

DEVELOPMENT APPLICATION INFORMATION MEETING



MEETING DATE April 18, 2024

MEETING TIME 6 PM - 8 PM

MEETING LOCATION West Vancouver Recreation Center, Cedar Room

The applicant, Feenstra Architecture Inc. and the property owners will conduct the Public Information Meeting.

A representative of the District of West Vancouver Planning Department will also attend and be available to respond to questions on policy and process.

TOPIC 2368 BELLEVUE AVENUE

The owners of 2368 Bellevue are applying for a Development Permit with proposed zoning variances to construct a new house on this property.

FORMAT An Open House and Informal Presentation will held on April 18, 2024.

At the meeting, we will be available to answer your questions and listen to your comments.

The meeting is being held by the applicant to inform neighbours of the project prior to West Vancouver Council considering approval of the Development Permit with Variances 23-079.

FOR MORE INFORMATION

Feenstra Architecture Inc / Ted Feenstra / 604 739-8888 / ted@feenstra.ca

Proposed plans may be viewed using the following link:

https://drive.google.com/file/d/1-WexFpaho-OQ9v19FC3SSv_x8yQGm9kF/view?usp=sharing

CONTACT To ask questions and/or submit public feedback on the proposal, please contact:

Ted Feenstra at 604 739-8888 / ted@feenstra.ca

*To ask questions or provided comments to the District , please contact the file planner:
Hanna Demyk, at hdemyk@westvancouver.ca or 604 913-2750*

2368 Bellevue Proposal Summary

- The Owners of 2368 Bellevue are applying for Development Permits to construct a new house
- Two (2) Development Permits are required for this project: Ambleside Apartment Area Development Permit and Foreshore Development Permit
- The house will include one (1) habitable floor above the Flood Construction Level and one (1) non-habitable floor below the Flood Construction Level
- In order to preserve views from neighbouring houses along Bellevue Avenue, only one storey is proposed above Flood Construction Level
- A zoning variance for retaining wall height is requested to enable the retaining wall to provide flood protection for the 2368 Bellevue property



SEAWALK LOOKING EAST



EXISTING DWELLING



EXISTING DWELLING



EXISTING DWELLING ENTRANCE



SEASTRAND BUILDING



CONTEXT PLAN

* GUIDELINES NE 2
FORESHORE DEVELOPMENT PERMIT AREA

I. For the purpose of reducing the risk from coastal flood hazards on upland property and development, the following guidelines for buildings and construction shall apply:

[...]

- o) Consider zoning bylaw variances in order to construct a home at the elevation of the calculated FCL or 15 metres from the future estimated natural boundary of the ocean at Year 2100, whichever is greater (see Guideline I(b)). Variances may include, but are not limited to, height and setback variances. Requested variances shall consider proximity to adjacent dwellings, as well as privacy and view impacts for neighbours.



SITE SECTION

FORM & SCALE



① SEAWALK VIEW LOOKING EAST



② SEAWALK VIEW LOOKING WEST



③ EXISTING VIEW



③ PROPOSED VIEW



VIEW KEYPLAN

EXTERIOR MATERIALS



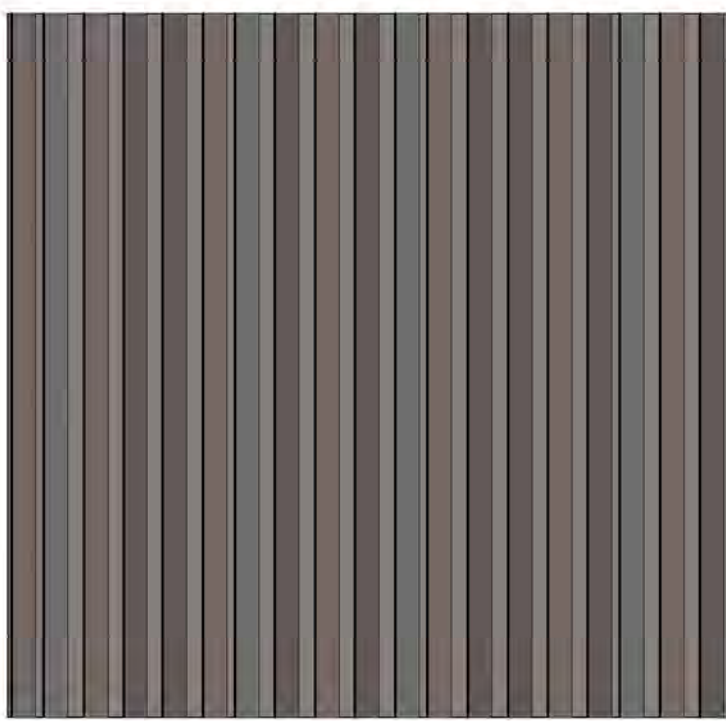
MATERIAL SPECIFICATIONS

- ① LIMESTONE WALL CLADDING
1 1/4" THICK 'LIMESTONE' STONE VENEER
3/4" BACKING
3/4" STRAPPING
- ② FIBER CEMENT WALL CLADDING
5/16" THICK VERTICAL FIBER CEMENT PANELS, 12" WIDE BY 12'
TALL PANEL
1 1/2" X 1 1/2" X 12' VERTICAL BATTENS
3/4" STRAPPING
- ③ METAL ROOF TRIM
EXPOSED STEEL, PAINTED BLACK
- ④ WOOD SOFFIT
3/4" THICK HORIZONTAL WOOD SOFFIT
- ⑤ TRIPLE GLAZED WINDOWS
TRIPLE GLAZED DOUBLE LOW-E (US1 0.8)
FIBERGLASS MULLIONS PAINTED BLACK
- ⑥ BOARD FORM CONCRETE WALLS
EXTERIOR GRAY CONCRETE WALL

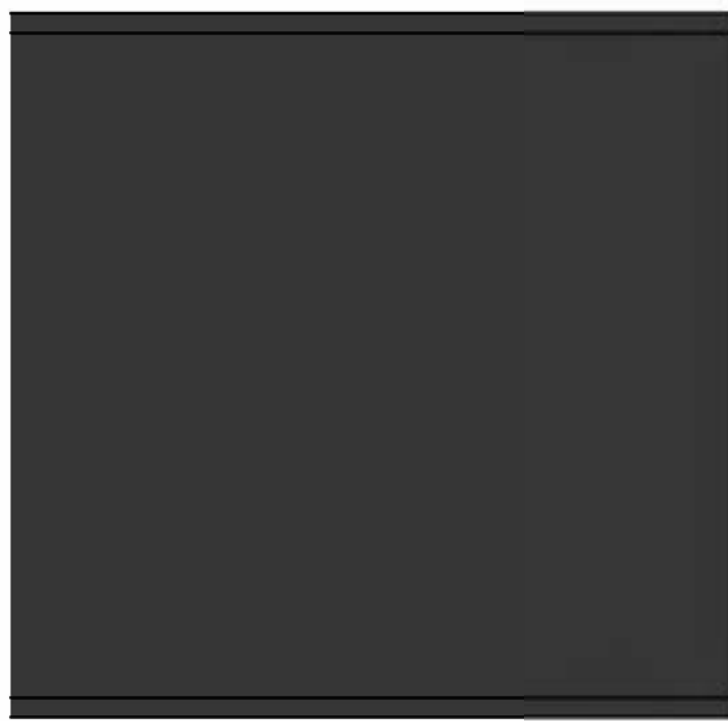
MATERIAL IMAGES



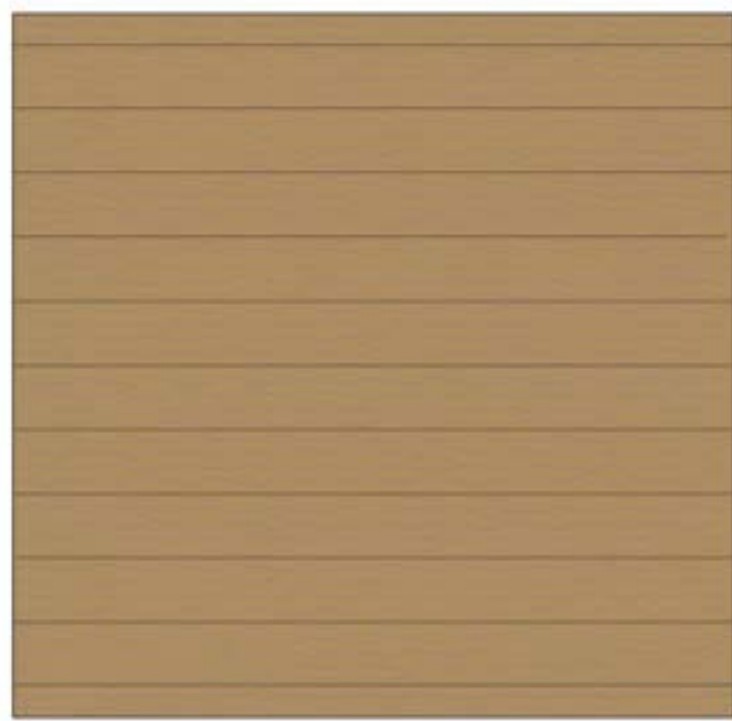
① LIMESTONE WALL CLADDING



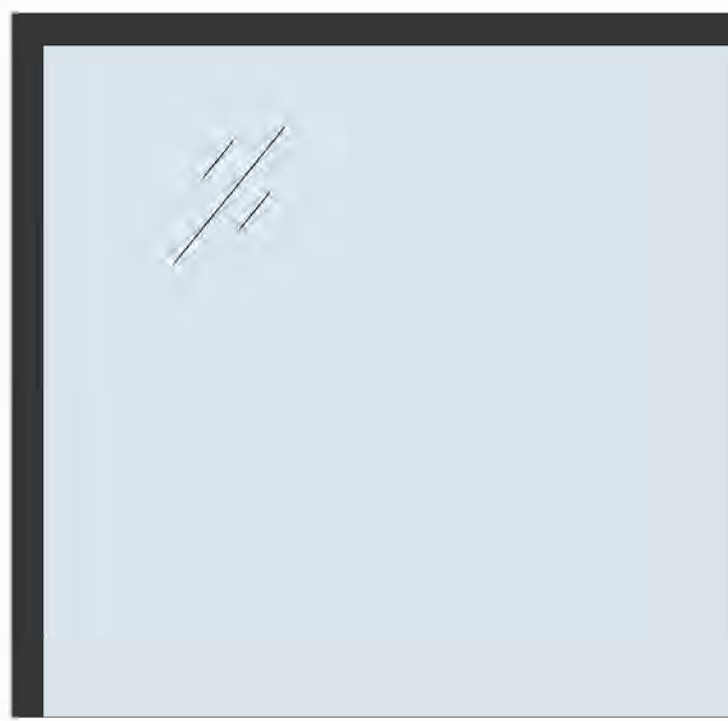
② FIBER CEMENT WALL CLADDING



③ METAL ROOF TRIM



④ WOOD SOFFIT



⑤ TRIPLE GLAZED WINDOWS



⑥ BOARD FORM CONCRETE WALL

A diagram of a circle with a radius line drawn from the center to the circumference, labeled with the letter 'N'.

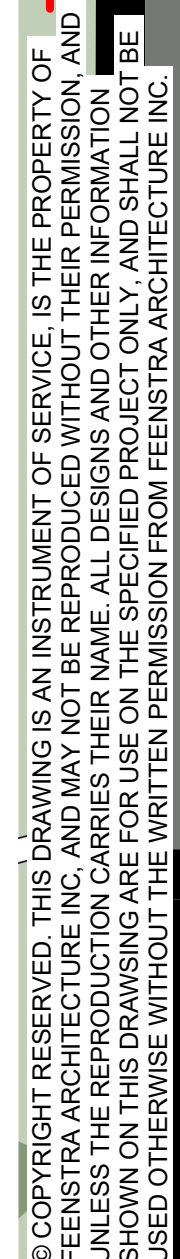
2	Re-issued for Development Permit	2023-08-17
1	Issued for Development Permit	2023-03-01
No.	Description	Date

West Vancouver, BC
V7V 1C8

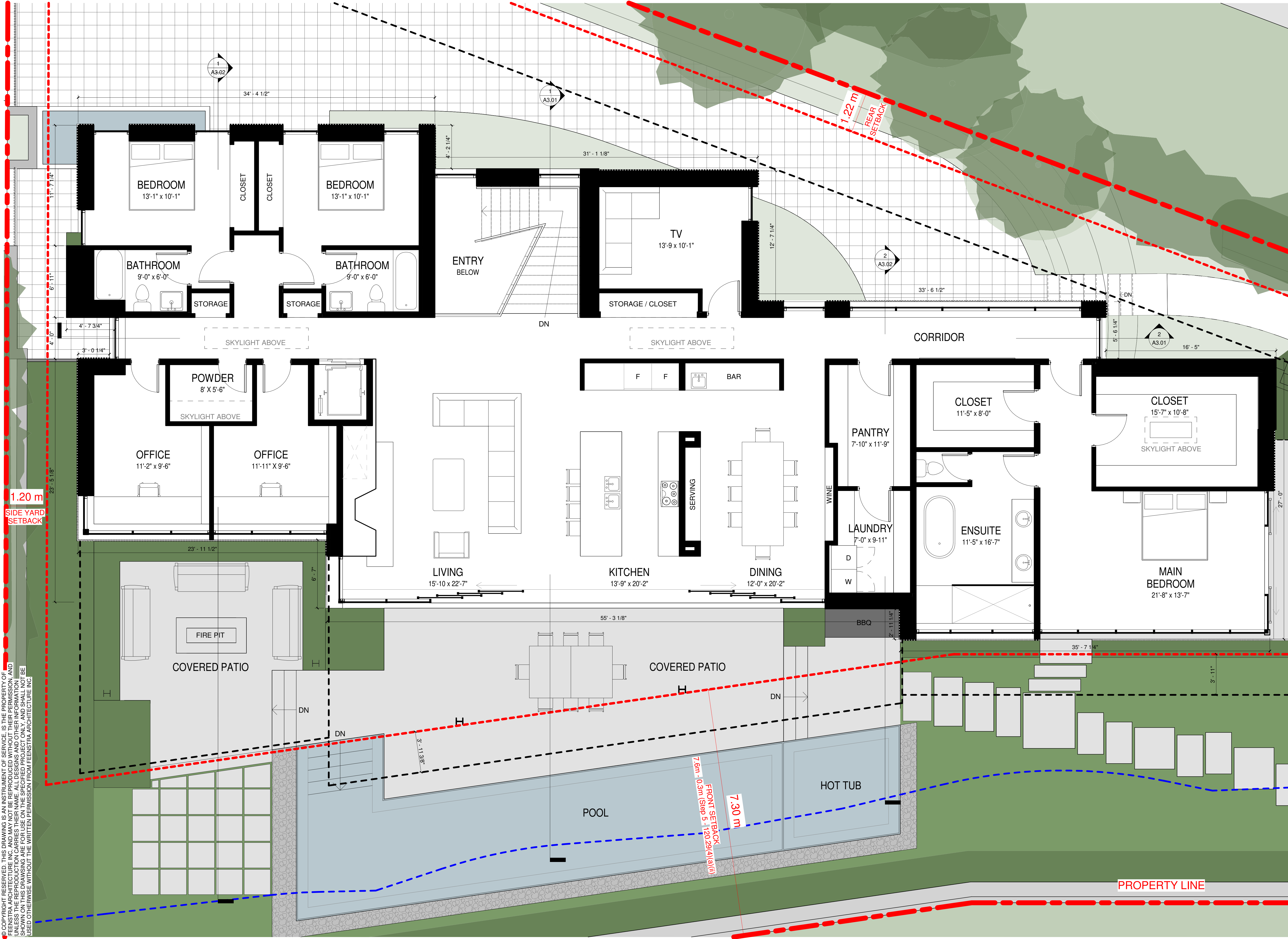
GARAGE LEVEL
PLAN
(NON HABITABLE)

Drawing No.

© 2020 Feenstra Architecture

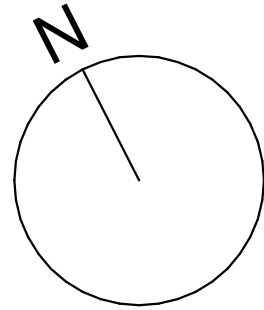


① GARAGE LEVEL - Dependent 1
1/4" = 1'-0"



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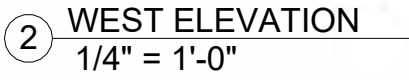
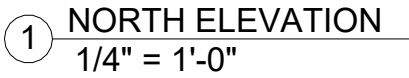
Project:
2368 Bellevue Ave
West Vancouver, BC
V7V 1C8

Drawing Title:
MAIN FLOOR

Plot Date: 07/09/02
Drawn by: Author
Project No.
Drawing No.

Checked by: Checker
Scale: 1/4" = 1'-0"
Date

- 1 LIMESTONE WALL CLADDING
- 2 FIBER CEMENT WALL CLADDING
- 3 METAL ROOF TRIM
- 4 METAL SOFFIT, WOOD PATTERN
- 5 TRIPLE GLAZED WINDOWS
- 6 BOARD FORM CONCRETE WALLS
- 7 FIBER CEMENT WALL CLADDING (NO BATTENS)



Project:

2368 Bellevue Ave

West Vancouver, BC
V7V 1C8

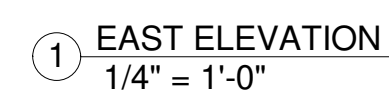
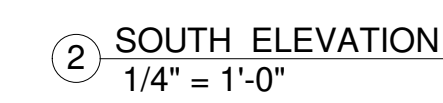
ELEVATIONS

A2.01B

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- ② FIBER CEMENT WALL CLADDING
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- ④ METAL SOFFIT, WOOD PATTERN
- ⑤ TRIPLE GLAZED WINDOWS
- ⑥ BOARD FORM CONCRETE WALLS
- ⑦ FIBER CEMENT WALL CLADDING (NO BATTENS)



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1	Issued for Development Permit	2023-03-01
No.	Description	Date

Project:

West Vancouver, BC
V7V 1C8

Drawing Title:

ELEVATIONS

Plot Date: 07/09/02

Drawn by: Author Checked by: Checker

Project No.	Scale:	As indicated
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Drawing No.

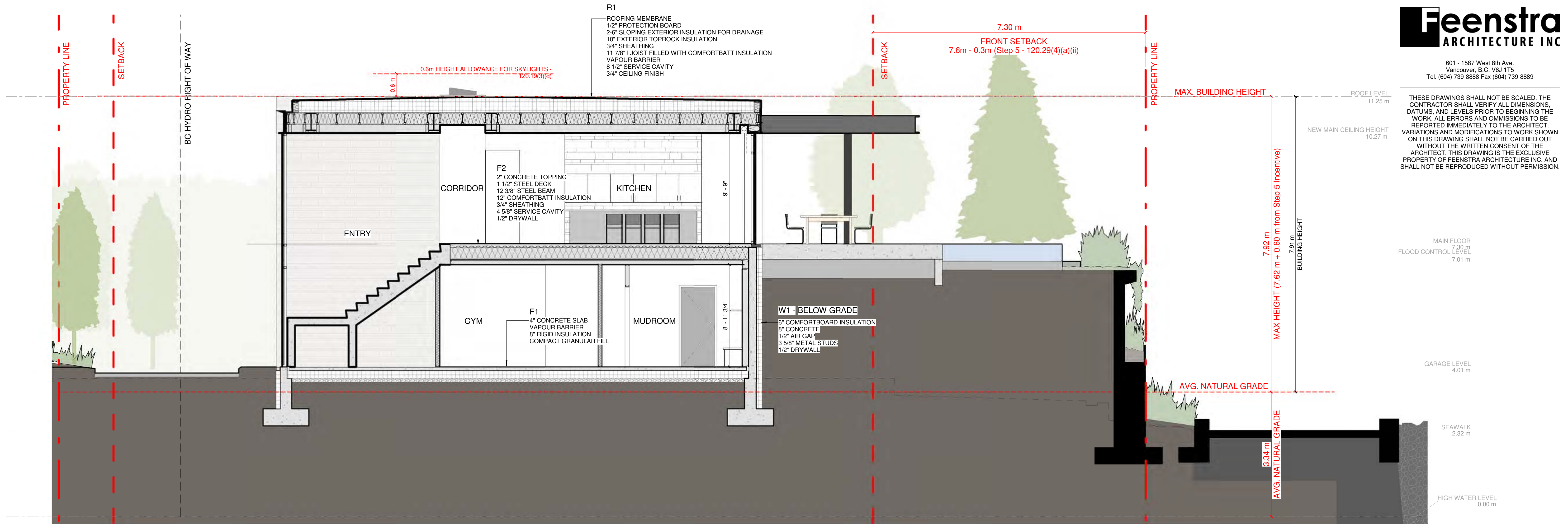
MAIN FLOOR	7.30 m
FLOOD CONTROL LEVEL	7.01 m

____ GARAGE LEVEL
4.01 m

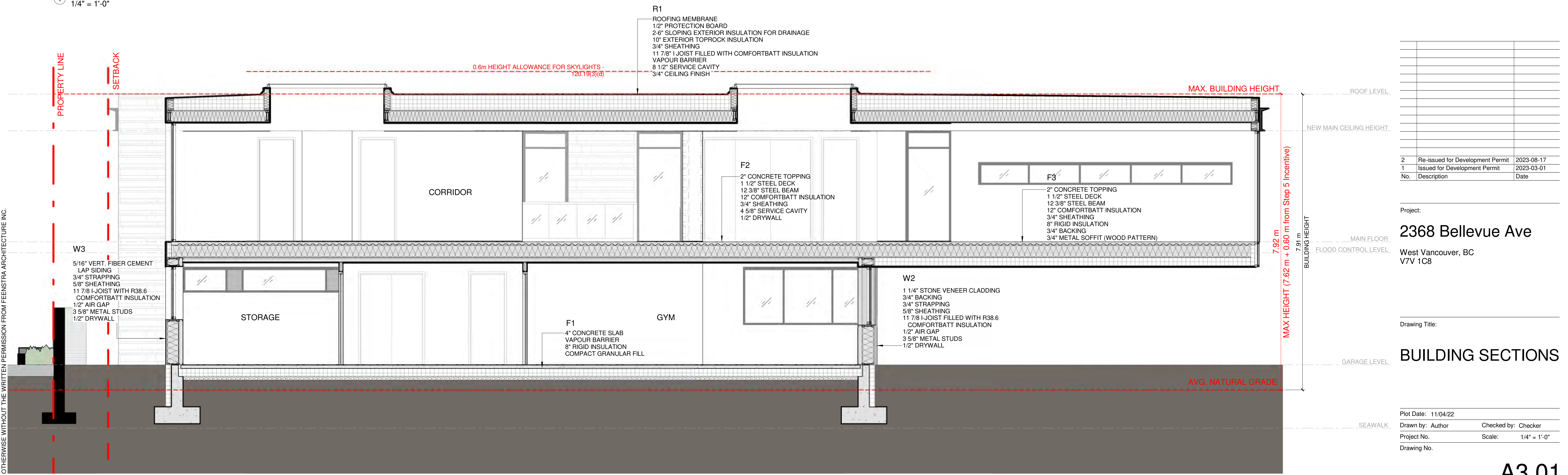
SEAWALK
2.32 m

HIGH WATER LEVEL
0.00 m

1 North South Building Section Through Stair
1/4" = 1'-0"



② East West Building Section Through Corridor
1/4" = 1'-0"



2	Re-issued for Development Permit	2023-08-17
1	Issued for Development Permit	2023-03-01
No.	Description	Date

Project:

2368 Bellevue Ave

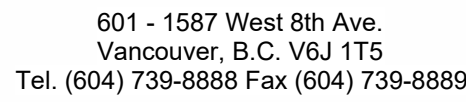
West Vancouver, BC
V7V 1C8

Drawing Title:

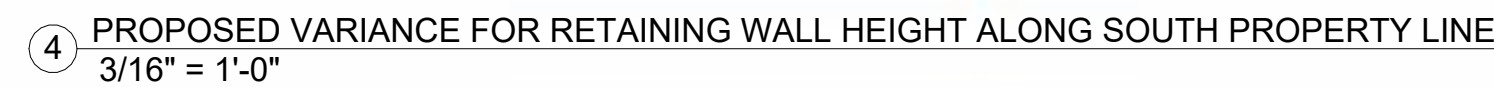
BUILDING SECTIONS

Plot Date: 11/04/22	
Drawn by: Author	Checked by: Checker
Project No.	Scale: 1/4" = 1'-0"
Drawing No.	

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A circle with a radius line segment labeled 'N'.



3	Issued for Form and Character	2024-03-28
2	Re-issued for Development Permit	2023-08-17
1	Issued for Development Permit	2023-03-01
No.	Description	Date

Project:

West Vancouver, BC
V7V 1C8

Drawing Title:

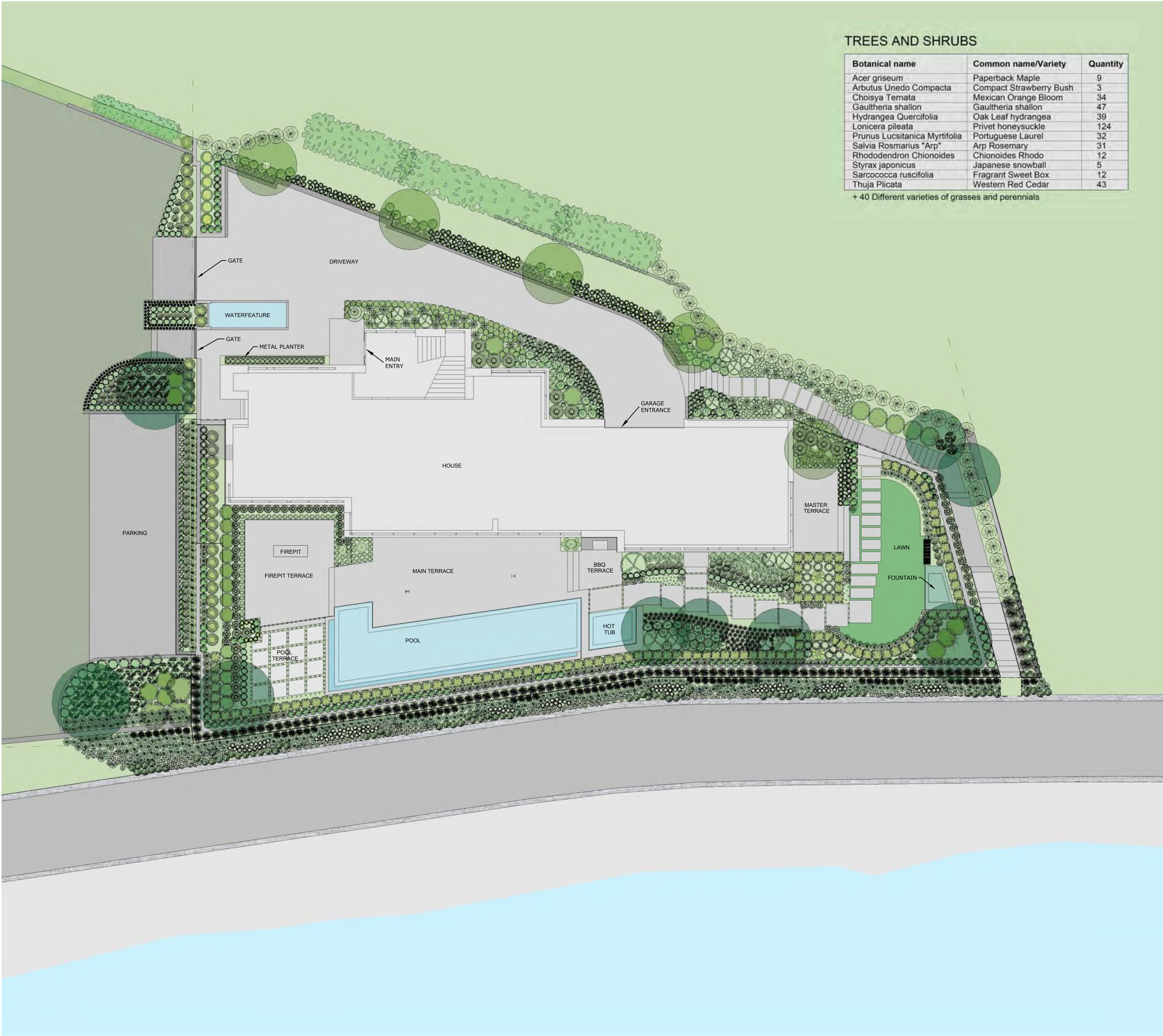
Plot Date: 01/27/23

Drawn by: Author	Checked by: Checker
Project No.	Scale: As indicated
Drawing No.	

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Proposed Retaining Wall Design

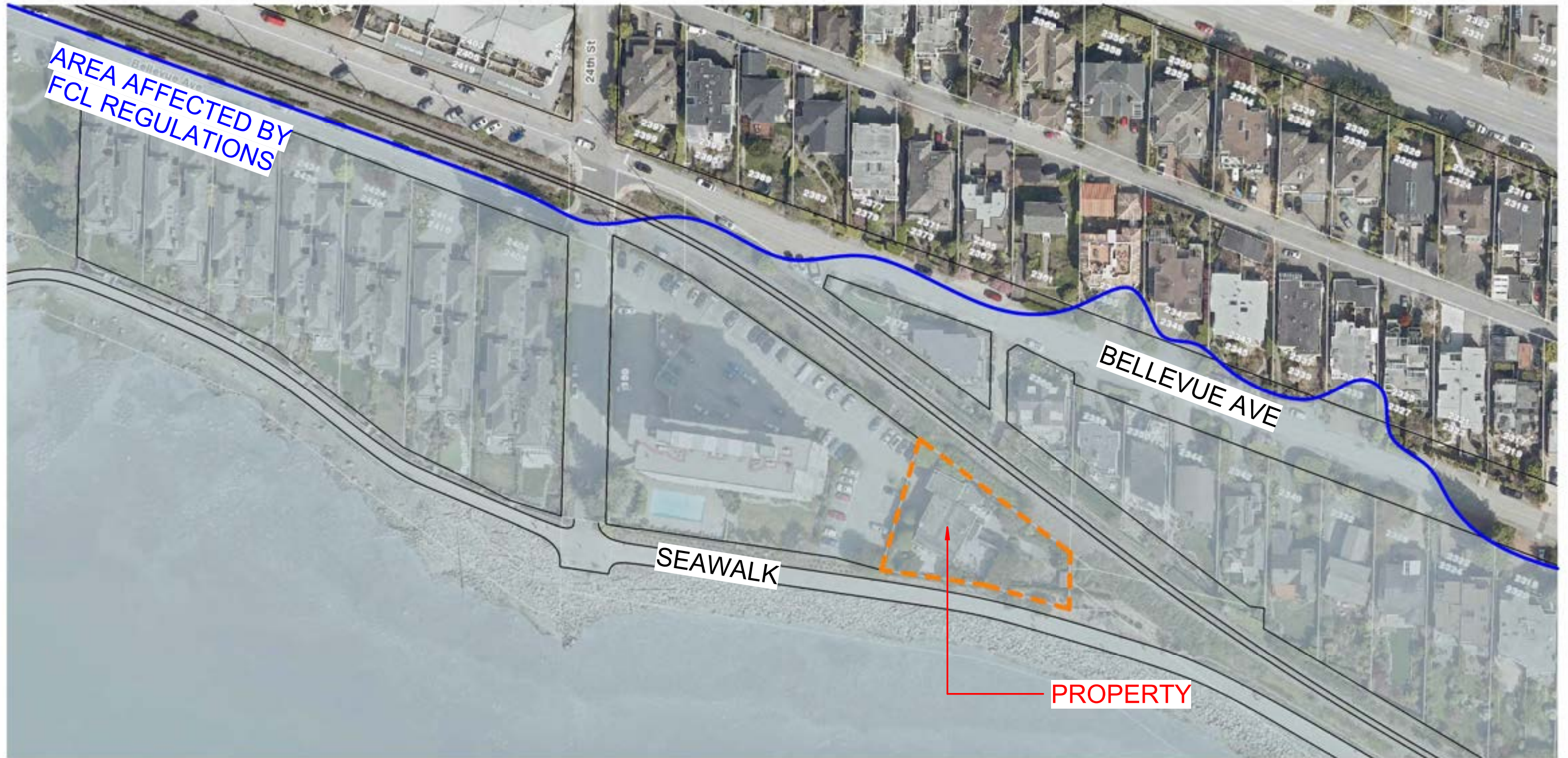


RISING GLOBAL SEA LEVEL - 2368 BELLEVUE



DUE TO GLOBAL WARMING, SEA LEVEL IS CONTINUOUSLY RISING CAUSING MORE FREQUENT EXTREME HIGH WATER EVENTS AND FLOODING

2368 BELLEVUE



THIS PLAN ILLUSTRATES THAT 2368 BELLEVUE AND ITS ADJACENT NEIGHBOURS ARE VULNERABLE TO FLOODING AND THEREFORE SUBJECT TO WEST VANCOUVER FLOOD CONSTRUCTION LEVEL REGULATIONS

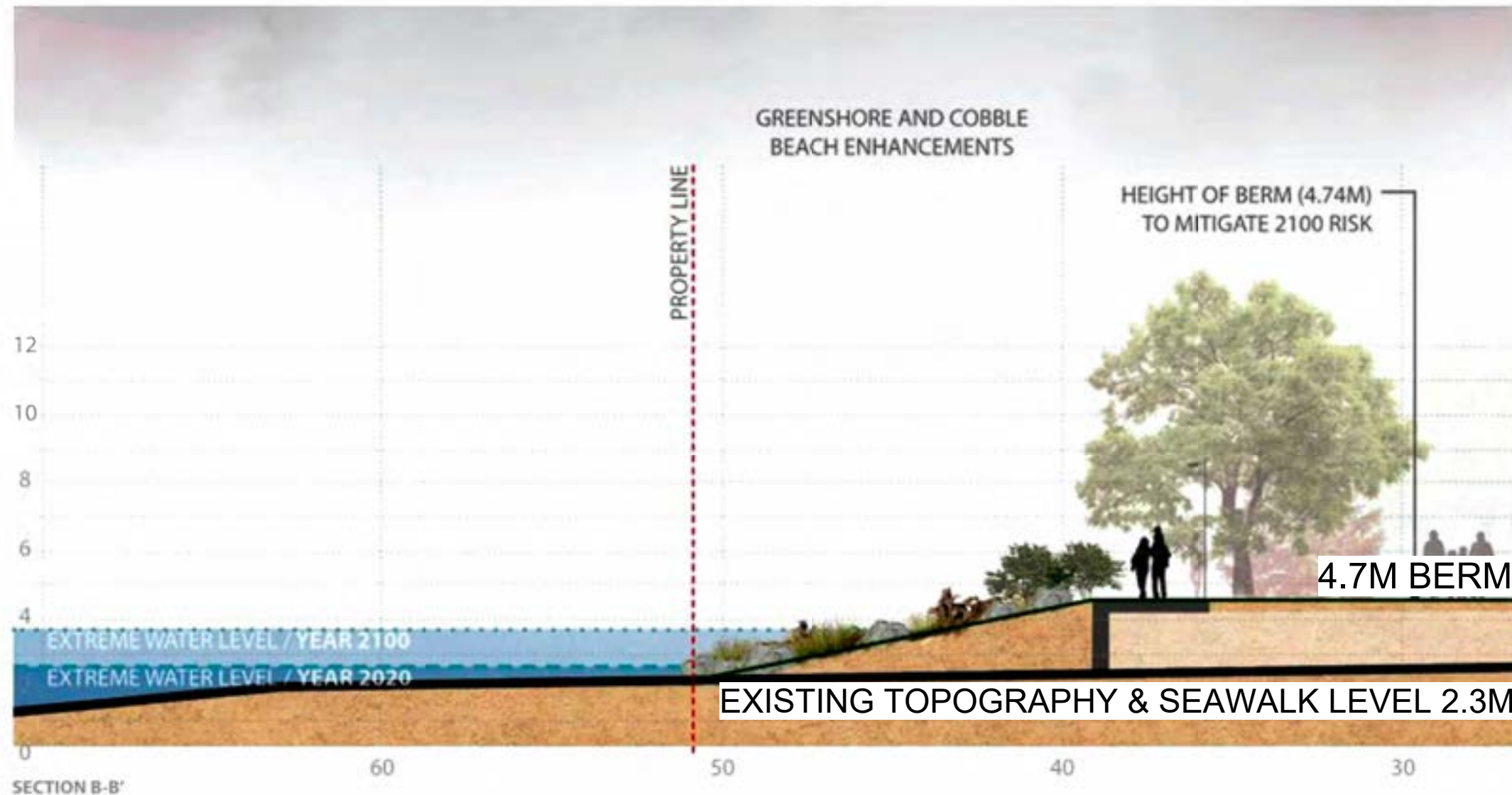
DECEMBER 27, 2022 HIGH TIDE FLOODING

(NO STORM SURGE, NO WAVES)



THIS PHOTO ILLUSTRATES MAJOR FLOODING ON DECEMBER 27, 2022 (HIGH TIDE 16.4FT)

Area-Wide Protection Measure (WSP Study)

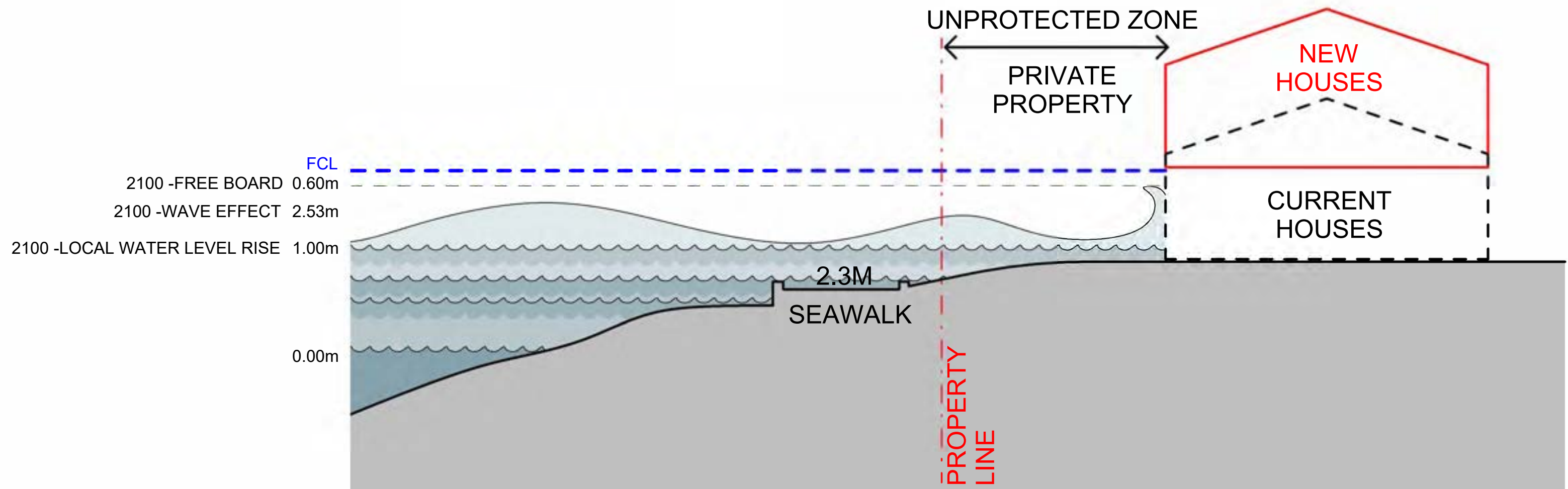


COASTAL PLANNING AND DEVELOPMENT OF FORESHORE DPA



AS PART OF THEIR STUDY, WSP COASTAL ENGINEERS MADE SEVERAL RECOMMENDATIONS INCLUDING HOW TO PROTECT RESIDENCIAL PROPERTIES AND PUBLIC PROPERTIES. THEY RECOMMENDED CREATING A BERM TO PROVIDE A SEAWALK LEVEL OF 4.7M WHICH IS APPROX 2.4M HIGHER THAN THE CURRENT SEAWALK THAT IS SUBJECT TO FLOODING

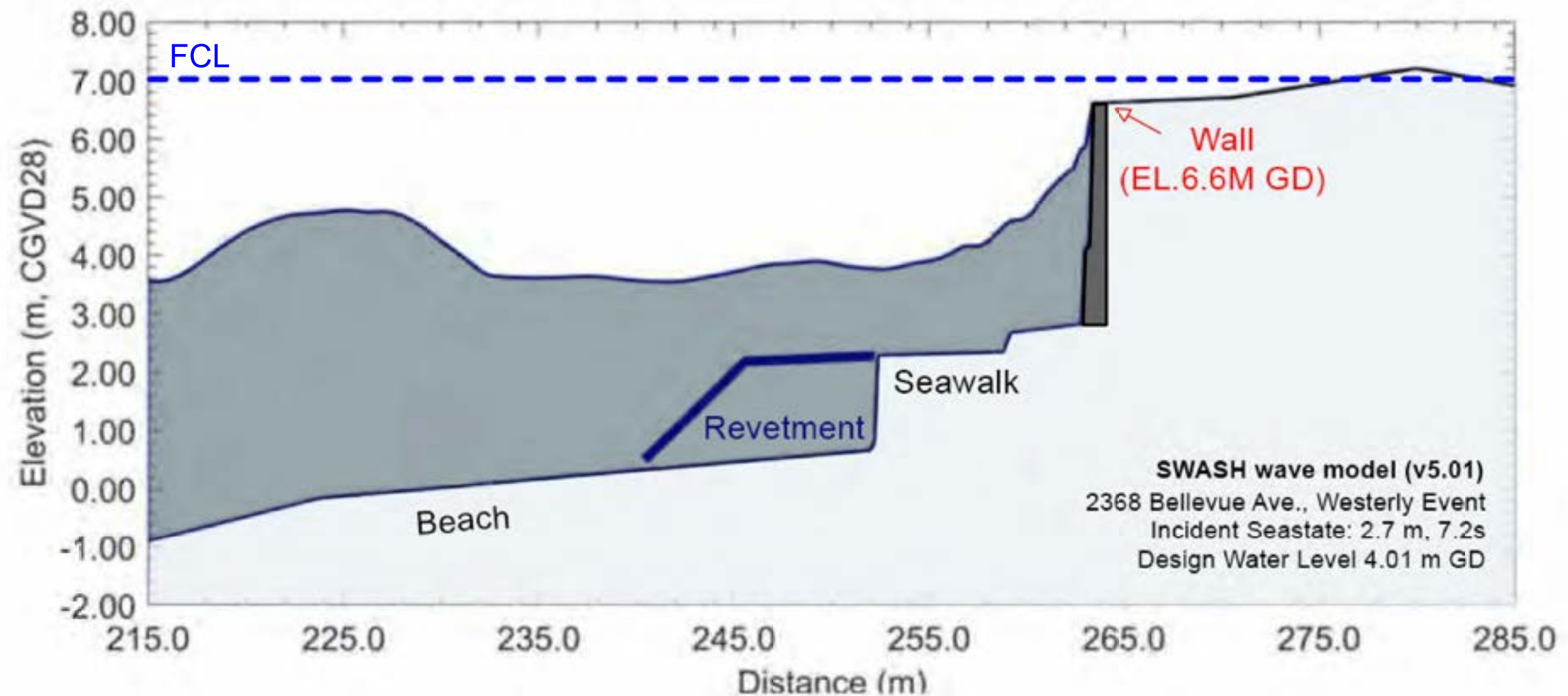
FLOOD CONSTRUCTION LEVEL CALCULATION



THE WSP ENGINEERING STUDY CALCULATED FLOOD CONSTRUCTION LEVELS ALONG THE WEST VANCOUVER FORESHORE REQUIRING NEW HOUSES TO BE CONSTRUCTED AT A MUCH HIGHER ELEVATION

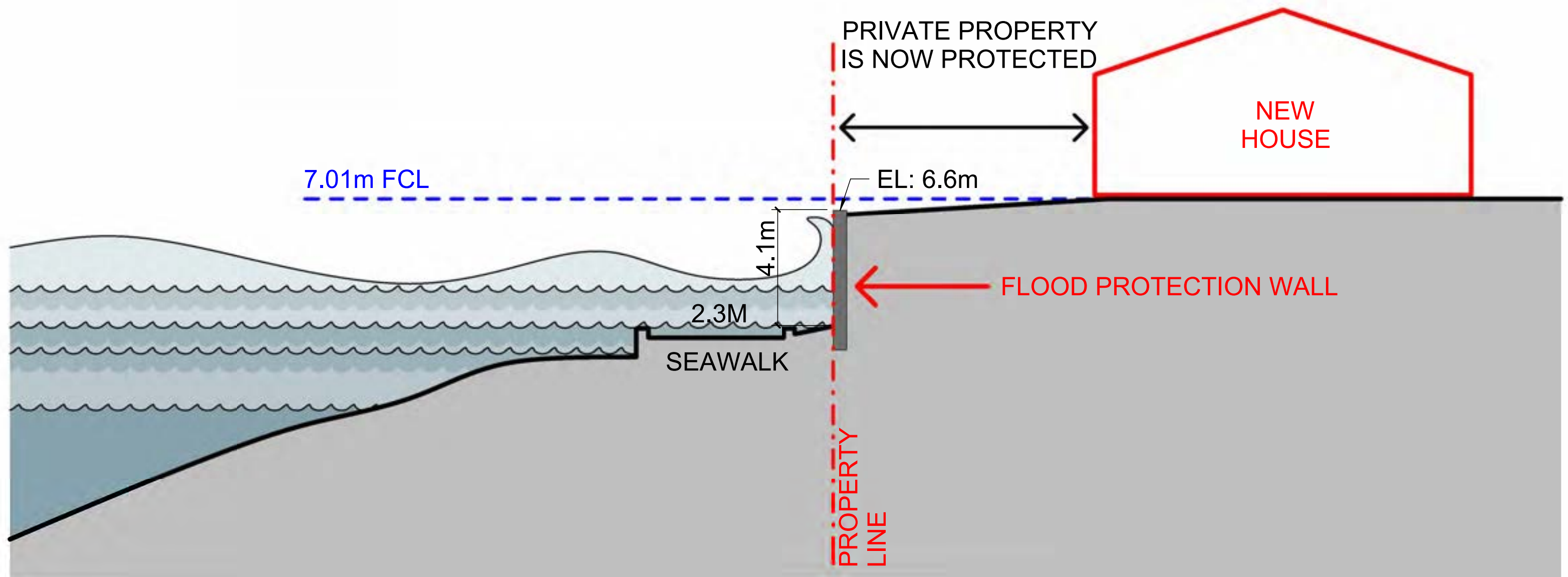
FLOOD PROTECTION ANALYSIS FOR 2368 BELLEVUE

Final Report, Rev. 3
April 2023



COASTAL ENGINEER DETERMINES THAT AN FCL OF 7.01M AND FLOOD PROTECTION WALL ELEVATION OF 6.6M IS REQUIRED TO PROVIDE FLOOD PROTECTION TO 2368 BELLEVUE

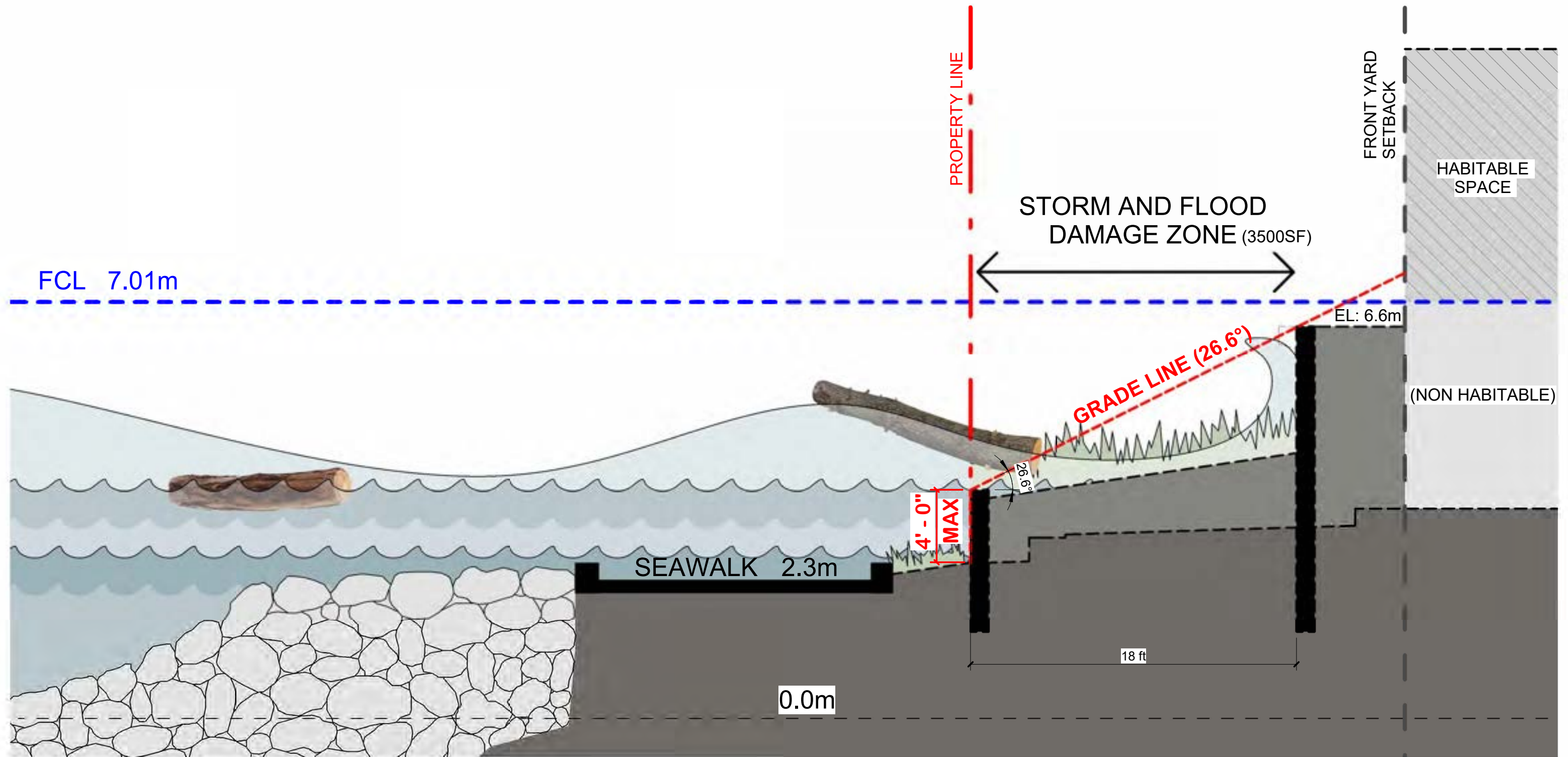
FLOOD PROTECTION WALL



THE FLOOD PROTECTION WALL ADJACENT TO EXISTING SEAWALK
PROVIDES FLOOD PROTECTION

RETAINING WALL BYLAW REGULATIONS

(4' MAX HEIGHT AT PROPERTY LINE AND CANNOT EXCEED GRADE LINE)



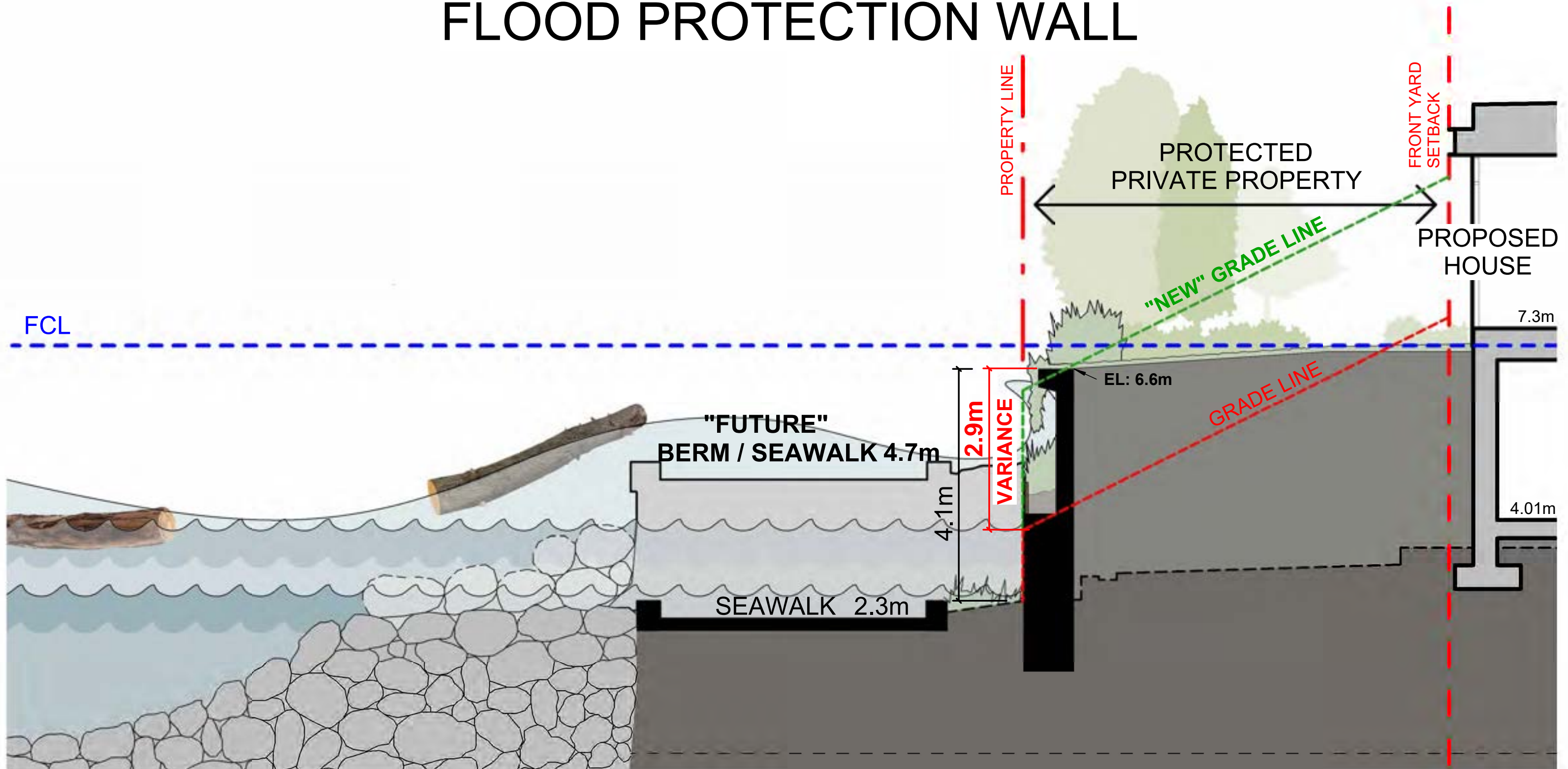
WHEN APPLYING THE CURRENT BYLAW FOR RETAINING WALLS TO FORESHORE PROPERTIES, LARGE AREAS BELOW THE FLOOD LEVEL ARE UNPROTECTED

STORM AND FLOOD DAMAGE / RISK AND LIABILITY



DAMAGE AFTER STORMS EXPECTED TO GET WORSE AS SEA LEVEL CONTINUES TO RISE YEAR AFTER YEAR
RECURRING HIGH WATER EVENTS AND STORMS WILL CREATE SIGNIFICANT DAMAGE AND PUBLIC SAFETY RISKS.
THE ABUNDANCE OF LOGS PRESENT A REAL RISK!

THE SOLUTION = ENGINEERED 4.1m FLOOD PROTECTION WALL



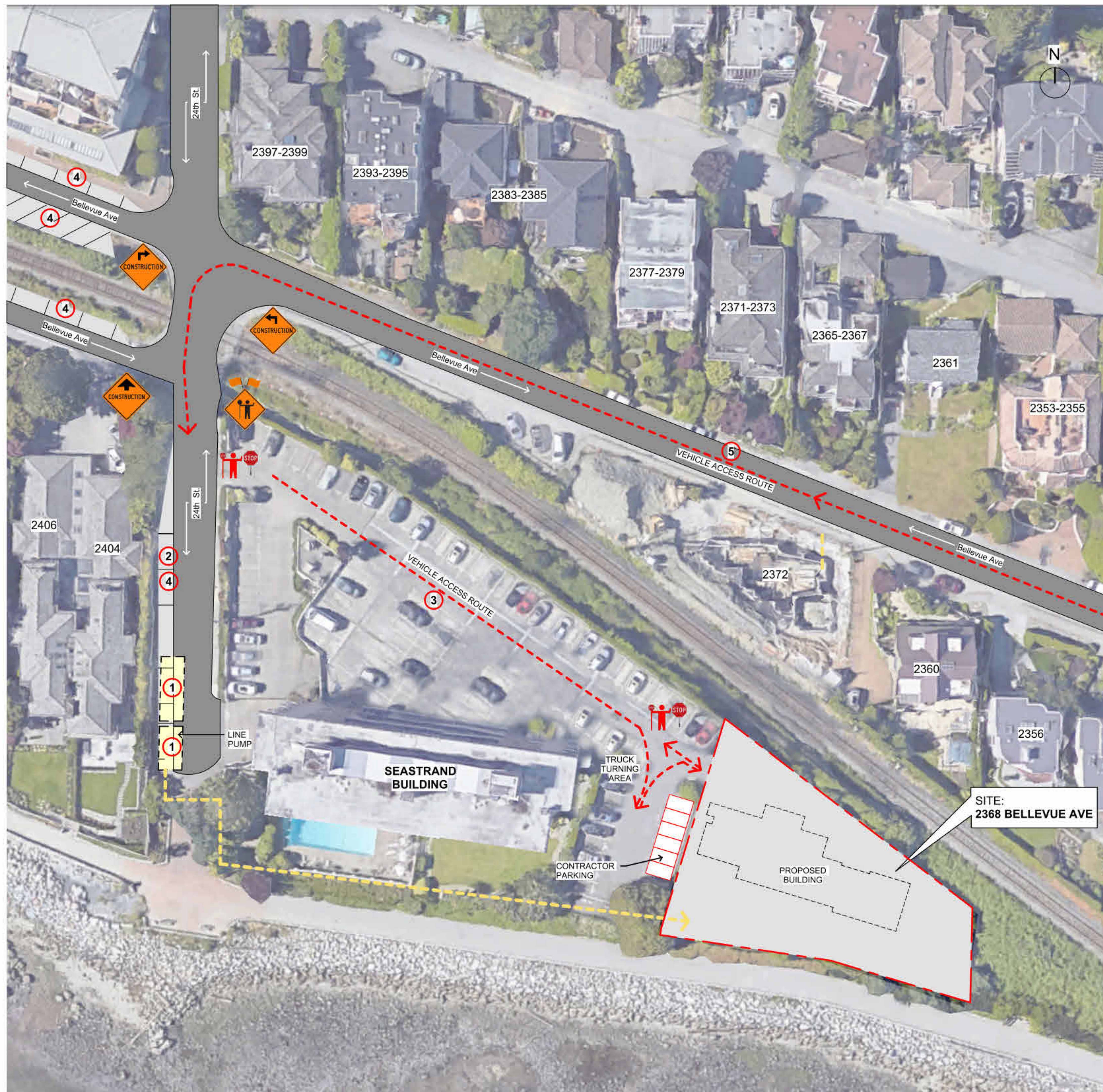
THE ENGINEERED FLOOD PROTECTION WALL THAT COMPLIES WITH WEST VANCOUVER FCL BY-LAWS
REQUIRES A RETAINING WALL HEIGHT VARIANCE.

IF WSP COASTAL ENGINEERING RECOMMENDATIONS FOR THE FUTURE SEAWALK WERE ALREADY IN PLACE, A
RETAINING WALL HEIGHT VARIANCE WOULD NOT BE REQUIRED

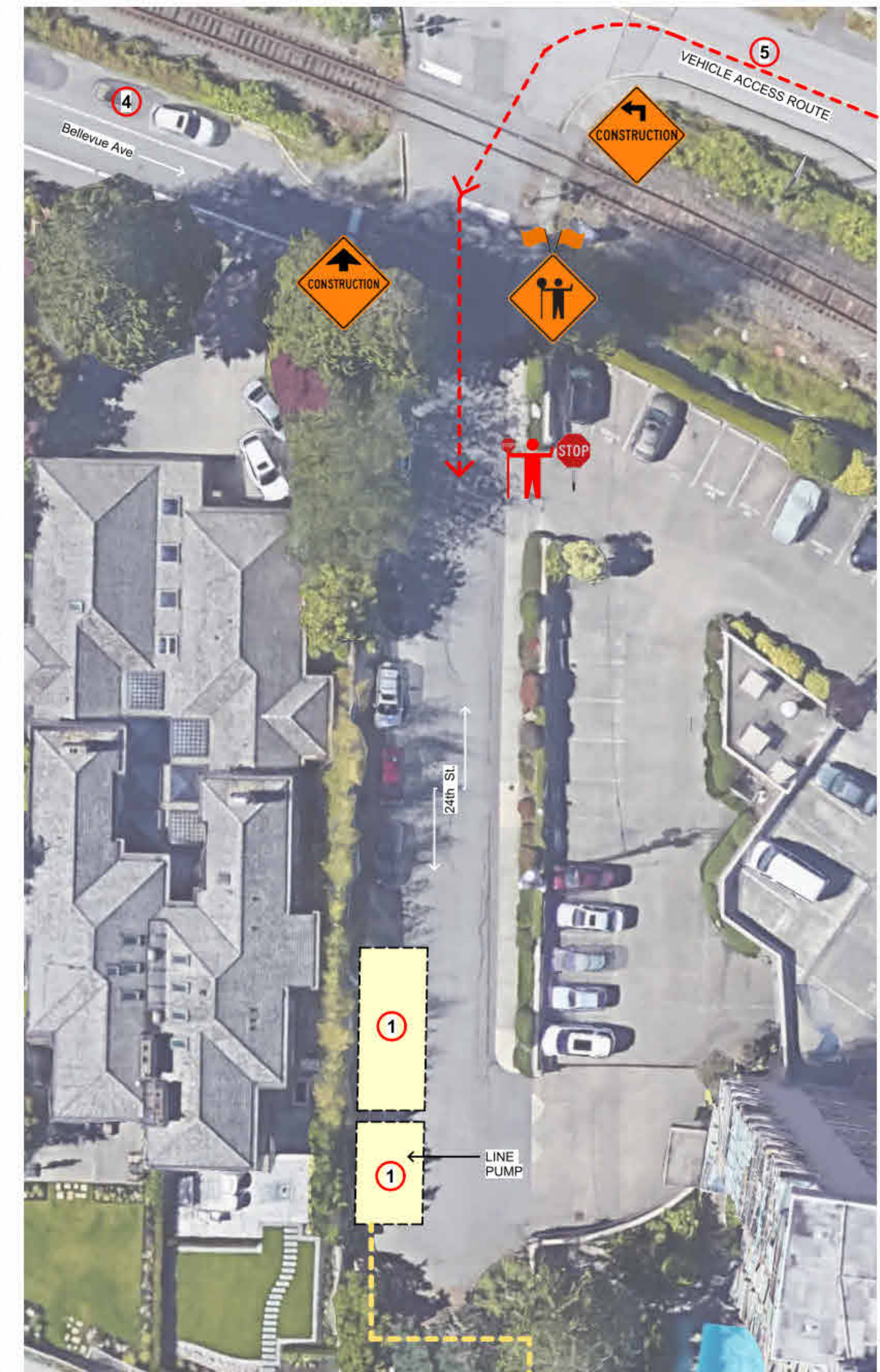
PROPOSED FLOOD PROTECTION WALL



THE PROPOSED FLOOD PROTECTION WALL (RETAINING WALL) IS DESIGNED TO INCORPORATE LANDSCAPING AND CREATE A SAFE PEDESTRIAN EXPERIENCE



- NOTES:**
- ① CONCRETE PUMPING AND EXCAVATOR LOADING AREA.
 - ② NO PARKING WHEN CONCRETE PUMPING AND EXCAVATOR LOADING IN PROCESS.
 - ③ FIRE TRUCKS, DUMP TRUCKS AND EXCAVATOR ROUTE.
 - ④ EXISTING ON-STREET PARKING.
 - ⑤ ACCESS ROUTE FOR ALL CONSTRUCTION VEHICLES.



CONSTRUCTION SITE ACCESS / TRAFFIC PLAN

Contact Information

Applicant's Contact Information

Feenstra Architecture Inc. / Ted Feenstra / 604 739-8888 / ted@feenstra.ca

Link to comment form for public input: www.2368bellevueinformation.ca

Email address for comment form for public input: ted@feenstra.ca

West Vancouver Planning Contract Information

To ask questions or provide comments to the District, please contact the File Planner:

Hanna Demyk / hdemyk@westvancouver.ca / 604 913-2750