



DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	September 8, 2023
From:	Erika Syvokas, Community Planner
Subject:	Proposed Heritage Revitalization Agreement, Heritage Designation and Development Permit for 1591 Haywood Avenue
File:	1010-20-22-074; 1610-20-5234 and 5235

RECOMMENDATION

THAT 1591 Haywood Avenue (Clegg House) be added to the West Vancouver Community Heritage Register, pursuant to section 598 of the *Local Government Act*.

RECOMMENDATION

THAT Proposed “Heritage Designation Bylaw No. 5235, 2023” be read a first time.

RECOMMENDATION

THAT Proposed “Heritage Revitalization Agreement Bylaw No. 5234, 2023” be read a first time.

RECOMMENDATION

THAT Proposed “Heritage Designation Bylaw No. 5235, 2023” and proposed “Heritage Revitalization Agreement Bylaw No. 5234, 2023” be presented at a public hearing scheduled for October 23, 2023, at 7:00 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software), and that notice be given of the scheduled public hearing.

RECOMMENDATION

THAT Proposed Development Permit No. 22-074 be presented at a public meeting scheduled for October 23, 2023, at 7:00 p.m. in the Municipal Hall Council Chamber, to be held concurrently with the public hearing scheduled for October 23, 2023, at 7:00 p.m., and that notice be given of the scheduled public meeting.

1.0 Purpose

To present to Council a proposed Heritage Revitalization Agreement (HRA) for 1591 Haywood Avenue along with required implementing bylaws (**Appendix ‘C’** and **‘D’**), and a coach house development permit and an environmental development permit (**Appendix ‘E’**).

As an incentive for permanent legal protection (heritage designation) of the Clegg House, the proposed HRA would enable the property owners to:

- subdivide the property into two lots;
- retain and relocate the Clegg House as a municipally designated heritage building, add a stratified garden suite in the basement of the Clegg House, and add a garage/rental coach house on the southern lot (Lot A); and
- build a new single-family dwelling and garage on the northern lot (Lot B).

A coach house development permit and a watercourse development permit are required in compliance with area requirements under the Official Community Plan (OCP).

2.0 Executive Summary

The property owners have applied for a Heritage Revitalization Agreement (HRA) for 1591 Haywood Avenue. The intent of the proposal is to add the Clegg House to the Community Heritage Register and then through the HRA and Heritage Designation, legally protect it in exchange for subdivision of the property and additional development rights.

The Clegg House is valued for its late Craftsman style, its contribution to the development of its immediate neighbourhood, and its association with the Clegg family.

The HRA would enable subdivision of the site and the development of 4 dwelling units; the relocation and retention of the heritage house, a stratified garden suite in the basement of the Clegg House and a garage/coach house on the southern lot (Lot A), and an infill dwelling on the northern lot (Lot B). The HRA would provide for Zoning Bylaw variances and a Floor Area Ratio (FAR) of 0.50 on Lot A (based on net lot area) and 0.43 on Lot B.

Redevelopment of the site is guided by the OCP which supports incentives to retain and protect heritage resources. The Clegg House is currently nominated to be listed on the West Vancouver Community Heritage Register. It is proposed to add the Clegg House to the Community Heritage Register which would provide eligibility for municipal heritage conservation tools and incentives enabled under Part 15 of the *Local Government Act*.

The property is also subject to a development permit under OCP Policy BF-B 3.1 for a coach house and a development permit under OCP Policy NE 13 for watercourse protection.

The Heritage Advisory Committee (HAC) considered the proposal at its meeting on July 27, 2022, and recommended support of the application.

The proposed HRA and development permit would put in place development controls to allow for the development of a new dwelling, garage/coach house and accessory building which preserves neighbourhood character, addresses the watercourse, and does not detract from the historical significance of the Clegg House.

The property owners have requested a tax exemption for a period of 20 years as an incentive for retention of the Clegg House. The proposed draft tax exemption bylaw is attached to this report for information.

Should Council support the recommendations outlined in this report, the bylaws would receive first reading and a public hearing and concurrent public meeting would be scheduled for October 23, 2023. Prior to the public hearing, the applicant would be required to host a Development Application Information Meeting to allow neighbours an opportunity to learn about the proposal and ask questions of the property owners prior to the public hearing.

3.0 Legislation/Bylaw/Policy

Legislation

Municipal conservation tools and incentives regarding heritage conservation are enabled under Part 15 of the *Local Government Act*. Continuing protection tools are described in Division 5 of Part 15, under sections 610 through 616, and include heritage revitalization agreements, heritage designation, and heritage site maintenance standards.

Section 225 of the *Community Charter* enables a municipal Council, by bylaw, to exempt eligible heritage property from municipal property tax.

Zoning Bylaw

The site is zoned RS5 (Single Family Dwelling Zone 5).

4.0 Council Strategic Objective(s)/Official Community Plan

Council's Strategic Objectives 2021-2022

The proposal responds to Council's 2021-2022 Strategic Objective 1.0 which aims to expand the diversity and supply of housing, including housing that is more affordable by providing an infill dwelling on the north lot, a stratified garden suite in the Clegg House, and a rental coach house.

Official Community Plan

Consideration of this development application is guided by Official Community Plan (OCP) policies related to heritage conservation, the form and character of coach houses, and development next to watercourses:

- The OCP identifies a number of "key actions" to address the needs of the present and future generations within the community. Specifically, with respect to heritage, the OCP aims to "respect our neighbourhood character and encourage long-term protection of valued heritage properties with stronger incentives".

Policy 2.1.9 intends to protect buildings, structures and landscapes on the District's Heritage Register by utilizing the following planning tools:

- a. Allowing the conversion of single-family homes into multi-family use (e.g., duplex, triplex);
- b. Allowing fee-simple subdivisions or infill options (such as cottages or coach houses) on the same lot;
- c. Varying siting to protect valued trees and landscapes;
- d. Encouraging protection through bonus density and considering density transfer;
- e. Considering financial incentives (e.g., the reduction of development fees or charges, tax incentives);
- f. Reducing off-street parking requirements;
- g. Securing protection through Heritage Designation Bylaws;
- h. Supporting restoration through Heritage Revitalization Agreements; and
- i. Expediting the review process for the retention of heritage properties.

The proposal utilizes several of the above-mentioned incentives in order to provide long-term protection for the Clegg House.

- OCP Policy BF-B 3.1 is to "ensure that coach houses (detached secondary suites) meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form character of the local neighbourhood".
- OCP Policy NE 13 is to "protect and enhance watercourses and wetlands in West Vancouver's existing neighbourhoods."

5.0 Financial Implications

The applicant pays development application fees as per the Fees and Charges Bylaw, 5199, 2022. Any additional direct or administrative costs are considered cost recoverable and borne by the applicant. The applicant would also be required to provide Development Cost Charges at the building permit stage.

Tax relief for the Clegg House has been requested by the applicant for a 20-year period. Council consideration of this would be required following consideration of the development proposal including the HRA and Heritage Designation Bylaws. The total potential tax relief for the 20-year period is estimated to be approximately \$96,000.

6.0 Background

6.1 Previous Decisions

Not applicable to the site.

6.2 History

In June 2006, Council adopted the Heritage Strategic Plan. This document articulates the community's values around heritage and lays out the framework for building a robust heritage conservation program. The key implementation action following adoption of the Plan was the establishment of a Community Heritage Register in November 2007. The register provides formal recognition of heritage value and establishes eligibility for municipal conservation incentives.

In 2008, the Heritage Strategic Plan Implementation Working Group identified the need for municipal incentives to make conservation and legal protection of heritage resources economically viable. In June 2009, Council adopted a set of guidelines for the application of heritage conservation tools and incentives, including the use of Heritage Revitalization Agreements (HRAs) and Heritage Designation; these guidelines were further reinforced by policies within the OCP adopted in 2018.

The Clegg House has been nominated to be placed on the West Vancouver Community Heritage Register by the applicant. It is proposed to add the Clegg House to the Community Heritage Register which would provide the site eligibility for municipal conservation tools and incentives enabled under Part 15 of the *Local Government Act*. As supported by the OCP, a HRA would provide the legal framework for the conservation agreement between the property owner and the District and the Heritage Designation Bylaw would provide ongoing legal protection for the Clegg House.

7.0 Analysis

7.1 Discussion

Subject Property

The Clegg House is located at 1591 Haywood Avenue (Figure 1) in the Ambleside neighbourhood. The site is located near shops and services and public transportation. The site is 1,287.7 m² (13,860 sq. ft.) in area and fronts both Haywood Avenue and 16th Street (see **Appendix 'A' – Context Map**).

The existing Clegg House is situated near the centre of the lot (see Figure 1). In addition to the Clegg House, the property is developed with a detached

accessory building (garage) on the northern portion of the property with vehicle access from the unopened lane to the north of the property off 16th Street.



Figure 1: Clegg House and Surrounding Context

Vinson Creek bisects the northeast corner of the property. There is a grove of large mature cedar trees on the property and a continuous hedge along the boulevard lines the two street frontages.

Heritage Value

The Clegg House is noted in the 1988 “West Vancouver Heritage Inventory” as a ‘support’ building. In May 2008, 171 resources were nominated to the West Vancouver Community Heritage Register – with most of these drawn from the lists of primary and secondary buildings from the District’s two building inventories (i.e., for pre-1945 and post-1945 buildings). ‘Support’ buildings, such as the Clegg House, were not added to the nomination list at that time because the inventories did not provide any substantive information about these buildings, and further work would be required to assess their heritage value. However, a process for future additions to the Register was established.

The Clegg House was constructed in 1929 and was one of the first residences built in the neighbourhood. It was first occupied by Warren and Margaret Clegg and their family who lived at the property until 1936. The house is valued for its late Craftsman style, its contribution to the development of its immediate neighbourhood, and its association with the Clegg family.

The Clegg House and its character defining elements are described in the attached Statement of Significance included in **Appendix 'C'** (Appendix 'B' to the proposed HRA bylaw).

Eligibility for Addition to the West Vancouver Community Heritage Register

The Clegg House meets the eligibility requirements for nomination to the West Vancouver Community Heritage Register and the selection criteria outlined in **Appendix 'B'**. Following review of the Statement of Significance and Conservation Plan (Appendix 'B' to the proposed HRA bylaw) staff and the Heritage Advisory Committee support the addition of the Clegg House to the Community Heritage Register.

RS5 Zoning

The existing RS5 zone allows for a maximum Floor Area Ratio (FAR) of 0.30, up to a floor area maximum of 293 m² (3,153.8 sq. ft.), not including an in-ground basement or other exempted floor area such as a parking garage. Taking into consideration the setbacks and watercourse protection area, the site could be redeveloped in the building envelope shown in Figure 2.

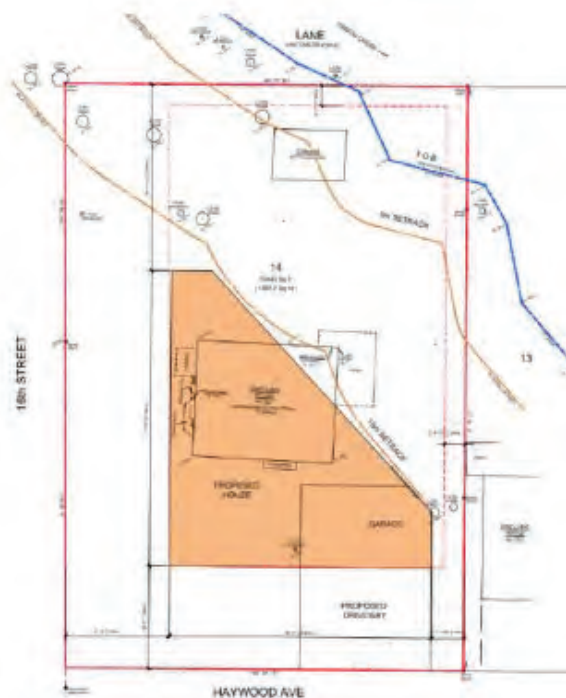


Figure 2: Building Envelope for Zoning Compliant House on the Existing Lot

The minimum lot area within the RS5 zone is 488 m² (5,253 sq. ft.). Although the lot meets the minimum lot area to subdivide, it is not able to qualify for a conventional two-lot subdivision under current policy as it is constrained by Vinson Creek traversing the property.

The Proposal

The proposed Heritage Revitalization Agreement (HRA) would enable redevelopment of the property with four units as an incentive for ongoing legal protection (Heritage Designation) for the Clegg House to be retained.

As indicated in Figure 3, the proposal includes:

- subdividing the property into two fee-simple lots facing 16th Street
 - on the proposed southern lot (Lot A):
 - moving the Clegg House southwest on the lot to a new foundation (1,977 sq. ft.) plus the addition of a stratified garden suite in the basement (967 sq. ft.);
 - the construction of a combined two-car garage (525 sq. ft.) and rental coach house (819 sq. ft.); and
 - providing vehicle access from both 16th Street and Haywood Avenue.
 - on the proposed northern lot (Lot B):
 - the construction of a new single-family dwelling (2,872 sq. ft. gross floor area) and new garage (432 sq. ft.).

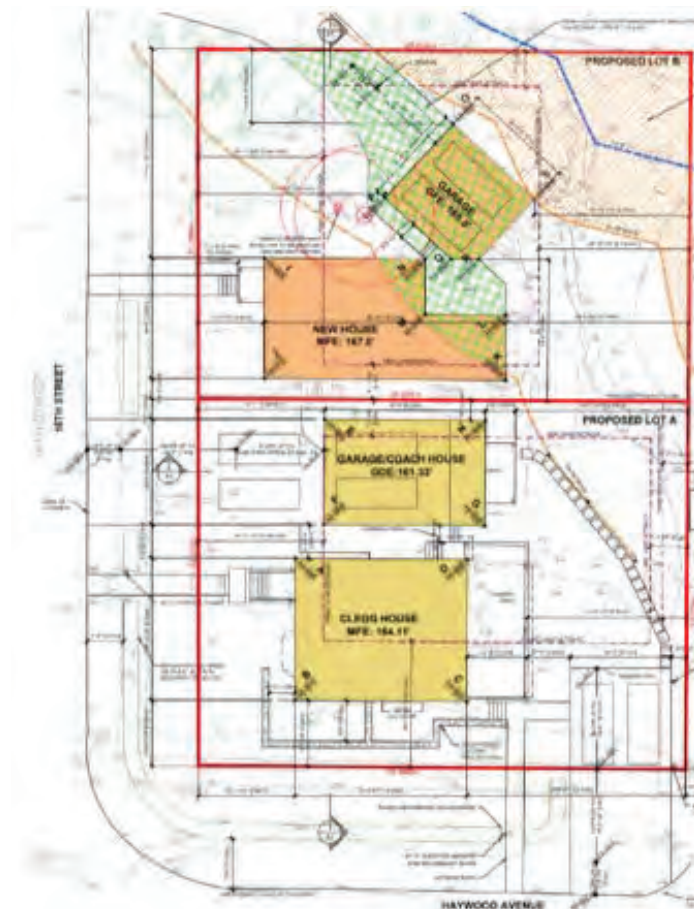


Figure 3: Proposed Subdivision and Development Footprints

The application is not a rezoning. While the underlying zoning would remain, the HRA would vary the zoning bylaw to enable the proposed subdivision and development.

The proposed form of subdivision is freehold ownership, which represents a typical form of single-family residential development. The garden suite in the Clegg House is proposed to be stratified.

The Clegg House and garage/coach have a net floor area of 330.4 m² (3,566.6 sq. ft.) which equates to a floor area ratio (FAR) for proposed Lot A of 0.50 and the proposed infill house has a net floor area of 242.3 m² (2,608.5 sq. ft.) which equates to a floor area ratio (FAR) for proposed Lot B of 0.43. The combined FAR for both lots is 0.47. The existing lot currently has a net floor area of 251.0 m² (2,702.3 sq. ft.) which equates to an existing FAR of approximately 0.21.

Vehicle access to the Clegg House site (Lot A) is proposed to be provided from 16th Street (leading to the new garage), as well as from Haywood Avenue (to a parking pad serving as parking for the garden suite and coach house). The proposed new house to be constructed on the northern lot (Lot B) is proposed to be accessed from the unopened lane with its own driveway. A total of six off-street parking spaces are proposed on Lot A (two garage spaces, two spaces in front of the garage and two on the parking pad off Haywood Avenue) and three parking spaces on Lot B (two garage spaces and one on the driveway in front of the garage).

To the extent possible, the original appearance of the Clegg House will be conserved and restored (a rendering of the restored Clegg House is shown in Figure 4). The original double hung windows will be restored, and new, hand built, wood windows will replace the non-original replacement windows. The Clegg House will retain its current orientation towards 16th Street, and the south and west elevations will remain virtually unchanged. Due to increasing the ceiling height of the basement, the house will be taller than it sits today. However, by moving the house to the south, the ridge of the roof of the house will be slightly lower due to the natural declining slope of the property. The front porch will be restored, with the existing columns removed and new roof brackets will be installed. The flower box studs will be restored and new flower boxes will be installed. The new garden level suite in the Clegg House basement will feature nine-foot ceilings, multiple points of egress, and a covered patio, creating an attractive garden level suite. The heritage conservation of the Clegg House will be carried out consistent with the recommendations of the Heritage Conservation Plan in **Appendix 'C'** (see Appendix 'B' to the proposed HRA bylaw).



Figure 4: Rendering of the Restored Clegg House

In designing the infill house and garage on Lot B and the garage/coach house on Lot A the owners wished to design buildings that would not detract from the Clegg House and would fit in with the character of adjacent homes. To this end, the new buildings have been designed to be physically and visually compatible, yet subordinate and distinguishable from the heritage asset. The infill house and the garage/coach house have been designed to complement the character of the Clegg House by incorporating traditional details while being simpler in design and using more muted colours so that the Clegg House remains a prominent feature within the streetscape (see Figure 5).



Figure 5: Proposed West Elevation (16th Street)

The proposed development plans are included in **Appendix 'C'** (see Appendix 'C' to the proposed HRA bylaw).

As an alternative to constructing the proposed infill dwelling, the applicant is seeking to identify and save a heritage house slated for demolition on a site elsewhere in the Lower Mainland to repurpose as the new infill house. The HRA includes language that allows for this to be considered through a Heritage Alteration Permit (HAP) provided that the design of a relocated house is generally consistent with the size, height and footprint approved for the infill house through the HRA bylaw.

Proposed Variances

To accommodate relocation of the Clegg House and enable the subdivision and proposed development, the following variances are proposed:

- 1) Floor Area Ratio (FAR) - For both new lots.
- 2) Yards – The minimum front yard setback for the Clegg House (both frontages) and for the infill dwelling, and to the minimum side yard setback for the garage/coach house and for the infill dwelling. The setback variances are proposed to prevent loss of habitat within 15 m of the top of watercourse bank. The siting of the proposed garage/coach house and infill house are situated to not impact view lines of surrounding neighbours. The coach house and landscaping has been designed to minimize any potential concern with privacy from the infill dwelling or the Clegg House.

To ensure that the siting of the relocated Clegg House would not impact the view of adjacent property owners, the owners met with neighbours at a nearby property and took photographs of the view from their deck. The proposed building location was staked on the subject site and it was confirmed that the reduced setback would not impact the view from this house.

While the setbacks to property lines are reduced, due to a wide boulevard, the proposed distance from the house to the edge of pavement is approximately 12.5 m on the west and 11.4 m on the south. This distance, coupled with the location of the proposed landscaping, will ensure that the siting is visually compatible with the neighbourhood. Furthermore, the existing dwelling immediately to the east of the subject property at 1573 Haywood Avenue is set back a similar distance from the street to what is proposed.

- 3) Height and Highest Building Face - For the infill house due to the average grade calculation, which is impacted by the low existing grades at the northeast corner of the building. The scale of the proposed building is appropriate for the neighbourhood and will not create any negative view or shadowing effects.

- 4) Coach House/Garage – The following variances are proposed for the combined coach house/garage building to allow for a two-car garage on the main level and the majority of the habitable floor area on the second level:
- The maximum size of an attached garage;
 - The minimum percentage of habitable floor space on the main floor; and
 - The maximum percentage of floor area on the upper floor.

A variance to the minimum separation of the coach house from the principal dwelling on the lot is also proposed.

Due to the siting of the coach house/garage building, the proposed variances will not negatively impact neighbours or the streetscape.

- 5) Stratification - To enable the garden suite in the Clegg House to be subdivided from the principal dwelling unit.
- 6) Driveways – Although not a zoning variance, typically only one (1) driveway is permitted per lot. Two driveways are proposed on proposed Lot A to ensure adequate off-street parking for the garage/coach house and garden suite in the Clegg House.

Council may consider the variances in context of the proposal which would achieve preservation of the heritage house in exchange for subdivision of the property and the proposed development.

Watercourse Protection, Trees and Landscaping

The proposed development will result in a reduction in development within the 15 m watercourse setback. The relocated Clegg House and garage/coach house on Lot A will be entirely outside of the 15 m watercourse setback. The existing garage currently within the 5 m watercourse setback on Lot B will be removed and the new house and garage will be built outside of the 5 m watercourse setback. The existing driveway off 16th Street will be shortened and hardscaping removed and replaced by permeable surfaces within the 15 m watercourse setback. Furthermore, invasive species will be removed and the riparian zone will be enhanced with native trees and plants along Vinson Creek with a net habitat gain of 7 m² for proposed Lot A and 6 m² for proposed Lot B (see Environmental Report prepared by Sartori Environmental attached as **Schedule 'B' to Appendix 'E'**).

The Arborist Report submitted with the application indicates a total of 11 trees on the subject property (see **Schedule 'C' to Appendix 'E'**). Of those, a total of six trees are proposed to be removed due to conflict with the proposed buildings (noting that Tree #356 fell and had to be removed after the Arborist Report was prepared), including one protected tree outside of the 15 m watercourse setback and three of which are protected trees within the 15 m watercourse setback on Lot B. Replanting of native trees at a 2:1 ratio is proposed to replace those within

the riparian area of the creek. A total of two conifers and 11 deciduous trees are included in the Riparian Restoration Plan (see **Schedule 'B' to Appendix 'E'**). Also, four deciduous native replacement trees within the riparian area and three deciduous trees proposed to be planted outside of the riparian area are shown on the landscape plan (see **Schedule 'D' to Appendix 'E'**).

The grove of mature cedars on the northwest edge are to be preserved and the area around them enhanced. The one cedar that will be removed will be reclaimed and milled as building materials for the project. The mature hedge will be retained in the boulevard on 16th Street and a new hedge will be located within the boulevard along Haywood Avenue. A small boulevard garden plot is proposed on the boulevard along Haywood Avenue for occupants and neighbours to gather and work together.

Required Bylaws and Development Permit

Implementation of the proposal, as described in this report is subject to Council approval, specifically the adoption of two proposed bylaws:

- “Heritage Revitalization Agreement Bylaw No. 5234, 2023” (**Appendix 'C'**) which would allow for subdivision and development of the property; and
- “Heritage Designation Bylaw No. 5235, 2023” (**Appendix 'D'**) to designate the property as a municipal heritage resource.

Approval of proposed Development Permit No. 22-074, 2023 (**Appendix 'E'**) is required for the coach house and for development next to a watercourse (Vinson Creek). The terms and conditions of the development permit address the following:

- form and character consideration of the coach house;
- subdivision within a riparian area;
- riparian planting and invasive species management;
- removal of three trees within the riparian area and one tree outside of the riparian area and replacement planting as per Riparian Planting Plan and Landscape Plan;
- tree protection measures during development;
- sediment and erosion control works; and
- securities for landscaping.

Heritage Advisory Committee

The Heritage Advisory Committee initially reviewed the preliminary proposal at its March 30, 2022. The Committee then considered the formal application at the July 27, 2022 meeting where it generally supported the project, provided that certain aspects of the proposal were adjusted to the satisfaction of staff.

The main comments were for the applicant to consider:

- increasing the setback of the Clegg House from 16th Street to reduce impacts on the streetscape;
- restoring the front façade of the Clegg House to a more original condition by removing the bay window;
- ensuring the paint colour on the Clegg House is consistent with its time and place (late 1920's Vancouver);
- design development to ensure that the garage/coach house would be subordinate to the Clegg House;
- design refinement of the infill dwelling to be sympathetic yet distinct from Clegg House; and
- eliminating the proposed boulevard parking spaces and landscaping this area to provide an improved relationship to the Clegg House.

To address staff and HAC comments, the applicant modified the proposal as follows:

- increased the setback from 16th Street by 1.2 m;
- changed the proposed colours of the Clegg House to increase its presence and to be more consistent with the paint colour palette (light trim, dark field) used on Craftsman style homes in Vancouver in the late 1920s;
- increased the garage/coach house setback from the street by 0.43 m and simplified the garage/coach house details to ensure it is consistent, yet subordinate with the Clegg House;
- made changes to the infill house to ensure its subordination to the Clegg House by changing the styling and selecting paint colours to ensure the Clegg house remains distinct; and
- removed the proposed boulevard spaces on Haywood Avenue and added a community garden.

The property owners considered removing the bay window, however, after speaking with contractors, it was determined that this was cost prohibitive and would result in significant changes to the west elevation without significant impact. Furthermore, matching quality of materials and styling in this prominent location was a concern without replacing all the siding on the west elevation and as a result, the bay window is proposed to be retained.

Request for Tax Exemption

The property owners have requested a tax exemption for a period of 20 years as an incentive for retention of the Clegg House. The tax exemption would be applicable to proposed Lot A only (the lot with the heritage house) and would exclude the portion of the lot occupied by the “non-heritage” structure (the coach house). The proposed draft tax exemption bylaw with map showing the portion of the property eligible for the tax exemption is attached to this report for information (**Appendix ‘F’**).

Based on estimates provided by BC Assessment for the value of proposed Lot A minus the non-heritage portion of the property (62.4 m²), municipal taxes for 20 years were estimated. The total estimated municipal taxes for 20 years is \$96,000.

In accordance with s.225 of the *Community Charter*, for a tax exemption bylaw to be adopted, either the Heritage Revitalization Agreement Bylaw needs to have been adopted, or the property must have been designated as heritage property. If Council adopts the Heritage Revitalization Agreement Bylaw and Heritage Designation Bylaw, Council may then, by bylaw, exempt a heritage property from taxation.

The tax exemption bylaw requires public notice to be given in accordance with s. 227 of the *Community Charter* and an affirmative vote of at least 2/3 members of Council on or before October 31 of the year prior to the tax year for which the exemption is approved. As such, it cannot be adopted at the same time as the Heritage Revitalization Agreement Bylaw and the Heritage Designation Bylaw and will be considered for adoption at a subsequent Council meeting. Given the timing of consideration of the proposed bylaws, if adopted by Council, the tax exemption would not be considered on or before October 31, 2023 and therefore would be applicable commencing in 2025.

7.2 Sustainability

Heritage conservation is a fundamental component of community sustainability and is particularly significant in preserving community identity and character, and the cultural values around our built environment. The District supports the conservation of privately-owned heritage property through the application of conservation tools and incentives enabled under Part 15 of the *Local Government Act*.

The objectives are to make the conservation of significant buildings an economically viable alternative to demolition and replacement, and to support the preservation and enhancement of neighbourhood character.

7.3 Public Engagement and Outreach

The applicant organized and held a virtual preliminary public information meeting on January 25, 2022 and had a comment form available on their website from January 14 to January 30, 2022. Neighbours were notified in accordance with District procedures and information outlining the proposal was available for viewing. Approximately 20 people were in attendance and 25 comment forms were provided. There was significant support for the overall objectives of the proposal. However, concerns were raised regarding:

- maintaining the character of the existing house if it is moved;
- the proposed density;
- the number of off-street parking spaces;
- emergency vehicle access along 16th Street;
- the impact of a commercial bed and breakfast use on traffic and neighbourhood character; and
- potential view impacts for view lines on 16th Street.

In response, the plans were revised to:

- decrease the density of the project by removing a dwelling unit (a carriage house proposed facing Haywood Avenue);
- provide additional off-street parking;
- remove the proposed bed and breakfast use;
- delete the proposal to stratify the above-garage suite; and
- move the proposed location of the existing house to ensure that the view line from the 16th Street neighbour remains unobscured.

A summary of the feedback received through the preliminary public consultation process and plan revisions to respond to public comments was provided by the applicant (**Attachment 'G'**).

Should the proposal advance, the applicant will be required to organize, publicize and facilitate another public information meeting after first reading but before the public hearing and concurrent public meeting so that residents can learn more about the proposal.

Signage

The applicant is required to install a development information sign in front of the property. Should the proposal advance, the applicant will be required to update the sign information with particulars about the required public information meeting and public hearing.

Public Hearing and Notification

As per the *Local Government Act*, the proposed Heritage Revitalization Agreement and Heritage Designation bylaws are subject to a public hearing. Notice of the public hearing will be given to all owners and occupants of land within 100 m of the subject property. During the public hearing, a concurrent public meeting will be held to allow the public an opportunity to provide input on the proposed development permit.

Website

In alignment with current practice, a description of the proposal, applicable dates and architectural plans were placed on the District website.

7.4 Condition Precedent to Adoption

Not applicable.

7.5 Other Communication, Consultation, and Research

Planning staff has consulted with District staff from various departments including: Land Development, Environment, and Permits & Inspections. Providing the proposal proceeds, all building and servicing aspects will be addressed at the subdivision and building permit stage.

8.0 Options

8.1 Recommended Option

Council add the Clegg House to the Community Heritage Register, give first reading to the proposed bylaws and set a date for a public hearing and a concurrent public meeting.

8.2 Considered Options

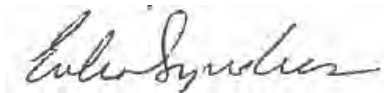
- a) add the Clegg House to the Community Heritage Register and give first reading to the proposed bylaws and set an alternative date (to be specified) for a public hearing; or
- b) defer consideration of adding the Clegg House to the Community Heritage Register and first readings of the bylaws pending the receipt of additional information (to be specified) to assist in consideration of the application; or
- c) not add the Clegg House to the Community Heritage Register and reject the application.

9.0 Conclusion

The proposed HRA would allow for housing diversity and sensitive infill within an existing neighbourhood that responds to neighbouring context. As well, the HRA is aligned with OCP objectives to retain, protect and revitalize heritage assets within the community while providing a form of densification which retains the character and scale of the neighbourhood.

Subject to public input, staff recommends that the Clegg House be formally added to the Community Heritage Register and that proposed HRA for 1591 Haywood Avenue (Clegg House), along with the proposed implementing bylaws and development permit under OCP Policy BF-B 3.1 and Policy NE 13 be given first reading and scheduled for a public hearing and concurrent public meeting.

Author:



Erika Syvokas, Community Planner

Concurrence

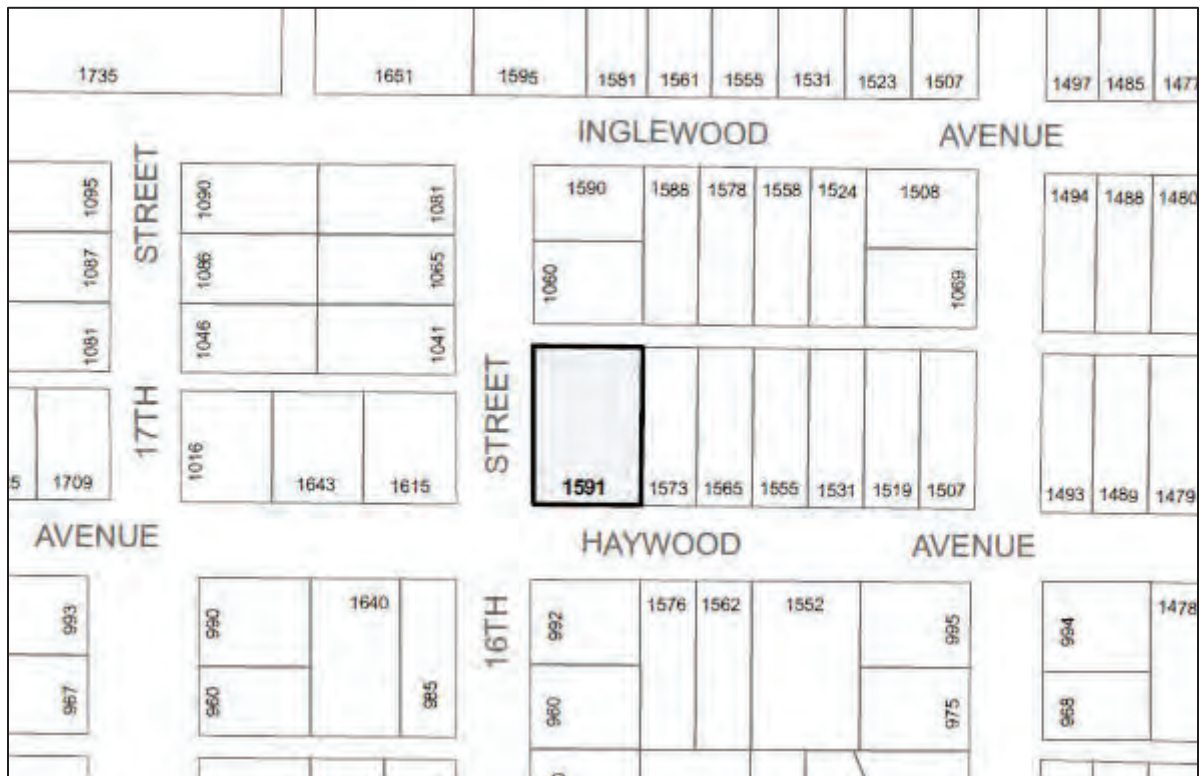


Michelle McGuire, Senior Manager of Urban Design and Current Planning

Appendices:

- A. Context Plan
- B. Eligibility for Nomination and Selection Criteria for West Vancouver Community Heritage Register
- C. Proposed "Heritage Revitalization Agreement Bylaw No. 5234, 2023" (includes Appendix A: Subdivision Plan; Appendix B: Conservation Plan; Appendix C: Architectural Plans; and Appendix D: Landscape Plan)
- D. Proposed "Heritage Designation Bylaw No. 5235, 2023"
- E. Proposed Development Permit No. 22-074 (includes Schedule A: Architectural Plans; Schedule B: Environmental Report; Schedule C: Arborist Report; and Schedule D: Landscape Plan)
- F. Proposed Draft Heritage Building Property Tax Bylaw No. 5265, 2023
- G. Feedback Summary from Preliminary Public Information Meeting January 25, 2022

APPENDIX A – CONTEXT PLAN



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APPENDIX B

Eligibility for Nomination and Selection Criteria for West Vancouver Community Heritage Register

Eligibility for Nomination:

- Eligible for listing on the Register, under Provincial legislation
- Association with West Vancouver's heritage should be direct and easy to understand
- Resource is at least 20 years old
- Resource is either on an existing inventory or has been nominated for inclusion by a community member
- A written statement of value, responding to the criteria for selection, is supplied with the nomination, or a Statement of Significance has been prepared
- The current condition respects the integrity of design
- The boundaries of the historic place have been clearly described

Criteria for Selection

The criteria are values-based; the kind of value is indicated in parentheses below:

- The place is closely and meaningfully associated with one or more themes, events, periods of time, or traditions considered important in the history of West Vancouver (historic value).
- The place is strongly associated with the life or work of a person or group of persons considered important in West Vancouver's history (historic value).
- The place represents an exceptional creative achievement in design, planning, or technology valued in West Vancouver (aesthetic value).
- The community, or a group within the community, is deeply attached to the place for social, cultural, or spiritual reasons (social, cultural, spiritual values).
- The place, by virtue of its location, its status, or some other element, serves to communicate the heritage of West Vancouver to a broad audience (educational value).
- Could yield important information/data that will contribute to understanding West Vancouver's past (scientific, educational values).
- The place is exceptional or rare (stands out for its difference) or it is very representative of a theme, type, period, or cultural tradition/way of living; i.e., it can educate about other similar places (educational, scientific values)

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District of West Vancouver

**Heritage Revitalization Agreement Bylaw
No.5234, 2023**
(1591 Haywood Avenue)

Effective Date:

Heritage Revitalization Agreement Bylaw No. 5234, 2023

Table of Contents

Part 1	Citation.....	1
Part 2	Severability	1
Part 3	Heritage Revitalization Agreement	1
	Schedule A.....	4
	HERITAGE REVITALIZATION AGREEMENT FOR 1591 HAYWOOD AVENUE (CLEGG HOUSE).....	4

District of West Vancouver

Heritage Revitalization Agreement Bylaw No. 5234, 2023

WHEREAS the residential building known as the “Clegg House” on the property located at 1591 Haywood Avenue in West Vancouver is recorded in the District’s Community Heritage Register and has heritage value; and

WHEREAS the District of West Vancouver and the Owner of the property at 1591 Haywood Avenue in West Vancouver wish to enter into a Heritage Revitalization Agreement in respect of the property to ensure conservation of the property; and

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Heritage Revitalization Agreement Bylaw No. 5234, 2023.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Heritage Revitalization Agreement

- 3.1 The District of West Vancouver hereby enters into a Heritage Revitalization Agreement with the registered Owner of the property located at 1591 Haywood Drive, legally described as:

PID: 011-772-301

LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180.

- 3.2 The Mayor and Corporate Officer are authorized to sign and seal, on behalf of the District of West Vancouver, the Heritage Revitalization Agreement substantially in the form attached to this bylaw as **Schedule A**.

Schedules

Schedule A – Heritage Revitalization Agreement for 1591 Haywood Avenue (Clegg House)

READ A FIRST TIME on [Date]

PUBLICATION OF NOTICE OF PUBLIC HEARING on [Date]

PUBLIC HEARING HELD on [Date]

RECONVENED PUBLIC HEARING HELD on [Date]

READ A SECOND TIME on [Date]

READ A THIRD TIME on [Date]

ADOPTED by the Council on [Date].

Mayor

Corporate Officer

Schedule A

HERITAGE REVITALIZATION AGREEMENT FOR 1591 HAYWOOD AVENUE (CLEGG HOUSE)

THIS AGREEMENT dated as of the ____ day of _____, 2023

BETWEEN:

THE CORPORATION OF THE DISTRICT OF WEST VANCOUVER, a
municipal corporation having offices at 750 – 17th Street, West
Vancouver, British Columbia, V7V 3T3

(the “District”)

AND:

DARRIN DECOSTA AND MEGHAN DECOSTA – 1591 Haywood
Avenue, West Vancouver, British Columbia, V7V 1W4

(together, the “Owner”)

WHEREAS:

- A. The Owner is the registered owner in fee simple of the land and all improvements located at 1591 Haywood Avenue and legally described as:
PID: 011-772-301
LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180
(the “Property”);
- B. There is one principal building currently situated on the Property, known as the Clegg House, which building is listed in the District’s Community Heritage Register (the “Heritage Building”);
- C. The District and the Owner agree that the Heritage Building has heritage value and should be conserved;
- D. The Owner intends to apply to the District’s Approving Officer for approval to file the subdivision plan attached hereto as **Appendix A** (the “Subdivision Plan”) in the Land Title Office in order to subdivide the Property into two separate parcels, being Lot A for the relocation of the Heritage Building and the addition of a garage/coach house (the “Addition”), and Lot B for the development of an additional single-family dwelling and detached garage (the “New Residence”), as generally shown on the Subdivision Plan;

- E. Section 610 of the *Local Government Act*, RSBC 2015, Chapter 1 (the “Local Government Act”), authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of a heritage property, and to allow variations of, and supplements to, the provisions of a bylaw or a permit issued under Part 14 or Part 15 of the *Local Government Act*;
- F. The Owner has presented to the District a proposal for the use, development and conservation of the Property that would change the use or density of the Property, and has voluntarily and without any requirement by the District, entered into this Agreement pursuant to section 610 of the *Local Government Act*;
- G. The District must hold a Public Hearing before entering into, or amending, a Heritage Revitalization Agreement if the agreement or amendment would permit a change to the use or density of use of the Property that is not otherwise authorized by the applicable zoning, and the District has held a Public Hearing on this Agreement;
- H. The Council of the District has, concurrently with the adoption of the bylaw authorizing the execution of this Agreement, adopted Heritage Designation Bylaw No. 5235, 2023, pursuant to section 610 of the *Local Government Act* designating the Property as protected heritage property (the “Heritage Designation Bylaw”); and
- I. The Owner and the District have agreed to enter into this Heritage Revitalization Agreement setting out the terms and conditions by which the heritage value of the Property is to be preserved and protected, in return for the specified supplements and variances to District bylaws.

NOW THEREFORE in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other, the mutual promises contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Owner and the District each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

1.0 Conservation of the Property

- 1.1 Promptly following the date on which the Owner deposits the Subdivision Plan in the Land Title Office, the Owner shall commence and complete the relocation, preservation, rehabilitation and restoration (the “Work”) in accordance with the recommendations in the conservation plan prepared by Dewhirst Lessard and revised May 2022, a copy of which is attached to this Agreement as **Appendix B** (the “Conservation Plan”).
- 1.2 Without limiting the generality of the foregoing, the Owner agrees

not to do any of the following on the Property without prior written approval in the form of a heritage alteration permit:

- (a) any exterior alterations to the Heritage Building, including, without limitation, the aspects that are specifically listed in Section 3 of the Conservation Plan (the “Character-Defining Elements”); or
- (b) any interior alterations to the Heritage Building that are specifically referenced in the Conservation Plan, including, but not limited to the existing fireplace, mantle and surrounds on the main floor.

- 1.3 The Director of Planning and Development Services may determine, in their sole discretion, that the requirement in section 1.2 to obtain a heritage alteration permit does not apply to minor alterations to the Property that, in the opinion of the Director of Planning and Development Services, are in keeping with the character of the Property.
- 1.4 Prior to the commencement of the Work, the Owner shall obtain from the District all necessary permits and licenses, including a heritage alteration permit. The Owner agrees and acknowledges that the District may refuse to issue a heritage alteration permit if, in its sole discretion, the District considers that the alteration that the permit would authorize is inconsistent with this Agreement, the Conservation Plan or the Heritage Designation Bylaw, and without limiting the generality of the foregoing, the District may refuse to authorize the proposed alteration.
- 1.5 The Work shall be done at the Owner’s sole expense and in accordance with generally accepted engineering, architectural, and heritage conservation practices. If any conflict or ambiguity arises in the interpretation of the Conservation Plan, the parties agree that the conflict or ambiguity shall be resolved in accordance with the “Standards and Guidelines for the Conservation of Historic Places in Canada”, published by Parks Canada in 2010.

2.0 Ongoing Maintenance

- 2.1 Following completion of the Work, the Owner shall maintain the Property, in good repair in accordance with the maintenance plan set out in Section A4 of the Conservation Plan and the maintenance standards set out in District of West Vancouver Heritage Maintenance Bylaw No. 4187, 1999, as amended or replaced from time to time (the “Heritage Maintenance Bylaw”), and, in the event that the Heritage Maintenance Bylaw is repealed and not replaced, the Owner shall continue to maintain the Property to the standards that applied under the Heritage Maintenance Bylaw immediately prior to its repeal.

3.0 Damage to or Destruction of Heritage Building

- 3.1 If the Heritage Building is damaged, the Owner shall obtain a heritage alteration permit and any other necessary permits and licenses and, within 24 months of the date of damage, shall, at its own cost and expense, restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.
- 3.2 If, in the opinion of the District, the Heritage Building is completely destroyed by fire, explosion or other natural catastrophe, the Owner shall ensure that the Heritage Building is reconstructed in a massing and style that is:
- (a) similar to, but not necessarily identical to, the existing Heritage Building;
 - (b) in a similar position on the lot;
 - (c) with the same number of dwelling units and tenure;
 - (d) generally consistent with the Conservation Plan; and
 - (e) complies with the Zoning Bylaw No. 2662, 2010, as amended from time to time (the “Zoning Bylaw”), as varied by the Agreement, after having obtained a heritage alteration permit and any other necessary permits and licences,
- all to the satisfaction of the Director of Planning and Development Services, which shall be provided in writing.
- 3.3 The Owner shall use its best efforts to commence and complete any repairs to the Heritage Building, the Addition, and the New Residence, and the construction of any replacement of the Heritage Building, with reasonable dispatch.
- 3.4 As an alternative to the requirement in section 3.2 to construct a replacement of the Heritage Building and rebuild the New Addition in the event of such damage, the Owner, at its option and upon prior written consent of the Director of Planning and Development Services, may elect to develop on the Property in accordance with the Zoning Bylaw, provided that no residential dwelling constructed on the lot shall have a Floor Area Ratio (FAR) exceeding 0.21.

4.0 Heritage Designation

- 4.1 The Owner irrevocably agrees to the designation of the Property as a municipal heritage site, in accordance with Section 611 of the *Local Government Act*, and releases the District from any obligation to compensate the Owner in any form for any reduction in the market value of the Property that may result from the designation of

the Property by adoption of the Heritage Designation Bylaw.

5.0 Development Guidelines and Variances to Zoning Bylaw

- 5.1 Variances to the Zoning Bylaw are hereby granted solely for the purpose of enabling the Owner's proposed development of the Property, which includes:
- (a) the relocation of the Heritage Building;
 - (b) the stratification of the garden suite in the Heritage Building; and
 - (c) the construction of the Addition and the New Residence,
- all of which must be developed in accordance with the specifications in the architectural plans prepared on April 13, 2023 by Focus Architecture and attached to this Agreement as Appendix 'C' (the "Architectural Plans") and the landscape plan dated April 7, 2023 and prepared by Coastal Group and attached to this Agreement as Appendix 'D' (the "Landscape Plan") (together, the "Plans").
- 5.2 For clarity, notwithstanding the provisions of the RS5 Single Family Dwelling Zone 5 within the Zoning Bylaw, and in accordance with the further provisions of this Agreement:
- (a) the Heritage Building may be relocated from its original location on the lot to the new location on Lot A, in accordance with the specifications in the Plans;
 - (b) Lot A may be developed to include the Addition, in accordance with the specifications in the Plans;
 - (c) the garden suite in the basement of the Heritage Building may be subdivided pursuant to the *Strata Property Act* (British Columbia), in accordance with the specifications in the Plans; and
 - (d) the New Residence may be built on Lot B, in accordance with the specifications in the Plans.
- 5.3 The Owner must install and maintain a heritage plaque near the front property line of the Property adjacent to 16th Street, which provides pedestrians a brief history and overview of the heritage significance of the Heritage Building at the discretion of the Director of Planning and Development Services.
- 5.4 The parties agree that the Owner may apply for, and the District may in its sole discretion issue, building permits that provide

changes from the specifications in the Plans, provided that:

- (a) the Character-Defining Elements must not be altered;
- (b) there must be no interference with the overall appearance of the Heritage Building as described in the Conservation Plan and the Architectural Plans;
- (c) there must be no increase to the floor area of the Heritage Building as specified in the Architectural Plans; and
- (d) the New Residence and the Addition must remain generally consistent with the size, height and footprints as specified in the Architectural Plans.

5.5 The parties agree that the Owner may apply for, and the Director of Planning and Development Services may issue, a heritage alteration permit authorizing minor variances to the Zoning Bylaw, subject to the restrictions in section 617(4) of the *Local Government Act*.

5.6 The Owner agrees that the District may withhold building permit, or occupancy permit or final building permit approval, as the case may be, in respect of the Heritage Building if the alteration of the Heritage Building is not in accordance with the Conservation Plan, notwithstanding that the construction may be in compliance with the British Columbia Building Code, the Zoning Bylaw and any applicable permit.

6.0 Compliance with Laws

6.1 The parties agree that, except as varied or supplemented by the provisions of this Agreement, any development, subdivision, and use of the Property shall be subject to, and must comply with, all applicable bylaws and regulations of the District and all laws of any authority having jurisdiction.

7.0 Interpretation

7.1 In this Agreement, "Owner" shall mean all registered owners of the Property or subsequent registered owners of the Property, as the context requires or permits.

8.0 Future Alterations

8.1 Following completion of the Work in accordance with this Agreement, the Owner shall not materially alter the heritage character of the Property except as permitted by a heritage alteration permit issued by the District. The Owner acknowledges that the District may refuse to issue a heritage alteration permit if, in its sole discretion, the District considers that the alteration that the permit would authorize is inconsistent with this Agreement, the

Conservation Plan, or the Heritage Designation Bylaw, and without limiting the generality of the foregoing, the District may refuse to authorize the alteration of any of the Character-Defining Elements.

9.0 Enforcement of Agreement

- 9.1 The District may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have the time specified in the notice to remedy the breach. In the event that the Owner fails to remedy the breach within the time specified in the notice, the District may enforce this Agreement by entering onto the Property to carry out the work necessary to remedy the breach, and may recover the cost of doing so from the Owner as taxes payable with respect to the Property.

10.0 Dispute Resolution

- 10.1 In the event of any dispute between the Owner and the District as to the necessity for any work required by the District pursuant to section 9.0, the parties agree that the dispute will be resolved by either:
- (a) a member of the Architectural Institute of British Columbia with training and experience in heritage conservation; or
 - (b) another professional with training and experience in heritage conservation,

in each case which has been selected by mutual agreement the parties or, failing agreement between the parties, by the Architectural Institute of British Columbia, and that the fees of the architect shall be borne by the Owner if the dispute is resolved in the District's favour and by the District if the dispute is resolved in the Owner's favour.

11.0 Indemnity

- 11.1 The Owner hereby releases, indemnifies and saves the District, its officers, employees, contractors, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.
- 11.2 In no case shall the District be liable or responsible in any way for:

- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Property; or
- (b) any loss or damage of any nature whatsoever, howsoever caused to the Property or any improvements or personal property thereon belonging to the Owner or to any other person; or
- (c) arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the District to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

12.0 No Waiver

- 12.1 No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the District unless a written waiver signed by an officer of the District has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or over looking by the District on previous occasions of any default, nor any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the District.

13.0 Inconsistency

- 13.1 In the event of any inconsistency between this Agreement and the Heritage Maintenance Bylaw, this Agreement shall prevail.

14.0 Amendment

- 14.1 The parties acknowledge and agree that this agreement may only be amended by bylaw with the consent of the Owner, provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use of the Property.

15.0 Representations

- 15.1 It is mutually understood and agreed upon between the parties that the District has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

16.0 Statutory Functions

- 16.1 Except as varied or supplemented herein, this Agreement shall not prejudice, impair, fetter or derogate from the statutory rights and powers of the District or its approving officer in the exercise of their statutory functions and responsibilities and their rights and powers under any enactments, bylaws, order or regulations, including but not limited to the *Local Government Act* and the *Land Title Act*, all of which, except as expressly varied or supplemented herein, are applicable to the Property.
- 16.2 The Owner agrees and acknowledges that:
- (a) the subdivision of the Property is subject to the jurisdiction of the District's Approving Officer;
 - (b) the construction of or alteration of a building on any portion of the Property requires a Heritage Alteration Permit and a building permit;
 - (c) the District may impose off-site works and services requirements, including construction of sidewalks, street paving, water, sewer and stormwater connections; and
 - (d) development cost charges in respect of the subdivision and development of the Property.

17.0 Enurement

- 17.1 This Agreement enures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

18.0 Land Title Notice

- 18.1 The District shall file a notice within the Land Title Office, as provided for in section 610(10) of the *Local Government Act*, and upon registration of such notice, this Agreement and any amendment to it shall be binding on all persons who acquire an interest in the land affected by this Agreement.

19.0 Other Documents

- 19.1 The Owner agrees at the request of the District, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the District to give full effect to the intent of this Agreement.

20.0 Notices

- 20.1 Any notice required to be given pursuant to this Agreement shall be

in writing and shall be delivered by registered mail as follows:

(a) To the District:

**THE CORPORATION OF THE DISTRICT OF WEST
VANCOUVER**

750 – 17TH STREET

WEST VANCOUVER, BC V7V 3T3

(b) To the Owner:

DARRIN AND MEGHAN DECOSTA – 1591 Haywood
Avenue, West Vancouver, British Columbia, V7V 1W4

21.0 Successors Bound

21.1 All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

22.0 Number and Gender

22.1 Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

23.0 No Partnership or Agency

23.1 The parties agree that nothing contained in this Agreement creates a relationship between the parties of partnership, joint venture or agency.

24.0 Appendices

24.1 The following appendices to this Agreement are incorporated into and form part of this Agreement:

- A. **Subdivision Plan** of LOT 14 BLOCK 1 NORTH ½ OF DISTRICT LOT 1055 PLAN 4180 (1591 Haywood Avenue)
- B. **Conservation Plan** for the Clegg House prepared by Dewhirst Lessard, dated May 2022
- C. **Architectural Plans** by Focus Architecture Incorporated April 13, 2023
- D. **Landscape Plan** prepared by Coastal Group dated April 7, 2023

IN WITNESS WHEREOF the Owner and the District have executed this Agreement as of the date written above.

Signed, Sealed and Delivered in
the presence of:

Name

DARRIN DECOSTA

Address

MEGHAN DECOSTA

Occupation

**CORPORATION OF THE CITY OF NEW
WESTMINSTER** by its authorized
signatories:

Mayor:

City Clerk:

ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS
432 mm IN HEIGHT BY 568 mm IN WIDTH (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:250.



THE CLEGG HOUSE

1591 Haywood Street, West Vancouver B.C.

CONSERVATION PLAN
OCTOBER 2021, COMPLETED MARCH 2022
REVISED MAY 2022
INCLUDING STATEMENT OF SIGNIFICANCE



**dewhirst lessard
consulting**

2095 Thompson Road, Gabriola BC V0R 1X7
308-1251 Cardero St. Vancouver BC V6G 2H9
dewhirstlessard@shaw.ca

Name: The Clegg House
Address: 1591 Haywood Street, West Vancouver, British Columbia
Construction Date: 1929
Original owner: Warren and Margaret Clegg

STATEMENT OF SIGNIFICANCE

I. DESCRIPTION OF HISTORIC PLACE

The Clegg House is located at the northeast corner of 16th Street and Haywood Avenue in the Ambleside neighborhood of West Vancouver, British Columbia. The property is a third of an acre and includes considerable setbacks from both 16th Street and Haywood Avenue. The one and a half storey wood frame single-family house, built in 1929, is positioned in the middle of the lot. The northeast corner of the lot is intersected by the Vinson Creek whereas the northwest corner of the property is enhanced by a grove of large mature cedar trees. Currently a continuous hedge lines the two street frontages.

2. HERITAGE VALUE

The Clegg House is valued because of its style, its contribution to the development of its immediate neighbourhood, and its association with the Clegg family.

The Clegg house is a good example of the late Craftsman style houses prevalent in West Vancouver at the time of its construction. The structure features several features typical of the style, including wooden lapped siding, eave knee-brackets, exposed rafter tails, and multi-pane wood windows.

The Clegg house is valued as one of the first residences built in the neighborhood. The property was created as part of the 1912 subdivision.

The property is distinctive for its configuration affected by its natural environment incorporating part of the Vinson Creek, an important landmark of the area. To this day, the exposed banks of the Vinson Creek interrupt Haywood Avenue a few meters east of the Clegg house as well as a blind lane on the north end of the property.

The Clegg House is valued for its association with Warren and Margaret Clegg and their family. Clegg was an English farmer who immigrated to Canada in 1903. He moved to West Vancouver from Saskatchewan in 1929 and purchased the property to build the house. His family with four children, lived in the house until 1936; his wife and children subsequently moved to a Fraser Valley farm. Clegg, then an agent with the Wawanesa Insurance, kept the house until 1939. Warren Clegg remained in West Vancouver, residing on Fulton Avenue with his daughter until his death, in 1945.

3. CHARACTER DEFINING ELEMENTS

The elements that define the heritage value of the Clegg House include the following:

- Continuous residential use.
- Prominent corner lot intersected by the Vinson Creek.
- Front gabled 1½ storey with large roof overhang, gabled dormers, cedar shingle dormer cheeks and roofing.
- Craftsman style with typical roof and box window knee-brackets with pointed ends, exposed rafter tails, open tongue-and-groove soffit boards, flared roof eaves, barge boards with swollen ends and ridge keys.
- Wooden lapped siding, head corner and boards, water table, belt board, and decorative flower box support studs.
- Covered front porch gabled roof structure with triangular fascia, low wide front stairs balustrade, shed roof above south elevation box window and above northeastern deck access.
- Front entrance door with leaded glass lite.
- Double hung multi-pane wooden windows, fixed multi-pane windows, and exterior casings with brick moulding.
- Exterior shaft of an internal brick chimney.

Table of Contents:

Statement of Significance page 3

1. Description of Historic Place
2. Heritage value
3. Character-defining elements

Preface:

Location

Building description

Conservation Plan

I. Condition Survey

- I.1: Property
- I.2: Massing
- I.3: Roof Details
- I.4: Dormers
- I.5: Lap Siding Details
- I.6: Flower Box Studs
- I.7: Front Porch
- I.8: Back Porch
- I.9: Windows
- I.10: Exterior Doors
- I.11: Internal Brick Chimney
- I.12: Exterior Paint Colours
- I.13: Residential Floors

2. Integrity

3. Recommendations

4. Review of proposed development

Appendix:

A1: Excerpt from the *Standards and Guidelines for the Conservation of Historic Places in Canada*

A2: Building code equivalencies.

A3: BC Energy Efficiency Act

A4: Maintenance program

A5: Statement of Significance Background (Prepared by Darrin and Meghan DeCosta, August 2021)

A6: The Vinson Creek Watershed (Map & <https://www.pskf.ca/ecology/watershed/westvan/2003/vinson02.html>)

Heritage Consultant:

The firm dewhirst lessard consulting is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations, and adaptive reuse projects from design to construction.

André Lessard, the principal in charge, has experience in planning, design and construction. He is a building conservation specialist. André, a former member of the AIBC, is a member of the Canadian Association of Heritage Professionals, and former president of the BC Chapter and its National Board of Directors. He was a member of the Vancouver Heritage Commission in 200-2010. André is also a LEED Accredited Professional, including field certification experience (BD+C). He has lectured for twelve years in "Building Science for Architectural Conservation" at University of Toronto and Ryerson University.

Location

The Clegg House is located in the Hollyburn neighbourhood in the West Vancouver District, British Columbia. West Vancouver is located on the north shore of the Burrard Inlet across from the City of Vancouver. The Clegg House property is located at the corner of Haywood Avenue and 16th Street, north of the West Vancouver Municipal Hall.

Figure 1: West Vancouver District in red



Figure 1: 1911 Partial map of West Vancouver with Lot 1055 in red
CVA LEG1340.1

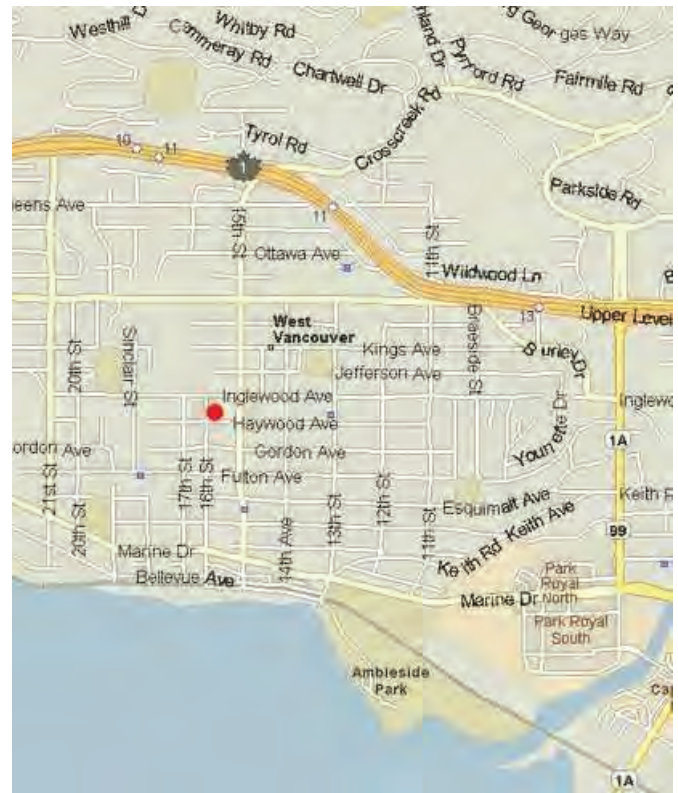


Figure 2: Partial map of the Hollyburn Neighbourhood with 1591 Haywood Avenue in red – Google Map

West Vancouver is a District Municipality in the province of British Columbia. West Vancouver is on the traditional and unceded territories of the Coast Salish People the Squamish, Tsleil-Waututh and Musqueam First Nations. The Skwxwú7mesh Úxwumixw (Squamish People, villages, and community) occupied and governed this territory since beyond recorded history. The First Nations village at the mouth of the Capilano River became the Capilano Indian Reserve (Xwemelch'stn) in 1923, a separate legal entity from the District of West Vancouver.

Together with the District of North Vancouver and the City of North Vancouver, it is part of a local regional grouping referred to as the North Shore municipalities, or simply "the North Shore". The Municipality of West Vancouver was incorporated on March 15, 1912, after separating from the District of North Vancouver.

In November 1938, the Lions Gate Bridge was opened to traffic, allowing extensive growth of the semi-populated community, previously only accessible by ferry. Some homes in West Vancouver date back to the 1920s and 30s, though most of the currently existing dwellings were built in the 1970s and 80s, and mostly in British Pacific Properties' developments. (Wikipedia)

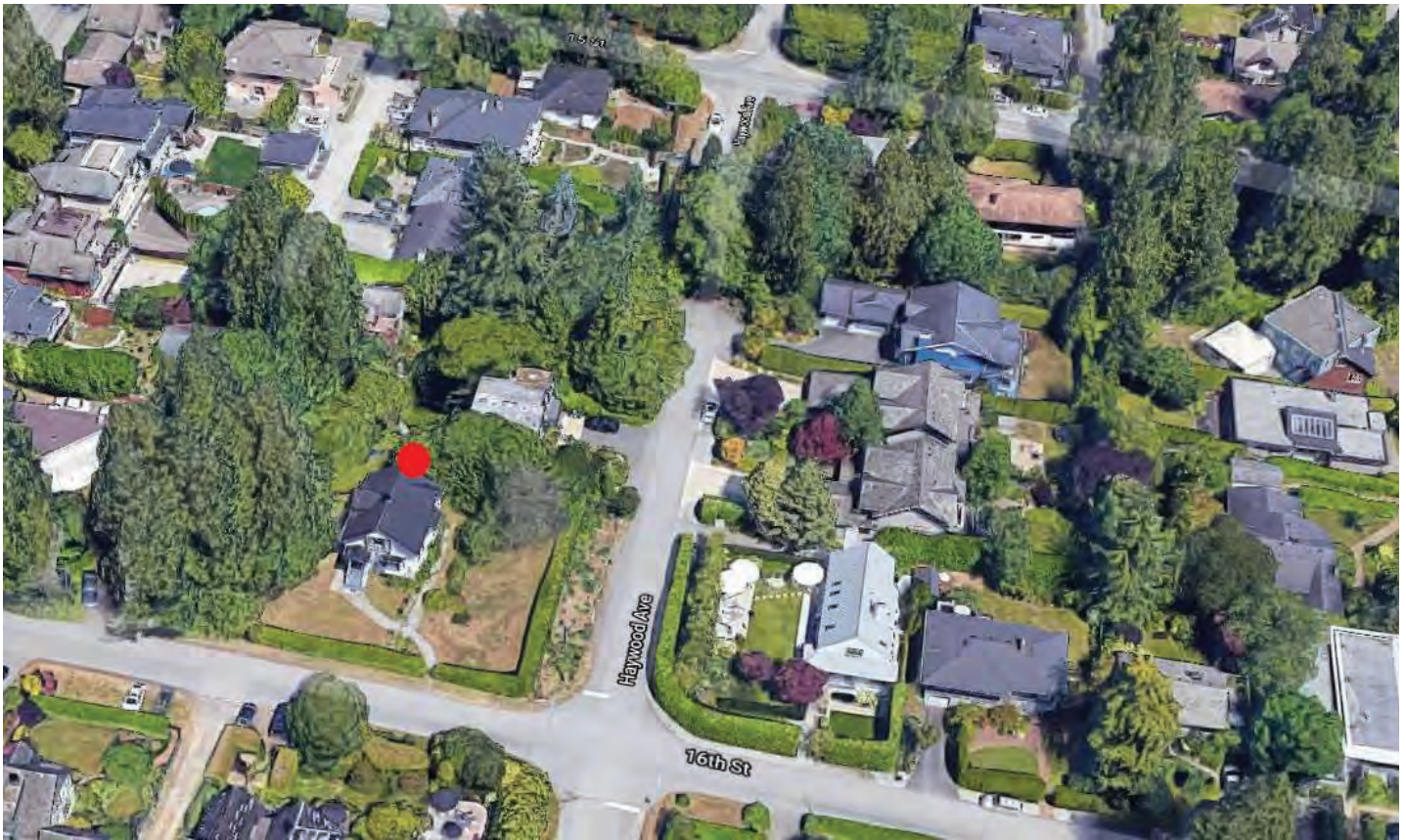


Figure 3: Looking east at the intersection of Haywood Ave and 16th Street in the foreground, with 15th Street on top of picture, Clegg House at red dot (Google Map)

PREFACE

The Clegg House was built as a single-family house in 1929 and has remained as such to this day. The Clegg House has been included in the 1988 Heritage Inventory (updated 1994-1998-2003) as a Support Building. The house is facing 16th Street, but the address is on Haywood Avenue. The *Statement of Significance* was reviewed and reformatted by the consultant; the statement background research was conducted by the owner.

Building Description

The property at 1591 Haywood Avenue is a corner property of 13,860 Square feet, encroached by the Vinson Creek and its associated 20-meter setback (5 meters from creek plus 15 meters bylaw), thus reducing considerably the buildable area of the lot. The property includes the Clegg House and a garage. The garage is without foundation and located in the creek setback. A blind alley, referred to as a lane, is located north of the property. The house is a one-and-a-half wood-frame structure with a footprint of approximately 970 sqft. The main floor has a partial front porch on the left inside of the 16th Street elevation and a large deck extending the back entrance landing on the northeastern corner of the house. The second floor has three bedrooms, including the master bedroom. The finished basement is including a vacant suite.

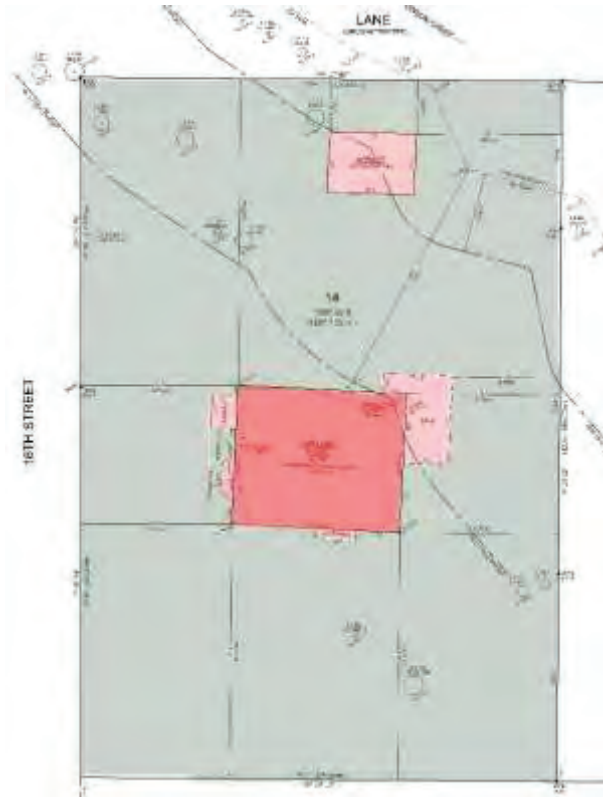


Figure 4: Survey with structures in red by Hobbs, Winter & MacDonald

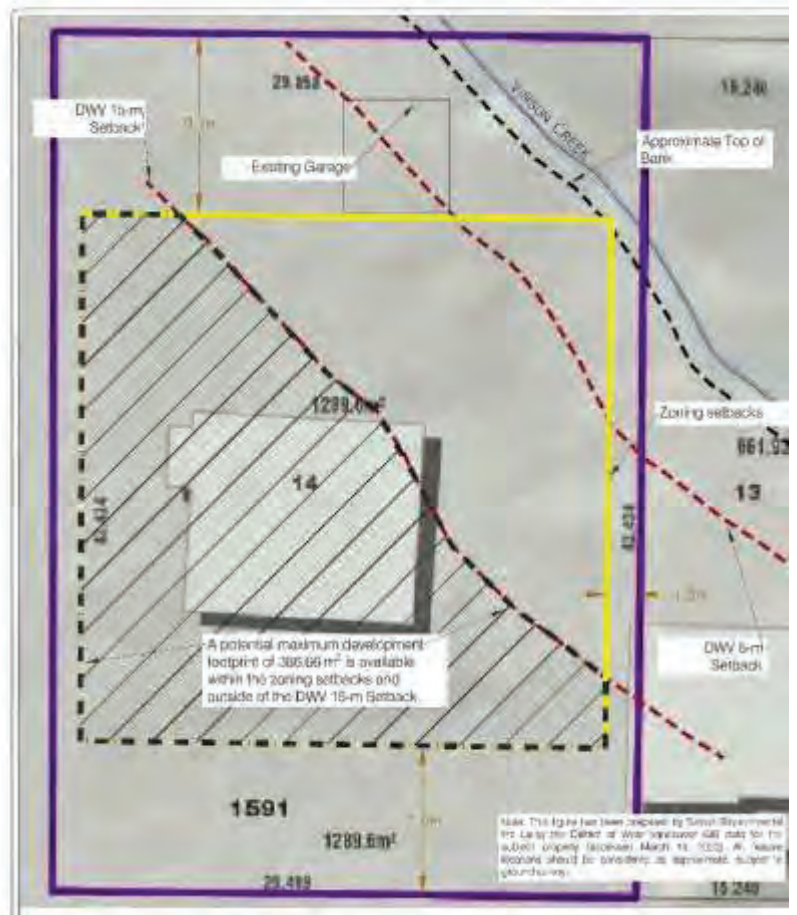


Figure 5: Diagram by Sartori environmental showing maximum footprint of 4,160 Sqft



Figure 5: Main Floor Plan (Drawing by owner)



Figure 6: Second Floor Plan (Drawing by owner)



Figure 7: West elevation facing 16th Street



Figure 8: South elevation facing Haywood Avenue



Figure 9: East elevation with deck



Figure 10: North elevation

House Style: Craftsman (1910-1930)

According to the Vancouver Heritage Foundation

The Clegg House is a Late Craftsman Style House. Craftsman is the American Arts and Crafts Style, mostly identified with Southern California and arriving in Vancouver about 1908-10. The emphasis on simplicity, quality, and local materials of the English Arts and Crafts movement inspired its development. It spread quickly throughout North America thanks to plans published in a popular magazine called 'Craftsman,' to which the style owes its name. It did not take long before other magazines and plan books started publishing their own interpretations of the Craftsman style. It was widely popular in Vancouver over a period of about 20 years, developing several variations unique to the region. The one-storey variant (sometimes called a California Bungalow or Craftsman Bungalow) is one of the most common types of heritage housing present in the city.

The main Craftsman type of the Clegg House is:

- **Front-Gabled 1-1/2 storey Craftsman**

The main material of Craftsman houses was wood. Cedar shingles were used both for cladding and decorative components (e.g. in gables). A combination of **narrow lap siding** and shingles was also popular. The upper part of porch posts or other decorative pieces such as dentils and **knee brackets were often smoother wood**. Stucco was an accent material usually combined with half-timber dividers in gables. **Brick was used for chimneys** and as an accent. Clinker bricks and off placed or protruding bricks were popular to achieve a rustic appearance.

The "Main Craftsman Style Details" included in the Clegg House are the following:

- **Low-pitched gabled roof**
- **Exposed roof rafters**
- **Decorative beams or knee-brackets under gables**
- **Porches either partial or full width**
- **Double-hung windows**
- **Squared porch posts**



Figure 11: 1988_ The McMahon House, 1493 Haywood Ave built in 1932
West Vancouver Archives



Figure 12: The Smith House, 992 20th Street built in 1924
Google map

Above are two late Craftsman style houses listed in the 1988 West Vancouver Heritage Inventory. The McMahon House is remarkably similar to the Clegg House, including the flower box brackets.

Conservation Plan

The Conservation Plan consists of a series of recommendations pertaining to the preservation, rehabilitation and/or restoration of the subject historic site. The Conservation Plan is divided into four sections: the first is a condition survey of the character-defining elements and the historic site in general, the second is an assessment of the integrity of the historic structure; the third is a series of recommendations for the conservation and maintenance of the character-defining elements, and the fourth is a review of the proposed development highlighting the impact of the design onto the historic site and building fabric.

I. Condition Survey

This condition survey comprises of visual observations during a site visit of September 18, 2021. We reviewed the exterior and interiors of the building and its property. Generally, the building is in fair condition and well maintained for a building of that age. The purpose of the survey is to document the current condition of the historic place and more specifically the condition of the character-defining elements, those subject to conservation intervention where required. The choice of character elements is instructed by the *Standards and Guidelines for the Conservation of Historic Places in Canada* as well as the history of the building. The current list of character-defining elements is included in the *Statement of Significance* prepared by the owners of the house and included in the appendix of this report.

For the purpose of this document, the 16th Street façade is west, the Haywood Avenue façade is south. The first floor is the main floor and the floor above, the second floor and the lower floor, the basement. Photographs in this report have been taken by dewhirstlessard unless noted otherwise.

I.1: Property

The Clegg House property is a deep and wide lot with a spacious ground at the corner of 16th Street and Haywood Avenue. A continuous hedge runs along the two streets. The Clegg House sits in the middle of the property. There is a separate garage structure hovering over the creek in the landscape northeast of the house. A cluster of imposing cedars trees adjacent to the driveway is standing at the northwest corner of the property and a mature apple tree on the northeast corner of the property next to the creek. The lot has a significant relationship to the Vinson Creek, complete with a rustic pedestrian bridge on the adjacent property (See appendix 6). A stone retaining wall defines the house grade from the lower portion of the side yard on the south side. An apple tree grows on the southern side yard. Generally, the grounds of the Clegg House are well kept.



Figure 13: Side yard facing south



Figure 14: The Vinson Creek from bridge
(adjacent property 1573 Haywood)



Figure 15: Looking south from garage

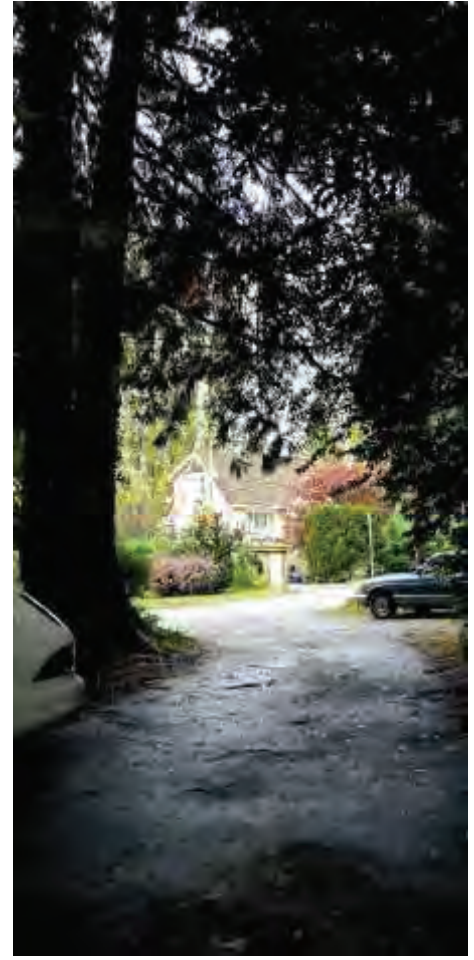


Figure 16: Driveway to 16th Street



Figure 17: Garage on the north side of the property

I.2: Massing



The massing of the Clegg House is representative of the Late Craftsman Style. Its low pitch roof, with dormers, and low center of gravity is typical of the Craftsman style massing.

The current additions, such as the east side deck extension of the back porch landing is subordinate to the historic building, yet distinct. The geometry of the house is visible and free of distracting elements and additions.

Figure 18: Southeast corner with added kitchen deck

I.3: Roofs Details

The original roofing was cedar shingles as exposed from the attic; the current vintage asphalt shingles (installed on plywood over the cedar shingles) is in fair condition. To our knowledge, at the end of its useful life. The wooden details associated with the roof include knee-brackets at gable ends with pointed end, open tongue-and-groove board soffits, exposed rafter tails, bargeboards with swollen tails, roof edge mouldings, and ridge key, headboards, and top of wall moulding. The broken framing of the roof creates a slight flair of the roof profile. The bargeboard end is swollen to cover the flair profile and its tail is augmented by the addition of wooden trim pieces. There are three knee-brackets at each gable end. The headboard makes the transition between the siding and the overhung soffit. The narrow roof fascia is hidden by eavestroughs. These wooden elements are in fair condition, although cracked bargeboards and damaged roof edge mouldings are visible throughout. Dormer, box window, and porch roofs are discussed below. The main roof is not insulated, but insulation lays on top of the second-floor ceiling. The small vent at the top of the front and back gable ends provides the only roof ventilation, which is unsightly and insufficient. The attic is accessible by a trap located in the ceiling of the second-floor hall.



Figure 19: Open soffit with exposed rafters, bracket, and barge board



Figure 20: Knee-bracket at gable end's, moulding and key with attic vent



Figure 21: Vintage asphalt roofing with gable end bargeboard and knee-bracket on the left and eavestrough on the right

I.4: Dormers

There are two existing gabled dormers, one on the south side and the other on the north side. Both dormers are off-centered on their respective sides. The dormers are clad with wooden lap siding with corner boards, consistent with the house siding. There is one dormer which has shingle cheeks on the south elevation. The gabled dormer roofs do not have a flare. The roof details include a generous overhang with an open soffit, tongue-and-groove boards, and exposed rafter ends. The dormer bargeboards have a downturned swollen tail similar to the main roof. Wooden lap siding is in good condition thus indicating that the overhang and flashing are effective. All dormer details appear in good condition.



Figure 22: Shingle dormer cheek at south elevation



Figure 23: Front of typical dormer with bargeboard, exposed rafter and open soffit

1.5: Lap Siding Details

The Clegg House cladding consists of a narrow lap siding above the main floor and wider board lap siding below. The two sidings are separated by a belt board running horizontally around the house at main floor level. Corner boards define each elevation of siding. There is a continuous wooden flashing on top of the belt boards thus diverting internal water and condensation to the outside. This detail is reminiscent of a water table which is usually located on top of the foundation to protect the walls below grade. Here the flashing projects approximately two inches beyond the cladding surface. The wooden flashing is in poor condition but appears to be mostly intact. A flush plate defines the bottom edge of the siding. Little exposed foundation wall is visible below the cladding. The exposed concrete foundation is not protected. The siding and associated details are in fair condition.



Figure 24: Lap siding, Water Table, Belt and Corner boards,



Figure 25: Profile of Water Table, Belt and Corner boards



Figure 26: Headboard above siding



Figure 27: Base plate below siding

I.6: Flower Box Studs

Flower box studs are located below the main floor windows of the south and east elevations. This is a common detail in the houses of the Late Craftsman Style; these also existed below the main and second floor windows on the front of the house as visible in *Figure 72*. The studs project beyond the exterior walls approximately 18 inches below the windowsills. The tail of the studs is shaped like a decorative bracket. Generally, these studs are in good condition.



Figure 28: South and east elevation flower box studs



Figure 29: Flower box studs profile

I.7: Front Porch

The front porch has a gabled roof supported by two plain square columns. The front bargeboards have an exaggerated tail end thus hiding the crimped framing to create the flare of the porch roof. The details of the porch roof include a solid front tympanum, exposed framing, barge boards with tail and ridge key, open soffit with tongue-and-groove boards, and exposed rafters. Two low balustrades contain the porch landing. The balustrades extend along the full-width front stairs. The wooden steps include closed risers. The side of the balustrades are clad in siding matching the house. A crude wooden railing has been added to the stair balustrade. The front porch is in fair condition.



Figure 30: Front porch and stairs



Figure 31: Front porch barge board and overhang



Figure 32: Balustrade



Figure 33: Front porch roof structure with clad tympanum in the foreground

I.8: Back Porch

The back porch, which provides access to the main floor kitchen, has a lean-to shed roof supported by two square columns. Details of the back porch roof include an open soffit, exposed framing, and rafters, eavestrough, bargeboards with chamfered tails, and edge moulding. A solid balustrade defines the north side of the landing. A large deck on the east side of the house is attached to the back porch landing. Closed riser stairs with a crude wooden railing runs along the north wall. The underside of the stair landing is open. The back porch and its roof are in fair condition.



Figure 34: Back porch with roof, landing, and doors



Figure 35: Back porch roof structure with barge board and exposed rafters

I.9: Windows

There are four types of windows at the Clegg House:

1. The windows of the two dormers and the ones on the east side of the second floor are original wood frame double hung windows with multi-pane upper sashes.
2. The stair landing, and foyer on north side, the west and east side basement windows are original wooden frame multi-pane fixed windows.
3. The south, west and east main floor wood frame picture windows with prevailing horizontal muntins including the two box windows and the front bay window.
4. Other few windows have sashes replaced with either vinyl frames including the patio door and side lites at the east side deck and two basement windows facing south.

All the windows of the Clegg House have a wooden frame and sash, except for a few vinyl (or aluminum) sashes replaced recently. The windows have wide exterior casings with projecting brick moulds and thin wooden muntins. Wooden sashes are single glazed with glass panes set in putty. Wooden windows are in poor condition with paint peeling and individual parts showing stress. Over painting and smeared putty is pervasive.

There are two box windows, one at the top of the front gable end, and the other on the south side of the main floor. Each has their own distinctive details, three knee-brackets support the window projection of the front box and an independent lean-to shed roof with exposed rafters covers the projection on the south side.



Figure 36: Window Schedule: West elevation



Figure 37: Window Schedule: North elevation



Figure 38: Window Schedule: East elevation



Figure 39: Window Schedule: South elevation

Drawings by Focus Architecture Inc.

PRELIMINARY WINDOW SCHEDULE

WEST ELEVATION	WINDOW TYPE	DIVISIONS	PERIOD
WW-1 LIVING ROOM	Wooden Bay – Fixed & 2 Casements	Multi-Pane	Old
WW-2 MASTER BEDROOM	Wooden Box Fixed & 2 Casements	Multi-Pane	Old
WW-3 BASEMENT	Wooden Fixed	Multi-Pane	Original
NORTH ELEVATION			
WN-1 KITCHEN	Wooden Fixed	None	Recent
WN-2 LANDING	Wooden Fixed	Multi-Pane	Original
WN-3 FOYER	Wooden Fixed	Multi-Pane	Original
WN-4 BATHROOM	Wooden Paired Double Hung	Multi-Pane	Original
WN-5 BASEMENT	Wooden Fixed	Multi-Pane	Original
WN-6 BASEMENT	Wooden Fixed	Multi-Pane	Original
WN-7 BASEMENT	Wooden Fixed	Multi-Pane	Original
EAST ELEVATION			
WE-1 DINING ROOM	Wooden Paired Fixed & Casement	Multi-Pane	Old
WE-2 DINING ROOM	Wooden Paired Fixed & Casement	Multi-Pane	Old
WE-3 KITCHEN	Aluminum Patio Door & Side Lite	None	Recent
WE-4 BEDROOM	Wooden Paired Double Hung	Multi-Pane	Original
WE-5 BASEMENT	Wooden Fixed	Multi-Pane	Original
WE-6 BASEMENT	Aluminum Fixed & Casement	Multi-Pane	Recent
SOUTH ELEVATION			
WS-1 LIVING ROOM	Wooden Fixed & 2 Casements	Multi-Pane	Old
WS-2 DINING ROOM	Wooden Box Fixed	Multi-Pane	Old
WS-3 DINING ROOM	Wooden Fixed	Multi-Pane	Old
WS-4 BEDROOM	Wooden Paired Double Hung	Multi-Pane	Original
WS-5 BASEMENT	Aluminum Fixed & Casement	None	Recent
WS-6 BASEMENT	Aluminum Fixed & Casement	None	Recent



Figure 40: Dormer pair of multi pane double hung windows (WS-4)



Figure 41: Interior side of pair of bedroom windows (WS-4)



Figure 42: Two pairs of multi pane fixed and casement windows- (WE-1 & WE-2)



Figure 43: Interior of dining room windows (WE-1 & WE-2)



Figure 44: Multi pane fixed with casements on both sides (WS-1)



Figure 45: Interior of living room window (WS-1)



Figure 46: Fixed multi pane window (WN-2)



Figure 47: Interior of stairs landing window (WN-2)



Figure 48: Basement window (WE-5)



Figure 49: Basement window (WN-5)



Figure 50: Multi pane bay window (WW-1)



Figure 51: Interior of living room bay window (WW-1)



Figure 52: Box window with knee-brackets (WW-2)



Figure 53: Box window with shed roof (WS-2)

I.10: Exterior Doors

The front door is offset on the left inside of the house, thus providing access directly to the foyer on the main floor. The door is a solid wood panelled door with an upper lite of cut-glass panes. The exterior door casing is wide with a raised sill. The interior door casing is consistent with the details of the interiors. The door assembly is in good condition. The kitchen door is a common panel door and the one to the basement is a crude contemporary door.



Figure 54: Front door exterior

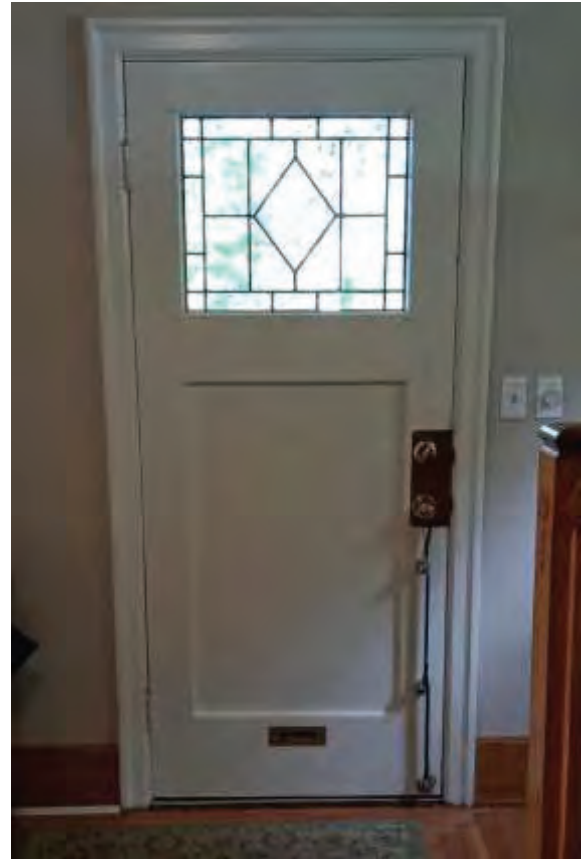


Figure 55: Front door interior



Figure 56: Basement door under back porch landing



Figure 57: Back porch door

1.1.1: Internal Brick Chimney

The brick chimney is barely visible from the adjacent streets since it has a short, exposed shaft located in the middle of the house. The shaft above the roof is in fair condition. Moss is growing at the top of the masonry shaft and cap. The fireplace is an important feature of the main floor. The fireplace includes a decorative wood mantle. The fireplace is in good condition. The brick shaft rising through the attic has been sloppily repointed and shows signs of continued water penetration.



Figure 58: Internal chimney shaft above roof



Figure 59: Fireplace



Figure 60: Chimney through attic space, with wooden trusses and bat insulation on above ceiling

I.12: Exterior Paint Colours

The exterior paint of the siding and trim has been neglected and is generally in poor condition. Cracking and peeling are visible all over the house exterior. Original colours can be seen on the north elevation, where siding with natural look exists beneath the white coat. Black painted wood trim around windows is also visible. The black colour was common in the Victorian era, but it was not typical of the 1920's.



Figure 61: Black trim colour beneath the blue accent paint



Figure 62: Natural look of siding beneath the white paint



Figure 63: Peeling of siding paint and vegetal invasion



Figure 64: Peeling of window trim paint

I.13: Residential floors

The interiors of the house include few ornaments and generally plain and unadorned. Modest baseboards, fir wood floors, the wooden staircase, and restrained window casings are the only distinctive details in the inside of the Clegg House.



Figure 65: Dining room

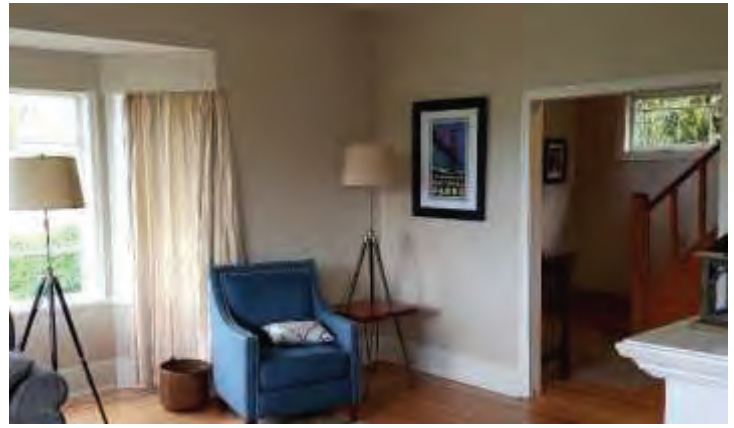


Figure 66: Living room and foyer



Figure 67: Main stairs



Figure 68: Entrance foyer

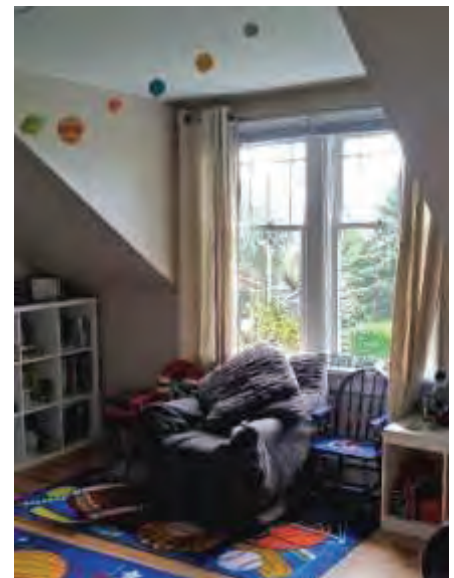


Figure 69: Second floor bedroom

2. Integrity

This section is a review of the integrity of some aspects of the house, as to whether they are original or not. The review consists in exposing the design and materials incorporated in the 1929 construction, as far as we can tell today. Some elements are visible; others are hidden, while some have completely disappeared. In this case most of the elements of the residence are original.

- The east side deck is an addition
- The original roof was cedar shingles
- The dormer cheeks were clad in cedar shingles
- Front elevation main floor bay window is not original to the house
- Front porch columns replaced original brackets
- Several windows and sashes have been replaced (see schedule above).
- The window planting boxes have been removed
- Exterior paint colours are not original;
- Belt board was painted as a trim colour (see picture below)
- Front and rear gable end attic vents were added
- Interior basement stairs were added



Figure 70: Front elevation with original porch brackets flower boxes and double hung windows photo from the Clegg family



Figure 70: South elevation with original windows (photo from the Clegg family)

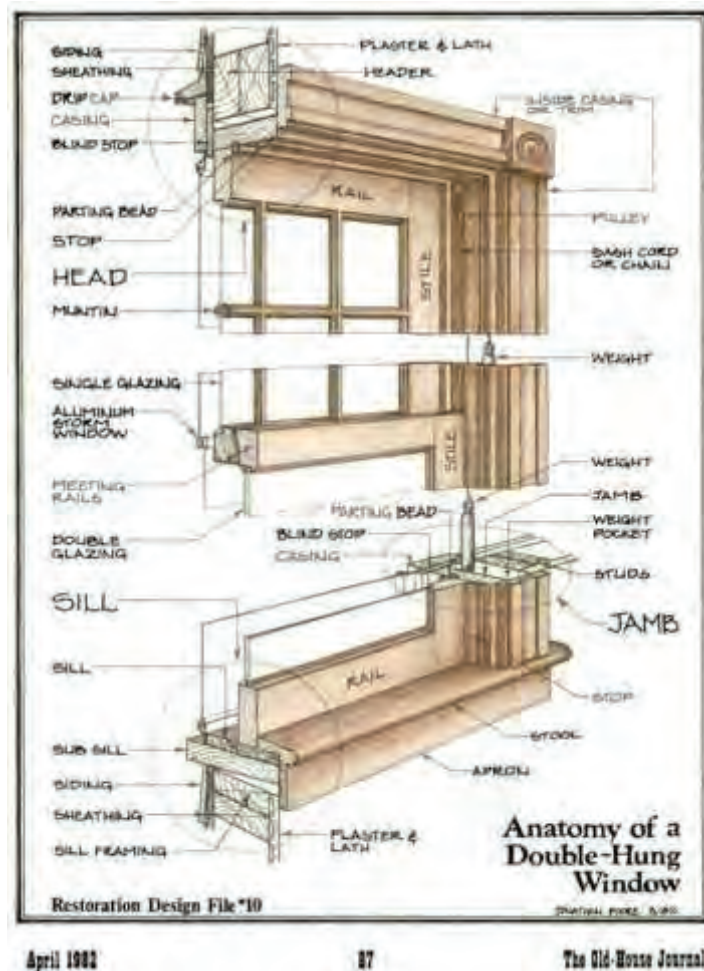


Figure 71: Anatomy of a double hung window in the Old-House Journal

3. Recommendations

The following recommendations are based on accepted conservation principles found in “*The Standards and Guidelines for the Conservation of Historic Places in Canada*”. These recommendations prescribe strategies to preserve, rehabilitate and/or restore the character-defining elements, listed with the *Statement of Significance*, and any part of the property that would impact the historic place. The recommendations do not necessarily apply to immediate interventions but may apply to future work, some of which will be ongoing maintenance work.

- **Preservation** refers to Character-defining elements, original or recent, recommended to be maintained.
- **Rehabilitation** refers to repair and consolidation of existing Character-defining elements as well as the interventions to existing character elements added in a recent past.
- **Restoration** refers to replacement of elements including literal reconstruction or inspired by known past residential design of the same style and appropriate historic models found in Vancouver.

Generally, the recommendations are pertaining to the street facades, most visible and representative of the historic significance of the heritage building. Yet, these recommendations can also apply to the back and side elevations.

1. **Property; Preservation:** The Clegg House should retain its presence at the corner of 16th Street and Haywood Avenue. The historic house should retain a significant relationship to the Vinson Creek. The cluster of cedar trees at the northwest corner of the property should be preserved.
2. **Massing; Preservation:** The orientation of the house should be preserved. The 1-1/2 storey body and front gabled roof including its dormers should be maintained. The massing of the Clegg House, as viewed from street corner should be maintained. There should be no substantial additions or removal that would hinder the integrity of the style of the house. Any additions to the house and property should be subordinate to the historic character of the structure. Additions to the historic place must be distinct and compatible with the existing.
3. **Main Roof and Details; Preservation:** The main gabled roofs with its slight flare, the large overhang, the open tongue-&-groove soffits with exposed rafters, the bargeboards with the swollen tails, the headboards with its moulding, and the six knee-brackets must be maintained. Following our preliminary observation, the condition of most of these features is adequate and should be rehabilitated and maintained where possible. The roof should be inspected by a specialist; the roofing is aged and should be considered for replacement; the owner should consider new cedar shingle roofing throughout. The bargeboard tails are made-up of two to three wooden pieces visibly separating from each other; all joints should be tightened and secured. Where defective, entire lengths of wood must be replaced; patching is not acceptable. Damaged elements should be replaced with matching material in kind, size, and design. The painted elements, especially the soffits, brackets, and rafters should be stripped and refinished.
4. **Roof Insulation; Rehabilitation:** Currently, the roof is insulated above the second-floor ceiling, and sufficient ventilation should be provided with linear soffit vents, and additional gable end vents. The new vents should be discreet and as invisible as possible. The current vent on the west elevation, should be removed, or relocated more discretely. We do not recommend insulating on top of the roof deck since this installation would change the roof profile. Insulating under the roof deck should be considered, thus minimizing the venting requirements.
5. **Dormers; Preservation:** The condition of the existing dormers should be reviewed in detail by the roofing specialist. Any changes, alterations or additions to the dormers should be consistent with the same front gabled style. The bargeboard tails should be repaired, if possible, otherwise the whole bargeboard should be replaced with matching material and profile. Damaged elements should be replaced with matching material in kind, size, and design. Reinstating the cedar shingles at the dormer cheeks should be considered.
6. **Foundation Wall; Rehabilitation:** The Owner reported that the perimeter drainage had completely failed and was replaced with a four-inch pipe above ground which gathers rain from the downspouts. The perimeter drainage should be reviewed; the addition of permeable fill next to the house would prevent ponding against the foundation walls. An 18-inch drainage course should be added around the building to keep the planting clear of foundation walls and siding. The foundation walls should be inspected thoroughly by a structural engineer for uneven settlement, cracks, and leakage. Minor cracks should be patched, and major ones should be engineered. The exposed foundation walls above grade should be rendered with a protective coating.
7. **Lap Siding; Rehabilitation/Preservation:** The lap siding at the lower and upper parts of the house is in fair condition, and much of existing material should be maintained. The material replacing damaged boards should match the existing in kind, size, and design. Entire lengths of siding boards should be replaced where required; patching is unacceptable. The condition of the base plate and corner boards should be reviewed since some parts are close to grade. The base plates and corner boards should be continuous. Damaged boards should be replaced with material matching the existing in kind, size, and design. Where defective, the entire length must be replaced; patching is not acceptable.

8. **Belt Board and Water Table; Rehabilitation:** The two-tier belt boards are in good condition and should be maintained. Damaged pieces, although very few, should match existing material in kind, size, and design. Entire lengths should be replaced where required; patching is unacceptable. The boards should be stripped of the paint and refinished. The water table (wooden flashing at main floor level) above the belt board is in poor condition and should be replaced entirely with matching material and profile; alternative material could be considered as long as the appearance is similar to the existing water table.
9. **Flower Box Studs; Rehabilitation:** The flower box studs projecting from the exterior wall surface should be reviewed for structural integrity, capable of supporting the intended load. The studs should be refinished and maintained. Consideration should be given to reinstating the ones removed from the front of the house if the bay window is removed or altered. Flower boxes could be reinstated below windows with opening lower sashes.
10. **Front Porch; Preservation/Rehabilitation/Restoration:** The porch roof, stairs, and balustrade should be maintained. Consideration should be given to reinstating the wall brackets to support the porch roof, thus removing the two existing columns (see *Figure 72*). The brackets should be designed structurally and, in a style consistent with the rest of the house. Low balustrades and the associated siding are typical of the Craftsman style and should be maintained. If additional railings are required, simple discreet pipe railings should be considered, so that it does not distract from the original design. Exposed roof structure with tongue-and-groove boards, tympanum siding, bargeboard, flare, and rafters must be refinished and maintained. Wooden stairs should be painted a trim colour consistent with the rest of the house. Damaged boards should be replaced with material matching the existing in kind, size, and design. Where defective, entire length must be replaced; patching is not acceptable.
11. **Back Porch; Preservation/Rehabilitation:** The roof, columns, and solid landing balustrade should be maintained. The roof structure with exposed rafters, and bargeboards must be refinished and maintained. The roofing material should match the rest of the house. Wooden stairs should be painted a trim colour consistent with the rest of the house. A railing conforming to code should be installed at the stairs, distinct but compatible. Damaged elements should be replaced with material matching the existing in kind, size, and design. Where defective, entire lengths must be replaced; patching is not acceptable.
12. **Windows; Preservation/Rehabilitation/Restoration:** Original double hung windows, fixed landing and basement windows must be refurbished and maintained. Stripping paint, weatherstripping, and reinstating putty seal at muntins should be completed by a window specialist. The operation of the opening sashes should be smooth and comfortable. The weights and pulleys must be reviewed and repaired if defective. Hardware should be consistent with the character of the windows. We recommend the addition of sash sashes to the interior window side to improve the performance of the existing windows while maintaining the exterior as original.

To improve the authenticity of the front elevation, consider removing the front bay window thus reinstating the trio of double hung windows originally designed for the house (see *Figure 71*); alternatively, introducing double hung windows within the existing bay window. Reinstating the double hung windows at all existing picture windows on the south and west façade would re-establish the original proportions of the house. The double hung windows alter its scale from horizontal to vertical, an important characteristic of the historic house. The conversion of the picture windows would also justify weathering improvements by using sealed unit glazing. We feel that reinstating the proper proportions of the windows would improve the historic character of the house; on the other hand, we do not feel that it is necessary to reinstate the multi pane upper sashes, where they no longer exist, as they contribute less to the historical character of the house. Exterior casing and brick moulds should be maintained or replaced if damaged. Damaged elements should be replaced with material matching the existing in kind, size, and design.

13. **Front Door; Preservation:** The front door is consistent with the style of the house and can be maintained. If replaced the new door should be selected from vintage designs.

14. **Internal Brick Chimney; Rehabilitation:** Structural engineer and mason should review the brick chimney foundation, and shaft inside and above the roof. The exterior masonry shaft should be re-pointed, and the damaged brick should be replaced with matching material if required; the exterior masonry shaft and cap should be maintained as original above the roof. If the chimney is operational, it should be reviewed to conform with current codes. If not operational, the exterior shaft should be maintained and repaired. The existing fireplace, mantle, and surrounds should be maintained and refinished as required. The hearth and flue should be inspected should the fireplace operation be reinstated.
15. **Painting: Rehabilitation/Restoration:** The colour distribution between the body of the house and the trim should be maintained, except for the belt board which should be accentuated with the darker colour. If the house is repainted the colours should be selected from the 1910 to 1930 palette on page 25 of this report.
16. **Site review:** We recommend that a Heritage specialist be retained to perform periodic site review when alterations are in progress to ensure the integrity of the historic fabric. The consultant should also be advised of discoveries on site to adjust the conservation strategy, if deemed necessary.

4. Review of Proposed Development

The proposed development includes the relocation of the Clegg House southwest of its existing position to allow the creation of a second lot to the north severed from the existing property with a new house and detached garage on the newly created lot, the construction of a garage with a residential suite above located between the relocated Clegg House and the proposed new house and lot, the rehabilitation of a basement suite of the historic house with a walk-out to a terrace, two parking spots at the southeastern corner of the property and two new boulevard parking bays on Haywood Avenue. The relocation of the Clegg House will require the momentary removal of exterior decks and porches.

Two new dormers will be added to the heritage home, one on the south side and another on the north side. A new basement entrance door and patio will be added on the south side. The east side deck will be rebuilt and enlarged to measure the entire width of the house. Apart from the new dormers, the entire fenestration of the west and south façade will remain but refurbished with new double-hung windows and multi-pane sashes. The proposed front porch will be rebuilt as per original design. One basement window will be removed on the north elevation while the kitchen window will be reduced to its original size. The rear basement door will be moved from the north elevation and relocated onto the east elevation, under the deck. New patio doors will be added to the main floor of the east elevation thus improving the exposure to the rear deck. A small mud room window will also be added at the northeast corner of the house.

The proposed exterior colours have been reviewed by the Vancouver Heritage Foundation (VHF) staff. Built in 1929, the Clegg House could have been painted with colours included in the VHF True Colour program. Although the period of this house is transitional into a modern palette, the choice of Victorian/Edwardian colours is still appropriate, since several Craftsman Houses maintained the “True Colours” well into the 1930’s. See *Your Old House – True Colours* by S. Halfnight and D. Luxton on behalf of the Vancouver Heritage Foundation 2001.

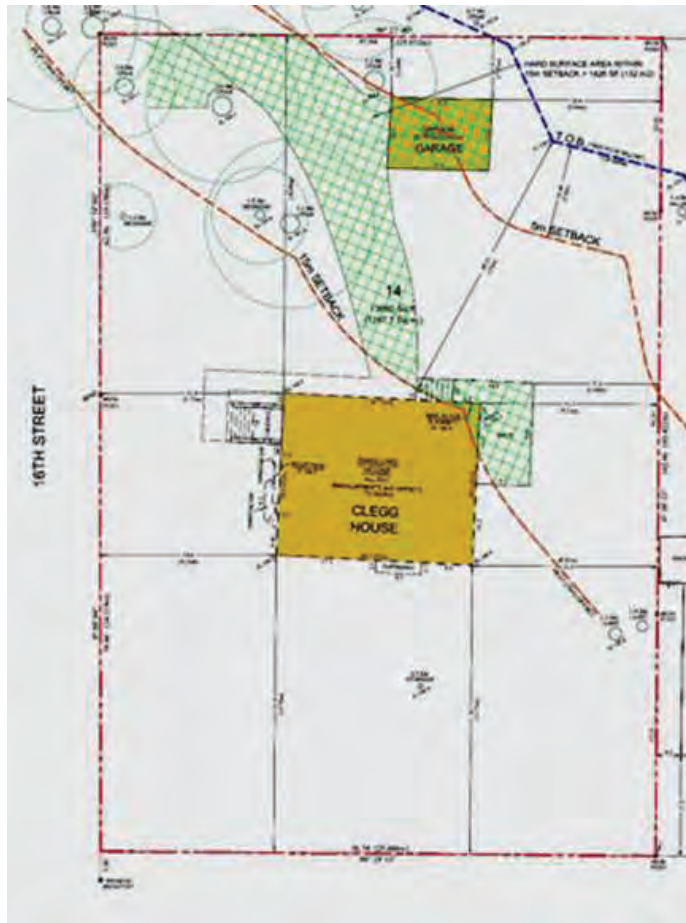


Figure 72: Existing Site Plan _ Focus Architectural Inc

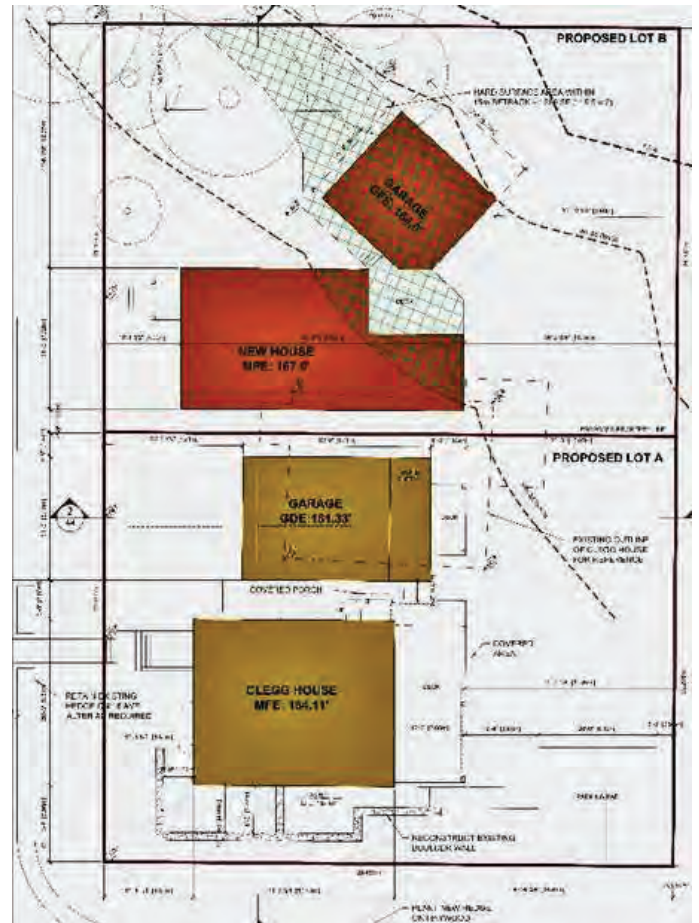


Figure 73: proposed lot A & Lot B with relocated heritage home



Second Floor

Main Floor

Basement

Figure 74: Proposed floor plans with basement suite, main Floor with east facing deck and second floor with added dormers_ Focus Architectural Inc



Figure 75: Existing south elevation _ Focus Architectural Inc



Figure 76: Proposed south elevation with new dormer and basement entrance _ Focus Architectural Inc



Figure 77: Existing West elevation with covered front porch_ Focus Architectural Inc



Figure 78: Proposed West elevation with link to garage on the left inside_ Focus Architectural Inc



Figure 79: Proposed North Elevation with additional dormer_ Focus Architectural Inc



Figure 80: Proposed East elevation with garage on the right inside



Figure 81: Street elevation with 16th Street on top and Haywood Avenue at the bottom_ Focus Architectural Inc

Impact of the Development onto the Historic Place

We support the proposed development and consider its implementation a positive addition to the Ambleside neighbourhood. The preservation, rehabilitation and restoration of the key character-defining elements will highlight the heritage value of the historic house. The restored fenestration and window types, in particular, reinstates the historic character of the house. The rehabilitation of the roof eaves details, and the siding in general will contribute greatly to highlight the Clegg House as a major West Vancouver cultural asset.

In the currently proposed site plan, the relocation of the Clegg House closer to both 16th Street and Haywood Avenue, will lessen the commanding character of the historic place, yet still maintains its corner location. The north elevation will partly be overshadowed by the addition of a coach house, but the two structures will be separate and distinct. Additions to the site, specifically the structures north of the historic house should be distinct and compatible in materials and colours.

Since the front porch will be dismantled in order to accommodate the relocation of the house, the original knee-brackets supporting its roof will be restored. The window flower boxes will be reinstated at the Clegg House, thus enhancing the exterior of the Craftsman style house. The proposed back deck staircase roof will also be restored after the moving of the house. Masonry chimneys are important character-defining elements of the Craftsman Style, and the exterior shaft of the brick chimney will be restored.



Figure 82: The Clegg House viewed from Haywood Avenue _ Focus Architectural Inc



Figure 83: Southwest corner of the Clegg House - Focus Architectural Inc

Appendix:

AI: Standards and Guidelines for the Conservation of Historic Places in Canada *excerpt*

The Standards for the Conservation of Historic Places in Canada are intended to promote responsible conservation practices that help protect Canada's irreplaceable historic places. They provide a philosophical consistency for project work; and while neither technical nor case-specific, they provide the framework for making essential decisions about which

Applying the Standards

features of a historic place should be maintained, and which can be altered.

Conservation in the context of these Standards refers to retaining the heritage value of historic places and extending their physical life. Retaining the heritage value of historic places is primarily ensured through *interventions* that have a physical effect on the tangible elements of a historic place that do not obscure damage or destroy character-defining elements. The latter consist of the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of the historic place. It is useful to consider conservation under three distinct headings: *Preservation*, *Rehabilitation* and *Restoration*, while recognizing that a given conservation project will often include a combination of these activities.

Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. There are nine Standards relating to *Preservation*, and they must all be applied to a *Preservation* project. Since protection, maintenance and stabilization are at the core of *all* conservation projects, all nine *Preservation* Standards must be applied to *any* conservation project.

Preservation should be considered as the primary treatment when (a) the historic place's materials, features and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; (b) depiction during a particular period in its history is not appropriate; and (c) a continuing or new use does not require extensive alterations or additions. *Preservation* tends to be the most cautious of the conservation treatments and retains the most materials. It is therefore most appropriate when heritage values related to physical materials dominate. A plan for *Preservation* should be developed before work is undertaken.

Rehabilitation involves the sensitive adaptation of a historic place or of an individual component for a continuing or compatible contemporary use, while protecting its heritage value. This is achieved through repairs, alterations and/or additions. Three Standards relate to *Rehabilitation* and all three must be applied to a *Rehabilitation* project, in addition to the nine *Preservation* Standards.

Rehabilitation should be considered as the primary treatment when (a) repair or replacement of deteriorated features is necessary; (b) alterations or additions to the historic place are planned for a new or continued use; and (c) its depiction during a particular period in its history is not appropriate. *Rehabilitation* can revitalize historical relationships and settings and is therefore most appropriate when heritage values related to the context of the historic place dominate. A plan for *Rehabilitation* should be developed before work begins.

Restoration involves revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, as accurately as possible, while protecting its heritage value. Two Standards relate to *Restoration*, both of which must be applied to a *Restoration* project, in addition to the nine *Preservation* Standards.

Restoration may be considered as the primary treatment when (a) the significance of a historic place during a particular period in its history *significantly* outweighs the potential loss of existing materials, features and spaces from other periods; (b) there is substantial physical and documentary or oral evidence to accurately carry out the work; and (c) contemporary alterations and additions are not planned. *Restoration* is most appropriate when strong associative or symbolic heritage values have been obscured and can be revealed through removals, repairs and replacements based on detailed historical evidence. Before the work begins, a particular period (i.e., the restoration period) must be selected and justified, and a plan for *Restoration* should be developed.

General Standards (all projects)

1. Conserve the *heritage value* of a historic place. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*.
2. Conserve changes to a *historic place* which, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other *historic places* or other properties or by combining features of the same property that never coexisted.
5. Find a use for a *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize a *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an *intervention*.
8. Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place*, and identifiable upon close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where *character-defining elements* are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the heritage value and *character-defining elements* when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the restoration period. Where *character-defining elements* are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

A2- Building Code Equivalencies

Excerpts from the BC Heritage Branch Web site:

The B.C. Building Code is a regulation made under the Municipal Act. It is based, in large measure, on the National Building Code of Canada. The code is essentially a set of minimum provisions respecting the safety of buildings with reference to public health, fire protection and structural sufficiency. It is not intended to be a textbook on building design, advice on which should be sought from qualified sources. Its primary purpose is the promotion of public safety through the application of appropriate uniform building standards.

The Building Code Recognizes Heritage Buildings. The B.C. Building Code defines heritage buildings as the following: Heritage buildings are buildings that are legally recognized by the Province or local government as having historic, architectural or cultural value for the Province or their communities. To qualify as a heritage building under the Building Code, a building must be designated or recognized by the Province or the municipality where the site is located.

There are relaxations in the Building Code for Heritage Buildings. The B.C. Building Code supplies a table of "Alternate Compliance Methods" for heritage buildings. The Building Code states:

It is generally recognized that the Building Code was primarily written for new construction and provides for a performance level that is significantly higher than what exists for many older buildings. To apply present Building Code requirements to existing buildings, in many cases, is impractical and with Heritage Building may compromise historic appearances or authenticity. Therefore, the Table of Alternate Compliance Methods was developed to provide alternate methods for complying with the performance level intended by the Building Code.

For Alternate Compliance Methods Table: Contact your local major bookstore or visit the reference section at your local library for a copy of the "B.C. Building Code".

A3- BC Energy Efficiency Act

Heritage BC post

New regulations for the manufacture of windows, doors and skylights in B.C. took effect in 2009. Brought in under the BC Energy Efficiency Act, the regulations are part of a broad provincial strategy to reduce energy consumption in buildings. While designated buildings, thus buildings included in the heritage register by the Council under the Vancouver Charter, are exempt from the regulations, other heritage buildings are not. Existing windows and doors in heritage buildings may be refurbished without reference to the regulations, but replacement windows and doors will have to conform to the new rules. This includes storm windows.

A4- Maintenance

In keeping with the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), a maintenance program should be implemented ensuring the good condition and the longevity of the historic site. Vigilance and constancy are essential dispositions in maintaining an historic site.

Light cleaning and minor repairs can be achieved on a regular basis. Major repairs, alterations and changes to the appearance of the historic site require a Heritage Alteration Permit issued by the City. <http://vancouver.ca/home-property-development/heritage-alteration-permit.aspx>

All interventions to the character-defining elements of a historic site must comply with the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010). The following is an inspection checklist to help the owner and/or caretaker of the historic site to identify potential problems with his/her property; this is not an exhaustive list and is meant as a general guide of some of the type of issues met as a normal life-cycle of a residential property:

Site:

Drainage: rain run-off away from the building foundations, sidewalks and neighbours
 Dampness: excessive accumulation of dampness harboured in crawl spaces
 Roots: assailing of roots onto structures and waterproof membranes
 Trees: organic droppings on roofs and eavestroughs from adjacent trees
 Branches: friction and intrusion of branches onto buildings elements
 Plants: crowding of exterior walls and surfaces by plants and vines
 Paving: cracks and organic growth in paving stones and pavements
 Steps: level and railing safe and secure
 Services: safe and minimum number of exposed conduits and wires
 Vermin: hoarding of material harbouring insects and vermin
 Critters: enclosed spaces secured from easy access
 Birds: roosting ledges subject to guano accumulation

Foundation:

Walls: exposed foundation walls may cause water penetration
 Spalling: cracks and dislodged parging material
 Movement: foundation walls shrinking and/or settling
 Slanting: crooked and slipping footings due to unstable ground
 Level: uneven foundation due to irregular settlement
 Deflection: sagging transom and lintels due to unstable structure
 Salt: presence of efflorescence in foundation walls
 Moisture: rising dampness around foundations indicates poor drainage
 Ponding: puddles adjacent to building will find its way into walls
 Spray: splashing of water onto building causes deterioration

Exterior woodwork:

Grade: soiling of siding may be caused by water absorption at grade
 Condensation: surface temperature difference creates condensation
 Fungi: evidence of surface mold and/or moss is caused by dampness
 Climate: bleached and/or soiled due to environmental conditions
 Shape: dimensional deformation and warping of planks and lumber
 Split: cracked wood and fallen knots indicates movement and dryness
 Surface: soiling by rust, mildew or bleeding may require refinishing
 Fasteners: rust and displaced nails and screws indicates movement
 Joints: opened joints between wood members indicates movement and/or shrinkage

Paint: blistering, alligatoring and peeling caused by age, application or layering

Doors and Windows:

Glass: missing or broken

Putty: missing or aged putty may indicate loose glass

Vents: ease of sash operation and condition of hardware

Condensation: surface deterioration may be due to condensation

Frame: dimensional deformation and warping of frame prevent smooth operation

Head: rain water wash may be due to missing or ineffective top flashing

Sills: weathering sills may be due to soiling and sitting rain water

Drip: rain water wash below window may be due to missing or defective drip

Sealant: missing or aged sealant between siding and frames may cause leaks

Weather-stripping: continuous weather-stripping is effective in keeping weather out

Hardware: locks, latches and closers functioning properly

Flashing and eavestroughs:

Flashing: missing or defective at top of ledges, walls adjacent to roofs, chimneys, roof valleys and ridges

Eavestroughs: secure, continuous and allowing easy flow; watertight and connected to downspout

Rain water leader: continuous and watertight evacuating into drainage system away from building

Roof:

Surface: moss and soiling is visible when the roofing membrane or shingles holds humidity

Eaves: the leading edge is wet when water accumulates and ponds at eaves

Shingles: displacement of shingles indicates poor fastening

Popping: nails and/or screws protruding indicates movement

Flashing: continuity of flashing at area of discharge

Woodwork: damage from leaks at closed soffits, barge board and roof trim

Attic:

Insulation: wet insulation indicates roof leaks or missing vapour barrier

Ceiling: soiled gypsum boards at upper ceiling indicates leak or condensation

Ventilation: excessive humidity in attic indicates lack of ventilation

Birds: guano in the attic indicates presence of rodents or birds

Structure: structural movement causes roof leaks

Basement:

Floor: cracked floor indicates ground water and/or movement

Wall: wet surface indicate condensation and/or ponding against foundation walls

Cleaning:

Method: use non-abrasive cloth and soap to clean exterior elements of historic site

A5 – Statement of Significance Background

Prepared by Darrin and Meghan DeCosta, August 2021

History and Background

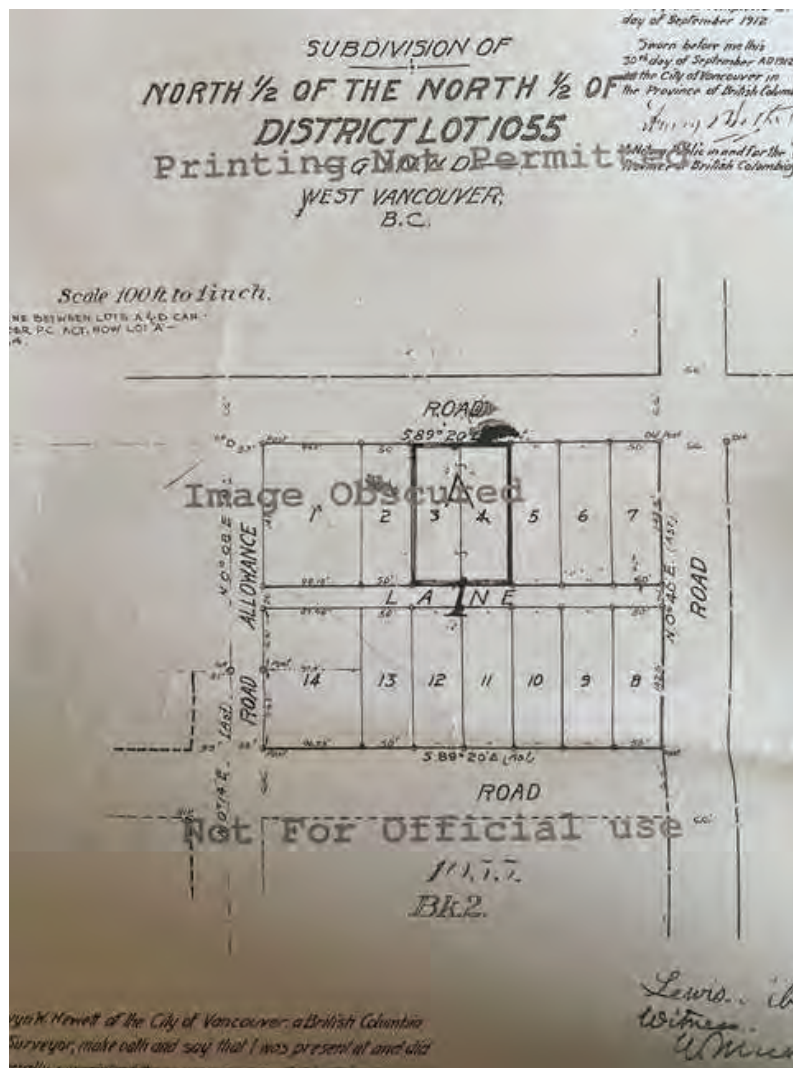
CLEGG HOUSE

1591 HAYWOOD AVE, WEST VANCOUVER

March 2022

HISTORICAL CONTEXT

Navy Jack Thomas was the first European settler to build on what is now Argyle Avenue and 18th Street in 1873. Other permanent residents followed once a ferry service was established in 1909, and by 1912, West Vancouver was incorporated. With the City of Vancouver experiencing a population boom, swelling its population to over 100,000 inhabitants, development on the north shore began to increase. The subdivision of District Lot 1055, the lot on which the Clegg House was built, occurred in 1912, however the lot remained vacant for the next sixteen years due to the interruption of the First World War. After WWI, development began to increase again and Warren Leach Clegg, of Dahinda, Saskatchewan, purchased lots 13 and 14 of District Lot 1055 (Civic addresses: 1591 Haywood and adjacent 1573 Haywood) for \$575 and \$315 respectively.



Subdivision Plan, 1912

THE CLEGG FAMILY

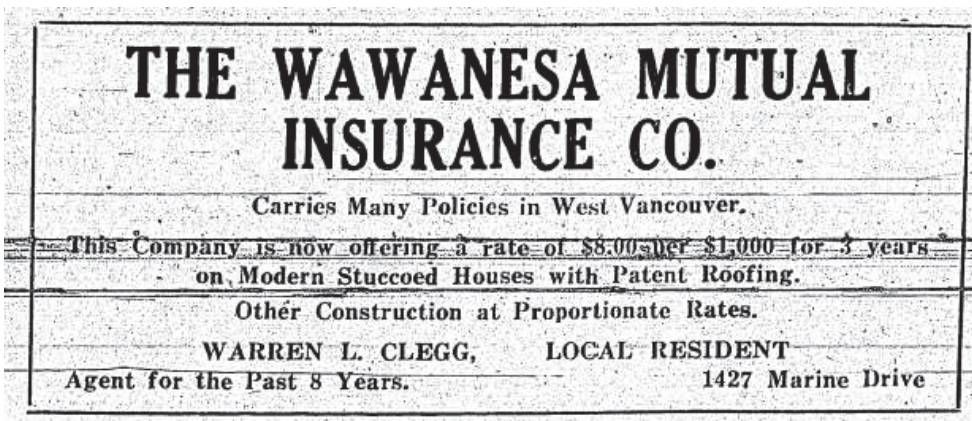
Warren Leach Clegg was born in Heywood, Lancashire, England on October 11, 1871 to Samuel and Elizabeth (nee Broadbent) Clegg. He emigrated to Canada in 1904, indicating his profession was Sanitary Engineer and his destination, Ontario. He was drawn west to the Kootenays before relocating to Saskatchewan, lured by the prospect of farming the Canadian prairies. He homesteaded a farm near Dahinda, Saskatchewan and was quite successful, according to an article of the time, and his grain won prizes at contests in Chicago.

His business partners on the farm were James Mitchell, brother of his future wife, Margaret Mitchell, and Edwin Martindale, his future brother-in-law, who unfortunately would later die of his wounds in France in WWI. Edwin's widow, Mary Martindale, then began living with Warren and Margaret. Margaret was born on January 14, 1881 in Mossley, Lancashire, England to John and Ann Bradberry (nee Valentine) Mitchell. Interestingly, Warren was a bachelor until his mid forties - perhaps motivated to work during his most vital years. Warren and Margaret were married in 1914 and their first son, John was born December 6 of that year. By 1926, they had four children, John (11), Anne (6), Helena (5), and Edwin (5).

Anne, Ted and Helena attended Hollyburn school beginning in 1929, while John, five years older than Ann, attended West Van High. All four were good students and received mentions in the West Van News and are featured in numerous class photos. Ted is listed in the West Vancouver Book of

Remembrance as one of a long list of students who went off to fight in WWII. The family was active in the St. Stephens Anglican Church, with the children participating in Christmas pageants and events. Warren worked for many years in West Vancouver as an insurance salesman for Wawanesa Insurance, with offices at 1427 Marine Drive.

Warren Clegg, circa 1915



Advertisement from West Van News, November 1937.

In 1936 the family purchased a farm in the Fraser valley and John, Ted, their mother and their aunts moved to the farm on a permanent basis. Warren remained behind in West Vancouver attending to his business. After a short time, Warren downsized residences and sold the Clegg house to the Forsyth family. Warren remained in West Vancouver, residing at 1640 Fulton Ave with his daughters until his death in 1945. His wife Margaret died in 1984 at the age of 103. Both Margaret and Warren are interred in Capilano View cemetery in West Vancouver.



Left to Right: Warren Leach Clegg, Helena Clegg, Margaret Clegg, Elizabeth Clegg, John Clegg, Anne Clegg, Ted Clegg, Mary Martindale.
Location: Farm in Rosedale, BC



Margaret Clegg and John Clegg Location: Fraser River Ferry near New Westminster, circa 1950

CONSTRUCTION

On February 20, 1929, Warren requested access to Lots 13 and 14. The Power to Act cost \$35.00 and was referred to the Chairman of the Board of Works. In February, the West Van News reported that Warren also applied for and received a building permit improvement value of \$3,000. No architect or builder was listed at the time. The house was completed in five months and the family announced they had moved into the house in the July 12, 1929 edition of the West Van News.



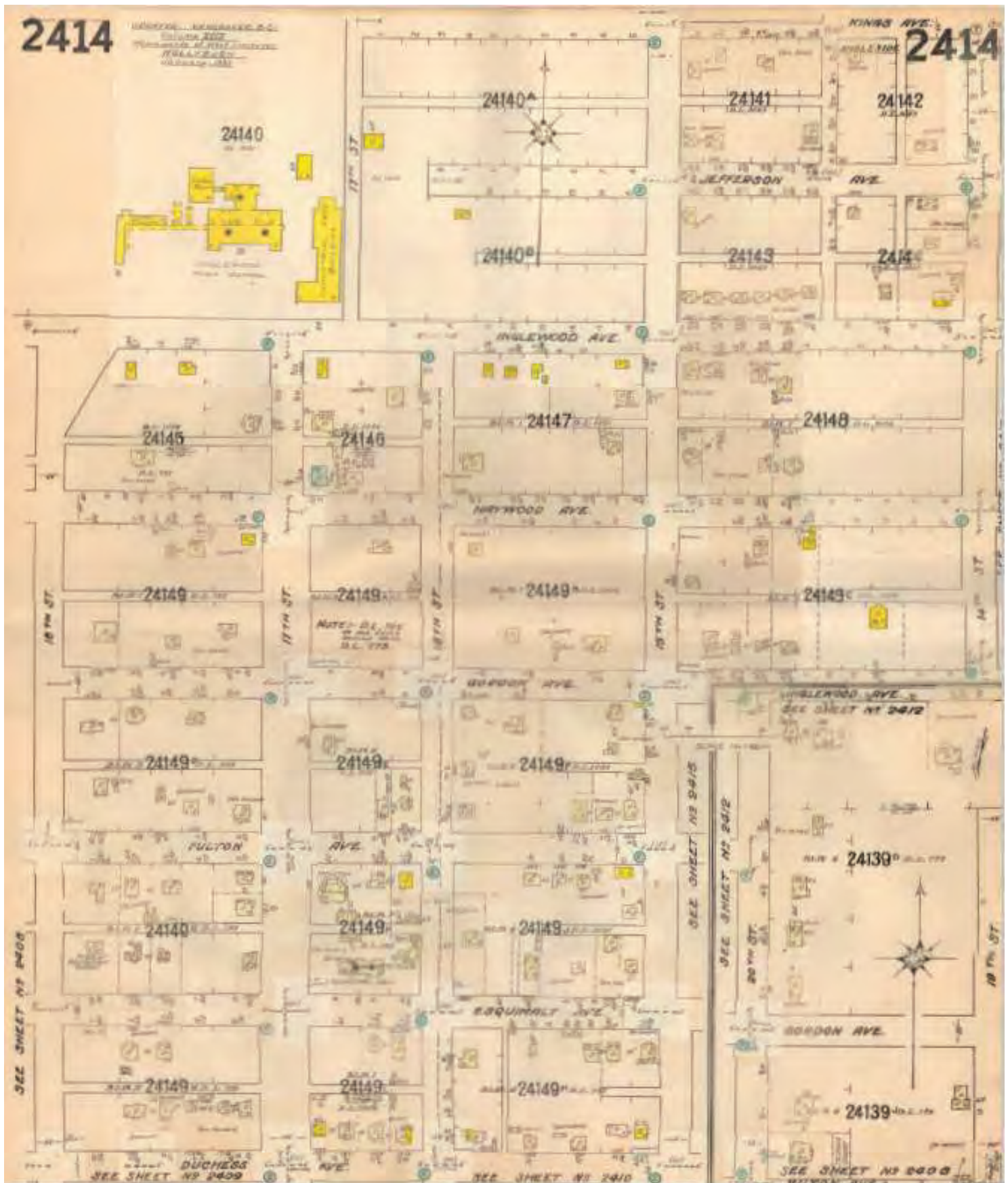
Figure 84: South Elevation of Clegg House, circa 1933



Figure 85: West Elevation circa 1931

OCCUPANCY:

1929-1939 Warren and Elizabeth Clegg
1939-1946 A Forsyth
1946-1964 RM Horsey
1964-2021 Elizabeth Flemming
2021-current Darrin and Meghan De Costa



1930 Fire Insurance Map | West Vancouver Archives

DISTRICT OF WEST VANCOUVER
HERITAGE INVENTORY 1987

DISTRICT OF WEST VANCOUVER &
FOUNDATION GROUP DESIGNS LTD.

RESOURCE TYPE A: BUILDINGS



Clegg House, 1591 Haywood Avenue

1.0 IDENTIFICATION

- 1.1 NAME OF BUILDING: CLEGG HOUSE
- 1.2 STREET ADDRESS: 1591 HAYWOOD AVENUE
- 1.3 LEGAL DESCRIPTION: Lot: 14 Block: 1 Plan: 4180
DL: 1055 NORTH 1/2 OF NORTH 1/2
- 1.4 ROLL NUMBER: 1304 04
- 1.5 ZONING: RS5
- 1.6 TAX ASSESSMENTS: Land: \$135,200 Improvements: \$42,000
- 1.7 PRESENT OWNER AND ADDRESS: Elizabeth Ellen Flemming,
1591 Haywood Avenue,
West Vancouver, B.C., V7V 1W4
- 1.8 EVALUATION CLASS: SUPPORT

2.0 HISTORICAL SIGNIFICANCE

- 2.1 CONSTRUCTION DATE AND SOURCE: 1929 KNOWN (See 6.1)
- 2.2 ORIGINAL OWNER AND SOURCE: Warren Clegg (See 6.1)
- 2.3 ARCHITECT AND SOURCE: Unknown
- 2.4 BUILDER AND SOURCE: Unknown
- 2.5 PEOPLE OR EVENTS OF HISTORIC INTEREST ASSOCIATED WITH THE SITE:
Clegg is listed as living in Dahinda, Saskatchewan when the house was built.

3.0 USAGE

- 3.1 ORIGINAL USE: Single Family Residence
C.I.H.B. NUMBER: 0101
- 3.2 PRESENT USE: Single Family Residence
C.I.H.B. NUMBER: 0101

4.0 ARCHITECTURE AND STRUCTURE

- 4.1 FOUNDATION MATERIAL: Concrete
- 4.2 BASEMENT: Full
- 4.3 NUMBER OF STORIES: One and One-half
- 4.4 STRUCTURAL MATERIAL: Wood Frame
- 4.5 CLADDING: Wide wooden lapped siding; cedar shingles in dormer cheeks
ORIGINAL: Unknown
- 4.6 WINDOWS: Original double-hung wooden-sash in gable; all others have been altered.
- 4.7 ROOF TYPE: Front gable, with side gable dormer
- 4.8 ROOF COVER: Duroid
ORIGINAL: Cedar Shingle (ASSUMED)
- 4.9 DESIGN DESCRIPTION: Late Craftsman styling; flared eaves (slight bellcast); triangular eave brackets; exposed rafter ends. Covered front porch; leaded glass in door.
- 4.10 CONDITION: Windows have been altered; siding appears to have been altered. Appears to be well maintained, and in good repair.

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- 2.2 ORIGINAL OWNER AND SOURCE: Warren Clegg (See 6.1)
- 2.3 ARCHITECT AND SOURCE: Unknown
- 2.4 BUILDER AND SOURCE: Unknown
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- 4.10 CONDITION: Windows have been altered; siding appears to have been altered. Appears to be well maintained, and in good repair.

5.0 CONTEXT

- 5.1 SITING: Prominent corner location; major setbacks from both streets. Double lot.
5.2 CONTEXT: Compatible residential area
5.3 ADJACENT ADDRESSES SUITABLE FOR HERITAGE GROUPING: None.
5.4 SIGNIFICANT LANDSCAPE FEATURES: Mature hedge that is partly comprised of holly; mature shrubs and trees. The lot has been landscaped for maximum sun exposure to the house.

6.0 RESEARCH INFORMATION

6.1 ASSESSMENT INFORMATION:

Lot: 14 Block: 1 DL 1055 N 1/2 of N 1/2 (Ward #3)
1928: Lots: 13 & 14 Unimproved Owner: Warren Clegg, Dahinda, Saskatchewan
1929: Imp: \$600
1930: Lot 13: Land: \$315 Imp: \$0 Owner: Warren Clegg
Lot 14: Land: \$575 Imp: \$3,000 Owner: Warren Clegg

6.2 ADDITIONAL REFERENCES:

WVBP: 1957 Owner: R.M. Horsey
No original BP information
Water Connection: March 1929, Warren Clegg.

Included in INVENTORY I: the Secondary Group

7.0 GENERAL COMMENTS

The architectural character of the house has been compromised by later alterations.

Additional information in INV. I:

- Purchased in 1939 by Mr and Mrs A. Forsyth.
- Purchased in 1946 by Mr R.M. Horsey in 1946. Horsey was the North Shore Manager of B.C. Hydro
- Purchased by D. Flemming in 1964

SURVEYED BY: Valda Vidners and Don Luxton, Foundation Group Designs Ltd.
DATE: October 1987
PHOTOGRAPHIC NEGATIVE NUMBER: Roll IV: #8

B.O EVALUATION

STREET ADDRESS: 1591 HAYWOOD AVENUE

DESCRIPTION	EVALUATION			
	E	VG	G	F/P
<u>ARCHITECTURAL HISTORY</u>				
1. STYLE/TYPE	35	18	<u>12</u>	0
Good example of Late Craftsman influence (1929)				
2. DESIGN	30	15	<u>10</u>	<u>0</u>
Of no significance beyond style				
3. CONSTRUCTION	15	8	5	<u>0</u>
Of no particular significance				
4. DESIGNER/BUILDER	15	8	5	<u>0</u>
Unknown				
	(Maximum 45)			<u>12</u>
<u>CULTURAL HISTORY</u>				
1. HISTORICAL ASSOCIATION	35	18	12	<u>0</u>
Unknown				
2. HISTORICAL PATTERN	30	15	<u>10</u>	0
Strong evidence of development of permanent residences in the grid streets				
	(Maximum 35)			<u>10</u>
<u>CONTEXT</u>				
1. LANDSCAPE/SITE	15	8	5	0
Altered, but still strongly apparent, historical relationship				
2. NEIGHBOURHOOD	20	10	<u>6</u>	0
Compatible residential area				
3. VISUAL/SYMBOLIC	20	13	<u>8</u>	0
Prominant in immediate area				
	(Maximum 20)			<u>20</u>
	SUBTOTAL			<u>42</u>
<u>INTEGRITY</u>				
	-0	<u>-8</u>	<u>-13</u>	<u>-25</u>
Alterations considered recognizable				
	TOTAL			<u>34</u>
<u>TOTAL.....34/100</u>				
<u>RESOURCE EVALUATION CLASS.....SUPPORT</u>				

EVALUATED BY: Valda Vidners and Don Luxton, Foundation Group Designs
 DATE: November 1987

References:

West Vancouver Archives

-Assessment Records - 1929, 1930

-Fire Insurance Maps - 1930

-West Van News - various articles

-West Van Council Minutes - 1929, multiple dates

British Columbia Vital Statistics

Interview with Dick Clegg, grandson and Dan Clegg, great grandson.

Fraser Valley Popkum History - Family Stories

<https://www.fvrd.ca/assets/About~the~FVRD/Documents/Popkum~History/Family%20Stories.pdf>

<https://www.theprogress.com/obituaries/john-leach-clegg/>

<https://www.legacy.com/obituaries/timescolonist/obituary.aspx?pid=157683250>

Canada Northwest Provinces Census 1906, 1911, 1916, 1926

A6: Vinson Creek Watershed – Map and Characteristics



Figure 86: Partial map of the Hollyburn Creeks including the Vinson Creek and the Clegg Property in red (Map by Stream Keeper Society)

<https://www.pskf.ca/ecology/watershed/westvan/2003/vinson02.html>

Vinson Creek Watershed Summary



Area: 3.74 km²
Length: 5.99 km
Orientation: North-south
Elevation Range: 0 - 963 m
Watershed Code: 900-071700



Characteristics:

- Eleventh largest watershed in West Vancouver
- Bordered by Lawson Creek watershed to the west and Brothers Creek and Swy-Wee Creek watershed to the east in West Vancouver, BC
- Originates on the side of Hollyburn Ridge
- Discharges into Burrard Inlet at the bottom of 13th Street
- Two branches; west branch originates just above British Properties and flows past Chartwell Elementary and the east side of West Vancouver Secondary, east branch originates near Upper Levels Highway and flows through Ridgeview Elementary school grounds and Chatwin Park. The confluence of the two branches is near Esquimalt Avenue near Hollyburn Elementary School
- Three diversions in main channel to Brothers Creek
 - At Millstream Road, diverting all watershed above 366 m (1200 ft) to Brothers Creek at Eyremount, (1968)
 - At Chartwell Drive, directing runoff above 275 m (900 ft) to West Brothers Creek (1972)
 - At Cammeray Road, diverting all flow above 230 m (750 ft) to West Brothers Creek (1967)
- Ninety percent of the watershed is below 366 m, fully developed
- Impervious area high

History:

- Named for V. V. Vinson, reeve of West Vancouver in 1920
- Land at the mouth of the creek pre-empted in 1875 by J. C. Hughes, accountant at Moodyville
- Iron pipe installed in December 1913 from 13th and north of Esquimalt Avenue to a tap at Hollyburn School
- Several occurrences of flooding and washouts caused by blocked culverts in the 1960's and 1970's

Watershed Use:

- Residential: watershed almost entirely urbanized, developed to 366 m
- Park: Chatwin Park, Ambleside Park
- Fish: cutthroat
- Wildlife: mammals and birds utilize the remaining riparian area and parks
- Train and automobile transportation, Trans Canada Trail, hydro lines

Concerns:

- Classified as **Endangered** by Fisheries and Oceans Canada due to impermeable area greater than 10% and urban development significantly affecting stream bed
- Morphology:
 - Three diversions to Brothers Creek and 9 culverts (most classed as Steep) upstream of Upper Levels Highway
 - Long culvert under Upper Levels highway
 - At least twelve culverts downstream of the highway totalling about 1000 metres
 - Channelization of creek and loss of tributaries through urban area
 - Mouth of creek culverted, 110 metres long
 - Thought to have little fish habitat left by 1977
- Water Quality:
 - altered through proximity to urban development and storm drain discharge
 - potential for sewer line breakages

Key Interest Groups:

- District of West Vancouver, District Parks Department
- Federal: Department of Fisheries and Oceans
- Provincial: Ministry of Transportation and Highways; Ministry of Water, Land and Air Protection
- West Vancouver Streamkeepers
- BC Rail, BC Hydro
- Mountain biking clubs
- Ambleside and Dundarave Ratepayers Association

Recommendations for Further Actions:

- Considered to be low priority for enhancement by 1977 due to severe degradation and poor water quality

Available Sources of Information:

- Maps: TRIM/UTM 92G034

Web Sites:

- <http://www.pskf.ca/>
Pacific Streamkeepers Federation
- <http://www.bcfisheries.gov.bc.ca/fishinv/fiss.html>
Fisheries Information Summary System (FISS)
- <http://www.bcfisheries.gov.bc.ca/fishinv/index.html>
Includes FISS, Survey Data, Base Maps, Methods
- <http://www.heb.pac.dfo-mpo.gc.ca/English/maps.htm>
Includes Fish Wizard, Fisheries Project Registry, SHIM Data with Orthophotos, Wild Threatened, Endangered and Lost Streams of the Lower Fraser Valley
- <http://www.shim.bc.ca>
Sensitive Habitat Information and Mapping

Reports:

1. Lower Fraser Valley Stream Review, Vol. 1: Fisheries and Oceans Canada. Fraser River Action Plan, 1999
2. Wild Threatened, Endangered and lost Streams of the Lower Fraser Valley, Summary Report. . Fisheries and Oceans Canada. Fraser River Action Plan, 1997
3. Creeks in West Vancouver: Hugh Johnston?, 1990
4. West Vancouver Drainage. Dayton and Knight, 1973
5. Task Force Inquiry into Drainage Policies and Problems. District of West Vancouver, 1977
6. History of West Vancouver. (A collection of newspaper clippings and miscellanea about the history of West Vancouver, in Memorial Library)

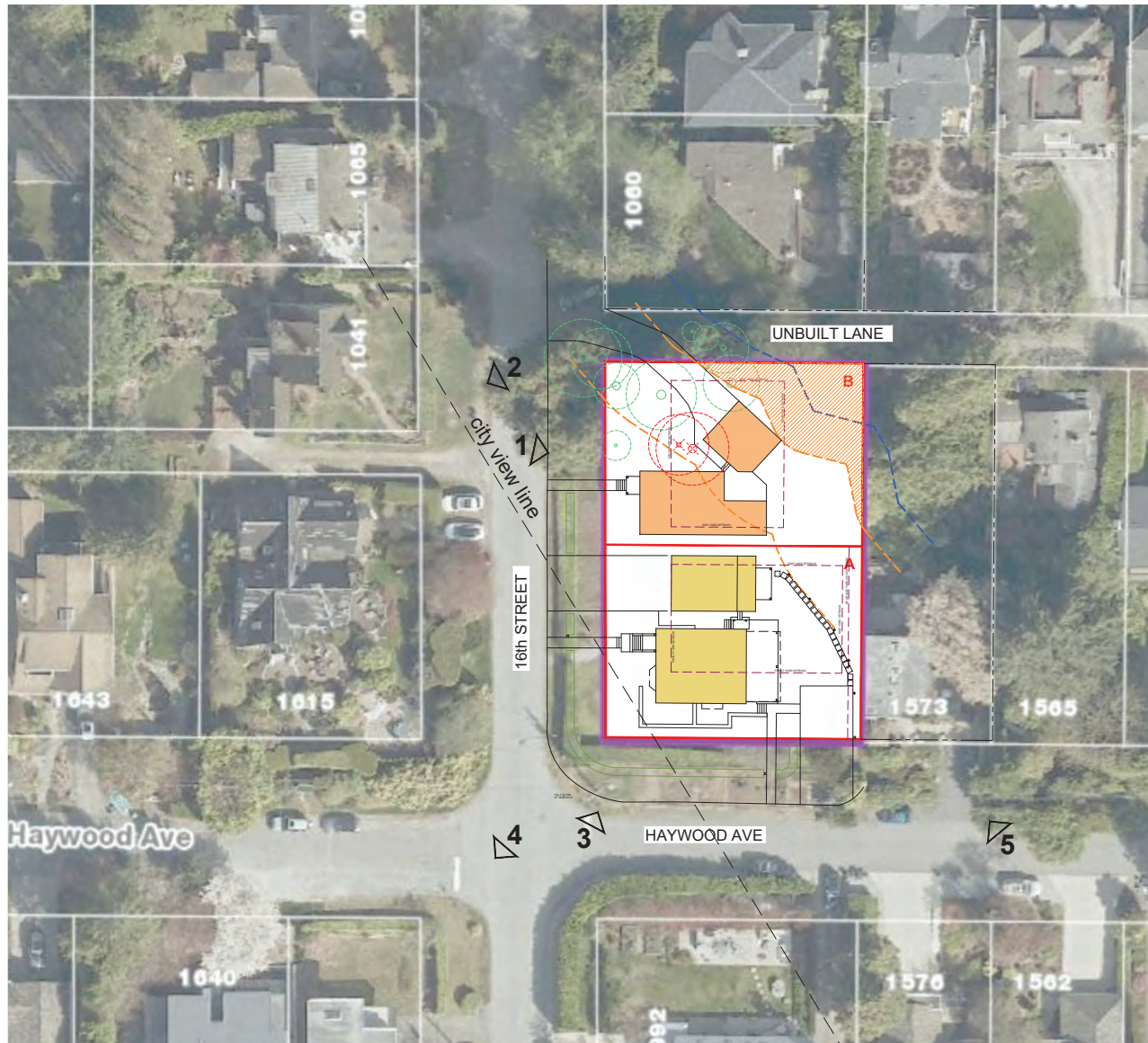
Prepared by Elizabeth Hardy, March 2003

[Watershed Profiles Home - Summary](#)

This page courtesy of [The Pacific Streamkeepers Federation](#)

End of Addendae

APPENDIX 'C' TO HRA BYLAW 5234



CONTEXT PLAN
SCALE: 1" = 20'

1



2



3



4



5



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2022-07-13 PLANNING REVISIONS
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2022-04-28 HRA REVISIONS
2022-03-10 ISSUED FOR HRA REVIEW
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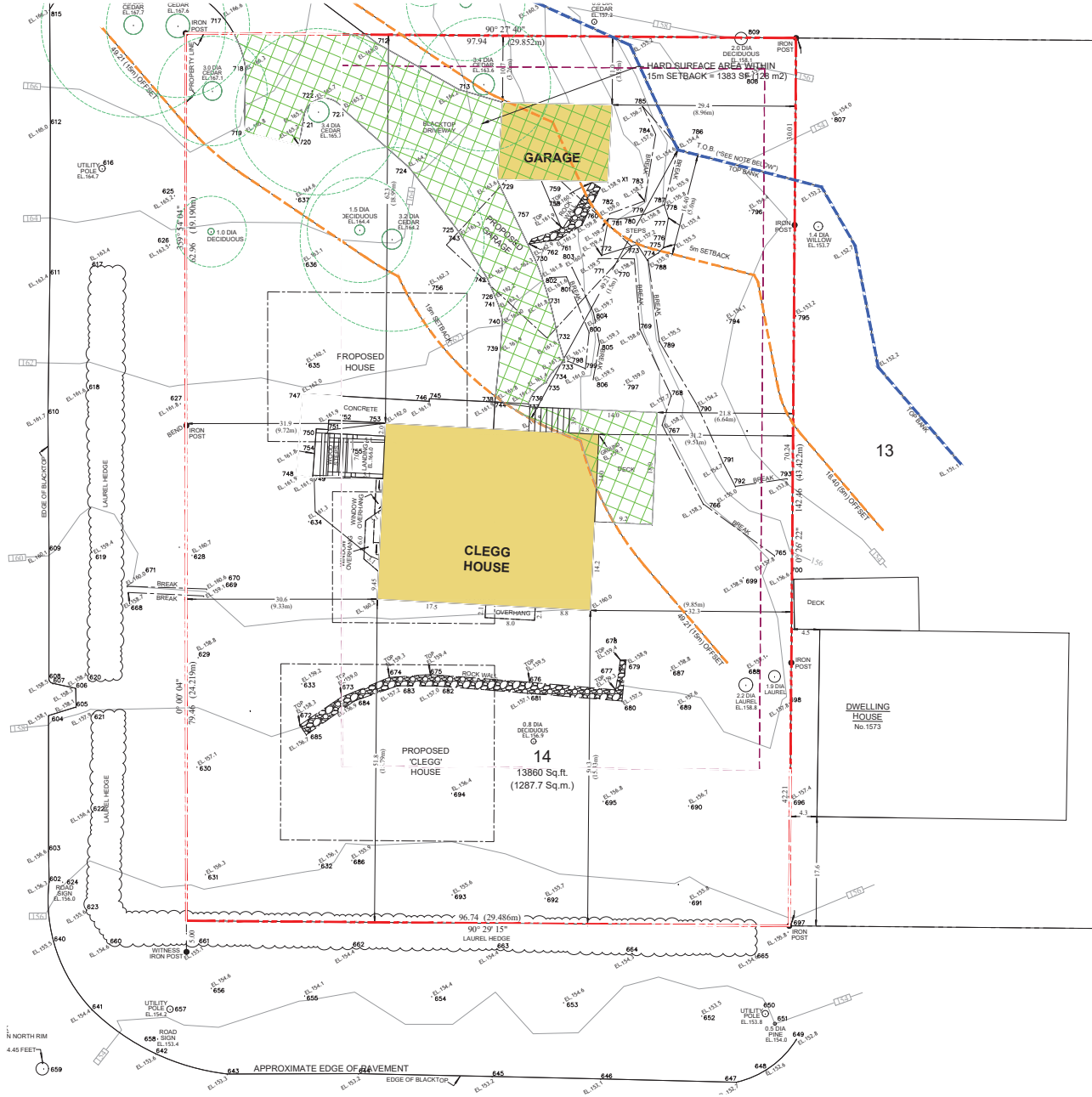
PROJECT
CLEGG HOUSE
181 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

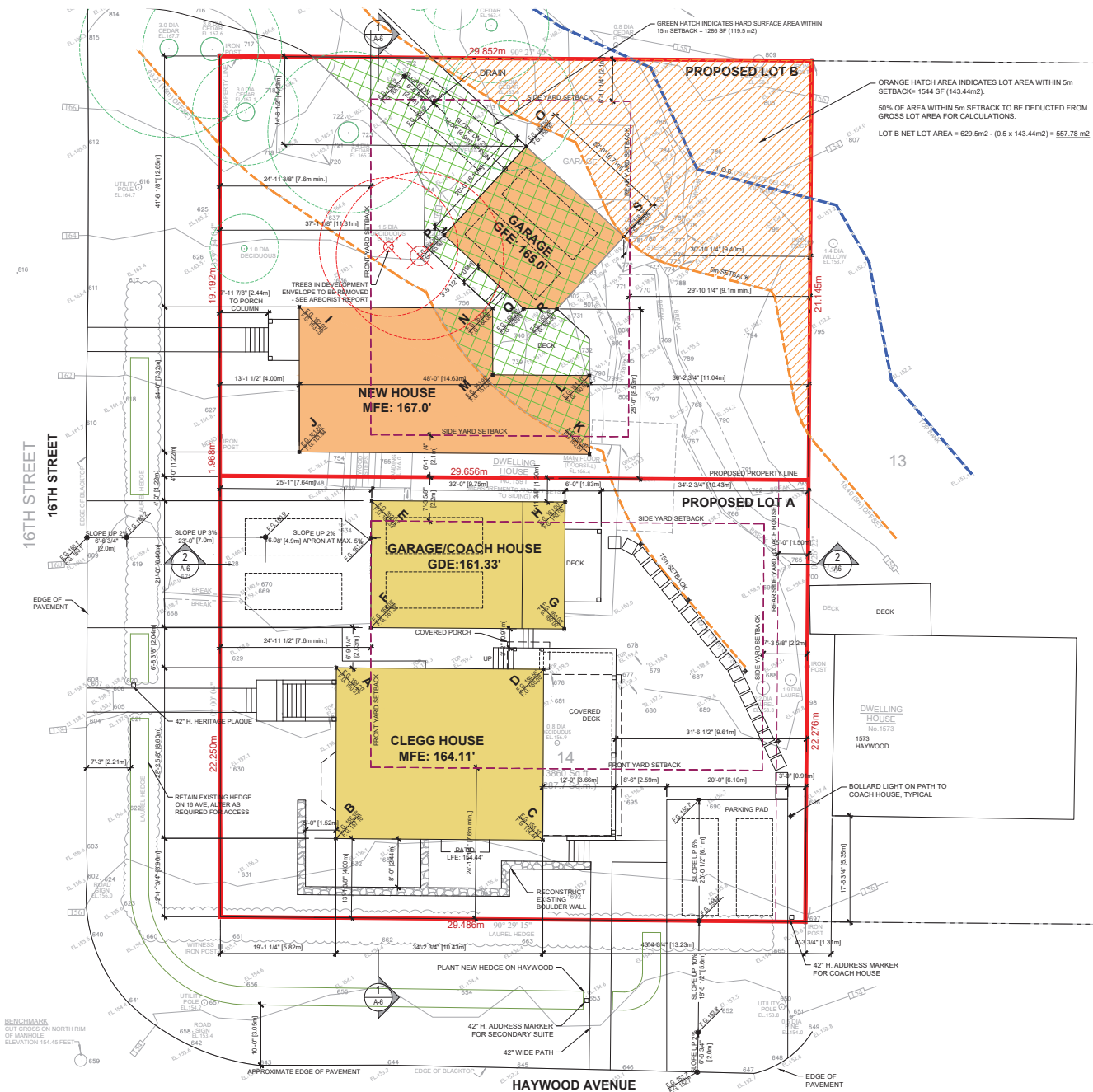
CONTEXT PLAN

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.







A-1





PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

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PROJECT
CLEGG HOUSE

1591 HAYWOOD STREET
WEST VANCOUVER, BC

DRAWING TITLE

PROPOSED SITE PLAN

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-3

PROJECT DATA			
Civic Address			
1591 Haywood Ave, West Vancouver, BC			
Legal Description			
LOT 14 BLOCK 1 NORTH 1/2 OF DISTRICT LOT 1055 PLAN 4180			
Survey By			
Hobbs Winter & McDonald BC Land Surveyors			
Zone RS5			
	ZONING REQUIREMENT	EXISTING/PROPOSED	VARIANCE
SITE AREA			
Existing	min 488 m2	1287.7 m2	
Clegg House - Lot A	min 488 m2	658.3 m2	
New House - Lot B	min 488 m2	629.3 m2 gross lot area 567.8 m2 net lot area	
(** net lot area removes 50% of environmental setback area - see site plan)			
SITE WIDTH (AT FRONT YARD SETBACK)			
Existing	min 18.1m (flanking lot)	29.486 m	
Clegg House - Lot A	min 18.1m (flanking lot)	22.250 m	
New House - Lot B	min 13.3m	21.160 m	
SITE DEPTH			
Existing	max 4.5 x 29.486 = 132.687m	43.422 m	
Clegg House - Lot A	max 4.5 x 22.250 = 100.125m	29.486 m	
New House - Lot B	max 4.5 x 21.168 = 95.211	28.852 m	
SETBACKS			
Clegg House - Lot A	(corner flanking lot)		
Front Yard (West)	min 7.60 m	5.82m	1.18 m
Rear Yard (East)	min 2.25 m (10% of width)	10.85 m	
Side Yard (South)	min 7.60 m (flanking)	4.00 m	3.60 m
Side Yard (North)	min 2.25 m (10% of width)	8.43 m	
Combined Side Yard	min 5.56 m (25% of width)	12.43 m	
New Garage - Lot A			
Front Yard (West)	min 7.60 m	7.60 m	
Rear Yard (East)	min 2.25 m (10% of width)	10.87 m	
Side Yard (South)	min 7.60 m (flanking)	14.60 m	
Side Yard (North)	min 2.25 m (10% of width)	1.20 m	1.05m
From Dwelling	min 1.20m	2.03 m	
New House/garage - Lot B (treated as one structure per 130.01(2)(b)(iii))			
Front Yard	min 7.60 m	4.00 m	3.60 m
Rear Yard	min 9.10 m	9.40 m	
Side Yard (North)	min 2.12 m (10% of width)	4.43 m	
Side Yard (South)	min 2.12 m (10% of width)	1.22 m	0.90 m
Combined Side Yard	min 5.29 m (25% of width)	5.63 m	
OFF STREET PARKING SPACES			
EXISTING LOT	MIN 1 SPACE	2 SPACES	
Lot A - CLEGG HOUSE	MIN 1 SPACE	6 SPACES	
LOT B - NEW HOUSE	MIN 1 SPACE	3 SPACES	

PROJECT DATA		ZONING REQUIREMENT		EXISTING/PROPOSED		VARIANCE	
FLOOR AREA CALCULATIONS (to outside face of wall)							
Existing Lot							
UPPER FLOOR				979 sf	90.95 m2		
MAIN FLOOR				998 sf	92.71 m2		
LOWER FLOOR				967 sf	89.83 m2		
GARAGE				218 sf	20.25 m2		
Total Gross Area				3162 sf	293.75 m2		
Deduct							
BASEMENT *				241.75 sf	22.46 m2		
GARAGE ALLOWANCE		max	41.00 m2	218 sf	20.25 m2		
Total for FAR				2702.25 sf	251.04 m2		
LOT A (Clegg House)							
UPPER FLOOR				979 sf	90.95 m2		
MAIN FLOOR				998 sf	92.71 m2		
LOWER FLOOR (GARDEN SUITE)				967 sf	89.83 m2		
GARAGE				525 sf	48.77 m2		
CARRIAGE HOUSE (MAIN)				147 sf	13.66 m2		
CARRIAGE HOUSE (UPPER)				672 sf	62.43 m2		
Total Gross Area				4288 sf	398.36 m2		
Deduct							
BASEMENT *				250.1 sf	26.95 m2		
GARAGE ALLOWANCE		max	41.00 m2	441.32 sf	41.00 m2		
Total for FAR				3556.58 sf	330.41 m2		
LOT B							
UPPER FLOOR				913 sf	84.82 m2		
MAIN FLOOR				983 sf	91.32 m2		
LOWER FLOOR				978 sf	90.67 m2		
GARAGE				432 sf	40.13 m2		
Total Gross Area				3304 sf	306.94 m2		
Deduct							
BASEMENT *				263.52 sf	24.48 m2		
GARAGE ALLOWANCE		max	41.00 m2	432 sf	40.13 m2		
Total for FAR				2608.48 sf	242.33 m2		
FLOOR AREA RATIO							
EXISTING LOT			293 m2		251.04 m2		
LOT A - CLEGG HOUSE			204.4 m2		330.41 m2		126.01 m2
LOT B - NEW HOUSE			204.4 m2		242.33 m2		37.93 m2
SITE COVERAGE							
EXISTING LOT		30% x 1287.7m2 = 386.31 m2			130.76 m2		
LOT A - CLEGG HOUSE		40% x 658.2m2 = 263.28 m2			201.30 m2		
LOT B - NEW HOUSE		40% x 567.8m2 = 223.12 m2			150.74 m2		
FRONT YARD IMPERMEABLE SURFACE							
EXISTING LOT		50% x 499.01 m2 = 249.5 m2			30.94 m2		
LOT A - CLEGG HOUSE		50% x 227.1m2 = 113.55 m2			81.28 m2		
LOT B - NEW HOUSE		50% x 84.56 m2 = 42.28 m2			6.17 m2		
BUILDING HEIGHT							
EXISTING LOT		MAX	7.62 m		7.05 m		
LOT A - CLEGG HOUSE		MAX	7.62 m		7.56 m		
LOT A - GARAGE/COACH HOUSE		MAX	6.40 m		5.96 m		
LOT B - NEW HOUSE		MAX	7.62 m		8.33 m		0.71 m
NUMBER OF STOREYS							
EXISTING LOT		MAX	2 STOREY + BSMT	2 STOREY + BSMT			
LOT A - CLEGG HOUSE		MAX	2 STOREY + BSMT	2 STOREY + BSMT			
LOT B - NEW HOUSE		MAX	2 STOREY + BSMT	2 STOREY + BSMT			
HIGHEST BUILDING FACE ENVELOPE							
EXISTING LOT		MAX	6.72 m	below	6.72 m		
LOT A - CLEGG HOUSE		MAX	6.72 m	below	6.72 m		
LOT A - GARAGE/COACH HOUSE		MAX	6.72 m	below	6.72 m		
LOT B - NEW HOUSE		MAX	6.72 m	above	6.72 m	50% OF EAST FAÇADE	
* SEE BASEMENT EXEMPTION CALCULATIONS							

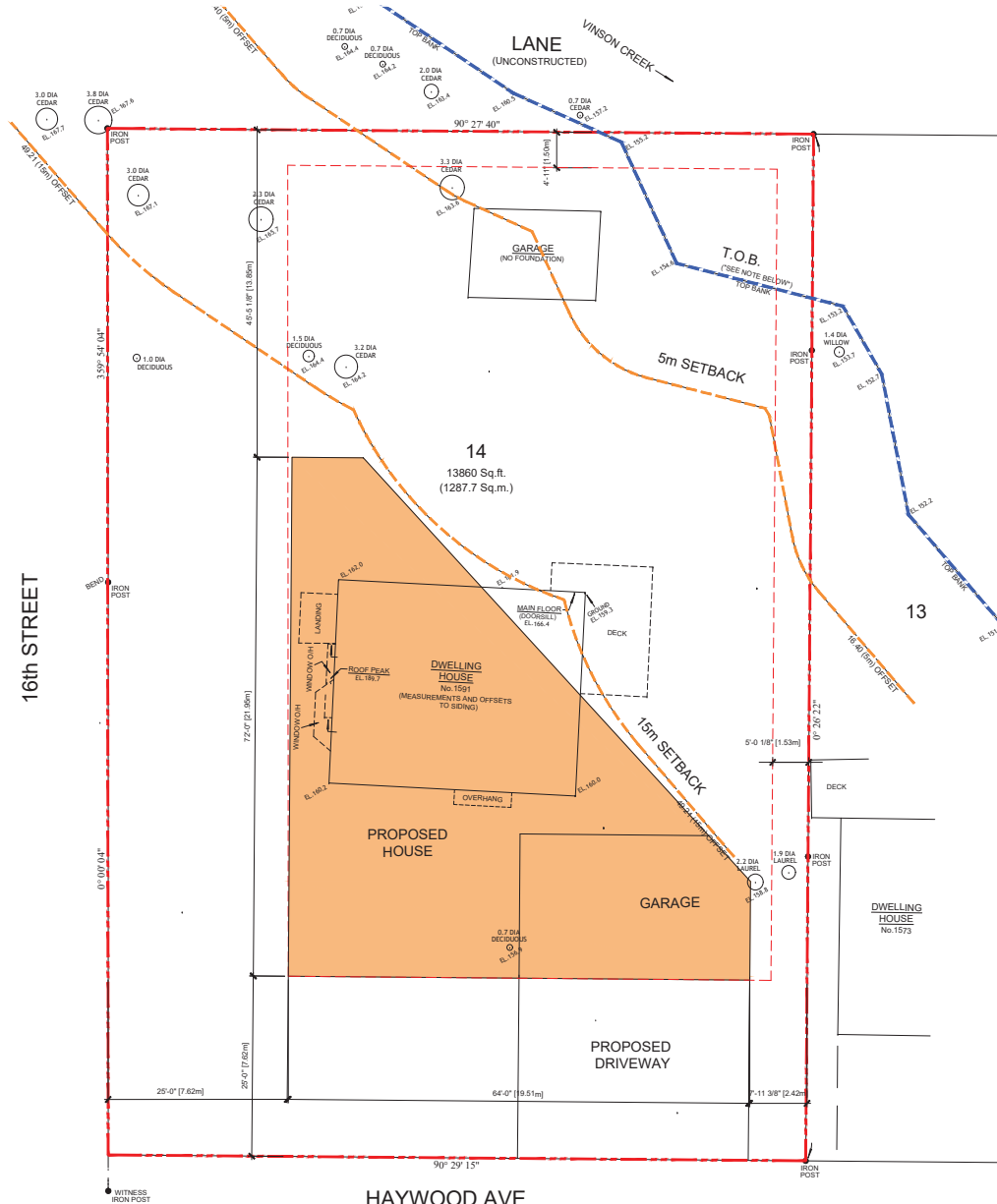
BASEMENT EXEMPTION CALCULATIONS

Average Grade - Basement Floor Exemption
 The Foundation - Basement Floor Exemption
 1. 15' 0" - 15' 4" = 4" = 0.33'
 15' 4" - 15' 4" = 0" = 0.00'
 2. 15' 4" - 15' 4" = 0" = 0.00'
 3. 15' 4" - 15' 4" = 0" = 0.00'
 4. 15' 4" - 15' 4" = 0" = 0.00'
 5. 15' 4" - 15' 4" = 0" = 0.00'
 6. 15' 4" - 15' 4" = 0" = 0.00'
 7. 15' 4" - 15' 4" = 0" = 0.00'
 8. 15' 4" - 15' 4" = 0" = 0.00'
 9. 15' 4" - 15' 4" = 0" = 0.00'
 10. 15' 4" - 15' 4" = 0" = 0.00'

PROJECT DATA - LOT A COACH HOUSE			
ZONING REQUIREMENT		EXISTING/PROPOSED	VARIANCE
NUMBER OF DETACHED SECONDARY SUITES			
LOT A - COACH HOUSE	max. 1 per lot	1 SUITE	
FLOOR AREA			
LOT A - COACH HOUSE	max. 111.5 m2 (10% of site area)	819 sf	76.36 m2
GROSS AREA CALCULATIONS (to outside face of wall)			
LOT A - COACH HOUSE			
GARAGE	max 20.5 m2	525 sf	48.77 m2
CARRIAGE HOUSE (MAIN)		147 sf	13.66 m2
CARRIAGE HOUSE (UPPER)		672 sf	62.43 m2
Total Gross Area	max 148.5 m2	1344 sf	124.86 m2
NUMBER OF STOREYS			
LOT A - COACH HOUSE			
MAIN FLOOR	max 2 STOREY + BSMT	2 STOREY	
UPPER FLOOR	min 30% of total habitable space of the suite		12.05 %
	max 20.5 m2 for vehicle storage	525 sf	48.77 m2
	max 60% of the main floor area		28.27 m2
			40.00 %
BUILDING HEIGHT			
LOT A - COACH HOUSE	max 6.40 m		5.96 m
SETBACKS			
Coach House - Lot A			
Rear Yard	min 1.52 m (10% of width to a max. of 3.0 m)		10.87 m
From Dwelling	min 4.9 m		2.03 m
			2.87 m
DORMERS			
dormer - width on one facade	max 50% x 30'-0" facade = 15'-0" length		15'-0"
dormer - total facade percentage	max 30% x 106'-0" facade = 31'-0" length		2x 15'-0" = 31'-0"

AVERAGE GRADE ELEVATION CALCULATION

LOT A - CLEGG HOUSE					
REF. POINT	ELEV. (FEET)	REF. POINT	ELEV. (FEET)	DIST. (D) (FEET)	AVG. (E) (D) x (E)
A	159.20	B	156.50	28.17	157.75 4443.63
B	156.30	C	154.44	34.33	155.37 5333.85
C	154.44	D	159.50	28.17	156.97 4421.84
D	159.50	A	159.20	34.33	159.35 5470.49
TOTAL					125.00 19870.00
AVERAGE GRADE = 19870.00 / 125.00 =					157.36
LOT A - COACH HOUSE					
REF. POINT	ELEV. (FEET)	REF. POINT	ELEV. (FEET)	DIST. (D) (FEET)	AVG. (E) (D) x (E)
F	161.15	G	160.00	21.00	160.67 3373.97
G	160.00	H	160.00	32.00	160.00 5120.00
H	160.00	I	161.33	32.00	160.71 5142.56
TOTAL					100.00 16997.37
AVERAGE GRADE = 16997.37 / 100.00 =					169.97
LOT B HOUSE + GARAGE					
REF. POINT	ELEV. (FEET)	REF. POINT	ELEV. (FEET)	DIST. (D) (FEET)	AVG. (E) (D) x (E)
I	160.90	J	161.34	24.00	161.12 3860.88
J	161.34	K	160.00	48.00	160.67 7712.16
K	160.00	L	160.00	13.00	160.00 2080.00
L	160.00	M	157.50	16.00	158.75 2540.00
M	157.50	N	162.70	11.00	159.85 1768.35
N	162.70	O	162.90	32.00	162.55 5201.60
O	162.90	P	164.20	20.00	164.10 3282.00
P	164.20	Q	160.00	17.91	162.10 2603.21
Q	160.00	R	160.00	5.57	160.00 891.20
R	160.00	S	159.30	16.22	159.65 2598.53
S	159.30	O	164.00	22.00	161.65 3556.30
TOTAL					225.70 36405.21
AVERAGE GRADE =					161.30



UNENCUMBERED PROPERTY YIELD ANALYSIS

Civic Address
1591 Haywood Ave, West Vancouver, BC

Legal Description
LOT 14 BLOCK 1 NORTH 1/2 QF DISTRICT U01 1055 PLAN 4380

Survey By
Hobbs Winsor & MacDonald BC Land Surveyors

Zone R50

Site Area	1287.7 m ²	
Site Area	Zoning Requirements min 400 m ²	Existing 1207.7 m ²
Site Width	min 15.5 m	211.496 m
Max Site Depth	4' 1/4' 4.60 m	43.422 meters
Floor Area Ratio	Zoning Requirements max 293 m ²	Proposed 293 m ²
Site Coverage	max 547' x 247' 7m ² = 366.31 m ² 30% of lot = 386 m ²	21.00%
Setbacks	Front Yard (North): min 7.62 m Rear Yard (North): min 1.52 m Side Yard (East): min 1.52 m Side Yard (West): min 1.52 m	7.62 m 13.85 m 2.42 m 1.52 m
Height in Storeys	2 storeys	2 storeys

2023-04-13 PLANNING REVISIONS
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2022-10-20 PLANNING REVISIONS
2022-07-13 PLANNING REVISIONS
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2022-04-28 HSA REVISIONS
2022-03-10 ISSUED FOR HSA REVIEW
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PROJECT
CLEGG HOUSE

1591 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**UNENCUMBERED
PROPERTY
YIELD ANALYSIS**

DATE 2022-02-24 FILE NO.
OWN. CH 2120
CHK. CH

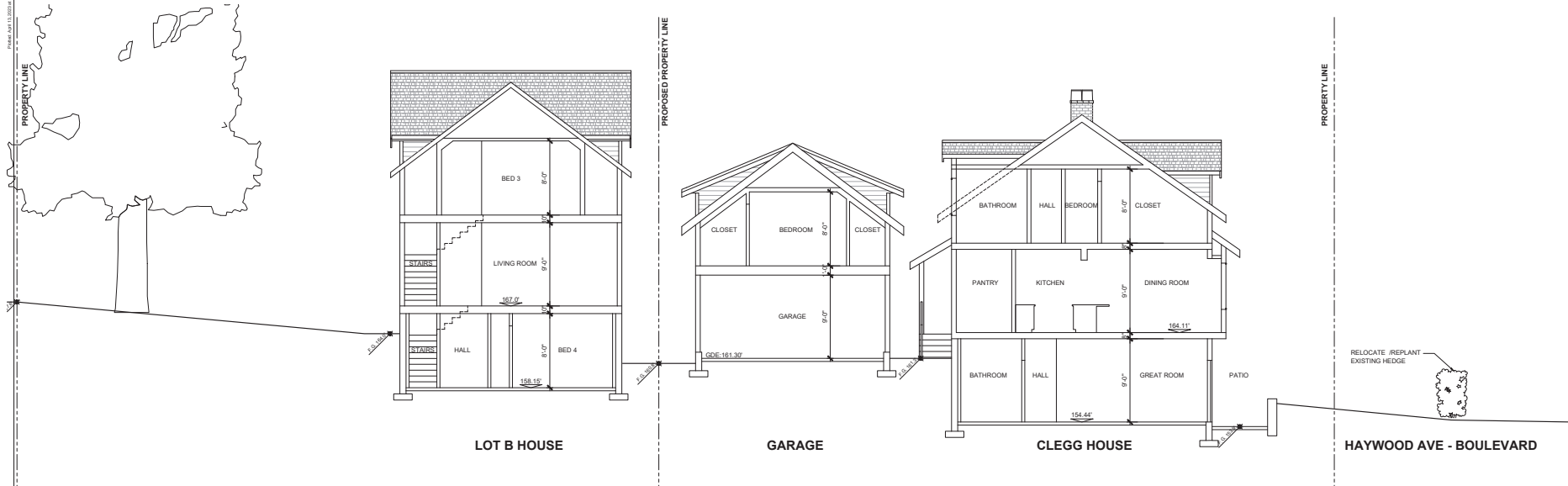
SEAL
SHEET NO.

A-5

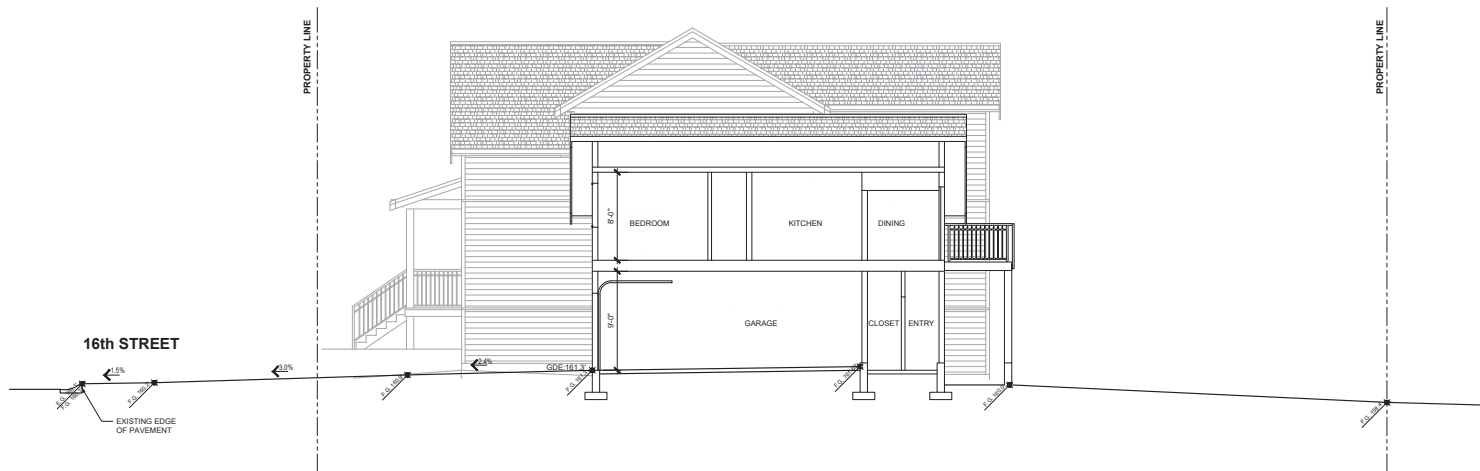


UNENCUMBERED PROPERTY YIELD ANALYSIS
SCALE: 1/8" = 1'-0"

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SECTION 1
SCALE: 3/16" = 1'-0"



SECTION 2
SCALE: 3/16" = 1'-0"

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2023-10-20 PLANNING REVISIONS
2023-07-13 PLANNING REVISIONS
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PROJECT
CLEGG HOUSE
1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

SITE SECTIONS

DATE 2022.02.24 FILE NO.
DWN DW 2120
CHK CH

SEAL
SHEET NO.

A-6



2023-04-13 PLANNING REVISIONS
2023-03-02 PLANNING REVISIONS
2022-10-20 PLANNING REVISIONS
2022-07-13 PLANNING REVISIONS
2022-06-09 PLANNING REVISIONS
2022-04-28 HSA REVISIONS
2022-03-10 ISSUED FOR HSA REVIEW
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PROJECT
CLEGG HOUSE

181 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

RENDERING 1

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-7



△	2023-04-13 PLANNING REVISIONS
△	2023-03-02 PLANNING REVISIONS
△	2022-10-20 PLANNING REVISIONS
△	2022-07-13 PLANNING REVISIONS
△	2022-06-09 PLANNING REVISIONS
△	2022-04-28 HSA REVISIONS
△	2022-03-10 ISSUED FOR HSA REVIEW
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THE DeCOSTA FAMILY

PROJECT
CLEGG HOUSE

181 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

RENDERING 2

DATE	2022-02-24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-8



△	2023-04-13 PLANNING REVISIONS
△	2023-03-02 PLANNING REVISIONS
△	2022-10-20 PLANNING REVISIONS
△	2022-07-13 PLANNING REVISIONS
△	2022-06-09 PLANNING REVISIONS
△	2022-04-28 HSA REVISIONS
△	2022-03-10 ISSUED FOR HSA REVIEW
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THE DeCOSTA FAMILY

PROJECT
CLEGG HOUSE

181 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

RENDERING 3

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-9

LOT A

Roofing:

Clegg House :
'PABCO - Premier - Weathered Wood'



Coach House :
'PABCO - Premier - Weathered Wood'



Siding:

Clegg House - Wood Siding :
'Sherwin Williams - Point Grey - SW 7074'



Coach House - Cement Board Siding :
'Benjamin Moore - Nightingale - AF - 670'



Trim:

Clegg House & Coach House :
'Benjamin Moore - Sonnet - AF - 55'



Doors:

Clegg House :
'Benjamin Moore - Hearthstone Brown - 2109 - 20'



Coach House :
'Benhamin Moore - Sonnet - AF - 55'



Front Porch:

Clegg House :
'Pressure Treated Wood'



Deck:

Clegg House & Coach House :
'Duradek 60 mil Vinyl Membrane'



Railings:

Clegg House - at Porch:
'Benjamin Moore - Sonnet - AF - 55'



Clegg House - at Deck & Coach House :
'Black'



Window Frames:

Clegg House :
'Black'



Coach House :
'White'



LOT B

Roofing:

Lot B House & Lot B Garage :
'PABCO - Premier - Pewter Gray'



Lot B House - at Porch :
'Galvanized Metal Roof'



Cement Board Siding:

Lot B House :
'Benjamin Moore - Winter White - 2140 - 70'



Lot B Garage :
'Benjamin Moore - Nightingale - AF - 670'



Trim:

Lot B House & Lot B Garage :
'Benjamin Moore - Winter White - 2140 - 70'



Doors:

Lot B House & Lot B Garage :
'Benjamin Moore - Amherst Gray - HC - 167'



Front Porch:

Lot B House :
'Pressure Treated Wood'



Deck:

Lot B House :
'Duradek 60 mil Vinyl Membrane'



Porch/Deck Trim:

Lot B House :
'Benjamin Moore - Nightingale - AF - 670'



Railings:

Lot B House :
'Black'



Window Frames:

Lot B House :
'Black'



Lot B Garage :
'White'





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△	2022-10-20 PLANNING REVISIONS
△	2022-07-13 PLANNING REVISIONS
△	2022-06-09 PLANNING REVISIONS
△	2022-04-28 HRA REVISIONS
	2022-03-10 ISSUED FOR HRA REVIEW
REVISIONS	
CONSULTANT	

CLIENT
THE DeCOSTA FAMILY

PROJECT
CLEGG HOUSE

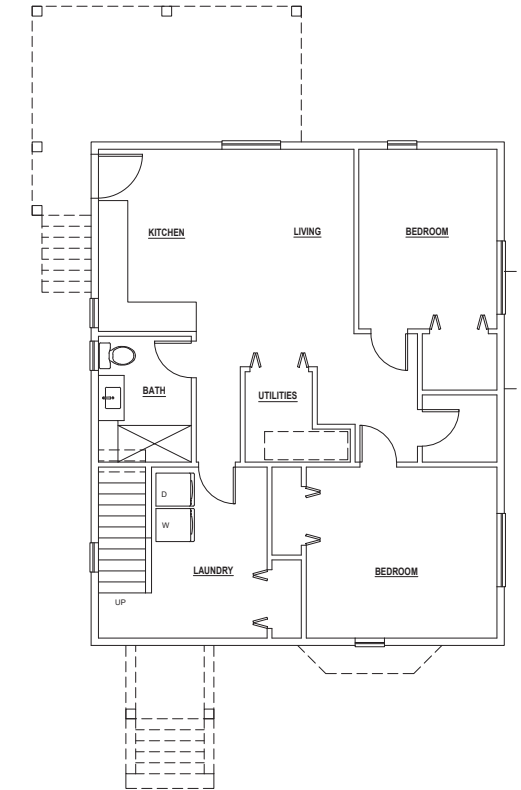
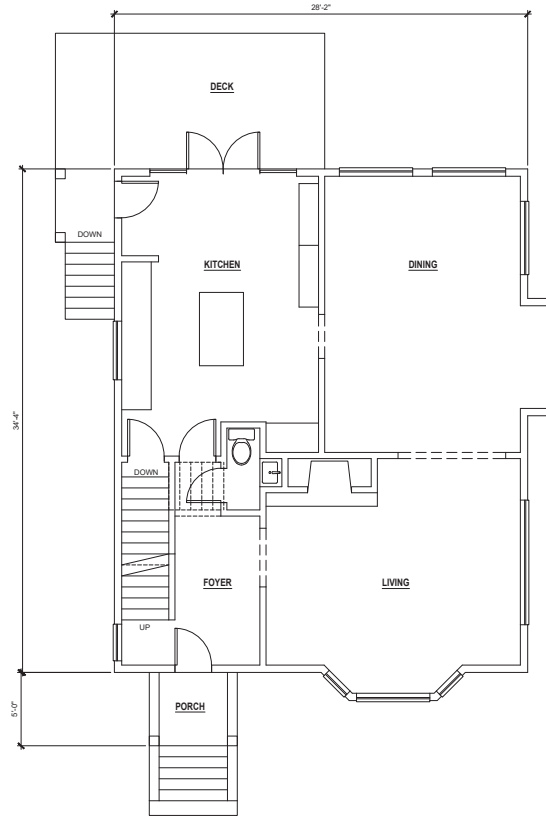
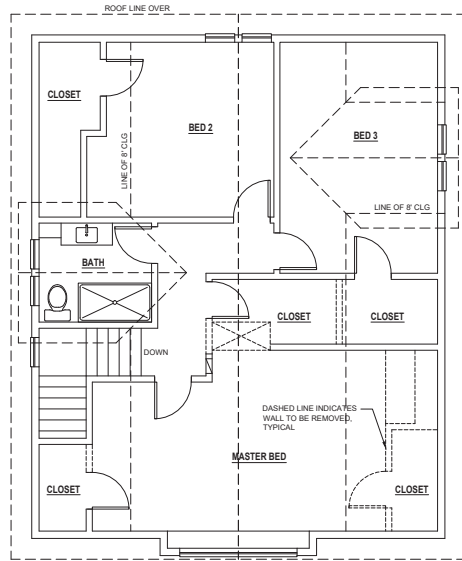
1591 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**COLOURED
STREETSCAPES**

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-11



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA: 967 SF

2023-04-13 PLANNING REVISIONS
2023-03-02 PLANNING REVISIONS
2022-10-20 PLANNING REVISIONS
2022-07-13 PLANNING REVISIONS
2022-06-09 PLANNING REVISIONS
2022-04-28 HRA REVISIONS
2022-03-10 ISSUED FOR HRA REVIEW
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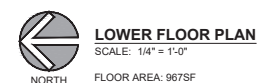
1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**CLEGG HOUSE
EXISTING
FLOOR PLANS**

DATE	2022-02-24	FILE NO.
DWN.	dm	2120
CHK.	ch	

SEAL
SHEET NO.

A-12



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PROJECT

CLEGG HOUSE

1591 HAYWOOD STREET WEST VANCOUVER, BC
DRAWING TITLE

CLEGG HOUSE PROPOSED FLOOR PLANS

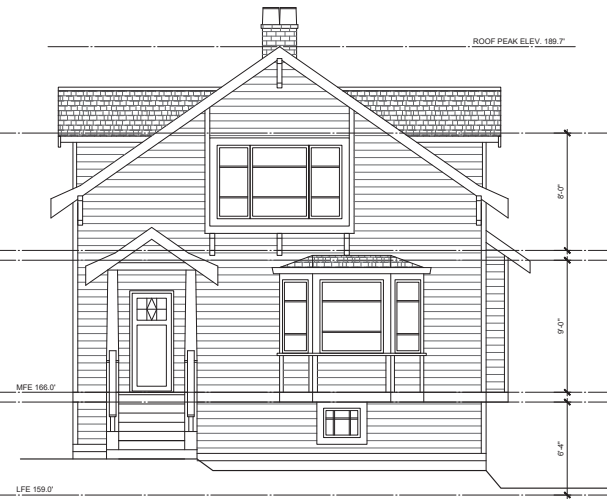
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DWN.	dw		
CHK.	CH		2120

SEAL
SHEET NO.

A-13



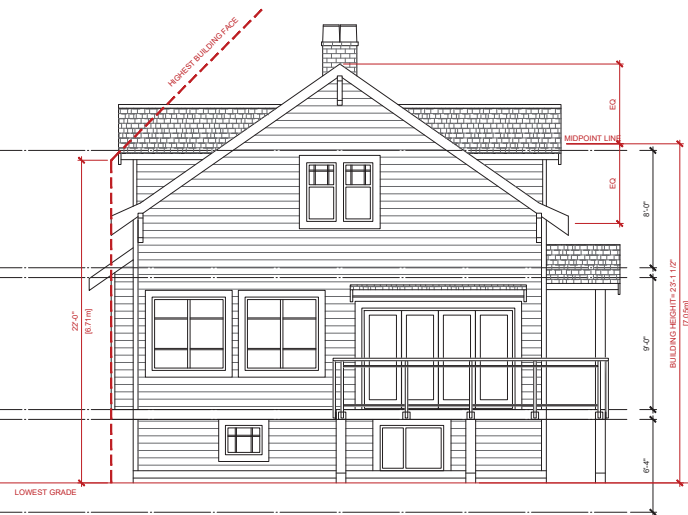
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

2023-04-13 PLANNING REVISIONS
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PROJECT
CLEGG HOUSE

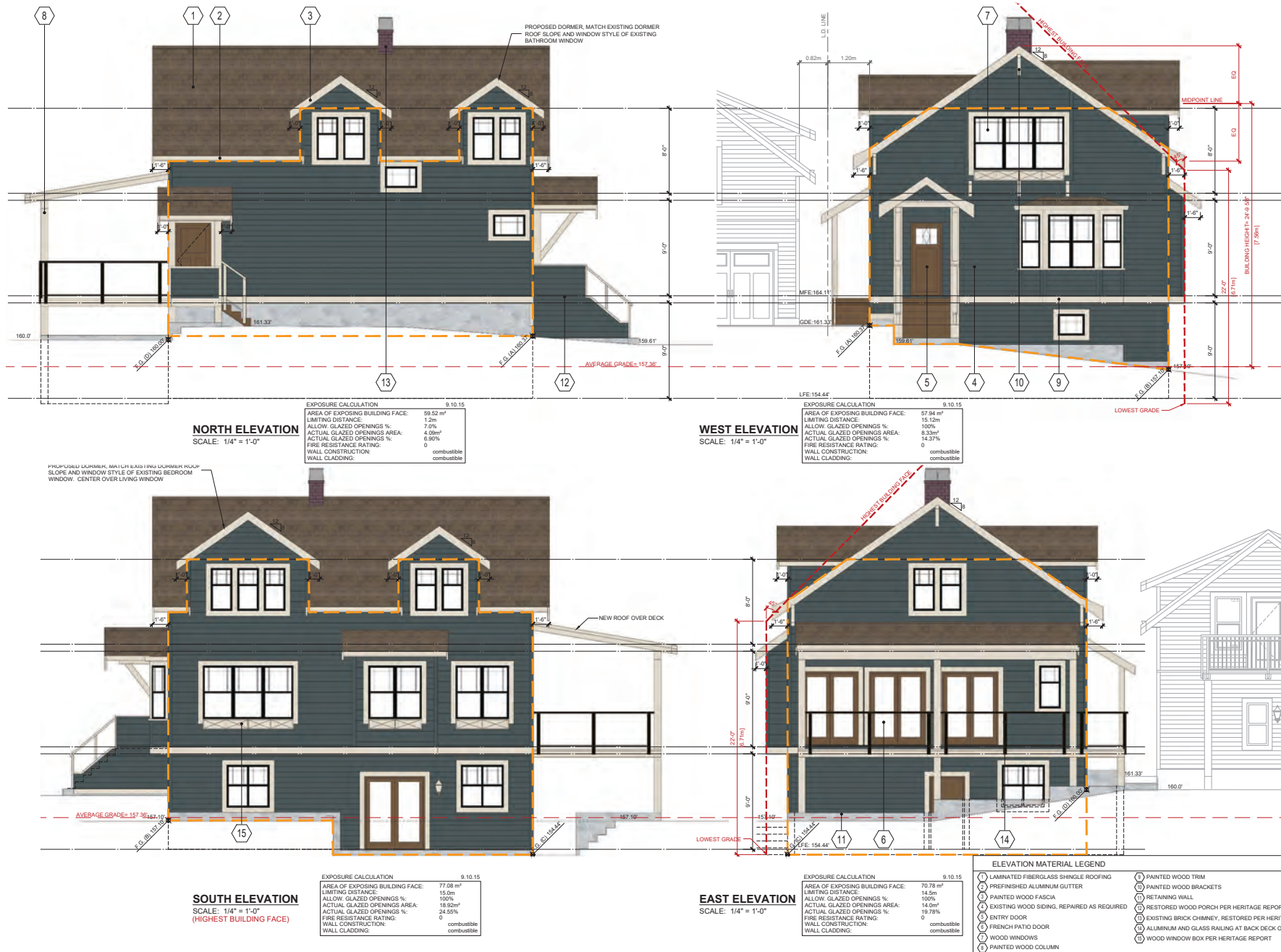
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DRAWING TITLE

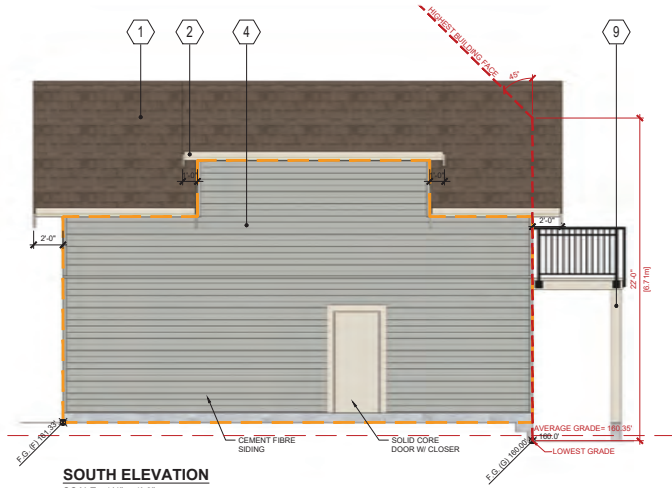
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EXISTING
ELEVATIONS**

DATE: 2022.02.24 FILE NO.
OWN: dw
CHK: CH **2120**

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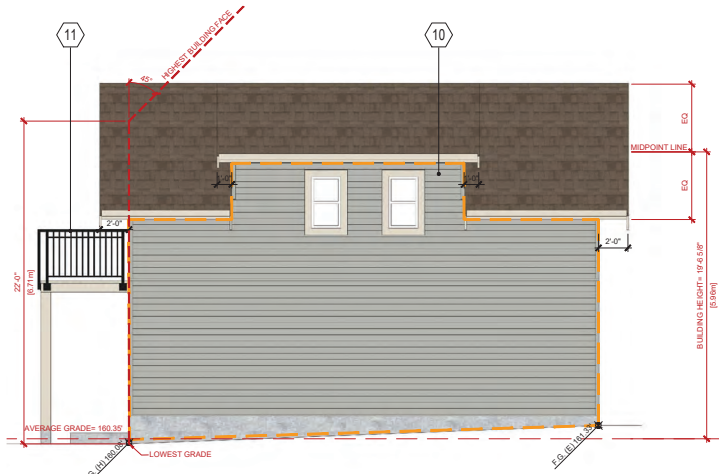
A-14





EXPOSURE CALCULATION 9.10.15

AREA OF EXPOSING BUILDING FACE:	47.36 m ²
LIMITING DISTANCE:	0.82m
ALLOW. GLAZED OPENINGS %:	0%
ACTUAL GLAZED OPENINGS AREA:	0m ²
ACTUAL GLAZED OPENINGS %:	0%
FIRE RESISTANCE RATING:	45 minutes
WALL CONSTRUCTION:	combustible
WALL CLADDING:	non-combustible

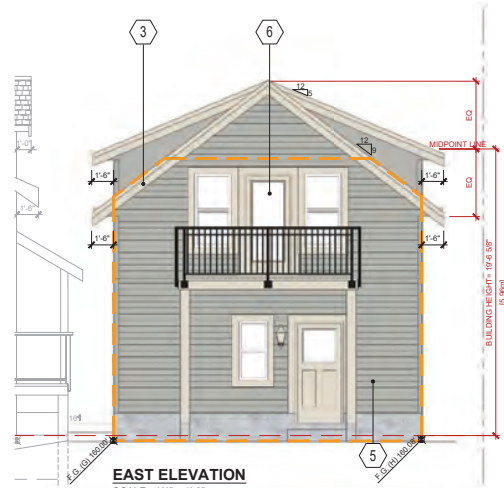


EXPOSURE CALCULATION 9.10.15

AREA OF EXPOSING BUILDING FACE:	48.78 m ²
LIMITING DISTANCE:	1.2m
ALLOW. GLAZED OPENINGS %:	7.2%
ACTUAL GLAZED OPENINGS AREA:	1.30m ²
ACTUAL GLAZED OPENINGS %:	2.67%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible

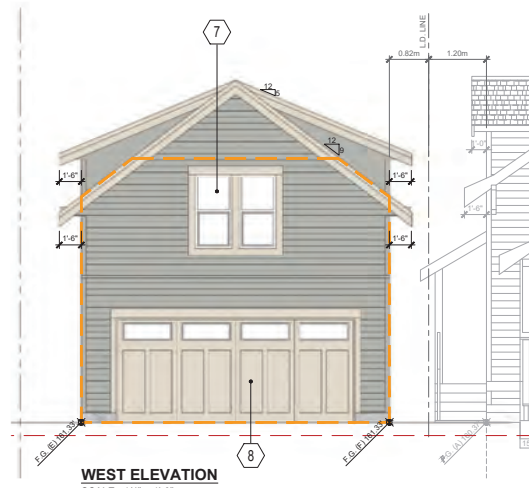
ELEVATION MATERIAL LEGEND

(1) LAMINATED FIBERGLASS SHINGLE ROOFING	(11) VINYL WINDOW
(2) PREFINISHED ALUMINUM GUTTER	(12) OVERHEAD GARAGE DOOR
(3) PAINTED WOOD FASCIA	(13) PAINTED WOOD COLUMN
(4) CEMENT BOARD HORIZONTAL SIDING	(14) PAINTED WOOD TRIM
(5) ENTRY DOOR	(15) METAL RAILING
(6) VINYL SWING PATIO DOOR	



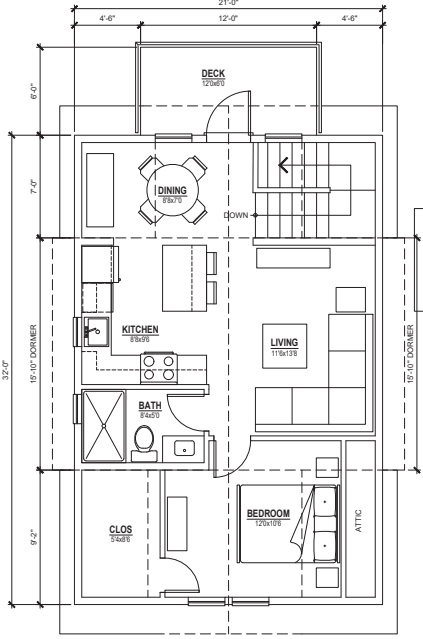
EXPOSURE CALCULATION 9.10.15

AREA OF EXPOSING BUILDING FACE:	36.74 m ²
LIMITING DISTANCE:	12.7m
ALLOW. GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	4.77m ²
ACTUAL GLAZED OPENINGS %:	12.98%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible

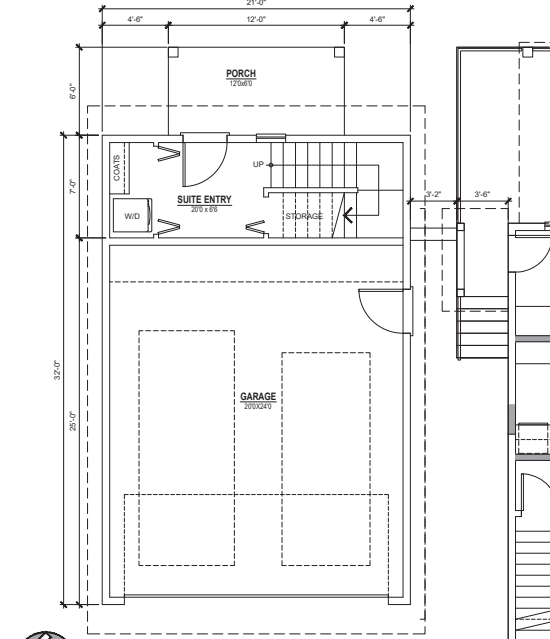


EXPOSURE CALCULATION 9.10.15

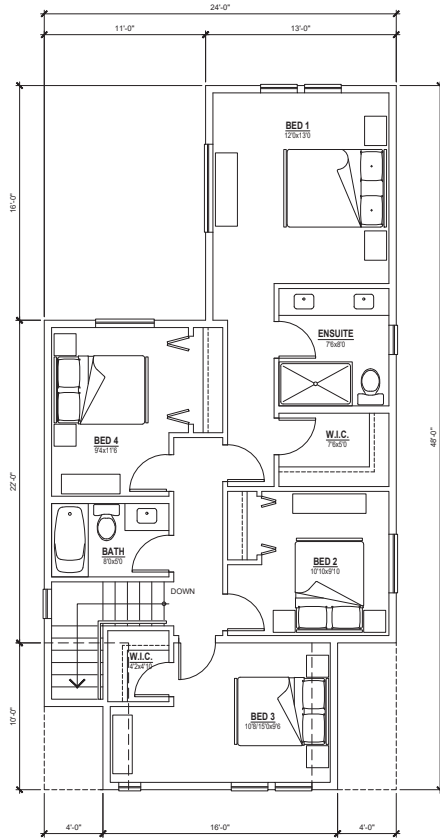
AREA OF EXPOSING BUILDING FACE:	34.27 m ²
LIMITING DISTANCE:	14.53m
ALLOW. GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	3.82m ²
ACTUAL GLAZED OPENINGS %:	11.14%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



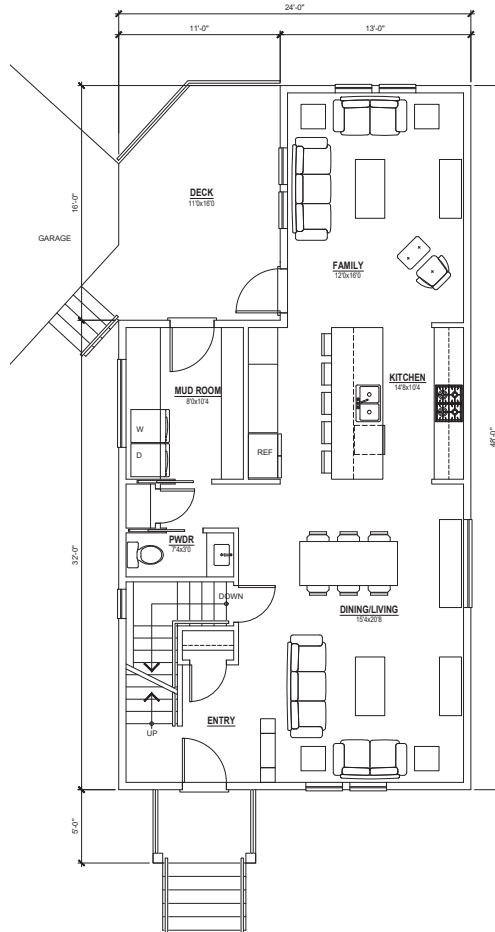
FLOOR AREA: 672 SF



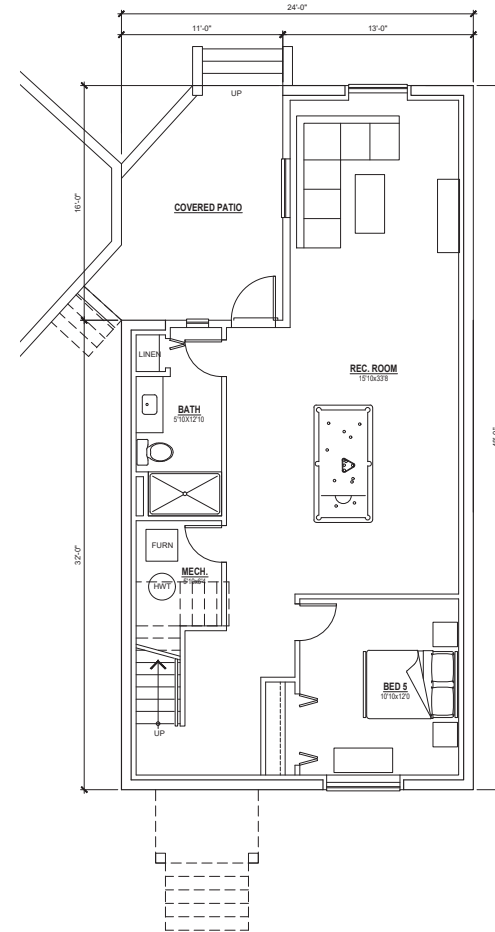
FLOOR AREA: 672 SF
GARAGE: 625 SF
CARRIAGE HOUSE: 147 SF



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
INTERIOR AREA: 913 SF



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA: 983 SF



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA: 976 SF

2022-04-13 PLANNING REVISIONS
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2022-10-20 PLANNING REVISIONS
2022-07-13 PLANNING REVISIONS
2022-08-09 PLANNING REVISIONS
2022-04-28 HSA REVISIONS
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PROJECT
CLEGG HOUSE

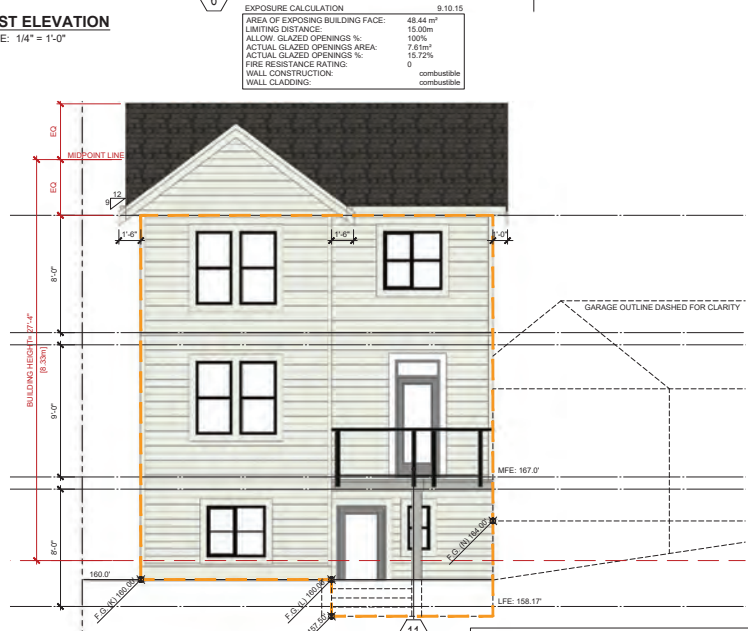
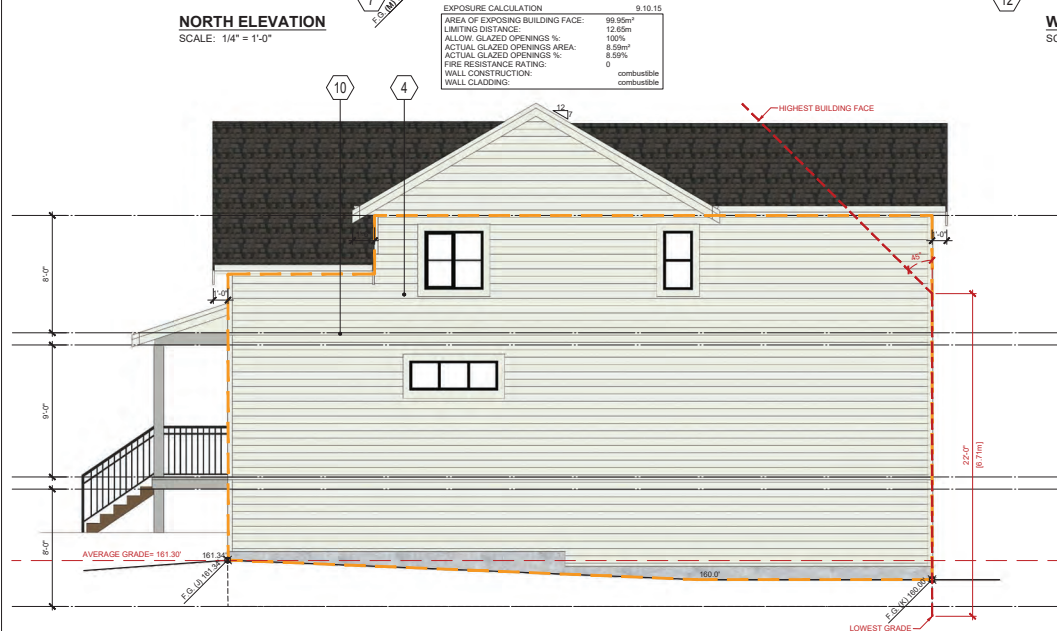
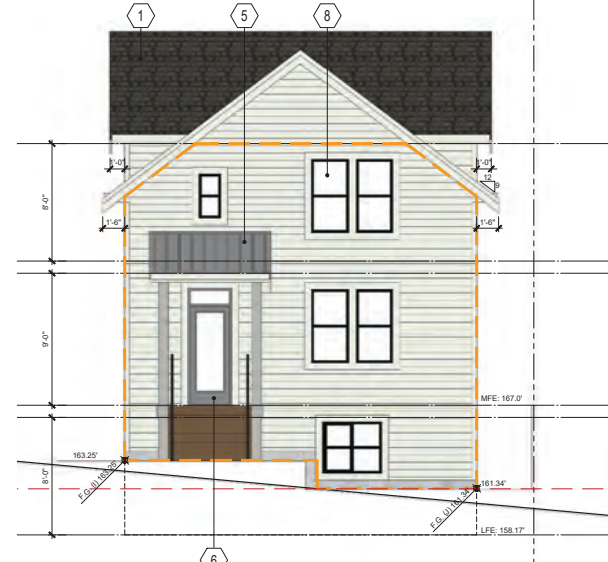
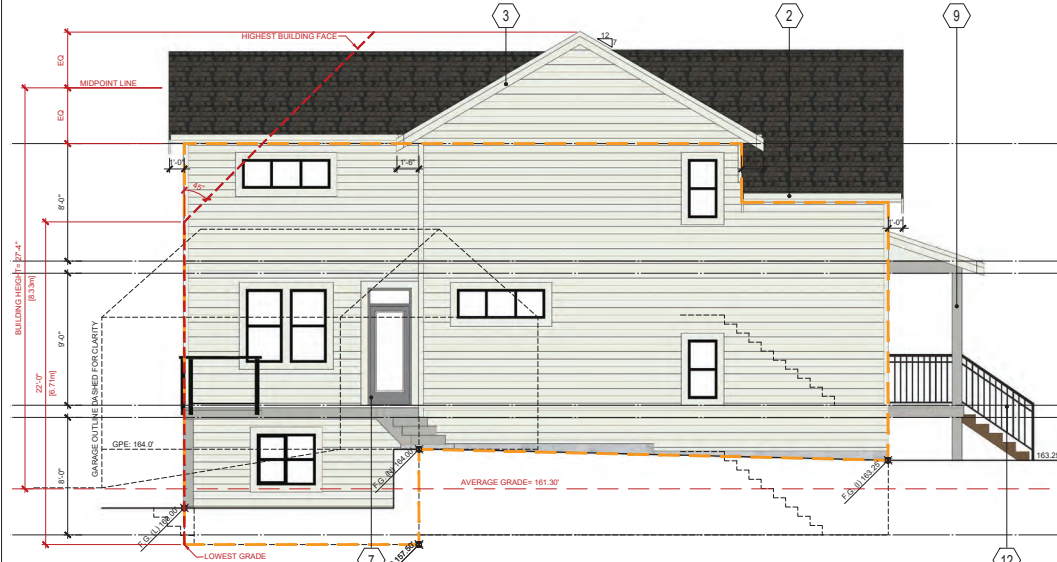
1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**LOT B
HOUSE
FLOOR PLANS**

DATE	2022-02-24	FILE NO.
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A-17

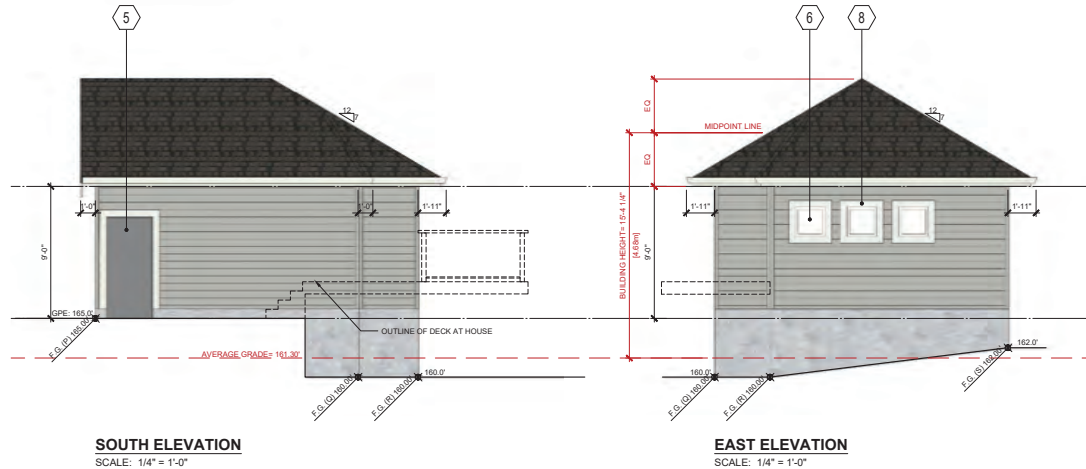
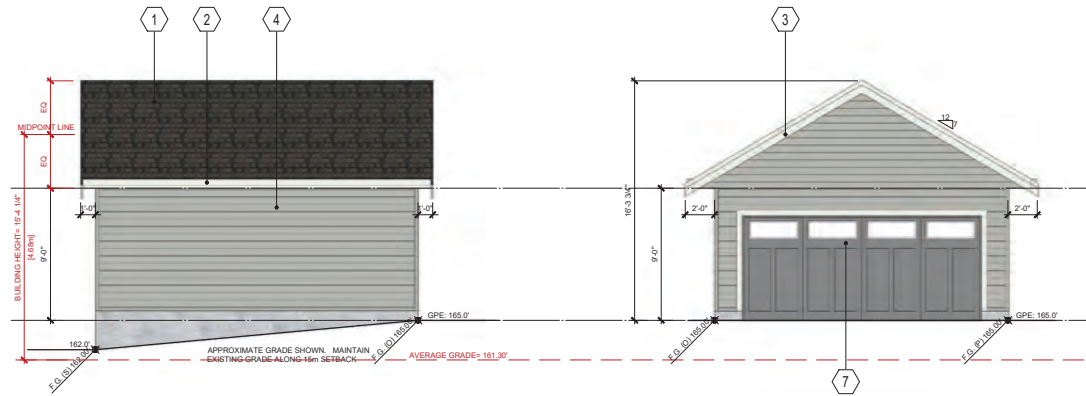


ELEVATION MATERIAL LEGEND	
① COMPOSITE ASPHALT SHINGLES	⑦ VINYL SWING PATIO DOOR
② PREFINISHED ALUMINUM GUTTER	⑧ VINYL WINDOW
③ PAINTED WOOD FASCIA	⑨ PAINTED WOOD COLUMN
④ CEMENT BOARD HORIZONTAL SIDING	⑩ PAINTED WOOD TRIM
⑤ GALVANIZED METAL ROOFING	⑪ ALUMINUM AND GLASS RAILING
⑥ ENTRY DOOR	⑫ METAL RAILING

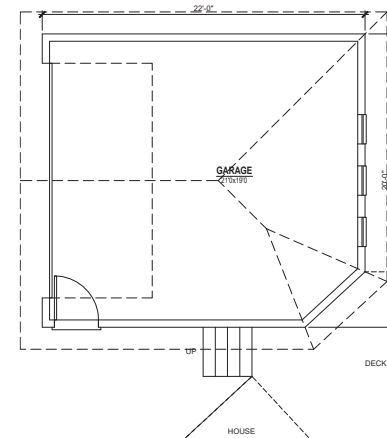
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△ 2022-06-09 PLANNING REVISIONS
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CLIENT	THE DUCOSTA FAMILY
PROJECT	CLEGG HOUSE
1891 HAYWOOD STREET WEST VANCOUVER, BC	
DRAWING TITLE	LOT B HOUSE ELEVATIONS

DATE	2022.02.24	FILE NO.	
OWN.	DW	CH	2120
CHK.			



ELEVATION MATERIAL LEGEND			
1	LAMINATED FIBERGLASS SHINGLE ROOFING	7	ENTRY DOOR
2	PREFINISHED ALUMINUM GUTTER	8	VINYL WINDOW
3	PAINTED WOOD FASCIA	9	OVERHEAD GARAGE DOOR
4	CEMENT BOARD HORIZONTAL SIDING	10	PAINTED WOOD TRIM



2023-04-13	PLANNING REVISIONS
2023-03-02	PLANNING REVISIONS
2022-10-20	PLANNING REVISIONS
2022-07-13	PLANNING REVISIONS
2022-06-09	PLANNING REVISIONS
2022-04-28	HRA REVISIONS
2022-03-10	ISSUED FOR HRA REVIEW
2022-03-10	REVISIONS
2022-03-10	CONSULTANT

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THE DE COSTA FAMILY

PROJECT
CLEGG HOUSE

1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

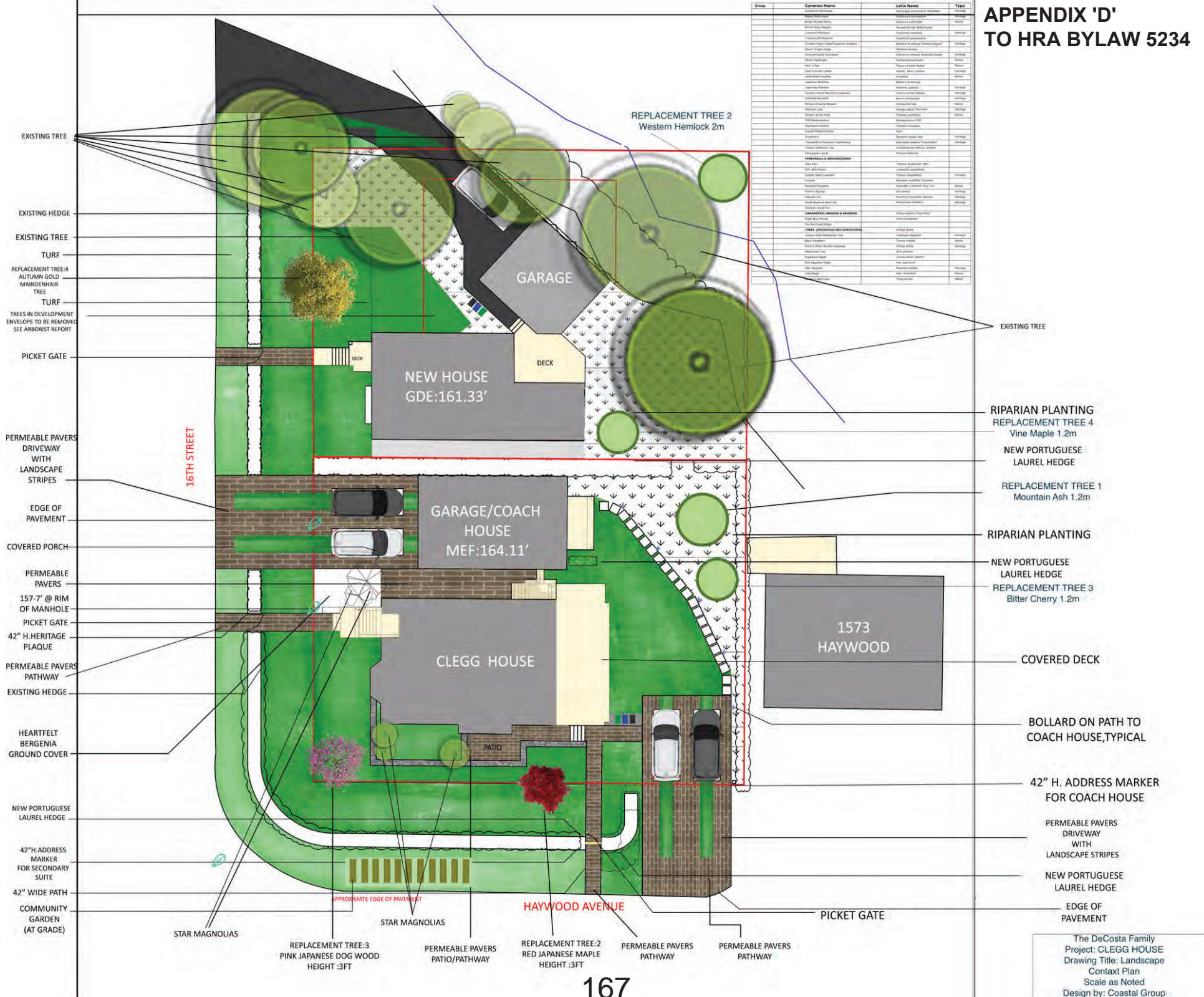
**LOT B
GARAGE PLANS
& ELEVATIONS**

DATE	2022.02.24	FILE NO.
DWN.	DW	
CHK.	CH	2120

SEAL
SHEET NO.

A-19

APPENDIX 'D' TO HRA BYLAW 5234



The DeCosta Family
Project: CLEGG HOUSE
Drawing Title: Landscape
Context Plan
Scale as Noted
Design by: Coastal Group
4/7/2023

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District of West Vancouver

Heritage Designation Bylaw No. 5235, 2023 (1591 Haywood Avenue)

Effective Date:

Heritage Designation Bylaw No. 5235, 2023

Table of Contents

Part 1	Citation.....	1
Part 2	Severability	2
Part 3	Definitions	2
Part 4	Heritage Designation	2
Part 5	Heritage Alteration Permit.....	3
Part 6	Delegation.....	3

District of West Vancouver

Heritage Designation Bylaw No. 5235, 2023

A bylaw to designate 1591 Haywood Avenue as protected heritage property.

WHEREAS the Local Government Act, RSBC 2015, c. 1 provides Council with authority, by bylaw, to designate real property, in whole or part, as protected heritage property, on terms and conditions it considers appropriate;

WHEREAS the Council of The Corporation of the District of West Vancouver deems that the residential building known as the Clegg House located at 1591 Haywood Avenue has heritage value and heritage character, and that the designation of the property is desirable for its conservation;

WHEREAS the owner of the Property has requested that this bylaw be adopted; and

WHEREAS the owner of the Property has entered into a Heritage Revitalization Agreement with the District pursuant to Section 610 of the *Local Government Act* in which, in return for certain variances of District bylaws that would otherwise prohibit the development in accordance with the owners plans for the Property, the owner has waived any entitlement to compensation to which the owner would be entitled to by section 613 of the *Local Government Act* should the designation effected by this bylaw reduce the market value of the Property;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

1.1 This bylaw may be cited as Heritage Designation Bylaw No. 5235, 2023.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Definitions

- 3.1 In this bylaw:

Character-Defining Elements” means the elements that define the heritage value of the Clegg House, as identified in section 3 of the Conservation Plan.

“Conservation Plan” means the document having that name prepared by Dewhirst Lessard Consulting, dated October 2021/ March 2022, a copy of which forms part of Heritage Revitalization Agreement Bylaw, No. 5234, 2023.

“Heritage Building” means the residential building known as the Clegg House located on the Property;

“Normal Repair” means the replacement of elements of the structure or finishing materials of a building with components that are equivalent to those being replaced in material composition, dimensions and quality, except where the element being replaced is not original to the building;

“Property” means that parcel of land in West Vancouver, British Columbia, having a civic address of 1591 Haywood Avenue and a legal description of LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180 and Parcel Identifier: 011-772-301;

Part 4 Heritage Designation

- 4.1 The Property, having a civic address of 1591 Haywood Avenue and a legal description of LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180 and Parcel Identifier: 011-772-301, is hereby designated in its entirety as protected heritage property under section 611 of the *Local Government Act*.
- 4.2 The designation under this Bylaw applies to the following:

- 4.2.1 All exterior aspects of the Heritage Building including, without limitation, the aspects that are specifically listed as Character-Defining Elements in the Conservation Plan; and
- 4.2.2 The interior aspects of the Heritage Building that are specifically referenced in the Conservation Plan, including the existing fireplace, mantle and surrounds on the main floor.

Part 5 Heritage Alteration Permit

- 5.1 All alterations to the elements and features of the Heritage Building referred to in section 4.2 require a heritage alteration permit, except:
 - 5.1.1 Normal Repair and maintenance of the Heritage Building carried out in accordance with Heritage Maintenance Bylaw No. 4187, 1999; and
 - 5.1.2 Minor alterations that, in the opinion of the Director of Planning and Development Services, are in keeping with the character of the Property, as determined by the Director of Planning and Development Services in their sole discretion.

Part 6 Delegation

- 6.1 The Council delegates to the Director of Planning and Development Services the authority to issue heritage alteration permits to authorize alterations not otherwise permitted by this bylaw or by Heritage Maintenance Bylaw No. 4187, 1999, provided that the alterations are in the opinion of the Director appropriate to the general period and style of the Heritage Building and the Property, and do not remove, replace or substantially alter its intact or repairable character-defining elements, as identified in the Conservation Plan.

READ A FIRST TIME on [Date]

PUBLICATION OF NOTICE OF PUBLIC HEARING on [Date]

PUBLIC HEARING HELD on [Date]

RECONVENED PUBLIC HEARING HELD on [Date]

READ A SECOND TIME on [Date]

READ A THIRD TIME on [Date]

ADOPTED by the Council on [Date].

Mayor

Corporate Officer



District of West Vancouver **PROPOSED** DEVELOPMENT PERMIT NO. 22-074

CURRENT OWNERS: DARRIN AND MEGHAN DECOSTA

THIS DEVELOPMENT PERMIT APPLIES TO:

CIVIC ADDRESS: 1591 HAYWOOD AVENUE

LEGAL DESCRIPTION: 011-772-301
LOT 14 BLOCK 1 NORTH ½ OF DISTRICT LOT 1055
PLAN 4180
(THE “LANDS”)

1.0 This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as a Development Permit Area to ensure that detached secondary suites meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form and character of the local neighbourhood and subject to Guidelines BF-3.1 specified in the Official Community Plan;
- (b) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as a development Permit area to protect and enhance watercourses within the Existing Neighbourhoods, in accordance with the Guidelines NE13 specified in the Official Community Plan.
- (c) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.

2.0 The following requirements and conditions shall apply to the Lands:

- 2.1 Buildings, structures, and site development shall generally take place in accordance with attached **Schedule A**.
- 2.2 Zoning Bylaw No. 4662, 2010 as amended, is varied in accordance with attached **Schedule A**.
- 2.3 Riparian planting and Invasive Species Management in accordance with **Schedule B**.
- 2.3 Removal of Trees #358, 170, and 169 within the riparian area of Vinson Creek in accordance with **Schedule C** attached hereto.
- 2.4 To compensate for the removal of three protected trees in the riparian area of Vinson Creek, replanting of native species of trees and/or shrubs will be completed at a ratio of 2:1 for replacement trees, 4:1 for replacement shrubs, or a combination of both, within the riparian area of Vinson Creek.
- 2.5 Removal of Protected Tree #167 outside of the riparian area of Vinson Creek in accordance with **Schedule C** attached hereto.

- 2.6 Retention of the cluster of cedar trees in the northwest corner of the property in accordance with **Schedule C** attached hereto.
- 2.7 Protection of trees in accordance with the Tree Protection Specifications under the District's Tree Bylaw.
- 2.8 The nesting season for songbirds is from March 1 to August 31. This Permit does not constitute an approval under, or relieve the Permittee from complying with, any federal or provincial statute or regulation governing the Permittee's use and development of the Lands, including but not limited to the *Wildlife Act*, *Water Sustainability Act* and regulations, *Species at Risk Act*, *Environment Protection Act*, *Wildlife Act*, *International Convention Act* and regulations, and *Erosion Control Act*.
- 2.9 In addition to implementing the Riparian Planting Plan (**Schedule C**) within the riparian area of Vinson Creek, landscaping shall be undertaken in accordance with **Schedule D**.
- 2.10 Prior to any site clearing, rock removal, grubbing, stripping, shrub or tree removal, re-contouring or construction on the Lands, sediment and erosion control works shall be installed and approved on-site by the Environmental Protection Officer.
- 2.11 The sediment and erosion control works and tree and riparian protection required under 2.6 and 2.9 above shall be removed only upon written approval by an Environmental Protection Officer.
- 3.0 Notwithstanding Conditions 2.1, 2.2 and 2.3 above, any amendments to this Development Permit may be considered by the Director of Planning and Development Services as delegated pursuant to the Development Procedures Bylaw where proposed changes do not materially affect the intent of the plans attached to Heritage Revitalization Agreement Bylaw No. 4943, 2017 and Heritage Designation Bylaw No. 4942, 2017.
- 4.0 Prior to Building Permit application and as security for the due and proper completion of the landscaping works and for the measures to preserve, protect, restore or enhance the environment and tree protection measures (the "Environmental Protection Measures") set forth in Section 2 of this Development Permit, the Owner shall:
 - (a) provide security in the amount of **\$10,000** to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union; and
 - (b) maintain the security for a minimum of one year after completion of the landscaping works and Environmental Protection Measures, and not prior to the date on which the District Environmental Protection Officer authorizes in writing the release of the security.
- 5.0 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

- 6.0 In the event that the landscaping is not completed or trees retained as provided for in this Permit, the District may, at its option, enter upon, carry out and complete the landscaping or tree replacement so as to satisfy the terms of the Development Permit, and recover the costs of doing so from the security deposited, including the costs of administration and supervision.
- 7.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON _____.

MAYOR

MUNICIPAL CLERK

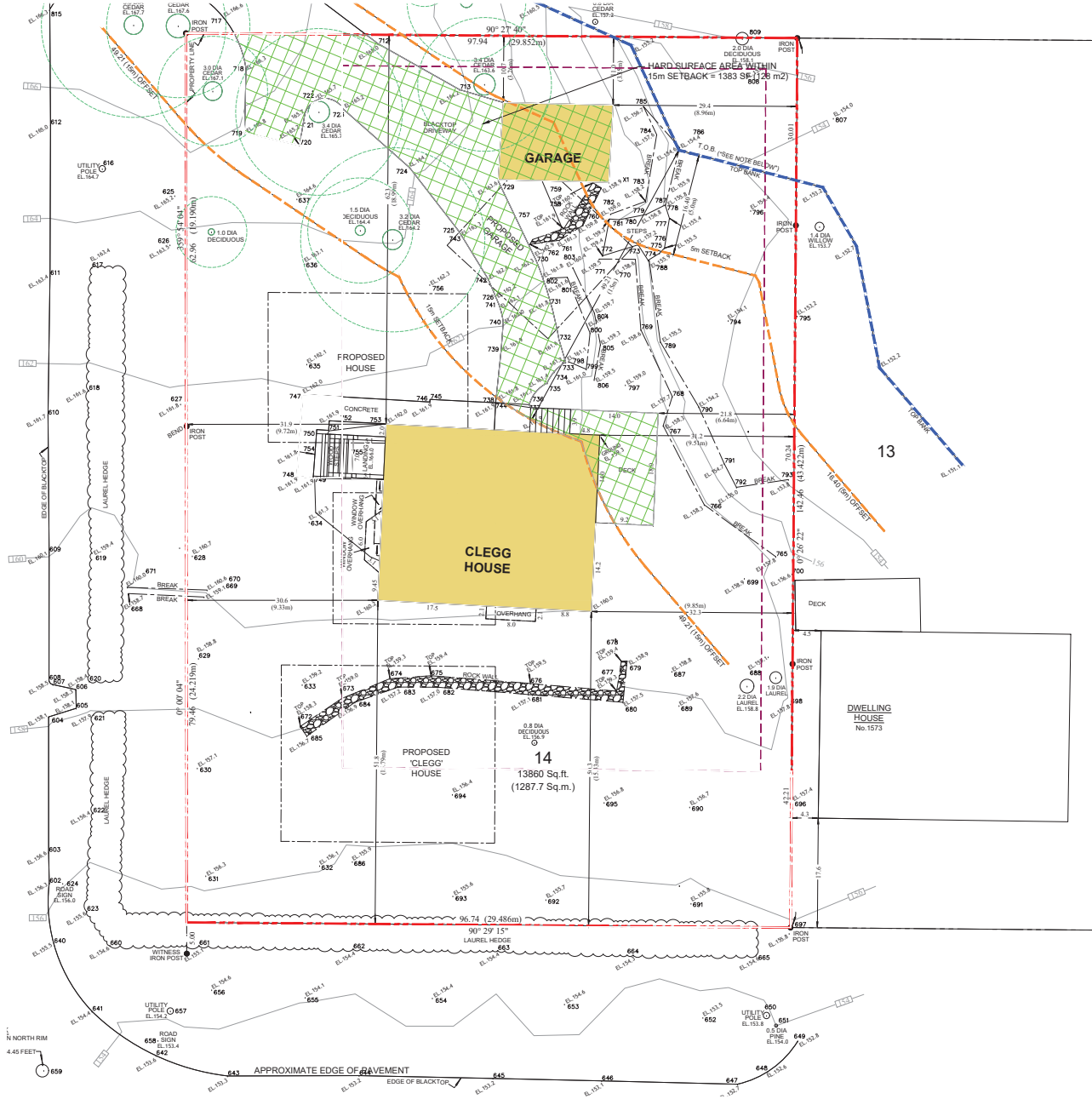
THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 7.0, THIS PERMIT IS ISSUED ON _____.

Schedules:

- A – Architectural Plans prepared by Focus Architecture Incorporated dated April 13, 2023
- B – Environmental Report prepared by Sartori Environmental Inc. dated March 9, 2023
- C – Arborist Report prepared by Silverback Treeworks Ltd. dated December 17, 2022 with staff markups
- D – Landscape Plan prepared by Coastal Group dated April 7, 2023



EXISTING SURVEY / SITE PLAN
SCALE: 1/8" = 1'-0"

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FOCUS
ARCHITECTURE
INCORPORATED

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2023-04-13 PLANNING REVISIONS
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2022-06-09 PLANNING REVISIONS
2022-04-28 HSA REVISIONS
2022-03-10 ISSUED FOR HSA REVIEW
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PROJECT
CLEGG HOUSE

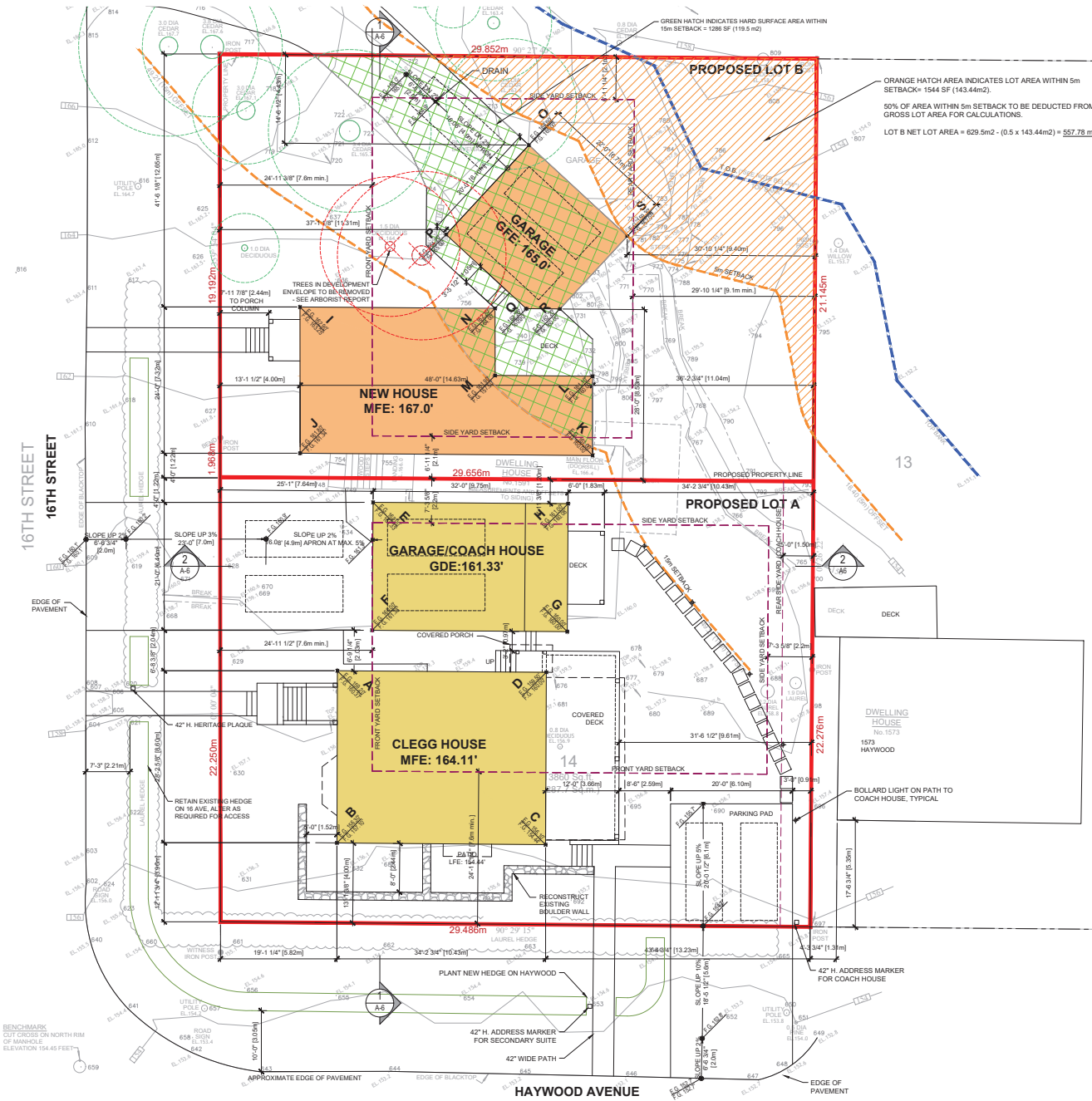
1891 HAYWOOD STREET
WEST VANCOUVER, BC

DRAWING TITLE
**EXISTING
SITE PLAN**

DATE 2022.02.24 FILE NO.
OWN. DW
CHK. CH **2120**

SEAL
SHEET NO.

A-2



PROJECT DATA			
Civic Address 1591 Haywood Ave, West Vancouver, BC			
Legal Description LOT 14 BLOCK 1 NORTH 1/2 OF DISTRICT LOT 1055 PLAN 4180			
Survey By Hobbs Winter & McDonald BC Land Surveyors			
Zone RS5			
	ZONING REQUIREMENT	EXISTING/PROPOSED	VARIANCE
SITE AREA			
Existing	min 486 m ²	1287.7 m ²	
Clegg House - Lot A	min 488 m ²	658.3 m ²	
New House - Lot B	min 488 m ² min 488 m ²	629.3 m ² gross lot area 657.8 m ² net lot area	
(** net lot area removes 50% of environmental setback area - see site plan)			
SITE WIDTH (AT FRONT YARD SETBACK)			
Existing	min 18.1m (flanking lot)	29.486 m	
Clegg House - Lot A	min 18.1m (flanking lot)	22.250 m	
New House - Lot B	min 13.3m	21.160 m	
SITE DEPTH			
Existing	max 4.5 x 29.486 = 132.887m	43.422 m	
Clegg House - Lot A	max 4.5 x 22.250 = 100.125m	29.486 m	
New House - Lot B	max 4.5 x 21.168 = 95.211	29.852 m	
SETBACKS			
Clegg House - Lot A	(corner flanking lot)		
Front Yard (West)	min 7.60 m	5.82m	1.18 m
Rear Yard (East)	min 2.25 m (10% of width)	10.85 m	
Side Yard (South)	min 7.60 m (flanking)	4.00 m	3.60 m
Side Yard (North)	min 2.25 m (10% of width)	8.43 m	
Combined Side Yard	min 5.56 m (25% of width)	12.43 m	
New Garage - Lot A			
Front Yard (West)	min 7.60 m	7.60 m	
Rear Yard (East)	min 2.25 m (10% of width)	10.87 m	
Side Yard (South)	min 7.60 m (flanking)	14.60 m	
Side Yard (North)	min 2.25 m (10% of width)	1.20 m	1.05m
From Dwelling	min 1.20m	2.03 m	
New House/garage - Lot B (treated as one structure per 130.01(2)(b)(iii))			
Front Yard	min 7.60 m	4.00 m	3.60 m
Rear Yard	min 9.10 m	9.40 m	
Side Yard (North)	min 2.12 m (10% of width)	4.43 m	
Side Yard (South)	min 2.12 m (10% of width)	1.22 m	0.90 m
Combined Side Yard	min 5.29 m (25% of width)	5.63 m	
OFF STREET PARKING SPACES			
EXISTING LOT	MIN 1 SPACE	2 SPACES	
Lot A - CLEGG HOUSE	MIN 1 SPACE	6 SPACES	
Lot B - NEW HOUSE	MIN 1 SPACE	3 SPACES	

PROJECT DATA		ZONING REQUIREMENT		EXISTING/PROPOSED		VARIANCE	
FLOOR AREA CALCULATIONS (to outside face of wall)							
Existing Lot							
UPPER FLOOR					679 sf	90.95 m2	
MAIN FLOOR					998 sf	92.71 m2	
LOWER FLOOR					967 sf	89.83 m2	
GARAGE					218 sf	20.25 m2	
Total Gross Area					3162 sf	293.75 m2	
Deduct							
BASEMENT *					241.75 sf	22.46 m2	
GARAGE ALLOWANCE				max	218 sf	20.25 m2	
Total for FAR				41.00 m2	2702.25 sf	251.04 m2	
LOT A (Clegg House)							
UPPER FLOOR					979 sf	90.95 m2	
MAIN FLOOR					998 sf	92.71 m2	
LOWER FLOOR (GARDEN SUITE)					967 sf	89.83 m2	
GARAGE					525 sf	48.77 m2	
CARRIAGE HOUSE (MAIN)					147 sf	13.66 m2	
CARRIAGE HOUSE (UPPER)					672 sf	62.43 m2	
Total Gross Area					4288 sf	398.36 m2	
Deduct							
BASEMENT *					290.1 sf	26.95 m2	
GARAGE ALLOWANCE				max	441.32 sf	41.00 m2	
Total for FAR				41.00 m2	3566.58 sf	330.41 m2	
LOT B							
UPPER FLOOR					913 sf	84.82 m2	
MAIN FLOOR					983 sf	91.32 m2	
LOWER FLOOR					978 sf	90.87 m2	
GARAGE					432 sf	40.13 m2	
Total Gross Area					3304 sf	306.94 m2	
Deduct							
BASEMENT *					263.52 sf	24.48 m2	
GARAGE ALLOWANCE				max	432 sf	40.13 m2	
Total for FAR				41.00 m2	2608.48 sf	242.33 m2	
FLOOR AREA RATIO							
EXISTING LOT			293 m2		251.04 m2		
LOT A - CLEGG HOUSE			204.4 m2		330.41 m2		126.01 m2
LOT B - NEW HOUSE			204.4 m2		242.33 m2		37.93 m2
SITE COVERAGE							
EXISTING LOT			30% x 1287.7m2 = 386.31 m2		130.76 m2		
LOT A - CLEGG HOUSE			40% x 658.2m2 = 263.28 m2		201.30 m2		
LOT B - NEW HOUSE			40% x 557.8m2 = 223.12 m2		150.74 m2		
FRONT YARD IMPERMEABLE SURFACE							
EXISTING LOT			50% x 499.01 m2 = 249.5 m2		30.94 m2		
LOT A - CLEGG HOUSE			50% x 227.1m2 = 113.55 m2		81.28 m2		
LOT B - NEW HOUSE			50% x 84.59 m2 = 42.30 m2		6.17 m2		
BUILDING HEIGHT							
EXISTING LOT			MAX 7.62 m		7.65 m		
LOT A - CLEGG HOUSE			MAX 7.62 m		7.66 m		
LOT A - GARAGE/COACH HOUSE			MAX 6.40 m		5.96 m		
LOT B - NEW HOUSE			MAX 7.62 m		8.33 m		0.71 m
NUMBER OF STOREYS							
EXISTING LOT			MAX 2 STOREY + BSMT		2 STOREY + BSMT		
LOT A - CLEGG HOUSE			MAX 2 STOREY + BSMT		2 STOREY + BSMT		
LOT B - NEW HOUSE			MAX 2 STOREY + BSMT		2 STOREY + BSMT		
HIGHEST BUILDING FACE ENVELOPE							
EXISTING LOT			MAX 6.72 m		below 6.72 m		
LOT A - CLEGG HOUSE			MAX 6.72 m		below 6.72 m		
LOT A - GARAGE/COACH HOUSE			MAX 6.72 m		below 6.72 m		
LOT B - NEW HOUSE			MAX 6.72 m		above 6.72 m		50% OF EAST FAÇADE
* SEE BASEMENT EXEMPTION CALCULATIONS							

BASEMENT EXEMPTION CALCULATIONS

Actual Grade - Basement Floor Elevation
Min. Floor Elevation - Basement Floor Elevation

L 1/4 36'30" - 54'44" = 0'30"
 56'11" - 54'44"

0

Actual Grade - Basement Floor Elevation
 2'75"

L 1/8 48'06" - 48'21" = 0'07"
 2'75"

PROJECT DATA - LOT A COACH HOUSE						
ZONING REQUIREMENT			EXISTING/PROPOSED		VARIANCE	
NUMBER OF DETACHED SECONDARY SUITES						
LOT A - COACH HOUSE	max.	1 per lot	1 SUITE			
FLOOR AREA						
LOT A - COACH HOUSE	max.	111.5 m ² (10% of site area)	819 sf	76.08 m ²		
GROSS AREA CALCULATIONS (to outside face of wall)						
LOT A - COACH HOUSE						
GARAGE	max	20.5 m ²	525 sf	48.77 m ²		28.27 m ²
CARRIAGE HOUSE (MAIN)			147 sf	15.86 m ²		
CARRIAGE HOUSE (UPPER)			472 sf	62.43 m ²		
Total Gross Area	max	148.5 m ²	1344 sf	124.88 m ²		
NUMBER OF STOREYS						
LOT A - COACH HOUSE						
MAIN FLOOR	max	2 STOREY + BSMT	2 STOREY			
	min	30% of total habitable space of the suite		17.95 sf		12.05 sf
UPPER FLOOR	max	20.5 m ² for vehicle storage	525 sf	48.77 m ²		28.27 m ²
	max	60% of the main floor area		100.00 sf		40.00 sf
BUILDING HEIGHT						
LOT A - COACH HOUSE	max	6.40 m		5.96 m		
SETBACKS						
Coach House - Lot A						
Rear Yard	min	1.52 m (10% of width to a max. of 3.0 m)		10.57 m		
From Dwelling	min	4.9 m		2.03 m		2.67 m
DORMERS						
dormer - width on one facade	max	50% x 32'-0" facade = 16'-0" length		15'-10"		
dormer - total facade percentage	max	30% x 105'-0" facade = 31'-0" length		2x 15'-10" = 31'-4"		

AVERAGE GRADE ELEVATION CALCULATION

LOT A - CLEGG HOUSE						
REF. POINT	ELEV. (FEET)	REF. POINT	ELEV. (FEET)	DIST. (D) (FEET)	AVG. (E) (FEET)	(D) x (E)
A	156.20	B	156.30	28.17	157.75	4443.82
B	156.30	C	154.44	34.33	155.37	5333.85
C	154.44	D	159.50	28.17	156.97	4421.84
D	159.50	A	156.20	34.33	155.35	5470.49
TOTAL				125.00		19670.00
AVERAGE GRADE = 19670.00 / 125.00 =						157.36

LOT A - COACH HOUSE						
REF. POINT	ELEV. (FEET)	REF. POINT	ELEV. (FEET)	DIST. (D) (FEET)	AVG. (E) ELEV.	(D) x (E)
E	161.53	F	160.00	21.00	160.67	3373.97
F	160.00	G	160.00	32.00	160.00	5120.00
G	160.00	H	160.08	21.00	160.04	3360.84
H	160.08	E	161.53	32.00	160.71	5142.56
TOTAL				108.00		16997.37
AVERAGE GRADE = 16997.37 / 108.00 =					160.35	

LOT B HOUSE + GARAGE						
REF. POINT	ELEV. (FEET)	REF. POINT	ELEV. (FEET)	DIST. (D) (FEET)	AVG. (E)	(D) X (E)
I 160.50	J 161.34			24.00	162.12	3860.88
J 161.34	K 160.00			48.00	160.67	7719.36
K 160.00	L 160.00			13.00	160.00	2080.00
L 160.00	M 157.50			16.00	157.85	2540.00
M 157.50	N 162.20			11.00	159.85	1758.35
N 162.20	O 162.90			32.00	162.56	5201.60
O 162.90	P 164.20			20.00	164.10	3282.00
P 164.20	Q 160.00			17.81	162.10	2903.21
Q 160.00	R 160.00			5.57	160.00	891.20
R 160.00	S 159.30			16.22	159.65	2588.62
S 159.30	T 164.00			22.00	161.65	3556.30
TOTAL				225.0		36405.22
AVERAGE GRADE =					161.30	

2023-04-13 PLANNING REVISIONS2023-03-02 PLANNING REVISIONS2022-10-20 PLANNING REVISIONS2022-07-13 PLANNING REVISIONS2022-05-09 PLANNING REVISIONS

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2022.03.10
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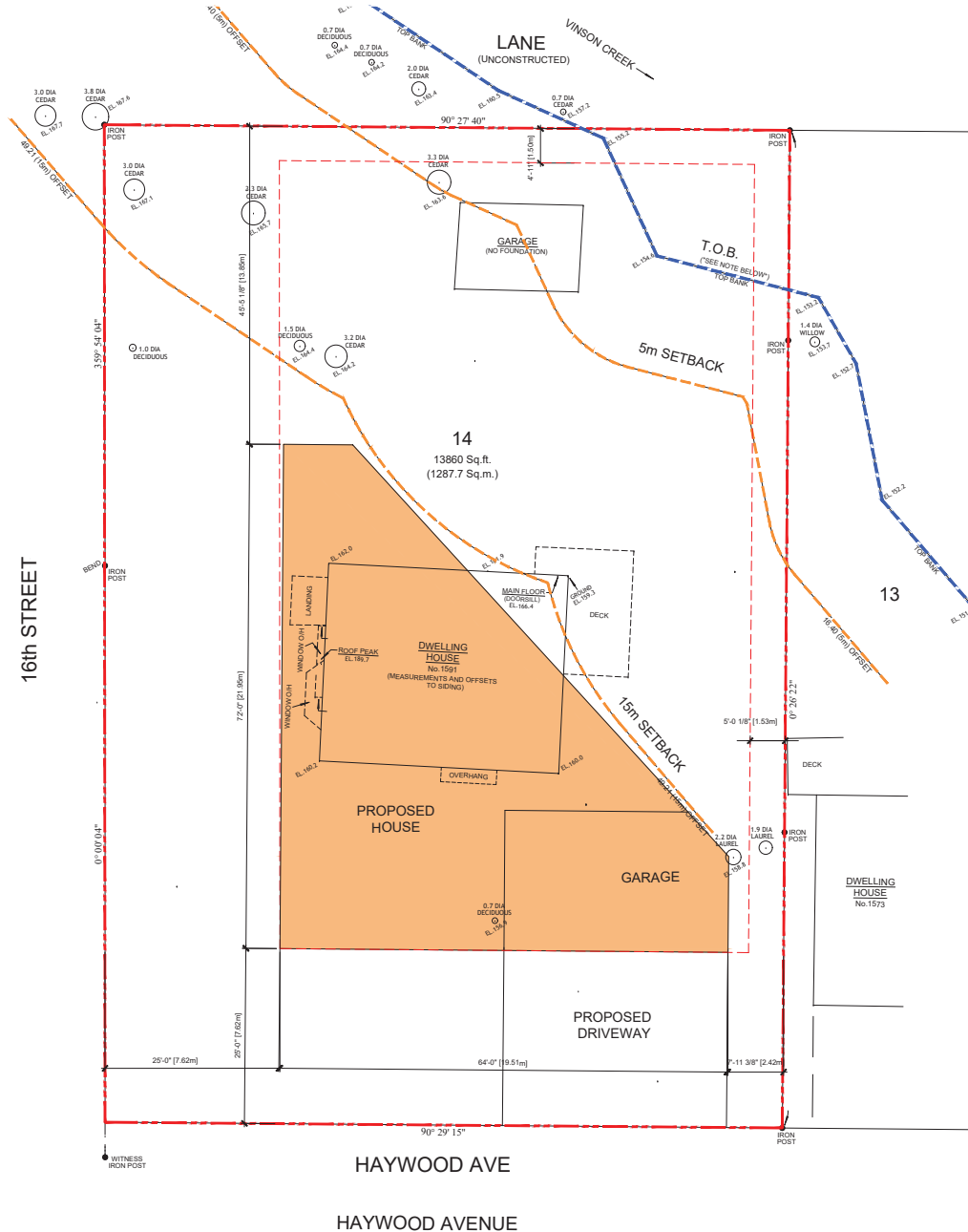
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EGG HOUSE

HAYWOOD STREET
ST VANCOUVER, BC
FOLLOWING TITLE

TE CALCULATIONS

2022.02.24	FILE NO.
DW	2120
CH	



UNENCUMBERED PROPERTY YIELD ANALYSIS

Civic Address
1591 Haywood Ave, West Vancouver, BC

Legal Description
LOT 14 BLOCK 1 NORTH 1/2 QF DISTRICT U01 1055 PLAN 4380

Survey By
Robb Winsor & MacDonald BC Land Surveyors

Zone R50

Site Area	1287.7 m ²	
Site Area	Zoning Requirements min 400 m ²	Existing 1207.7 m ²
Site Width	min 15.5 m	211.496 m
Max Site Depth	4' 11" 4.50 m	43.422 meters
Floor Area Ratio	Zoning Requirements max 293 m ²	Proposed 293 m ²
Site Coverage	max 547' x 247' 7m ² = 366.31 m ² 30% of lot = 386.31 m ²	21.00%
Setbacks	Front Yard (North): min 7.62 m Rear Yard (South): min 1.52 m Side Yard (East): min 1.52 m Side Yard (West): min 1.52 m	7.62 m 13.85 m 2.42 m 1.52 m
Height in Storeys	2 storeys	2 storeys

2023-04-13 PLANNING REVISIONS
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PROJECT
CLEGG HOUSE

1591 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**UNENCUMBERED
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YIELD ANALYSIS**

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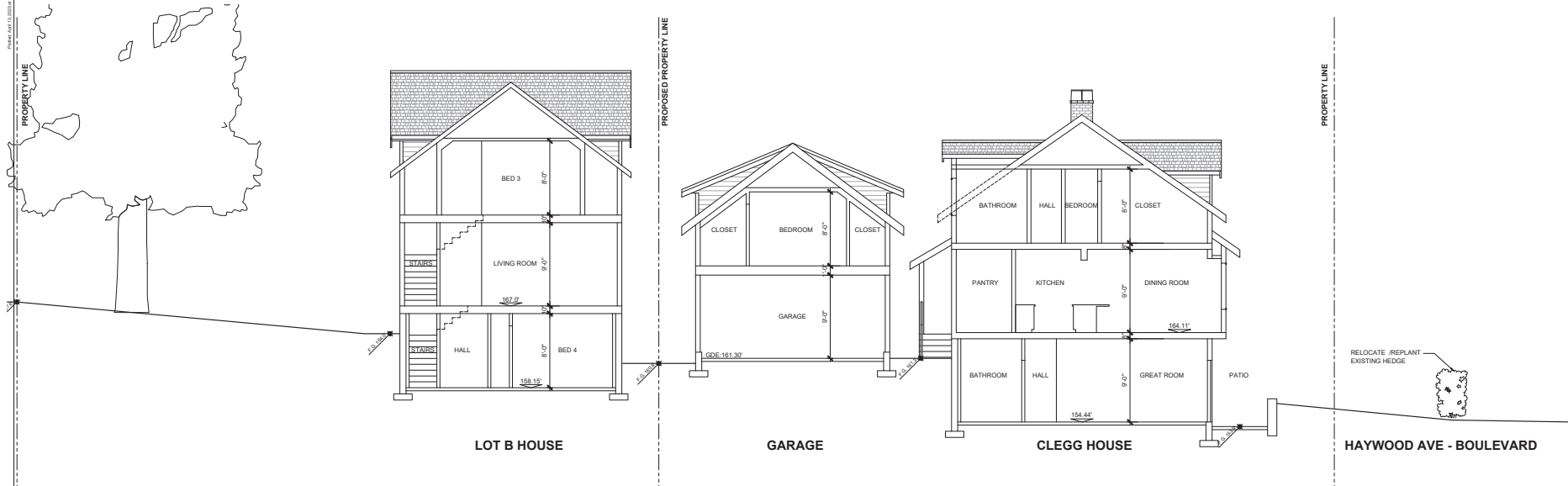
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A-5

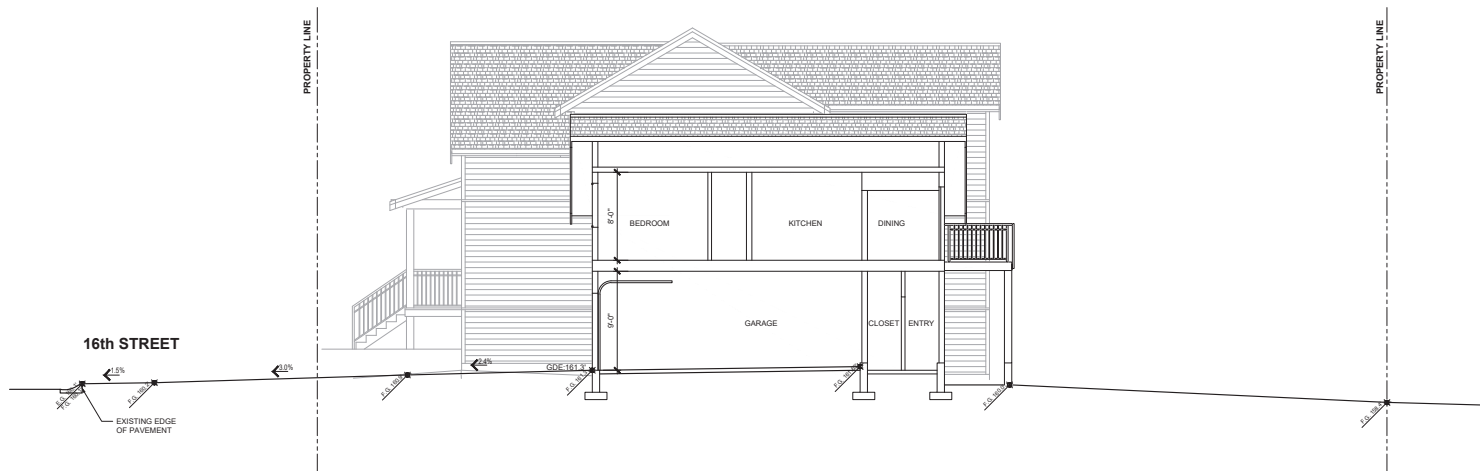


UNENCUMBERED PROPERTY YIELD ANALYSIS
SCALE: 1/8" = 1'-0"

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SECTION 1
SCALE: 3/16" = 1'-0"



SECTION 2
SCALE: 3/16" = 1'-0"

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PROJECT
CLEGG HOUSE
1891 HAYWOOD STREET
WEST VANCOUVER, BC
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SITE SECTIONS

DATE	2022.02.24	FILE NO.
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A-6



2023-04-13 PLANNING REVISIONS
2023-03-02 PLANNING REVISIONS
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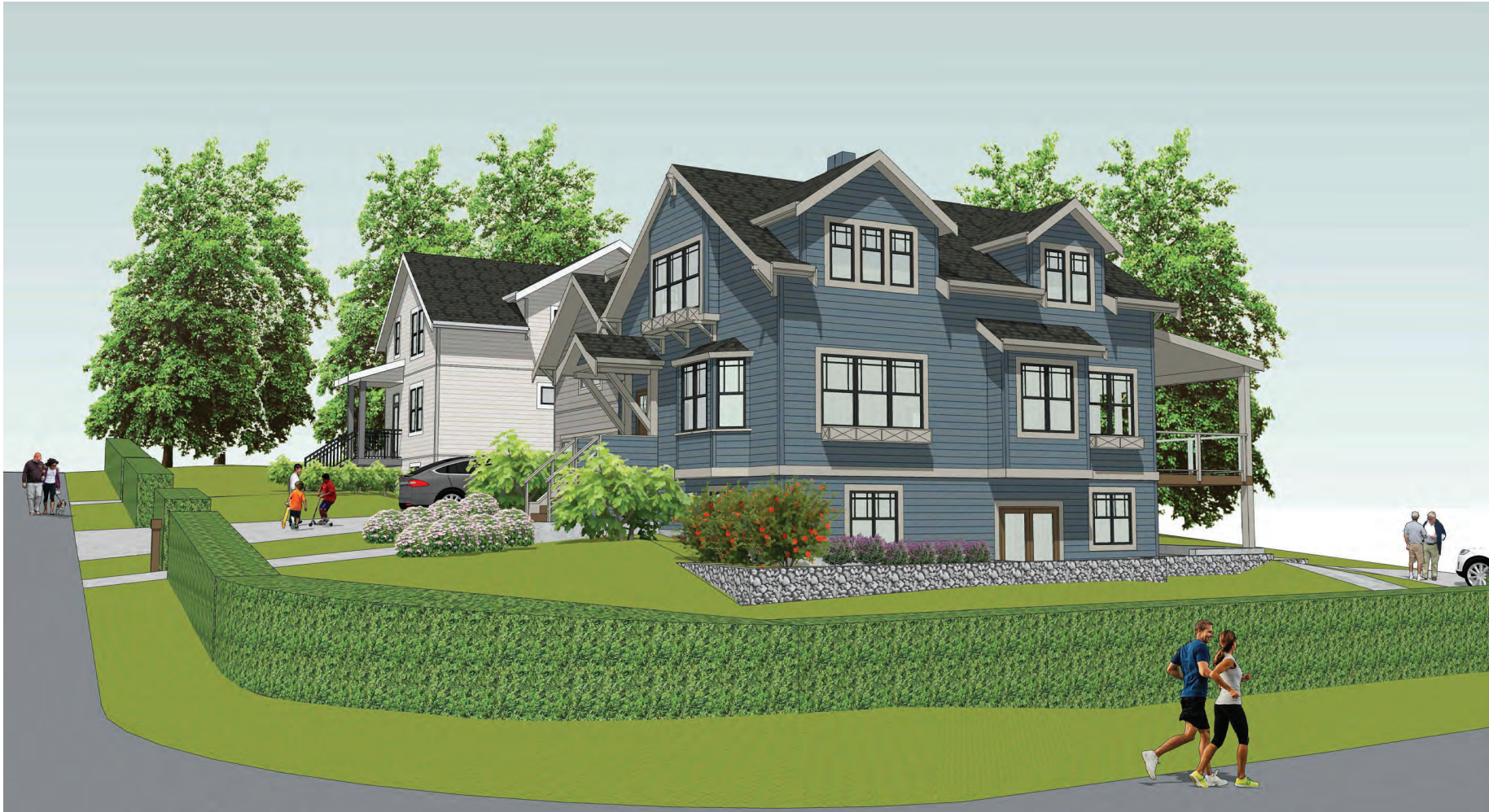
181 HAYWOOD STREET
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RENDERING 1

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DWN.	DW	
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SEAL
SHEET NO.

A-7



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△	2023-03-02 PLANNING REVISIONS
△	2022-10-20 PLANNING REVISIONS
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CLEGG HOUSE

181 HAYWOOD STREET
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RENDERING 2

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A-8



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CLEGG HOUSE

181 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

RENDERING 3

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-9

LOT A

Roofing:

Clegg House :
'PABCO - Premier - Weathered Wood'



Coach House :
'PABCO - Premier - Weathered Wood'



Siding:

Clegg House - Wood Siding :
'Sherwin Williams - Point Grey - SW 7074'



Coach House - Cement Board Siding :
'Benjamin Moore - Nightingale - AF - 670'



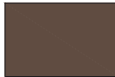
Trim:

Clegg House & Coach House :
'Benjamin Moore - Sonnet - AF - 55'



Doors:

Clegg House :
'Benjamin Moore - Hearthstone Brown - 2109 - 20'



Coach House :
'Benhamin Moore - Sonnet - AF - 55'



Front Porch:

Clegg House :
'Pressure Treated Wood'



Deck:

Clegg House & Coach House :
'Duradek 60 mil Vinyl Membrane'



Railings:

Clegg House - at Porch:
'Benjamin Moore - Sonnet - AF - 55'



Clegg House - at Deck & Coach House :
'Black'



Window Frames:

Clegg House :
'Black'



Coach House :
'White'



LOT B

Roofing:

Lot B House & Lot B Garage :
'PABCO - Premier - Pewter Gray'



Lot B House - at Porch :
'Galvanized Metal Roof'



Cement Board Siding:

Lot B House :
'Benjamin Moore - Winter White - 2140 - 70'



Lot B Garage :
'Benjamin Moore - Nightingale - AF - 670'



Trim:

Lot B House & Lot B Garage :
'Benjamin Moore - Winter White - 2140 - 70'



Doors:

Lot B House & Lot B Garage :
'Benjamin Moore - Amherst Gray - HC - 167'



Front Porch:

Lot B House :
'Pressure Treated Wood'



Deck:

Lot B House :
'Duradek 60 mil Vinyl Membrane'



Porch/Deck Trim:

Lot B House :
'Benjamin Moore - Nightingale - AF - 670'



Railings:

Lot B House :
'Black'



Window Frames:

Lot B House :
'Black'



Lot B Garage :
'White'





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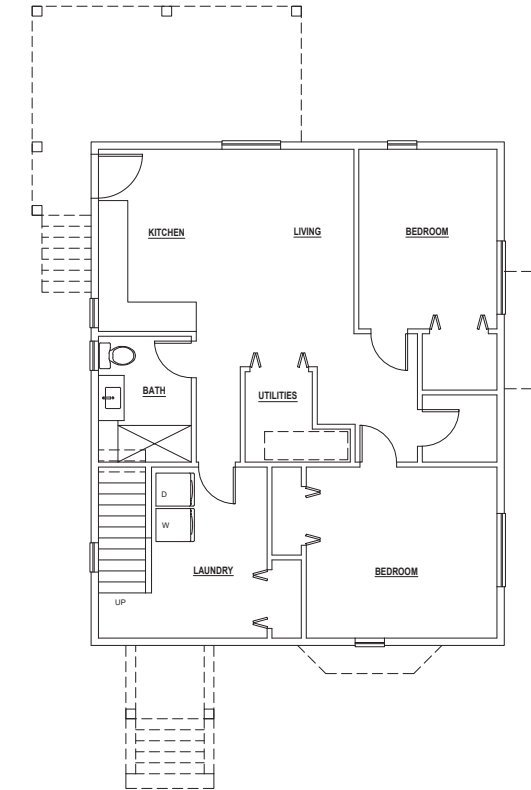
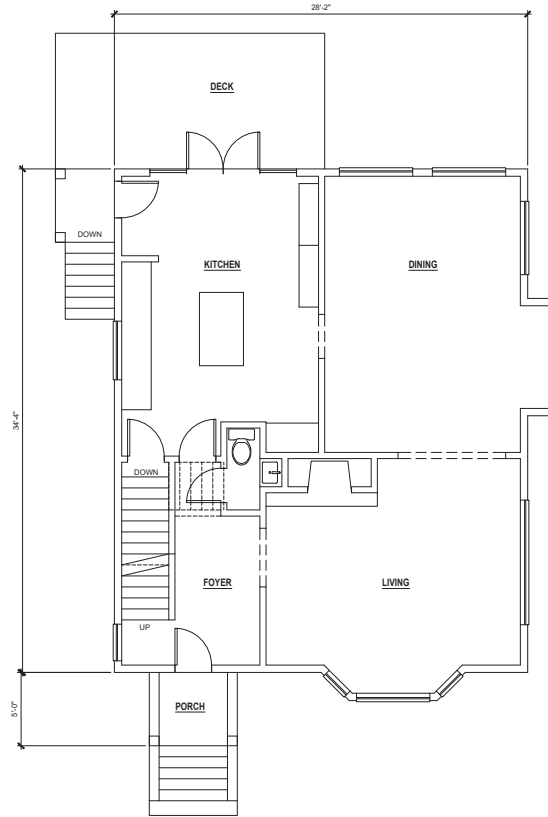
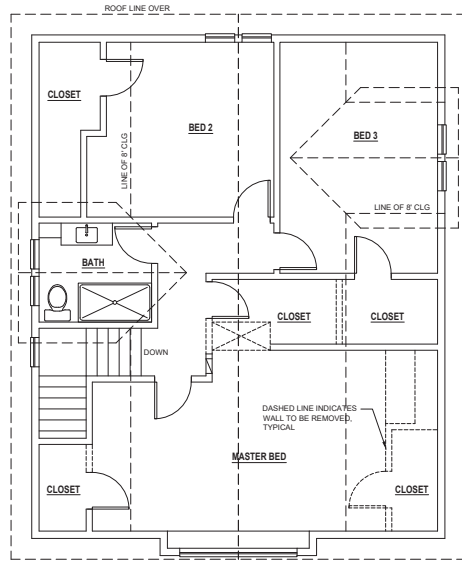
PROJECT
CLEGG HOUSE
1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

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DATE	2022.02.24	FILE NO.
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A-11



2023-04-13 PLANNING REVISIONS
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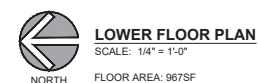
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**CLEGG HOUSE
EXISTING
FLOOR PLANS**

DATE	2022.02.24	FILE NO.
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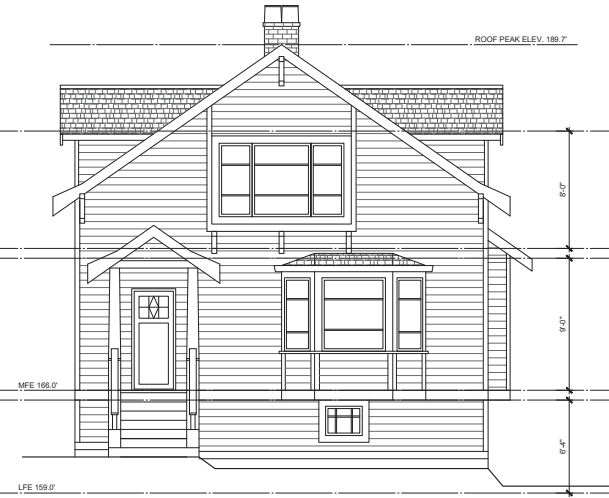
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A-13



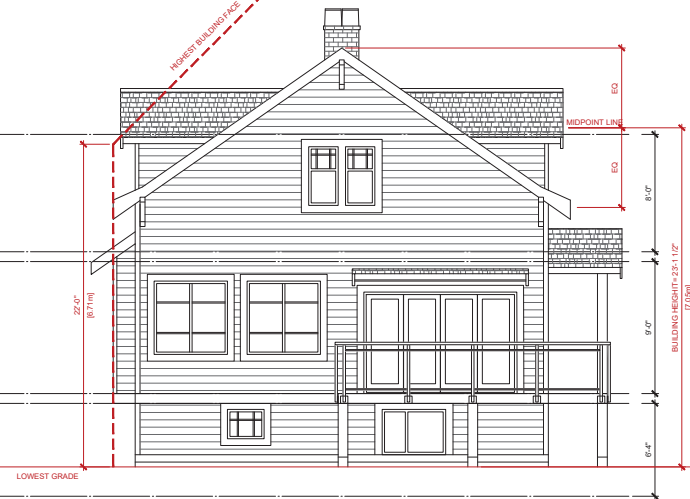
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

2023-04-13 PLANNING REVISIONS
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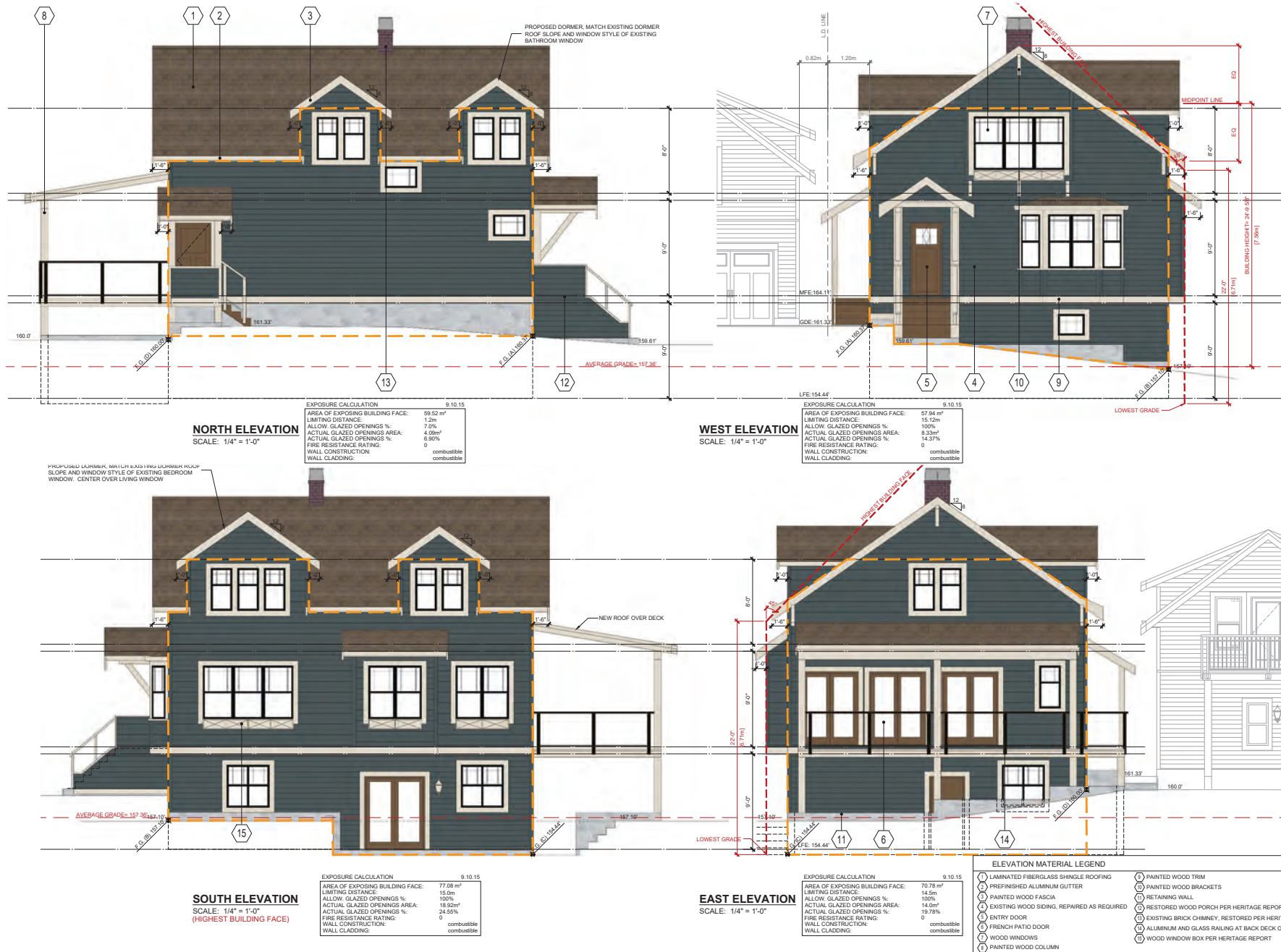
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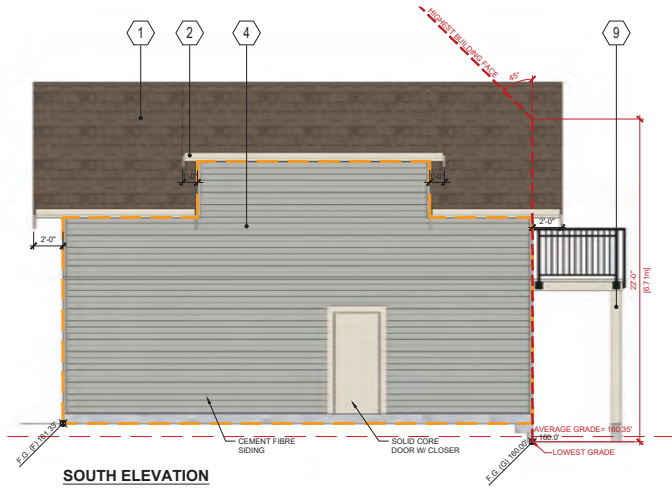
**CLEGG HOUSE
EXISTING
ELEVATIONS**

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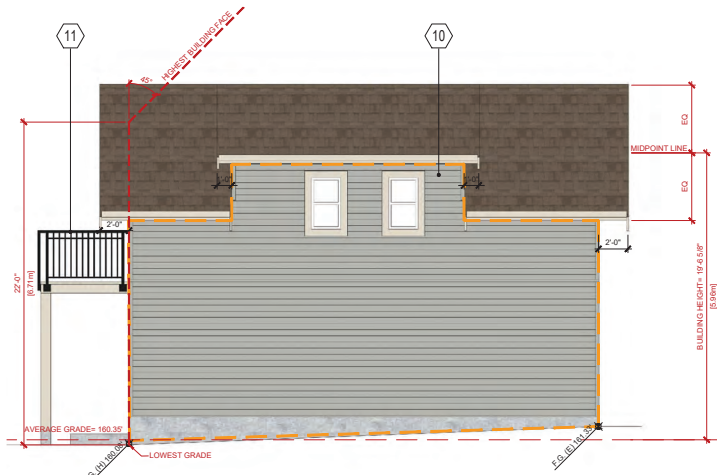
A-14





EXPOSURE CALCULATION 9.10.15

AREA OF EXPOSING BUILDING FACE:	47.36 m ²
LIMITING DISTANCE:	0.82m
ALLOW. GLAZED OPENINGS %:	0%
ACTUAL GLAZED OPENINGS AREA:	0m ²
ACTUAL GLAZED OPENINGS %:	0%
FIRE RESISTANCE RATING:	45 minutes
WALL CONSTRUCTION:	combustible
WALL CLADDING:	non-combustible

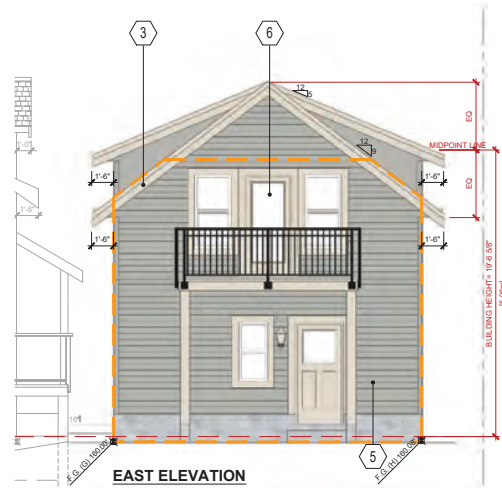


EXPOSURE CALCULATION 9.10.15

AREA OF EXPOSING BUILDING FACE:	48.78 m ²
LIMITING DISTANCE:	1.2m
ALLOW. GLAZED OPENINGS %:	7.2%
ACTUAL GLAZED OPENINGS AREA:	1.30m ²
ACTUAL GLAZED OPENINGS %:	2.67%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible

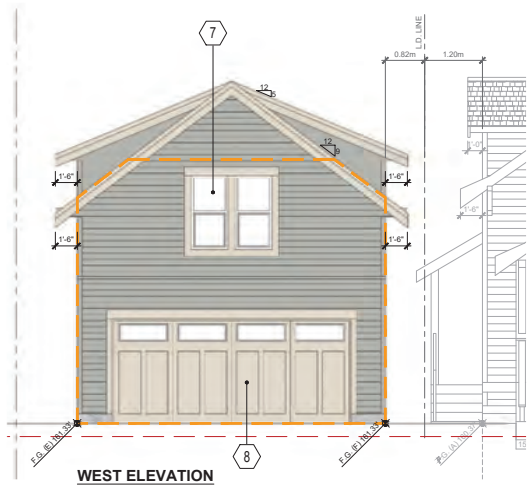
ELEVATION MATERIAL LEGEND

(1) LAMINATED FIBERGLASS SHINGLE ROOFING	(11) VINYL WINDOW
(2) PREFINISHED ALUMINUM GUTTER	(12) OVERHEAD GARAGE DOOR
(3) PAINTED WOOD FASCIA	(13) PAINTED WOOD COLUMN
(4) CEMENT BOARD HORIZONTAL SIDING	(14) PAINTED WOOD TRIM
(5) ENTRY DOOR	(15) METAL RAILING
(6) VINYL SWING PATIO DOOR	



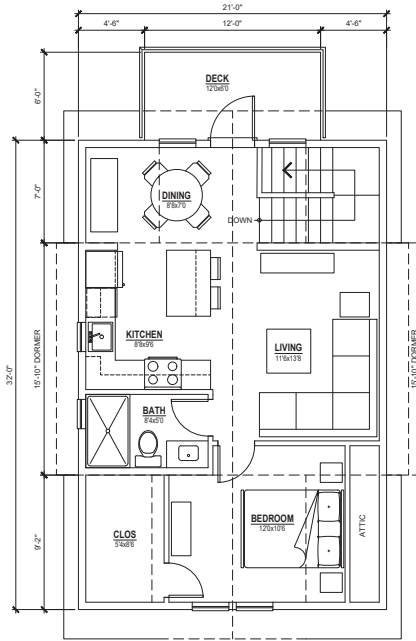
EXPOSURE CALCULATION 9.10.15

AREA OF EXPOSING BUILDING FACE:	36.74 m ²
LIMITING DISTANCE:	12.7m
ALLOW. GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	4.77m ²
ACTUAL GLAZED OPENINGS %:	12.98%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible

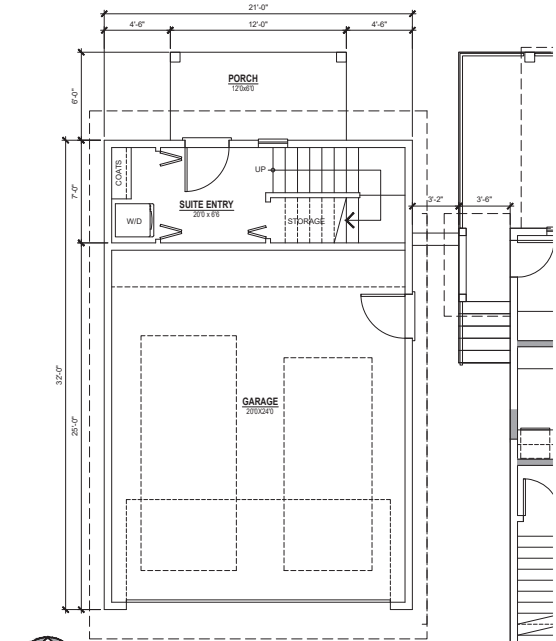


EXPOSURE CALCULATION 9.10.15

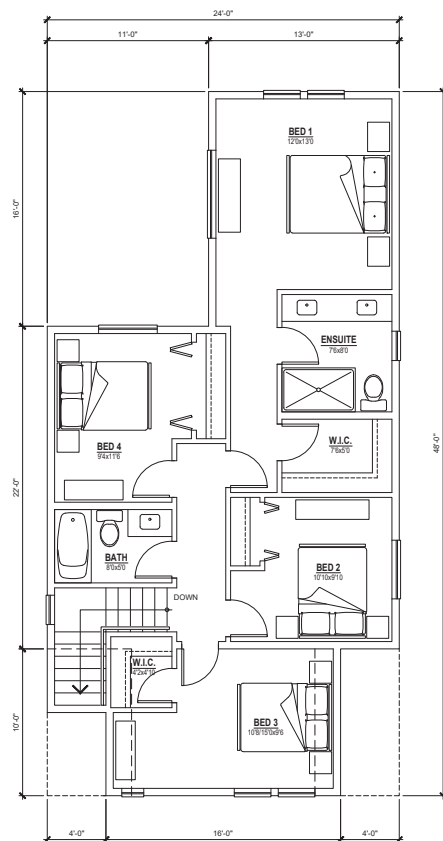
AREA OF EXPOSING BUILDING FACE:	34.27 m ²
LIMITING DISTANCE:	14.53m
ALLOW. GLAZED OPENINGS %:	100%
ACTUAL GLAZED OPENINGS AREA:	3.82m ²
ACTUAL GLAZED OPENINGS %:	11.14%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	combustible
WALL CLADDING:	combustible



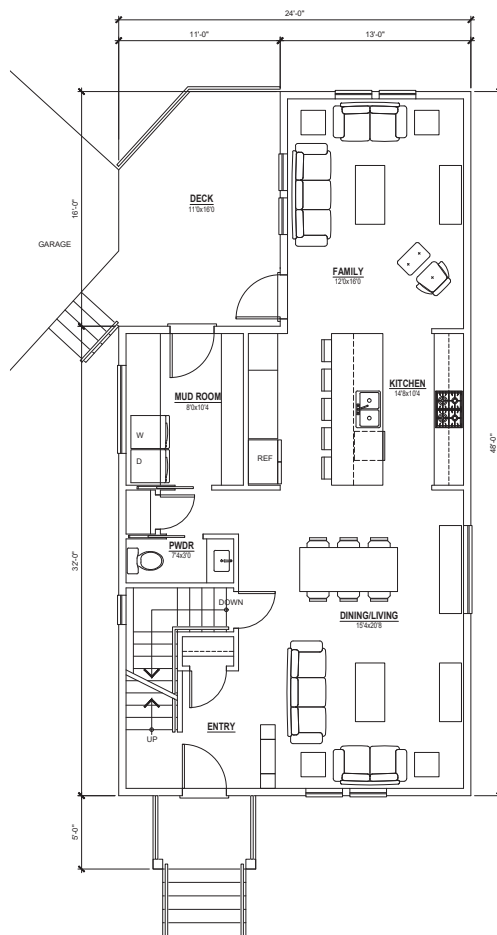
FLOOR AREA: 672 SF



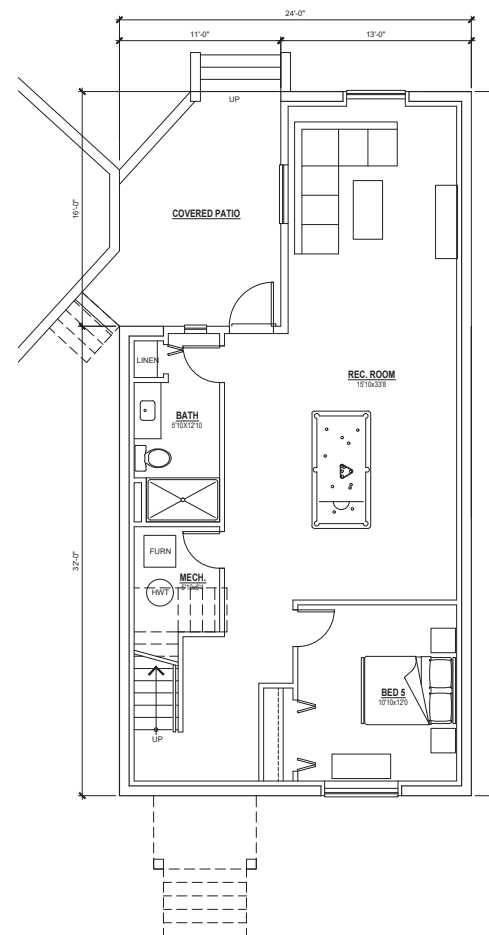
FLOOR AREA: 672 SF
GARAGE: 825 SF
CARRIAGE HOUSE: 147 SF




UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
INTERIOR AREA: 913 SF









MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA: 983 SF



 **LOWER FLOOR PLAN**
SCALE: 1/4" = 1'-0"
FLOOR AREA: 976 SF

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	2023-04-13 PLANNING REVISIONS
	2023-03-02 PLANNING REVISIONS
	2022-10-20 PLANNING REVISIONS
	2022-07-13 PLANNING REVISIONS
	2022-06-09 PLANNING REVISIONS
	2022-04-26 HRA REVISIONS
	2022-03-10 ISSUED FOR HRA REVIEW
REVISIONS	
CONSULTANT	

CLIENT
THE DeCOSTA FAMILY

PROJECT

CLEGG HOUSE

1591 HAYWOOD STREET
WEST VANCOUVER, BC

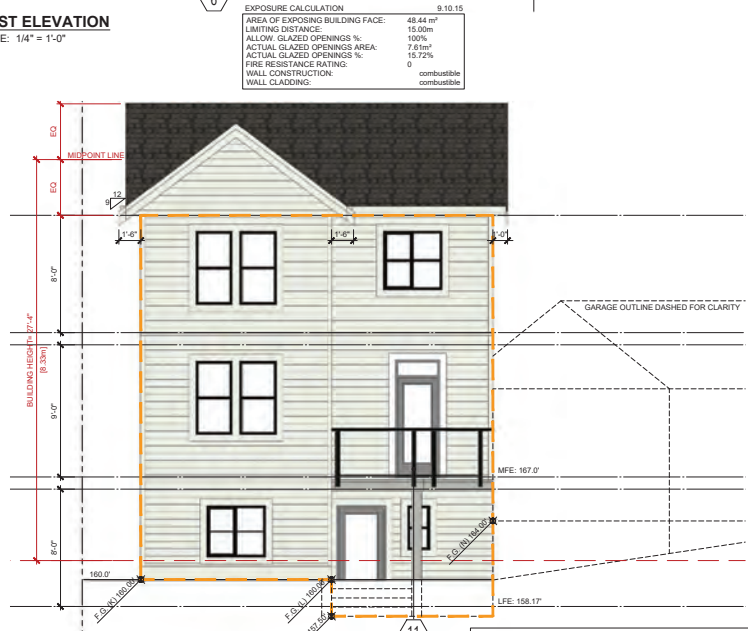
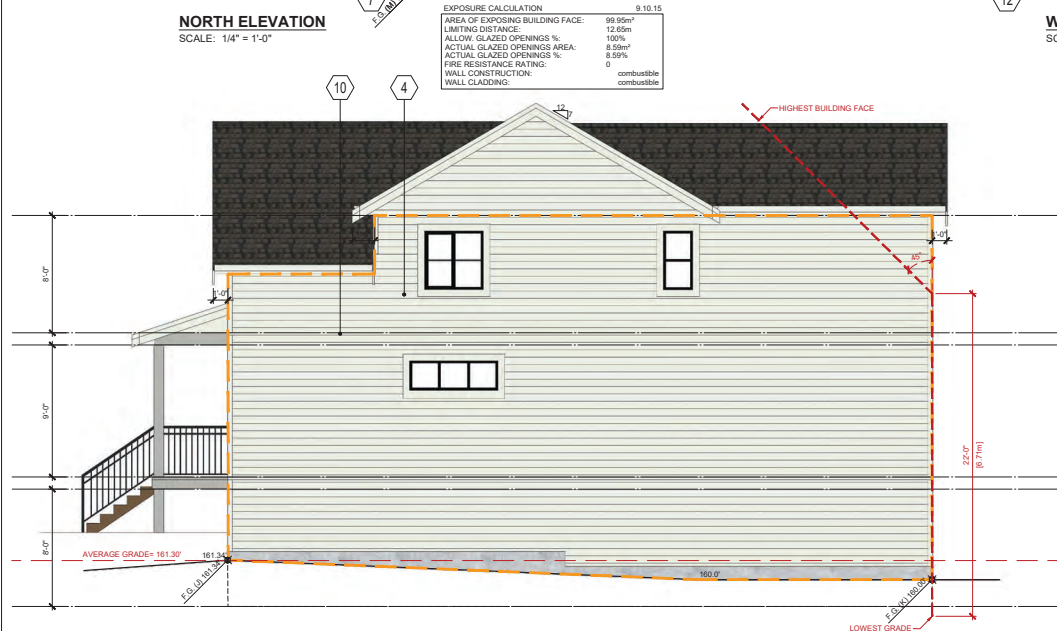
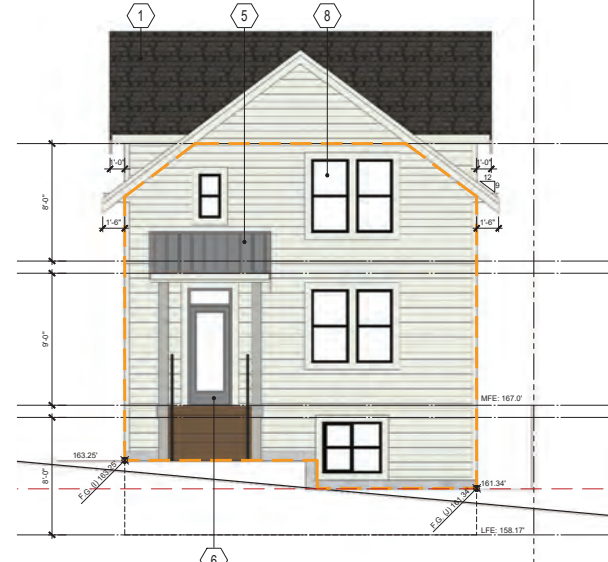
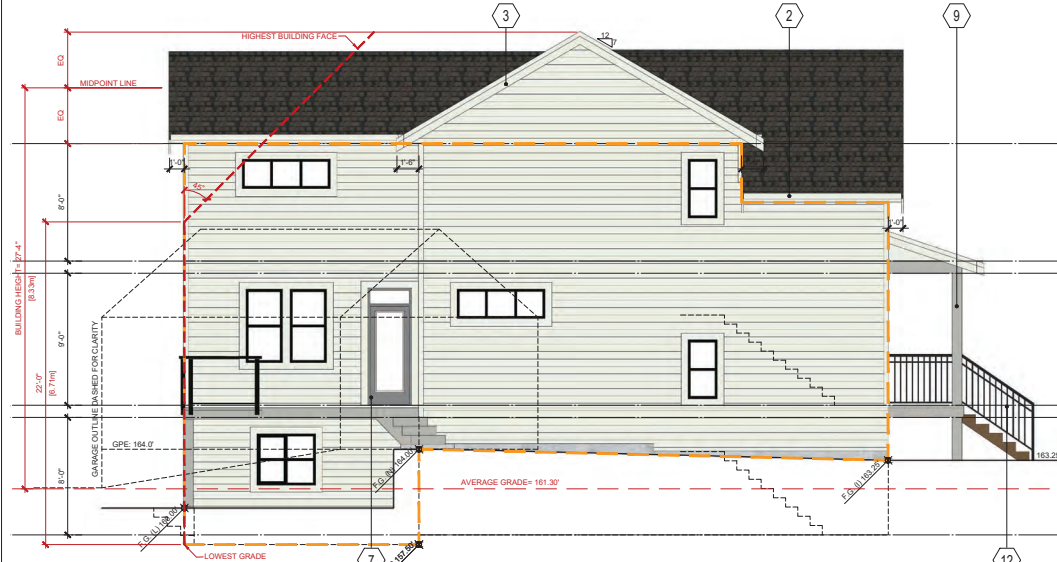
DRAWING TITLE

LOT B HOUSE FLOOR PLANS

DATE	2022.02.24	FILE NO.
DWN.	DW	2120
CHK.	CH	

SEAL
SHEET NO.

A-17



ELEVATION MATERIAL LEGEND	
① COMPOSITE ASPHALT SHINGLES	⑦ VINYL SWING PATIO DOOR
② PREFINISHED ALUMINUM GUTTER	⑧ VINYL WINDOW
③ PAINTED WOOD FASCIA	⑨ PAINTED WOOD COLUMN
④ CEMENT BOARD HORIZONTAL SIDING	⑩ PAINTED WOOD TRIM
⑤ GALVANIZED METAL ROOFING	⑪ ALUMINUM AND GLASS RAILING
⑥ ENTRY DOOR	⑫ METAL RAILING

△ 2023-04-13 PLANNING REVISIONS
△ 2023-03-02 PLANNING REVISIONS
△ 2022-10-20 PLANNING REVISIONS
△ 2022-07-13 PLANNING REVISIONS
△ 2022-06-09 PLANNING REVISIONS
△ 2022-04-28 HRA REVISIONS
2022-03-15 ISSUED FOR HRA REVIEW
REVISIONS
CONSULTANT

CLIENT
THE DUCOSTA FAMILY

PROJECT
CLEGG HOUSE

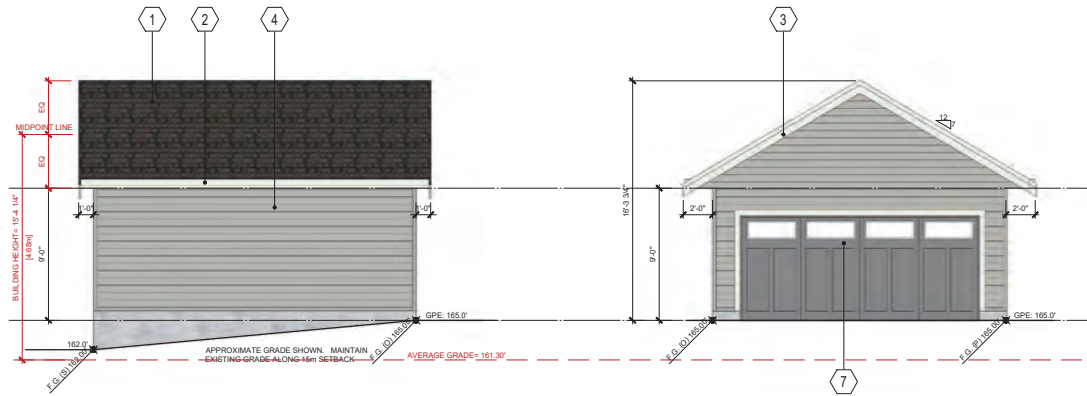
1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**LOT B
HOUSE
ELEVATIONS**

DATE: 2022.02.24 FILE NO.
OWN: DW
CHK: CH **2120**

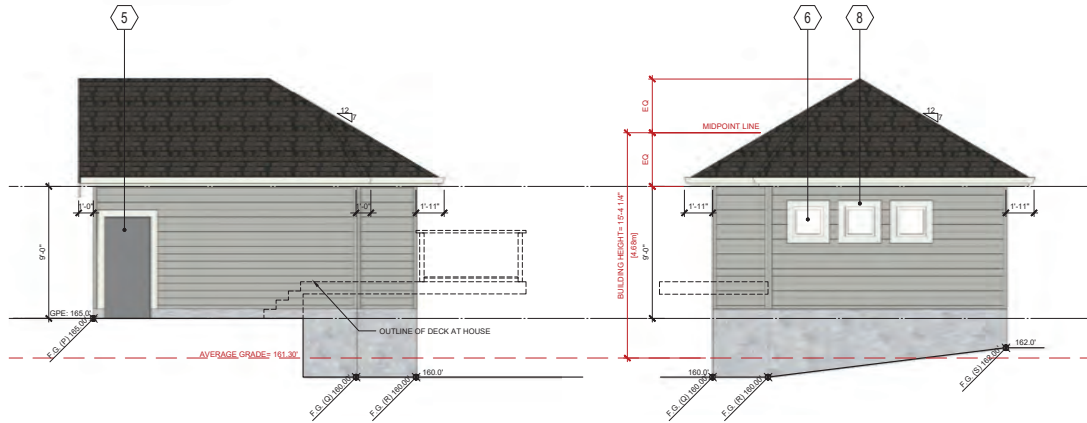
SEAL
SHEET NO.

A-18



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

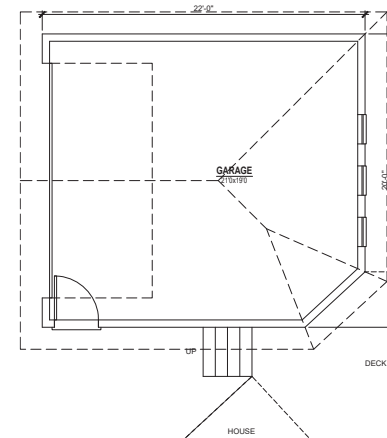
WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION MATERIAL LEGEND			
①	LAMINATED FIBERGLASS SHINGLE ROOFING	⑦	ENTRY DOOR
②	PREFINISHED ALUMINUM GUTTER	⑧	VINYL WINDOW
③	PAINTED WOOD FASCIA	⑨	OVERHEAD GARAGE DOOR
④	CEMENT BOARD HORIZONTAL SIDING	⑩	PAINTED WOOD TRIM



FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA: 432 SF

△	2023-04-13 PLANNING REVISIONS
△	2023-03-02 PLANNING REVISIONS
△	2022-10-20 PLANNING REVISIONS
△	2022-07-13 PLANNING REVISIONS
△	2022-06-09 PLANNING REVISIONS
△	2022-04-28 HRA REVISIONS
△	2022-03-10 ISSUED FOR HRA REVIEW
REVISIONS	
CONSULTANT	

CLIENT
THE DE COSTA FAMILY

PROJECT
CLEGG HOUSE

1891 HAYWOOD STREET
WEST VANCOUVER, BC
DRAWING TITLE

**LOT B
GARAGE PLANS
& ELEVATIONS**

DATE	2022.02.24	FILE NO.	
DWN.	DW		
CHK.	CH		2120

SEAL
SHEET NO.

A-19



Environmental Development Permit Application

March 09, 2023

Stephanie Louie
Environmental Protection Officer
District of West Vancouver
750 – 17th St.
West Vancouver, B.C.
V7V 3T3

Re: Proposed Subdivision for Development, 1591 Haywood Avenue, West Vancouver (REV03)

INTRODUCTION

Sartori Environmental Inc. (SEI) has been retained by the owners of 1591 Haywood Avenue, West Vancouver (the Subject Property), to assess the environmental implications of subdividing the property into two single family lots for future development. This EDP is part of the Heritage Revitalization Agreement (HRA) preliminary development proposal as both lots would fall partially within the environmental setbacks of the west tributary to Vinson Creek (the Creek). This report and attached drawings form part of the District of West Vancouver's (DWV) Environmental Development Permit (EDP) application, which is required for development within 15 m of a watercourse according to DWV *Watercourse Protection (2015)* guidelines. The DWV *Watercourse Protection (2015)* guidelines restrict development between 0 m and 5 m, and 5 m and 15 m from ToB of a watercourse; herein called the 5-m and 15-m Setbacks, respectively. This revision addresses DWV comments regarding an error in the habitat balance and more specific wording for tree replacement on the Subject Property.

EXISTING CONDITIONS

Subject Property

SEI visited the Subject Property on February 15, 2022. The Subject Property is 1287.7 m² in size and contains a single-family dwelling, including a detached garage, asphalt driveway, and several grass areas.

The existing dwelling is centrally located on the Subject Property, with the driveway access from the northwest, off 16th Street. The Subject Property is bounded by Haywood Avenue to the south, an unused laneway to the north and a single-family residence to the east. The Creek bisects the north-east property corner; therefore, the northeastern half of Subject Property is predominantly overlapped by the DWV's 5-m and 15-m Setbacks. Structures and hard surfaces within the 5-m Setback include the existing garage and stone retaining wall. Evidence of a shallow stone retaining wall around the southern bank of the creek is present but appears to be eroding and falling into the creek. Structures and hard surfaces within the 15-m Setback include a small portion of the house and existing wooden staircase and concrete patio, the stone retaining wall, the driveway and concrete pathways around the house.

Aquatic/Instream Conditions

The Subject Property contains a 13.5 m section of the Creek flowing from northwest to southeast. This reach of the Creek flows as an open channel with a bankfull width of 1 – 2 m. The banks are steeply cut, but shallow in height (approx. 0.5 m). The southern bank is shallow and flattens out within 0.5 m to become grassy lawn. The northern bank is steep and overgrown with numerous invasive species, including English ivy (*Hedera helix*), ornamental bamboo (*Phyllostachys sp*) and Knotweed (*Fallopia sp*). It is not possible to determine the state of the stream bank on the northern side due to overgrowth of these species. The substrate of the Creek consists of gravels, cobbles, and sand, with some mid-sized boulders, with a gradient of approximately 2 to 4%. Downstream of the Subject Property, the Creek flows predominantly as an open channel through residential properties to the outlet at Ambleside Beach, near the mouth of Burrard Inlet, with the exception of seven road crossing culverts. From the Subject Property to the confluence with Burrard Inlet is approximately 1.1 km, with a total stream length of 2.85 km.

A review of the BC Ministry of Environment Fish Inventory Data Queries database and BC Habitat Wizard did not result in gazetted fish occurrences, however, through conversation with an experienced RPBio, fish presence was confirmed within the lower reaches of the Creek. The results of this conversation are in Table 1 below:

Table 1: Historical evidence (information retrieved on 12-Mar-2022 from Alex Sartori, RPBio).

Common Name	Scientific Name
Rainbow Trout	Oncorhynchus mykiss
Coastal Cutthroat Trout	Oncorhynchus
Coho Salmon	Oncorhynchus kisutch

Riparian Conditions

Riparian vegetation within the Subjects Property's 15-m Setback consists of lawn, non-native naturalized garden species and invasive species. Vegetation on the northern bank contains native shrubs (sword fern (*Polystichum munitum*)) and a variety of invasive species. The following invasive species were observed within the 15 m setback to Vinson Creek: English ivy (*Hedera helix*), yellow archangel (*Lamium galeobdolon*), Himalayan blackberry (*Rubus armeniacus*), cherry laurel (*Prunus laurocerasus*), ornamental bamboo (*Phyllostachys spp.*) English holly (*Ilex aquifolium*) and spurge laurel (*Daphne laureola*). SEI suspects a very small infestation of knotweed spp. (*Fallopia spp.*) exists on the northern bank. SEI observed three to five dead stems but has not been to site during the growing season. The existing garage proposed for removal is located adjacent to ToB (within 1.5 m) on the southern bank of the Creek.

PROPOSED SUBDIVISION AND DEVELOPMENT

The proposed subdivision consists of dividing the existing single lot property (1287.7 m²) into two single family lots; Lot 'A' (658.2 m²) to the south and Lot 'B' (629.5 m²) to the North. On Lot



'A' a concept plan for moving the existing dwelling (under HRA) and building a new garage has been developed. On Lot 'B' a concept plan has been show for the future development of a single-family dwelling and detached garage with associated peripheral hard surfaces (driveway and walkway). The new house position and garage for Lot 'A' are proposed entirely outside of the 15-m Setback. The concept house and garage for Lot 'B' are located entirely outside the 5-m Setback, and partially within the 15-m Setback. Three trees on Lot 'B' within the 15-m Setback are proposed for removal as part of this development. An arborist report will be submitted under separate cover, and replacement trees have been included in the Riparian Restoration Plan.

HABITAT BALANCE

Habitat gains and impacts between ToB and the 15-m Setback resulting from the proposed concept plans were calculated using AutoCAD and are presented in Table 2 below and attached in Figure 1: Habitat Balance & Invasive Species Management Area.

An assessment and habitat balance was completed for both Lot 'A' and Lot 'B' individually to demonstrate that the proposed subdivision and development on each Lot meets the DWV *Watercourse Protection Guidelines*.

Table 2: Habitat Balance calculation for Lot 'A'.

Habitat Impacts:	
No habitat Impacts	
Habitat Gains:	
5-m → 15-m Setback:	
Relocation of House	+ 7 m ²
<u>Net Habitat Gain:</u>	<u>+ 7 m²</u>

Table 3: Habitat Balance calculation for Lot 'B'.

Habitat Impacts:	
5-m → 15-m Setback:	
Construction of new garage and house	- 37 m ²
Habitat Gains:	
ToB → 5-m Setback:	
Removal of garage	+ 10 m ²
5-m → 15-m Setback:	
Removal of garage and relocation of house	+ 33 m ²



Net Habitat Gain:

+ 6 m²

RIPARIAN RESTORATION

Two riparian restoration planting polygons are proposed, one is located on the north bank and the second within the 5-m Setback on the south bank of the Creek for a total area of 120 m². Prior to planting, and in order to provide the best chance of successful plant growth and establishment, invasive species and non-native species, identified within the Invasive Species Management Area polygon (see Figure 1: Habitat Balance & Invasive Species Management Area) are proposed to be removed and disposed of according to best management practices. Material import and export activities to and from the Subject Property will implement invasive species best management practices to prevent the spread and proliferation of invasive species. A knotweed management plan has been included below and a certified herbicide applicator should be consulted to begin treatment within the growing period of this year (May to September).

The replanted vegetative buffer will help increase delineation of the riparian area, help prevent erosion of the property into the Creek and riparian area encroachment, whilst providing additional habitat for local flora and fauna, and higher quality food and nutrients to downstream reaches.

As two protected trees are proposed for removal within the 15-m setbacks, replanting of native trees at a 2:1 ratio is proposed to replace those trees within the riparian area of the Creek. A total of 2 conifers and 11 deciduous trees are included in the Riparian Restoration Plan. Tree replacement criteria for the two proposed trees has been included in the Riparian Restoration Plan.

Knotweed Management Plan

The knotweed on-site is present in a tiny patch (three to five visible stems) along the east side of the Subject Property within the 5-m setbacks of the Tributary. As per the Invasive Species Council of BC's Knotweeds TIPS sheet (July 2016), knotweed infestations can generally be treated in three to five years using appropriately and systematically applied herbicides. To eradicate the knotweed infestations from the Subject Property and adjacent areas, the following recommendations shall be followed:

1. Prior to the commencement of construction activities, the knotweed should be flagged to help prevent the treatment area from being disturbed. A certified herbicide applicator experienced in riparian area knotweed treatment should be retained to conduct treatments.
2. Knotweed treatment efforts should be conducted annually during a dry weather window in the early growing season each year for three years or until a Qualified Environmental Professional (QEP) advises that eradication efforts are complete and no further treatment is required. Treatments should be applied twice per year during the first to second years and may increase treatment program efficiency.



3. A knotweed treatment notice shall be sent to the District of West Vancouver on an annual basis during the three-year treatment period to confirm ongoing eradication efforts.

CONSTRUCTION ENVIRONMENTAL MITIGATION MEASURES

General Environmental Mitigation Measures

At a minimum, the following general environmental mitigation measures shall be implemented during demolition and construction:

- If off-site removal of invasive species is required, the material should be placed within a sealed container or bag or covered securely during transport to an appropriate disposal site;
- if off-site removal of soil is required along the east side of the house, this soil should be considered potentially contaminated with knotweed rhizomes and brought to an approved disposal location;
- street cleaning will be conducted if any sediment is tracked out onto paved surfaces;
- imported material will be clean and/or free of contamination;
- a spill kit will be kept on-site throughout the duration of the works;
- machinery will be inspected daily to identify any leaks and wearing parts before they fail;
- leaking equipment or wearing parts will be repaired/replaced before continuing service; and
- refueling of machinery and equipment will occur as far away from catch basins and watercourses as practical.

CONCLUSIONS

In the opinion of SEI, the proposed renovation of the Subject Property addresses the DWV Watercourse Protection (2015) guidelines, as follows:

- *Locate development on portions of the site that are least environmentally sensitive*
 - **Lot 'A' - The new house location is entirely outside of the 15 m Setback.**
 - **Lot 'B' - The new house and garage is proposed for construction entirely outside of the 5-m Setback.**
- *Avoid net loss of riparian habitat within 15 m of the top of the watercourse bank or edge of the wetland*
 - **Lot 'A' - The habitat balance for the proposed development demonstrates a net gain of 7 m².**
 - **Lot 'B' - The habitat balance for the proposed development demonstrates a net gain of 6 m².**



- *Within 15 m of the top of the watercourse bank or edge of wetland, locate new buildings, structures and impervious/semi-impervious surfaces at least as far from the watercourse or wetland as any existing development*
 - **Lot 'A' - The closest hard surface is currently the existing back deck/concrete patio at 13.5 m from Vinson Creek at its closest point. The closest proposed hard surface is the retaining wall beside the garage, 16.3 m from Vinson Creek.**
 - **Lot 'B' – The closest hard surface is the existing garage at 1.5 m from Vinson Creek. The closest proposed hard surface is the garage at 5 m from Vinson Creek.**
- *Keep free of new buildings, structures, and impervious/semi-impervious surfaces the area within 5 m of the top of the watercourse bank or edge of the wetland*
No new buildings, structures, or impervious/ semi-impervious surfaces are proposed within the 5-m Setback for Lot 'A' or Lot 'B'.
- *Enhance, and where feasible, restore watercourses in already developed areas to improve watercourse quality from uplands to inlets*
The implementation of the Riparian Restoration Plan and Invasive Species Management Plan will serve to provide additional habitat for local flora and fauna suited to native riparian conditions and provide higher quality food and nutrients to downstream reaches of Vinson Creek.

Please contact the undersigned if you require any additional information or clarification of the above.

ENDORSEMENT

Sartori Environmental Inc.

Authored by:

The undersigned certifies the work described herein fulfills standards acceptable of a Biologist in Training.



[Digital Copy, Original Signed]

Assunta McCullough, B.I.T., BSc.

Project Biologist

Reviewed and Endorsed by:

The undersigned certifies the work described herein fulfills standards acceptable of a Professional Biologist.



[Digital Copy, Original Signed]

Stephen Sims, RPBio

Senior Biologist

Attachments (2):

- Figure 1: Habitat Balance & Invasive Species Management (2023-03-09; Rev03)
- Figure 2: Riparian Restoration Plan (2022-06-13; Rev01)



Sartori Environmental Inc.

106 – 185 Forester Street North Vancouver, BC, Canada V7H 0A6
604-987-5588 | info@sartorienv.com | www.sartorienv.com

PHOTOGRAPHIC DOCUMENTATION



Photo 1. Existing conditions looking west towards the existing garage (2022-02-15).



Photo 2. Creek substrate conditions at upstream extent of Creek on Subject Property (2022-02-15).



Photo 3. Existing house and stone retaining walls, benched areas within the 5-m Setback on the Subject Property (2022-02-15).



Photo 4. Riparian conditions and Creek on Subject Property within 15 m setback (2022-02-15).



Photo 5. Northern bank – invasive species proposed for removal (2022-02-15).



Photo 6. Existing garage proposed for removal (2022-02-15).



Habitat Balance Within 15 m Top of Bank - Lot B

Habitat Impacts:

5-m → 15-m Setback:

Proposed garage addition

- 37 m²

Habitat Gains:

ToB → 5-m Setback

Removal of garage

+ 10 m²

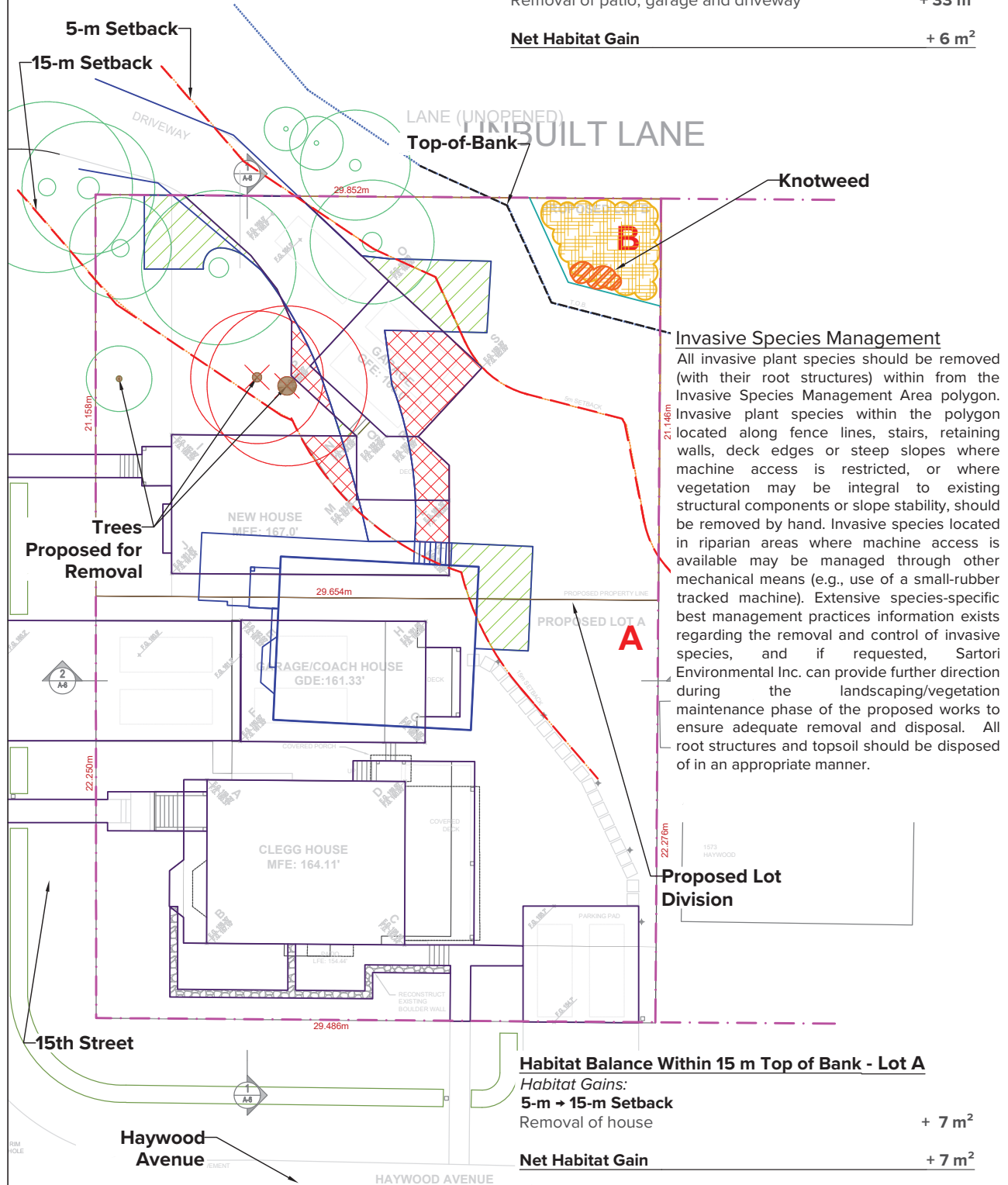
5-m → 15-m Setback

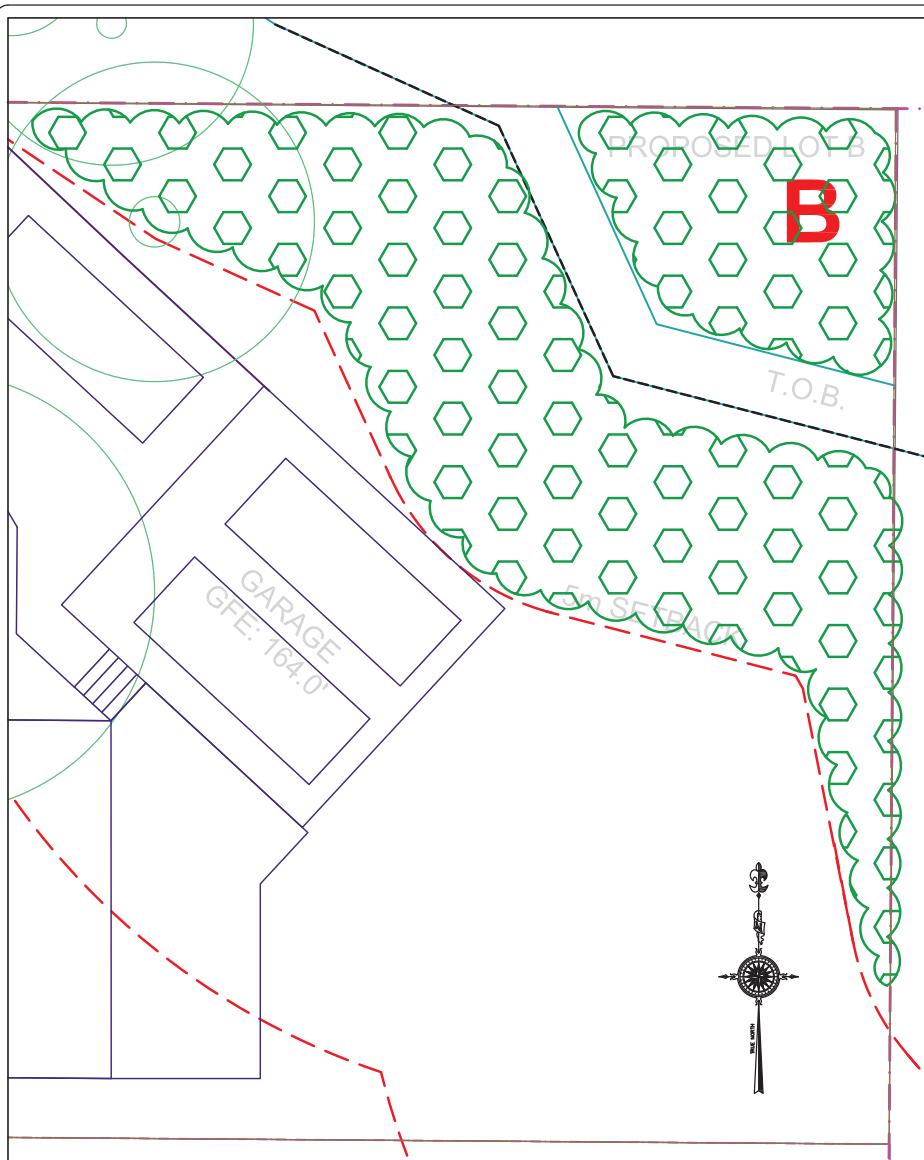
Removal of patio, garage and driveway

+ 33 m²

Net Habitat Gain

+ 6 m²





Riparian Planting Plan

Approximately 17 m² of planting is proposed at an average density of 1 plant per 1.5 m² within identified riparian planting areas to accommodate for calculated habitat gains, compensate for habitat impacts, and increase the overall biological productivity of the watercourses riparian zone. Plant species should be selected with consideration to plant community, competitive nature, shade tolerance, growth rates and rate of spread. No more than 25% of one species may be selected from the plant list. Efforts will be taken to retain existing native vegetation in place or may be carefully removed, stored and transplanted to another area on the Subject Property. If plant species substitutions are desired due to reasons of aesthetics or plant stock availability, Sartori Environmental Inc should be contacted at 604.987.5588 to review and comment.

Coniferous Trees

(3.0 - 5.0 m Spacing from other coniferous trees, and purchased at a minimum height of 2.0 m, unless otherwise specified)

Western red cedar (*Thuja plicata*)
Douglas fir (*Pseudotsuga menziesii*)
Western hemlock (*Tsuga heterophylla*)
Shore pine (*Pinus contorta* var. *contorta*)

TOTAL - 2*

* coniferous trees must be purchased at a height of at least 2.0 m

Deciduous Trees

(1.5 - 3.0 m spacing from other deciduous and coniferous trees, and purchased at a minimum height of 1.2 m, unless otherwise specified)

Red alder (*Alnus rubra*)
Pacific willow (*Salix lucida* ssp. *lasianдра*)
Bitter cherry (*Prunus emarginata*)
Vine maple (*Acer circinatum*)
Cascara (*Rhamnus purshiana*)
Beaked Hazelnut (*Corylus cornuta*)
Sitka willow (*Salix sitchensis*)
Mountain Ash (*Sorbus scopulina*)

TOTAL - 11**

** deciduous trees must be purchased at a height of at least 1.2 m.

Shrubs

(0.25 - 1.0 m spacing from other vegetation and purchased in minimum #1 or one gallon containers)

Salmonberry (*Rubus spectabilis*)
Red huckleberry (*Vaccinium parvifolium*)
Red-osier dogwood (*Cornus stolonifera*)
Western swordfern (*Polystichum munitum*)
Salal (*Gaultheria shallon*)
Oregon grape (*Mahonia aquifolium*)
Nootka rose (*Rosa nutkana*)
Pacific ninebark (*Physocarpus capitatus*)
Deer fern (*Blechnum spicant*)
Elderberry (*Sambucus racemosa*)

TOTAL - 67***

***No more than 25% of one species may be

Purchasing, Site Preparation and Planting

Botanical names should be referenced when purchasing to ensure accuracy and all specimens should be of guaranteed nursery stock. Purchased stock should be tagged with species name, and tags should be left on after planting for the purpose of planting confirmation. Nursery stock should be a minimum of two years old at purchase to ensure developed root systems and increase the likelihood of survival. Once plant stock is received onsite, specimens should be stored in a cool, shady location and watered regularly. Planting should be undertaken during the fall (Sep - Oct) or spring (Mar - Apr) for maximized probability of survival. Prior to planting, it should be ensured that adequate soil structure and nutrient content exist through appropriate storage of existing onsite material or import of organic growing medium. If growing medium is to be retained from onsite, consideration should be given to organic stockpile depth (no greater than 1.0m) and length of storage time (ideally less than 1 month) to maintain nutrient cycling, microbial activity and viability of native seed stock. Once placed, factors affecting soil compaction (i.e. traffic, machine movement, material storage) should also be considered. If material import is required for growing medium, it should be inert and certified free of invasive or noxious weed species. Holes should be dug 2-3 times larger than the size of the roots and soil should be non-compacted. Root ball untangling, pruning, splitting and burlap sack removal should be done in a means suitable to allowing the newly planted roots to spread and avoid root girdling. If in doubt, supplier planting prescriptions should be consulted. Regular watering and/or fertilizer application may also be required to ensure adequate recruitment.

The following plant spacings are included as a guideline, and clustering of plants around preferred microsites (e.g., woody debris, large trees, wetted depressions on dry sites, drier mounds on wet sites, etc.) is preferred to a standard grid formation. Course woody debris (CWD), if locally available, should be placed within the planting area to promote nutrient cycling and wildlife habitat, and to serve as native seedbanks. Coniferous Trees should be 2.0 m (Min) height and planted 3.0 - 5.0 m away from other coniferous trees. Deciduous Trees should be 1.2 m (Min) height and planted 1.5 - 2.0 m away from other coniferous and deciduous trees, unless planted in a cluster. Shrubs should be purchased in minimum 1 gallon pots and planted 0.25 - 1.0 m away from other vegetation. Plant species locations should be selected in consultation with an experienced landscaper to determine shade and growing tolerances.

All acquired plant materials shall be healthy, with well developed root systems and top growth, and shall be free of disease, insect infestation and the following defects at all times: broken tops, torn roots and abrasions of bark on trunk and branches; dried out root systems; prematurely opened or damaged buds; dry, loose or broken ball of earth; evidence of heating, moulding, or freezing damage; thin, poor root or top systems, and abnormal leaf colour.

 120 m²
Riparian Restoration Area
(1 plant per 1.5 m²)

NOTE TO CLIENT: It is integral that prescriptions provided within this Riparian Restoration Plan (the "Plan") are adhered to, and if questions or concerns arise during Plan implementation, Sartori Environmental Inc. or the District of West Vancouver (DWV) should be contacted to resolve potential issues with compliance. As release of municipal environmental security deposits are subject to DWV inspections, facilitating easy auditing by DWV is likely to save time and money, and result in full deposit return. Therefore, Sartori recommends the owner should (1) retain a reputable landscape company to implement the Plan and provide "as-planted" figures, (2) consolidate and retain all documentation including plant purchase, landscaping and invasive plant removal receipts, and (3) Ensure all planted specimens are flagged (with species), or nursery tagged, and those tags remain in place until all conditions of the Development Permit are satisfied.



1591 Haywood Avenue, DWV
Riparian Restoration Plan
Environmental Development Permit

Figure 2: Riparian Restoration Plan

DATE 2022-06-13 | DRAWN BY AM | SCALE 1:100

REV 01

TREE MANAGEMENT PLAN

1591 HAYWOOD AVE, WEST
VANCOUVER BC V7V 1W4

DARRIN DACOSTA

Submitted by:

Andrew Hooper
ISA Certified Arborist PN# 6307A
TRAQ# 372
Silverback Treeworks Ltd.
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Version 1.0

December 17, 2022

Table of Contents

1.	PROPERTY LOCATION	2
2.	SCOPE AND PURPOSE	2
3.	SITE ASSESSMENT AND TREE INVENTORY	5
4.	TREE MANAGEMENT PLAN	6
4.1.	Street Trees.....	6
4.2.	Property Trees	7
5.	TESTING AND ANALYSIS:	8
6.	ASSUMPTIONS AND LIMITING CONDITIONS:	8
7.	CLOSURE	9
APPENDIX 1		21

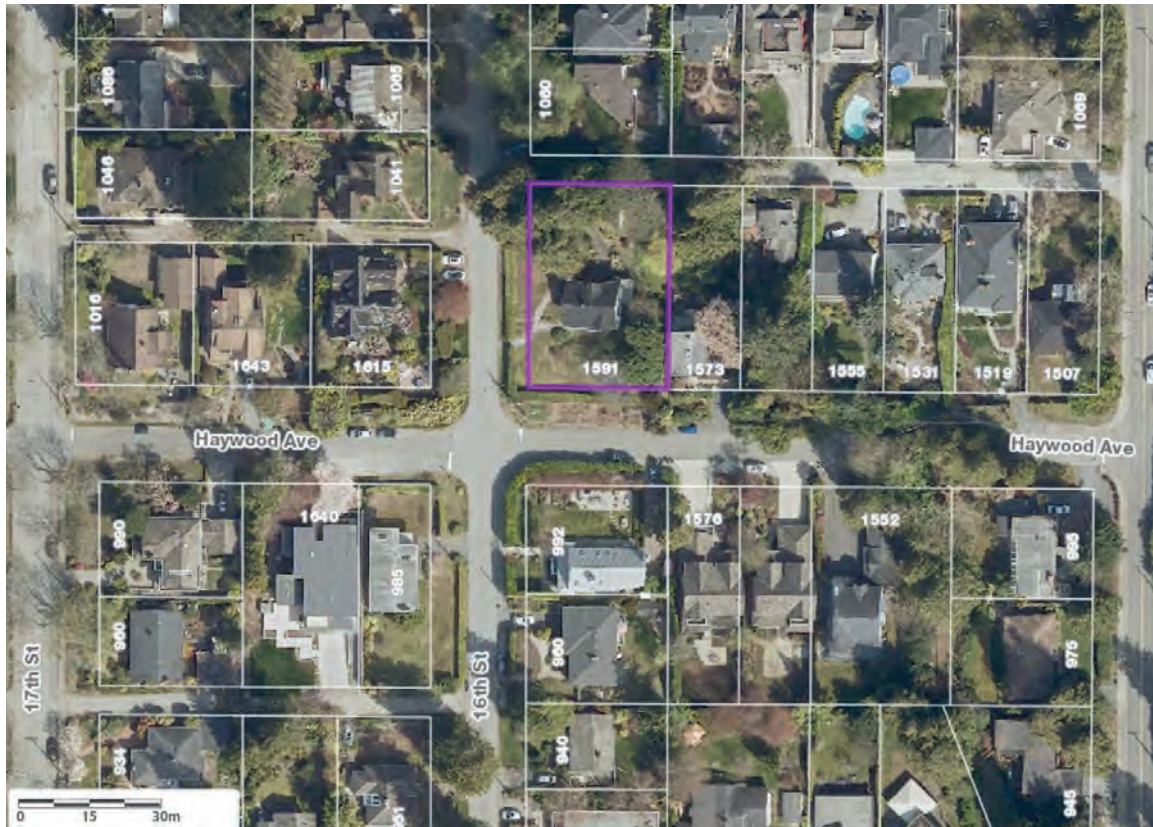
Table of Figures

Figure 1.	An aerial image of the site.....	2
Figure 2.	Site survey and inventoried trees at 1591 Haywood Ave, West Vancouver.....	3
Figure 3.	Proposed development and tree management at 1591 Haywood Avenue, West Vancouver.....	4

1. Property Location

One lot comprises the property 1591 Haywood Ave, West Vancouver, BC. as presented in Figure 1.

Figure 1. An aerial image of the site.

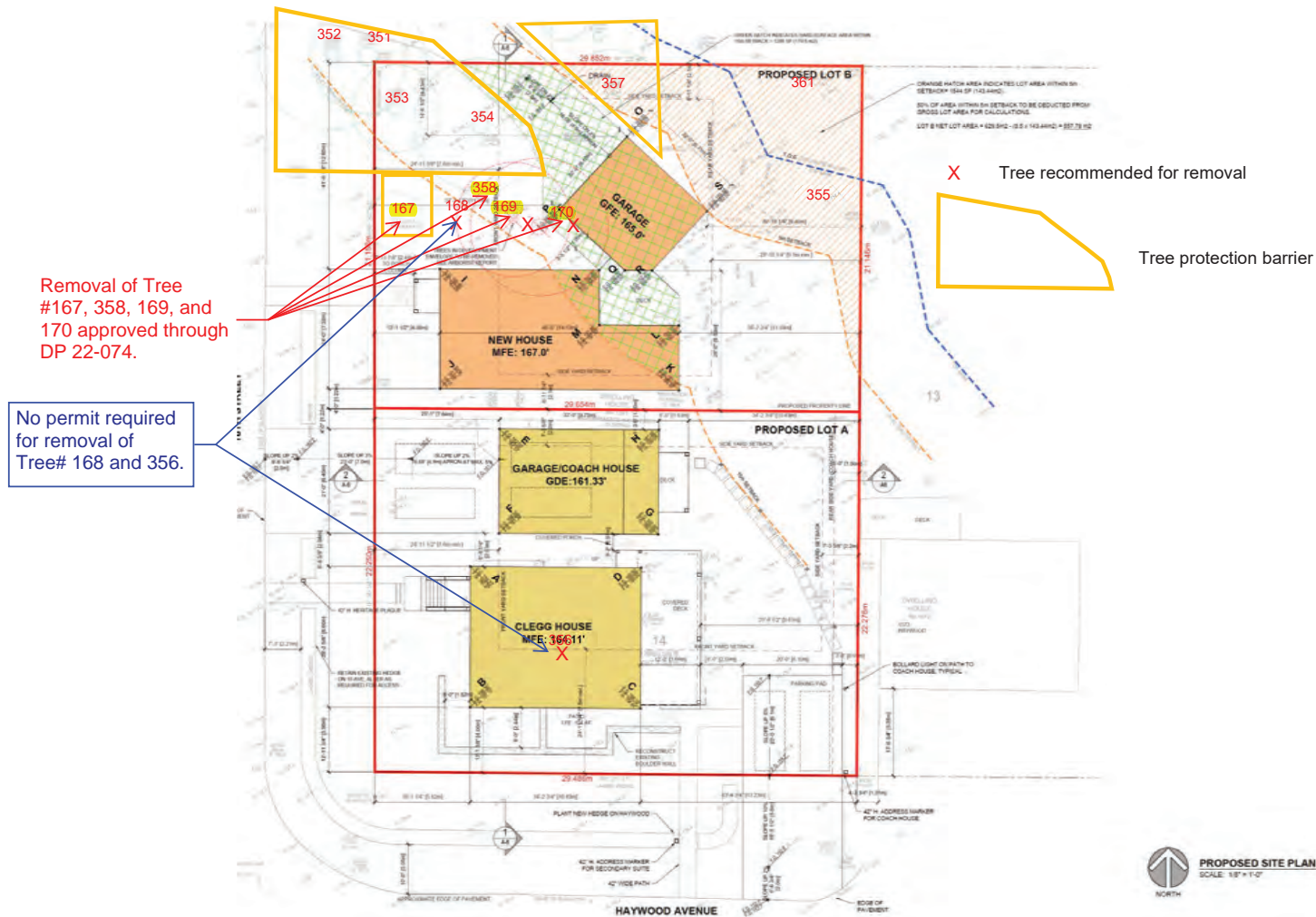


2. Scope and Purpose

This report is provided to you as a means of addressing the District of West Vancouver requirements for tree inventory and management plan in the permit application process associated with the proposed development at 1591 Haywood Ave. The purpose of this report is to provide a tree inventory for all trees on the property and within the building envelope (Table 1). This information is intended to assist permitting officers, landscape architects, engineers and project managers during the planning and implementation of this project.

The site survey is described in Figure 2 that includes identified trees highlighted in red. The proposed development will have 2 housing units and 2 garages.

Figure 3. Proposed development and tree management at 1591 Haywood Avenue, West Vancouver.



3. Site Assessment and Tree Inventory

A site visit was completed May 4, 2022. Haywood Avenue borders the property to the south, 16th Avenue borders the west side with residential properties located to the north and east.

The property is residential. A creek runs through the property from the north, southwest to the western property line. The creek is surrounded by native tree species such as Alders, Cedars and Pines.

Our report focused on the trees within the property line and two substantial Cedar Street trees on District of West Vancouver property. All trees on site with a DBH of 20 cm or greater on site have been recorded in this inventory. In total, 13 trees were identified including six Western Red Cedars, two Apple trees, one Arbutus, one Rowan, one Vine maple, one Alder and one Dogwood.

A tree protection zone (TPZ) is an arborist defined area around each tree intended to protect roots and soil within the critical root zone during development in order to ensure the health and stability for long term retention. The actual TPZ may be defined using many factors including the health and age of a tree, species and any existing factors that may have restricted root and / or canopy development.

Condition classifications included in Table 1 adhere to the following overall health and structure rating:

- Good - Tree is in good condition with no significant structural weakness or health concerns, considering the location, site conditions and species.
- Fair - Tree has noted health and / or minor structural weaknesses. Management strategies such as pruning, and modifications are reasonable to improve the health and / or condition of the tree.
- Poor - Tree is in serious decline and has multiple very definable health and / or structural weaknesses.
- Dead / Dying - Tree was found to be dead and/or dying and/or has sever defects

Table 1. Tree inventory and description of all trees on and within the building envelope.

Tree ID	species	DBH	height (m)	condition	comments
351	Western red cedar <i>Thuja plicata</i>	101	33	good	Street tree.co-dominant stem. topped but looks good.
352	Western red cedar <i>Thuja plicata</i>	88	34	good	Street tree. leaning towards 16 Ave.
353	Western red cedar <i>Thuja plicata</i>	92	34	good	
354	Western red cedar <i>Thuja plicata</i>	99	34	good	co-dominant top looks good
358	Vine maple <i>Acer circinatum</i>	30	8	poor	Recommended for removal because within the building envelope. Tip dieback bark peeling off
357	Western red cedar <i>Thuja plicata</i>	91	32	good	co-dominant stem
355	Apple <i>Malus</i>	21	4	fair	
170	Western red cedar <i>Thuja plicata</i>	98	34	good	Recommended for removal because within the building envelope. Requires approval from the District of West Vancouver.
169	Dogwood <i>Cornus</i>	41	10	fair	Large cavity in the stem. Recommended for removal because within development footprint.
168	Rowan <i>Sorbus</i>	20	10	good	Recommended for removal because within the building envelope.
167	Arbutus (<i>Arbutus</i>)	31	8	poor	large cavity from old wound. suffocated my Ivy. tip dieback. barely any living tips
356	Apple <i>Malus</i>	21	4	fair	Large cavity on stem. Recommended for removal because within the building envelope.
361	Alder <i>Alnus</i>	69	25	good	

Removal of Tree #358, 170, and 169 approved through DP.

Permits not required for removal of Tree #168 and #356.

Removal of Tree #167 approved through DP.

4. Tree Management Plan

4.1. Street Trees

The survey (Figure 2) identified, two street trees, Cedars (Tag ID 351,352) present within the vicinity of the project (Table 1). The trees are in good condition and are located in the northeast corner between 16th Ave and the property (Figure 2). The trees are on municipal land and must not be harmed during construction.

Arborist recommendations: Retain with the following management practices:

- Restrict both foot and mechanized traffic over the TPZ of trees. TPZ size should incorporate the green space around the trees and reflect the hardscape boundary of surrounding the green space. Orange plastic fencing should be placed on the edge of

the hardscape and is recommended as the barrier for its high visibility and size. The barrier should be at least 1.4m in height and re-enforced to last throughout the construction time frame.

4.2. Property Trees

The survey identified a total of 11 property trees (Table 2) on the project site. Of those, 4 trees are not suitable for retention and therefore are recommended for removal because they are within the development footprint. One of these trees, #170 is protected by the District of West Vancouver tree protection bylaw because it is caliper size over 75cm Dbh.

The remaining trees are outside of the development footprint and are recommended for retention because they are in good or fair condition.

Arborist recommendations: Subject to receiving permission from the District of West Vancouver regarding tree #170, remove the 3 trees because they are within the building envelope as depicted in Figure 3. A summary is provided in Table 2.

Tree **#170** is a Cedar (*Thuja plicata*) in good condition. This tree is not suitable for retention because it is within the building envelope of the Lot B garage. Due to the size of the tree, it is not possible to move the garage as it would still likely impact more than a quarter of the tree's critical roots and therefore adversely effect the tree.. Prior permission from the District of West Vancouver is required to remove the tree as it is protected.

Tree **#169** is a Dogwood (*Cornus*) in fair condition. This tree is not suitable for retention because it within the construction footprint.

Tree **#168** is a Rowan (*Sorbus*) in good condition. This tree is not suitable for retention because it is within the construction footprint.

Tree **#356** is an Apple (*Malus spp*) in poor condition. This tree is not suitable for retention because it within the building envelope of the Lot A house.

Table 2. Property tree management

Total trees on property over 20cm Dbh	Trees proposed to be removed due to being within development footprint.	Trees proposed to be removed due to being in poor condition	Trees to be retained
11	4	0	7

The following mitigation measures are to be incorporated for construction.

- Prior to construction, protect retained trees in the northern portion of the subject property by establishing a TPZ as depicted in Figure 3. Restrict both foot and mechanized traffic over the TPZs of the trees by using protective fencing around the area. The TPZ must be well marked and be sufficient enough to deter all foot traffic during the entire duration of the development project. Orange plastic fencing is

recommended as the barrier for its high visibility and size. No material storage or construction equipment storage should occur within the TPZ of the trees. The barrier should be at least 1.4m in height and re-enforced to last throughout the construction time frame.

- Retained trees that require pruning for development should be pruned by a certified arborist in accordance with Best Management Practices ANSI A30

5. Testing and Analysis:

The assessment completed on the trees defined within this report, consisted of a visual and physical inspection from the ground and was based upon the principals of Visual Tree Assessments. No invasive tests, such as using a resistograph or increment borer, were used during the testing for this report.

6. Assumptions and Limiting Conditions:

- The information contained in this report covers only those items that were examined and reflect the condition of these items at the time of inspection. The inspection is limited to visual examination of accessible components without dissection, excavation or probing. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in the future.
- The opinions in this Report are given based upon observations made using generally accepted professional judgment, however, because trees and plants are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this Report are valid only as at the date any such testing, observations and analysis took place. No guarantee, warranty, representation or opinion is offered or made by Silverback Treeworks Ltd. as to the length of the validity of the results, observations, recommendations and analysis contained within this Report.
- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the appraiser/company can neither guarantee nor be responsible for the accuracy of information provided by others.
- All tree work is to be completed under the supervision of an ISA Certified Arborist and in compliance with ISA, BC Hydro and WCB standards.
- Alteration of any part of this report invalidates the entire report.
- Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
- Silverback Treeworks Ltd shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

- Silverback Treeworks Ltd, its officers, employees and agents make no warranty, express or implied representation or otherwise, in respect of this report or its contents.
- Silverback Treeworks Ltd, its officers, employees and agents are exempted, excluded and absolved from all liability for damage for injury, howsoever caused, to any person in connection with or arising out of the use by that person for any purpose of this report or its contents.
- Silverback Treeworks Ltd accepts no responsibility of liability for any loss, damage, expense, fine, penalty or other harm that any person may sustain as a result of the information in, or anything done or omitted pursuant to, this document. Owners are solely responsible for assessing, managing and protecting themselves and their properties from wildfire hazards. For more information visit <http://www.firesmartcanada.ca>

7. CLOSURE

If there are any questions regarding any of the recommendations provided within this report, please feel free to contact me at any time.

Sincerely:



Andrew Hooper
Project Arborist
ISA Certification Number PN# 6307A

December 17, 2022

Date

Appendix 1 Digital Photo Record





EXISTING TREE

EXISTING HEDGE

EXISTING TREE

TURF

REPLACEMENT TREE 4
AUTUMN GOLD
MAINDENHAIR
TREE

TURF

TREES IN DEVELOPMENT
ENVELOPE TO BE REMOVED
SEE ARBORIST REPORT

PICKET GATE

PERMEABLE PAVERS
DRIVEWAY
WITH
LANDSCAPE
STRIPES

EDGE OF
PAVEMENT

COVERED PORCH

PERMEABLE
PAVERS

157'-7" @ RIM
OF MANHOLE

PICKET GATE

42" H. HERITAGE
PLAQUE

PERMEABLE PAVERS
PATHWAY

EXISTING HEDGE

HEARTFELT
BERGENIA
GROUND COVER

NEW PORTUGUESE
LAUREL HEDGE

42" H. ADDRESS
MARKER
FOR SECONDARY
SUITE

42" WIDE PATH

COMMUNITY
GARDEN
(AT GRADE)

16TH STREET

STAR MAGNOLIAS

REPLACEMENT TREE 3
PINK JAPANESE DOG WOOD
HEIGHT :3FT

STAR MAGNOLIAS

PERMEABLE PAVERS
PATIO/PATHWAY

REPLACEMENT TREE 2
RED JAPANESE MAPLE
HEIGHT :3FT

PERMEABLE PAVERS
PATHWAY

PERMEABLE PAVERS
PATHWAY

GARAGE

NEW HOUSE
GDE:161.33'

GARAGE/COACH
HOUSE
MEF:164.11'

CLEGG HOUSE

PATIO

HAYWOOD AVENUE

REPLACEMENT TREE 2
Western Hemlock 2m

1573
HAYWOOD

PICKET GATE

Group	Common Name	Latin Name	Type
1	Autumn Gold Maidenhair Tree	Metasequoia glyptostrobys	Tree
2	Red Japanese Maple	Acer palmatum 'Dissectum'	Tree
3	Pink Japanese Dogwood	Cornus florida	Tree
4	Star Magnolia	Magnolia stellata	Tree
5	Star Magnolia	Magnolia stellata	Tree
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99	Star Magnolia	Magnolia stellata	Tree
100	Star Magnolia	Magnolia stellata	Tree

EXISTING TREE

REPLACEMENT TREE 4
Vine Maple 1.2m

NEW PORTUGUESE
LAUREL HEDGE

REPLACEMENT TREE 1
Mountain Ash 1.2m

RIPARIAN PLANTING

NEW PORTUGUESE
LAUREL HEDGE

REPLACEMENT TREE 3
Bitter Cherry 1.2m

COVERED DECK

BOLLARD ON PATH TO
COACH HOUSE, TYPICAL

42" H. ADDRESS MARKER
FOR COACH HOUSE

PERMEABLE PAVERS
DRIVEWAY
WITH
LANDSCAPE STRIPES

NEW PORTUGUESE
LAUREL HEDGE

EDGE OF
PAVEMENT



District of West Vancouver

**Heritage Building Property Tax Exemption
Bylaw
Bylaw No. 5265, 2023
(1591 Haywood Avenue)**

Effective Date:

Heritage Building Property Tax Exemption Bylaw No. 5265, 2023

Table of Contents

Part 1	Citation.....	1
Part 2	Tax Exemption.....	1
	Schedule A – Map of Eligible Heritage Property.....	4

District of West Vancouver

Heritage Building Property Tax Exemption Bylaw No. 5265, 2023

A bylaw to provide for the exemption from taxation of a property in the District of West Vancouver pursuant to Section 225 (2)(b) of the *omm nity arter*.

WHEREAS the Council of The Corporation of the District of West Vancouver may, for the purposes of supporting the conservation of heritage property, adopt a bylaw pursuant to Section 225 (2)(b) of the *omm nity arter* SBC, 2003, exempting eligible heritage property from taxation under section 197(i)(a);

AND WHEREAS Council wishes to support the conservation of the building known as the “Clegg House” at 1591 Haywood Avenue, legally described as PID: 011-772-301 LOT 14 BLOCK 1 NORTH ½ of DISTRICT LOT 1055 PLAN 4180 (the “Property”) which is protected heritage property under section 225(2)(b)(i) of the *omm nity arter* and is subject to a heritage revitalization agreement under section 610 of the *Local Government Act* by exempting the Property from municipal property taxes;

AND WHEREAS notice has been provided of the proposed adoption of the tax exemption bylaw as required by the *omm nity arter*;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as “Heritage Building Property Tax Exemption Bylaw No. 5265, 2023”.

Part 2 Tax Exemption

- 2.1 The portion of the Property as outlined in Schedule A attached to this Bylaw is exempt from taxation for the term of twenty (20) years, commencing 2025, pursuant to Section 225 (2) (b) of the *omm nity arter* subject to the conditions provided for in this Bylaw.

Schedules

Schedule A – Map of Eligible Heritage Property

READ A FIRST TIME (2/3 MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

READ A SECOND TIME (2/3 MAJORITY VOTE IN THE AFFIRMATIVE) on
[Date]

READ A THIRD TIME (2/3 MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

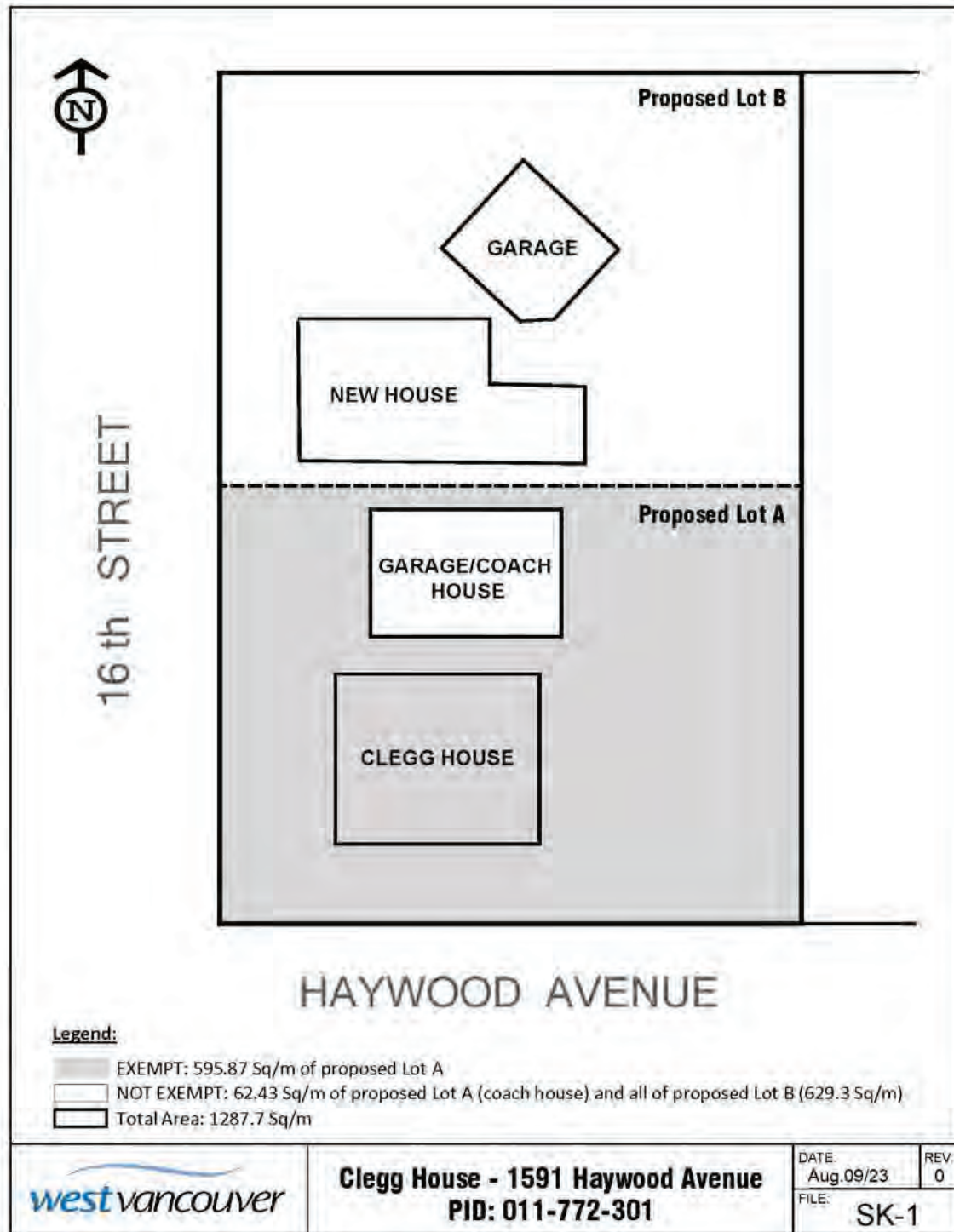
PUBLICATION OF STATUTORY NOTICE PURSUANT TO SECTION 227 OF
THE T A T ON [Date] AND ON [Date].

ADOPTED by the Council (2/3 MAJORITY VOTE IN THE AFFIRMATIVE) on
[Date].

Mayor

Corporate Officer

Schedule A – Map of Eligible Heritage Property



1591 Haywood HRA Proposal Feedback Summary

We hosted a preliminary public consultation meeting attended by members of the general public on Tuesday, January 25, 2022. We shared the preliminary proposal and received feedback from the neighbours and others in attendance. What was clear from the meeting and the written feedback received that there was significant support for the overall objectives set forth, however, there were concerns raised by a few neighbours, mainly clustered along 16th St.

Plan Revisions to respond to public comments:

To address the concerns raised, we have:

- decreased the density of the project,
- removed the carriage house,
- added additional off-street parking,
- removed the request for a Bed and Breakfast permit,
- removed the request to stratify the above-garage suite, and,
- moved the proposed location of the existing house to ensure that the 16th neighbour's view line remains unobscured.

With these adjustments, we believe we have more than addressed the concerns raised.

Public Meeting Comments:

Date of Public Meeting via zoom: January 25, 2022 at 4pm

Website open for comments: Jan 1, 2022 to January 30, 2022

Attendees: 21 requests to attend the zoom meeting, inclusive of DWV staff. Nearly all in attendance spoke, there was a mix of positive and negative comments. Those with concerns used the meeting, the website and email to communicate their concerns, increasing their impact on the results below.

The concerns raised at the meeting were:

- Increase in dwelling density to .49 FAR.
- Insufficient off-street parking in the plan despite DWV requirements being substantially exceeded.
- Concern about emergency vehicle access along 16th Street.
- Commercial presence of Bed and Breakfast could impact character.
- Potential impact on view lines for neighbours along 16th Street.

Website and email comments:

25 unique written responses

17 responses in favour of the project as presented January 25 (pre-revision)

8 negative comments were received.

Summary of Written Comments:

In Support:

- a local family who is prepared to invest and stay in the West Vancouver community
- like the idea of keeping the house rather than knock it down and build something huge
- the DeCostas intend to keep the landscape intact as much as possible(especially the large trees on the Northern Part of the lot)
- what a wonderful way to preserve the character of the house and the character of the neighborhood
- the coach house and suite is a wonderful way to create new/ much needed housing
- not the same densification that is present in other areas (such as Duchess Ave)
- this project brings much much needed revitalization to the neighborhood
- this project would invite new families to the neighborhood
- smaller houses for families who are starting out in the housing market or for those who are downsizing are much needed and this project is in line with this
- this project is a great way to maintain the original Clegg house and also add affordable housing options
- with the addition of extra dwelling units and families, there is extra tax revenue (rather than a single family dwelling) and more money that will go to local merchants
- increase in density is much needed and this project matches that
- the DeCostas have listened to their neighbors and addressed many of those concerned from the public consultation meeting in January
- the Rush House filled a housing need in West Vancouver with no noticeable increase in traffic

Concerns:

- if the house is moved and renovated, how does it retain its heritage character?
- the charm of the house lies in the setting and moving it will destroy this charm
- there are too many dwelling units and this will make the area too dense
- too much development will take over the property; thus losing the main character of the Clegg House
- there will be an increase in traffic and in the number of parked cars on 16th Street
- neighbors want to keep 16th Street clear so students can safely walk down and emergency vehicles can use it
- the moving of the house will potentially affect neighbors view lines on 16th St
- the cost to move and update the house is expensive and the neighbors don't want to see it as an abandoned project (like the one on Gordon between 15th and 16th)
- does not fit in with the neighborhood character
- noise from construction
- length of time to complete.