EASEMENTS - SITE ACCESS

G23882 to G23883

This charge allows the owner of Lot B (2368 Bellevue) to enter a part of Lot A (the neighbouring property to the west), for access purposes with or without vehicles and animals; and for access to and use of a parking area.

The extent of the parking easement directly west of the western property line of 2368 Bellevue can be seen on the Site Plan on Sheet A0.02.

G88297

This charge allows the owner of Lot B, (2368 Bellevue) a right to access and use over a portion of Lot A (the neighbouring property to the west), for the purpose of ingress and egress and to install and maintain an underground sanitary swer pipeline and other materials for conducting sewage from Lot B. Lot A owner shall not maintain any building, structure or obstruction upon the easement area nor shall diminish or add to the ground cover or construct any open drains or ditches along underground pipelines. The Easement Area shall be landscaped after consruction so that the surface will be graded evenly with the surface of the adjoining lands. However, the Lot A owner shall restore the easement area following the completition of any work done by Lot B owner.

STATUTORY RIGHT OF WAY - BC HYDRO ACCESS

346235M

This charge BC Hydro a right of access and use over a portion of the lands, to install and maintain poles with guy wires, anchors and transformers for the transmission and distribution of electrical energy and for the telephone and television purposes. The charge holder may clear the right of way of anything that may interfere with the works, including tress, growth, buildings or obstructions. The owner shall not place any building or structure or plant any growth exceeding 15 feet in height. BC Hydro shall pay compensation for any damage to crops or improvements that it causes in exercise of its

The extent of the 10'-0" wide BC Hydro right of way can be seen on the Site Plan on Sheet A0.02.

VOLUME

COVENANT - VOLUME

F85424

This charge restricts development of the lands to one residential building comprising not more than three dwelling units with a maximum cubic area of 71,300 cubic feet measured from the top of the finished main floor to the top of the roof.

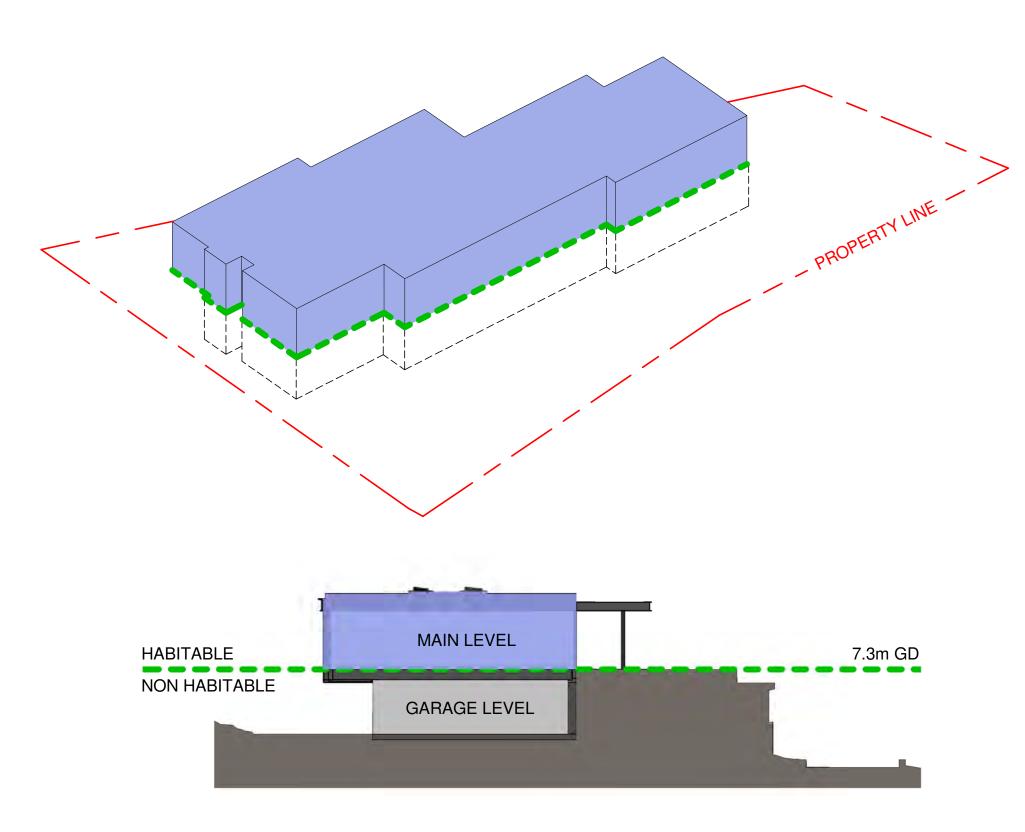
The main floor is located above the Flood Construction Level at an elevation of 7.3m GD.

Maximum allowable volume = 71,300 ft³

Volume of habitable space = 53,581.5 ft³

Non habitable spaces

Finished main floor (at 7.3m GD)



PROJECT STATISTICS

2368 BELLEVUE AVENUE

WEST VANCOUVER

LOT DISTRICT LOT 554 PLAN VAS1722 GROUP 1 NWD

ZONING: RM-1

SECTION 300 - MULTIPLE DWELLING ZONES

Item	Allowed	Proposed
301.01 Permitted Uses	(h) single family dwellings	
301.02 Conditions of Use	(1) 2 lodgers within a single family dwelling	
301.03 Site Area	(3) Single family dwelling: 372 m² minimum.	1258.3 m ²
301.04 Site Width	(2) 10.1 m minimum	15.3 m at narrowest point
301.05 Floor Area Ratio	(N/A)	
301.06 Site Coverage	(2) 40% maximum	29.5%
301.07 Front Yard	(1) 7.6 m minimum (7.3 m for Step 5)*	7.3 m
	(2) The front site line shall be deemed to be either the north or south site line	South site line
301.08 Rear Yard	(1) The rear yard is measured from the north or south site line	North site line
	(2) 1.52 m minimum (1.22 m for Step 5)**	1.22 m
301.09 Side Yard	(1) The side yard is measured from the east or west site lines Proposed Side Yard Setbacks:	East and west site lines
	(3) 1.5 m minimum (1.2 m for Step 5) ***	1.2 m
301.10 Building Width	(N/A)	
301.11 Building Height	(3) 7.62 m maximum (7.92 m for Step 5)****	7.91m
301.12 Number of Storeys	(2) 2 storeys maximum	2
301.13 Off-Street Parking	(3) 1 parking space per dwelling minimum shall be provided.	Parking Easement of G23882 to G23883 allows the use of a parking area directly west of the property.
301.14 Suite Size	(N/A)	
301.16 Canopy	(N/A)	
301.17 Roof Structures	(N/A)	
301.18 Fences	(N/A)	

* As per 120.29(4)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to required yard setback applies where the building meets Step 5.

As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the required front yard setback of 7.6 m can be reduced by 0.30 m for a minimum setback of 7.3 m.

** As per 120.29(4)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to required yard setback

applies where the building meets Step 5.

As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the required rear yard setback of 1.52 m can be reduced by 0.30 m for a minimum setback of

***As per 120.29(4)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to required yard setback applies where the building meets Step 5.

As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the required rear yard setback of 1.5 m can be reduced by 0.30 m for a minimum setback of 1.2 m.

****As per 120.19 (3)(a) & 120.29(1)(a)(ii) (Bylaw #4974), where a building is considered under Part 9 of the BC Building Code, a 0.30 metre adjustment to building height applies where the building meets Step 5.

As 2368 Bellevue is designed to meet Step 5 of the Energy Step Code, the maximum building height can be 0.30m above the 7.62m maximum height or 7.92m.

DRAWING LIST

PROJECT DATA & ZONING	A0.00
CONTEXT	A0.01
SITE PLAN	A0.02
SURVEY	A0.03
AVERAGE GRADE & BUILDING HEIGHT	A0.04
MATERIALS	A0.05
GARAGE LEVEL PLAN	A1.00
(NON HABITABLE)	
MAIN FLOOR	A1.01
ROOF PLAN	A1.02
ELEVATIONS	A2.01
ELEVATIONS	A2.02
BUILDING SECTIONS	A3.01
BUILDING SECTIONS	A3.02
3D VIEWS	A5.01
NEIGHBOUR VIEWS	A5.02
REQUEST FOR VARIANCE	A6.01
PROPOSED RETAINING WALL VARIANCE	A6.02
PROPOSED RETAINING WALL VARIANCE	A6.03



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2 Re-issued for Development Permit 2023-08-17
1 Issued for Development Permit 2023-03-01
No. Description Date

Projec

2368 Bellevue Ave

West Vancouver, BC V7V 1C8

Drawing Title:

PROJECT DATA & ZONING

Plot Date: 07/09/02	
Drawn by: Author	Checked by: Checker
Project No.	Scale: As indicated
Drawing No.	

A0.00

EXISTING HOUSE



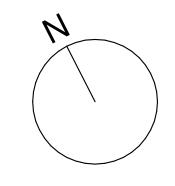
VIEW OF EXISTING HOUSE + SEASTRAND BUILDING FROM SEAWALK



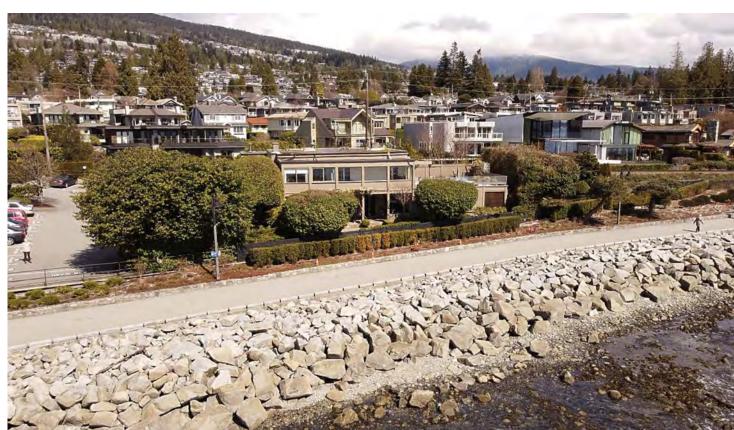
VIEW OF EXISTING HOUSE FROM RAILROAD



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VIEWS OF EXISTING HOUSE + SEAWALK



1 CONTEXT PLAN 1/32" = 1'-0"

-		
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1	Issued for Development Permit	2023-03-01

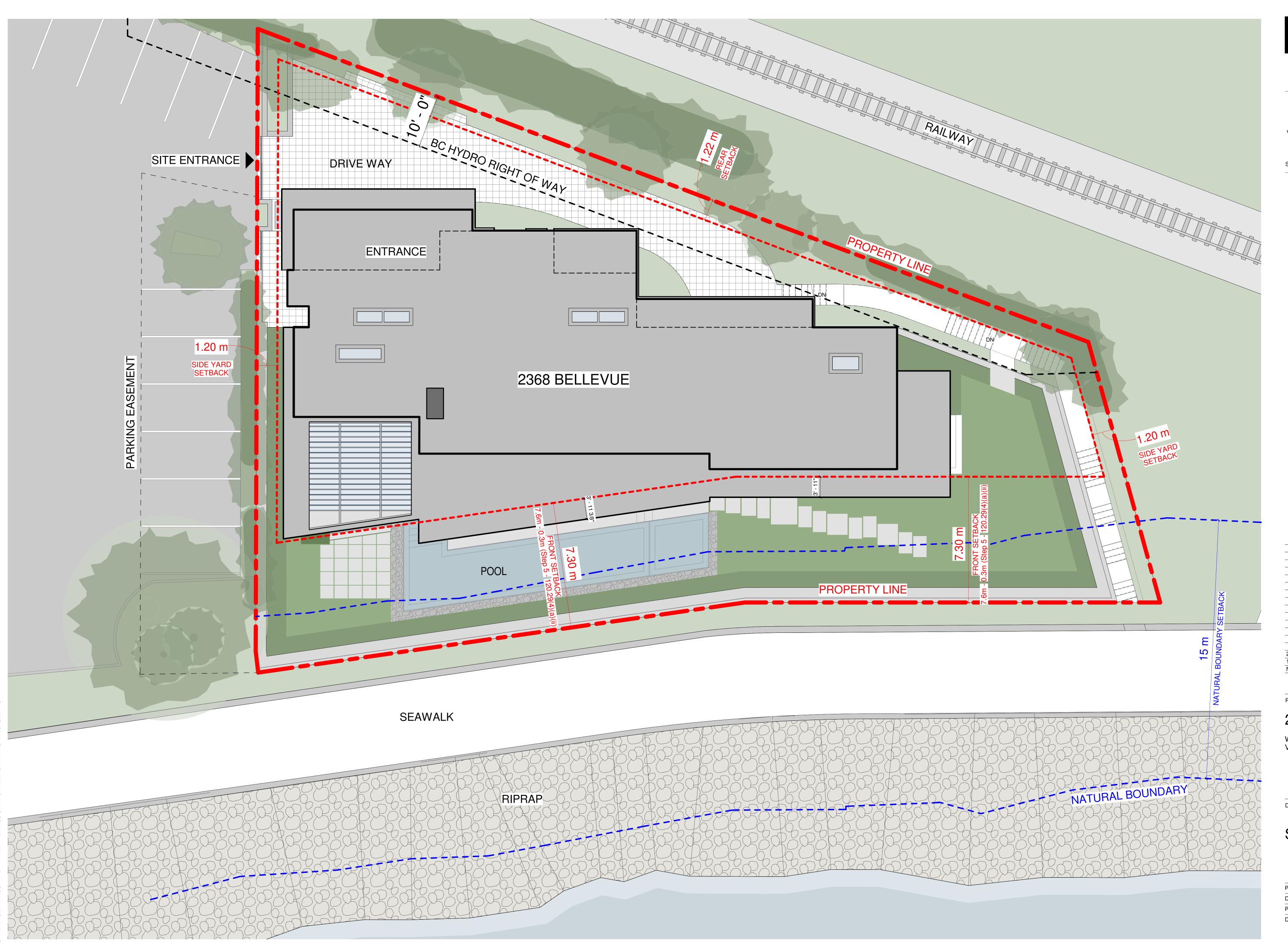
2368 Bellevue Ave

West Vancouver, BC V7V 1C8

No. Description

CONTEXT

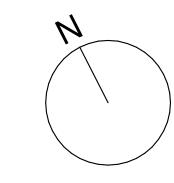
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2368 Bellevue Ave

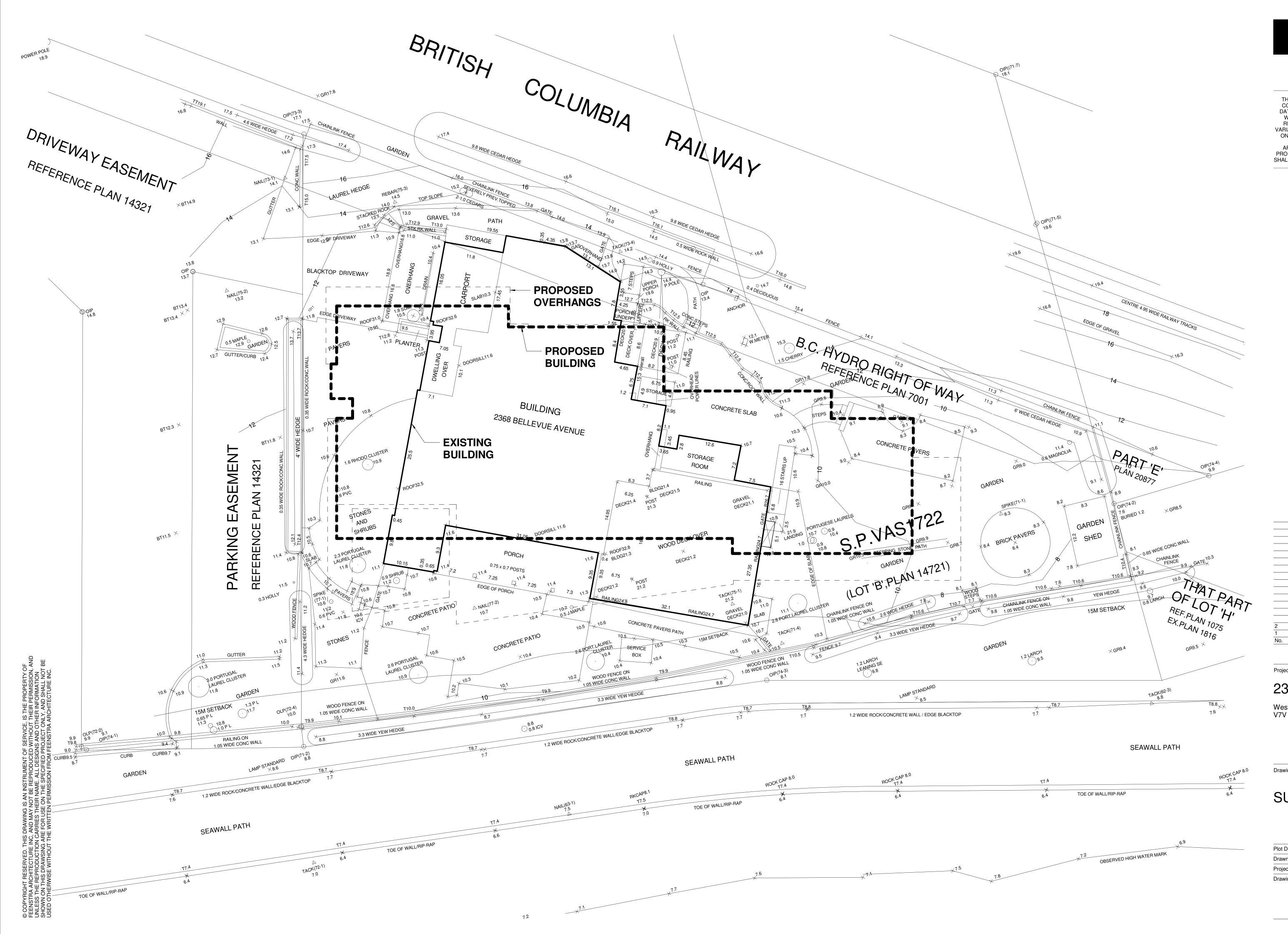
West Vancouver, BC V7V 1C8

Drawing Ti

SITE PLAN

Plot Date: 07/09/02	
Drawn by: Author	Checked by: Checker
Project No.	Scale: 1/8" = 1'-0'

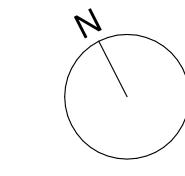
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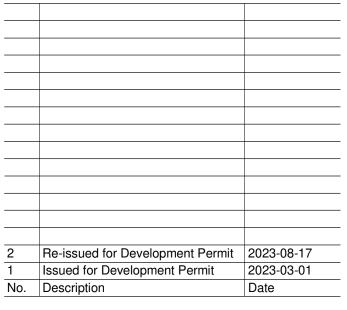




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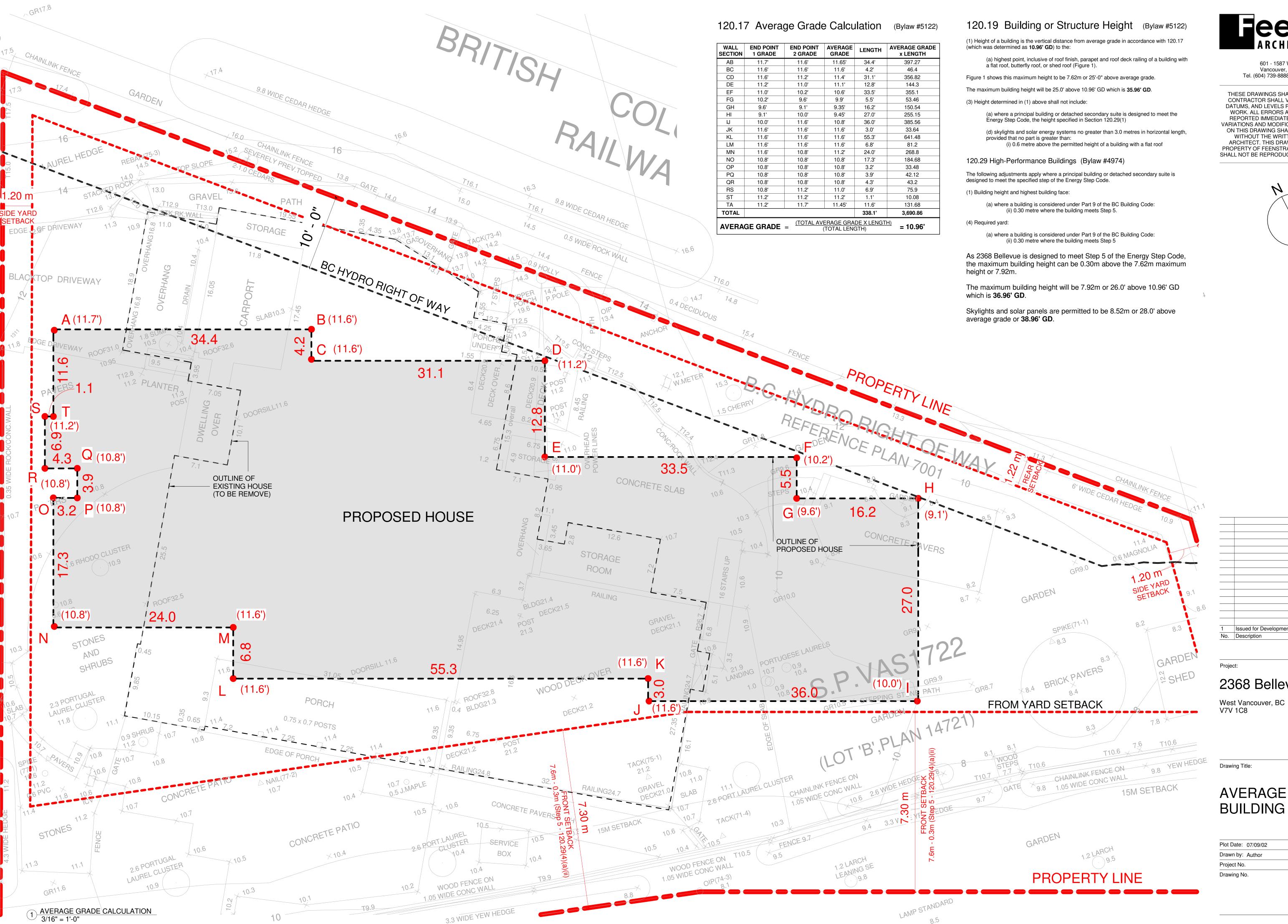


2368 Bellevue Ave

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SURVEY

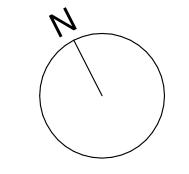
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Drawn by: Author	Checked by: Checker
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2368 Bellevue Ave

AVERAGE GRADE & BUILDING HEIGHT

A0.04

MATERIAL LEGEND

MATERIAL SPECIFICATIONS

1) LIMESTONE WALL CLADDING

1 1/4" THICK 'LIMESTONE' STONE VENEER 3/4" BACKING 3/4" STRAPPING

(2) FIBER CEMENT WALL CLADDING

5/16" THICK VERTICAL FIBER CEMENT PANELS, 12" WIDE BY 12' TALL PANEL 1 1/2" X 1 1/2" X 12' VERTICAL BATTENS 3/4" STRAPPING

(3) METAL ROOF TRIM

EXPOSED STEEL, PAINTED BLACK

(4) WOOD SOFFIT

3/4" THICK HORIZONTAL WOOD SOFFIT

5 TRIPLE GLAZED WINDOWS

TRIPLE GLAZED DOUBLE LOW-E (USI 0.8) FIBERGLASS MULLIONS PAINTED BLACK

6 BOARD FORM CONCRETE WALLS

EXTERIOR GRAY CONCRETE WALL

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Drawing Title:

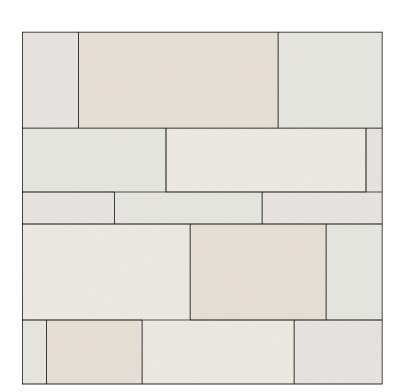
MATERIALS

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Project No.	Scale: As indicated
Drawing No.	

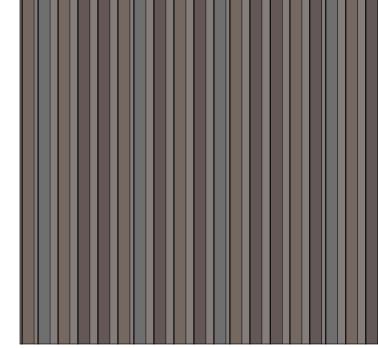
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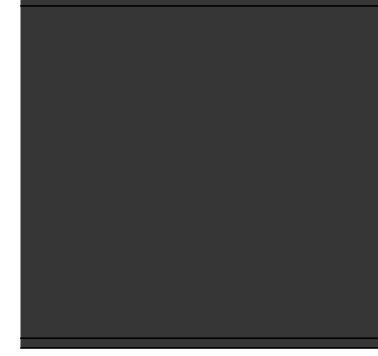
MATERIAL IMAGES



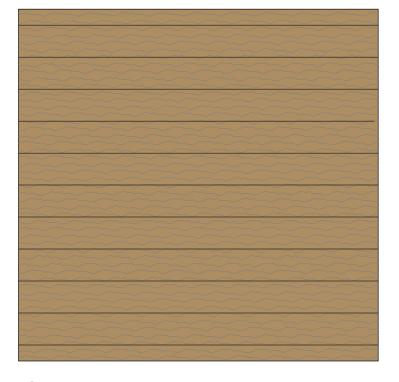
1 LIMESTONE WALL CLADDING



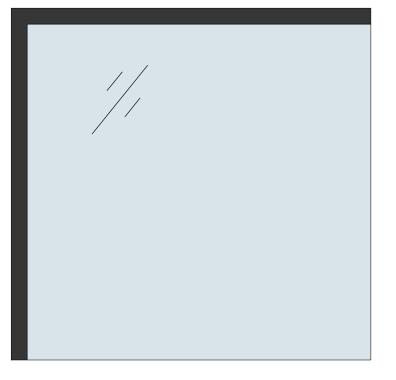
2 FIBER CEMENT WALL CLADDING



③ METAL ROOF TRIM



4 WOOD SOFFIT



⑤ TRIPLE GLAZED WINDOWS



6 BOARD FORM CONCRETE WALL

MATERIAL

-MAIN ENTRANCE

- 1) LIMESTONE WALL CLADDING
- (2) FIBER CEMENT WALL CLADDING
- 3 METAL ROOF TRIM
- 4 METAL SOFFIT, WOOD PATTERN
- (5) TRIPLE GLAZED WINDOWS
- (6) BOARD FORM CONCRETE WALLS
- (7) FIBER CEMENT WALL CLADDING (NO BATTENS)

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NORTH ELEVATION
1/4" = 1'-0"



116' - 6 5/8"

48' - 10 3/4"

3.85 m

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Drawing Title

ELEVATIONS

Plot Date: 07/09/02		
Drawn by: Author	Checked by:	Checker
Project No.	Scale:	As indicated
Drawing No.		

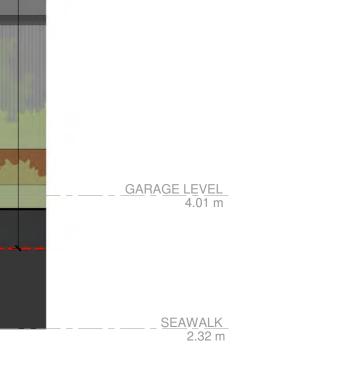
A2.01

MATERIAL

- 1) LIMESTONE WALL CLADDING
- (2) FIBER CEMENT WALL CLADDING
- 3 METAL ROOF TRIM
- 4) METAL SOFFIT, WOOD PATTERN
- 5 TRIPLE GLAZED WINDOWS
- (6) BOARD FORM CONCRETE WALLS
- (7) FIBER CEMENT WALL CLADDING (NO BATTENS)







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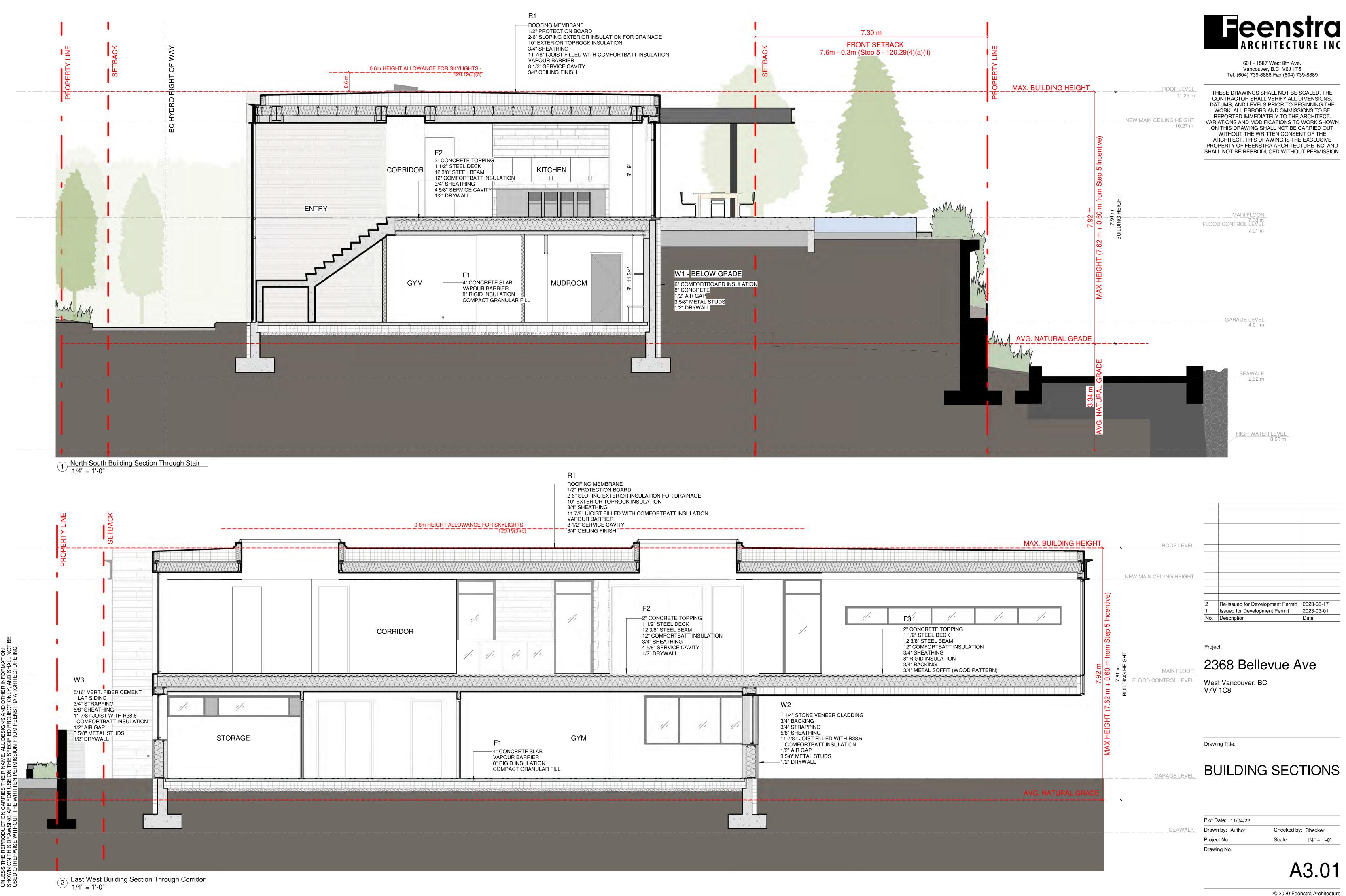
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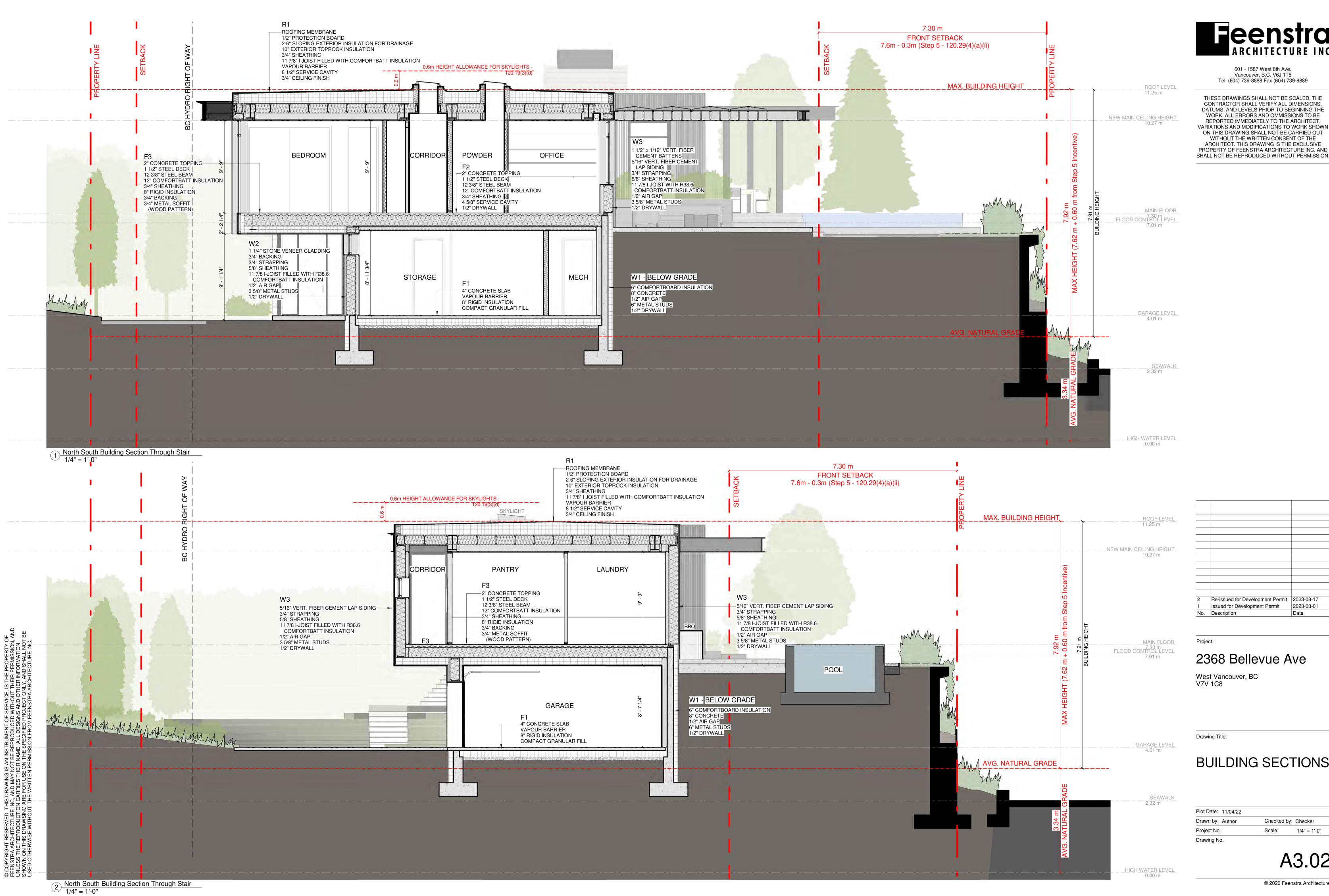
ELEVATIONS

Plot Date: 07/09/02	
Drawn by: Author	Checked by: Checker
Project No.	Scale: As indicated

1 EAST ELEVATION 1/4" = 1'-0"

2 SOUTH ELEVATION 1/4" = 1'-0"





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Drawing Title:

BUILDING SECTIONS

Plot Date: 11/04/22		
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VIEW TO SITE ENTRANCE



VIEW LOOKING EAST FROM SEAWALK



VIEW FROM RAILWAY



VIEW LOOKING WEST FROM SEAWALK

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Project:

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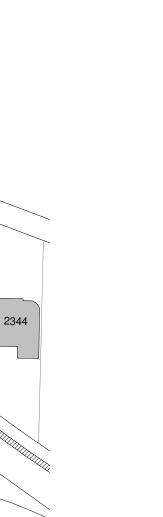
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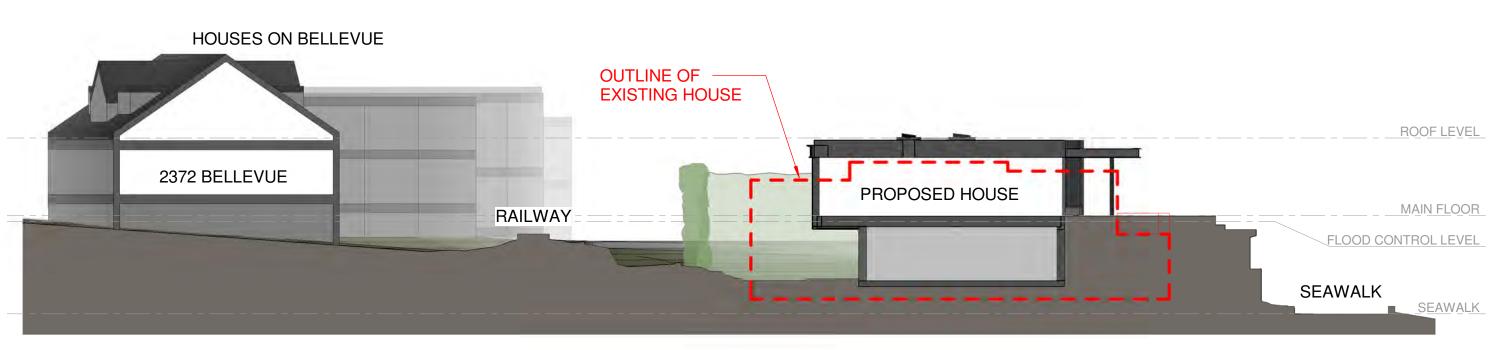
3D VIEWS

Plot Date: 07/09/02	
Drawn by: Author	Checked by: Checker
Project No.	Scale:
Drawing No.	

A5.01

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SITE SECTION THROUGH **PROPOSED** HOUSE



2372

VIEW FROM 2356 BELLEVUE SHOWING **EXISTING** HOUSE

VIEW KEYPLAN



VIEW FROM 2356 BELLEVUE SHOWING **PROPOSED** HOUSE

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No.	Description	Date

Project:

2368 Bellevue Ave

West Vancouver, BC V7V 1C8

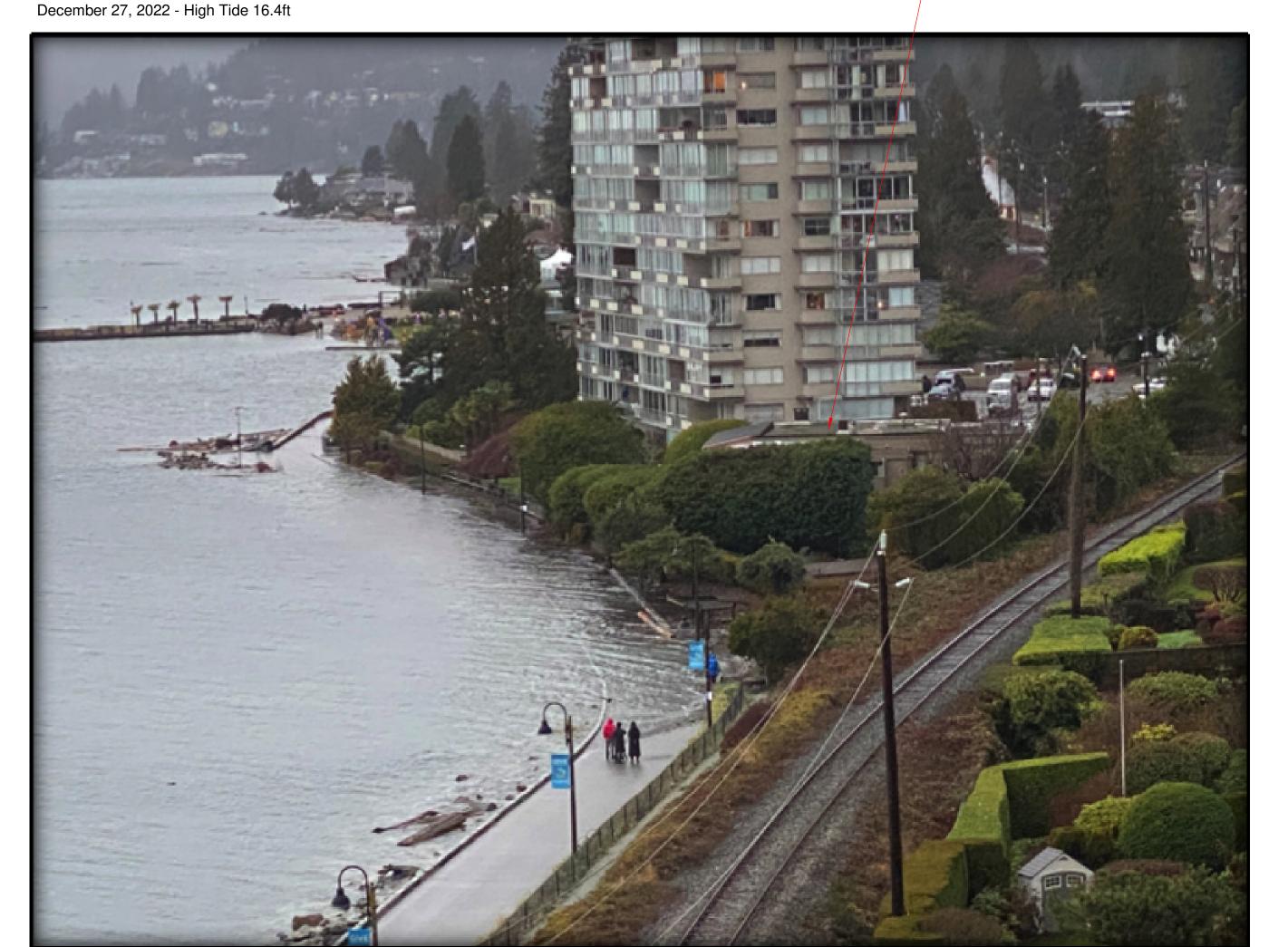
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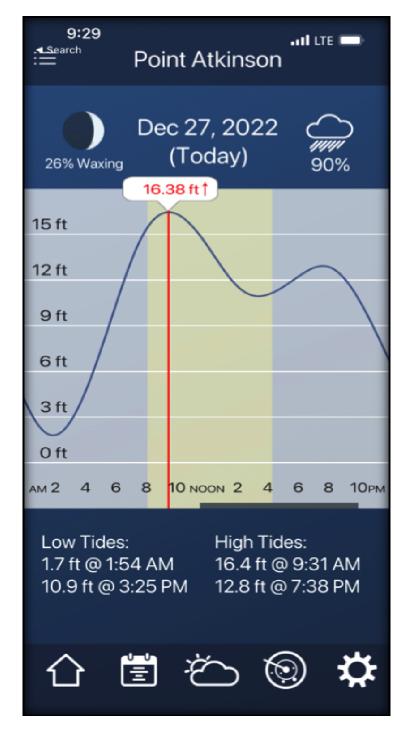
NEIGHBOUR VIEWS

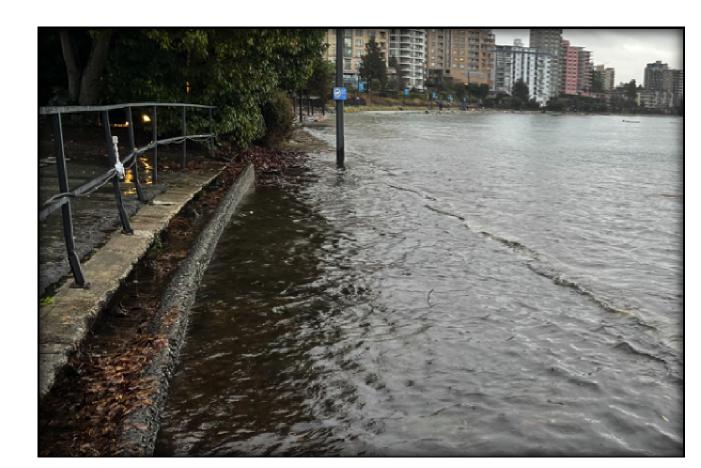
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A5.02

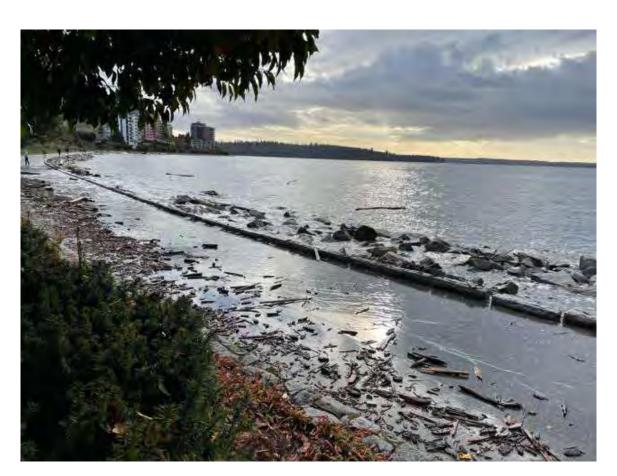
2368 BELLEVUE

















STORM DAMAGE PHOTOS

SERVICE, IS THE PROPERTY OF WITHOUT THEIR PERMISSION, AS AND OTHER INFORMATION DUECT ONLY, AND SHALL NOT BOTH INE.

REQUEST FOR VARIANCE:

WEST & SOUTH PROPERTY RETAINING WALL HEIGHT AND EAST PROPERTY MAX GRADE ANGLE

This site has a number of unique attributes that impact the site's useability with the most significant related to the flood control regulations that have been adopted for West Vancouver waterfront properties. The need to take significant measures to protect both public and private property has been borne out by a number of weather events in the past few years that have impacted the West Vancouver seawalk and adjacent properties with considerable fiscal impact.

A study completed by NHC COastal Engineering in February 2023 has defined a 7.01m GD Flood Construction Level for this site.

A site specific study completed by NHC Coastal Engineering in February 2023, has defined a 7.01m GD Flood Construction Level for this site. To achieve the site specific FCL, we are requesting permission to vary from the maximum retaining wall height on the west and south property lines to a height of 6.6m GD. On the east property line, we are requesting permission to vary from a max grade angle of 36.9 degree to 45 degrees to allow for a 6.6m GD retaining wall.

The current bylaw allows for a 4 ft (1.2m) wall to be erected at the property line, which for this property would have a top elevation of 3.9m GD. We are looking for permission to build the wall to an elevation consistent with the mitigation measures noted in the WSP study for West Van lands as well as the height of the overtopping wall required for this property as advised by NHC Coastal Engineering. This is 6.6m GD.

It is unfortunate that the timing of the residential redevelopment is occurring well in advance of the plans being developed by West Van Parks and therefore the intersection between the public and private lands will need to be anticipated in the wall design. It was recommended in the WSP study that in order to protect public and private spaces, West Van would need to create a berm to a height of 4.7m GD with the seawalk relocated on top of the berm.

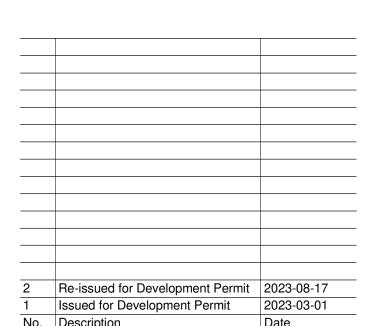
In the variance we are proposing, the south, west, and east perimeter retaining walls will merge with these recommendations when the public property redevelopment eventually takes place. It should be noted that not anticipating this new height will ultimately have two impacts on the existing property. In the short term it is likely that the approximately 2050sf of landscaping adjacent to the lower wall will be at significant risk of regular inundation of seawater which would destroy landscaping resulting in regular and significant cost to the owners. On a longer term basis it would leave that portion of the property significantly below that of the new seawalk height which would have implications for the construction of the berm (future new seawalk) but would also have a significant impact on cost.

The height of the wall would not directly impact neighbors though it would have an impact on those walking along the seawalk. In this regard, the development further to the west along the seawalk already presents a face to the public that is materially higher than the 1.2m wall that the bylaw allows. It should be noted that extensive consdieration is being taken in the design of these retaining walls to reduce their visual impact and to provide a pleasant experience for the public while also taking calculated precautions to combat the ongoing risk that rising sea levels already cause.



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Project:

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West Vancouver, BC V7V 1C8

Drawing Title:

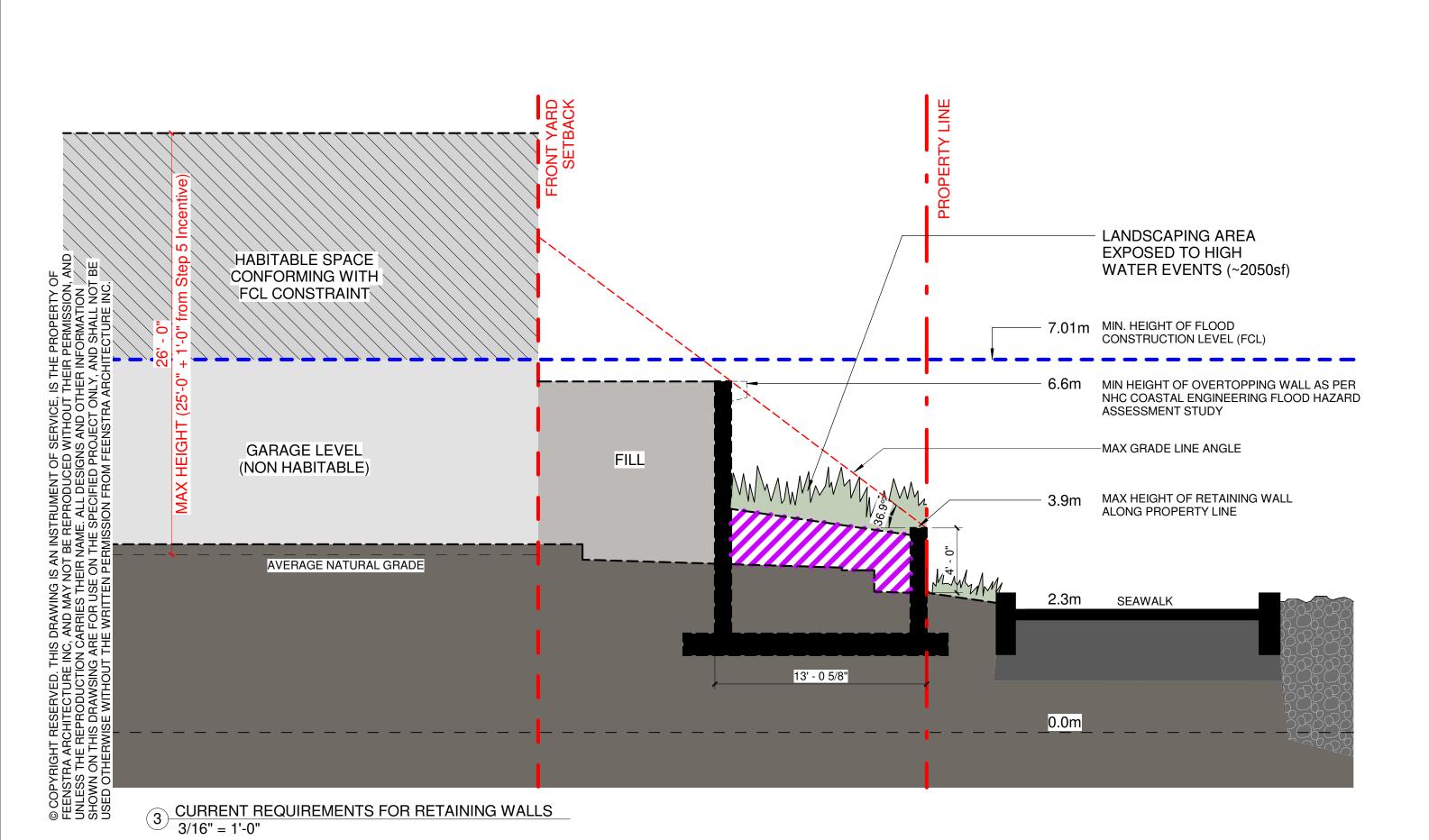
REQUEST FOR VARIANCE

Plot Date: 07/09/02		
Drawn by: Author	Checked b	by: Checker
Project No.	Scale:	1 1/2" = 1'-0"

A6.01

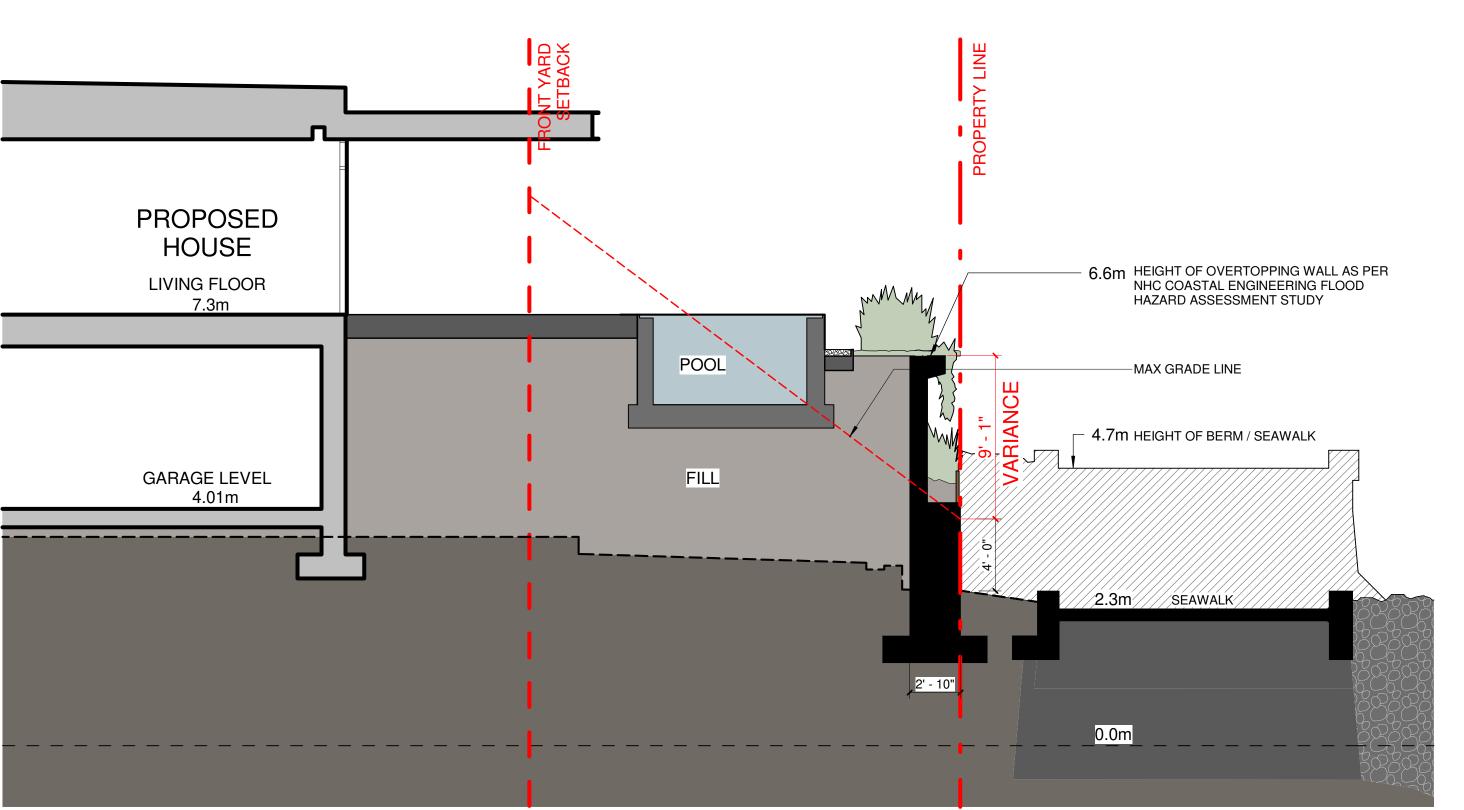


1) SITE PLAN SHOWING CURRENT RETAINING WALL REQUIREMENTS
1/16" = 1'-0"





2 SITE PLAN SHOWING PROPOSED RETAINING WALL VARIANCE 1/16" = 1'-0"



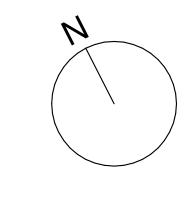
PROPOSED VARIANCE FOR RETAINING WALL HEIGHT ALONG SOUTH PROPERTY LINE 3/16" = 1'-0"

Eenstra ARCHITECTURE INC

> 601 - 1587 West 8th Ave. Vancouver, B.C. V6J 1T5 Tel. (604) 739-8888 Fax (604) 739-8889

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WITHOUT THE WRITTEN CONSENT OF THE
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2 Re-issued for Development Permit 2023-08-17
1 Issued for Development Permit 2023-03-01
No. Description Date

Project:

2368 Bellevue Ave

West Vancouver, BC V7V 1C8

Drawing Title:

PROPOSED RETAINING WALL VARIANCE

Plot Date: 01/27/23

Drawn by: Author Checked by: Checker

Project No. Scale: As indicated

Drawing No.

A6.02



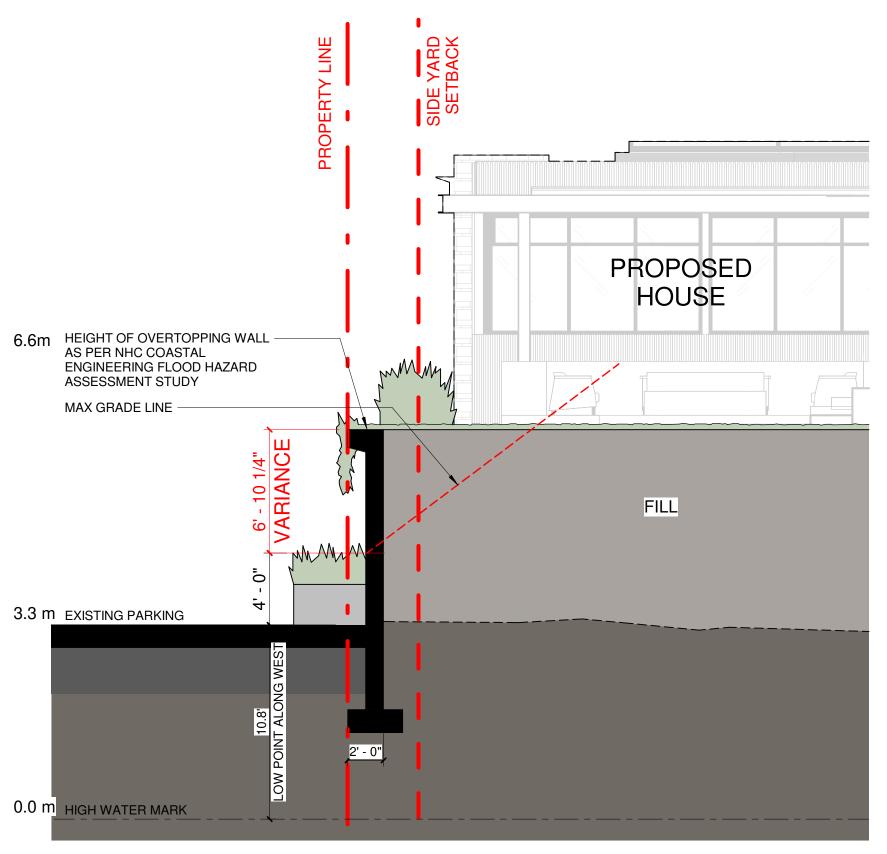




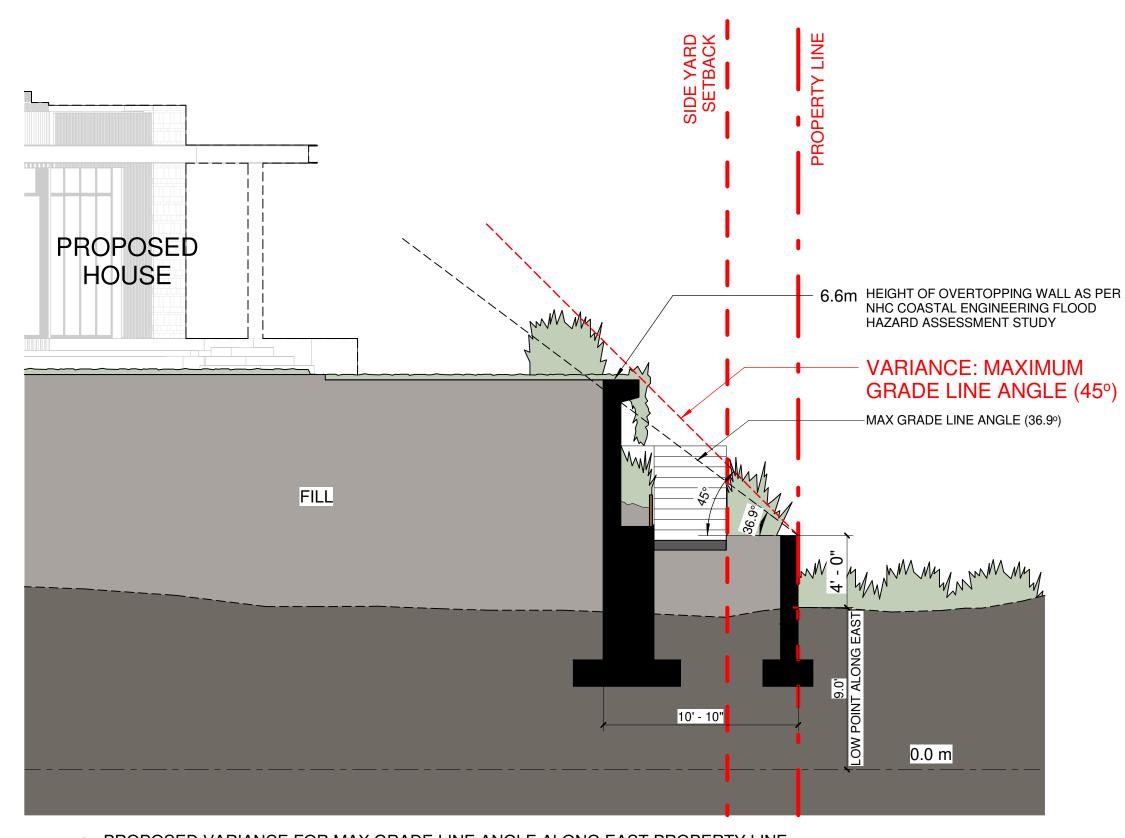
VIEW FROM SEAWALK LOOKING WEST SHOWING PROPOSED RETAINING WALL



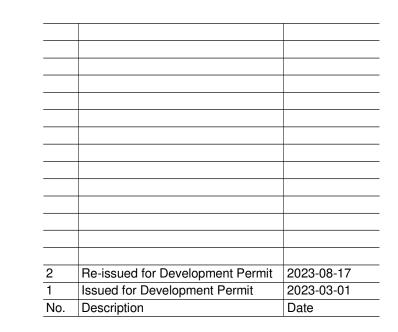
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1 PROPOSED VARIANCE FOR RETAINING WALL HEIGHT ALONG WEST PROPERTY LINE 3/16" = 1'-0"



2 PROPOSED VARIANCE FOR MAX GRADE LINE ANGLE ALONG EAST PROPERTY LINE 3/16" = 1'-0"



2368 Bellevue Ave

West Vancouver, BC V7V 1C8

Drawing Title:

PROPOSED **RETAINING WALL** VARIANCE

Plot Date: 02/13/23	
Drawn by: Author	Checked by: Checker
Project No.	Scale: 3/16" = 1'-0"
Drawing No	

A6.03