

1747 Marine Drive, West Vancouver, BC.

Development Variance Proposal

December 11, 2023



[AZIZI ARCHITECT Inc.]

Manoochehr Azizi
Architect AIBC, MRAIC, CPHD
C: 604-240-6063
Email: mazizi@aziziarchitect.com
www.aziziarchitect.com



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1.1 GENERAL INFORMATION

1745 & 1747 Marine Drive

1.1 Project Overview:

The project is located at 1745 and 1747 Marine Drive West Vancouver.

The original building was permitted to built on 1952 included two stores on ground floor and one residential unit on first floor.

In 1987, two stores was consolidated as one restaurant unit, and in 1988 the kitchen exhaust permit was issued.

Per licenses issued for restaurant use, it shows a rear extension was added onto the building in late 1980s or early 1990s by previous property owner(s). This existing rear extension has been used as storage and food preparation area for restaurant.

This report explains the zoning of the property, related bylaws, and the existing rear extension complying Building Code requirements.



1.2. PROPERTY INFORMATION

ZONING BYLAW:

- **ZONING:** AC1
- **DENSITY:** The maximum Floor Area Ratio must not exceed 1.0, except the Floor Area Ratio permitted shall be increased from 1.0 to 1.4, and from 1.4 to a maximum of 1.75 to the extent of 0.093 square meter of floor area for every Amenity Unit.
- **BUILDING HEIGHT:** 3 storeys, or 11.3 meters measured from the average elevation of the existing curb or lane along the lowest exterior lot line.
- **YARD:**
 - Front yard: 0.9 m
 - Rear yard: first floor =1.2 m, second floor=4.3m



Parcel Property Report

Property Information

Report Generated: 11/13/2023 11:20:23 AM

Address:	1747 MARINE DRIVE	BCAA Neighbourhood:	AMBLESIDE ESQ S WATER
Folio:	PID:		
Legal Desc:			
BCAA Legal Desc:	Date Built: 1953-03		

Assessment Information

Year	Gross Land	Gross Improvements	Gross Assessment	NET Assessment	Tax Levy
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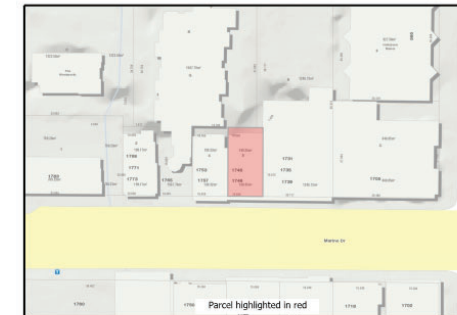
Zoning Information

Actual Use Code:	202	STORE(S) & LIVING QUARTERS	Manual Use Code:	D288	Apartment Over Commercial
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Zoning:

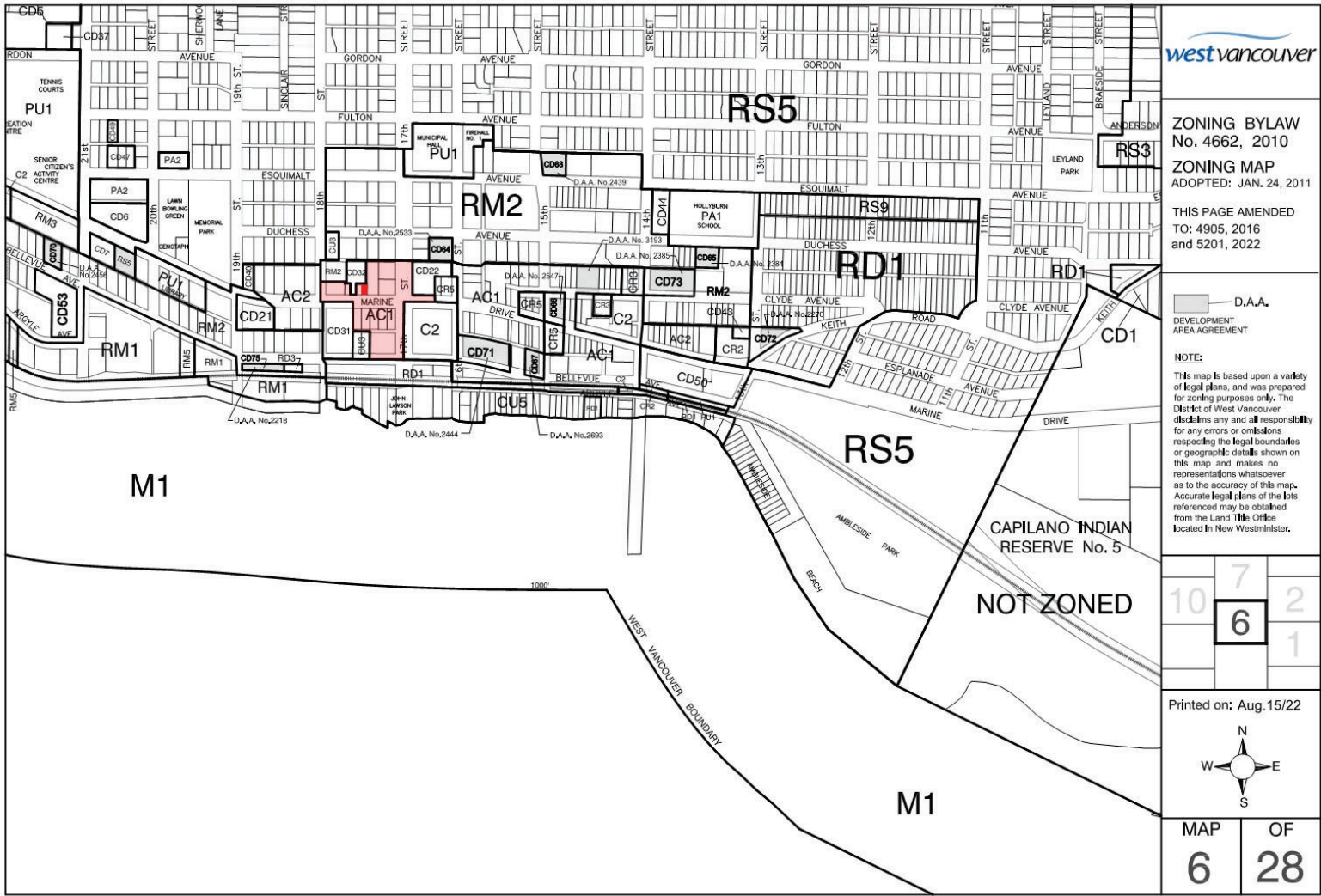
Waste Information

Recycling Service:	MF-BB	MULTI-FAMILY CURBSIDE BLUE BOX SERVICE
Garbage Day Code:	4D	THURSDAY DARK



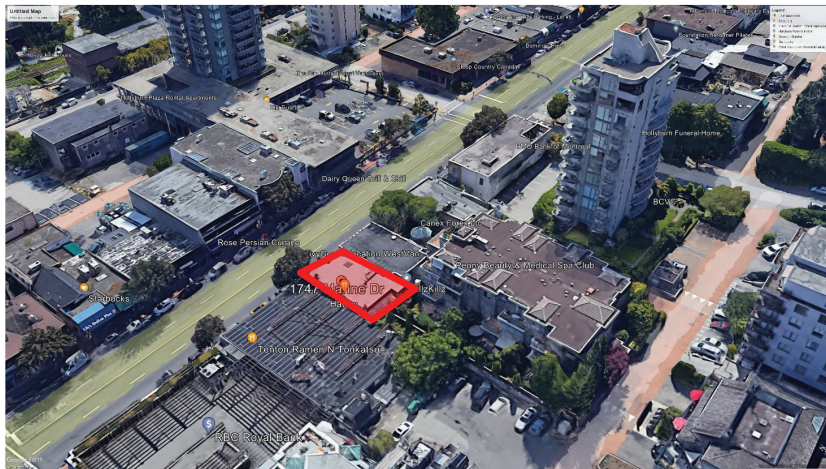
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1.2. PROPERTY INFORMATION



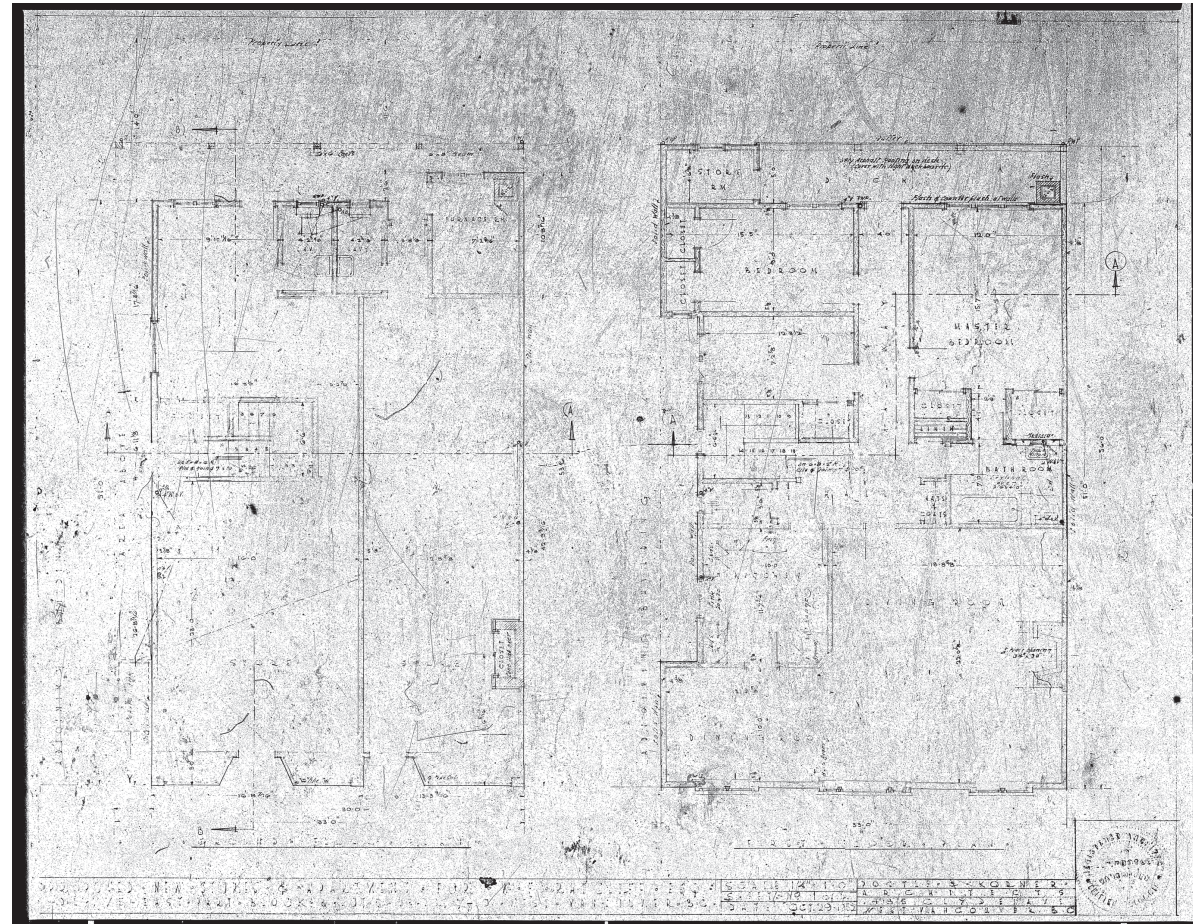
1.3. GENERAL VIEWS

1745 & 1747 Marine Drive



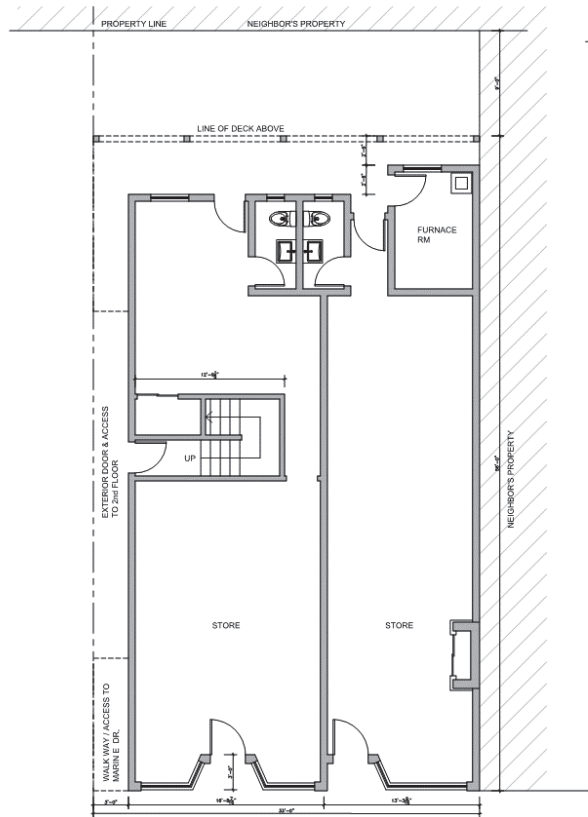
3. ORIGINAL EXISTING FLOOR PLANS

October 29, 1952

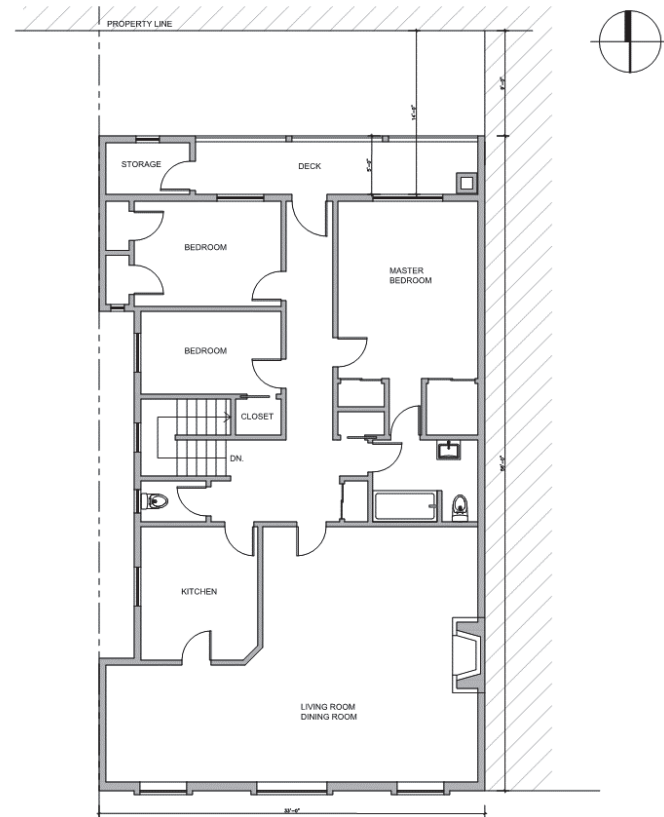


3. ORIGINAL EXISTING FLOOR PLANS

October 29, 1952



1952 ORIGINAL EXISTING (OCT. 29, 1952)
GROUND FLOOR PLAN



1952 ORIGINAL EXISTING (OCT. 29, 1952)
FIRST FLOOR PLAN

~~October 30, 1987~~

October 30, 1987



5. EXISTING REAR EXTENSION

Per licenses issued for restaurant, it shows a rear extension was added onto the building in late 1980s or early 1990s by previous property owner(s). This existing rear extension has been used as storage and food preparation area for restaurant.

ZONING ANALYSIS:

ZONING: AC1

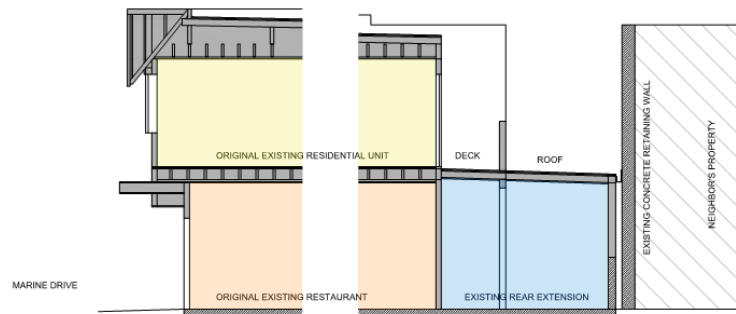
DENSITY:

- Property area = 2145 SF
- Original building gross area per 1952 permit = 3180 SF
- Original FAR per 1952 permit = 1.48
- Existing rear extension area = 443 SF
- Total building Gross Area including existing rear extension = 3623 SF
- Total FAR = 1.69

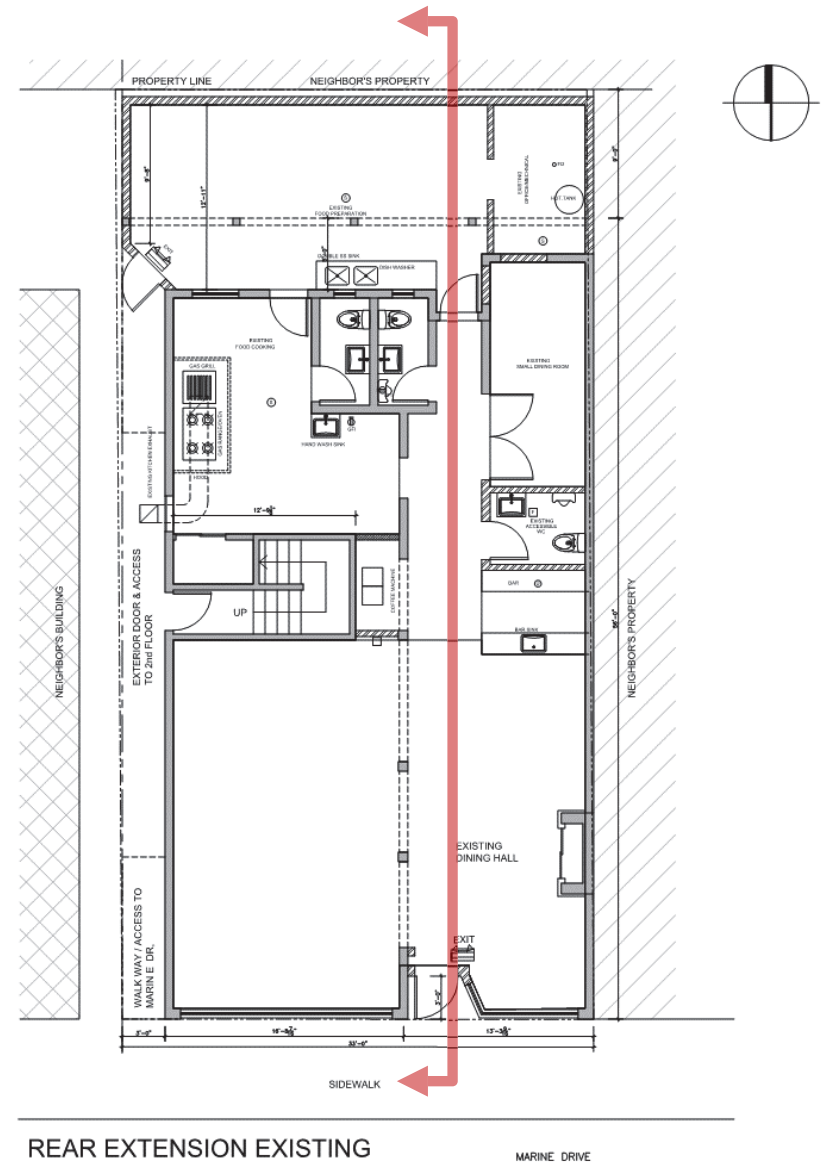
BUILDING HEIGHT: No change. same as Original 1952 permit

YARD:

- Front yard: No change. same as Original 1952 permit
- Rear yard: first floor = required 1.2 m, provided 0.3m



TYPICAL SECTION



REAR EXTENSION EXISTING

MARINE DRIVE

5. EXISTING REAR EXTENSION GENERAL VIEWS

