



District of West Vancouver

**Heritage Revitalization Agreement Bylaw  
No. 5234, 2023**  
(1591 Haywood Avenue)

Effective Date: November 20, 2023

District of West Vancouver

# **Heritage Revitalization Agreement Bylaw No. 5234, 2023**

## **Table of Contents**

---

Part 1	Citation .....	1
Part 2	Severability .....	1
Part 3	Heritage Revitalization Agreement .....	1
	Schedule A .....	4
	HERITAGE REVITALIZATION AGREEMENT FOR 1591 HAYWOOD AVENUE (CLEGG HOUSE) .....	4

District of West Vancouver

## **Heritage Revitalization Agreement Bylaw No. 5234, 2023**

WHEREAS the residential building known as the “Clegg House” on the property located at 1591 Haywood Avenue in West Vancouver is recorded in the District’s Community Heritage Register and has heritage value; and

WHEREAS the District of West Vancouver and the Owner of the property at 1591 Haywood Avenue in West Vancouver wish to enter into a Heritage Revitalization Agreement in respect of the property to ensure conservation of the property; and

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

### **Part 1 Citation**

- 1.1 This bylaw may be cited as Heritage Revitalization Agreement Bylaw No. 5234, 2023.

### **Part 2 Severability**

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

### **Part 3 Heritage Revitalization Agreement**

- 3.1 The District of West Vancouver hereby enters into a Heritage Revitalization Agreement with the registered Owner of the property located at 1591 Haywood Drive, legally described as:

PID: 011-772-301

LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180.

- 3.2 The Mayor and Corporate Officer are authorized to sign and seal, on behalf of the District of West Vancouver, the Heritage Revitalization Agreement substantially in the form attached to this bylaw as **Schedule A**.

## **Schedules**

Schedule A – Heritage Revitalization Agreement for 1591 Haywood Avenue (Clegg House)

READ A FIRST TIME on September 25, 2023

PUBLICATION OF NOTICE OF PUBLIC HEARING on October 11 and 18, 2023

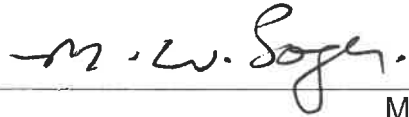
PUBLIC HEARING HELD on October 23, 2023

READ A SECOND TIME on October 30, 2023

READ A THIRD TIME on October 30, 2023

MODIFIED on November 20, 2023

ADOPTED AS MODIFIED by the Council on November 20, 2023.

A handwritten signature in black ink, appearing to read "M. L. Sogeh", written over a horizontal line.

Mayor

A handwritten signature in black ink, consisting of stylized initials and a surname, written over a horizontal line.

Deputy Corporate Officer

## **Schedule A**

### **HERITAGE REVITALIZATION AGREEMENT FOR 1591 HAYWOOD AVENUE (CLEGG HOUSE)**

THIS AGREEMENT dated as of the \_\_\_\_ day of \_\_\_\_\_, 2023

**BETWEEN:**

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER, a  
municipal corporation having offices at 750 – 17th Street, West  
Vancouver, British Columbia, V7V 3T3

(the “District”)

**AND:**

DARRIN DECOSTA AND MEGHAN DECOSTA – 1591 Haywood  
Avenue, West Vancouver, British Columbia, V7V 1W4

(together, the “Owner”)

**WHEREAS:**

- A. The Owner is the registered owner in fee simple of the land and all improvements located at 1591 Haywood Avenue and legally described as:  
PID: 011-772-301  
LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180  
(the “Property”);
- B. There is one principal building currently situated on the Property, known as the Clegg House, which building is listed in the District’s Community Heritage Register (the “Heritage Building”);
- C. The District and the Owner agree that the Heritage Building has heritage value and should be conserved;
- D. The Owner intends to apply to the District’s Approving Officer for approval to file the subdivision plan attached hereto as **Appendix A** (the “Subdivision Plan”) in the Land Title Office in order to subdivide the Property into two separate parcels, being Lot A for the relocation of the Heritage Building and the addition of a garage/coach house (the “Addition”), and Lot B for the development of an additional single-family dwelling and detached garage (the “New Residence”), as generally shown on the Subdivision Plan;

- E. Section 610 of the *Local Government Act*, RSBC 2015, Chapter 1 (the “Local Government Act”), authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of a heritage property, and to allow variations of, and supplements to, the provisions of a bylaw or a permit issued under Part 14 or Part 15 of the *Local Government Act*;
- F. The Owner has presented to the District a proposal for the use, development and conservation of the Property that would change the use or density of the Property, and has voluntarily and without any requirement by the District, entered into this Agreement pursuant to section 610 of the *Local Government Act*;
- G. The District must hold a Public Hearing before entering into, or amending, a Heritage Revitalization Agreement if the agreement or amendment would permit a change to the use or density of use of the Property that is not otherwise authorized by the applicable zoning, and the District has held a Public Hearing on this Agreement;
- H. The Council of the District has, concurrently with the adoption of the bylaw authorizing the execution of this Agreement, adopted Heritage Designation Bylaw No. 5235, 2023, pursuant to section 610 of the *Local Government Act* designating the Property as protected heritage property (the “Heritage Designation Bylaw”); and
- I. The Owner and the District have agreed to enter into this Heritage Revitalization Agreement setting out the terms and conditions by which the heritage value of the Property is to be preserved and protected, in return for the specified supplements and variances to District bylaws.

NOW THEREFORE in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other, the mutual promises contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Owner and the District each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

#### **1.0 Conservation of the Property**

- 1.1 The Owner agrees to conserve, protect and maintain the Property in accordance with this Agreement, including the Conservation Plan in **Appendix B** to this Agreement, and in accordance with Heritage Maintenance Bylaw No. 4187, 1999 as amended or replaced from time to time, and in the event of any inconsistency this Agreement shall prevail.
- 1.2 Without limiting the generality of section 1.1, the Owner agrees not to do any of the following to the character-defining elements set out

within the Conservation Plan without prior written approval of the District in the form of a heritage alteration permit:

- (a) make any structural alterations that impact the exterior form and character of the Heritage Building, including, without limitation, the aspects that are specifically listed in Section 3 of the Conservation Plan (the “Character-Defining Elements”); and
  - (b) alter or replace the interior aspects of the Heritage Building that are specifically referenced as Character-Defining Elements in the Conservation Plan, including, but not limited to the existing fireplace, mantle and surrounds on the main floor.
- 1.3 The Director of Planning and Development Services may determine, in their sole discretion, that the requirement in section 1.2 to obtain a heritage alteration permit does not apply to minor alterations to the Property that, in the opinion of the Director of Planning and Development Services, are in keeping with the character of the Property.
- 1.4 The Owner agrees and acknowledges that the District may refuse to issue a heritage alteration permit required under section 1.2 if, in its sole discretion, the District considers that the alteration that the permit would authorize is inconsistent with this Agreement or the Heritage Designation Bylaw, and without limiting the generality of the foregoing, the District may refuse to authorize the proposed alteration of any of the character-defining elements set out in the Conservation Plan.

## **2.0 Damage to or Destruction of Heritage Building**

- 2.1 If the Heritage Building is damaged, the Owner shall obtain a heritage alteration permit and any other necessary permits and licenses and, within 24 months of the date of damage, shall, at its own cost and expense, restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.
- 2.2 If, in the opinion of the District, the Heritage Building is completely destroyed by fire, explosion or other natural catastrophe, the Owner shall ensure that the Heritage Building is reconstructed in a massing and style that is:



- (a) similar to, but not necessarily identical to, the existing Heritage Building;
- (b) in a similar position on the lot;
- (c) with the same number of dwelling units and tenure;
- (d) generally consistent with the Conservation Plan; and
- (e) complies with the Zoning Bylaw No. 2662, 2010, as amended from time to time (the “Zoning Bylaw”), as varied by the Agreement, after having obtained a heritage alteration permit and any other necessary permits and licences,

all to the satisfaction of the Director of Planning and Development Services, which shall be provided in writing.

- 2.3 The Owner shall use its best efforts to commence and complete any repairs to the Heritage Building, the Addition, and the New Residence, and the construction of any replacement of the Heritage Building, with reasonable dispatch.
- 2.4 As an alternative to the requirement in section 3.2 to construct a replacement of the Heritage Building and rebuild the New Addition in the event of such damage, the Owner, at its option and upon prior written consent of the Director of Planning and Development Services, may elect to develop on the Property in accordance with the Zoning Bylaw, provided that no residential dwelling constructed on the lot shall have a Floor Area Ratio (FAR) exceeding 0.21.

### **3.0 Heritage Designation**

- 3.1 The Owner irrevocably agrees to the designation of the Property as a municipal heritage site, in accordance with Section 611 of the *Local Government Act*, and releases the District from any obligation to compensate the Owner in any form for any reduction in the market value of the Property that may result from the designation of the Property by adoption of the Heritage Designation Bylaw.

### **4.0 Development Guidelines and Variances to Zoning Bylaw**

- 4.1 Variances to the Zoning Bylaw are hereby granted solely for the purpose of enabling the Owner’s proposed development of the Property, which includes:

- (a) the relocation of the Heritage Building;
- (b) the stratification of the garden suite in the Heritage Building;  
and
- (c) the construction of the Addition and the New Residence,

all of which must be developed in accordance with the specifications in the architectural plans prepared on April 13, 2023 by Focus Architecture and attached to this Agreement as **Appendix C** (the “Architectural Plans”) and the landscape plan dated April 7, 2023 and prepared by Coastal Group and attached to this Agreement as **Appendix D** (the “Landscape Plan”) (together, the “Plans”).

4.2 For clarity, notwithstanding the provisions of the RS5 Single Family Dwelling Zone 5 within the Zoning Bylaw, and in accordance with the further provisions of this Agreement:

- (a) the Heritage Building may be relocated from its original location on the lot to the new location on Lot A, in accordance with the specifications in the Plans;
- (b) Lot A may be developed to include the Addition, in accordance with the specifications in the Plans;
- (c) the garden suite in the basement of the Heritage Building may be subdivided pursuant to the *Strata Property Act* (British Columbia), in accordance with the specifications in the Plans; and
- (d) the New Residence may be built on Lot B, in accordance with the specifications in the Plans.

4.3 The Owner must install and maintain a heritage plaque near the front property line of the Property adjacent to 16th Street, which provides pedestrians a brief history and overview of the heritage significance of the Heritage Building at the discretion of the Director of Planning and Development Services.

4.4 The parties agree that the Owner may apply for, and the District may in its sole discretion issue, building permits that provide changes from the specifications in the Plans, provided that:

- (a) the Character-Defining Elements must not be altered;
- (b) there must be no interference with the overall appearance of the Heritage Building as described in the Conservation Plan and the Architectural Plans;
- (c) there must be no increase to the floor area of the Heritage Building as specified in the Architectural Plans; and
- (d) the New Residence and the Addition must remain generally consistent with the size, height and footprints as specified in the Architectural Plans.

4.5 The parties agree that the Owner may apply for, and the Director of Planning and Development Services may issue, a heritage alteration permit authorizing minor variances to the Zoning Bylaw, subject to the restrictions in section 617(4) of the *Local Government Act*.

4.6 The Owner agrees that the District may withhold building permit, or occupancy permit or final building permit approval, as the case may be, in respect of the Heritage Building if the alteration of the Heritage Building is not in accordance with the Conservation Plan, notwithstanding that the construction may be in compliance with the British Columbia Building Code, the Zoning Bylaw and any applicable permit.

## **5.0 Compliance with Laws**

5.1 The parties agree that, except as varied or supplemented by the provisions of this Agreement, any development, subdivision, and use of the Property shall be subject to, and must comply with, all applicable bylaws and regulations of the District and all laws of any authority having jurisdiction.

## **6.0 Interpretation**

6.1 In this Agreement, "Owner" shall mean all registered owners of the Property or subsequent registered owners of the Property, as the context requires or permits.

## **7.0 Enforcement of Agreement**

7.1 The District may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have the time specified in the notice to remedy the breach. In the event that the Owner fails to remedy the breach within the time specified in the notice, the District may enforce this Agreement by entering onto the Property to carry out the work necessary to remedy the breach, and may recover the cost of doing so from the Owner as taxes payable with respect to the Property.

## 8.0 Dispute Resolution

8.1 In the event of any dispute between the Owner and the District as to the necessity for any work required by the District pursuant to section 9.0, the parties agree that the dispute will be resolved by either:

- (a) a member of the Architectural Institute of British Columbia with training and experience in heritage conservation; or
- (b) another professional with training and experience in heritage conservation,

in each case which has been selected by mutual agreement the parties or, failing agreement between the parties, by the Architectural Institute of British Columbia, and that the fees of the architect shall be borne by the Owner if the dispute is resolved in the District's favour and by the District if the dispute is resolved in the Owner's favour.

## 9.0 Indemnity

9.1 The Owner hereby releases, indemnifies and saves the District, its officers, employees, contractors, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

9.2 In no case shall the District be liable or responsible in any way for:

- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Property; or
- (b) any loss or damage of any nature whatsoever, howsoever caused to the Property or any improvements or personal property thereon belonging to the Owner or to any other person; or
- (c) arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission to comply with the restrictions and requirements in this Agreement or refusal, omission or

failure of the District to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

#### **10.0 No Waiver**

- 10.1 No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the District unless a written waiver signed by an officer of the District has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the District on previous occasions of any default, nor any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the District.

#### **11.0 Inconsistency**

- 11.1 In the event of any inconsistency between this Agreement and the Heritage Maintenance Bylaw, this Agreement shall prevail.

#### **12.0 Amendment**

- 12.1 The parties acknowledge and agree that this agreement may only be amended by bylaw with the consent of the Owner, provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use of the Property.

#### **13.0 Representations**

- 13.1 It is mutually understood and agreed upon between the parties that the District has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

#### **14.0 Statutory Functions**

- 14.1 Except as varied or supplemented herein, this Agreement shall not prejudice, impair, fetter or derogate from the statutory rights and powers of the District or its approving officer in the exercise of their statutory functions and responsibilities and their rights and powers under any enactments, bylaws, order or regulations, including but not limited to the *Local Government Act* and the *Land Title Act*, all of which, except as expressly varied or supplemented herein, are applicable to the Property.
- 14.2 The Owner agrees and acknowledges that:

- (a) the subdivision of the Property is subject to the jurisdiction of the District's Approving Officer;
- (b) the construction of or alteration of a building on any portion of the Property requires a Heritage Alteration Permit and a building permit;
- (c) the District may impose off-site works and services requirements, including construction of sidewalks, street paving, water, sewer and stormwater connections; and
- (d) development cost charges in respect of the subdivision and development of the Property.

### **15.0 Enurement**

- 15.1 This Agreement enures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

### **16.0 Land Title Notice**

- 16.1 The District shall file a notice within the Land Title Office, as provided for in section 610(10) of the *Local Government Act*, and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by this Agreement.

### **17.0 Other Documents**

- 17.1 The Owner agrees at the request of the District, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the District to give full effect to the intent of this Agreement.

### **18.0 Notices**

- 18.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall be delivered by registered mail as follows:
- (a) To the District:

**THE CORPORATION OF THE DISTRICT OF WEST  
VANCOUVER**

750 – 17TH STREET

WEST VANCOUVER, BC V7V 3T3

(b) To the Owner:

DARRIN AND MEGHAN DECOSTA – 1591 Haywood  
Avenue, West Vancouver, British Columbia, V7V 1W4

**19.0 Successors Bound**

19.1 All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

**20.0 Number and Gender**

20.1 Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

**21.0 No Partnership or Agency**

21.1 The parties agree that nothing contained in this Agreement creates a relationship between the parties of partnership, joint venture or agency.

**22.0 Appendices**

22.1 The following appendices to this Agreement are incorporated into and form part of this Agreement:

- A. **Subdivision Plan** of LOT 14 BLOCK 1 NORTH ½ OF DISTRICT LOT 1055 PLAN 4180 (1591 Haywood Avenue)
- B. **Conservation Plan** for the Clegg House prepared by Dewhirst Lessard, dated May 2022
- C. **Architectural Plans** by Focus Architecture Incorporated April 13, 2023
- D. **Landscape Plan** prepared by Coastal Group dated April 7, 2023

IN WITNESS WHEREOF the Owner and the District have executed this Agreement as of the date written above.

Signed, Sealed and Delivered in	)	
the presence of:	)	
	)	
	)	
_____	)	_____
Name	)	<b>DARRIN DECOSTA</b>
	)	
	)	
_____	)	_____
Address	)	<b>MEGHAN DECOSTA</b>
	)	
	)	
_____	)	
Occupation	)	
	)	

<b>CORPORATION OF THE DISTRICT OF</b>	)	
<b>WEST VANCOUVER</b> by its authorized	)	
signatories:	)	
	)	
	)	
_____	)	
Mayor:	)	
	)	
	)	
_____	)	
Corporate Officer:	)	

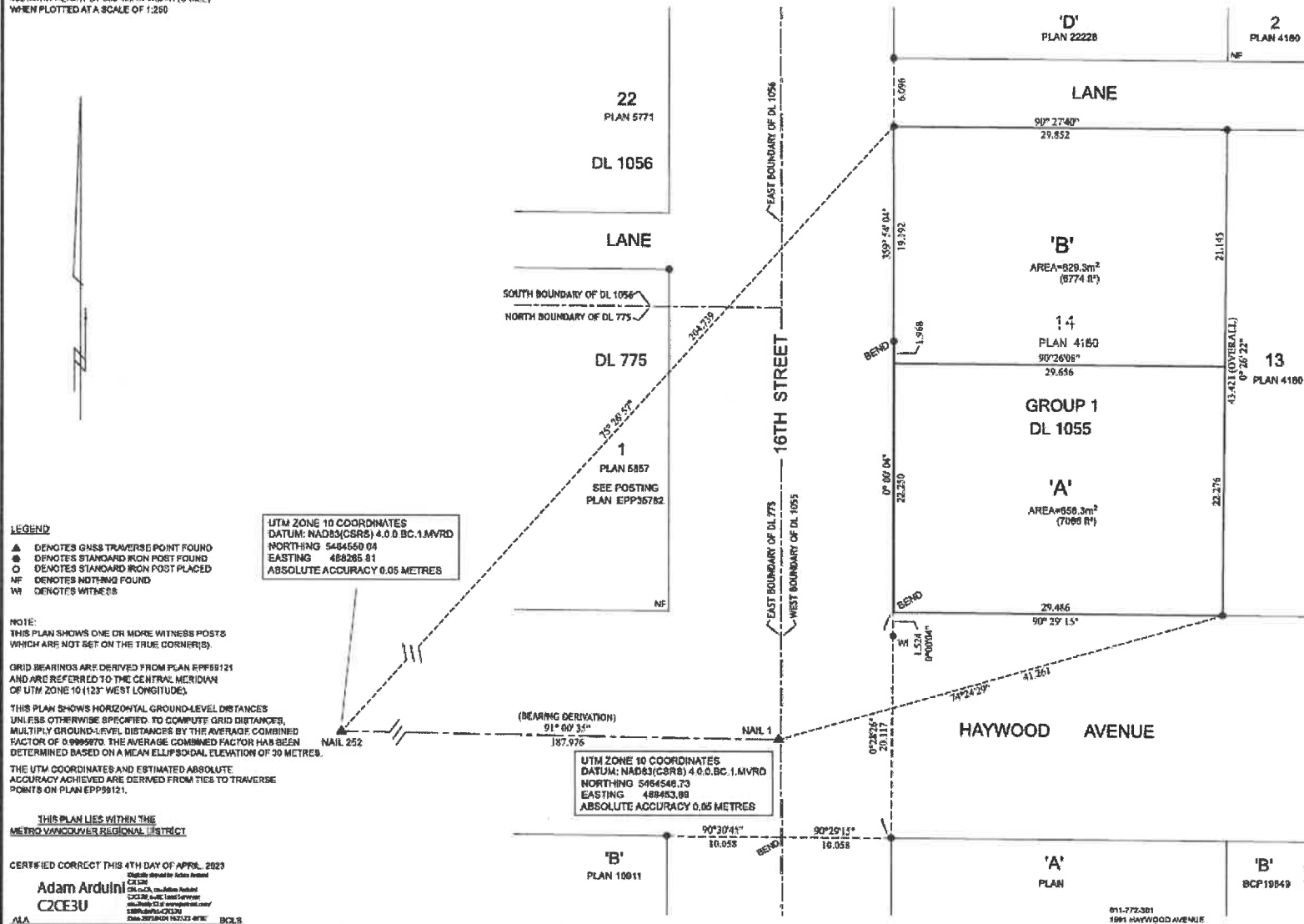


**PROPOSED SUBDIVISION PLAN OF LOT 14,  
BLOCK 1, NORTH 1/2 OF DISTRICT LOT 1055,  
GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 4180**

BCGS 92G035



THE INTENDED PLOT SIZE OF THIS PLAN IS  
432 mm HIGH BY 560 mm WIDE (C SIZE)  
WHEN PLOTTED AT A SCALE OF 1:250



ALL RIGHTS RESERVED BCL

011-772-301  
1991 HAYWOOD AVENUE  
V.B. P. M54A1-29 W

# THE CLEGG HOUSE

1591 Haywood Street, West Vancouver B.C.

CONSERVATION PLAN  
OCTOBER 2021, COMPLETED MARCH 2022  
REVISED MAY 2022  
INCLUDING STATEMENT OF SIGNIFICANCE



**dewhirst lessard  
consulting**

2095 Thompson Road, Gabriola BC V0R 1X7  
308-1251 Cardero St. Vancouver BC V6G 2H9  
[dewhirstlessard@shaw.ca](mailto:dewhirstlessard@shaw.ca)

**Name:** The Clegg House  
**Address:** 1591 Haywood Street, West Vancouver, British Columbia  
**Construction Date:** 1929  
**Original owner:** Warren and Margaret Clegg

## STATEMENT OF SIGNIFICANCE

### 1. DESCRIPTION OF HISTORIC PLACE

The Clegg House is located at the northeast corner of 16<sup>th</sup> Street and Haywood Avenue in the Ambleside neighborhood of West Vancouver, British Columbia. The property is a third of an acre and includes considerable setbacks from both 16<sup>th</sup> Street and Haywood Avenue. The one and a half storey wood frame single-family house, built in 1929, is positioned in the middle of the lot. The northeast corner of the lot is intersected by the Vinson Creek whereas the northwest corner of the property is enhanced by a grove of large mature cedar trees. Currently a continuous hedge lines the two street frontages.

### 2. HERITAGE VALUE

The Clegg House is valued because of its style, its contribution to the development of its immediate neighbourhood, and its association with the Clegg family.

The Clegg house is a good example of the late Craftsman style houses prevalent in West Vancouver at the time of its construction. The structure features several features typical of the style, including wooden lapped siding, eave knee-brackets, exposed rafter tails, and multi-pane wood windows.

The Clegg house is valued as one of the first residences built in the neighborhood. The property was created as part of the 1912 subdivision.

The property is distinctive for its configuration affected by its natural environment incorporating part of the Vinson Creek, an important landmark of the area. To this day, the exposed banks of the Vinson Creek interrupt Haywood Avenue a few meters east of the Clegg house as well as a blind lane on the north end of the property.

The Clegg House is valued for its association with Warren and Margaret Clegg and their family. Clegg was an English farmer who immigrated to Canada in 1903. He moved to West Vancouver from Saskatchewan in 1929 and purchased the property to build the house. His family with four children, lived in the house until 1936; his wife and children subsequently moved to a Fraser Valley farm. Clegg, then an agent with the Wawanesa Insurance, kept the house until 1939. Warren Clegg remained in West Vancouver, residing on Fulton Avenue with his daughter until his death, in 1945.

### 3. CHARACTER DEFINING ELEMENTS

*The elements that define the heritage value of the Clegg House include the following:*

- Continuous residential use.
- Prominent corner lot intersected by the Vinson Creek.
- Front gabled 1½ storey with large roof overhang, gabled dormers, cedar shingle dormer cheeks and roofing.
- Craftsman style with typical roof and box window knee-brackets with pointed ends, exposed rafter tails, open tongue-and-groove soffit boards, flared roof eaves, barge boards with swollen ends and ridge keys.
- Wooden lapped siding, head corner and boards, water table, belt board, and decorative flower box support studs.
- Covered front porch gabled roof structure with triangular fascia, low wide front stairs balustrade, shed roof above south elevation box window and above northeastern deck access.
- Front entrance door with leaded glass lite.
- Double hung multi-pane wooden windows, fixed multi-pane windows, and exterior casings with brick moulding.
- Exterior shaft of an internal brick chimney.

## **Table of Contents:**

### **Statement of Significance** page 3

1. Description of Historic Place
2. Heritage value
3. Character-defining elements

### **Preface:**

- Location
- Building description

### **Conservation Plan**

#### **1. Condition Survey**

- I.1: Property
- I.2: Massing
- I.3: Roof Details
- I.4: Dormers
- I.5: Lap Siding Details
- I.6: Flower Box Studs
- I.7: Front Porch
- I.8: Back Porch
- I.9: Windows
- I.10: Exterior Doors
- I.11: Internal Brick Chimney
- I.12: Exterior Paint Colours
- I.13: Residential Floors

#### **2. Integrity**

#### **3. Recommendations**

#### **4. Review of proposed development**

### **Appendix:**

- A1: Excerpt from the *Standards and Guidelines for the Conservation of Historic Places in Canada*
- A2: Building code equivalencies.
- A3: BC Energy Efficiency Act
- A4: Maintenance program
- A5: Statement of Significance Background (Prepared by Darrin and Meghan DeCosta, August 2021)
- A6: The Vinson Creek Watershed (Map & <https://www.pskf.ca/ecology/watershed/westvan/2003/vinson02.html>)

## **Heritage Consultant:**

The firm dewhirst lessard consulting is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations, and adaptive reuse projects from design to construction.

André Lessard, the principal in charge, has experience in planning, design and construction. He is a building conservation specialist. André, a former member of the AIBC, is a member of the Canadian Association of Heritage Professionals, and former president of the BC Chapter and its National Board of Directors. He was a member of the Vancouver Heritage Commission in 200-2010. André is also a LEED Accredited Professional, including field certification experience (BD+C). He has lectured for twelve years in "Building Science for Architectural Conservation" at University of Toronto and Ryerson University.



## Location

The Clegg House is located in the Hollyburn neighbourhood in the West Vancouver District, British Columbia. West Vancouver is located on the north shore of the Burrard Inlet across from the City of Vancouver. The Clegg House property is located at the corner of Haywood Avenue and 16<sup>th</sup> Street, north of the West Vancouver Municipal Hall.

Figure 1: West Vancouver District in red



Figure 1: 1911 Partial map of West Vancouver with Lot 1055 in red  
CVA LEG1340.1

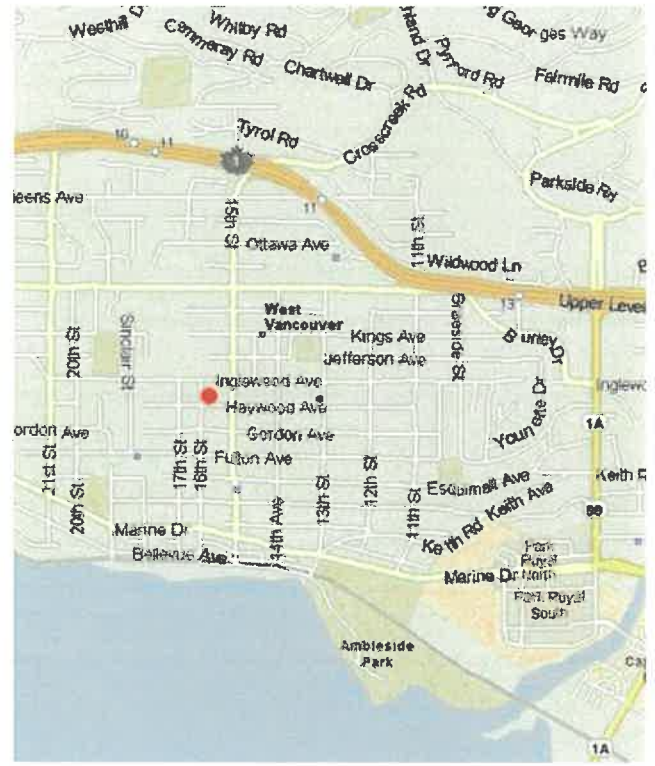


Figure 2: Partial map of the Hollyburn Neighbourhood with 1591 Haywood Avenue in red – Google Map

West Vancouver is a District Municipality in the province of British Columbia. West Vancouver is on the traditional and unceded territories of the Coast Salish People the Squamish, Tsleil-Waututh and Musqueam First Nations. The Skwxwú7mesh Úxwumixw (Squamish People, villages, and community) occupied and governed this territory since beyond recorded history. The First Nations village at the mouth of the Capilano River became the Capilano Indian Reserve (Xwemelch'stn) in 1923, a separate legal entity from the District of West Vancouver.

Together with the District of North Vancouver and the City of North Vancouver, it is part of a local regional grouping referred to as the North Shore municipalities, or simply "the North Shore". The Municipality of West Vancouver was incorporated on March 15, 1912, after separating from the District of North Vancouver.

In November 1938, the Lions Gate Bridge was opened to traffic, allowing extensive growth of the semi-populated community, previously only accessible by ferry. Some homes in West Vancouver date back to the 1920s and 30s, though most of the currently existing dwellings were built in the 1970s and 80s, and mostly in British Pacific Properties' developments. (Wikipedia)



Figure 3: Looking east at the intersection of Haywood Ave and 16<sup>th</sup> Street in the foreground, with 15<sup>th</sup> Street on top of picture, Clegg House at red dot (Google Map)

## PREFACE

The Clegg House was built as a single-family house in 1929 and has remained as such to this day. The Clegg House has been included in the 1988 Heritage Inventory (updated 1994-1998-2003) as a Support Building. The house is facing 16<sup>th</sup> Street, but the address is on Haywood Avenue. The *Statement of Significance* was reviewed and reformatted by the consultant; the statement background research was conducted by the owner.

## Building Description

The property at 1591 Haywood Avenue is a corner property of 13,860 Square feet, encroached by the Vinson Creek and its associated 20-meter setback (5 meters from creek plus 15 meters bylaw), thus reducing considerably the buildable area of the lot. The property includes the Clegg House and a garage. The garage is without foundation and located in the creek setback. A blind alley, referred to as a lane, is located north of the property. The house is a one-and-a-half wood-frame structure with a footprint of approximately 970 sqft. The main floor has a partial front porch on the left inside of the 16<sup>th</sup> Street elevation and a large deck extending the back entrance landing on the northeastern corner of the house. The second floor has three bedrooms, including the master bedroom. The finished basement is including a vacant suite.



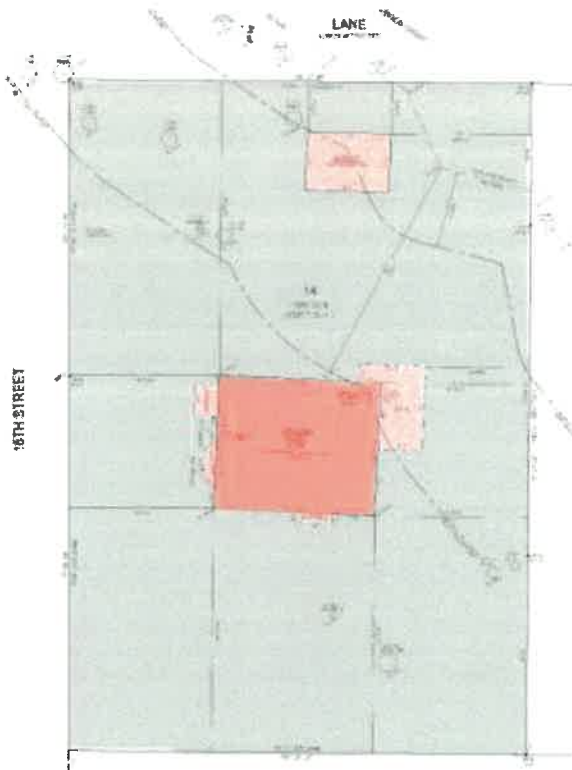


Figure 4: Survey with structures in red by Hobbs, Winter & MacDonald

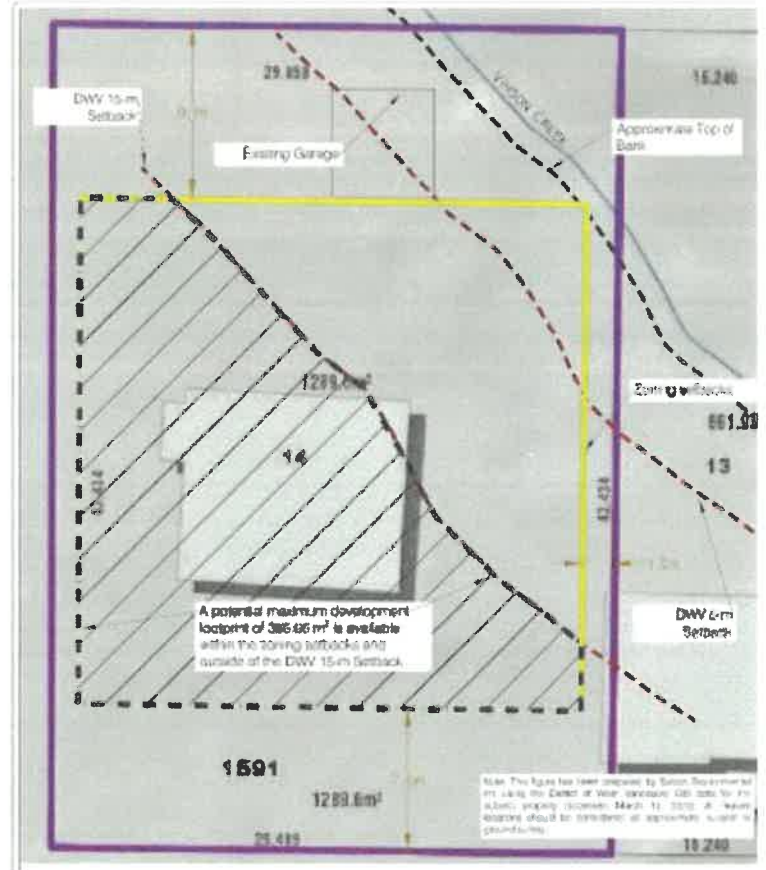


Figure 5: Diagram by Sartori environmental showing maximum footprint of 4,160 Sqft



Figure 5: Main Floor Plan (Drawing by owner)



Figure 6: Second Floor Plan (Drawing by owner)





Figure 7: West elevation facing 16<sup>th</sup> Street



Figure 8: South elevation facing Haywood Avenue



Figure 9: East elevation with deck



Figure 10: North elevation



## House Style: Craftsman (1910-1930)

According to the Vancouver Heritage Foundation

The Clegg House is a Late Craftsman Style House. Craftsman is the American Arts and Crafts Style, mostly identified with Southern California and arriving in Vancouver about 1908-10. The emphasis on simplicity, quality, and local materials of the English Arts and Crafts movement inspired its development. It spread quickly throughout North America thanks to plans published in a popular magazine called 'Craftsman,' to which the style owes its name. It did not take long before other magazines and plan books started publishing their own interpretations of the Craftsman style. It was widely popular in Vancouver over a period of about 20 years, developing several variations unique to the region. The one-storey variant (sometimes called a California Bungalow or Craftsman Bungalow) is one of the most common types of heritage housing present in the city.

The main Craftsman type of the Clegg House is:

- **Front-Gabled 1-1/2 storey Craftsman**

The main material of Craftsman houses was wood. Cedar shingles were used both for cladding and decorative components (e.g. in gables). A combination of **narrow lap siding** and shingles was also popular. The upper part of porch posts or other decorative pieces such as dentils and **knee brackets were often smoother wood**. Stucco was an accent material usually combined with half-timber dividers in gables. **Brick was used for chimneys** and as an accent. Clinker bricks and off placed or protruding bricks were popular to achieve a rustic appearance.

The "Main Craftsman Style Details" included in the Clegg House are the following:

- **Low-pitched gabled roof**
- **Exposed roof rafters**
- **Decorative beams or knee-brackets under gables**
- **Porches either partial or full width**
- **Double-hung windows**
- **Squared porch posts**



Figure 11: 1988\_ The McMahon House, 1493 Haywood Ave built in 1932  
West Vancouver Archives



Figure 12: The Smith House, 992 20<sup>th</sup> Street built in 1924  
Google map

Above are two late Craftsman style houses listed in the 1988 West Vancouver Heritage Inventory. The McMahon House is remarkably similar to the Clegg House, including the flower box brackets.

## Conservation Plan

The Conservation Plan consists of a series of recommendations pertaining to the preservation, rehabilitation and/or restoration of the subject historic site. The Conservation Plan is divided into four sections: the first is a condition survey of the character-defining elements and the historic site in general, the second is an assessment of the integrity of the historic structure; the third is a series of recommendations for the conservation and maintenance of the character-defining elements, and the fourth is a review of the proposed development highlighting the impact of the design onto the historic site and building fabric.

### 1. Condition Survey

This condition survey comprises of visual observations during a site visit of September 18, 2021. We reviewed the exterior and interiors of the building and its property. Generally, the building is in fair condition and well maintained for a building of that age. The purpose of the survey is to document the current condition of the historic place and more specifically the condition of the character-defining elements, those subject to conservation intervention where required. The choice of character elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is included in the *Statement of Significance* prepared by the owners of the house and included in the appendix of this report.

*For the purpose of this document, the 16<sup>th</sup> Street façade is west, the Haywood Avenue façade is south. The first floor is the main floor and the floor above, the second floor and the lower floor, the basement. Photographs in this report have been taken by dewhirstlessard unless noted otherwise.*

#### 1.1: Property

The Clegg House property is a deep and wide lot with a spacious ground at the corner of 16<sup>th</sup> Street and Haywood Avenue. A continuous hedge runs along the two streets. The Clegg House sits in the middle of the property. There is a separate garage structure hovering over the creek in the landscape northeast of the house. A cluster of imposing cedars trees adjacent to the driveway is standing at the northwest corner of the property and a mature apple tree on the northeast corner of the property next to the creek. The lot has a significant relationship to the Vinson Creek, complete with a rustic pedestrian bridge on the adjacent property (See *appendix 6*). A stone retaining wall defines the house grade from the lower portion of the side yard on the south side. An apple tree grows on the southern side yard. Generally, the grounds of the Clegg House are well kept.



Figure 13: Side yard facing south





Figure 14: The Vinson Creek from bridge  
(adjacent property 1573 Haywood)



Figure 15: Looking south from garage



Figure 16: Driveway to 16<sup>th</sup> Street



Figure 17: Garage on the north side of the property

## 1.2: Massing



The massing of the Clegg House is representative of the Late Craftsman Style. Its low pitch roof, with dormers, and low center of gravity is typical of the Craftsman style massing.

The current additions, such as the east side deck extension of the back porch landing is subordinate to the historic building, yet distinct. The geometry of the house is visible and free of distracting elements and additions.

Figure 18: Southeast corner with added kitchen deck

## 1.3: Roofs Details

The original roofing was cedar shingles as exposed from the attic; the current vintage asphalt shingles (installed on plywood over the cedar shingles) is in fair condition. To our knowledge, at the end of its useful life. The wooden details associated with the roof include knee-brackets at gable ends with pointed end, open tongue-and-groove board soffits, exposed rafter tails, bargeboards with swollen tails, roof edge mouldings, and ridge key, headboards, and top of wall moulding. The broken framing of the roof creates a slight flair of the roof profile. The bargeboard end is swollen to cover the flair profile and its tail is augmented by the addition of wooden trim pieces. There are three knee-brackets at each gable end. The headboard makes the transition between the siding and the overhung soffit. The narrow roof fascia is hidden by eavestroughs. These wooden elements are in fair condition, although cracked bargeboards and damaged roof edge mouldings are visible throughout. Dormer, box window, and porch roofs are discussed below. The main roof is not insulated, but insulation lays on top of the second-floor ceiling. The small vent at the top of the front and back gable ends provides the only roof ventilation, which is unsightly and insufficient. The attic is accessible by a trap located in the ceiling of the second-floor hall.



Figure 19: Open soffit with exposed rafters, bracket, and barge board



Figure 20: Knee-bracket at gable end's, moulding and key with attic vent





Figure 21: Vintage asphalt roofing with gable end bargeboard and knee-bracket on the left and eavestrough on the right

#### 1.4: Dormers

There are two existing gabled dormers, one on the south side and the other on the north side. Both dormers are off-centered on their respective sides. The dormers are clad with wooden lap siding with corner boards, consistent with the house siding. There is one dormer which has shingle cheeks on the south elevation. The gabled dormer roofs do not have a flare. The roof details include a generous overhang with an open soffit, tongue-and-groove boards, and exposed rafter ends. The dormer bargeboards have a downturned swollen tail similar to the main roof. Wooden lap siding is in good condition thus indicating that the overhang and flashing are effective. All dormer details appear in good condition.



Figure 22: Shingle dormer cheek at south elevation



Figure 23: Front of typical dormer with bargeboard, exposed rafter and open soffit

### 1.5: Lap Siding Details

The Clegg House cladding consists of a narrow lap siding above the main floor and wider board lap siding below. The two sidings are separated by a belt board running horizontally around the house at main floor level. Corner boards define each elevation of siding. There is a continuous wooden flashing on top of the belt boards thus diverting internal water and condensation to the outside. This detail is reminiscent of a water table which is usually located on top of the foundation to protect the walls below grade. Here the flashing projects approximately two inches beyond the cladding surface. The wooden flashing is in poor condition but appears to be mostly intact. A flush plate defines the bottom edge of the siding. Little exposed foundation wall is visible below the cladding. The exposed concrete foundation is not protected. The siding and associated details are in fair condition.



Figure 24: Lap siding, Water Table, Belt and Corner boards,



Figure 25: Profile of Water Table, Belt and Corner boards



Figure 26: Headboard above siding



Figure 27: Base plate below siding



## 1.6: Flower Box Studs

Flower box studs are located below the main floor windows of the south and east elevations. This is a common detail in the houses of the Late Craftsman Style; these also existed below the main and second floor windows on the front of the house as visible in Figure 72. The studs project beyond the exterior walls approximately 18 inches below the windowsills. The tail of the studs is shaped like a decorative bracket. Generally, these studs are in good condition.



Figure 28: South and east elevation flower box studs



Figure 29: Flower box studs profile

## 1.7: Front Porch

The front porch has a gabled roof supported by two plain square columns. The front bargeboards have an exaggerated tail end thus hiding the crimped framing to create the flare of the porch roof. The details of the porch roof include a solid front tympanum, exposed framing, barge boards with tail and ridge key, open soffit with tongue-and-groove boards, and exposed rafters. Two low balustrades contain the porch landing. The balustrades extend along the full-width front stairs. The wooden steps include closed risers. The side of the balustrades are clad in siding matching the house. A crude wooden railing has been added to the stair balustrade. The front porch is in fair condition.



Figure 30: Front porch and stairs



Figure 31: Front porch barge board and overhang



Figure 32: Balustrade



Figure 33: Front porch roof structure with clad tympanum in the foreground

## 1.8: Back Porch

The back porch, which provides access to the main floor kitchen, has a lean-to shed roof supported by two square columns. Details of the back porch roof include an open soffit, exposed framing, and rafters, eavestrough, bargeboards with chamfered tails, and edge moulding. A solid balustrade defines the north side of the landing. A large deck on the east side of the house is attached to the back porch landing. Closed riser stairs with a crude wooden railing runs along the north wall. The underside of the stair landing is open. The back porch and its roof are in fair condition.



Figure 34: Back porch with roof, landing, and doors



Figure 35: Back porch roof structure with barge board and exposed rafters

## 1.9: Windows

There are four types of windows at the Clegg House:

1. The windows of the two dormers and the ones on the east side of the second floor are original wood frame double hung windows with multi-pane upper sashes.
2. The stair landing, and foyer on north side, the west and east side basement windows are original wooden frame multi-pane fixed windows.
3. The south, west and east main floor wood frame picture windows with prevailing horizontal muntins including the two box windows and the front bay window.
4. Other few windows have sashes replaced with either vinyl frames including the patio door and side lites at the east side deck and two basement windows facing south.

All the windows of the Clegg House have a wooden frame and sash, except for a few vinyl (or aluminum) sashes replaced recently. The windows have wide exterior casings with projecting brick moulds and thin wooden muntins. Wooden sashes are single glazed with glass panes set in putty. Wooden windows are in poor condition with paint peeling and individual parts showing stress. Over painting and smeared putty is pervasive.

There are two box windows, one at the top of the front gable end, and the other on the south side of the main floor. Each has their own distinctive details, three knee-brackets support the window projection of the front box and an independent lean-to shed roof with exposed rafters covers the projection on the south side.

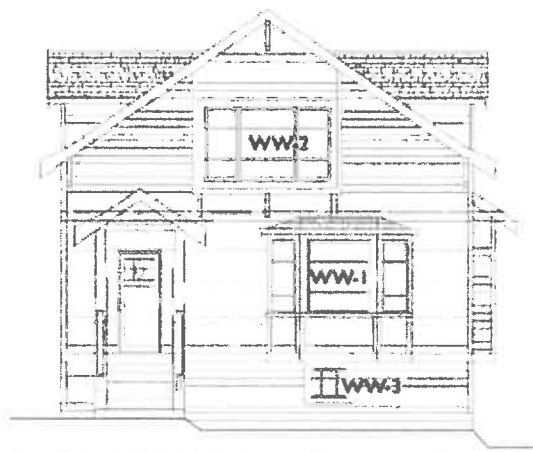


Figure 36: Window Schedule: West elevation

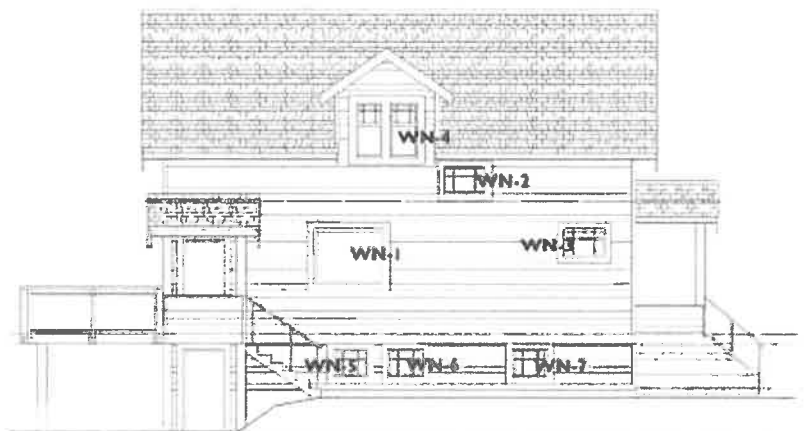


Figure 37: Window Schedule: North elevation

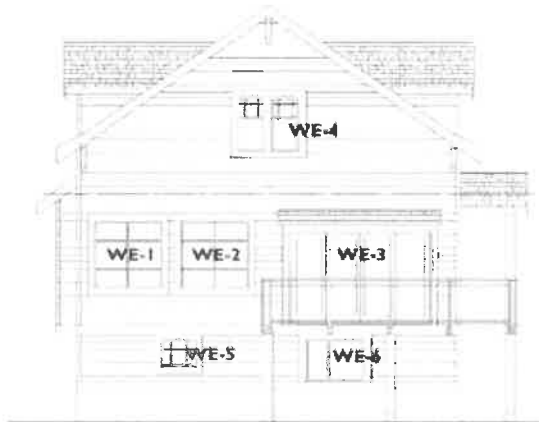


Figure 38: Window Schedule: East elevation

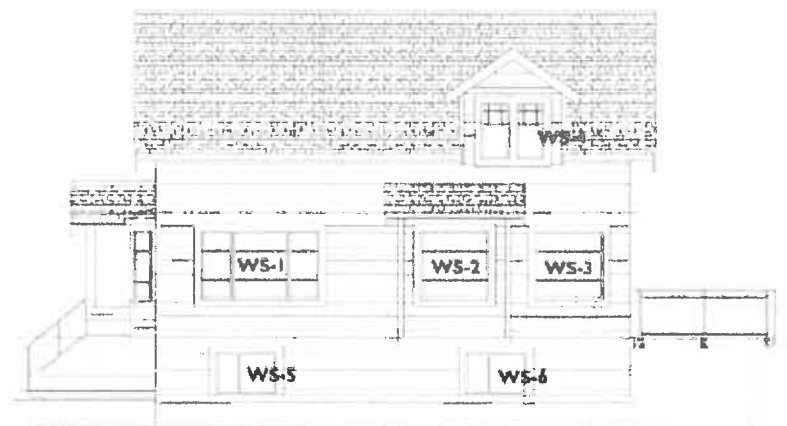


Figure 39: Window Schedule: South elevation

Drawings by Focus Architecture Inc.



## PRELIMINARY WINDOW SCHEDULE

<b>WEST ELEVATION</b>	<b>WINDOW TYPE</b>	<b>DIVISIONS</b>	<b>PERIOD</b>
WW-1 LIVING ROOM	Wooden Bay – Fixed & 2 Casements	Multi-Pane	Old
WW-2 MASTER BEDROOM	Wooden Box Fixed & 2 Casements	Multi-Pane	Old
WW-3 BASEMENT	Wooden Fixed	Multi-Pane	Original
<b>NORTH ELEVATION</b>			
WN-1 KITCHEN	Wooden Fixed	None	Recent
WN-2 LANDING	Wooden Fixed	Multi-Pane	Original
WN-3 FOYER	Wooden Fixed	Multi-Pane	Original
WN-4 BATHROOM	Wooden Paired Double Hung	Multi-Pane	Original
WN-5 BASEMENT	Wooden Fixed	Multi-Pane	Original
WN-6 BASEMENT	Wooden Fixed	Multi-Pane	Original
WN-7 BASEMENT	Wooden Fixed	Multi-Pane	Original
<b>EAST ELEVATION</b>			
WE-1 DINING ROOM	Wooden Paired Fixed & Casement	Multi-Pane	Old
WE-2 DINING ROOM	Wooden Paired Fixed & Casement	Multi-Pane	Old
WE-3 KITCHEN	Aluminum Patio Door & Side Lite	None	Recent
WE-4 BEDROOM	Wooden Paired Double Hung	Multi-Pane	Original
WE-5 BASEMENT	Wooden Fixed	Multi-Pane	Original
WE-6 BASEMENT	Aluminum Fixed & Casement	Multi-Pane	Recent
<b>SOUTH ELEVATION</b>			
WS-1 LIVING ROOM	Wooden Fixed & 2 Casements	Multi-Pane	Old
WS-2 DINING ROOM	Wooden Box Fixed	Multi-Pane	Old
WS-3 DINING ROOM	Wooden Fixed	Multi-Pane	Old
WS-4 BEDROOM	Wooden Paired Double Hung	Multi-Pane	Original
WS-5 BASEMENT	Aluminum Fixed & Casement	None	Recent
WS-6 BASEMENT	Aluminum Fixed & Casement	None	Recent



Figure 40: Dormer pair of multi pane double hung windows (WS-4)



Figure 41: Interior side of pair of bedroom windows (WS-4)



Figure 42: Two pairs of multi pane fixed and casement windows- (WE-1 & WE-2)



Figure 43: Interior of dining room windows (WE-1 & WE-2)



Figure 44: Multi pane fixed with casements on both sides (WS-1)



Figure 45: Interior of living room window (WS-1)



Figure 46: Fixed multi pane window (WN-2)



Figure 47: Interior of stairs landing window (WN-2)



Figure 48: Basement window (WE-5)



Figure 49: Basement window (WN-5)





Figure 50: Multi pane bay window (WW-1)



Figure 51: Interior of living room bay window (WW-1)



Figure 52: Box window with knee-brackets (WW-2)



Figure 53: Box window with shed roof (WS-2)

## 1.10: Exterior Doors

The front door is offset on the left inside of the house, thus providing access directly to the foyer on the main floor. The door is a solid wood panelled door with an upper lite of cut-glass panes. The exterior door casing is wide with a raised sill. The interior door casing is consistent with the details of the interiors. The door assembly is in good condition. The kitchen door is a common panel door and the one to the basement is a crude contemporary door.



Figure 54: Front door exterior



Figure 55: Front door interior



Figure 56: Basement door under back porch landing



Figure 57: Back porch door



### 1.1.1: Internal Brick Chimney

The brick chimney is barely visible from the adjacent streets since it has a short, exposed shaft located in the middle of the house. The shaft above the roof is in fair condition. Moss is growing at the top of the masonry shaft and cap. The fireplace is an important feature of the main floor. The fireplace includes a decorative wood mantle. The fireplace is in good condition. The brick shaft rising through the attic has been sloppily repointed and shows signs of continued water penetration.



Figure 58: Internal chimney shaft above roof



Figure 59: Fireplace



Figure 60: Chimney through attic space, with wooden trusses and bat insulation on above ceiling



## 1.12: Exterior Paint Colours

The exterior paint of the siding and trim has been neglected and is generally in poor condition. Cracking and peeling are visible all over the house exterior. Original colours can be seen on the north elevation, where siding with natural look exists beneath the white coat. Black painted wood trim around windows is also visible. The black colour was common in the Victorian era, but it was not typical of the 1920's.



Figure 61: Black trim colour beneath the blue accent paint



Figure 62: Natural look of siding beneath the white paint



Figure 63: Peeling of siding paint and vegetal invasion



Figure 64: Peeling of window trim paint

### 1.13: Residential floors

The interiors of the house include few ornaments and generally plain and unadorned. Modest baseboards, fir wood floors, the wooden staircase, and restrained window casings are the only distinctive details in the inside of the Clegg House.



Figure 65: Dining room



Figure 66: Living room and foyer



Figure 67: Main stairs



Figure 68: Entrance foyer

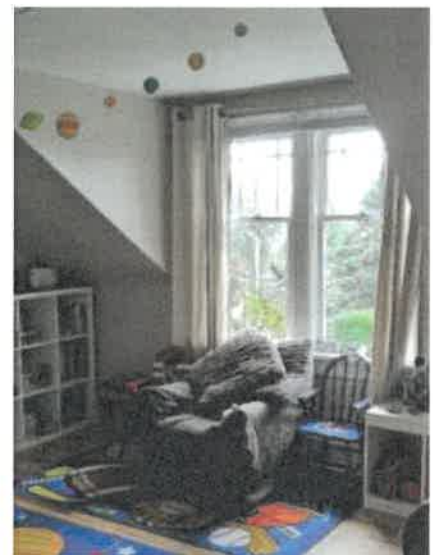


Figure 69: Second floor bedroom

## 2. Integrity

This section is a review of the integrity of some aspects of the house, as to whether they are original or not. The review consists in exposing the design and materials incorporated in the 1929 construction, as far as we can tell today. Some elements are visible; others are hidden, while some have completely disappeared. In this case most of the elements of the residence are original.

- The east side deck is an addition
- The original roof was cedar shingles
- The dormer cheeks were clad in cedar shingles
- Front elevation main floor bay window is not original to the house
- Front porch columns replaced original brackets
- Several windows and sashes have been replaced (see schedule above).
- The window planting boxes have been removed
- Exterior paint colours are not original;
- Belt board was painted as a trim colour (see picture below)
- Front and rear gable end attic vents were added
- Interior basement stairs were added



Figure 70: Front elevation with original porch brackets flower boxes and double hung windows photo from the Clegg family



Figure 70: South elevation with original windows (photo from the Clegg family)

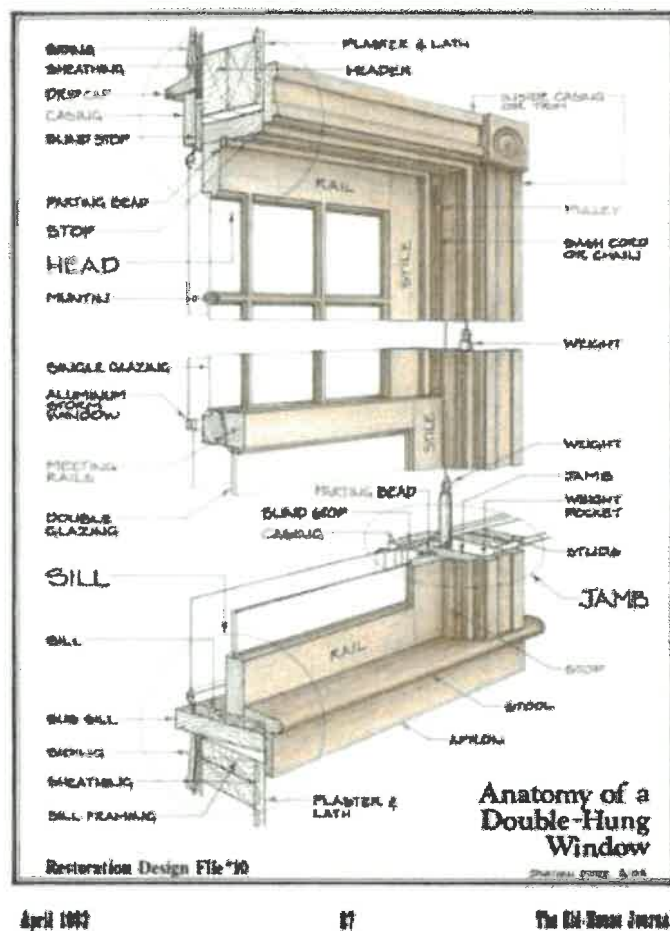


Figure 71: Anatomy of a double hung window in the Old-House Journal

### 3. Recommendations

The following recommendations are based on accepted conservation principles found in “*The Standards and Guidelines for the Conservation of Historic Places in Canada*”. These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, listed with the *Statement of Significance*, and any part of the property that would impact the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
- **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
- **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.

Generally, the recommendations are pertaining to the street facades, most visible and representative of the historic significance of the heritage building. Yet, these recommendations can also apply to the back and side elevations.

1. **Property; Preservation:** The Clegg House should retain its presence at the corner of 16<sup>th</sup> Street and Haywood Avenue. The historic house should retain a significant relationship to the Vinson Creek. The cluster of cedar trees at the northwest corner of the property should be preserved.
2. **Massing; Preservation:** The orientation of the house should be preserved. The 1-1/2 storey body and front gabled roof including its dormers should be maintained. The massing of the Clegg House, as viewed from street corner should be maintained. There should be no substantial additions or removal that would hinder the integrity of the style of the house. Any additions to the house and property should be subordinate to the historic character of the structure. Additions to the historic place must be distinct and compatible with the existing.
3. **Main Roof and Details; Preservation:** The main gabled roofs with its slight flare, the large overhang, the open tongue-&-groove soffits with exposed rafters, the bargeboards with the swollen tails, the headboards with its moulding, and the six knee-brackets must be maintained. Following our preliminary observation, the condition of most of these features is adequate and should be rehabilitated and maintained where possible. The roof should be inspected by a specialist; the roofing is aged and should be considered for replacement; the owner should consider new cedar shingle roofing throughout. The bargeboard tails are made-up of two to three wooden pieces visibly separating from each other; all joints should be tightened and secured. Where defective, entire lengths of wood must be replaced; patching is not acceptable. Damaged elements should be replaced with matching material in kind, size, and design. The painted elements, especially the soffits, brackets, and rafters should be stripped and refinished.
4. **Roof Insulation; Rehabilitation:** Currently, the roof is insulated above the second-floor ceiling, and sufficient ventilation should be provided with linear soffit vents, and additional gable end vents. The new vents should be discreet and as invisible as possible. The current vent on the west elevation, should be removed, or relocated more discretely. We do not recommend insulating on top of the roof deck since this installation would change the roof profile. Insulating under the roof deck should be considered, thus minimizing the venting requirements.
5. **Dormers; Preservation:** The condition of the existing dormers should be reviewed in detail by the roofing specialist. Any changes, alterations or additions to the dormers should be consistent with the same front gabled style. The bargeboard tails should be repaired, if possible, otherwise the whole bargeboard should be replaced with matching material and profile. Damaged elements should be replaced with matching material in kind, size, and design. Reinstating the cedar shingles at the dormer cheeks should be considered.
6. **Foundation Wall; Rehabilitation:** The Owner reported that the perimeter drainage had completely failed and was replaced with a four-inch pipe above ground which gathers rain from the downspouts. The perimeter drainage should be reviewed; the addition of permeable fill next to the house would prevent ponding against the foundation walls. An 18-inch drainage course should be added around the building to keep the planting clear of foundation walls and siding. The foundation walls should be inspected thoroughly by a structural engineer for uneven settlement, cracks, and leakage. Minor cracks should be patched, and major ones should be engineered. The exposed foundation walls above grade should be rendered with a protective coating.
7. **Lap Siding; Rehabilitation/Preservation:** The lap siding at the lower and upper parts of the house is in fair condition, and much of existing material should be maintained. The material replacing damaged boards should match the existing in kind, size, and design. Entire lengths of siding boards should be replaced where required; patching is unacceptable. The condition of the base plate and corner boards should be reviewed since some parts are close to grade. The base plates and corner boards should be continuous. Damaged boards should be replaced with material matching the existing in kind, size, and design. Where defective, the entire length must be replaced; patching is not acceptable.



8. **Belt Board and Water Table; Rehabilitation:** The two-tier belt boards are in good condition and should be maintained. Damaged pieces, although very few, should match existing material in kind, size, and design. Entire lengths should be replaced where required; patching is unacceptable. The boards should be stripped of the paint and refinished. The water table (wooden flashing at main floor level) above the belt board is in poor condition and should be replaced entirely with matching material and profile; alternative material could be considered as long as the appearance is similar to the existing water table.
9. **Flower Box Studs; Rehabilitation:** The flower box studs projecting from the exterior wall surface should be reviewed for structural integrity, capable of supporting the intended load. The studs should be refinished and maintained. Consideration should be given to reinstating the ones removed from the front of the house if the bay window is removed or altered. Flower boxes could be reinstated below windows with opening lower sashes.
10. **Front Porch; Preservation/Rehabilitation/Restoration:** The porch roof, stairs, and balustrade should be maintained. Consideration should be given to reinstating the wall brackets to support the porch roof, thus removing the two existing columns (see Figure 72). The brackets should be designed structurally and, in a style consistent with the rest of the house. Low balustrades and the associated siding are typical of the Craftsman style and should be maintained. If additional railings are required, simple discreet pipe railings should be considered, so that it does not distract from the original design. Exposed roof structure with tongue-and-groove boards, tympanum siding, bargeboard, flare, and rafters must be refinished and maintained. Wooden stairs should be painted a trim colour consistent with the rest of the house. Damaged boards should be replaced with material matching the existing in kind, size, and design. Where defective, entire length must be replaced; patching is not acceptable.
11. **Back Porch; Preservation/Rehabilitation:** The roof, columns, and solid landing balustrade should be maintained. The roof structure with exposed rafters, and bargeboards must be refinished and maintained. The roofing material should match the rest of the house. Wooden stairs should be painted a trim colour consistent with the rest of the house. A railing conforming to code should be installed at the stairs, distinct but compatible. Damaged elements should be replaced with material matching the existing in kind, size, and design. Where defective, entire lengths must be replaced; patching is not acceptable.
12. **Windows; Preservation/Rehabilitation/Restoration:** Original double hung windows, fixed landing and basement windows must be refurbished and maintained. Stripping paint, weatherstripping, and reinstating putty seal at muntins should be completed by a window specialist. The operation of the opening sashes should be smooth and comfortable. The weights and pullies must be reviewed and repaired if defective. Hardware should be consistent with the character of the windows. We recommend the addition of sash sashes to the interior window side to improve the performance of the existing windows while maintaining the exterior as original.

To improve the authenticity of the front elevation, consider removing the front bay window thus reinstating the trio of double hung windows originally designed for the house (see Figure 71); alternatively, introducing double hung windows within the existing bay window. Reinstating the double hung windows at all existing picture windows on the south and west façade would re-establish the original proportions of the house. The double hung windows alter its scale from horizontal to vertical, an important characteristic of the historic house. The conversion of the picture windows would also justify weathering improvements by using sealed unit glazing. We feel that reinstating the proper proportions of the windows would improve the historic character of the house; on the other hand, we do not feel that it is necessary to reinstate the multi pane upper sashes, where they no longer exist, as they contribute less to the historical character of the house. Exterior casing and brick moulds should be maintained or replaced if damaged. Damaged elements should be replaced with material matching the existing in kind, size, and design.

13. **Front Door; Preservation:** The front door is consistent with the style of the house and can be maintained. If replaced the new door should be selected from vintage designs.

14. **Internal Brick Chimney; Rehabilitation:** Structural engineer and mason should review the brick chimney foundation, and shaft inside and above the roof. The exterior masonry shaft should be re-pointed, and the damaged brick should be replaced with matching material if required; the exterior masonry shaft and cap should be maintained as original above the roof. If the chimney is operational, it should be reviewed to conform with current codes. If not operational, the exterior shaft should be maintained and repaired. The existing fireplace, mantle, and surrounds should be maintained and refinished as required. The hearth and flue should be inspected should the fireplace operation be reinstated.
15. **Painting; Rehabilitation/Restoration:** The colour distribution between the body of the house and the trim should be maintained, except for the belt board which should be accentuated with the darker colour. If the house is repainted the colours should be selected from the 1910 to 1930 palette on page 25 of this report.
16. **Site review:** We recommend that a Heritage specialist be retained to perform periodic site review when alterations are in progress to ensure the integrity of the historic fabric. The consultant should also be advised of discoveries on site to adjust the conservation strategy, if deemed necessary.

#### 4. Review of Proposed Development

The proposed development includes the relocation of the Clegg House southwest of its existing position to allow the creation of a second lot to the north severed from the existing property with a new house and detached garage on the newly created lot, the construction of a garage with a residential suite above located between the relocated Clegg House and the proposed new house and lot, the rehabilitation of a basement suite of the historic house with a walk-out to a terrace, two parking spots at the southeastern corner of the property and two new boulevard parking bays on Haywood Avenue. The relocation of the Clegg House will require the momentary removal of exterior decks and porches.

Two new dormers will be added to the heritage home, one on the south side and another on the north side. A new basement entrance door and patio will be added on the south side. The east side deck will be rebuilt and enlarged to measure the entire width of the house. Apart from the new dormers, the entire fenestration of the west and south façade will remain but refurbished with new double-hung windows and multi-pane sashes. The proposed front porch will be rebuilt as per original design. One basement window will be removed on the north elevation while the kitchen window will be reduced to its original size. The rear basement door will be moved from the north elevation and relocated onto the east elevation, under the deck. New patio doors will be added to the main floor of the east elevation thus improving the exposure to the rear deck. A small mud room window will also be added at the northeast corner of the house.

The proposed exterior colours have been reviewed by the Vancouver Heritage Foundation (VHF) staff. Built in 1929, the Clegg House could have been painted with colours included in the VHF True Colour program. Although the period of this house is transitional into a modern palette, the choice of Victorian/Edwardian colours is still appropriate, since several Craftsman Houses maintained the "True Colours" well into the 1930's. See *Your Old House – True Colours* by S. Halfnight and D. Luxton on behalf of the Vancouver Heritage Foundation 2001.



Figure 72: Existing Site Plan \_ Focus Architectural Inc

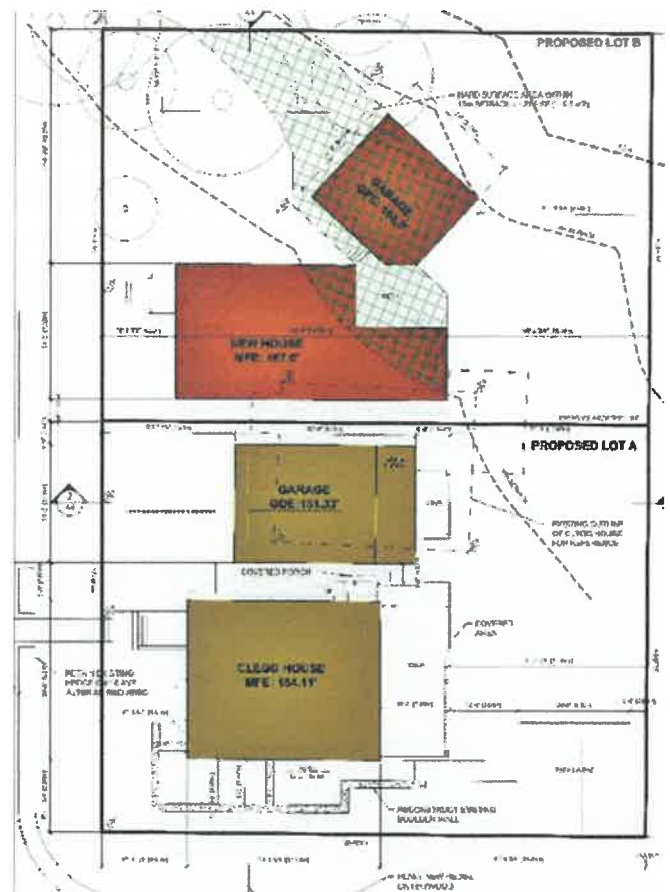


Figure 73: proposed lot A & Lot B with relocated heritage home



Second Floor

Main Floor

Basement

Figure 74: Proposed floor plans with basement suite, main Floor with east facing deck and second floor with added dormers\_ Focus Architectural Inc





Figure 75: Existing south elevation \_ Focus Architectural Inc



Figure 76: Proposed south elevation with new dormer and basement entrance \_ Focus Architectural Inc



Figure 77: Existing West elevation with covered front porch\_ Focus Architectural Inc



Figure 78: Proposed West elevation with link to garage on the left inside\_ Focus Architectural Inc



Figure 79: Proposed North Elevation with additional dormer\_ Focus Architectural Inc



Figure 80: Proposed East elevation with garage on the right inside



Figure 81: Street elevation with 16th Street on top and Haywood Avenue at the bottom\_ Focus Architectural Inc

### Impact of the Development onto the Historic Place

We support the proposed development and consider its implementation a positive addition to the Ambleside neighbourhood. The preservation, rehabilitation and restoration of the key character-defining elements will highlight the heritage value of the historic house. The restored fenestration and window types, in particular, reinstates the historic character of the house. The rehabilitation of the roof eaves details, and the siding in general will contribute greatly to highlight the Clegg House as a major West Vancouver cultural asset.

In the currently proposed site plan, the relocation of the Clegg House closer to both 16<sup>th</sup> Street and Haywood Avenue, will lessen the commanding character of the historic place, yet still maintains its corner location. The north elevation will partly be overshadowed by the addition of a coach house, but the two structures will be separate and distinct. Additions to the site, specifically the structures north of the historic house should be distinct and compatible in materials and colours.

Since the front porch will be dismantled in order to accommodate the relocation of the house, the original knee-brackets supporting its roof will be restored. The window flower boxes will be reinstated at the Clegg House, thus enhancing the exterior of the Craftsman style house. The proposed back deck staircase roof will also be restored after the moving of the house. Masonry chimneys are important character-defining elements of the Craftsman Style, and the exterior shaft of the brick chimney will be restored.





Figure 82: The Clegg House viewed from Haywood Avenue \_ Focus Architectural Inc



Figure 83: Southwest corner of the Clegg House - Focus Architectural Inc

## Appendix:

### **AI: Standards and Guidelines for the Conservation of Historic Places in Canada** *excerpt*

The Standards for the Conservation of Historic Places in Canada are intended to promote responsible conservation practices that help protect Canada's irreplaceable historic places. They provide a philosophical consistency for project work; and while neither technical nor case-specific, they provide the framework for making essential decisions about which

#### **Applying the Standards**

features of a historic place should be maintained, and which can be altered.

Conservation in the context of these Standards refers to retaining the heritage value of historic places and extending their physical life. Retaining the heritage value of historic places is primarily ensured through *interventions* that have a physical effect on the tangible elements of a historic place that do not obscure damage or destroy character-defining elements. The latter consist of the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of the historic place. It is useful to consider conservation under three distinct headings: *Preservation*, *Rehabilitation* and *Restoration*, while recognizing that a given conservation project will often include a combination of these activities.

**Preservation** involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. There are nine Standards relating to *Preservation*, and they must all be applied to a *Preservation* project. Since protection, maintenance and stabilization are at the core of *all* conservation projects, all nine *Preservation* Standards must be applied to *any* conservation project.

*Preservation* should be considered as the primary treatment when (a) the historic place's materials, features and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; (b) depiction during a particular period in its history is not appropriate; and (c) a continuing or new use does not require extensive alterations or additions. *Preservation* tends to be the most cautious of the conservation treatments and retains the most materials. It is therefore most appropriate when heritage values related to physical materials dominate. A plan for *Preservation* should be developed before work is undertaken.

**Rehabilitation** involves the sensitive adaptation of a historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value. This is achieved through repairs, alterations and/or additions. Three Standards relate to *Rehabilitation* and all three must be applied to a *Rehabilitation* project, in addition to the nine *Preservation* Standards.

*Rehabilitation* should be considered as the primary treatment when (a) repair or replacement of deteriorated features is necessary; (b) alterations or additions to the historic place are planned for a new or continued use; and (c) its depiction during a particular period in its history is not appropriate. *Rehabilitation* can revitalize historical relationships and settings and is therefore most appropriate when heritage values related to the context of the historic place dominate. A plan for *Rehabilitation* should be developed before work begins.

**Restoration** involves revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value. Two Standards relate to *Restoration*, both of which must be applied to a *Restoration* project, in addition to the nine *Preservation* Standards.

*Restoration* may be considered as the primary treatment when (a) the significance of a historic place during a particular period in its history *significantly* outweighs the potential loss of existing materials, features and spaces from other periods; (b) there is substantial physical and documentary or oral evidence to accurately carry out the work; and (c) contemporary alterations and additions are not planned. *Restoration* is most appropriate when strong associative or symbolic heritage values have been obscured and can be revealed through removals, repairs and replacements based on detailed historical evidence. Before the work begins, a particular period (i.e., the restoration period) must be selected and justified, and a plan for *Restoration* should be developed.

## General Standards (all projects)

1. Conserve the *heritage value* of a historic place. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*.
2. Conserve changes to a *historic place* which, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other *historic places* or other properties or by combining features of the same property that never coexisted.
5. Find a use for a *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize a *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an *intervention*.
8. Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place*, and identifiable upon close inspection. Document any intervention for future reference.

## Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where *character-defining elements* are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a *historic place* will not be impaired if the new work is removed in the future.

## Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the restoration period. Where *character-defining elements* are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## **A2- Building Code Equivalencies**

Excerpts from the BC Heritage Branch Web site:

The B.C. Building Code is a regulation made under the Municipal Act. It is based, in large measure, on the National Building Code of Canada. The code is essentially a set of minimum provisions respecting the safety of buildings with reference to public health, fire protection and structural sufficiency. It is not intended to be a textbook on building design, advice on which should be sought from qualified sources. Its primary purpose is the promotion of public safety through the application of appropriate uniform building standards.

The Building Code Recognizes Heritage Buildings. The B.C. Building Code defines heritage buildings as the following: Heritage buildings are buildings that are legally recognized by the Province or local government as having historic, architectural or cultural value for the Province or their communities. To qualify as a heritage building under the Building Code, a building must be designated or recognized by the Province or the municipality where the site is located.

There are relaxations in the Building Code for Heritage Buildings. The B.C. Building Code supplies a table of "Alternate Compliance Methods" for heritage buildings. The Building Code states:

It is generally recognized that the Building Code was primarily written for new construction and provides for a performance level that is significantly higher than what exists for many older buildings. To apply present Building Code requirements to existing buildings, in many cases, is impractical and with Heritage Building may compromise historic appearances or authenticity. Therefore, the Table of Alternate Compliance Methods was developed to provide alternate methods for complying with the performance level intended by the Building Code.

For Alternate Compliance Methods Table: Contact your local major bookstore or visit the reference section at your local library for a copy of the "B.C. Building Code".

## **A3- BC Energy Efficiency Act**

*Heritage BC post*

New regulations for the manufacture of windows, doors and skylights in B.C. took effect in 2009. Brought in under the BC Energy Efficiency Act, the regulations are part of a broad provincial strategy to reduce energy consumption in buildings. While designated buildings, thus buildings included in the heritage register by the Council under the Vancouver Charter, are exempt from the regulations, other heritage buildings are not. Existing windows and doors in heritage buildings may be refurbished without reference to the regulations, but replacement windows and doors will have to conform to the new rules. This includes storm windows.



## A4- Maintenance

In keeping with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, a maintenance program should be implemented ensuring the good condition and the longevity of the historic site. Vigilance and constancy are essential dispositions in maintaining an historic site.

Light cleaning and minor repairs can be achieved on a regular basis. Major repairs, alterations and changes to the appearance of the historic site require a Heritage Alteration Permit issued by the City. <http://vancouver.ca/home-property-development/heritage-alteration-permit.aspx>

All interventions to the character-defining elements of a historic site must comply with the *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*. The following is an inspection checklist to help the owner and/or caretaker of the historic site to identify potential problems with his/her property; this is not an exhaustive list and is meant as a general guide of some of the type of issues met as a normal life-cycle of a residential property:

### Site:

Drainage: rain run-off away from the building foundations, sidewalks and neighbours  
Dampness: excessive accumulation of dampness harboured in crawl spaces  
Roots: assailing of roots onto structures and waterproof membranes  
Trees: organic droppings on roofs and eavestroughs from adjacent trees  
Branches: friction and intrusion of branches onto buildings elements  
Plants: crowding of exterior walls and surfaces by plants and vines  
Paving: cracks and organic growth in paving stones and pavements  
Steps: level and railing safe and secure  
Services: safe and minimum number of exposed conduits and wires  
Vermin: hoarding of material harbouring insects and vermin  
Critters: enclosed spaces secured from easy access  
Birds: roosting ledges subject to guano accumulation

### Foundation:

Walls: exposed foundation walls may cause water penetration  
Spalling: cracks and dislodged parging material  
Movement: foundation walls shrinking and/or settling  
Slanting: crooked and slipping footings due to unstable ground  
Level: uneven foundation due to irregular settlement  
Deflection: sagging transom and lintels due to unstable structure  
Salt: presence of efflorescence in foundation walls  
Moisture: rising dampness around foundations indicates poor drainage  
Ponding: puddles adjacent to building will find its way into walls  
Spray: splashing of water onto building causes deterioration

### Exterior woodwork:

Grade: soiling of siding may be caused by water absorption at grade  
Condensation: surface temperature difference creates condensation  
Fungi: evidence of surface mold and/or moss is caused by dampness  
Climate: bleached and/or soiled due to environmental conditions  
Shape: dimensional deformation and warping of planks and lumber  
Split: cracked wood and fallen knots indicates movement and dryness  
Surface: soiling by rust, mildew or bleeding may require refinishing  
Fasteners: rust and displaced nails and screws indicates movement  
Joints: opened joints between wood members indicates movement and/or shrinkage

Paint: blistering, alligatoring and peeling caused by age, application or layering

#### Doors and Windows:

Glass: missing or broken

Putty: missing or aged putty may indicate loose glass

Vents: ease of sash operation and condition of hardware

Condensation: surface deterioration may be due to condensation

Frame: dimensional deformation and warping of frame prevent smooth operation

Head: rain water wash may be due to missing or ineffective top flashing

Sills: weathering sills may be due to soiling and sitting rain water

Drip: rain water wash below window may be due to missing or defective drip

Sealant: missing or aged sealant between siding and frames may cause leaks

Weather-stripping: continuous weather-stripping is effective in keeping weather out

Hardware: locks, latches and closers functioning properly

#### Flashing and eavestroughs:

Flashing: missing or defective at top of ledges, walls adjacent to roofs, chimneys, roof valleys and ridges

Eavestroughs: secure, continuous and allowing easy flow; watertight and connected to downspout

Rain water leader: continuous and watertight evacuating into drainage system away from building

#### Roof:

Surface: moss and soiling is visible when the roofing membrane or shingles holds humidity

Eaves: the leading edge is wet when water accumulates and ponds at eaves

Shingles: displacement of shingles indicates poor fastening

Popping: nails and/or screws protruding indicates movement

Flashing: continuity of flashing at area of discharge

Woodwork: damage from leaks at closed soffits, barge board and roof trim

#### Attic:

Insulation: wet insulation indicates roof leaks or missing vapour barrier

Ceiling: soiled gypsum boards at upper ceiling indicates leak or condensation

Ventilation: excessive humidity in attic indicates lack of ventilation

Birds: guano in the attic indicates presence of rodents or birds

Structure: structural movement causes roof leaks

#### Basement:

Floor: cracked floor indicates ground water and/or movement

Wall: wet surface indicate condensation and/or ponding against foundation walls

#### Cleaning:

Method: use non-abrasive cloth and soap to clean exterior elements of historic site

**A5 – Statement of Significance Background**

Prepared by Darrin and Meghan DeCosta, August 2021

**History and Background**

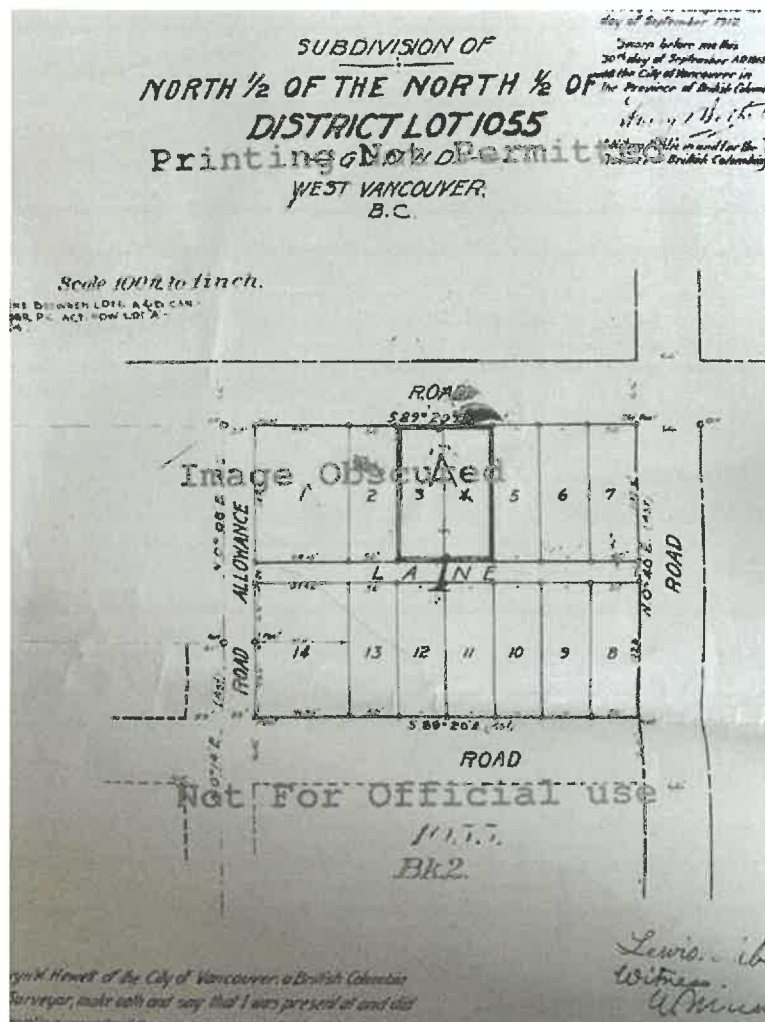
CLEGG HOUSE

1591 HAYWOOD AVE, WEST VANCOUVER

March 2022

**HISTORICAL CONTEXT**

Navy Jack Thomas was the first European settler to build on what is now Argyle Avenue and 18th Street in 1873. Other permanent residents followed once a ferry service was established in 1909, and by 1912, West Vancouver was incorporated. With the City of Vancouver experiencing a population boom, swelling its population to over 100,000 inhabitants, development on the north shore began to increase. The subdivision of District Lot 1055, the lot on which the Clegg House was built, occurred in 1912, however the lot remained vacant for the next sixteen years due to the interruption of the First World War. After WWI, development began to increase again and Warren Leach Clegg, of Dahinda, Saskatchewan, purchased lots 13 and 14 of District Lot 1055 (Civic addresses: 1591 Haywood and adjacent 1573 Haywood) for \$575 and \$315 respectively.



Subdivision Plan, 1912

### THE CLEGG FAMILY

Warren Leach Clegg was born in Heywood, Lancashire, England on October 11, 1871 to Samuel and Elizabeth (nee Broadbent) Clegg. He emigrated to Canada in 1904, indicating his profession was Sanitary Engineer and his destination, Ontario. He was drawn west to the Kootenays before relocating to Saskatchewan, lured by the prospect of farming the Canadian prairies. He homesteaded a farm near Dahinda, Saskatchewan and was quite successful, according to an article of the time, and his grain won prizes at contests in Chicago.

His business partners on the farm were James Mitchell, brother of his future wife, Margaret Mitchell, and Edwin Martindale, his future brother-in-law, who unfortunately would later die of his wounds in France in WWI. Edwin's widow, Mary Martindale, then began living with Warren and Margaret. Margaret was born on January 14, 1881 in Mossley, Lancashire, England to John and Ann Bradberry (nee Valentine) Mitchell. Interestingly, Warren was a bachelor until his mid forties - perhaps motivated to work during his most vital years. Warren and Margaret were married in 1914 and their first son, John was born December 6 of that year. By 1926, they had four children, John (11), Anne (6), Helena (5), and Edwin (5).



Anne, Ted and Helena attended Hollyburn school beginning in 1929, while John, five years older than Ann, attended West Van High. All four were good students and received mentions in the West Van News and are featured in numerous class photos. Ted is listed in the West Vancouver Book of

Remembrance as one of a long list of students who went off to fight in WWII. The family was active in the St. Stephens Anglican Church, with the children participating in Christmas pageants and events. Warren worked for many years in West Vancouver as an insurance salesman for Wawanesa Insurance, with offices at 1427 Marine Drive.

Warren Clegg, circa 1915

<b>THE WAWANESA MUTUAL INSURANCE CO.</b>	
Carries Many Policies in West Vancouver.	
<del>This Company is now offering a rate of \$8.00 per \$1,000 for 3 years</del>	
on Modern Stuccoed Houses with Patent Roofing.	
Other Construction at Proportionate Rates.	
<b>WARREN L. CLEGG,</b>	<b>LOCAL RESIDENT</b>
Agent for the Past 8 Years.	1427 Marine Drive

Advertisement from West Van News, November 1937.

In 1936 the family purchased a farm in the Fraser valley and John, Ted, their mother and their aunts moved to the farm on a permanent basis. Warren remained behind in West Vancouver attending to his business. After a short time, Warren downsized residences and sold the Clegg house to the Forsyth family. Warren remained in West Vancouver, residing at 1640 Fulton Ave with his daughters until his death in 1945. His wife Margaret died in 1984 at the age of 103. Both Margaret and Warren are interred in Capilano View cemetery in West Vancouver.





Left to Right: Warren Leach Clegg, Helena Clegg, Margaret Clegg, Elizabeth Clegg, John Clegg, Anne Clegg, Ted Clegg, Mary Martindale.  
Location: Farm in Rosedale, BC



Margaret Clegg and John Clegg Location: Fraser River Ferry near New Westminster, circa 1950

## CONSTRUCTION

On February 20, 1929, Warren requested access to Lots 13 and 14. The Power to Act cost \$35.00 and was referred to the Chairman of the Board of Works. In February, the West Van News reported that Warren also applied for and received a building permit improvement value of \$3,000. No architect or builder was listed at the time. The house was completed in five months and the family announced they had moved into the house in the July 12, 1929 edition of the West Van News.



Figure 84: South Elevation of Clegg House, circa 1933



Figure 85: West Elevation circa 1931

## OCCUPANCY:

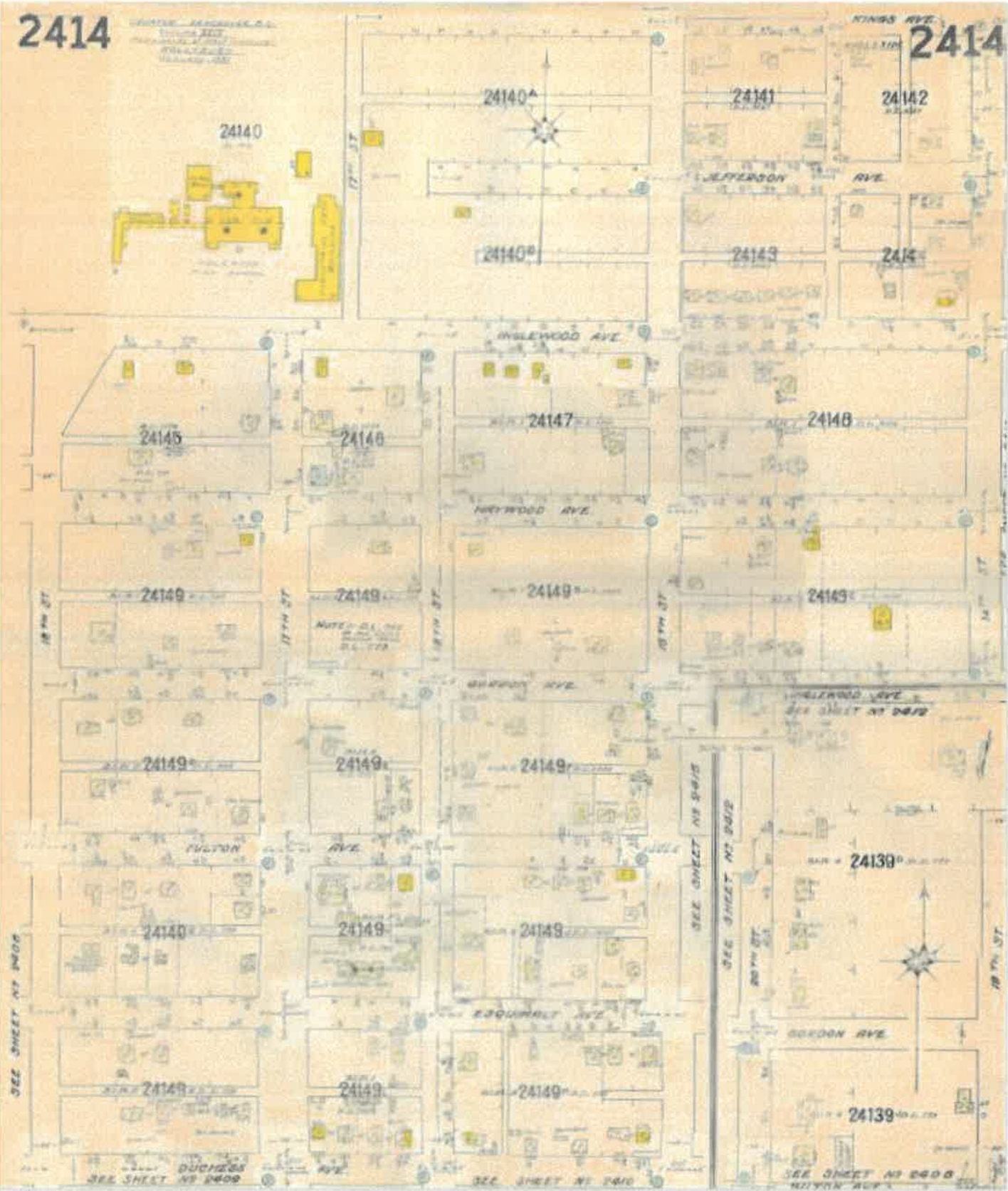
1929-1939 Warren and Elizabeth Clegg

1939-1946 A Forsyth

1946-1964 RM Horsey

1964-2021 Elizabeth Flemming

2021-current Darrin and Meghan De Costa



1930 Fire Insurance Map | West Vancouver Archives

DISTRICT OF WEST VANCOUVER  
HERITAGE INVENTORY 1987

DISTRICT OF WEST VANCOUVER &  
FOUNDATION GROUP DESIGNS LTD.

RESOURCE TYPE A: BUILDINGS



1591 HAYWOOD AVENUE

1.0 IDENTIFICATION

- 1.1 NAME OF BUILDING: CLEGG HOUSE
- 1.2 STREET ADDRESS: 1591 HAYWOOD AVENUE
- 1.3 LEGAL DESCRIPTION: Lot: 14      Block: 1      Plan: 4180  
DL: 1055 NORTH 1/2 OF NORTH 1/2
- 1.4 ROLL NUMBER: 1304 04
- 1.5 ZONING: RS5
- 1.6 TAX ASSESSMENTS: Land: \$135,200      Improvements: \$42,000
- 1.7 PRESENT OWNER AND ADDRESS: Elizabeth Ellen Fleming,  
1591 Haywood Avenue,  
West Vancouver, B.C., V7V 1W4
- 1.8 EVALUATION CLASS: SUPPORT



## 2.0 HISTORICAL SIGNIFICANCE

- 2.1 CONSTRUCTION DATE AND SOURCE: 1929 KNOWN (See 6.1)
- 2.2 ORIGINAL OWNER AND SOURCE: Warren Clegg (See 6.1)
- 2.3 ARCHITECT AND SOURCE: Unknown
- 2.4 BUILDER AND SOURCE: Unknown
- 2.5 PEOPLE OR EVENTS OF HISTORIC INTEREST ASSOCIATED WITH THE SITE:  
Clegg is listed as living in Dahinda, Saskatchewan when the house was built.

## 3.0 USAGE

- 3.1 ORIGINAL USE: Single Family Residence  
C.I.H.B. NUMBER: 0101
- 3.2 PRESENT USE: Single Family Residence  
C.I.H.B. NUMBER: 0101

## 4.0 ARCHITECTURE AND STRUCTURE

- 4.1 FOUNDATION MATERIAL: Concrete
- 4.2 BASEMENT: Full
- 4.3 NUMBER OF STORIES: One and One-half
- 4.4 STRUCTURAL MATERIAL: Wood Frame
- 4.5 CLADDING: Wide wooden lapped siding; cedar shingles in dormer cheeks  
ORIGINAL: Unknown
- 4.6 WINDOWS: Original double-hung wooden-sash in gable; all others have been altered.
- 4.7 ROOF TYPE: Front gable, with side gable dormer
- 4.8 ROOF COVER: Duroid  
ORIGINAL: Cedar Shingle (ASSUMED)
- 4.9 DESIGN DESCRIPTION: Late Craftsman styling; flared eaves (slight bellcast); triangular eave brackets; exposed rafter ends. Covered front porch; leaded glass in door.
- 4.10 CONDITION: Windows have been altered; siding appears to have been altered. Appears to be well maintained, and in good repair.

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- 2.2 ORIGINAL OWNER AND SOURCE: Warren Clegg (See 6.1)
- 2.3 ARCHITECT AND SOURCE: Unknown
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- 4.9 DESIGN DESCRIPTION: Late Craftsman styling; flared eaves (slight bellcast); triangular eave brackets; exposed rafter ends. Covered front porch; leaded glass in door.
- 4.10 CONDITION: Windows have been altered; siding appears to have been altered. Appears to be well maintained, and in good repair.

## 5.0 CONTEXT

- 5.1 SITING: Prominant corner location; major setbacks from both streets. Double lot.
- 5.2 CONTEXT: Compatible residential area
- 5.3 ADJACENT ADDRESSES SUITABLE FOR HERITAGE GROUPING: None.
- 5.4 SIGNIFICANT LANDSCAPE FEATURES: Mature hedge that is partly comprised of holly; mature shrubs and trees. The lot has been landscaped for maximum sun exposure to the house.

## 6.0 RESEARCH INFORMATION

### 6.1 ASSESSMENT INFORMATION:

Lot: 14 Block: 1 DL 1055 N 1/2 of N 1/2 (Ward #3)  
1928: Lots: 13 & 14 Unimproved Owner: Warren Clegg, Dahinda, Saskatchewan  
1929: Imp: \$600  
1930: Lot 13: Land: \$315 Imp: \$0 Owner: Warren Clegg  
Lot 14: Land: \$575 Imp: \$3,000 Owner: Warren Clegg

### 6.2 ADDITIONAL REFERENCES:

WVBP: 1957 Owner: R.M. Horsey  
No original BP information  
Water Connection: March 1929, Warren Clegg.

Included in INVENTORY I; the Secondary Group

## 7.0 GENERAL COMMENTS

The architectural character of the house has been compromised by later alterations.

Additional information in INV. I:

- Purchased in 1939 by Mr and Mrs A. Forsyth.
- Purchased in 1946 by Mr R.M. Horsey in 1946. Horsey was the North Shore Manager of B.C. Hydro
- Purchased by D. Flemming in 1964

SURVEYED BY: Valda Vidners and Don Luxton, Foundation Group Designs Ltd.

DATE: October 1987

PHOTOGRAPHIC NEGATIVE NUMBER: Roll IV: #8

## 8.0 EVALUATION

STREET ADDRESS: 1591 HAYWOOD AVENUE

DESCRIPTION	EVALUATION			
	E	VG	G	F/P
<u>ARCHITECTURAL HISTORY</u>				
1. STYLE/TYPE Good example of Late Craftsman influence (1929)	35	18	<u>12</u>	0
2. DESIGN Of no significance beyond style	30	15	10	<u>0</u>
3. CONSTRUCTION Of no particular significance	15	8	5	<u>0</u>
4. DESIGNER/BUILDER Unknown	15	8	5	<u>0</u>
	(Maximum 45)			<u>12</u>
<u>CULTURAL HISTORY</u>				
1. HISTORICAL ASSOCIATION Unknown	35	18	12	<u>0</u>
2. HISTORICAL PATTERN Strong evidence of development of permanent residences in the grid streets	30	15	<u>10</u>	0
	(Maximum 35)			<u>10</u>
<u>CONTEXT</u>				
1. LANDSCAPE/SITE Altered, but still strongly apparent, historical relationship	15	<u>8</u>	5	0
2. NEIGHBOURHOOD Compatible residential area	20	10	<u>6</u>	0
3. VISUAL/SYMBOLIC Prominant in immediate area	20	13	<u>8</u>	0
	(Maximum 20)			<u>20</u>
	SUBTOTAL			<u>42</u>
<u>INTEGRITY</u>				
Alterations considered recognizable	-0	<u>-8</u>	-13	-25
	TOTAL			<u>34</u>
TOTAL.....34/100				
RESOURCE EVALUATION CLASS.....SUPPORT				

EVALUATED BY: Valda Vidners and Don Luxton, Foundation Group Designs  
 DATE: November 1987

## References:

West Vancouver Archives

- Assessment Records - 1929, 1930
- Fire Insurance Maps - 1930
- West Van News - various articles
- West Van Council Minutes - 1929, multiple dates

British Columbia Vital Statistics

Interview with Dick Clegg, grandson and Dan Clegg, great grandson.

Fraser Valley Popkum History - Family Stories

<https://www.fvrd.ca/assets/About~the~FVRD/Documents/Popkum~History/Family%20Stories.pdf>

<https://www.theprogress.com/obituaries/john-leach-clegg/>

<https://www.legacy.com/obituaries/timescolonist/obituary.aspx?pid=157683250>

Canada Northwest Provinces Census 1906, 1911, 1916, 1926



A6: Vinson Creek Watershed – Map and Characteristics



Figure 86: Partial map of the Hollyburn Creeks including the Vinson Creek and the Clegg Property in red (Map by Stream Keeper Society)

<https://www.pskf.ca/ecology/watershed/westvan/2003/vinson02.html>

## Vinson Creek Watershed Summary



Area: 3.74 km<sup>2</sup>  
Length: 5.99 km  
Orientation: North-south  
Elevation Range: 0 - 963 m  
Watershed Code: 900-071700



### Characteristics:

- Eleventh largest watershed in West Vancouver
- Bordered by Lawson Creek watershed to the west and Brothers Creek and Swy-Wee Creek watershed to the east in West Vancouver, BC
- Originates on the side of Hollyburn Ridge
- Discharges into Burrard Inlet at the bottom of 13th Street
- Two branches; west branch originates just above British Properties and flows past Chartwell Elementary and the east side of West Vancouver Secondary, east branch originates near Upper Levels Highway and flows through Ridgeview Elementary school grounds and Chatwin Park. The confluence of the two branches is near Esquimalt Avenue near Hollyburn Elementary School
- Three diversions in main channel to Brothers Creek
  - At Millstream Road, diverting all watershed above 366 m (1200 ft) to Brothers Creek at Eyremount, (1968)
  - At Chartwell Drive, directing runoff above 275 m (900 ft) to West Brothers Creek (1972)
  - At Cammeray Road, diverting all flow above 230 m (750 ft) to West Brothers Creek (1967)
- Ninety percent of the watershed is below 366 m, fully developed
- Impervious area high

### History:

- Named for V. V. Vinson, reeve of West Vancouver in 1920
- Land at the mouth of the creek pre-empted in 1875 by J. C. Hughes, accountant at Moodyville
- Iron pipe installed in December 1913 from 13th and north of Esquimalt Avenue to a tap at Hollyburn School
- Several occurrences of flooding and washouts caused by blocked culverts in the 1960's and 1970's

### Watershed Use:

- Residential: watershed almost entirely urbanized, developed to 366 m
- Park: Chatwin Park, Ambleside Park
- Fish: cutthroat
- Wildlife: mammals and birds utilize the remaining riparian area and parks
- Train and automobile transportation, Trans Canada Trail, hydro lines

### Concerns:

- Classified as **Endangered** by Fisheries and Oceans Canada due to impermeable area greater than 10% and urban development significantly affecting stream bed
- Morphology:
  - Three diversions to Brothers Creek and 9 culverts (most classed as Steep) upstream of Upper Levels Highway
  - Long culvert under Upper Levels highway
  - At least twelve culverts downstream of the highway totalling about 1000 metres
  - Channelization of creek and loss of tributaries through urban area
  - Mouth of creek culverted, 110 metres long
  - Thought to have little fish habitat left by 1977
- Water Quality:
  - altered through proximity to urban development and storm drain discharge
  - potential for sewer line breakages

### Key Interest Groups:

- District of West Vancouver, District Parks Department
- Federal: Department of Fisheries and Oceans
- Provincial: Ministry of Transportation and Highways; Ministry of Water, Land and Air Protection
- West Vancouver Streamkeepers
- BC Rail, BC Hydro
- Mountain biking clubs
- Ambleside and Dunderave Ratepayers Association

### Recommendations for Further Actions:

- Considered to be low priority for enhancement by 1977 due to severe degradation and poor water quality

### Available Sources of Information:

- Maps: TRIM/UTM 92G034

### Web Sites:

- <http://www.pskf.ca/>  
Pacific Streamkeepers Federation
- <http://www.bcfisheries.gov.bc.ca/fishinv/fiss.html>  
Fisheries Information Summary System (FISS)
- <http://www.bcfisheries.gov.bc.ca/fishinv/index.html>  
includes FISS, Survey Data, Base Maps, Methods
- <http://www.heb.pac.dfo-mpo.gc.ca/English/maps.htm>  
Includes Fish Wizard, Fisheries Project Registry, SHIM Data with Orthophotos, Wild Threatened, Endangered and Lost Streams of the Lower Fraser Valley
- <http://www.shim.bc.ca>  
Sensitive Habitat Information and Mapping

### **Reports:**

1. Lower Fraser Valley Stream Review, Vol. 1. Fisheries and Oceans Canada. Fraser River Action Plan, 1999
2. Wild Threatened, Endangered and lost Streams of the Lower Fraser Valley, Summary Report. , Fisheries and Oceans Canada. Fraser River Action Plan, 1997
3. Creeks in West Vancouver. Hugh Johnston?, 1990
4. West Vancouver Drainage. Dayton and Knight, 1973
5. Task Force Inquiry into Drainage Policies and Problems. District of West Vancouver, 1977
6. History of West Vancouver. (A collection of newspaper clippings and miscellanea about the history of West Vancouver, in Memorial Library)

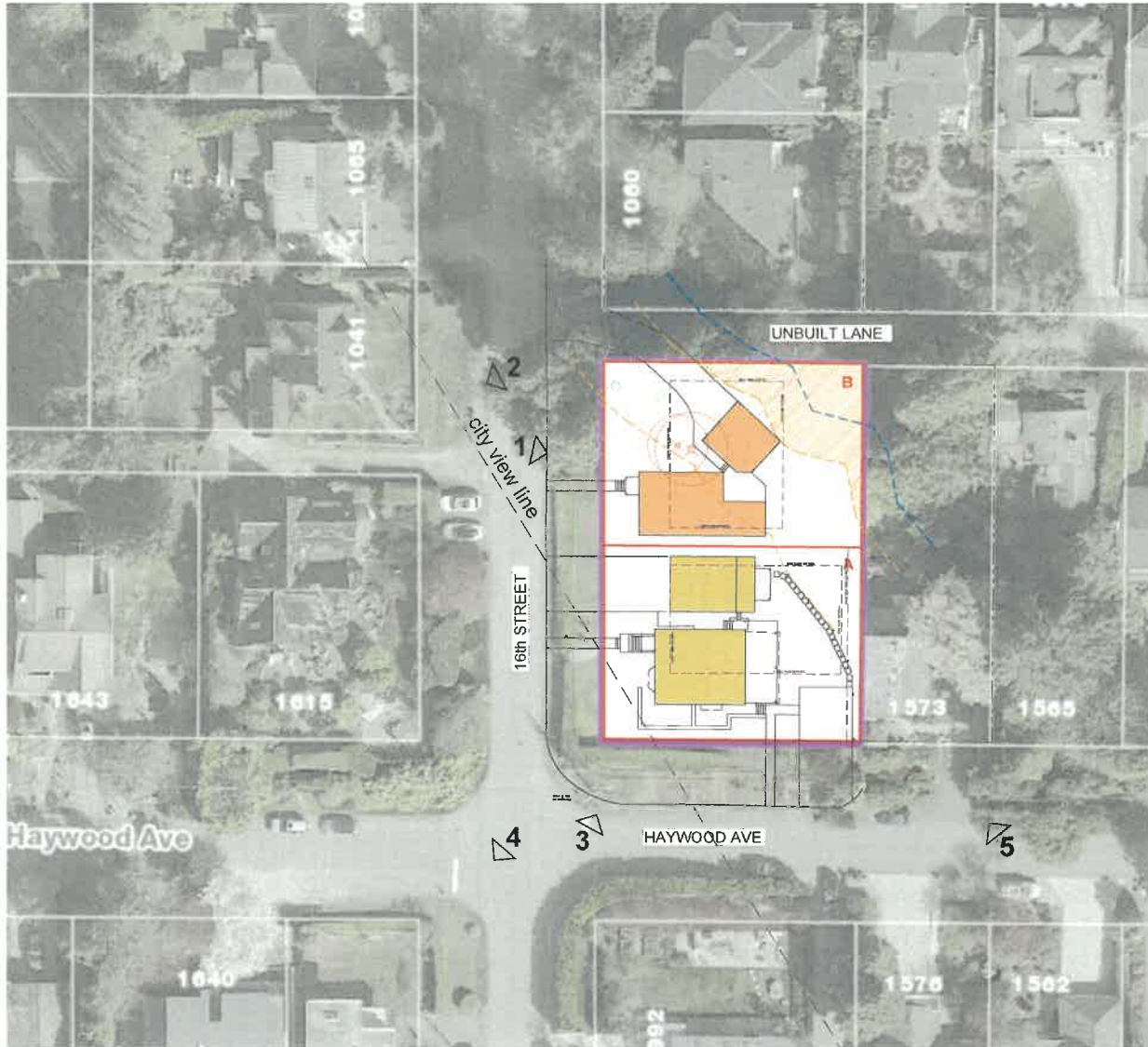
Prepared by Elizabeth Hardy, March 2003

[Watershed Profiles Home - Summary](#)

This page courtesy of [The Pacific Streamkeepers Federation](#)

### **End of Addendae**

# APPENDIX 'C' TO HRA BYLAW 5234



CONTEXT PLAN  
SCALE: 1" = 20'

1



2



3



4



5



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PROJECT  
CLEGG HOUSE

1581 HAYWOOD STREET  
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CONTEXT PLAN

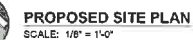
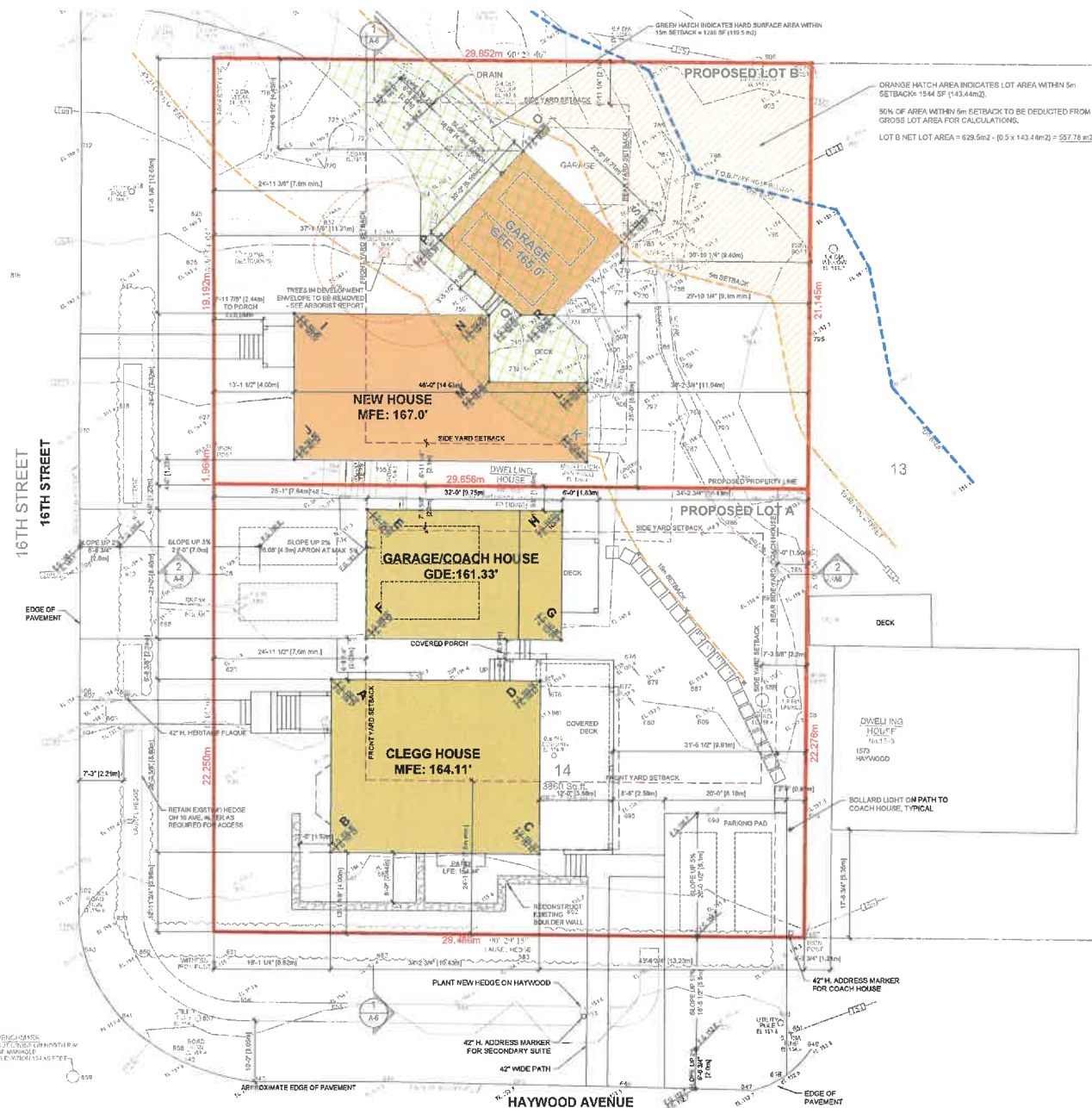
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A-1













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## PROPOSED SITE PLAN

DATE	2022.02.24	FILE NO.	
DWN.	DW		2120
CHK.	CH		

SEAL \_\_\_\_\_  
SHEET NO. \_\_\_\_\_

PROJECT DATA	ZONING REQUIREMENT	EXISTING/PROPOSED	VARIANCE
<b>FLOOR AREA CALCULATIONS (on outside face of wall)</b>			
Existing LOT		979 sf	90.95 m <sup>2</sup>
UPPER FLOOR		906 sf	92.71 m <sup>2</sup>
MAIN FLOOR		907 sf	80.83 m <sup>2</sup>
GARAGE		218 sf	20.28 m <sup>2</sup>
Total Gross Area		3192 sf	293.75 m <sup>2</sup>
Deduct			
BASEMENT *		241.76 sf	22.46 m <sup>2</sup>
GARAGE ALLOWANCE		218 sf	20.28 m <sup>2</sup>
Total for FAR	max 41.00 m <sup>2</sup>	2792.25 sf	251.04 m <sup>2</sup>
<b>LOT A (Clegg House)</b>			
UPPER FLOOR		979 sf	90.95 m <sup>2</sup>
MAIN FLOOR		906 sf	92.71 m <sup>2</sup>
LOWER FLOOR (GARDEN SUITE)		907 sf	80.83 m <sup>2</sup>
GARAGE		525 sf	48.77 m <sup>2</sup>
CARRIAGE HOUSE (MAIN)		147 sf	13.66 m <sup>2</sup>
CARRIAGE HOUSE (UPPER)		872 sf	82.43 m <sup>2</sup>
Total Gross Area		4289 sf	398.36 m <sup>2</sup>
Deduct			
BASEMENT *		290.1 sf	26.96 m <sup>2</sup>
GARAGE ALLOWANCE	max 41.00 m <sup>2</sup>	441.32 sf	41.00 m <sup>2</sup>
Total for FAR		3558.59 sf	330.41 m <sup>2</sup>
<b>LOT B</b>			
UPPER FLOOR		913 sf	84.82 m <sup>2</sup>
MAIN FLOOR		883 sf	81.32 m <sup>2</sup>
LOWER FLOOR		976 sf	90.87 m <sup>2</sup>
GARAGE		432 sf	40.13 m <sup>2</sup>
Total Gross Area		3304 sf	306.94 m <sup>2</sup>
Deduct			
BASEMENT *		263.52 sf	24.48 m <sup>2</sup>
GARAGE ALLOWANCE	max 41.00 m <sup>2</sup>	432 sf	40.13 m <sup>2</sup>
Total for FAR		2608.48 sf	242.33 m <sup>2</sup>
<b>FLOOR AREA RATIO</b>			
EXISTING LOT	293 m <sup>2</sup>		251.04 m <sup>2</sup>
LOT A - CLEGG HOUSE	204.4 m <sup>2</sup>		330.41 m <sup>2</sup>
	204.4 m <sup>2</sup>		242.33 m <sup>2</sup>
			126.01 m <sup>2</sup>
			37.69 m <sup>2</sup>
<b>SITE COVERAGE</b>			
EXISTING LOT	30% x 1287.7 m <sup>2</sup> = 386.31 m <sup>2</sup>		130.76 m <sup>2</sup>
LOT A - CLEGG HOUSE	40% x 868.2 m <sup>2</sup> = 283.28 m <sup>2</sup>		201.30 m <sup>2</sup>
LOT B - NEW HOUSE	40% x 657.6 m <sup>2</sup> = 223.12 m <sup>2</sup>		150.74 m <sup>2</sup>
<b>FRONT YARD IMPEINABLE SURFACE</b>			
EXISTING LOT	50% x 499.01 m <sup>2</sup> = 249.5 m <sup>2</sup>		30.94 m <sup>2</sup>
LOT A - CLEGG HOUSE	50% x 227.1 m <sup>2</sup> = 113.56 m <sup>2</sup>		81.28 m <sup>2</sup>
LOT B - NEW HOUSE	50% x 84.58 m <sup>2</sup> = 42.30 m <sup>2</sup>		6.17 m <sup>2</sup>
<b>BUILDING HEIGHT</b>			
EXISTING LOT	MAX 7.62 m		7.62 m
LOT A - CLEGG HOUSE	MAX 7.62 m		7.56 m
LOT A - GARAGE/COACH HOUSE	MAX 8.40 m		5.59 m
LOT B - NEW HOUSE	MAX 7.62 m		6.33 m
			0.71 m
<b>NUMBER OF STOREYS</b>			
EXISTING LOT	MAX 2 STOREY + BSMT	2 STOREY + BSMT	
LOT A - CLEGG HOUSE	MAX 2 STOREY + BSMT	2 STOREY + BSMT	
LOT B - NEW HOUSE	MAX 2 STOREY + BSMT	2 STOREY + BSMT	
<b>HIGHEST BUILDING FACE ENVELOPE</b>			
EXISTING LOT	MAX 6.72 m	below	6.72 m
LOT A - CLEGG HOUSE	MAX 6.72 m	below	6.72 m
LOT A - GARAGE/COACH HOUSE	MAX 6.72 m	below	6.72 m
LOT B - NEW HOUSE	MAX 6.72 m	above	6.72 m
			50% OF EAST FAÇADE

PROJECT DATA - LOT A COACH HOUSE		ZONING REQUIREMENT		EXISTING/PROPOSED		VARIANCE	
NUMBER OF DETACHED SECONDARY SUITS							
LOT A - COACH HOUSE	max.	1 per lot		1 SUITE			
FLOOR AREA							
LOT A - COACH HOUSE	max.	111.5 m <sup>2</sup> (10% of site area)		816 sq'	73.09 m <sup>2</sup>		
GROSS AREA CALCULATIONS (to include lot of wall)							
LOT A - COACH HOUSE							
GARAGE	max	20.5 m <sup>2</sup>		525 sq'	48.77 m <sup>2</sup>		28.27 m <sup>2</sup>
CARRIAGE HOUSE (MAIN)	max			147 sq'	13.66 m <sup>2</sup>		
CARRIAGE HOUSE (UPPER)	max			672 sq'	62.45 m <sup>2</sup>		
Total Gross Area	max	148.6 m <sup>2</sup>		1344 sq'	124.88 m <sup>2</sup>		
NUMBER OF STOREYS							
LOT A - COACH HOUSE							
MAIN FLOOR	max	2 STOREY + BSMT		2 STOREY			
UPPER FLOOR	min	20.5 m <sup>2</sup> for habitable space of the suite			17.86 %		12.06 %
	max	50% of the main floor area		525 sq'	48.77 m <sup>2</sup>		28.27 m <sup>2</sup>
					100.00 %		40.00 %
REARLING HEIGHT							
LOT A - COACH HOUSE	max	8.40 m			5.96 m		
SETBACKS							
Coach House - Lot A							
Rear Yard	min	1.52 m (10% of width to a max. of 3.0 m)			10.67 m		
Front Dwelling	min	4.8 m			2.03 m		2.67 m
DIMENSIONS							
corner - width on one facade							
max		50% x 32'-0" facade = 16'-0" length			15'-10"		
corner - total facade percentage	max	30% x 106'-0" facade = 31'-10" length			2x 15'-10" = 31'-8"		

**LOT A - CLEGG HOUSE**

**LOT A - COACH HOUSE**

**LOT B HOUSE + GARAGE**

REF.	FLV.	REP.	FLV.	DIST. (D)	A/VG.	(D) x
POINT	POINT	POINT	(FEET)		FEET	
J	161.90	J	161.34	24.00	162.12	3690.00
J	161.34	K	160.00	48.00	160.87	7712.16
K	160.00	L	160.00	13.00	160.00	2080.00
L	160.00	M	154.50	16.00	154.75	2476.00
M	154.50	N	162.00	11.00	155.85	1734.30
N	162.00	J	162.90	20.00	162.55	3251.00
O	164.00	P	164.00	32.00	164.19	5229.28
P	164.00	Q	136.00	17.00	162.10	2607.20
Q	136.00	R	156.00	6.57	160.00	1057.00
R	156.00	S	156.00	18.22	156.25	2862.50
S	156.00	T	164.00	22.00	161.65	3556.30
TOTAL			226.79		3645.19	

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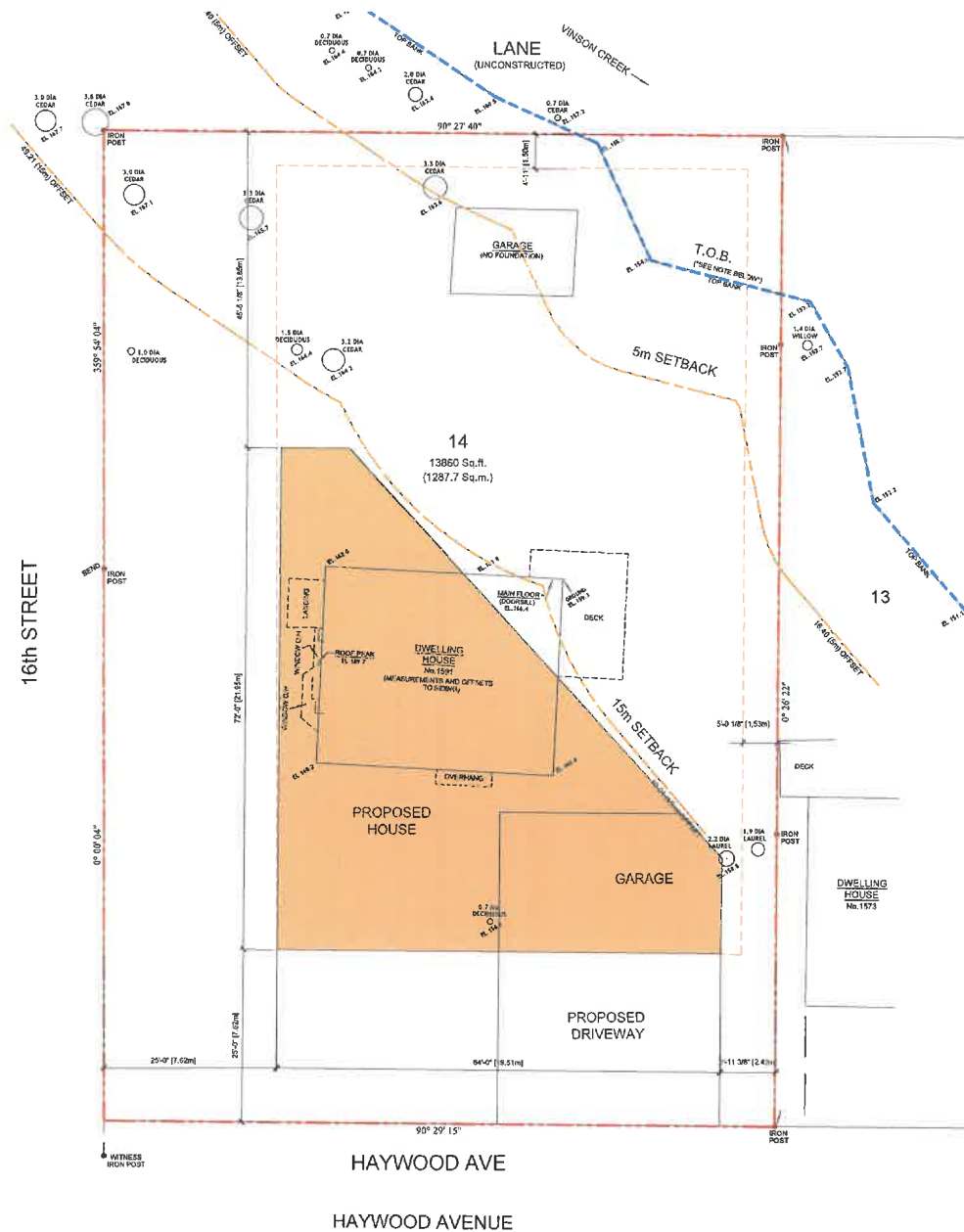
## SITE CALCULATIONS

DATE	2022.02.24	FILE NO.	
DWN.	DW		
CHK	CM		2120

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SHEET NO.

Block 14 of 17: 48.1.2024

Block 14 of 17: 48.1.2024



#### UNENCUMBERED PROPERTY YIELD ANALYSIS

Civic Address  
1591 Haywood Ave, West Vancouver, BC

Legal Description  
LOT 14 BLOCK 1 NORTH 1/2 OF DISTRICT LOT 1055 PLAN 4180

Survey By  
Hobbs Winter & McDonald BC Land Surveyors

Zone R85

Site Area		1287.7 m <sup>2</sup>
Site Area	Zoning Requirements	Existing
	min 488 m <sup>2</sup>	1287.7 m <sup>2</sup>
Site Width	min 13.3 m	28.46 m
Max Site Depth	4.5x site width	43.422 meters
Floor Area Ratio	Zoning Requirements	Proposed
	max 203 m <sup>2</sup>	250 m <sup>2</sup>
Site Coverage	max 30% x 1287.7m <sup>2</sup> = 386.31m <sup>2</sup>	21.90%
	30% of lot >885 m <sup>2</sup>	
Setbacks		
Front Yard (south)	min 7.60 m	7.62 m
Rear Yard (north)	min 1.52 m	13.05 m
Side Yard (East)	min 1.52 m	2.42 m
Side Yard (West)	min 7.60 m	7.62 m
Height in Storeys	2 storeys	2 storeys

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UNENCUMBERED  
PROPERTY  
YIELD ANALYSIS

DATE 2023.02.24 FILE NO.  
DWN: 2120  
CHK: CH

SCALE: 1/8" = 1'-0"  
SHEET NO.

A-5



UNENCUMBERED PROPERTY YIELD ANALYSIS  
SCALE: 1/8" = 1'-0"



SEAL  
SHEET NO.





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## RENDERING 1

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## RENDERING 2

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**RENDERING 3**

DATE: 2021.02.04 FILE NO:  
DW: 2120  
CHK: CH

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SHEET NO.

**A-9**

## LOT A

### Roofing:

Clegg House :  
'PABCO - Premier - Weathered Wood'



Coach House :  
'PABCO - Premier - Weathered Wood'



### Siding:

Clegg House - Wood Siding :  
'Sherwin Williams - Point Grey - SW 7074'



Coach House - Cement Board Siding :  
'Benjamin Moore - Nightingale - AF - 670'



### Trim:

Clegg House & Coach House :  
'Benjamin Moore - Sonnet - AF - 55'



### Doors:

Clegg House :  
'Benjamin Moore - Hearthstone Brown - 2109 - 20'



Coach House :  
'Benhamin Moore - Sonnet - AF - 55'



### Front Porch:

Clegg House :  
'Pressure Treated Wood'



### Deck:

Clegg House & Coach House :  
'Duradek 60 mil Vinyl Membrane'



### Railings:

Clegg House - at Porch :  
'Benjamin Moore - Sonnet - AF - 55'



Clegg House - at Deck & Coach House :  
'Black'



### Window Frames:

Clegg House :  
'Black'



Coach House :  
'White'



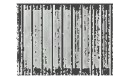
## LOT B

### Roofing:

Lot B House & Lot B Garage :  
'PABCO - Premier - Pewter Gray'



Lot B House - at Porch :  
'Galvanized Metal Roof'

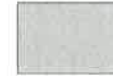


### Cement Board Siding:

Lot B House :  
'Benjamin Moore - Winter White - 2140 - 70'



Lot B Garage :  
'Benjamin Moore - Nightingale - AF - 670'



### Trim:

Lot B House & Lot B Garage :  
'Benjamin Moore - Winter White - 2140 - 70'



### Doors:

Lot B House & Lot B Garage :  
'Benjamin Moore - Amherst Gray - HC - 167'



### Front Porch:

Lot B House :  
'Pressure Treated Wood'



### Deck:

Lot B House :  
'Duradek 60 mil Vinyl Membrane'



### Porch/Deck Trim:

Lot B House :  
'Benjamin Moore - Nightingale - AF - 670'



### Railings:

Lot B House :  
'Black'



### Window Frames:

Lot B House :  
'Black'



Lot B Garage :  
'White'





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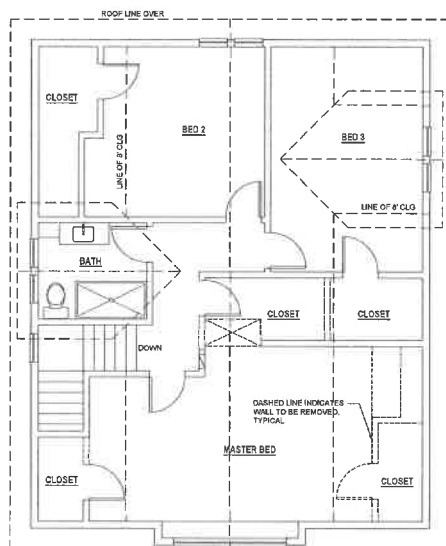
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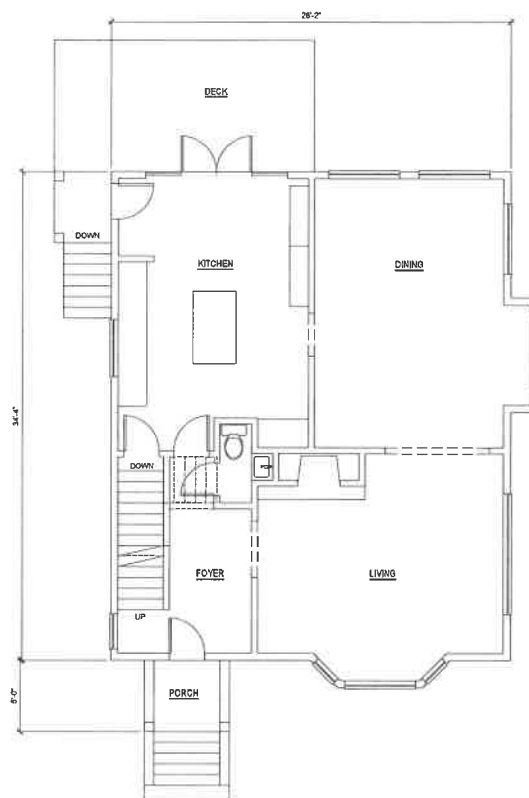
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DWN.	DW	2120
CHK.	CH	

SEAL  
SHEET NO.





**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FLOOR AREA: 979 SF



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FLOOR AREA: 998 SF



 **LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FLOOR AREA: 967 SF

	2023-04-13 PLANNING REVISIONS
	2023-05-02 PLANNING REVISIONS
	2023-10-20 PLANNING REVISIONS
	2022-07-15 PLANNING REVISIONS
	2022-08-09 PLANNING REVISIONS
	2022-04-24 HRA REVISIONS
	2022-03-18 ISSUED FOR HRA REVIEW
REVISIONS	
CONSULTANT	

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THE DeCOSTA FAMILY

**OBJECT**

**CLEGG HOUSE**

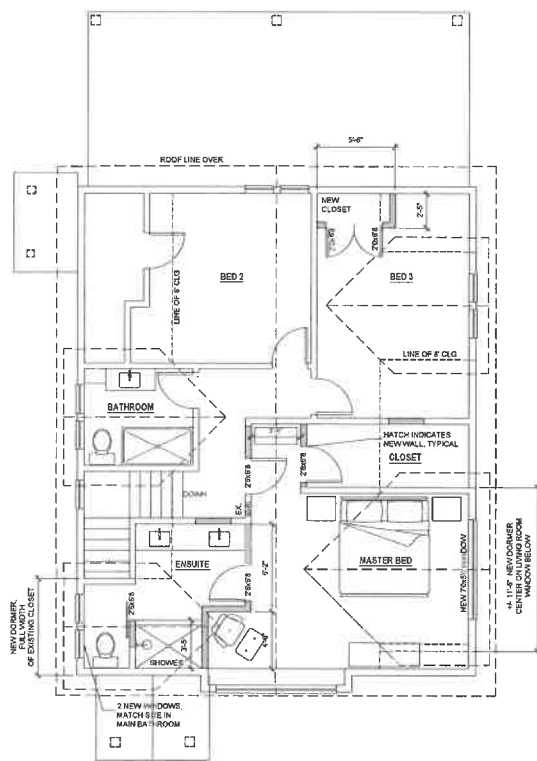
1591 HAYWOOD STREET  
WEST VANCOUVER, BC  
DRAWING TITLE

DRAWING TITLE

**CLEGG HOUSE  
EXISTING  
FLOOR PLANS**

DATE	2022.02.24	FILE NO.	
DWN.	dw		2120
CHK.	CH		

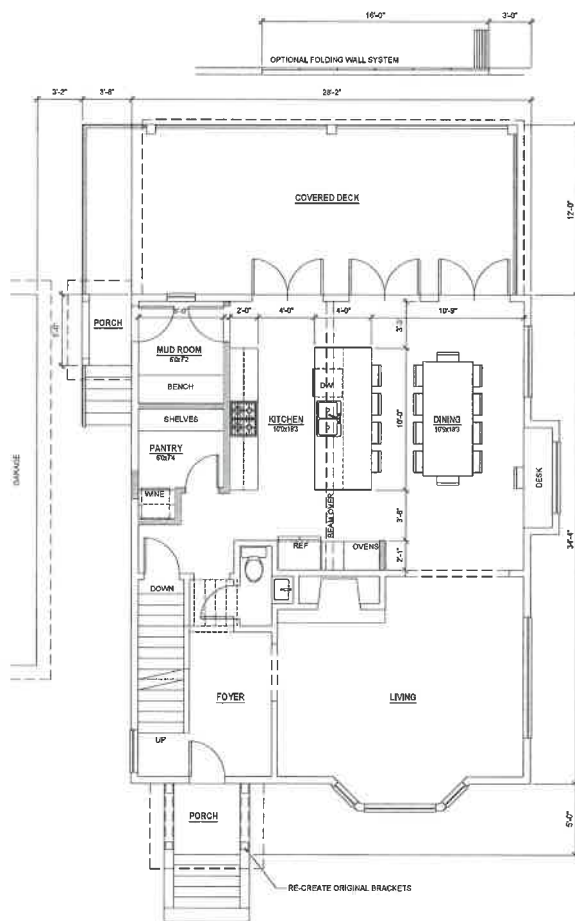
SEAL  
SHEET NO.



### UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

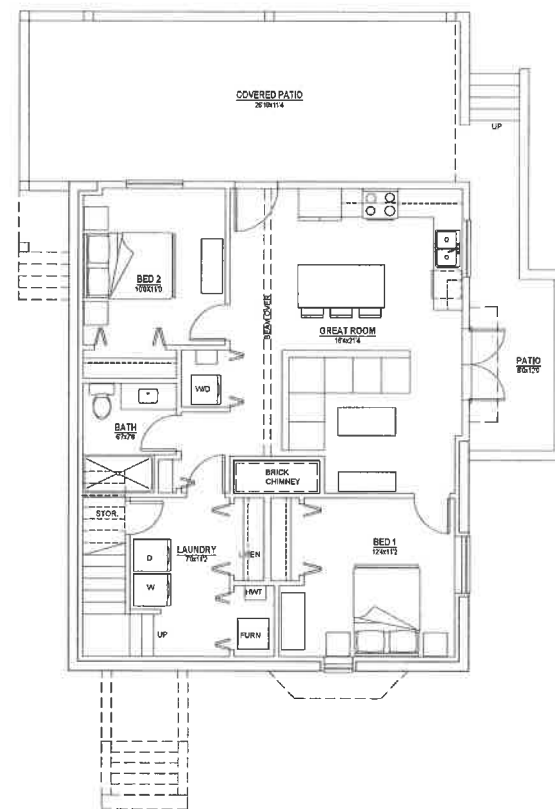
FLOOR AREA: 979SF



### MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA: 998SF



### LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA: 967SF

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- |   |                                     |
|---|-------------------------------------|
|  | 2023-04-13 PLANNING REVISIONS       |
|  | 2023-05-02 PLANNING REVISIONS       |
|  | 2022-10-20 PLANNING REVISIONS       |
|  | 2022-07-12 PLANNING REVISIONS       |
|  | 2022-06-09 PLANNING REVISIONS       |
|  | 2022-04-28 HRA REVISIONS            |
|   | 2022.03.10<br>ISSUED FOR HRA REVIEW |

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THE DeCOSTA FAMILY

PROJECT

**CLEGG HOUSE**

1691 HAYWOOD STREET  
WEST VANCOUVER, BC

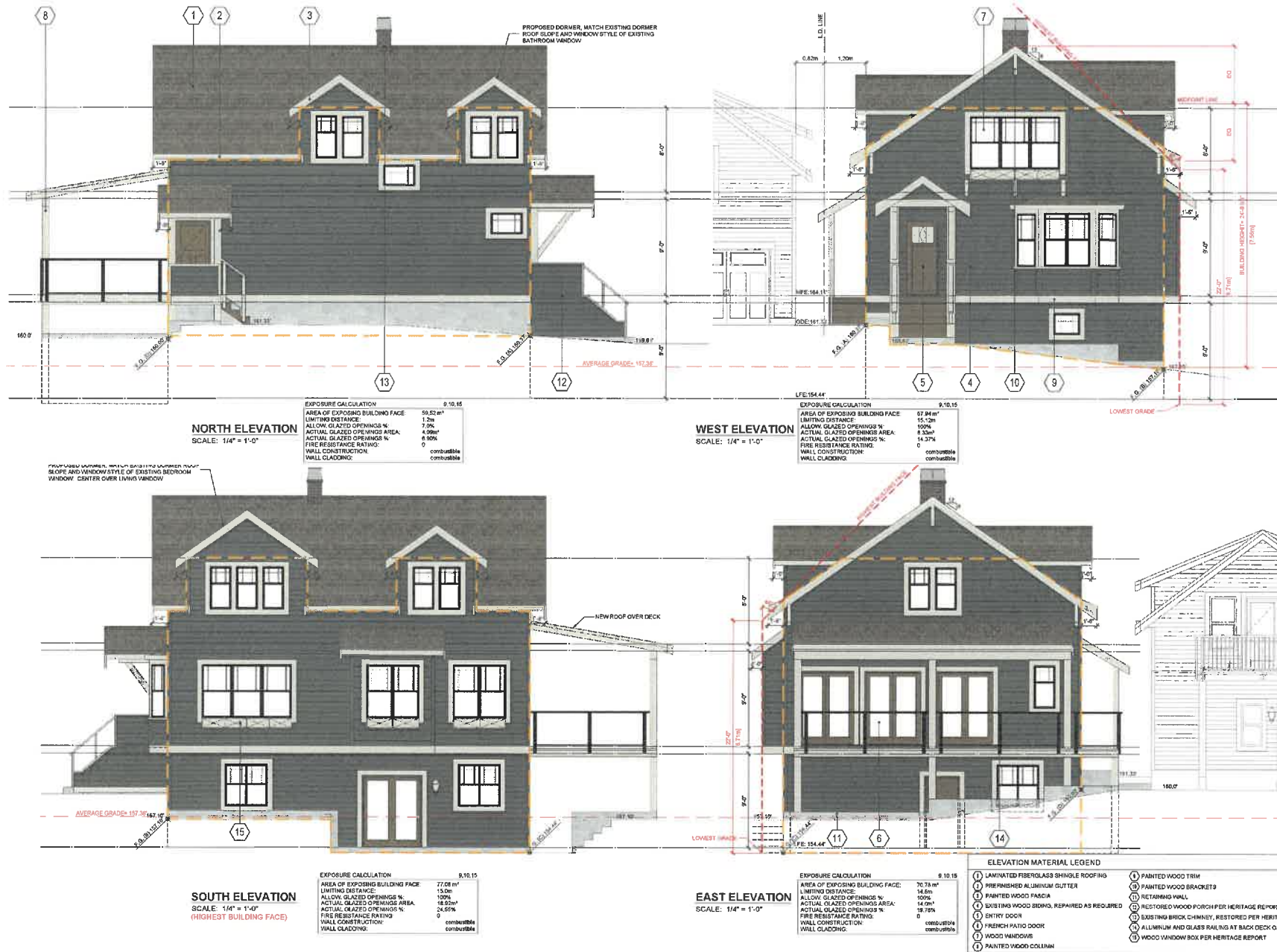
DRAWING TITLE

## CLEGG HOUSE PROPOSED FLOOR PLANS

DATE	2022.02.24	FILE NO.
DIAN	dw	2120
GHK	CH	

SEAL  
SHEET NO.





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2022-04-13 PLANNING REVISIONS
2022-04-03 PLANNING REVISIONS
2022-10-29 PLANNING REVISIONS
2022-07-13 PLANNING REVISIONS
2022-06-08 PLANNING REVISIONS
2022-04-28 HRA REVISIONS
2022-03-10 REVISED FOR HRA REVIEW
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CONSULTANT

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 THE DE COSTA FAMILY

PROJECT  
**CLEGG HOUSE**

1531 HA'WYD STREET  
 WEST VANCOUVER, BC

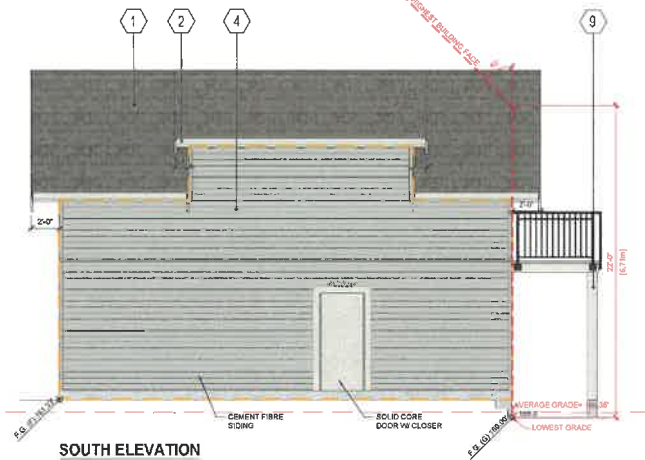
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**CLEGG HOUSE  
 PROPOSED  
 ELEVATIONS**

DATE: 2022-02-24 FILE NO.  
 DWG. CH 2120  
 CHK. CH

SEAL  
 SHEET NO.

**A-15**





**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

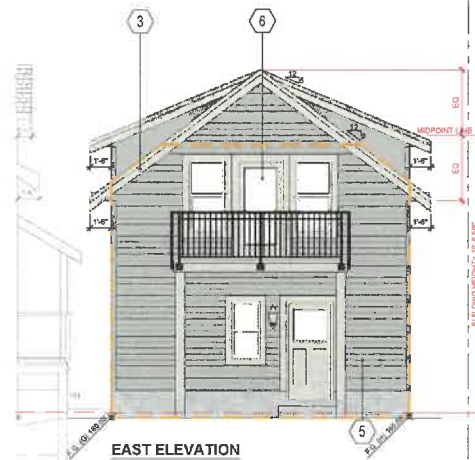
EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	47.38 m <sup>2</sup>
LIMITING DISTANCE:	0.82m
ALLOW. GLAZED OPENINGS %:	0%
ACTUAL GLAZED OPENINGS AREA:	0m <sup>2</sup>
ACTUAL GLAZED OPENINGS %:	0%
FIRE RESISTANCE RATING:	45 minutes
WALL CONSTRUCTION:	combustible
WALL CLADDING:	non-combustible



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	48.78 m <sup>2</sup>
LIMITING DISTANCE:	1.2m
ALLOW. GLAZED OPENINGS %:	7.2%
ACTUAL GLAZED OPENINGS AREA:	3.50m <sup>2</sup>
ACTUAL GLAZED OPENINGS %:	2.97%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible

ELEVATION MATERIAL LEGEND			
① LAMINATED FIBERGLASS SHINGLE ROOFING	⑤ VINYL WINDOW	⑩ VINYL DIVING PATIO DOOR	
② PREFINISHED ALUMINUM GUTTER	⑥ OVERHEAD GARAGE DOOR	⑪ PAINTED WOOD COLUMN	
③ PAINTED WOOD FASCIA	⑦ PAINTED WOOD TRIM	⑫ METAL RAILING	
④ CEMENT BOARD HORIZONTAL SIDING			
⑧ ENTRY DOOR			



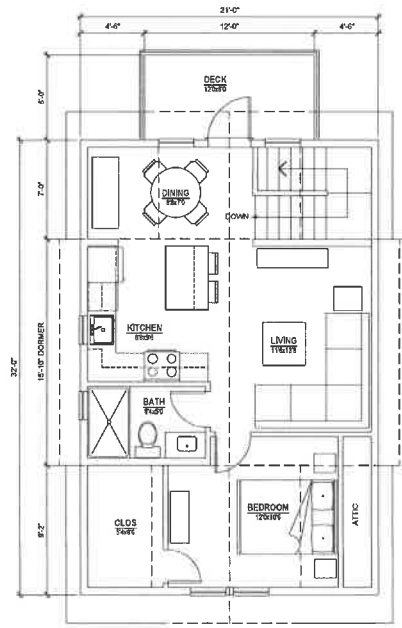
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	38.74 m <sup>2</sup>
LIMITING DISTANCE:	1.2m
ALLOW. GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	4.77m <sup>2</sup>
ACTUAL GLAZED OPENINGS %:	12.58%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



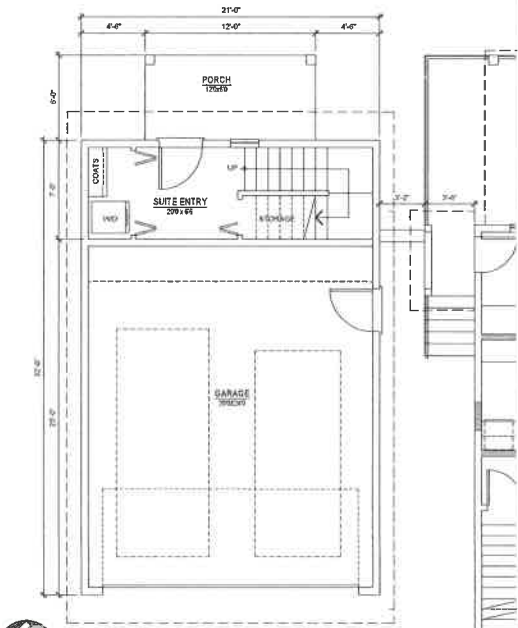
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	34.27 m <sup>2</sup>
LIMITING DISTANCE:	1.2m
ALLOW. GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	3.82m <sup>2</sup>
ACTUAL GLAZED OPENINGS %:	11.14%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

FLOOR AREA: 872 SF



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

FLOOR AREA: 572 SF  
GARAGE: 525 SF  
CARRIAGE HOUSE: 147 SF



2023-04-13 PLANNING REVISIONS
2023-04-02 PLANNING REVISIONS
2023-03-21 PLANNING REVISIONS
2023-07-13 PLANNING REVISIONS
2023-04-09 PLANNING REVISIONS
2022-04-26 HVA REVISIONS
2022-01-19 REVISED FOR HVA REVIEW
REVISIONS
CONSULTANT

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PROJECT  
**CLEGG HOUSE**

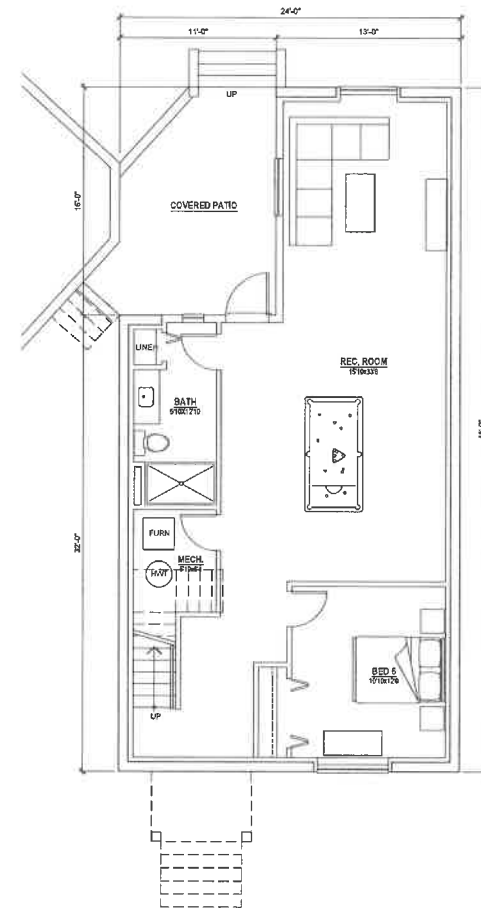
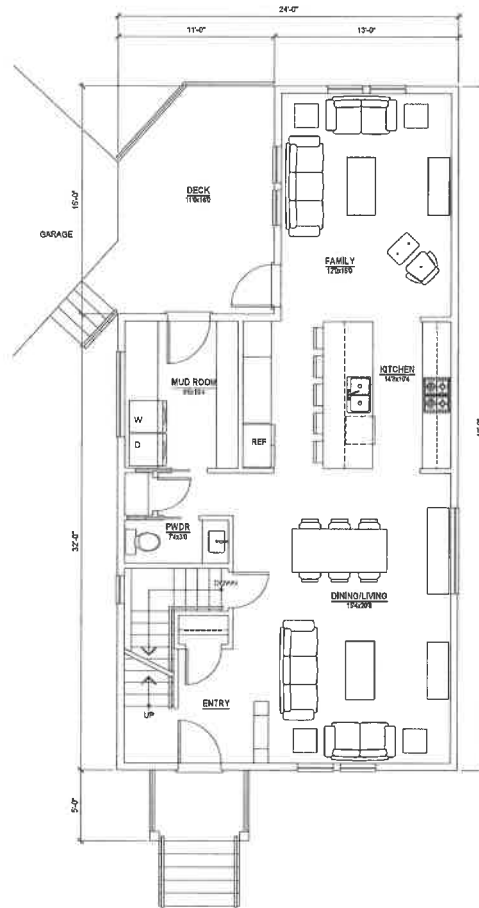
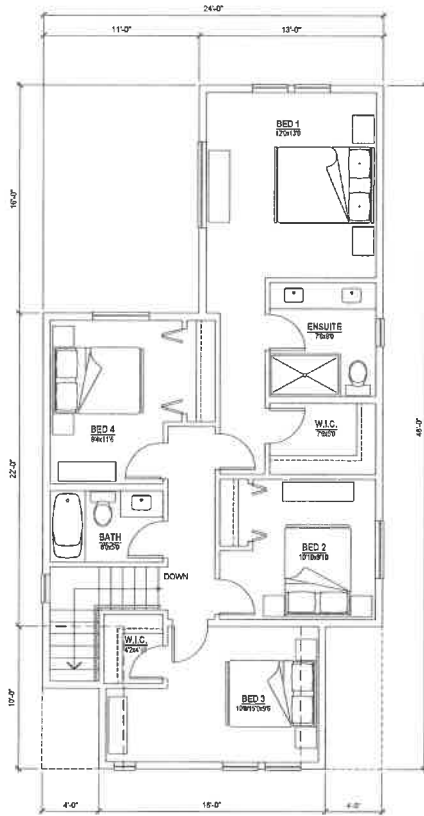
1881 HAYWOOD STREET  
WEST VANCOUVER, BC

DRAWING TITLE  
**CLEGG HOUSE  
GARAGE  
FLOOR PLANS  
AND ELEVATIONS**

DATE: 2022.02.24 FILE NO.  
DW: **2120**  
CH: CH

SEAL  
SHEET NO.





**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
FLOOR AREA: 978 SF

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2022-07-13	PLANNING REVISIONS
2022-09-09	PLANNING REVISIONS
2022-04-28	HVA REVISIONS
2022-05-18	NOTED FOR HVA REVIEW
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PROJECT  
**CLEGG HOUSE**

1081 HAYWOOD STREET  
WEST MINNEAPOLIS, MN

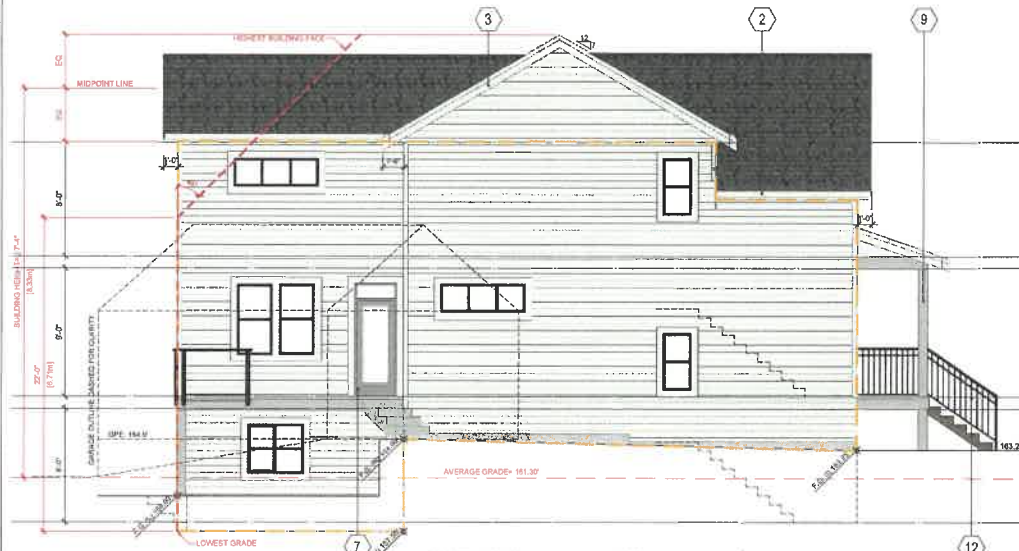
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**LOT B  
HOUSE  
FLOOR PLANS**

DATE: 2022.02.24 FILE NO:  
DW: 2120  
CH:

SEAL  
SHEET NO.

**A-17**



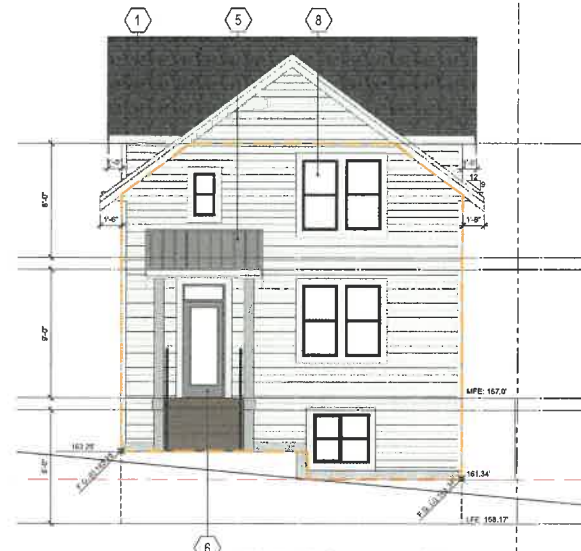
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	99.95m²
LIMITING DISTANCE:	12.80m
ALLOW GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	9.99m²
ACTUAL GLAZED OPENINGS %:	9.99%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	105.93m²
LIMITING DISTANCE:	1.2m
ALLOW GLAZED OPENINGS %:	7.00%
ACTUAL GLAZED OPENINGS AREA:	7.42m²
ACTUAL GLAZED OPENINGS %:	7.00%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	48.44m²
LIMITING DISTANCE:	15.00m
ALLOW GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	4.84m²
ACTUAL GLAZED OPENINGS %:	15.72%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"  
(HIGHEST BUILDING FACE)

EXPOSURE CALCULATION	
AREA OF EXPOSING BUILDING FACE:	67.62m²
LIMITING DISTANCE:	11.00m
ALLOW GLAZED OPENINGS %:	58.78%
ACTUAL GLAZED OPENINGS AREA:	39.54m²
ACTUAL GLAZED OPENINGS %:	17.83%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible

BCBC 9.10.15.4.6  
BCBC 9.10.15.5.4

**ELEVATION MATERIAL LEGEND**

- |                                  |                               |
|----------------------------------|-------------------------------|
| 1 COMPOSITE ASPHALT SHINGLES     | 11 VINYL SWING PATIO DOOR     |
| 2 PREFINISHED ALUMINUM GUTTER    | 12 VINYL WINDOW               |
| 3 PAINTED WOOD FASCIA            | 13 PAINTED WOOD COLUMN        |
| 4 CEMENT BOARD HORIZONTAL SIDING | 14 PAINTED WOOD TRIM          |
| 5 GALVANIZED METAL ROOFING       | 15 ALUMINUM AND GLASS RAILING |
| 6 ENTRY DOOR                     | 16 METAL RAILING              |

2023-04-13 PLANNING REVISIONS
2023-03-02 PLANNING REVISIONS
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2023-07-15 PLANNING REVISIONS
2023-08-09 PLANNING REVISIONS
2023-04-26 HRA REVISIONS
2023-07-19 BRIEFED FOR HRA REVIEW
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PROJECT  
**CLEGG HOUSE**

1591 HAYWOOD STREET  
WEST VANCOUVER, BC

DRAWING TITLE

**LOT B  
HOUSE  
ELEVATIONS**

DATE: 2022.02.24  
DRAWN BY: CH  
CHECKED BY: CH

FILE NO.  
**2120**







SEAL  
SHEET NO.



ELEVATION MATERIAL LEGEND	
① LAMINATED FIBERGLASS SHINGLE ROOFING	⑤ ENTRY DOOR
② PREFINISHED ALUMINUM GUTTER	⑥ VINYL WINDOW
③ PAINTED WOOD FASCIA	⑦ OVERHEAD GARAGE DOOR
④ CEMENT BOARD HORIZONTAL SIDING	⑧ PAINTED WOOD TRIM



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	2023-10-29 PLANNING REVISION
	2023-07-19 PLANNING REVISION
	2022-04-08 PLANNING REVISION
	2022-04-26 HRA REVISIONS
	2022-03-10 SUBMITTED FOR HRA REVIEW
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CONSULTANT	

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THE DeCOSTA FAMILY

PROJECT  
CLEGG HOUSE

1591 HAYWOOD STREET  
WEST VANCOUVER, BC  
DRAWING TITLE

**LOT B  
GARAGE PLANS  
& ELEVATIONS**

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHE	CH	

SEAL	
SHEET NO.	



**APPENDIX 'D'**  
**TO HRA BYLAW 5234**

