CLAUSE 3.8.2.3.(2)(L), ALL PEDESTRIAN ENTRANCES TO AN ACCESSIBLE STOREY OF A BUILDING REFERRED TO IN SENTENCE 3.8.2.(1) SHALL BE ACCESSIBLE AND SHALL CONNECT TO AN ACCESSIBLE EXTERIOR PATH OF TRAVEL COMPLYING WITH SENTENCE 3.8.2.5.(1).  
 2) AN ACCESSIBLE ENTRANCE REQUIRED BY SENTENCE (1) SHALL BE DESIGNED IN ACCORDANCE WITH SUBSECTION 3.8.3.  
 3) AT AN ACCESSIBLE ENTRANCE THAT INCLUDES MORE THAN ONE DOORWAY, ONLY ONE OF THE DOORWAYS IS REQUIRED TO BE DESIGNED IN ACCORDANCE WITH SUBSECTION 3.8.3.

**3.8.2.3. AREAS REQUIRING ACCESS**  
 (SEE NOTE A-3.8.2.3.)  
 1) EXCEPT AS PERMITTED BY SENTENCE (2), ACCESS FROM THE ACCESSIBLE ENTRANCES REQUIRED BY SENTENCES 3.8.2.2.(1) AND (2) SHALL BE PROVIDED THROUGHOUT THE ENTRANCE STOREY OR STOREYS AND WITHIN ALL OTHER NORMALLY OCCUPIED FLOOR AREAS AS REQUIRED BY SENTENCE 3.8.2.1.(1).  
 2) EXCEPT AS REQUIRED BY SENTENCE (3), ACCESS IS NOT REQUIRED  
 J) WITHIN PORTIONS OF A FLOOR AREA WITH FIXED SEATS IN AN ASSEMBLY OCCUPANCY WHERE THOSE PORTIONS ARE NOT PART OF THE ACCESSIBLE PATH OF TRAVEL TO SPACES DESIGNATED FOR WHEEL CHAIR USE.

**3.8.2.7. POWER DOOR OPERATORS**  
 1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3) AND EXCEPT FOR DOORS PROVIDED WITH HOLD-OPEN DEVICES, DOORS EQUIPPED WITH A SELF-CLOSING DEVICE SHALL BE EQUIPPED WITH POWER DOOR OPERATORS COMPLYING WITH SUBSECTION 3.8.3 THAT ALLOW PERSONS TO ACTIVATE THE OPENING OF THE DOORS IN THE INTENDED DIRECTION OF TRAVEL WHERE THE DOORS ARE LOCATED  
 C) IN AN ENTRANCE TO AN ACCESSIBLE WASHROOM.  
**3.8.2.8. PLUMBING FACILITIES**  
 1) EXCEPT AS PERMITTED BY SENTENCE (3) AND (6), AT EACH LOCATION WHERE WASHROOMS ARE PROVIDED IN A STOREY TO WHICH AN ACCESSIBLE PATH OF TRAVEL IS REQUIRED IN ACCORDANCE WITH ARTICLE 3.8.2.3, AT LEAST ONE UNIVERSAL WASHROOM COMPLYING WITH SUBSECTION 3.8.3 SHALL BE PROVIDED. (SEE NOTE A-3.8.2.8.(1) TO (4).)  
 2) EXCEPT AS PERMITTED BY SENTENCE (3), WHERE MORE THAN TWO WATER CLOSETS OR A COMBINATION OF MORE THAN ONE WATER CLOSET AND ONE URINAL ARE PROVIDED IN A WASHROOM LOCATED IN A STOREY TO WHICH AN ACCESSIBLE PATH OF TRAVEL IS REQUIRED IN ACCORDANCE WITH ARTICLE 3.8.2.3, AT LEAST ONE WATER-CLOSET SHALL BE ACCESSIBLE IN ACCORDANCE WITH SUBSECTION 3.8.3. (SEE NOTE A-3.8.2.8.(1) TO (4).)  
 4) IN A BUILDING IN WHICH WATER CLOSETS ARE REQUIRED IN ACCORDANCE WITH SUBSECTION 3.7.2, AT LEAST ONE UNIVERSAL WASHROOM SHALL BE PROVIDED IN THE ENTRANCE STOREY, UNLESS  
 A) AN ACCESSIBLE PATH OF TRAVEL IS PROVIDED TO A UNIVERSAL WASHROOM ELSEWHERE IN THE BUILDING, OR  
 B) THE WATER CLOSETS REQUIRED BY SUBSECTION 3.7.2 ARE FOR DWELLING UNITS ONLY. (SEE NOTE A-3.8.2.8.(1)) (4).  
 5) AT LEAST ONE WATER-CLOSET STALL OR ENCLOSURE IN A WASHROOM REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH SUBSECTION 3.8.3.  
 6) WHERE URINALS ARE PROVIDED IN AN ACCESSIBLE WASHROOM, AT LEAST ONE URINAL FOR PERSONS WITH LIMITED MOBILITY CONFORMING TO SUBSECTION 3.8.3. SHALL BE PROVIDED FOR EVERY 10 URINALS.  
 7) WHERE WATER-CLOSET STALLS ARE PROVIDED IN AN ACCESSIBLE WASHROOM, AT LEAST ONE STALL FOR PERSONS WITH LIMITED MOBILITY CONFORMING TO SUBSECTION 3.8.3. SHALL BE PROVIDED FOR EVERY 10 STALLS.  
 8) AN ACCESSIBLE WASHROOM SHALL BE PROVIDED WITH A LAVATORY THAT COMPLIES WITH SUBSECTION 3.8.3.  
 9) WHERE MIRRORS ARE PROVIDED IN AN ACCESSIBLE WASHROOM, AT LEAST ONE MIRROR SHALL COMPLY WITH SUBSECTION 3.8.3.  
 10) AT EACH LOCATION WHERE ONE OR MORE WATER-BOTTLE FILLING STATIONS ARE PROVIDED, AT LEAST ONE OF THEM SHALL COMPLY WITH SUBSECTION 3.8.3.  
 12) EXCEPT WITHIN A SUITE OF CARE OCCUPANCY OR A SUITE OF 3.8.2.9,  
 10) IN OCCUPANCIES OR PARTS OF OCCUPANCIES DESIGNED TO BE ACCESSIBLE AND USED PREDOMINANTLY BY CHILDREN, IN PATIENT AREAS IN TREATMENT OCCUPANCIES, AND IN RESIDENT AREAS IN CARE OCCUPANCIES, IT IS PERMISSIBLE TO DESIGN AND LOCATE PLUMBING FIXTURES AND GRAB BARS DIFFERENTLY THAN DESCRIBED IN SUBSECTION 3.8.3. TO ACCOMMODATE THE SPECIAL NEEDS OF CHILDREN, PATIENTS, RESIDENTS, AND CARE PROVIDERS.

**3.8.2.9. ASSISTIVE LISTENING DEVICES**  
 1) IN A BUILDING OF ASSEMBLY OCCUPANCY, ALL CLASSROOMS, AUDITORIUMS, MEETING ROOMS AND THAN 100 M<sup>2</sup> SHALL BE EQUIPPED WITH AN ASSISTIVE LISTENING SYSTEM COMPLYING WITH SUBSECTION 3.8.3.  
**3.8.2.10. SIGNS AND INDICATORS**  
 1) UNLESS THE DEGREE OF ACCESS PROVIDED IS SUCH AS TO MAKE THESE SIGNS UNNECESSARY, SIGNS COMPLYING WITH SUBSECTION 3.8.3, SHALL BE INSTALLED IN AN ACCESSIBLE FLOOR AREA TO INDICATE THE LOCATION OF:  
 A) ACCESSIBLE ENTRANCES  
 B) ALTERNATIVE ACCESS ROUTES  
 C) ACCESSIBLE SEATING AREAS  
 D) ACCESSIBLE PARKING STALLS  
 K) ACCESSIBLE PASSENGER-LOADING ZONES

**3.8.2.11. SIGNAGE**  
 1) THE SIGNAGE SHALL BE DESIGNED TO BE ACCESSIBLE AND SHALL COMPLY WITH SUBSECTION 3.8.3.  
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 100) THE SIGNAGE SHALL BE DESIGNED TO BE ACCESSIBLE AND SHALL COMPLY WITH SUBSECTION 3.8.3.

WATER CLOSET TABLE 3.7.2.2 - A		
REQ. 9	PROV. 9	PROV. 9
2	2	4

**3.8.2.12. SIGNAGE**  
 1) THE SIGNAGE SHALL BE DESIGNED TO BE ACCESSIBLE AND SHALL COMPLY WITH SUBSECTION 3.8.3.  
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 22) THE SIGNAGE SHALL BE DESIGNED TO BE ACCESSIBLE AND SHALL COMPLY WITH SUBSECTION 3.8.3.  
 23) THE SIGNAGE SHALL BE DESIGNED TO BE ACCESSIBLE AND SHALL

**3.8.3.2. ACCESSIBLE PATH OF TRAVEL**

- 1) EXCEPT AS REQUIRED ELSEWHERE IN THIS PART OR AS PERMITTED BY SENTENCE (2) AND ARTICLE 3.8.3.6, PERTAINING TO DOORWAYS, THE CLEAR WIDTH OF AN ACCESSIBLE PATH OF TRAVEL SHALL BE NOT LESS THAN 1 000 MM.
- 2) THE CLEAR WIDTH OF AN ACCESSIBLE PATH OF TRAVEL IS PERMITTED TO BE REDUCED TO NOT LESS THAN 850 MM FOR A LENGTH OF NOT MORE THAN 600 MM, PROVIDED THE CLEAR FLOOR SPACE AT EITHER END OF THE REDUCED-CLEAR WIDTH SECTION IS LEVEL WITHIN A RECTANGULAR AREA
  - A) WHOSE DIMENSION PARALLEL TO EACH END OF THE REDUCED-CLEAR WIDTH SECTION IS NOT LESS THAN 1 000 MM, AND
  - B) WHOSE DIMENSION PERPENDICULAR TO EACH END OF THE REDUCED-CLEAR WIDTH SECTION IS NOT LESS THAN 1 500 MM. (SEE NOTE A-3.8.3.2.(2).3)
- 3) INTERIOR AND EXTERIOR WALKING SURFACES THAT ARE WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL
  - A) HAVE NO OPENING THAT WILL PERMIT THE PASSAGE OF A SPHERE MORE THAN 13 MM IN DIAMETER.
  - B) HAVE ANY ELONGATED OPENINGS ORIENTED APPROXIMATELY PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  - C) BE STABLE, FIRM AND SLIP-RESISTANT.
  - D) HAVE A CROSS SLOPE NO STEEPER THAN 1 IN 50.
  - E) BE BEVELED AT A MAXIMUM SLOPE OF 1 IN 2 AT CHANGES IN LEVEL BETWEEN 6 MM AND 13 MM, AND
  - F) BE PROVIDED WITH SLOPED FLOORS OR RAMPS AT CHANGES IN LEVEL MORE THAN 13 MM, AND
  - G) BE DESIGNED AS A RAMP COMPLYING WITH THIS SECTION WHERE THE PATH OF TRAVEL HAS A SLOPE STEEPER THAN 1 IN 20.

**3.8.3.3. EXTERIOR WALKS**

- 1) EXTERIOR WALKS THAT FORM PART OF AN ACCESSIBLE PATH OF TRAVEL SHALL
  - A) HAVE A SLIP-RESISTANT, CONTINUOUS AND EVEN SURFACE.
  - B) BE NOT LESS THAN 1 500 MM WIDE, AND C) HAVE A LEVEL AREA CONFORMING TO CLAUSE 3.8.3.3.(1)(C) ADJACENT TO AN ENTRANCE DOORWAY.
- 2) EXTERIOR WALKS THAT FORM PART OF AN ACCESSIBLE PATH OF TRAVEL MAY CONTAIN CURB RAMPS THAT SHALL
  - A) HAVE A RUNNING SLOPE (I) BETWEEN 1 IN 8 TO 1 IN 10 WHERE THE VERTICAL RISE IS LESS THAN 75 MM, AND (II) BETWEEN 1 IN 10 TO 1 IN 12 WHERE THE VERTICAL RISE IS 75 MM TO 200 MM.
  - B) HAVE A WIDTH OF NOT LESS THAN 1 500 MM EXCLUSIVE OF FLARED SIDES.
  - C) HAVE A SURFACE INCLUDING FLARED SIDES THAT SHALL (I) BE SLIP-RESISTANT, (II) HAVE TACTILE WALKING SURFACE INDICATORS CONFORMING TO ARTICLE 3.8.3.3., AND (III) HAVE A SMOOTH TRANSITION FROM THE CURB RAMP TO THE ADJACENT SURFACES, AND
  - D) HAVE FLARED SIDES WITH A SLOPE OF NOT MORE THAN 1 IN 12 WHERE PEDESTRIANS ARE LIKELY TO WALK ACROSS THEM.

**3.8.3.4. PASSENGER-LOADING ZONES**

- 1) IF A PASSENGER-LOADING ZONE IS PROVIDED, IT SHALL HAVE
  - A) AN ACCESS AISLE NOT LESS THAN 1 500 MM WIDE AND 6 000 MM LONG ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE.
  - B) A CURB RAMP CONSTRUCTED IN ACCORDANCE WITH SENTENCE 3.8.3.3.(2), WHERE THERE ARE CURBS BETWEEN THE ACCESS AISLE AND THE VEHICLE PULL-UP SPACE AND THE DIFFERENCE IN ELEVATION BETWEEN LEVELS IS NOT MORE THAN 200 MM, AND
  - C) A CLEAR HEIGHT OF NOT LESS THAN 2 750 MM AT THE PULL-UP SPACE AND ALONG THE VEHICLE ACCESS AND EGRESS ROUTES.

**3.8.3.6. DOORWAYS AND DOORS**

- 1) EXCEPT WHERE STATED OTHERWISE, THIS ARTICLE APPLIES TO SWINGING AND SLIDING DOORS.
- 2) EVERY DOORWAY THAT IS LOCATED IN AN ACCESSIBLE PATH OF TRAVEL SHALL HAVE A CLEAR WIDTH NOT LESS THAN 850 MM
  - A) FOR SWINGING DOORS, WHEN MEASURED FROM THE FACE OF THE ACTIVE LEAF, IN THE OPEN POSITION OF 90° TO THE DOORWAY, TO THE OUTSIDE EDGE OF THE STOP ON THE DOOR FRAME, AND
  - B) FOR SLIDING DOORS, WHEN MEASURED FROM THE EDGE OF THE DOOR, IN THE OPEN POSITION, TO THE OUTSIDE EDGE OF THE STOP ON THE DOOR FRAME. (SEE NOTE A-3.8.3.6.(2).3)
- 3) A THRESHOLD FOR A DOORWAY REFERRED TO IN SENTENCES (2) AND (3) SHALL BE NOT MORE THAN 13 MM HIGHER THAN THE FINISHED FLOOR SURFACE AND SHALL BE BEVELED TO FACILITATE THE PASSAGE OF WHEELCHAIRS.

**3.8.3.13. UNIVERSAL WASHROOMS**

- 1) A UNIVERSAL WASHROOM SHALL
  - A) BE SERVED BY AN ACCESSIBLE PATH OF TRAVEL.
  - B) HAVE A DOOR COMPLYING WITH ARTICLE 3.8.3.6. THAT (I) HAS A LATCH-OPERATING MECHANISM LOCATED 900 MM TO 1 100 MM ABOVE THE FLOOR THAT COMPLIES WITH CLAUSE 3.8.3.8.(1)(B) AND IS CAPABLE OF BEING LOCKED FROM THE INSIDE, AND RELEASED FROM THE OUTSIDE IN CASE OF EMERGENCY, AND
  - II) IF IT IS AN OUTWARD SWINGING DOOR THAT IS NOT SELF-CLOSING, HAS A HORIZONTAL, D-SHAPED, VISUALLY CONTRASTING DOOR PULL NOT LESS THAN 400 MM LONG LOCATED ON THE INSIDE SO THAT ITS MIDPOINT IS NOT LESS THAN 200 MM AND NOT MORE THAN 300 MM FROM THE HINGED SIDE OF THE DOOR AND NOT LESS THAN 900 MM AND NOT MORE THAN 1 100 MM ABOVE THE FLOOR (SEE NOTE A-3.8.3.12.(1)(D)(V)).
  - C) HAVE ONE LAVATORY CONFORMING TO ARTICLE 3.8.3.16.
  - D) HAVE ONE WATER CLOSET CONFORMING TO ARTICLE 3.8.3.14, AND CLAUSE 3.8.3.12.(1)(E).
  - E) HAVE A CLEAR LATERAL TRANSFER SPACE ADJACENT TO THE WATER CLOSET THAT CONFORMS TO CLAUSE 3.8.3.12.(1)(B).
  - F) HAVE GRAB BARS CONFORMING TO CLAUSES 3.8.3.12.(1)(F) AND (G).
  - G) HAVE A COAT HOOK CONFORMING TO CLAUSE 3.8.3.12.(1)(H).
  - H) HAVE A TOILET PAPER DISPENSER CONFORMING TO CLAUSE 3.8.3.12.(1)(I).
  - I) UNLESS A COUNTER SPACE OF NOT LESS THAN 200 MM BY 400 MM IS PROVIDED, HAVE A SHELF LOCATED NOT MORE THAN 200 MM ABOVE THE FLOOR WITH A USEABLE SURFACE OF NOT LESS THAN 200 MM BY 400 MM.
  - J) BE DESIGNED TO PERMIT A WHEELCHAIR TO TURN IN AN OPEN SPACE NOT LESS THAN 1 700 MM IN DIAMETER.
  - K) PROVIDE EMERGENCY LIGHTING CONFORMING TO ARTICLE 3.2.7.3.
- 2) A UNIVERSAL WASHROOM REQUIRED TO HAVE AN ACCESSIBLE CHANGE SPACE AS STIPULATED IN SENTENCE 3.8.2.8.(15) SHALL
  - A) BE EQUIPPED WITH AN ADULT-SIZED CHANGE TABLE THAT IS (I) DESIGNED TO CARRY A MINIMUM LOAD OF 13 KN,
  - II) IMPERVIOUS TO WATER, AND
  - III) DESIGNED TO BE EASILY CLEANED,
  - B) HAVE A CLEAR FLOOR SPACE TO ACCOMMODATE THE ADULT-SIZED CHANGE TABLE THAT IS 810 MM WIDE BY 1 850 MM LONG AND DOES NOT OVERLAP WITH THE CLEAR SPACES REQUIRED BY CLAUSES (1)(K), (1)(J) AND (C), AND
  - C) HAVE A CLEAR TRANSFER SPACE OF 900 MM BY 1 350 MM ADJACENT TO THE LONG SIDE OF THE CLEAR FLOOR SPACE FOR THE ADULT-SIZED CHANGE TABLE.

**3.8.3.16. LAVATORIES AND MIRRORS**

- 1) LAVATORIES REQUIRED BY SENTENCE 3.8.2.8.(8) SHALL
  - A) BE EQUIPPED WITH FAUCETS COMPLYING WITH SENTENCE 3.2.7.3.(4).
  - B) BE LOCATED SO THAT THE DISTANCE BETWEEN THE CENTRE LINE OF THE LAVATORY AND ANY SIDE WALL IS NOT LESS THAN 460 MM.
  - C) HAVE A CLEAR FLOOR SPACE IN FRONT OF THE LAVATORY THAT IS AT LEAST 1 800 MM WIDE, CENTRED ON THE LAVATORY, AND
  - II) 1 300 MM LONG, OF WHICH NO MORE THAN 430 MM IS BENEATH THE LAVATORY.
  - D) HAVE A RIM HEIGHT NOT MORE THAN 865 MM ABOVE THE FLOOR.
  - E) HAVE A CLEARANCE BENEATH THE LAVATORY NOT LESS THAN 1 800 MM WIDE, CENTRED ON THE LAVATORY.
  - II) 735 MM HIGH AT THE FRONT EDGE,
  - III) 685 MM HIGH AT A POINT 200 MM BACK FROM THE FRONT EDGE, AND
  - IV) 230 MM HIGH OVER THE DISTANCE FROM A POINT 280 MM TO A POINT 430 MM BACK FROM THE FRONT EDGE. (SEE NOTE A-3.8.3.16.(1)(E))
  - F) HAVE INSULATED WATER SUPPLY AND DRAIN PIPES WHERE THESE PIPES ARE EXPOSED (SEE NOTE A-3.8.3.16.(1)(F)).
  - G) HAVE A SOAP DISPENSER THAT (I) IS AUTOMATIC, OR
  - II) COMPLIES WITH CLAUSE 3.8.3.10.(B) AND IS LOCATED NOT MORE THAN 1 100 MM ABOVE THE FLOOR, WITHIN 500 MM FROM THE FRONT OF THE LAVATORY (SEE NOTE A-3.8.3.16.(1)(G)). AND
  - H) HAVE A TOWEL DISPENSER OR OTHER HAND-DRYING EQUIPMENT LOCATED CLOSE TO THE LAVATORY, WITH OPERATING CONTROLS NOT MORE THAN 1 200 MM ABOVE THE FLOOR IN AN AREA THAT IS ACCESSIBLE TO PERSONS USING WHEELCHAIRS.
- 2) MIRRORS REQUIRED BY SENTENCE 3.8.2.8.(9) SHALL BE
  - A) MOUNTED WITH THEIR BOTTOM EDGE NOT MORE THAN 1 000 MM ABOVE THE FLOOR, OR
  - B) FIXED IN AN INCLINED POSITION SO AS TO BE USABLE BY A PERSON USING A WHEELCHAIR.

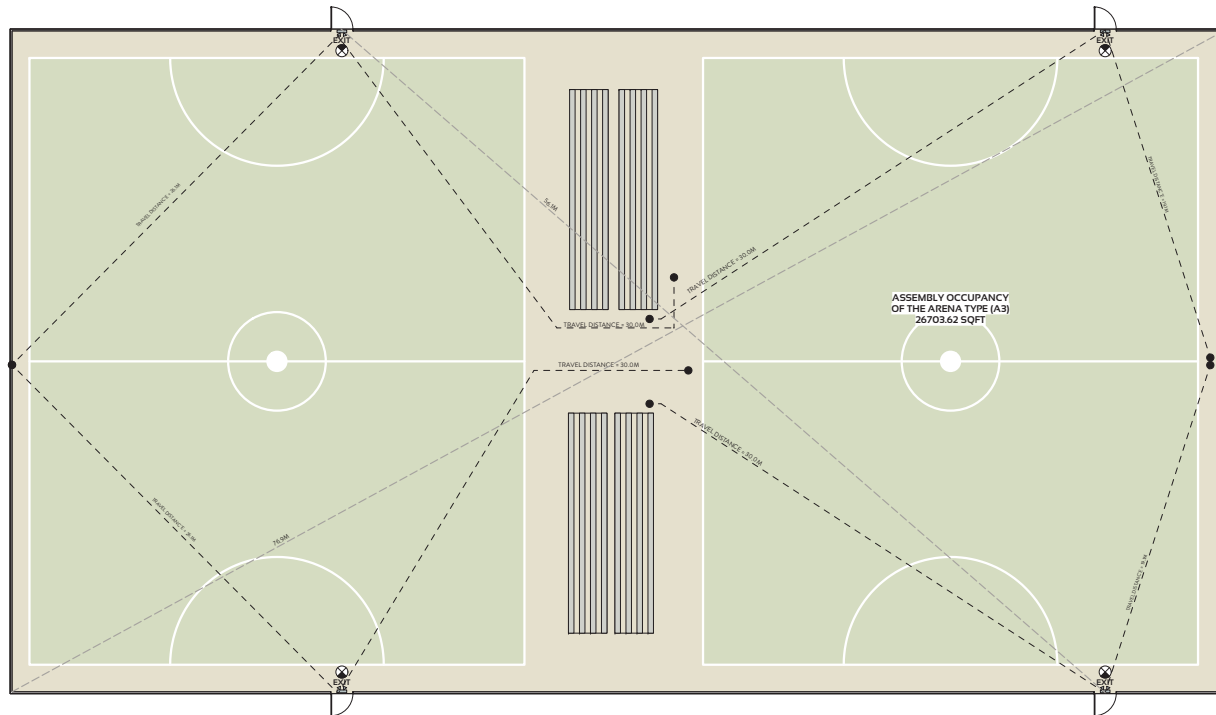
**DIVISION A - 1.4.1.7. DEFINED TERMS**

**BUILDING AREA** MEANS THE GREATEST HORIZONTAL AREA OF A BUILDING ABOVE GRADE WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS OR WITHIN THE OUTSIDE SURFACE OF EXTERIOR WALLS AND THE CENTER LINE OF FIREWALLS.

**FLOOR AREA** MEANS THE SPACE ON ANY STOREY OF A BUILDING BETWEEN EXTERIOR WALLS AND REQUIRED FIREWALLS, INCLUDING THE SPACE OCCUPIED BY INTERIOR WALLS AND PARTITIONS, BUT NOT INCLUDING EXITS, VERTICAL SERVICE SPACES, AND THEIR ENCLOSING ASSEMBLIES.

**INTERCONNECTED FLOOR SPACE** MEANS SUPERIMPOSED FLOOR AREAS OR PARTS OF FLOOR AREAS IN WHICH FLOOR ASSEMBLIES THAT ARE REQUIRED TO BE FIRE SEPARATIONS ARE PENETRATED BY OPENINGS THAT ARE NOT PROVIDED WITH CLOSURES.

**SUITE** MEANS A SINGLE ROOM OR SERIES OF ROOMS OF COMPLEMENTARY USE, OPERATED UNDER A SINGLE TENANCY, AND INCLUDES DWELLING UNITS, INDIVIDUAL GUEST ROOMS IN HOTELS, HOTELS, BOARDING HOUSES, ROOMING HOUSES AND DORMITORIES AS WELL AS INDIVIDUAL STORES AND INDIVIDUAL OR COMPLEMENTARY ROOMS FOR ASSEMBLY OCCUPANCIES, BUSINESS AND PERSONAL SERVICES OCCUPANCIES, MEDIUM-HAZARD INDUSTRIAL OCCUPANCIES, AND LOW-HAZARD INDUSTRIAL OCCUPANCIES. (SEE APPENDIX A.)



NOTE:  
EXIT SIGNS ARE REQUIRED AT EVERY EXIT DOOR (3.4.5.1)  
AN EXIT SIGN THAT DISPLAYS THE WORD "EXIT" IN TACTILE FORM COMPLYING WITH SUBSECTION 3.8.3 IS REQUIRED TO BE MOUNTED ON THE APPROACH OF EXIT DOORS IN THE DIRECTION OF TRAVEL TO THE EXIT (3.4.5.2.(1))

**LONGPRE ARCHITECTURE**

1600 - 701 W GEORGIA ST., VANCOUVER, BC V7Y 1C6  
1.604.240.7992 info@longprearchitecture.ca

**STATUS**

A	ISSUED FOR DEVELOPMENT	2024-05-21
B	BE ISSUED FOR DEVELOPMENT	2024-06-04
C	BE ISSUED FOR DEVELOPMENT	2024-09-16

**CONSULTANT**

MIKE D  
SCALE

**DATE** 9/16/2024

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**CLIENT**

**PROJECT NAME**

**WVFC SOCCER BUBBLE**

**ADDRESS**

1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8

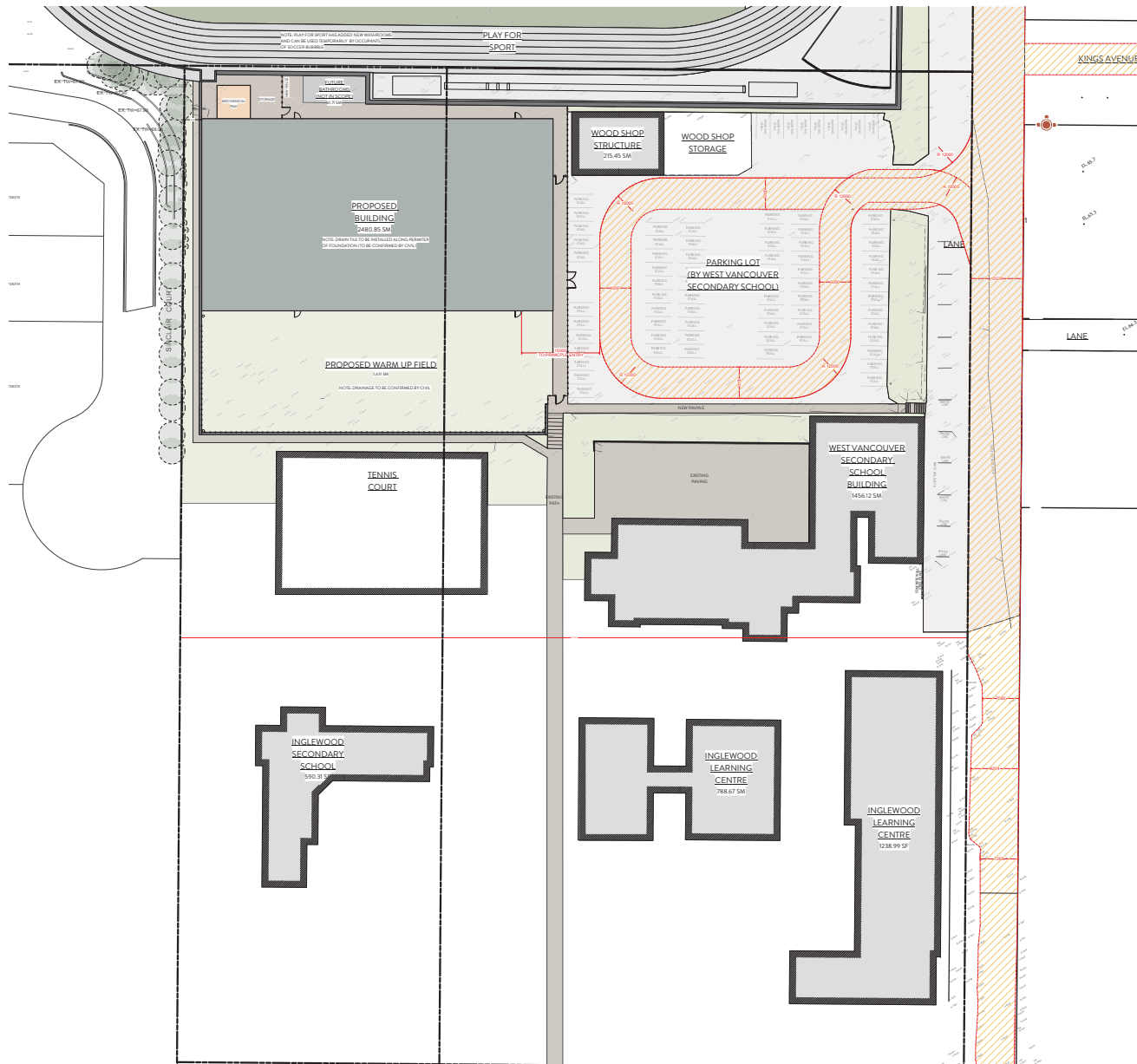
**DRAWING**

**CODE ANALYSIS**

2022-01  
SCALE 1/16" = 1'-0"

**SHEET #**

**A003**



**LEGEND**

- FIRE FIGHTER PATH
- FIRE HYDRANT

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 C RE ISSUED FOR DEVELOPMENT PERMIT 2024-09-16

**CONSULTANT**

**CLIENT**  
 WEST VAN FOOTBALL CLUB

**PROJECT NAME**  
 WVFC SOCCER BUBBLE

**ADDRESS**  
 1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8

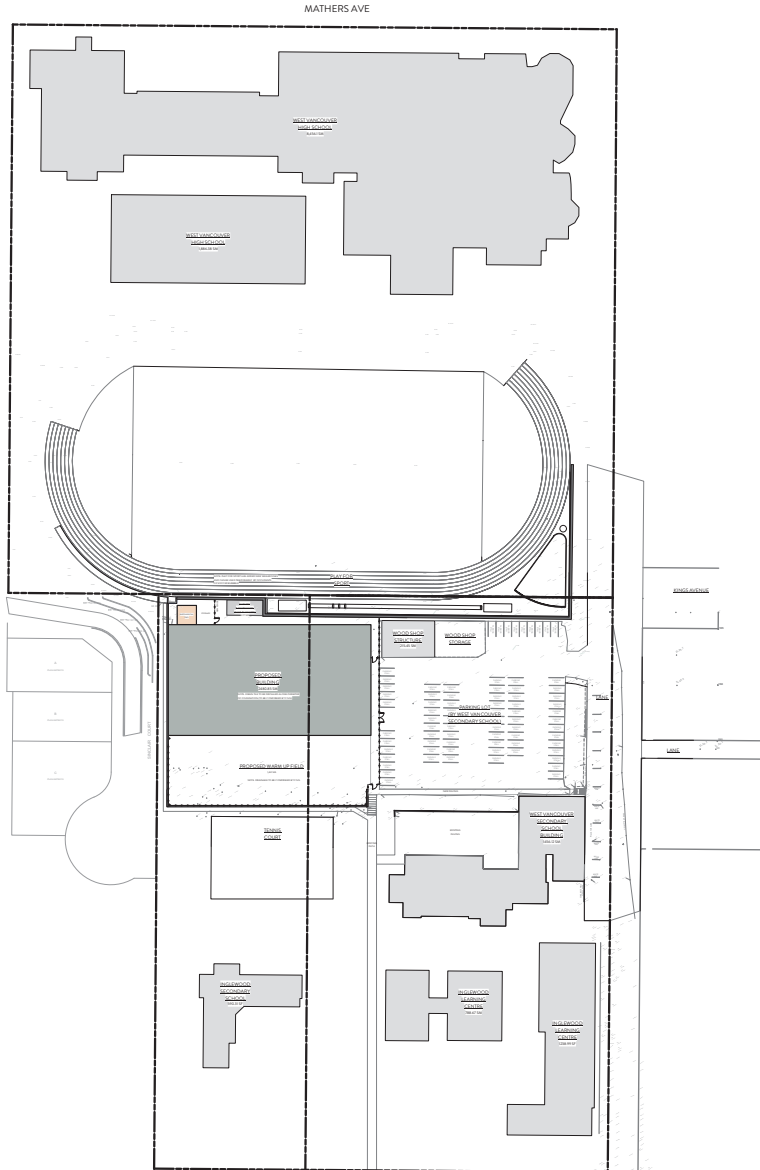
**DRAWING**  
 FIRE FIGHTER ACCESS

**PROJ ID #** 2022-01 **SCALE** 1/64" = 1'-0"

**SHEET** A004



SITE ANALYSIS FOR 1735 INGLEWOOD (ALL LOTS)				
REGULATORY	APPLICABLE	EXISTING	PROPOSED	VARIANCE
USE ZONING	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
SETBACKS	YES	YES	YES	NO



**LEGEND**  
 - - - COMBINED SIDE YARD  
 - - - SETBACK/DEPTH  
 - - - PROPERTY LINE

**LONGPRE ARCHITECTURE**  
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 B RE ISSUED FOR DEVELOPMENT PERMIT 2024-06-04  
 C RE ISSUED FOR DEVELOPMENT PERMIT 2024-09-16

**REVISIONS**

**CONSULTANT**

**DATE** 9/16/2024  
**DRAWN BY** MIKE D  
**SCALE**

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**CLIENT**  


**PROJECT NAME**  
 WVFC SOCCER BUBBLE

**ADDRESS**  
 1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8

**DRAWING**  
 SITE COVERAGE

**PROJ ID #** 2022-01  
**SCALE** 1/64" = 1'-0"

**SHEET #** A006







**GENERAL NOTES:**

1. ALL EXIT DOORS AND DOORS LOCATED IN AN ACCESSIBLE PATH OF TRAVEL ARE REQUIRED TO HAVE A MINIMUM CLEAR WIDTH OF 850MM (3.4.3.2.(8) & 3.3.8.3.6.(2)).
2. PANIC HARDWARE IS REQUIRED ON PROVIDED EXIT DOOR AS REQUIRED BY SENTENCE 3.4.6.16.(2).
3. EMERGENCY LIGHTING IS REQUIRED TO BE PROVIDED THROUGHOUT THE FLOOR AREA IN ACCORDANCE WITH ARTICLE 3.2.7.3.
4. EVERY TENT AND AIR SUPPORTED STRUCTURE AND ALL TARPAILLINS AND DECORATIVE MATERIALS USED IN CONNECTION WITH THESE STRUCTURES ARE REQUIRED TO CONFORM TO CAN/ULC-S109, "STANDARD METHOD FOR FLAME TESTS OF FLAME-RESISTANT FABRICS AND FILMS" (3.1.18.5.(1)).
5. MECHANICAL AND ELECTRICAL CONSULTANTS TO ENSURE THE AIR-SUPPORTED STRUCTURE CONFORMS TO SECTION 2.9 OF THE 2024 BC FIRE CODE.



LONGPRE ARCHITECTURE  
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**STATUS**

DEVELOPMENT PERMIT	
A COORDINATION	2024-03-12
A ISSUED FOR DEVELOPMENT PERMIT	2024-05-21
B RE ISSUED FOR DEVELOPMENT PERMIT	2024-06-04
C RE ISSUED FOR DEVELOPMENT PERMIT	2024-09-16

**REVISIONS**

**CONSULTANT**

**PLAT DATE**

9/16/2024

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**CLIENT**



**PROJECT NAME**

WVFC SOCCER BUBBLE

**ADDRESS**

1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8

**DRAWING**

FLOORPLAN - LEVEL 1

**PROJ ID #**

2022-01

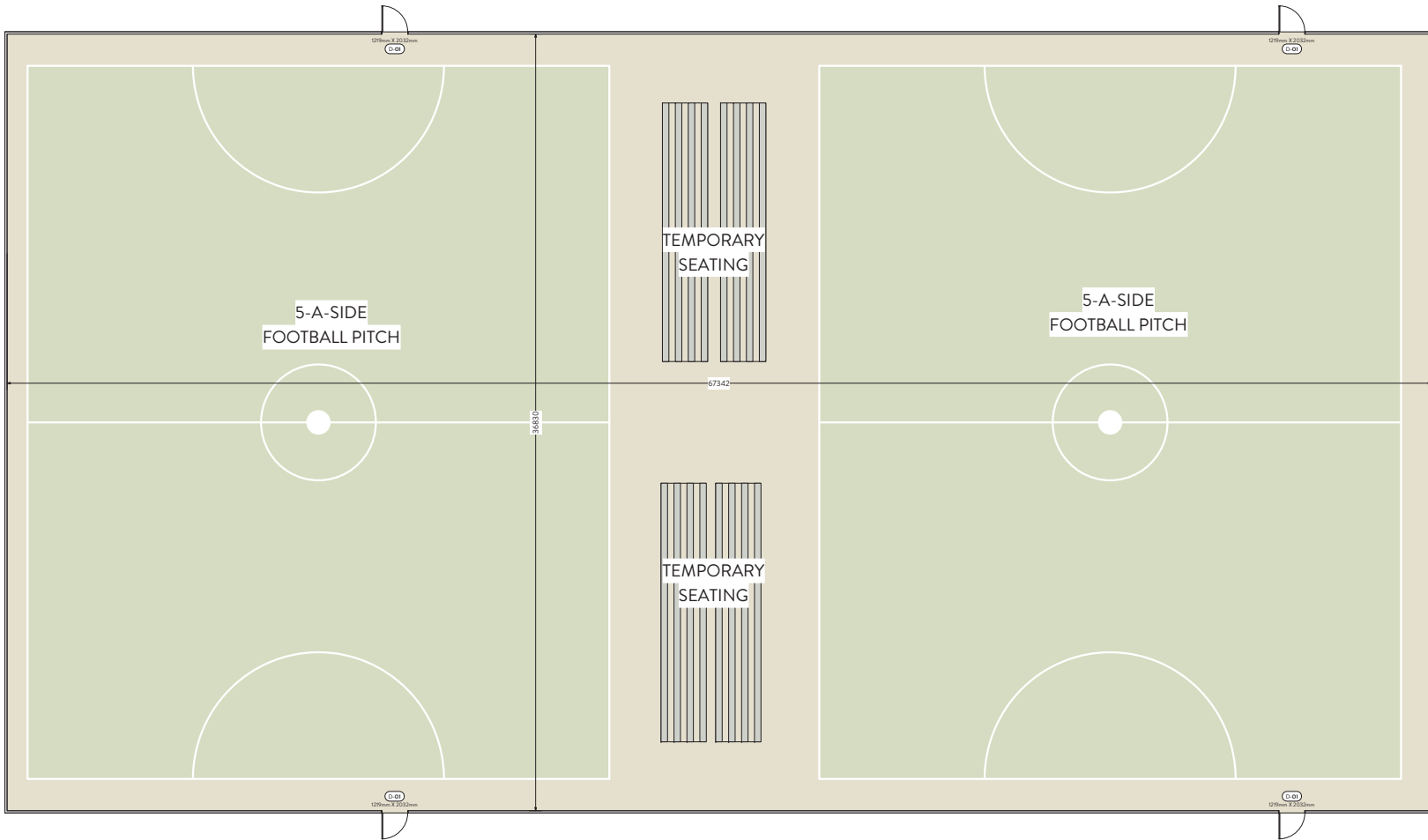
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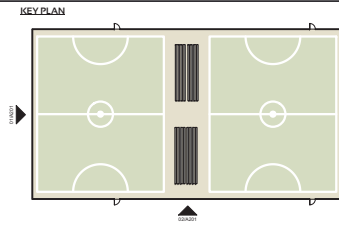
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**SHEET**

A101





**DEVELOPMENT PERMIT**

A	ISSUED FOR DEVELOPMENT PERMIT	2024-05-21
B	RE ISSUED FOR DEVELOPMENT PERMIT	2024-06-04
C	RE ISSUED FOR DEVELOPMENT PERMIT	2024-09-16

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REVISIONS

CONSULTANT

DATE

MIKE D  
 9/16/2024

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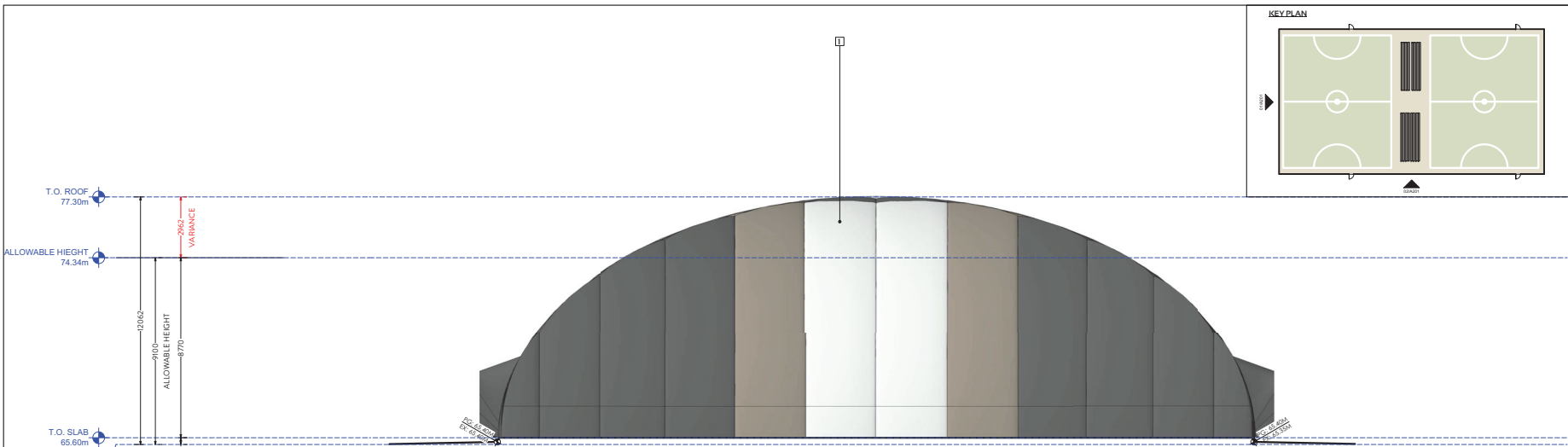
CLIENT  
**WVFC SOCCER BUBBLE**

ADDRESS  
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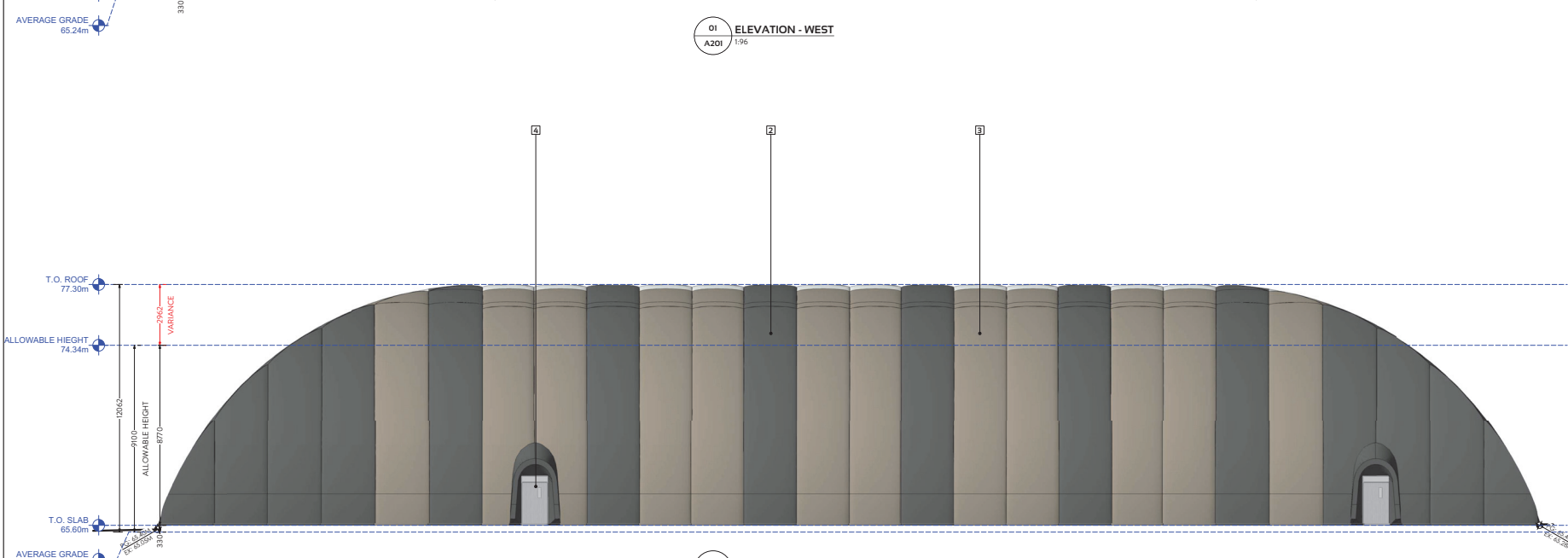
DRAWING  
**ELEVATIONS**

PROJ ID # 2022-01 SCALE 1/16" = 1'-0"

SHEET # **A201**



01 ELEVATION - WEST  
 A201 1/16

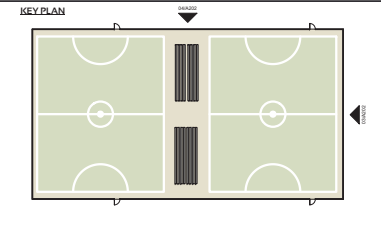


02 ELEVATION - SOUTH  
 A201 1/16

**FINISH SCHEDULE**

1	TRANSLUCENT FABRIC W/ HIGHEST LIGHT TRANSMISSION RATING - TO MANUFACTURER'S SPECIFICATIONS
2	VINYL-COATED POLYESTER FABRIC - MOUSE'S BLACK - PANTONE # 2320U
3	VINYL-COATED POLYESTER FABRIC - BLACK - PANTONE # 1975U
4	ALUMINUM EXIT DOOR - TO MANUFACTURER'S SPECIFICATIONS

NOTE: COLOURS AND PATTERN TO BE DETERMINED. WE RESERVE THE RIGHT TO CHANGE COLOURS BASED ON MANUFACTURER AND PRODUCT AVAILABILITY.



**LONGPRE ARCHITECTURE**  
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**DEVELOPMENT PERMIT**

A	ISSUED FOR DEVELOPMENT PERMIT	2024-05-21
B	RE ISSUED FOR DEVELOPMENT PERMIT	2024-06-04
C	RE ISSUED FOR DEVELOPMENT PERMIT	2024-09-16

REVISIONS

CONSULTANT

DATE  
9/16/2024

MIKE D  
SEAL

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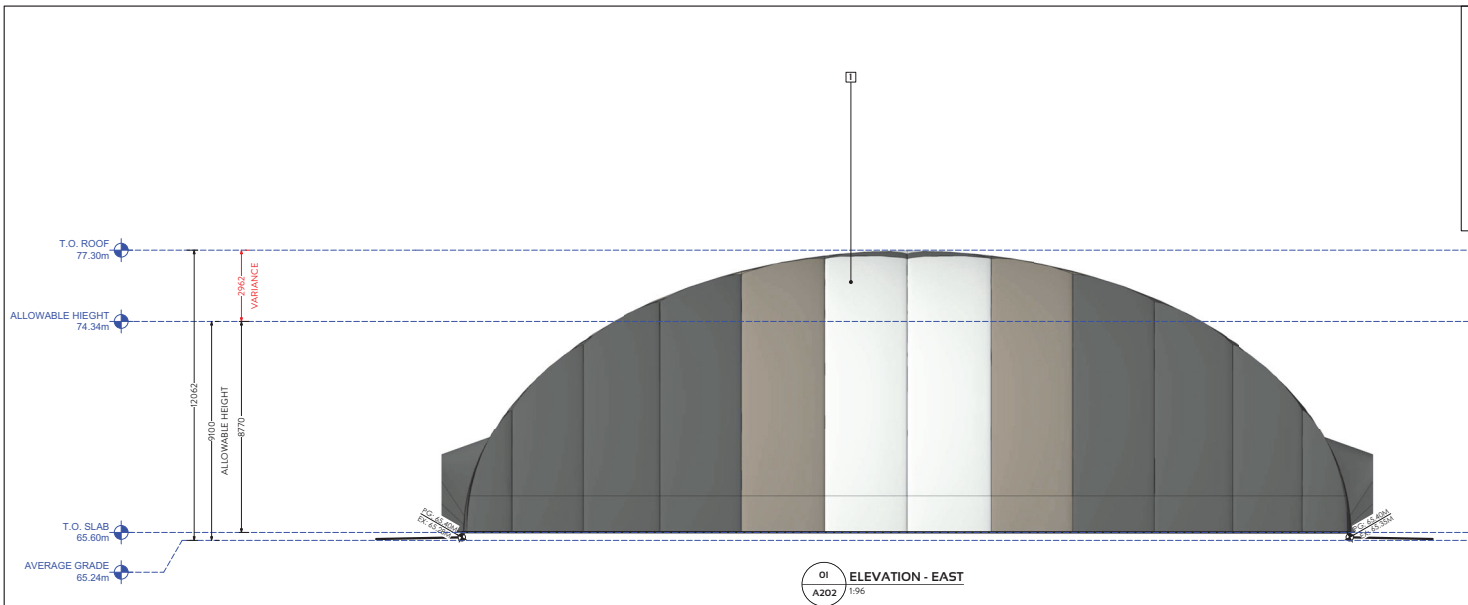
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**PROJ ID #**  
 2022-01

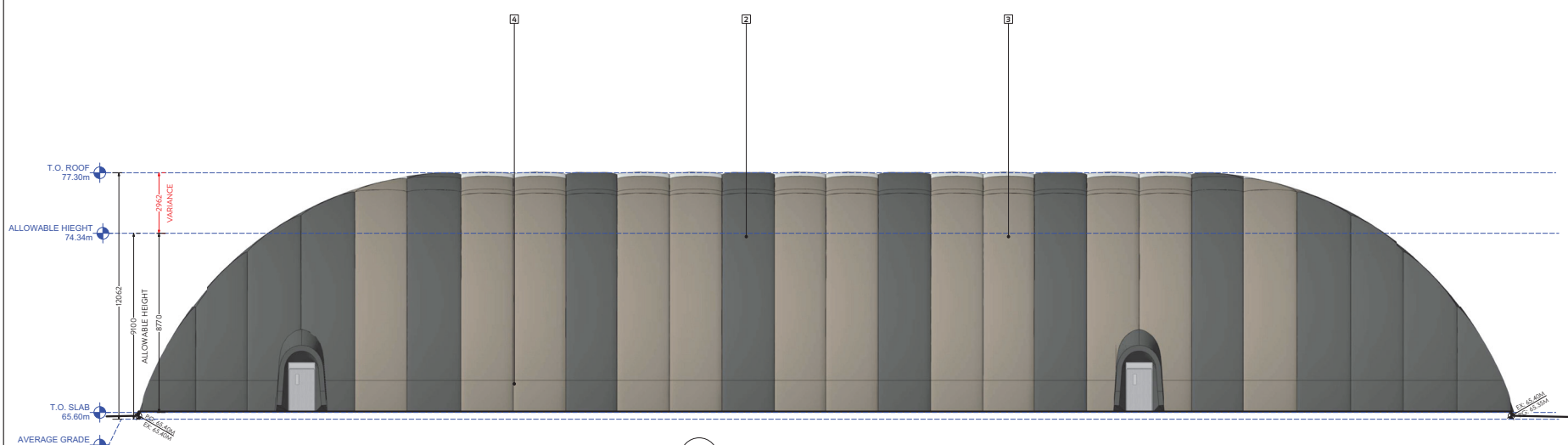
**SCALE**  
 1/16" = 1'-0"

**SHEET #**  
 A202

NOTE: COLOURS AND PATTERN TO BE DETERMINED. WE RESERVE THE RIGHT TO CHANGE COLOURS BASED ON MANUFACTURER AND PRODUCT AVAILABILITY.



01 ELEVATION - EAST  
 A202 1/16"



02 ELEVATION - NORTH  
 A202 1/16"

**FINISH SCHEDULE**

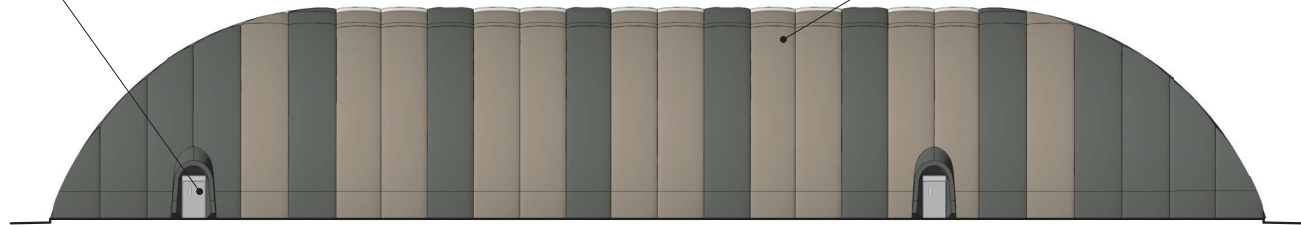
1	TRANSLUCENT FABRIC W/ HIGHEST LIGHT TRANSMISSION RATING - TO MANUFACTURER'S SPECIFICATIONS
2	VINYL-COATED POLYESTER FABRIC - MOUSE'S BLACK - PANTONE P 2326U
3	VINYL-COATED POLYESTER FABRIC - BLACK - PANTONE PR678E
4	ALUMINUM EXIT DOOR - TO MANUFACTURER'S SPECIFICATIONS



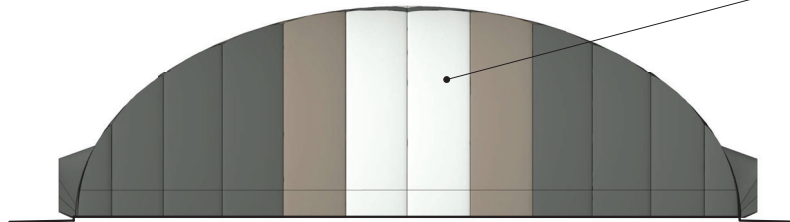
COMPONENT: EXIT / ENTRY DOORS  
 MATERIAL: GALVANIZED STEEL DOORS  
 COLOUR: GALVANIZED



COMPONENT: EXTERNAL FINISH  
 MATERIAL: TEDLAR PVF FILM  
 COLOUR: VARIES



01 ELEVATION - NORTH  
 A203 1/128



02 ELEVATION - EAST  
 A203 1/128



COMPONENT: EXTERNAL FINISH  
 MATERIAL: TEDLAR 10% TRANSLUCENT PVF FILM  
 COLOUR: EGGSHELL


NOTE: COLOURS AND PATTERN TO BE DETERMINED WE RESERVE THE RIGHT TO CHANGE COLOURS BASED ON MANUFACTURER AND PRODUCT AVAILABILITY

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**STATUS**  
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 B RE ISSUED FOR DEVELOPMENT PERMIT 2024-06-04  
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**CONSULTANT**

**CLIENT**  
  
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**ADDRESS**  
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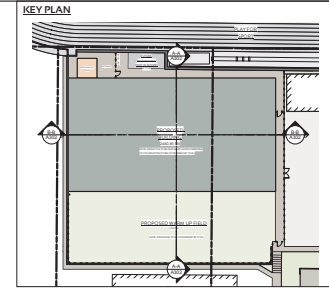
**DRAWING**  
 MATERIALS

**PROJ ID #** 2022-01 **SCALE** 1/16" = 1'-0"

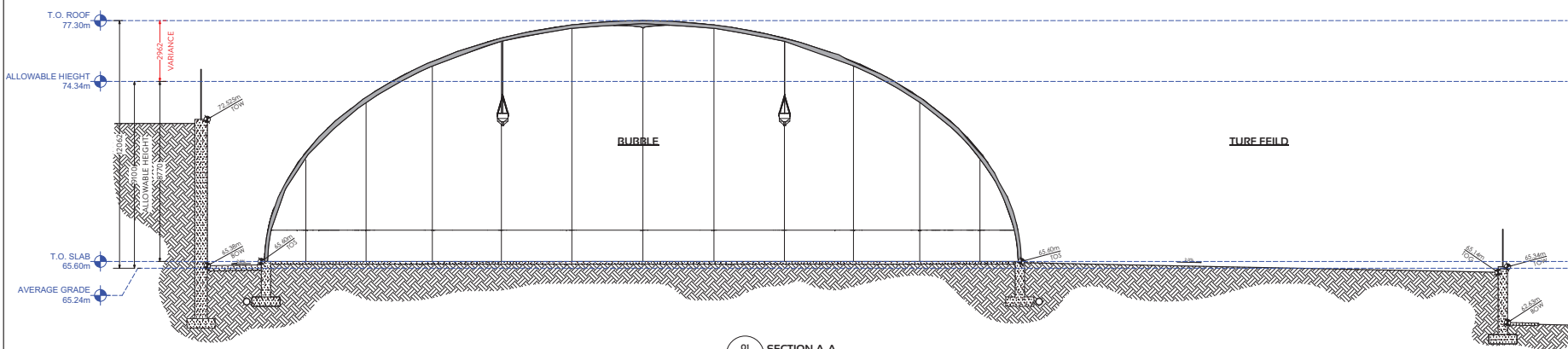
**SHEET #** A203

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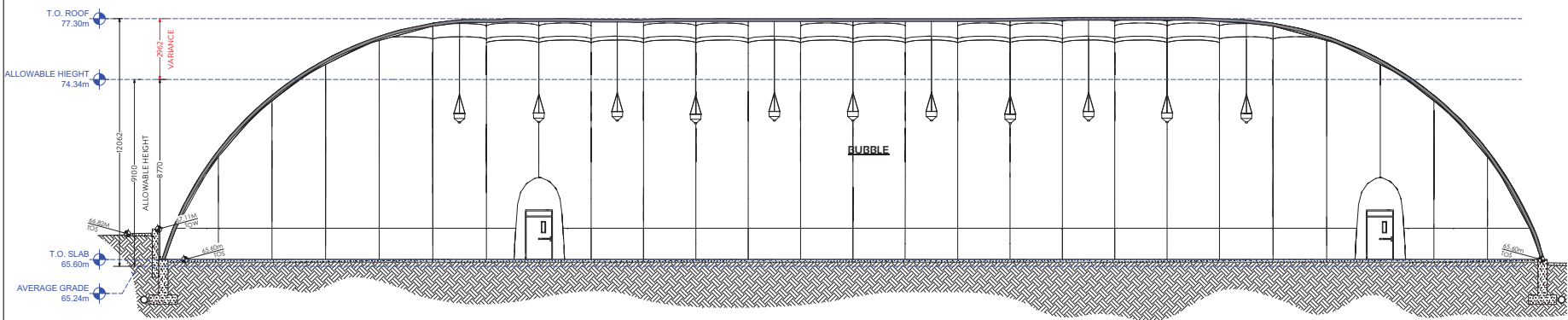
**PLAT DATE** 9/16/2024 **DRAWN BY** MIKE D **SEAL**



<b>STATUS</b>	
<b>DEVELOPMENT PERMIT</b>	
A	ISSUED FOR DEVELOPMENT PERMIT 2024-05-21
B	RE ISSUED FOR DEVELOPMENT PERMIT 2024-06-04
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01 SECTION A-A  
A301 1:96



02 SECTION B-B  
A301 1:96

REVISIONS

CONSULTANT

DATE DRAWN BY

MIKE D  
SEAL  
9/16/2024

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CLIENT



PROJECT TITLE

WVFC SOCCER BUBBLE

ADDRESS

1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8

DRAWING

SITE SECTION

PROJ ID #

2022-01 SCALE 1/16" = 1'-0"

SHEET #

A301



EXISTING SITE LOOKING NORTH



EXISTING SITE LOOKING NORTH



EXISTING SITE LOOKING NORTHEAST



EXISTING PATH LOOKING SOUTHWEST



EXISTING PATH LOOKING SOUTHWEST



EXISTING TENNIS COURT LOOKING NORTH WEST



EXISTING TENNIS COURT LOOKING NORTH WEST



EXISTING STAIRS LOOKING NORTH



EXISTING STAIRS LOOKING NORTH



EXISTING COURT LOOKING NORTHWEST



EXISTING TRACK LOOKING NORTHWEST



EXISTING TRACK LOOKING NORTHWEST



EXISTING TRACK LOOKING WEST



EXISTING PARKING LOOKING WEST



EXISTING PARKING LOOKING WEST



EXISTING TRACK LOOKING NORTH WEST

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**CONSULTANT**

**DATE** MIKE D  
 9/16/2024

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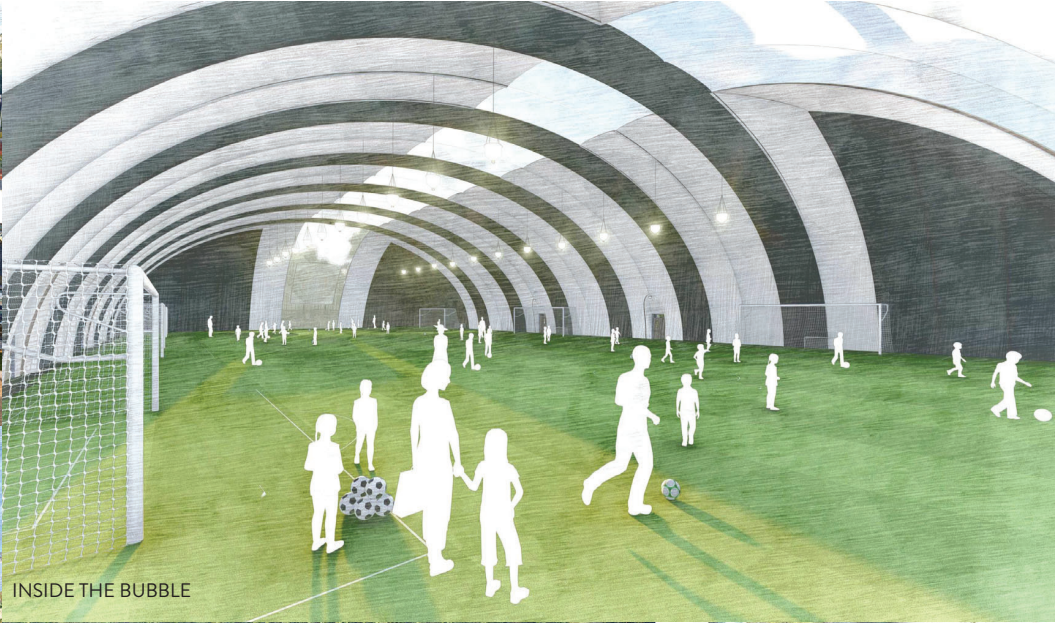
**DRAWING**  
 SITE PHOTOS

**PROJ ID #** 2022-01 **SCALE** 1/16" = 1'-0"

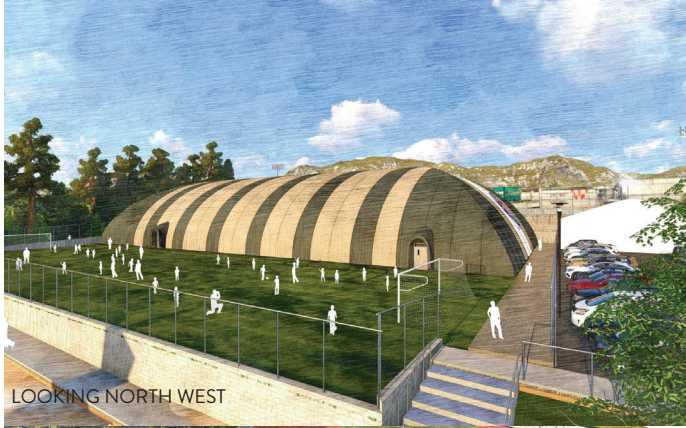
**SHEET #** A901



LOOKING NORTH



INSIDE THE BUBBLE



LOOKING NORTH WEST



LOOKING NORTH WEST



FROM ABOVE

STATUS DEVELOPMENT PERMIT

A	ISSUED FOR DEVELOPMENT	2024-05-21
B	RE ISSUED FOR DEVELOPMENT	2024-06-04
C	RE ISSUED FOR DEVELOPMENT	2024-09-16

REVISIONS

CONSULTANT

MIKE D

SEAL

9/16/2024

GENERAL NOTES

All drawings and designs are the exclusive property of Longpre Architecture Inc. and may not be used or reproduced without written consent. Do not scale drawings; written dimensions take precedence. The contractor must verify existing conditions and dimensions, report discrepancies to Longpre Architecture Inc. before starting work, and read these drawings in conjunction with other Contract Documents. Use these documents for construction only when expressly noted. Ensure proper coordination with all relevant disciplines and trades for accurate and comprehensive implementation of the project.



CLIENT  
**WVFC SOCCER BUBBLE**

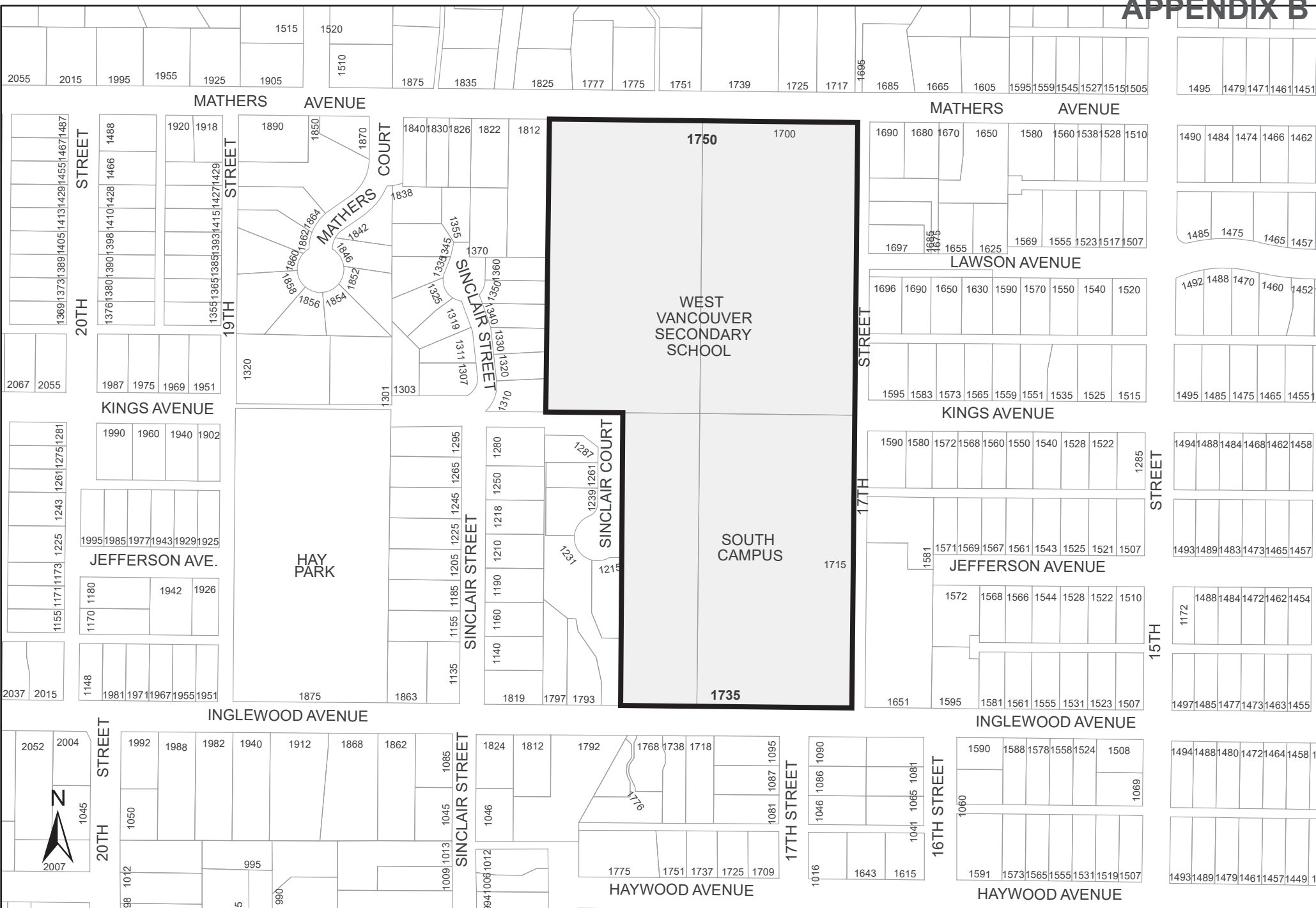
ADDRESS  
 1735 INGLEWOOD AVE, WEST VANCOUVER, BC, V5V 1Y8

DRAWING  
**RENDERS**

PROJECT ID #  
 2022-01

SCALE  
 1/16" = 1'-0"

SHEET #  
**A902**



# CONTEXT PLAN

TITLE: 1750 Mathers Ave, and 1735 Inglewood Ave.

DATE: May 07/24 REV: 0

FILE: 24-015

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