



**DISTRICT OF WEST VANCOUVER**  
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

**5.**

## COUNCIL REPORT

Date:	May 19, 2023
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Zoning and OCP Amendment and Development Permit for 2833 Chippendale Road
File:	05.1010.20/21-042.2021

### RECOMMENDATION

THAT opportunities for consultation on the proposed Official Community Plan amendment, with persons, organizations, and authorities, as outlined in the report dated May 19, 2023, be endorsed as sufficient consultation for purposes of section 475 of the *Local Government Act*.

### RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5255, 2023” be read a first time.

### RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023” be read a first time.

### RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5255, 2023” and proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023” be presented at a public hearing on July 17, 2023, at 7 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software), and that notice be given of the scheduled public hearing.

### RECOMMENDATION

THAT proposed “Development Permit No. 21-042” be presented at a public meeting scheduled for July 17, 2023, at 7 p.m. in the Municipal Hall, to be held concurrently with the public hearing scheduled for July 17, 2023, at 7 p.m. in the Municipal Hall, and that notice be given of the scheduled public meeting.

### 1.0 Purpose

To present to Council a development proposal at 2833 Chippendale Road (**Appendix A**) to allow for a 12-unit cluster housing project (**Appendix B**). Presented as part of the development are:

- bylaws serving to amend the Official Community Plan and Zoning Bylaw;
- and

- a development permit to regulate the form and character of the development proposal.

## 2.0 Legislation/Bylaw/Policy

### *Provincial Legislation*

The *Local Government Act* requires that a Public Hearing be held on the proposed rezoning bylaw and OCP amendment bylaw, in accordance with Sections 464 through 470.

### *Transportation Act*

As the subject site is located within a “controlled area<sup>1</sup>”, in compliance with Section 52 of the Transportation Act, the Ministry of Transportation and Infrastructure (MOTI) will be required to approve rezoning of the subject site to accommodate the proposal.

### *Official Community Plan Bylaw*

The proposed OCP amendment proposes to amend the Rodgers Creek Area Development Permit Guidelines with a marginal increase in floor area and units allowed within the Rodgers Creek Area to facilitate the development proposal. Proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5255, 2023” is attached as **Appendix D**.

### *Zoning Bylaw*

The subject site is zoned CD3 (Rodgers Creek) and located within “Area 3” within the CD3 zone. The proposed zoning amendment proposes to amend text within the CD3 to facilitate the development proposal. Proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023” is attached as **Appendix E**.

## 3.0 Council Strategic Objective(s)/Official Community Plan

The Official Community Plan (OCP) designates the Rodgers Creek Area as the Future Neighbourhoods Area within the Upper Lands (Policy UL 8.1). Development in the Rodgers Creek Area is guided by development permit guidelines derived from the Rodgers Creek Area Development Plan Overview Report. The Overview Report anticipated development of a comprehensive community with a mix of housing types and with density and heights increasing toward the west in proximity to the future Cypress Village.

The OCP also provides direction to guide development proposals to expand “missing middle” housing opportunities for sites that are not within local area planning boundaries, or on sites not specifically identified for change. The OCP recognizes that townhouses form only approximately 3% of the existing housing stock in West Vancouver. In order to address the needs of the present and future generations within the District, the OCP intends to expand ground-oriented family units (i.e. townhouses) with an estimated 1,000 new units.

---

<sup>1</sup> Land located within a radius of 800 m from an intersection of a MOTI controlled access highway

OCP Policy 2.1.7 enables the consideration of proposals within neighbourhoods for site-specific zoning changes not otherwise supported by policies in the OCP only in limited circumstances by:

- a. Reporting to Council after preliminary application review to allow an early opportunity for public input;
- b. Considering sites or assemblies that present a degree of physical separation from adjoining single-family dwellings (e.g., adjacent to a green belt, grade change, park, school, or existing multi-family site);
- c. Requiring demonstration of minimal impact to access, traffic, parking and public views in the neighbourhood;
- d. Restricting to one or more a range of low-rise housing types including duplexes, triplexes, rowhouses, townhouses, seniors, rental and apartment buildings to a maximum of three storeys;
- e. Reviewing form and character to support siting and designs that respond and contribute to neighbourhood context and character; and
- f. Ensuring information meetings with public notification prior to formal Council consideration in accordance with District procedures.

#### *2021 – 2022 Council Strategic Goals and Objectives*

The proposal responds to Council's 2021-2022 Strategic Objective 1.0 which aims to expand the diversity and supply of housing, including missing middle housing.

## **4.0 Financial Implications**

New developments are to deliver community amenities related to the impacts of new development. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning and land uses onsite. District policy defines a range of appropriate amenities, including housing affordability and diversity, childcare and cultural facilities, heritage preservation, public art, and public space, parks and the environment.

Consistent with District policy and through a negotiated approach, the applicant offers a voluntary community amenity contribution (CAC) of \$397,500 in cash. District staff consulted with a third-party financial consultant (at the cost of the developer) to determine the voluntary CAC. Staff recommend acceptance of the CAC that would flow into the District's amenity reserve account(s) to contribute to future amenity projects as determined by Council.

## 5.0 Background

### 5.1 Previous Decisions

On September 19, 2011, Council approved Development Permit No. 09-025 (DP09-025) that allowed the subdivision of Area 3 East of Rodgers Creek Area that created “Lots 1-44” (**Appendix C**) which includes 2833 Chippendale Road. DP09-025 requires approval of a subsequent development permit to allow for development of the subject site.

Development Permit 16-064 and Temporary Use Permit 16-064 were approved by Council on July 17, 2017 to allow for a temporary sales presentation centre at 2833 Chippendale Road. The sales presentation centre was never built and the site remains vacant.

On October 26, 2021, Council received an information report that provided an overview of the proposed 12-unit cluster housing proposal.

### 5.2 History

In 2008 Council adopted three bylaws to give effect to the Rodgers Creek Area Development Plan Overview Report dated March 7, 2008 (the ‘Rodgers Overview Report’): Official Community Plan (OCP) Amendment Bylaw No. 4567, 2008, Zoning Amendment Bylaw No. 4568, 2008, and the Rodgers Creek Phased Development Agreement (PDA) Bylaw.

### 5.3 Site Context & Background

The subject site is approximately 2,929 m<sup>2</sup> (31,526 sq. ft.) in area, is located on the north side of Chippendale Road, and currently sits vacant. The site is sloped from north to south approximately 45 ft. downwards from the highpoint on the northern portion of the site. A paved multi-use path is located on the south side of Chippendale Road (Figure 1).



Figure 1 – Aerial Map

The subject site and all surrounding lands are zoned CD3. A four-unit cluster housing (townhouse) project was completed in 2018 to the east of the site (Figure 2). Single-family homes are slated to be built north, west and south of the site. Chippendale Road is an arterial road that connects the Upper Lands (east to west) and links with Cypress Bowl Road northwest of the site.



Figure 2 – Context Map

## 6.0 Analysis

### 6.1 Discussion

Burgers Architecture, on behalf of Kenstone Properties, has submitted a proposal to develop the subject site with 12 cluster housing units within a three-storey, flat roof format. The site plan is shown in Figure 3 and Development Permit 21-042 (**Appendix F**) provides detailed images of the development proposal.

The objective of the design was to provide a development that responds to the surrounding neighbourhood context and character, provide family-oriented “missing middle” housing as identified in the OCP and comply with the Rodgers Creek development permit area guidelines. Renderings of the proposal are shown in Figures 4 and 5.

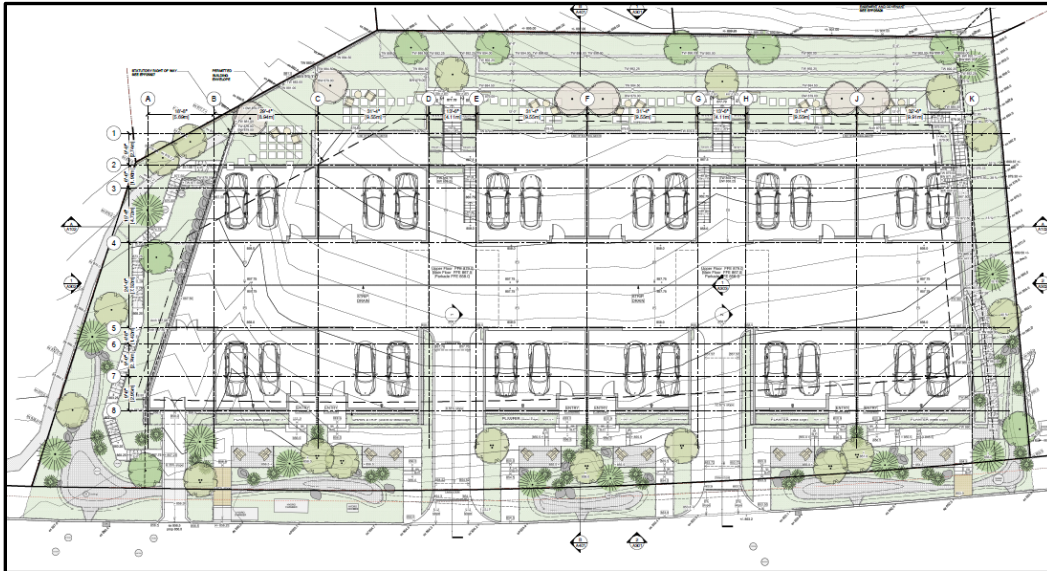


Figure 3 – Landscape Plan/Site Plan



Figure 4 – Rendering of Proposal (looking northwest)



Figure 5 – Rendering of Proposal (looking eastward)

The proposal utilizes the slope on the site by stepping back the massing of the buildings while maximizing the views of Burrard Inlet. To provide an improved street presence, the design includes generous front yard landscaping, two inconspicuous parkade entrances and introduces six townhouse front door entrances at street level. The parking is provided within a parkade with 24 stalls (i.e. 2 stalls per unit). Following feedback from staff, the landscaping onsite provides for native species and allows for 'naturalized' onsite stormwater management to fit within the mountain environment (see Figure 3 and 7).

The proposed development offers smaller ground-oriented units than originally anticipated as part of Rodgers Creek, in response to directions in the OCP to promote diversified housing in the community. Given the size and topography of the property there is opportunity for the proposal to fit within the existing neighbourhood character and not impact views for single family lots to the north that are yet to be built.

The development is comprised of three separate buildings with two driveways (one entrance and one exit) and staircases to the upper cluster housing units between the buildings (Figure 6).

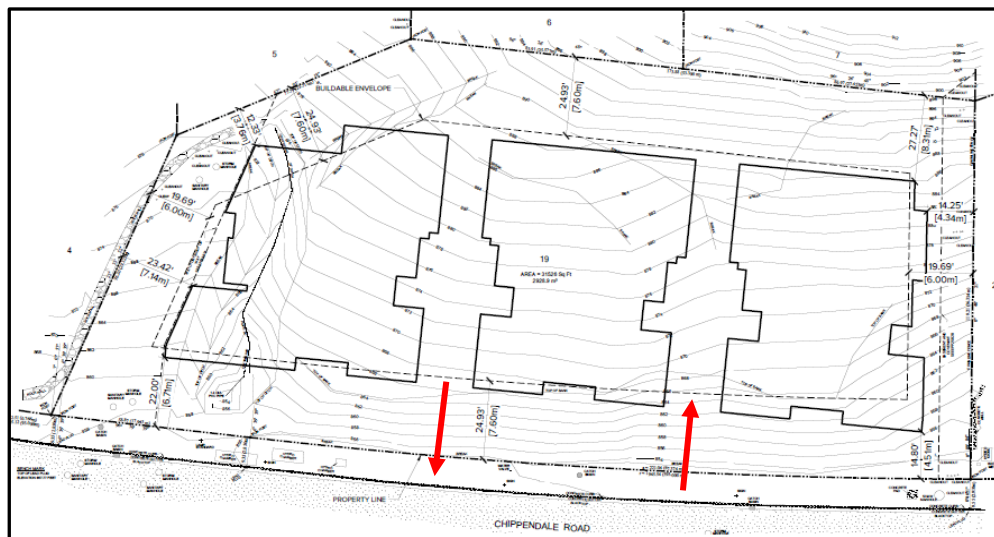


Figure 6 – Building outlines with parking access indicated

### *Housing Mix and Size*

The total floor area proposed is approximately 1,755 m<sup>2</sup> (18,896 sq. ft.) equaling a Floor Area Ratio (FAR) of 0.6 (excluding parkade, mechanical areas and entry areas as allowed within CD3 regulations).

All units are sized to be useable by families and all bedrooms are located on the same floor as the living room and kitchen. All but two units<sup>2</sup> are 3-bedroom units. The sizes of the proposed units range from approximately 126 m<sup>2</sup> (1,360 sq. ft.) up to 140 m<sup>2</sup> (1,511 sq. ft.) with extensive covered decks which provide additional space and livability facing the prevailing view towards Burrard Inlet.

<sup>2</sup> Unit numbers 6 and 12 are two-bedroom corner units.

*Design Review Committee*

The development proposal was reviewed by the Design Review Committee (DRC) on April 15, 2021. At that meeting, the DRC supported the proposal subject to further design development with staff on specified items. The applicant provided further information and improvements to the development to address DRC comments and staff are satisfied with the responses. The modifications to the development proposal included improvements to the landscaping surrounding the site to comply with wildfire hazard management guidelines and to provide a more naturalized appearance along the frontage of the site. Improvements included more identifiable entries along the boulevard and from the parkade and modifications to allow added daylight into the units.

*Bylaw Amendments*

The proposed OCP amendment (**Appendix D**) would amend one sentence within the Rodgers Creek development permit area guidelines. The following would be deleted “Allow for a maximum 2,079,600 sq. ft. of floor area comprised of a maximum 1,217 housing units” and replaced with “Allow for a maximum 2,084,996 sq. ft. of floor area comprised of a maximum 1,223 housing units”. The increase in floor area and unit count in the OCP amendment corresponds with the proposed zoning bylaw amendment (**Appendix E**).

*Development Permit*

Neighbourhoods in Rodgers Creek should be “designed to fit with the topography and landscape of the Upper Lands and to demonstrate West Vancouver’s commitment to sustainability and innovation”. The built form should complement the terrain, integrate with natural features, minimize visual impacts, and employ a site sensitive built form.

The development proposal has been reviewed against applicable Rodgers Creek Area UL8.1 development permit area guidelines. In particular, the development provides a “contemporary alpine character” and incorporates an “informal landscape aesthetic that complements the forest context” while reducing impermeable surfaces and provides plantings “in keeping with wildland fire and bear management best practices”.

Development Permit 21-042 includes the following setback variances for limited portions of the development (see Figure 6 for visual representation):

Yard Setback	CD3 Minimum Setbacks for Cluster Housing	Proposed Setbacks Allowed with DP21-042	Proposed Variance
Front Yard	7.6 m	4.51 m	3.09 m
East Side Yard	6 m	3.05 m	2.95 m
West Side Yard	7.6 m	3.76 m	3.84 m

The Development Permit also allows for increased site coverage (from 35% to 43%) and allows for one less visitor parking stall<sup>3</sup>.

Staff recommends support of Development Permit 21-042 as the proposal meets applicable Rodgers Creek Area UL8.1 development permit area guidelines and includes supportable variances.

## 6.2 Climate Change & Sustainability

New development proposals within the District of West Vancouver deliver high-performance buildings, in compliance with the BC Energy Step Code required by the Building Bylaw. All rezoning applications are required to meet the “Sustainable Buildings Policy”; accordingly, the development will be required to attain Step 4 and utilize a low-carbon energy system.

All residential parking spaces will include electric vehicle charging and secure bicycle storage is proposed within the parking areas for each unit.

The development also incorporates natural infiltration and native species throughout. As seen in the front yard (Figure 7), there are swales that will capture and slow rainwater runoff from the site and provide a ‘naturalized’ entrance at street level.

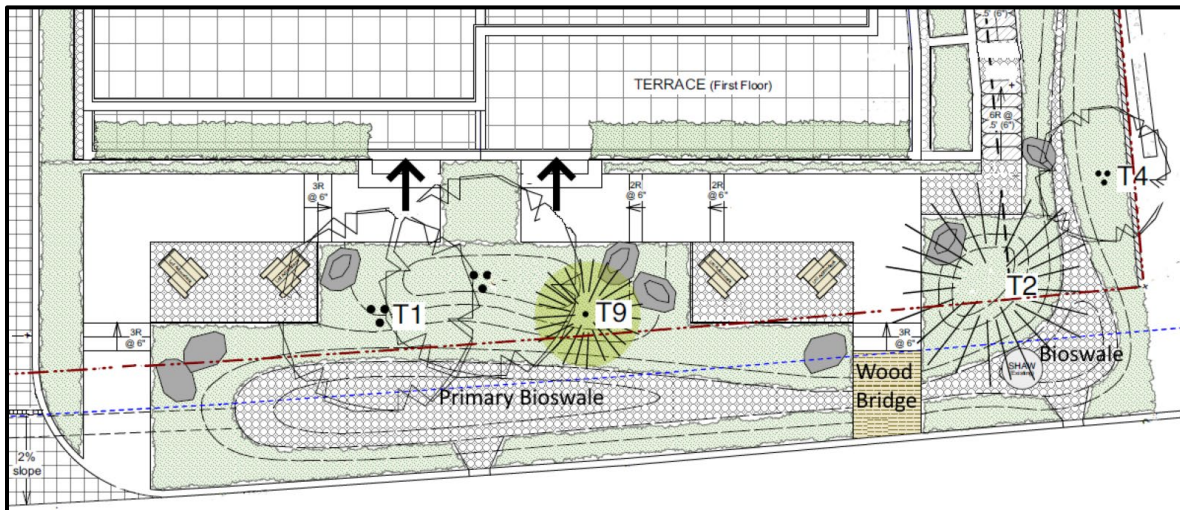


Figure 7 – Excerpt of Landscape Plan (indicating front yard planting and drainage swales)

## 6.3 Public Engagement and Outreach

### *Public Information Meetings*

The applicant completed an in-person Preliminary Public Information Meeting on December 17, 2019, prior to formal application submission in compliance with the Preliminary Development Proposal and Public Consultation Policy. A summary of the meeting is provided in **Appendix G**.

Should the proposal advance, the applicant will be required to advertise and

<sup>3</sup> In addition to the 2 parking stalls per unit, the development includes 2 onsite visitor parking stalls.

conduct a second public information meeting prior to the public hearing.

### *Signage*

Should the proposal advance, the applicant will be required to install a development information sign with particulars about the second public information meeting and public hearing.

### *Public Hearing and Notification*

A public hearing must be held to consider the proposed bylaws. The recommendation herein projects the public hearing to be held on July 17, 2023. Notice of the public hearing and consideration of the development permit will be given in accordance with District procedures.

### *Website*

In alignment with current practise, a description of the proposal, applicable dates and architectural drawings have been placed on the District website. The website will be updated should the proposal advance.

## 6.4 Conditions Precedent to Adoption

Prior to adoption of the bylaws and approval of the development permit, the following requirements must be met:

- Payment of the community amenity contribution;
- Modification of the “density covenant<sup>4</sup>” affecting the subject site; and
- Approval of Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023 by MOTI.

## 7.0 Options

### 7.1 Recommended Option

Council give first reading to the proposed bylaws and set a date for a public hearing and a concurrent public meeting.

### 7.2 Considered Options

- a) give first reading to the proposed bylaws and set an alternative date (to be specified) for a public hearing and concurrent public meeting; or
- b) defer consideration of the proposal pending the receipt of additional information (to be specified) to assist in the consideration of the application; or
- c) reject the application.

---

<sup>4</sup> A “density covenant” is registered on title. Accordingly, an addendum to the density covenant will be needed to allow for the increased floor area (from 13,500 sq. ft. to 18,896 sq. ft.).

## 8.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable based on relevant OCP policy. Specifically, the proposal meets the intent of OCP policy 2.1.7 which aims to increase “missing middle” housing options with ground-oriented multi-family development on appropriate sites within the District and meets applicable Rodgers Creek Area UL8.1 development permit area guidelines.

OCP policy 2.1.7 allows for consideration of rezoning in specific cases. In compliance with policy 2.1.7, the site is already located adjacent to an existing multi-family site, does not impede neighbouring views (existing or future) and will deliver a desired form of housing that will complement the local area and allow for development of the site which has remained vacant for several years.

Staff recommends that the proposed bylaws be given first reading and a date for a public hearing and concurrent public meeting for DP21-042 be scheduled.

Author:



---

Erik Wilhelm, Senior Community Planner

Concur:



---

Michelle McGuire, Senior Manager of Current Planning and Urban Design

### Appendices:

- A - Context Map
- B - Project Profile
- C - Subdivision Plan (facilitated by DP09-025)
- D - OCP Bylaw No. 4985, 2018, Amendment Bylaw No. 5255, 2023
- E - Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023
- F - Proposed Development Permit 21-042
- G - Preliminary Public Engagement Summary

**This page intentionally left blank**

**This page intentionally left blank**



**This page intentionally left blank**

**This page intentionally left blank**

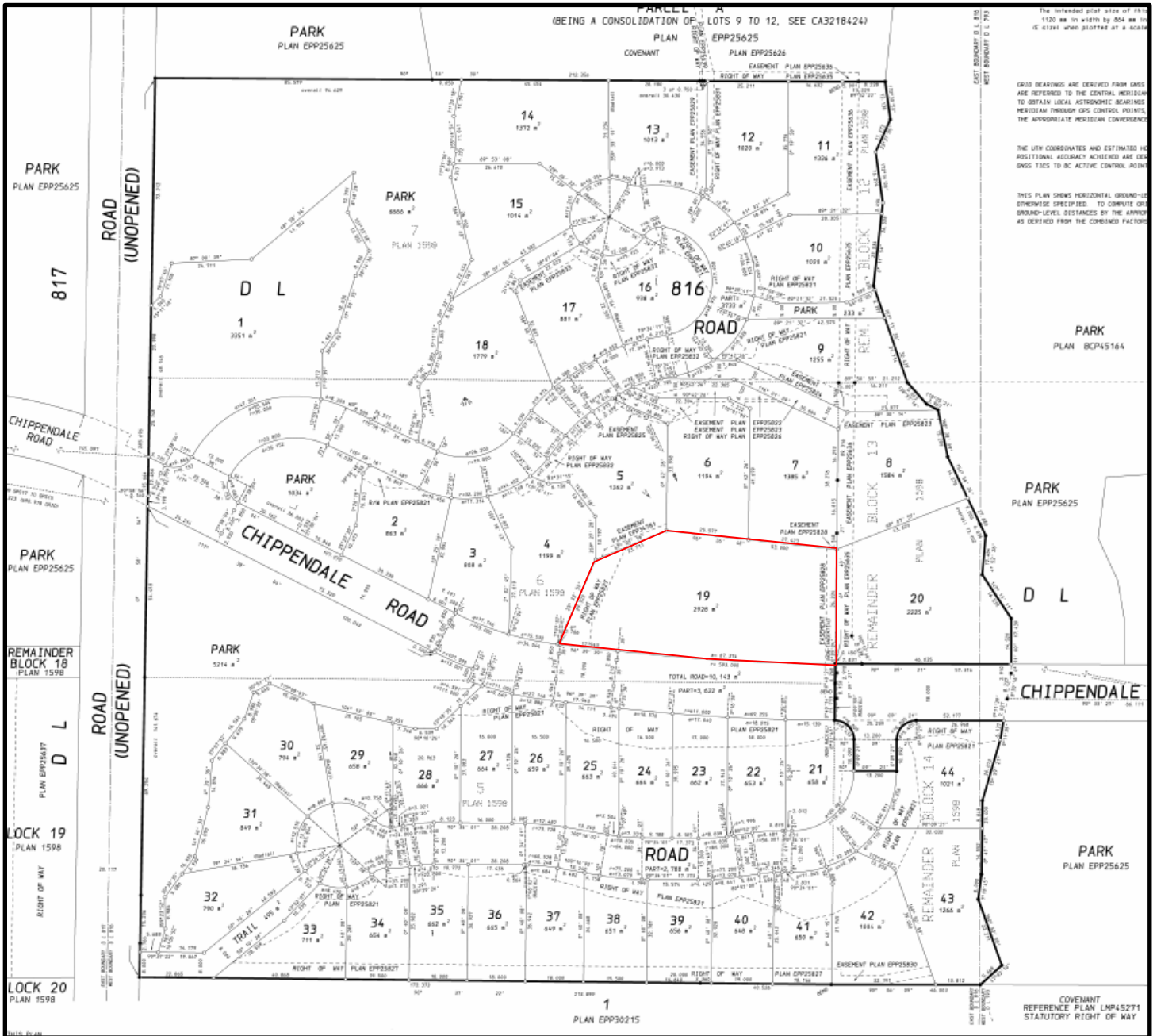
## Appendix B – Project Profile

<b>Project:</b>	<b>2833 Chippendale Road – 12-Unit Cluster Housing</b>
<b>Application:</b>	File No. 21-042
<b>Applicant:</b>	Kenstone Properties
<b>Architect:</b>	Burgers Architecture
<b>Landscape Architect:</b>	Ron Rule Landscape Architects
<b>Property Address:</b>	2833 Chippendale Road
<b>Legal Description:</b>	LOT 19 DISTRICT LOT 816 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP25820
<b>PID:</b>	029-690-421
<b>Existing Zoning:</b>	CD3 (Rodgers Creek)
<b>Site Area:</b>	2,928.9 m <sup>2</sup> (31,526 sq. ft.)
<b>Number of Units:</b>	12
<b>Proposal Synopsis:</b>	3 storey, 12-unit cluster housing (townhouse) project
<b>Housing Typology:</b>	Cluster Housing (a.k.a. townhouses)
<b>Total Floor Area:</b>	1,755.49m <sup>2</sup> (18,895.92 sq. ft.)
<b>Site Coverage:</b>	Approximately 43%
<b>Floor Area Ratio:</b>	0.6
<b>Maximum Height:</b>	8.5m (27.89 ft.)
<b>No. of Storeys:</b>	3 (parkade level + 2 residential levels above)
<b>Number of Residential Parking Stalls:</b>	24 (2 stalls per unit)
<b>Number of Visitor Parking Stalls:</b>	2 (located within the parkade)
<b>Number of Bike Stalls:</b>	24 (2 per unit within individually secure parking garages)
<b>Least Front Yard Setback</b>	4.51 m (14.8 ft.)
<b>Least Side Yard Setback (west side):</b>	3.76 m (12.33 ft.)
<b>Least Side Yard Setback (east side):</b>	3.05 m (10 ft.)
<b>OCP Settlement Policies:</b>	2.1.7
<b>Guidelines:</b>	Rodgers Creek UL8.1
<b>Zoning (Proposed):</b>	Amendments to the CD3 zone is required to facilitate the proposal

**This page intentionally left blank**

**This page intentionally left blank**

# Appendix C – Subdivision plan facilitated by Council approval of DP09-025



**This page intentionally left blank**

**This page intentionally left blank**



District of West Vancouver

**Official Community Plan  
Bylaw No. 4985, 2018,  
Amendment Bylaw No. 5255, 2023**

Effective Date:

District of West Vancouver

**Official Community Plan Bylaw No. 4985,  
2018,  
Amendment Bylaw No. 5255, 2023**

**Table of Contents**

---

Part 1	Citation.....	1
Part 2	Severability .....	1
Part 3	Amends Area-Specific Policy.....	1

District of West Vancouver

# **Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5255, 2023**

A bylaw to amend the Official Community Plan to allow for a marginal increase in allowable floor area within the Rodgers Creek Area.

Previous amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5128, 5135, and 5172.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to amend the Official Community Plan to allow for a marginal increase in allowable floor area within the Rodgers Creek Area;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

## **Part 1 Citation**

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5255, 2023.

## **Part 2 Severability**

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

## **Part 3 Amends Area-Specific Policy**

- 3.1 Schedule ii of Official Community Plan Bylaw No. 4985, 2018 is amended as follows:

3.1.1 By amending Policy UL 8.1 “Rodgers Creek Area Development Policies” as follows:

On page 99 of Schedule ii forming part of Official Community Plan Bylaw No. 4985, 2018 delete, “Allow for a maximum 2,079,600 sq. ft. of floor area comprised of a maximum 1,217 housing units.” and replace with, “Allow for a maximum 2,084,996 sq. ft. of floor area comprised of a maximum 1,223 housing units.”

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

PUBLIC HEARING HELD on

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on

---

Mayor

---

Corporate Officer



District of West Vancouver

**Zoning Bylaw No. 4662, 2010,  
Amendment Bylaw No. 5256, 2023**

Effective Date:

District of West Vancouver

# **Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023**

## **Table of Contents**

---

Part 1	Citation.....	1
Part 2	Severability .....	1
Part 3	Zoning Bylaw Amendments .....	1

District of West Vancouver

## **Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023**

A bylaw to amend text within the CD3 zone to allow for a 12-unit cluster housing project at 2833 Chippendale Road.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5028, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, and 5201

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to amend text within the CD3 zone to allow for a 12-unit cluster housing project at 2833 Chippendale Road;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

### **Part 1 Citation**

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5256, 2023.

### **Part 2 Severability**

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

### **Part 3 Zoning Bylaw Amendments**

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 603 (CD3 Rodgers Creek), subsection 603.04(2) is hereby amended by:

- 3.1.1 Deleting “29,125 square metres” from the “Maximum Total Floor Area” column and replacing the number and text with, “29,627 square metres”;
- 3.1.2 Deleting “86” from the “Maximum Total Dwelling Units” column and replacing the number with “92”;
- 3.1.3 Deleting “193,201 square metres” from the “Totals” row and replacing the number and text with “193,703 square metres”;
- 3.1.4 Deleting “1,217” from the “Totals” row and replacing the number with “1,223”.

READ A FIRST TIME on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by the Ministry of Transportation and Infrastructure, in accordance with section 52 (3) (a) of the *Transportation Act* on

ADOPTED by the Council on

---

Mayor

---

Corporate Officer

**This page intentionally left blank**

**This page intentionally left blank**



**District of West Vancouver**  
*Proposed*  
**Proposed Development Permit No. 21-042**

Current Owner: KENSTONE (W. VANCOUVER) PROPERTIES LTD., INC.NO. BC1187583 (#201 - 1926 WEST BROADWAY, VANCOUVER, BC V6J 1Z2)

This Development Permit applies to “the Lands”:

Civic Address: 2833 Chippendale Road

Legal Description: LOT 19 DISTRICT LOT 816 GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP25820 (PID: 029-690-421) (the ‘Lands’)

1. This Development Permit:
  - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan within the “Rodgers Creek Area of the Upper Lands” to promote development that reflects quality building design, materials and landscaping subject to Guidelines UL8.1 specified in the Official Community Plan; and
  - (b) is issued subject to the Owner’s compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.
  
2. The following requirements and conditions shall apply to the Lands:
  - 2.1 Buildings, structures, and site development shall take place in substantial compliance with the drawings from Burgers Architecture dated April 14, 2023 attached as Schedule “A”.
  - 2.2 On-site landscaping works shall take place in substantial compliance with the drawings from Ron Rule Consultants Ltd. dated September 13, 2021, attached as Schedule “B”.
  - 2.3 Servicing works shall take place in substantial compliance with the drawings from Webster Engineering Ltd. dated February 6, 2020, attached as Schedule “C” to the satisfaction of the District’s Manager of Development Engineering.
  - 2.4 Site development shall take place in compliance with the recommendations found within the following documents: (1) “Geotechnical Assessment” from Phillips & Associates Engineering Consultants Ltd., dated October 24, 2019,

- (2) "Slope Stability Assessment" from Phillips & Associates Engineering Consultants Ltd., dated March 2, 2020, and (3) "Appendix D: Landslide Assessment Assurance Statement" from Phillips & Associates Engineering Consultants Ltd. dated March 10, 2020, attached as Schedule "D".
- 2.5 As the development will be considered a "Part 9 Building" according to the BC Building Code, the minimum energy performance of the development proposal shall conform to a minimum Step 4, with a Low-Carbon Energy System, as defined by the British Columbia Energy Step Code and in compliance with the "Hot 2000 Summary Report" from Ecolighten Energy Solutions dated February 3, 2020, attached as Schedule "E".
3. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
- 3.1 Apply for and receive an approved Wildfire Hazard Development Permit in compliance with Official Community Plan Guidelines NE1.
- 3.2 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.
- 3.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
- 3.4 Submit information, to the satisfaction of the District's Manager of Land Development, which confirms fire flows meet the criteria of the Fire Underwriters Survey (FUS) given the increase in floor area proposed. The professional information provided must utilize FUS guidance issued in 2020.
- 3.5 Enter into a "Works and Services Agreement" (WSA) to ensure installation of *off-site works* to the satisfaction of the District's Manager of Development Engineering. The WSA will require engineering civil drawings detailing works, including but not limited to:
- (a) storm water management measures;
  - (b) site service connections;
  - (c) new boulevard plan along the frontage of the site including curbs, sidewalk, grading plan, road markings and signage; and
  - (d) repaving along the frontage of the Lands,
- which must be submitted for acceptance, and security provided for the due and property completion of the engineering works, all to the satisfaction of the District's Manager of Land Development.

- 3.6 Identify the location and number of accessible units and specify the accessibility measures to be installed in each unit, to the satisfaction of the District's Director of Planning and Development Services (or designate).
4. Prior to the issuance of a building permit and as security for the due and proper completion of the landscaping works ("Landscaping Works") as set forth in Section 2.2 of this Development Permit, the Owner shall:
- 4.1 Provide, to the District's Manager of Land Development, a cost estimate ("Cost Estimate") for the on-site Landscaping Works to be installed.
- 4.2 Provide, to the District's Manager of Land Development, a landscape deposit ("Landscape Deposit") in the amount determined by the Cost Estimate, in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union to ensure the due and proper completion of the Landscaping Works.
- 4.3 Release of the Landscape Deposit:
- (a) Following installation of the Landscape Works and upon receipt of a certified letter or report by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects to the District stating that:
- a. the Landscaping Works have been installed substantially in accordance with Schedule A; and
  - b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:
    - i. any adjustments to retaining walls,
    - ii. changes to the mixture or sizes of any plant materials or trees,
    - iii. completion of any off-site or boulevard works,
    - iv. any areas that received alternative treatment,
    - v. any paving changes, or
    - vi. any other additional or omitted plantings or alterations,together with a clear rationale and explanation thereof and stating
  - c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,
  - d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and
  - e. notwithstanding outstanding works in 5.2(a)(d) above, that the Landscaping Works are complete,
- then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape

Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

- (b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

5. Prior to Occupancy:

- 5.1 The applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

6. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

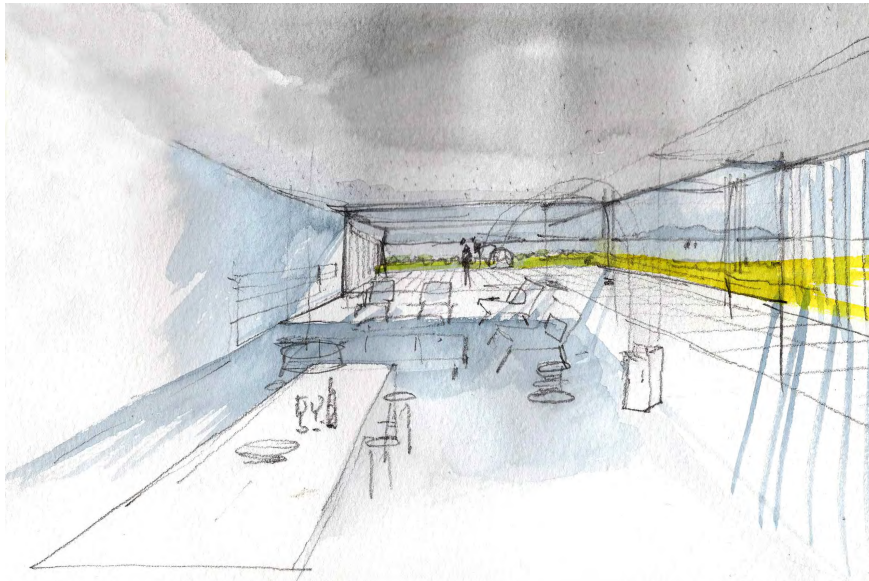
- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

**FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON**

Schedules:

- A - Architectural Drawings from Burgers Architecture dated April 14, 2023
- B - Landscape Drawings from Ron Rule Consultants Ltd. dated September 13, 2021
- C - Civil Engineering Plan from Webster Engineering Ltd. dated February 6, 2020
- D - Geotechnical information from Phillips & Associates Engineering Consultants Ltd.
- E - Hot 2000 Summary Report from Ecolighten Energy Solutions dated February 3, 2020

END OF DEVELOPMENT PERMIT 21-042



**DEVELOPMENT/RE-ZONING PERMIT**

**DRAWING INDEX**

**ARCHITECTURAL**

- A000 COVER SHEET
- A001 CITY CONTEXT
- A002 PROJECT DATA
- A003 SITE CONTEXT
- A004 GENERAL NOTES, ABBREVIATIONS & LEGEND
- A011 CODE COMPLIANCE: AVERAGE GRADE (BUILDING 1)
- A012 CODE COMPLIANCE: AVERAGE GRADE (BUILDING 2)
- A013 CODE COMPLIANCE: AVERAGE GRADE (BUILDING 3)
- A014 CODE COMPLIANCE: FLOOR AREA
- A101 SITE PLAN
- A102 SITE SECTIONS A & B
- A200 PARKADE FLOOR PLAN
- A201 PARKADE FLOOR PLAN (BUILDING 1)
- A202 PARKADE FLOOR PLAN (BUILDING 2)
- A203 PARKADE FLOOR PLAN (BUILDING 3)
- A210 LEVEL 1 FLOOR PLAN
- A211 LEVEL 1 FLOOR PLAN (BUILDING 1)
- A212 LEVEL 1 FLOOR PLAN (BUILDING 2)
- A213 LEVEL 1 FLOOR PLAN (BUILDING 3)
- A220 LEVEL 2 FLOOR PLAN
- A221 LEVEL 2 FLOOR PLAN (BUILDING 1)
- A222 LEVEL 2 FLOOR PLAN (BUILDING 2)
- A223 LEVEL 2 FLOOR PLAN (BUILDING 3)
- A230 ROOF PLAN
- A301 ELEVATIONS NORTH & SOUTH
- A302 ELEVATIONS WEST & EAST
- A303 ELEVATION EAST (BUILDING 2)
- A801 AERIAL VIEW
- A802 STREET VIEW
- A803 ELEVATED VIEW
- A804 SOUTH ELEVATION
- A805 VIEW TO BURRARD INLET

**PROJECT TEAM**

**OWNER**

Kenstone Properties Ltd.  
201-1926 West Broadway  
Vancouver, BC V6J 1Z2  
604 733 6030  
info@kenstoneproperties.com

**ARCHITECTURAL**

Burgers Architecture Inc.  
2488 Haywood Ave  
West Vancouver, BC V7V 1Y1  
604 926 6058  
cedric@burgersarchitecture.com

**LANDSCAPE**

Ron Rule Consultants Ltd.  
7221 Gordon Avenue  
West Vancouver, BC V7V 1W2  
604 926 1696  
ronruleconsultants@telus.net

**CIVIL**

Webster Engineering Inc.  
3745 Delbrook Ave  
North Vancouver, BC V7N 3Z4  
604 983 0458  
john@webstereng.net

**GEOTECHNICAL**

Phillips & Associates  
3541 Buxheim Street  
Vancouver, BC V6L 2Y1  
604 739 5785  
info@phillipsengineering.ca

**MECHANICAL/ENERGY**

Ecocalghten Energy Solutions  
200-4650 Main Street  
North Vancouver, BC V7J 3V3  
604 971 2088  
rob@ecocalghten.com

DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.02.05		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
2488 HAYWOOD AVENUE  
WEST VANCOUVER, BC  
V7V 1Y1

PH 604 926 6058  
FAX 604 926 9141  
EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
TERRACED HOMES**

2833 CHIPPENDALE ROAD  
WEST VANCOUVER, BC

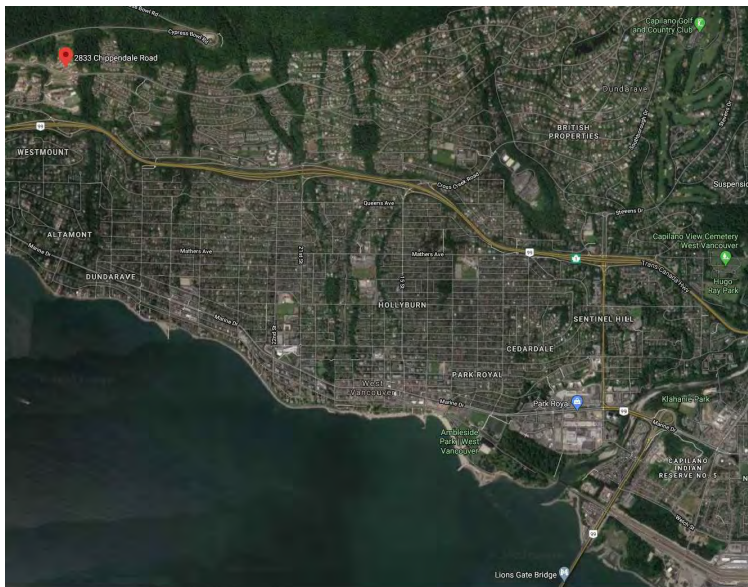
DESIGNED UNDER PART 9, BCBC 2018

MAJOR OCCUPANCY CLASSIFICATION:  
RESIDENTIAL C

**A000**  
COVER SHEET



1 RODGERS CREEK AREA PLAN  
Not to scale



2 MAP OF WEST VANCOUVER  
Not to scale



3 2833 CHIPPENDALE ROAD  
Not to scale



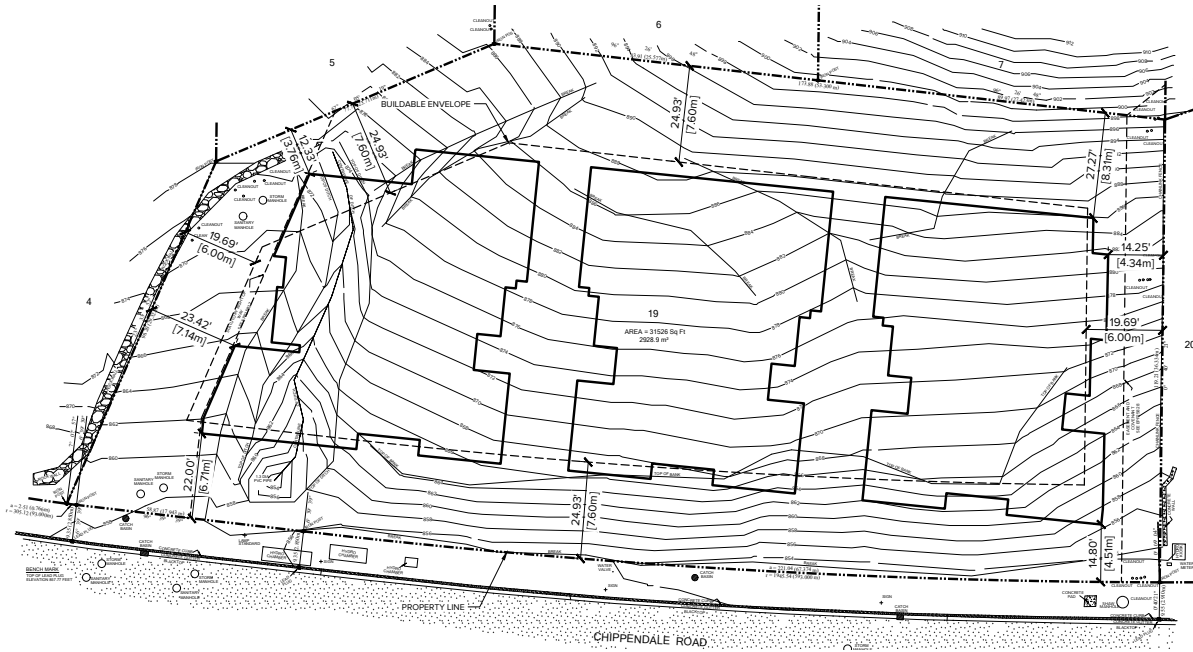
DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
2488 HAYWOOD AVENUE  
WEST VANCOUVER, BC  
V7V 1Y1  
PH 604 926 6058  
FAX 604 926 9141  
EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACE HOMES**  
2833 CHIPPENDALE ROAD  
WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
MAJOR OCCUPANCY CLASSIFICATION:  
RESIDENTIAL C

**A001**  
CITY CONTEXT



1 SITE PLAN

CIVIC ADDRESS: 2833 CHIPPENDALE ROAD, WEST VANCOUVER, BC  
 LEGAL DESCRIPTION: LOT 19, DISTRICT LOT 816, GROUP 1, NEW WESTMINSTER DISTRICT, PLAN EPP25820  
 FOLIO: 25-0163-100  
 PARCEL IDENTIFIER (PID): 029-690-421  
 ZONING: CD3 (AREA 3)  
 TYPE OF BUILD: NEW CONSTRUCTION  
 USE: CLUSTER HOUSING

**LOT INFORMATION**

	ft <sup>2</sup>	m <sup>2</sup>
SITE AREA	31,526.00	2,928.86

	PERMITTED		PROPOSED	
	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>
Bylaw 603.05(1) Covenant Section 219	11,034.10	1,025.10	13,351.76	1,240.42
SITE COVERAGE (35%)	13,500.00	1,254.19	18,895.92	1,755.49
FLOOR AREA				

PROPOSED = 42.4% VARIANCE REQUESTED  
 PROPOSED F.A.R. = 0.60 VARIANCE REQUESTED

	ft		m	
	ft	m	ft	m
Bylaw 603.06(1)	35.00	10.67	25.43	7.75
Bylaw 603.06(1)	35.00	10.67	27.89	8.50
Bylaw 603.06(1)	35.00	10.67	25.75	7.85
ROOF HEIGHT (BUILDING 1)				
ROOF HEIGHT (BUILDING 2)				
ROOF HEIGHT (BUILDING 3)				
STOREYS	2 + PARKADE		2 + PARKADE	

FRONT YARD					
Bylaw 603.08(1)	WEST CORNER	24.93	7.60	22.00	6.71
Bylaw 603.08(1)	EAST CORNER	24.93	7.60	14.80	4.51
REAR YARD					
Bylaw 603.08(1)	WEST CORNER	24.93	7.60	12.33	3.76
Bylaw 603.08(1)	EAST CORNER	24.93	7.60	27.27	8.31
Bylaw 603.08(1)	EAST SIDE YARD	19.69	6.00	14.25	4.34
Bylaw 603.08(1)	WEST SIDE YARD	19.69	6.00	23.42	7.14

VARIANCE REQUESTED  
 VARIANCE REQUESTED

VARIANCE REQUESTED

VARIANCE REQUESTED TO BE 10' SETBACK

Bylaw 603.09(1)	OFF-STREET PARKING	1.5 PER UNIT	2 PER UNIT
Bylaw 603.09(2)	VISITOR PARKING	2.4	2
Bylaw 603.09(4)	BICYCLE PARKING	2 PER UNIT	2 PER UNIT



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

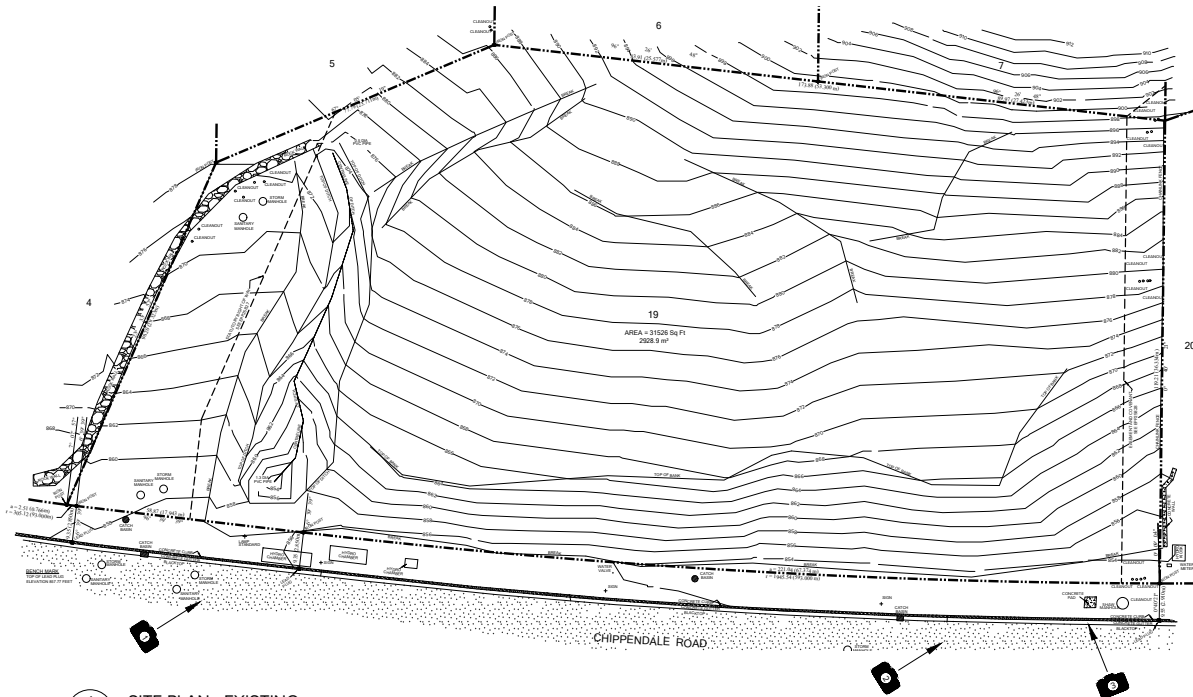
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A002**  
 PROJECT DATA



1 SITE PLAN - EXISTING



1. View looking NE to Site



2. View of East Neighbours (Chippendale Mews)



3. View looking NW to Site



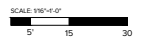
DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.05		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



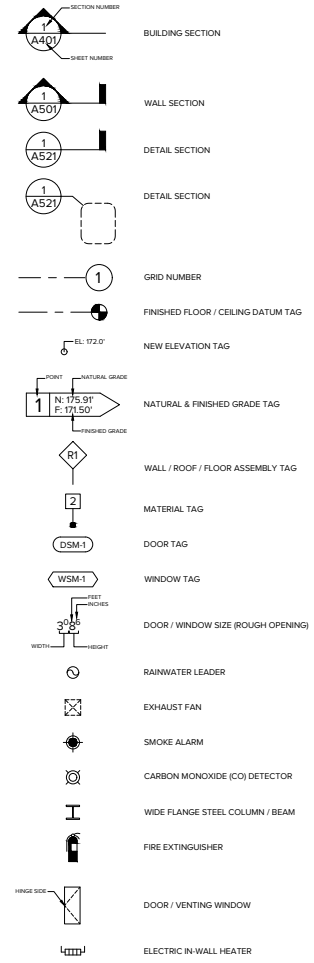
**A003**  
 SITE CONTEXT

**GENERAL NOTES**

- ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. FINAL DIMENSIONS OF ALL COMPONENTS ARE THE CONTRACTOR'S RESPONSIBILITY.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE OR TO FACE OF PLYWOOD SHEATHING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE BC BUILDING CODE AND RELEVANT BY-LAWS AND LEGISLATION.
- PROVIDE ALL REQUIRED BLOCKING AND BACKING WHETHER INDICATED OR NOT AS DIRECTED BY ARCHITECT OR ENGINEER.
- BUILDING TO BE SPRINKLERED TO NFPA AND BC FIRE CODE.
- ALL FLOOR-TO-CEILING GLAZING TO BE STRUCTURAL SAFETY GLASS.

**ABBREVIATIONS**

± or +	AND	SF	SQUARE FEET
@	AT	SM	SQUARE METER
△	CENTER LINE	SP	SPRINKLER
∅	DIAMETER	SPEC	SPECIFICATIONS
#	NUMBER	SQ	SQUARE
±	PLUS/MINUS	ST	STRAP TYPE
		STD	STANDARD
ABV	ABOVE	STRUCT	STRUCTURAL
A/C	AIR CONDITIONING	SW	SHEARWALL
ADD'L	ADDITIONAL		
AHU	AIR HANDLER UNIT	TBC	TO BE CONFIRMED
ARCH	ARCHITECTURAL	TBD	TO BE DETERMINED
AVG	AVERAGE	TEMP	TEMPERATURE
		T&G	TONGUE & GROOVE
BF	BRACED FRAME	THK	THICK
BM	BEAM	T/J	SOLID WEB TRUSS JOIST
B.O.	BOTTOM OF	T.O.	TOP OF
BOW	BOTTOM OF WALL	TOW	TOP OF WALL
		TYP	TYPICAL
CL	CENTER LINE	UNO	UNLESS NOTED OTHERWISE
CLR	CLEAR	U.S. or U/S	UNDERSIDE
COL	COLUMN		
CONC	CONCRETE	VERT	VERTICAL
CONT	CONTINUOUS		
D	DRYER	W	WASHING MACHINE
DBL	DOUBLE	WC	WATER CLOSET
DIA	DIAMETER	W/	WITH
DIAG	DIAGONAL	W/O	WITHOUT
DN	DOWN	XPS	EXTRUDED POLYSTYRENE
DP	DEEP		
DW	DISHWASHER		
DWG	DRAWING		
EA	EACH		
EFF	EFFECTIVE		
EL	ELEVATION		
ELEC	ELECTRICAL		
EP	EMBED PLATE		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EXT	EXTERIOR		
F.A.R.	FLOOR AREA RATIO		
FL	FLOOR		
F.O.	FACE OF		
FR	FRIDGE		
FT	FOOT OR FEET		
FTG	FOOTING		
GFA	GROSS FLOOR AREA		
GL	GLASS or GLAZED		
GR	GRADE		
HBF	HIGHEST BUILDING FACE		
HD	HOLD DOWN		
HORIZ	HORIZONTAL		
HR	HOUR		
HRV	HEAT RECOVERY VENTILATOR		
HSS	HOLLOW STRUCTURAL STEEL		
HT	HEIGHT		
INSUL	INSULATION		
INT	INTERIOR		
LD	LIMITING DISTANCE		
LSL	LAMINATED STRAND LUMBER		
LT	LIGHT		
LVL	LAMINATED VENEER LUMBER		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
N/A	NOT APPLICABLE		
NO.	NUMBER		
NTS	NOT TO SCALE		
O.C. or O/C	ON CENTER		
O.D.	OUTSIDE DIMENSION		
P.L.	PROPERTY LINE		
PSL	PARALLEL STRAND LUMBER		
QTY	QUANTITY		
R.	THERMAL RESISTANCE (U.S.)		
RAD	RADIUS		
REINF	REINFORCEMENT		
REQ'D	REQUIRED		
REV	REVISION		
RM	ROOM		
R.O.	ROUGH OPENING		
RSI	THERMAL RESISTANCE (SI)		
RWL	RAINWATER LEADER		



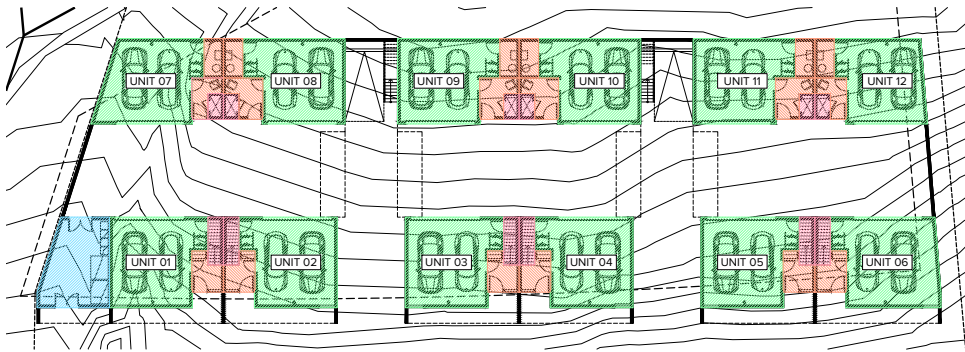
DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

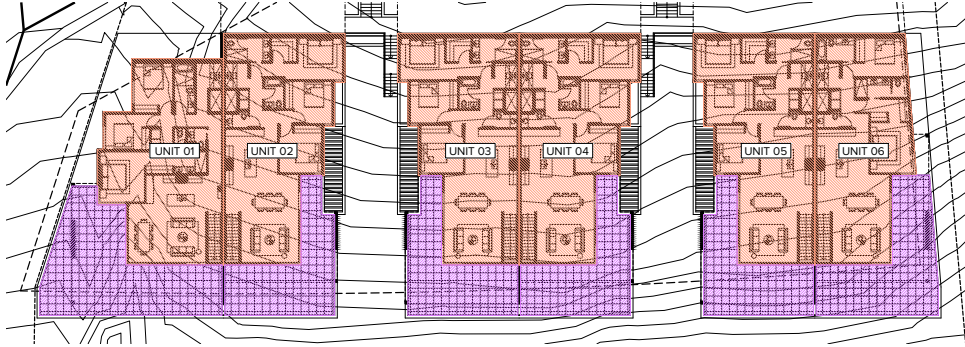
**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION: RESIDENTIAL, C

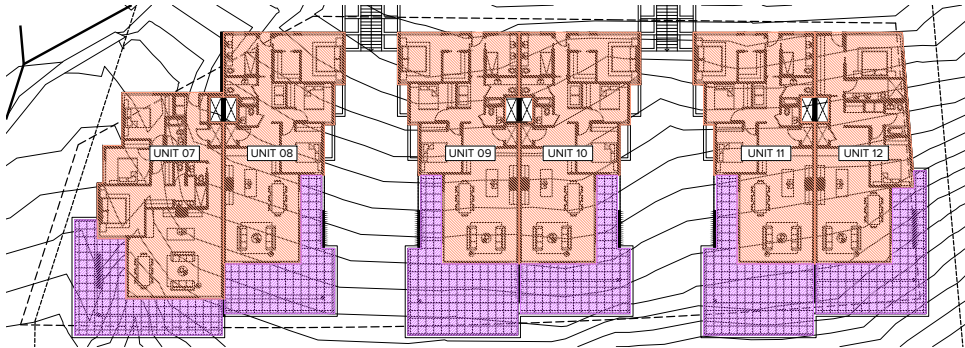
**A004**  
 GENERAL NOTES,  
 ABBREVIATIONS &  
 SYMBOLS



1 PARKADE FLOOR PLAN



2 LEVEL 1 FLOOR PLAN



3 LEVEL 2 FLOOR PLAN

	COMMON	UNIT 01	UNIT 02	UNIT 03	UNIT 04	UNIT 05	UNIT 06	UNIT 07	UNIT 08	UNIT 09	UNIT 10	UNIT 11	UNIT 12	TOTAL
<b>PARKADE</b>														
Entry (Included in F.A.R.)		72.33	72.33	72.33	72.33	72.33	72.33	60.33	81.67	81.67	81.67	81.67	60.33	881.33
Access* (Excluded in F.A.R.)		49.33	49.33	49.33	49.33	49.33	49.33	26.67	26.67	26.67	26.67	26.67	26.67	456.00
Mechanical (Included in F.A.R.)								50.83	50.83	50.83	50.83	50.83	50.83	305.00
Parking* (Included in F.A.R.)		530.78	530.78	530.78	530.78	530.78	589.74	527.43	518.50	518.50	518.50	518.50	472.37	6,317.43
Garbage & Recycling* (Excluded in F.A.R.)	375.92													375.92
Subtotal	375.92	652.44	652.44	652.44	652.44	652.44	711.41	665.27	677.67	677.67	677.67	677.67	610.20	8,335.69
<b>LEVEL 1</b>														
Living* (Included in F.A.R.)		1,479.03	1,511.11	1,511.11	1,511.11	1,511.11	1,511.11	1,366.90						8,890.37
Terrace* (Excluded in F.A.R.)		921.90	538.67	538.67	538.67	538.67	538.67	653.12						3,729.66
Subtotal		2,400.93	2,049.78	2,049.78	2,049.78	2,049.78	2,020.02							12,620.06
<b>LEVEL 2</b>														
Living* (Included in F.A.R.)								1,494.94	1,491.14	1,491.14	1,491.14	1,491.14	1,359.71	8,819.21
Terrace* (Excluded in F.A.R.)								589.98	496.58	654.56	496.58	654.56	546.51	3,438.76
Subtotal								2,084.92	1,987.72	2,145.69	1,987.72	2,145.69	1,906.22	12,257.97
<b>GRAND TOTAL</b>	375.92	3,053.37	2,702.22	2,702.22	2,702.22	2,702.22	2,731.43	2,750.19	2,665.39	2,823.36	2,665.39	2,823.36	2,596.42	32,133.73
<b>GRAND TOTAL FOR F.A.R.</b>		1,551.36	1,583.44	1,583.44	1,583.44	1,583.44	1,439.23	1,606.11	1,623.64	1,623.64	1,623.64	1,623.64	1,470.88	<b>18,895.92</b>

1 \*Floor area ratio shall not include hallways, elevator shafts and stairwells at basement and at sub-basement floor levels." (Zoning Bylaw No. 4662, Section 100.21.02(6))  
 2 \*Floor area ratio shall not include parking and loading areas." (Zoning Bylaw No. 4662, Section 100.21.02(6))  
 3 \*Floor area ratio shall not include...garbage room and building maintenance room, all intended to service the entire building, when located in a basement and/or sub-basement." (Zoning Bylaw No. 4662, Section 100.21.02(6))  
 4 \*Floor area ratio shall not include open balconies, open terraces or exterior steps." (Zoning Bylaw No. 4662, Section 100.21.02(6))



2023.04.14 RE-ISSUED FOR DPR# RB  
 2021.12.06 ISSUED FOR REVIEW RB  
 2021.02.02 ISSUED FOR DPR# RB  
 DATE NO. DESCRIPTION BY

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

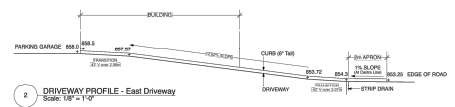
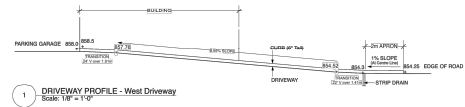
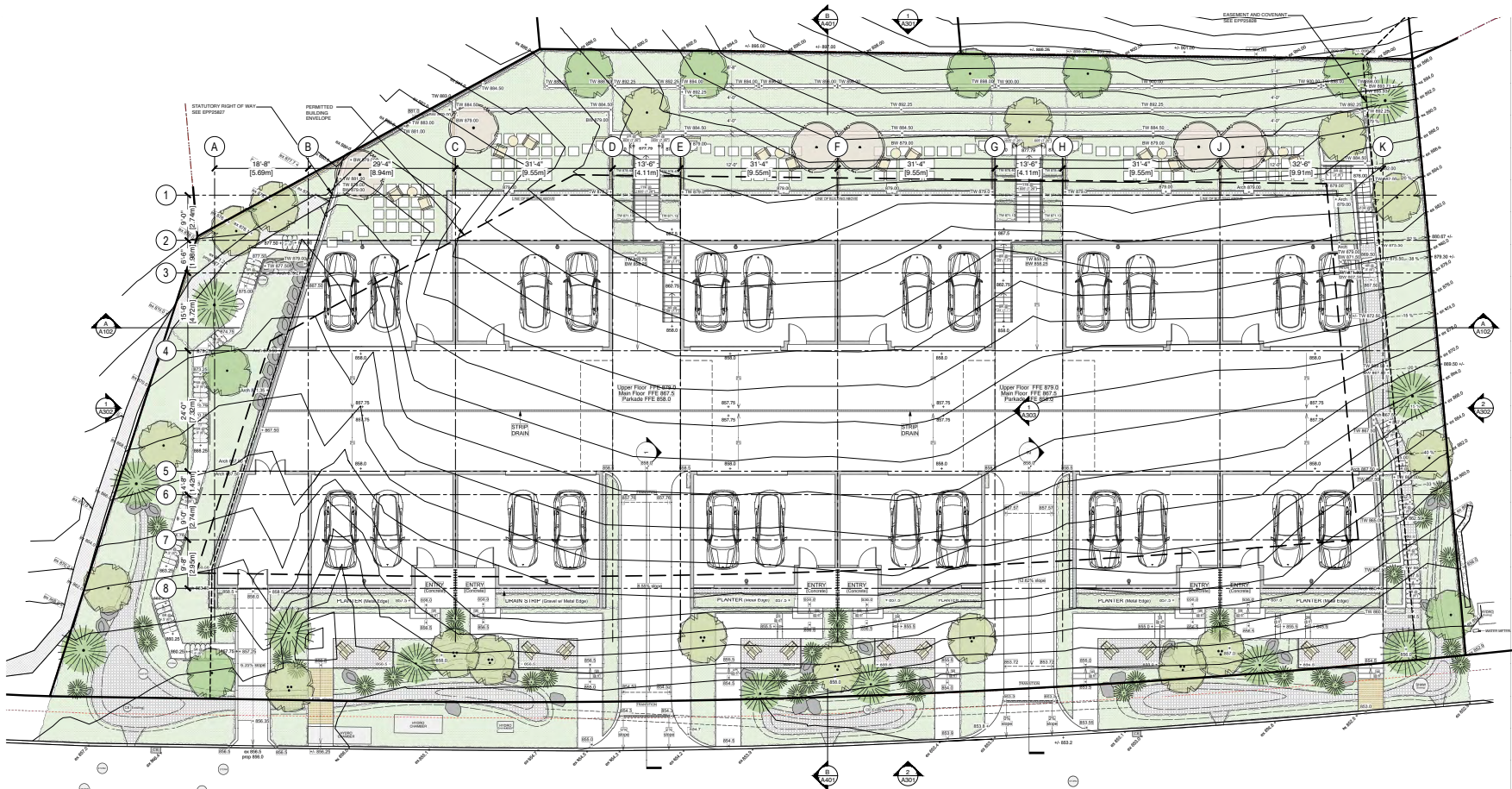
**CHIPPENDALE TERRACE HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL - C



**A014**  
 FLOOR AREA

BURGERS ARCHITECTURE BURGERS ARCHITECTURE BURGERS ARCHITECTURE



2021.02.02 ISSUED FOR DPR/2 RB  
 DATE NO. DESCRIPTION BY

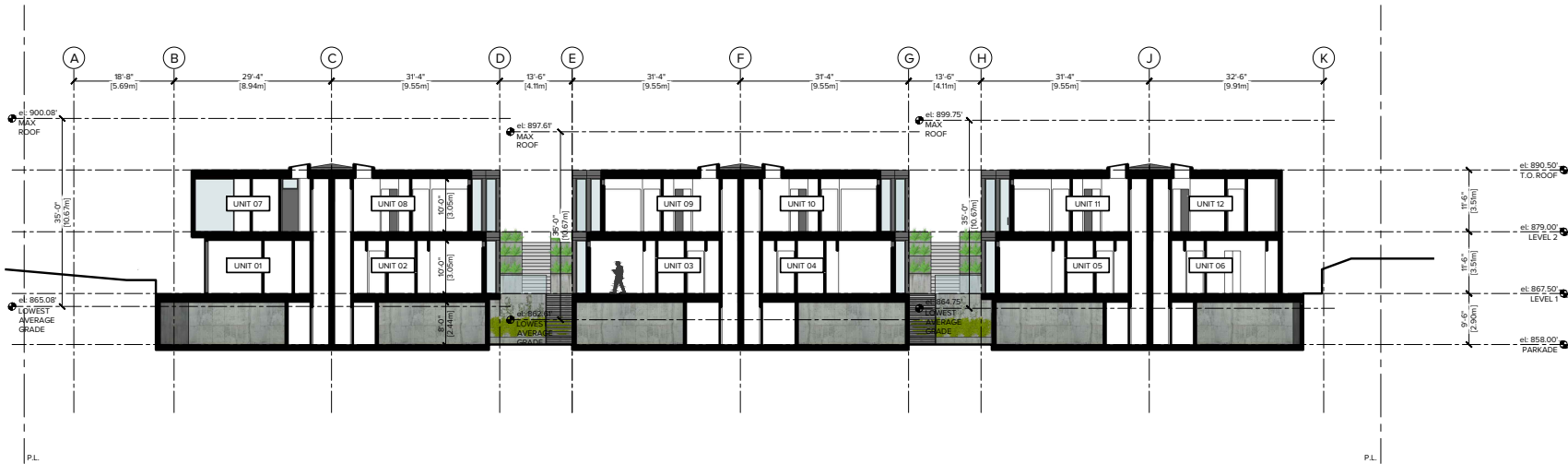
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 926 6058  
 FAX 604 926 9161  
 EMAIL cedric@burgersarchitecture.com

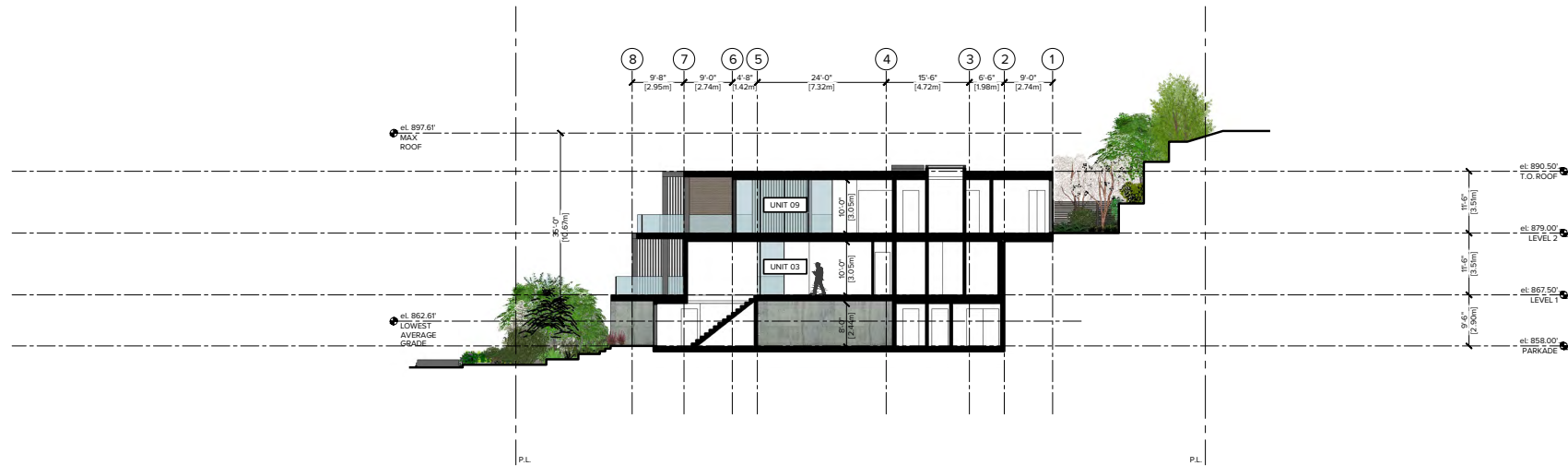
**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

SCALE: 3/32"=1'-0"  
 2 5 10 20

**A101**  
 SITE PLAN



1 SITE SECTION A



2 SITE SECTION B (BUILDING 2)

DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

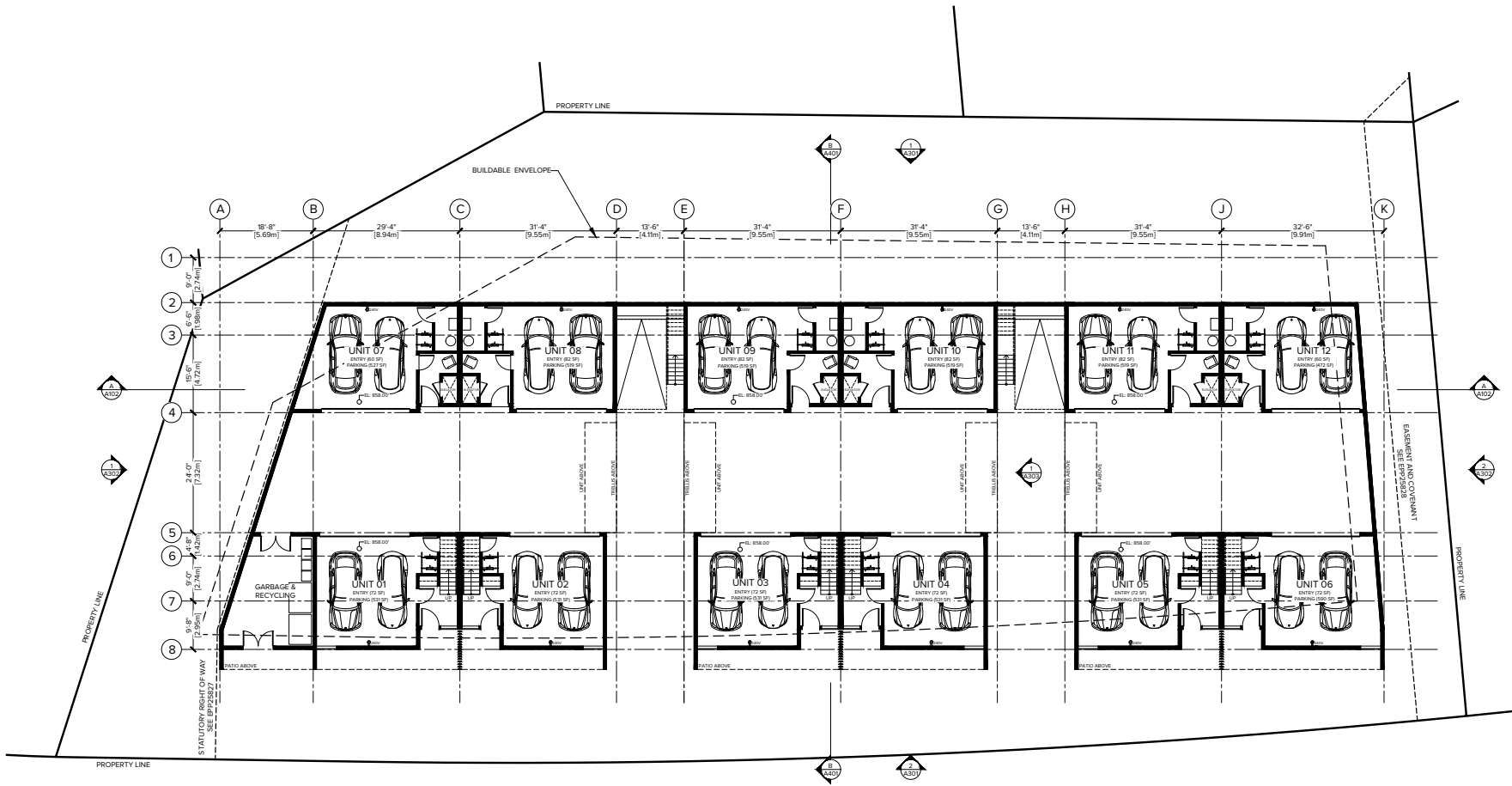
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A102**  
 SITE SECTIONS A & B



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR/2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR/1	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

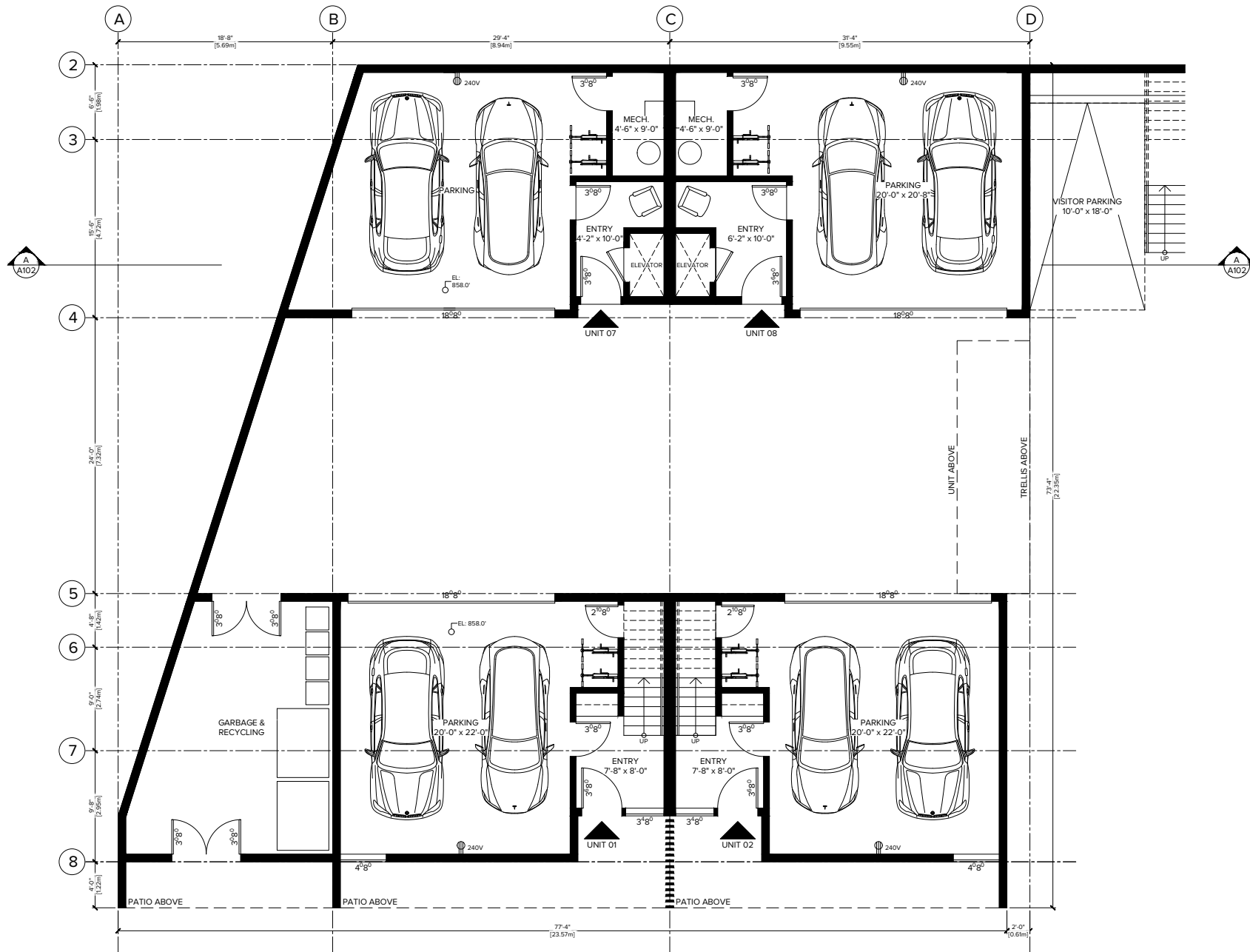
DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



# A200

PARKADE FLOOR PLAN

BURGERS ARCHITECTURE BURGERS ARCHITECTURE BURGERS ARCHITECTURE



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

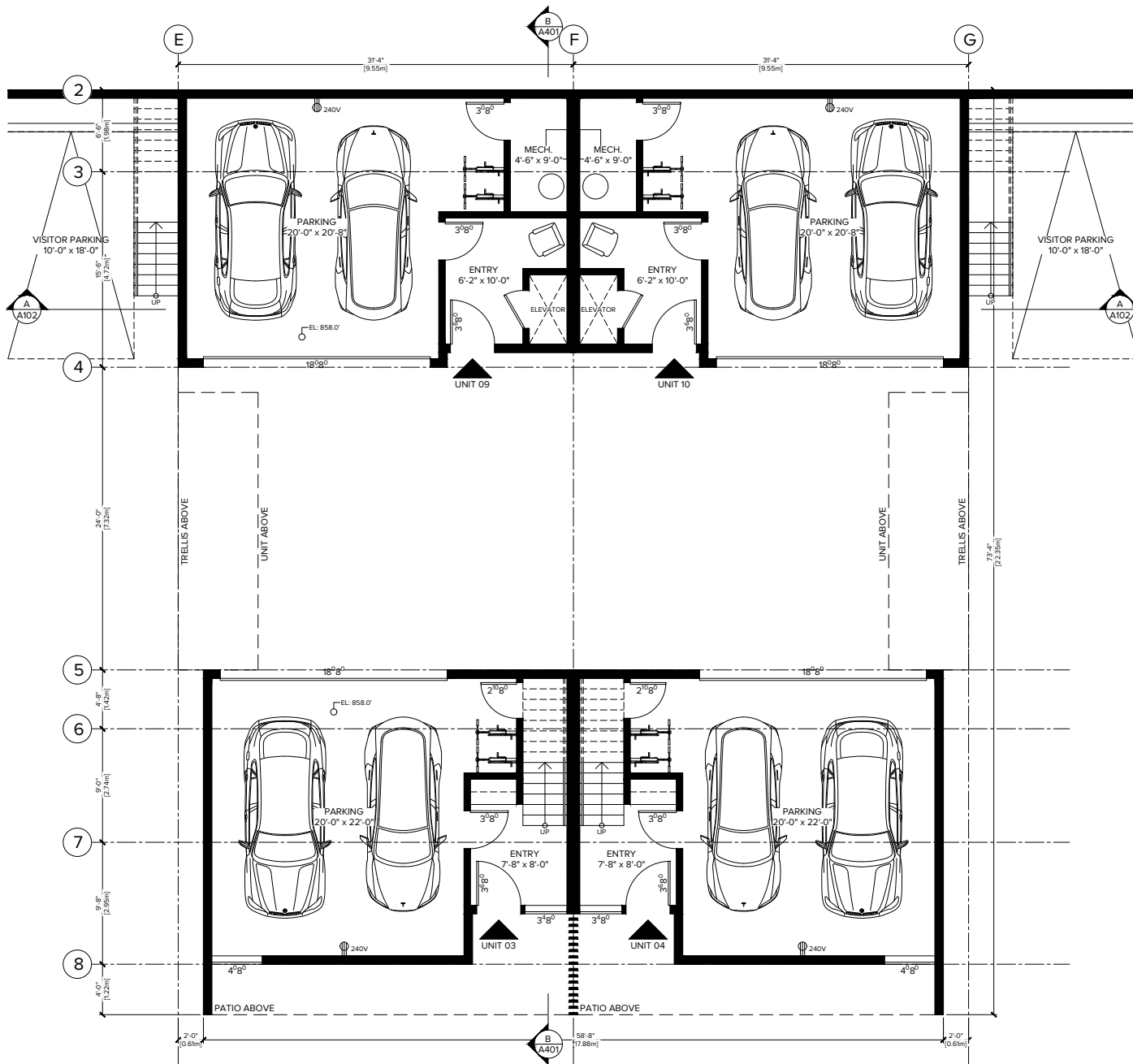
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A201**  
 PARKADE FLOOR PLAN  
 BUILDING 1



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

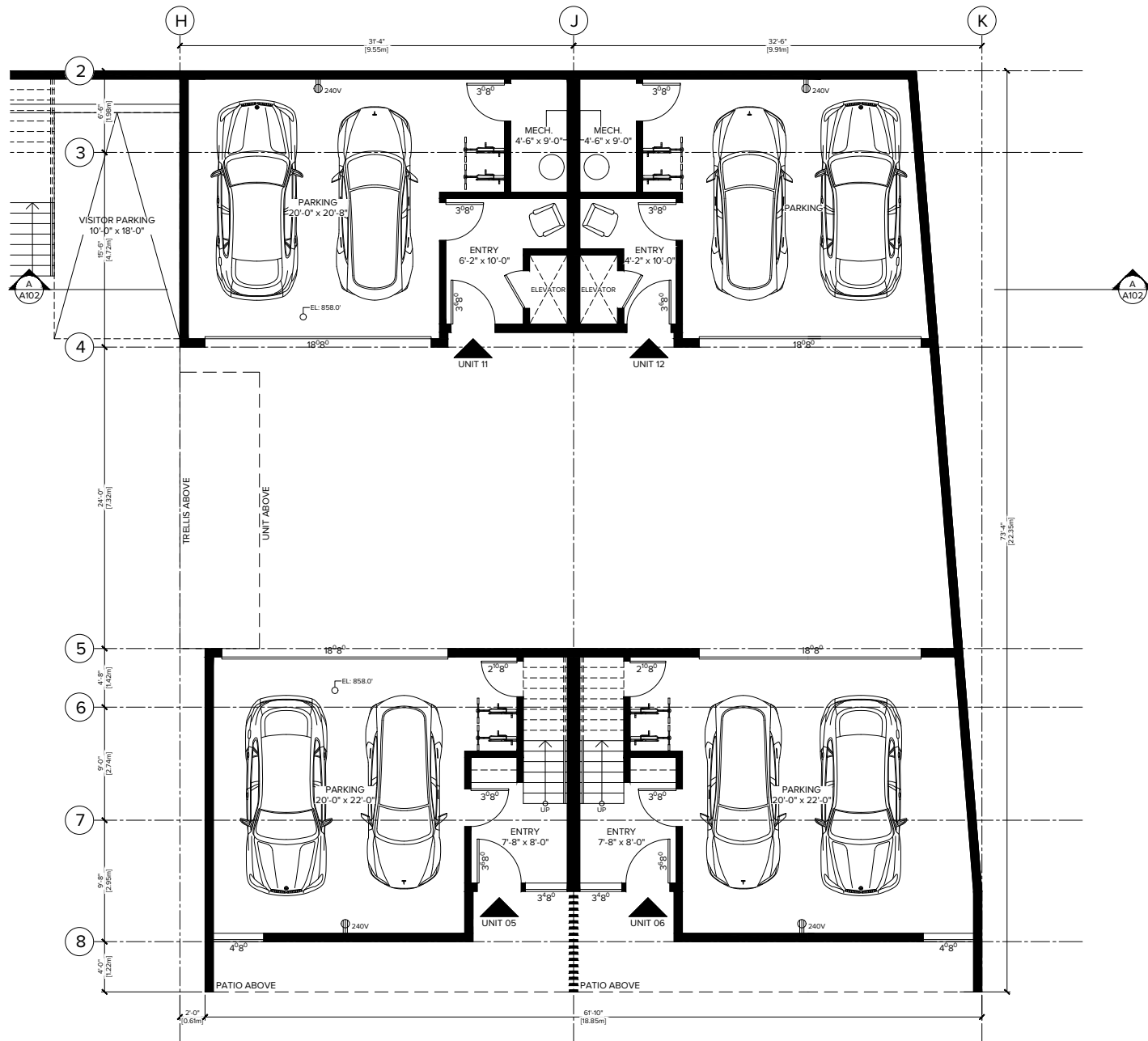
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL - C



**A202**  
 PARKADE FLOOR PLAN  
 BUILDING 2



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

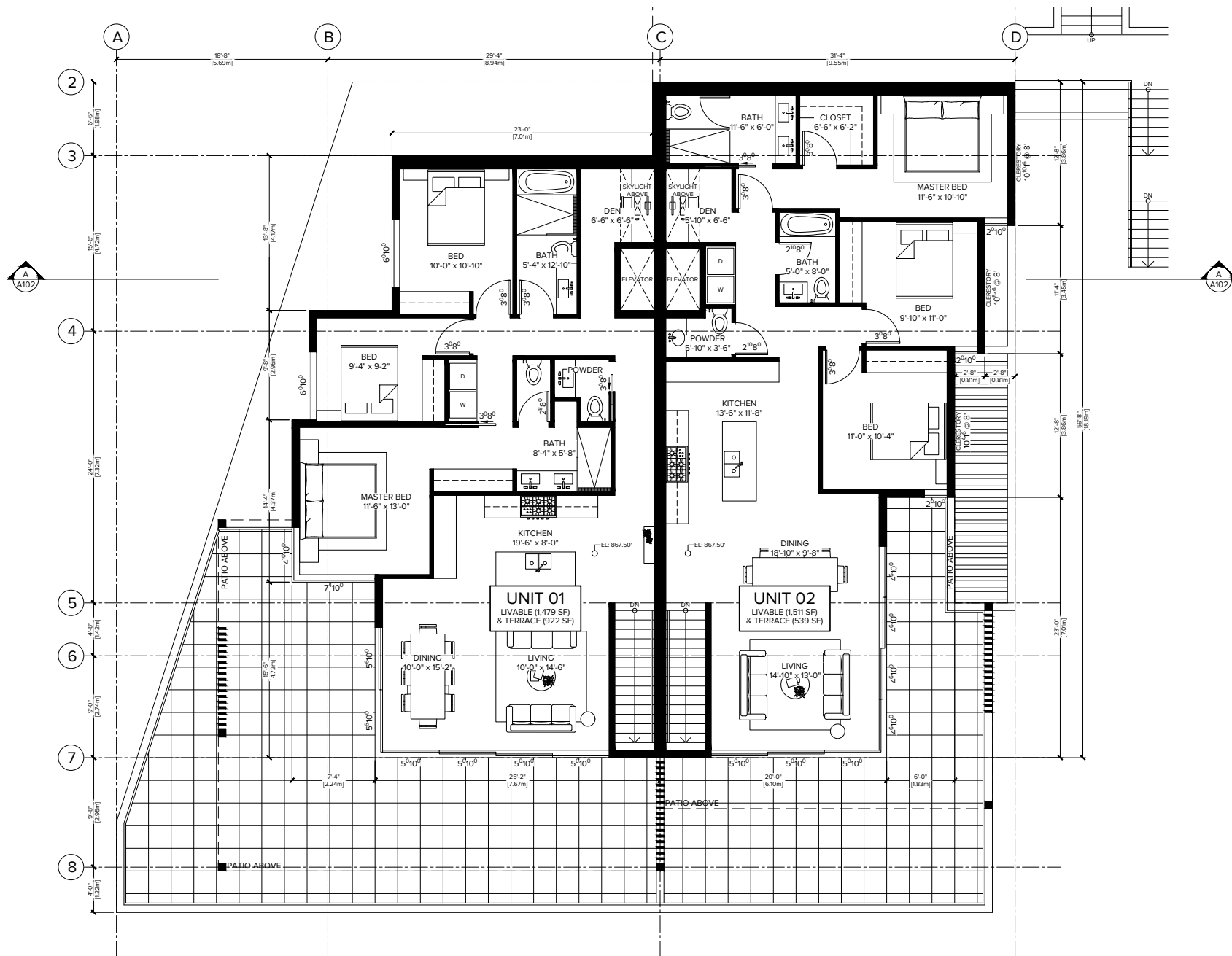
**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

SCALE 1/4"=1'-0"  
 1 3 6 9 12

**A203**  
 PARKADE FLOOR PLAN  
 BUILDING 3





2023.04.14	RE ISSUED FOR DPR#2	RB
2021.12.06	ISSUED FOR REVIEW	RB
2021.02.02	ISSUED FOR DPR#1	RB
DATE	NO. DESCRIPTION	BY

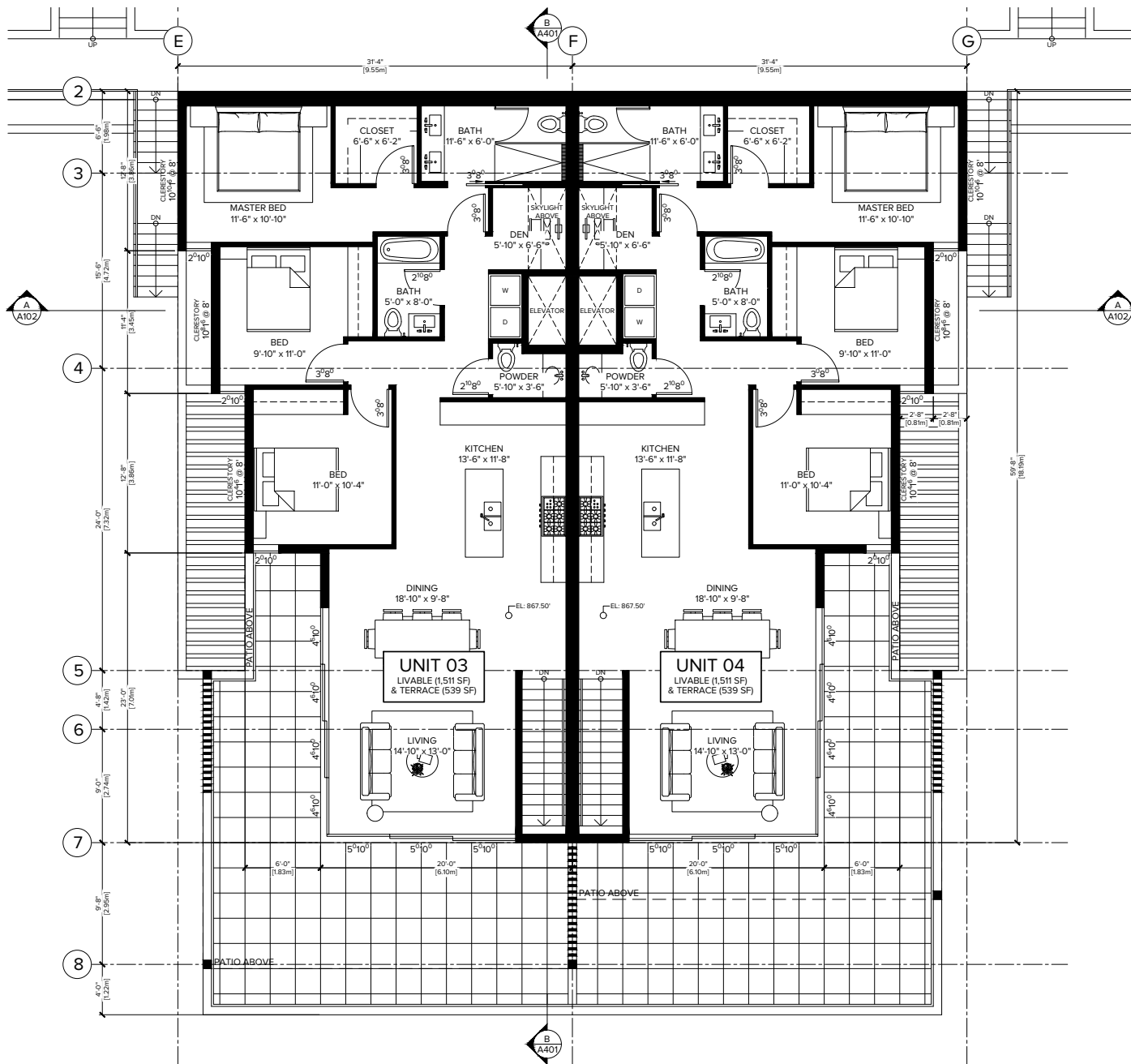
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCRC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A211**  
 LEVEL 1 FLOOR PLAN  
 BUILDING 1



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

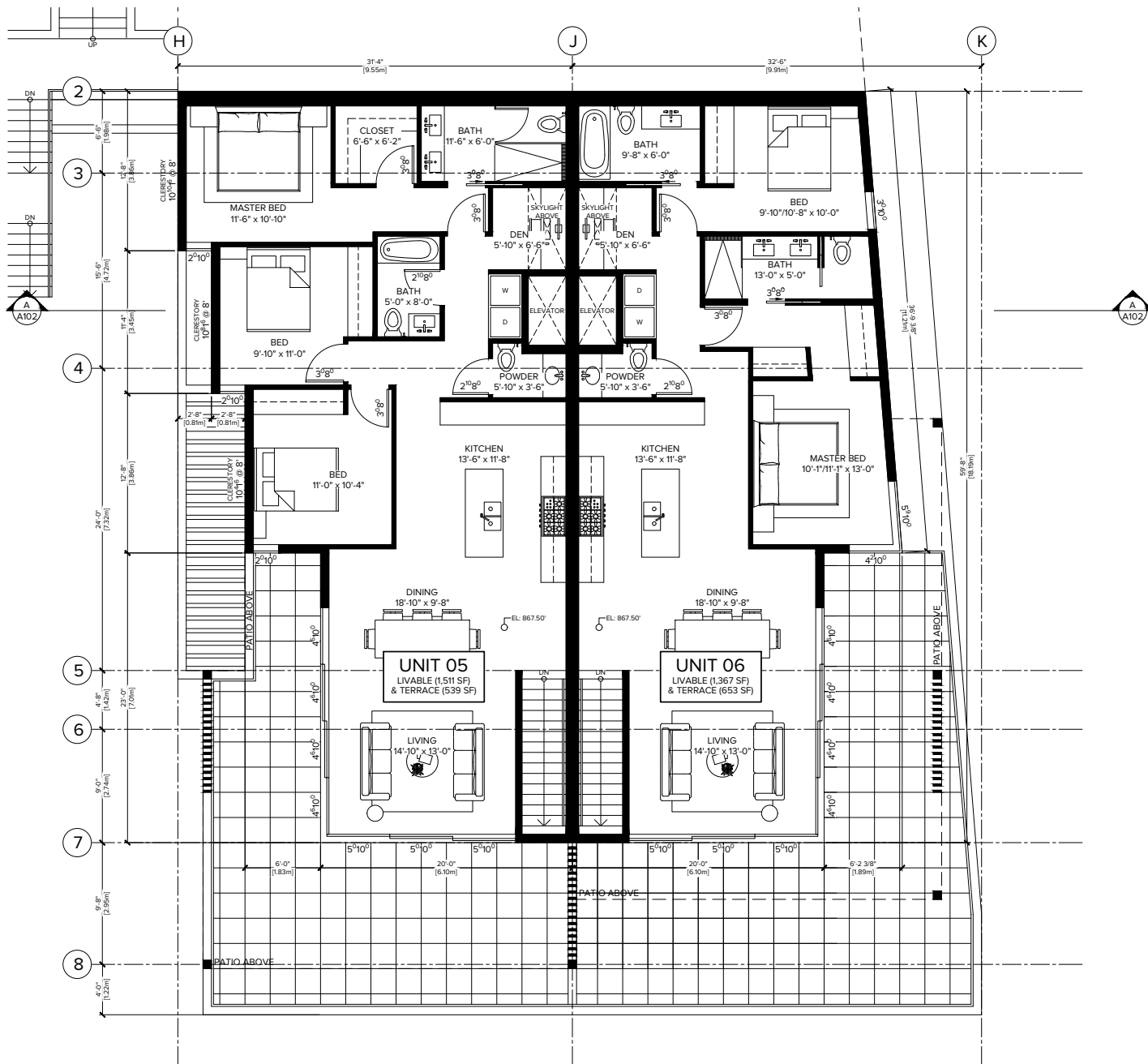
PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACE HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A212**  
 LEVEL 1 FLOOR PLAN  
 BUILDING 2



2023.04.14	RE-ISSUED FOR DPR#2	RB
2021.12.06	ISSUED FOR REVIEW	RB
2021.02.02	ISSUED FOR DPR#1	RB
DATE	NO. DESCRIPTION	BY

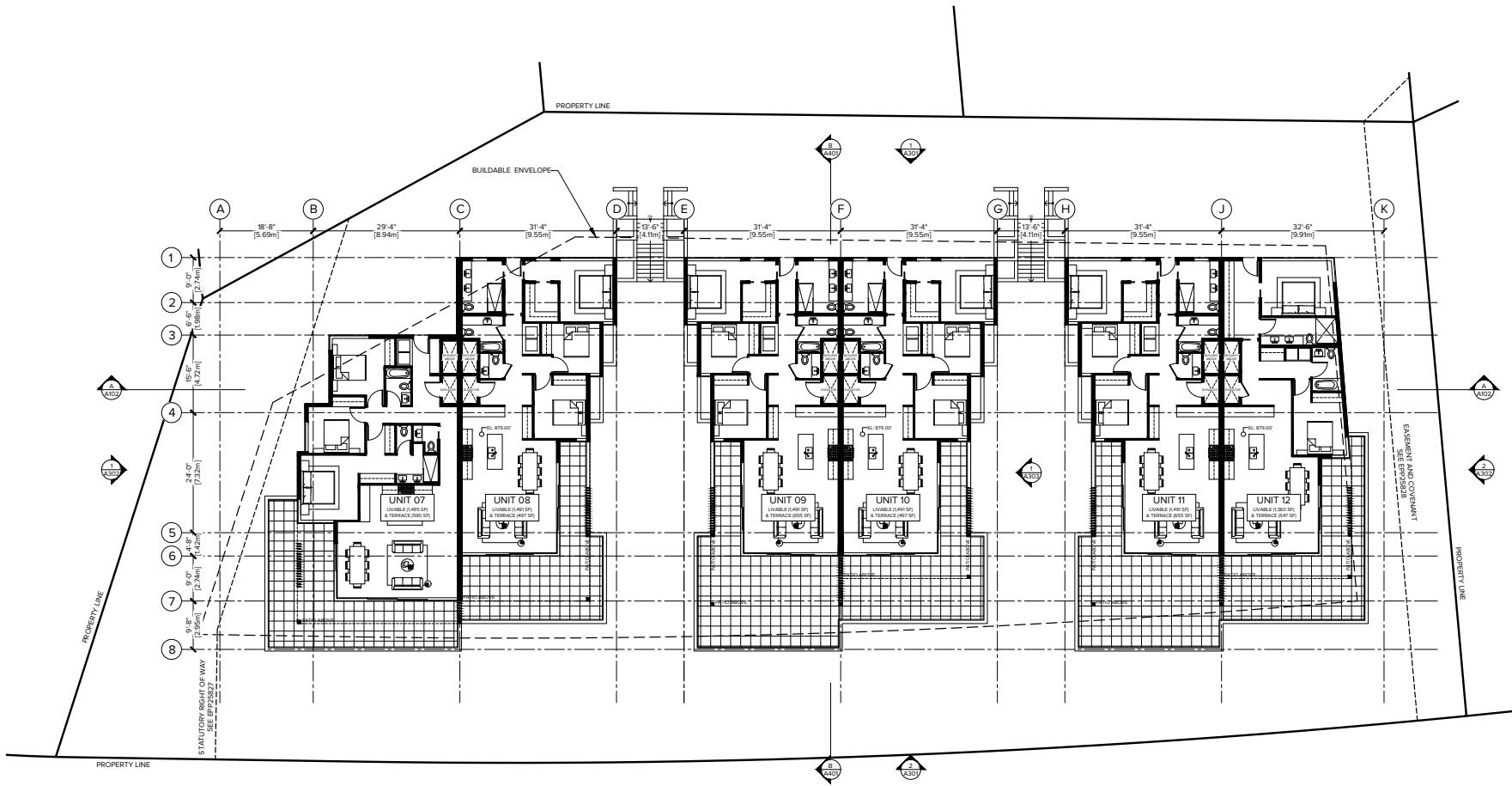
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACE HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A213**  
 LEVEL 1 FLOOR PLAN  
 BUILDING 3



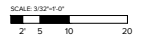
DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR/2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR/2	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

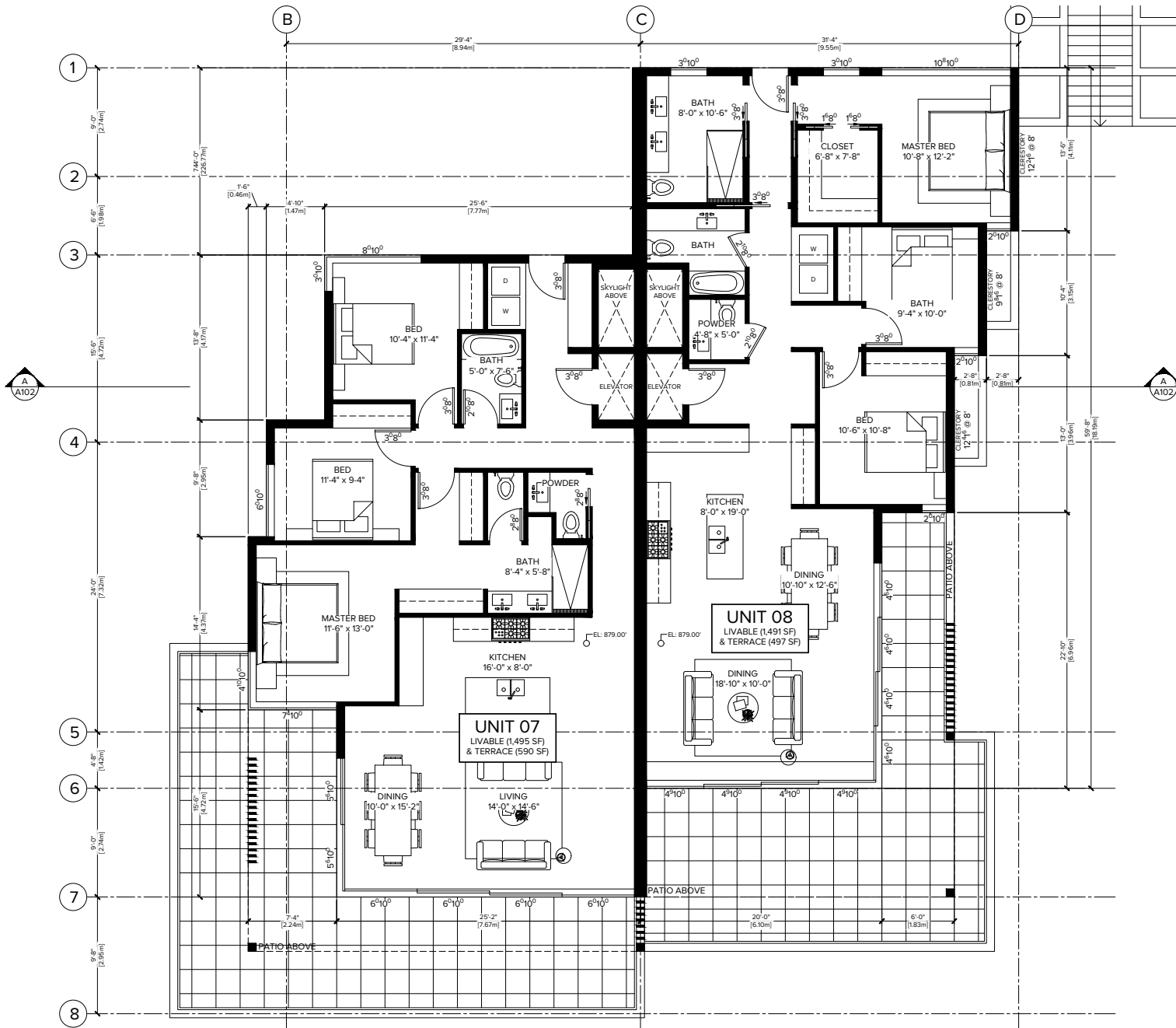
PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A220**  
 LEVEL 2 FLOOR PLAN



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR2	RB
2023.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR2	RB

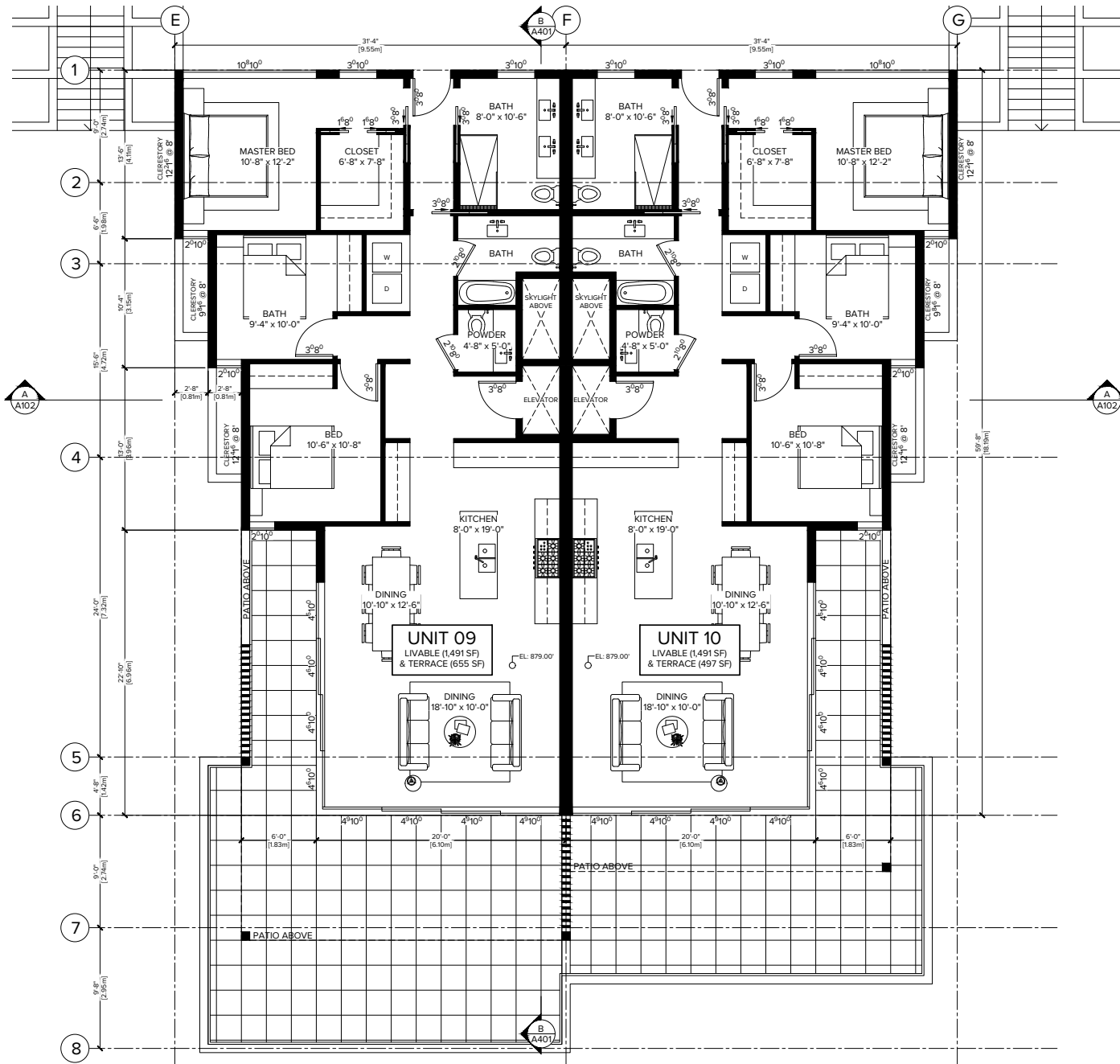
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACE HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL, C



**A221**  
 LEVEL 2 FLOOR PLAN  
 BUILDING 1



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.05		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

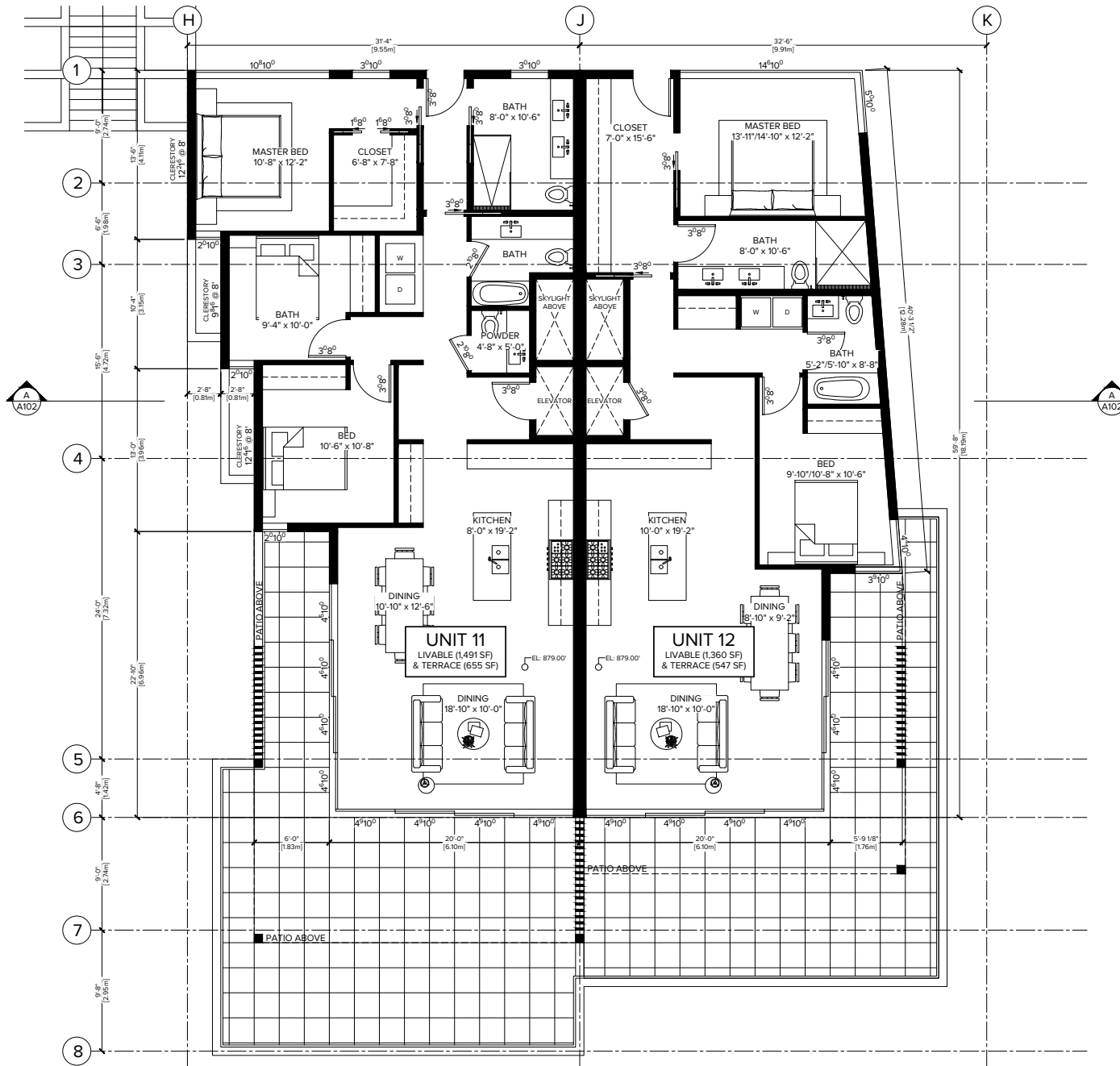
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, B.C.B.C. 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL, C



**A222**  
 LEVEL 2 FLOOR PLAN  
 BUILDING 2



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

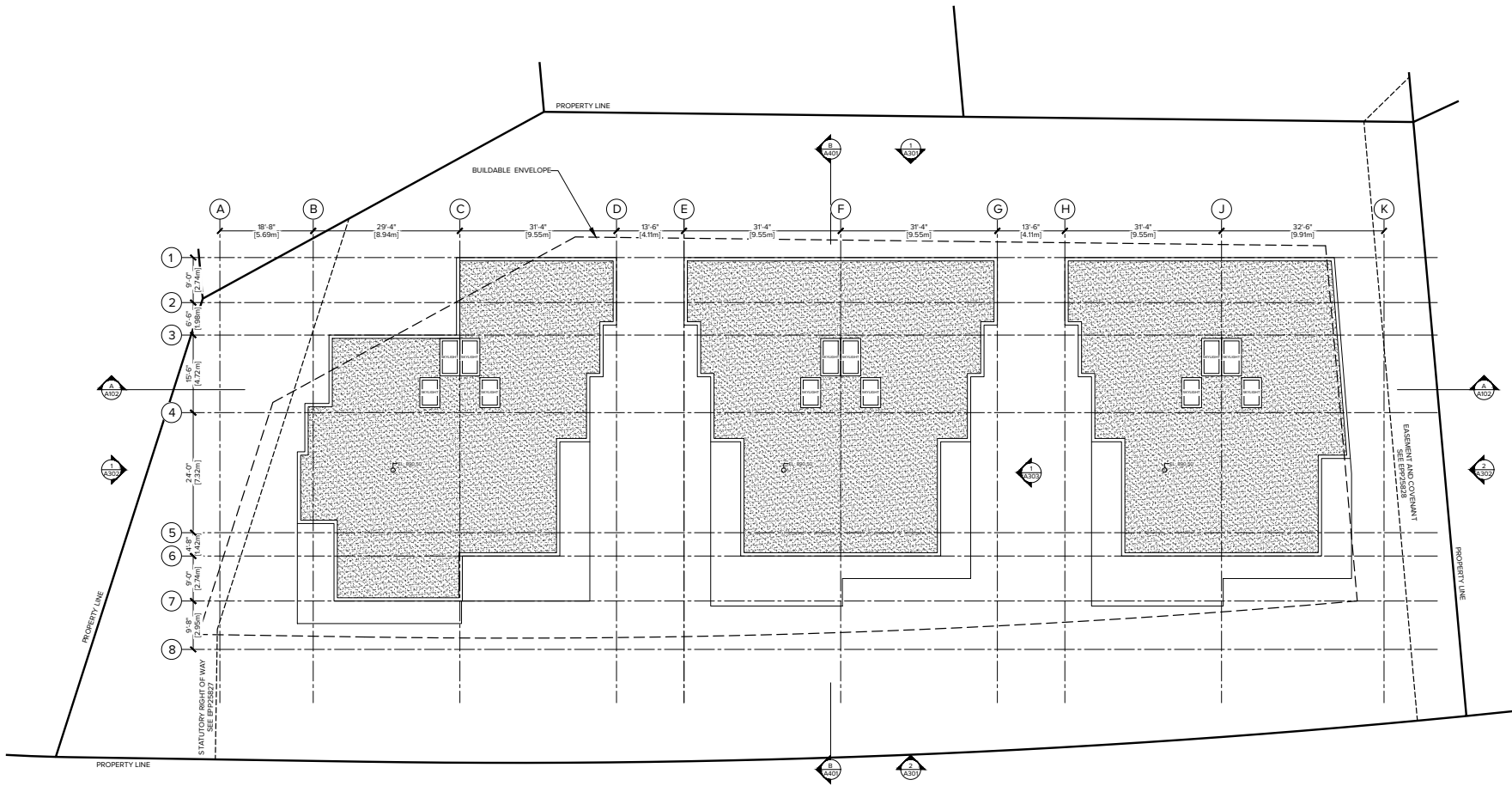
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.326.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL, C



**A223**  
 LEVEL 2 FLOOR PLAN  
 BUILDING 3

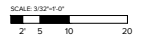


DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

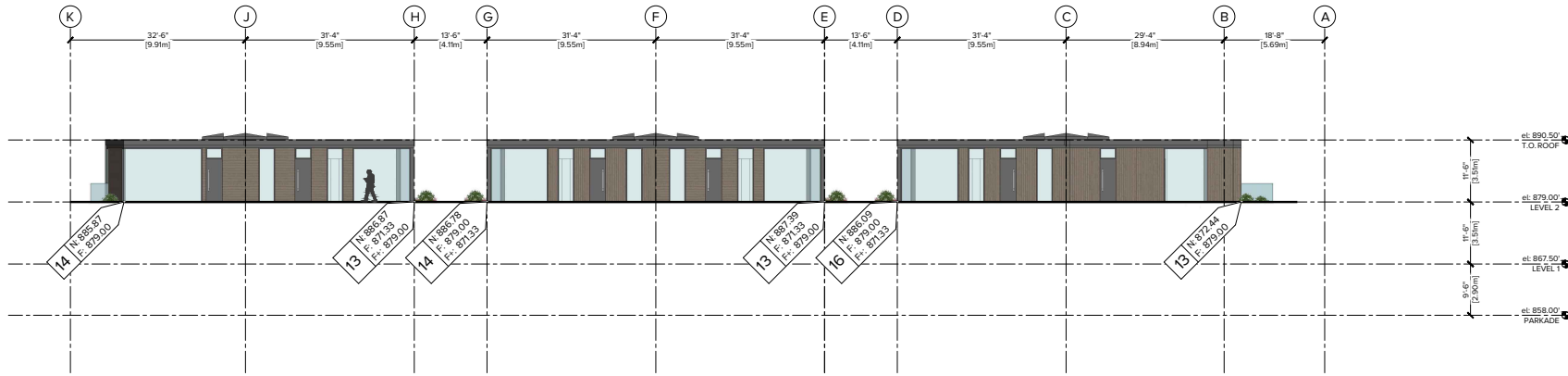
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

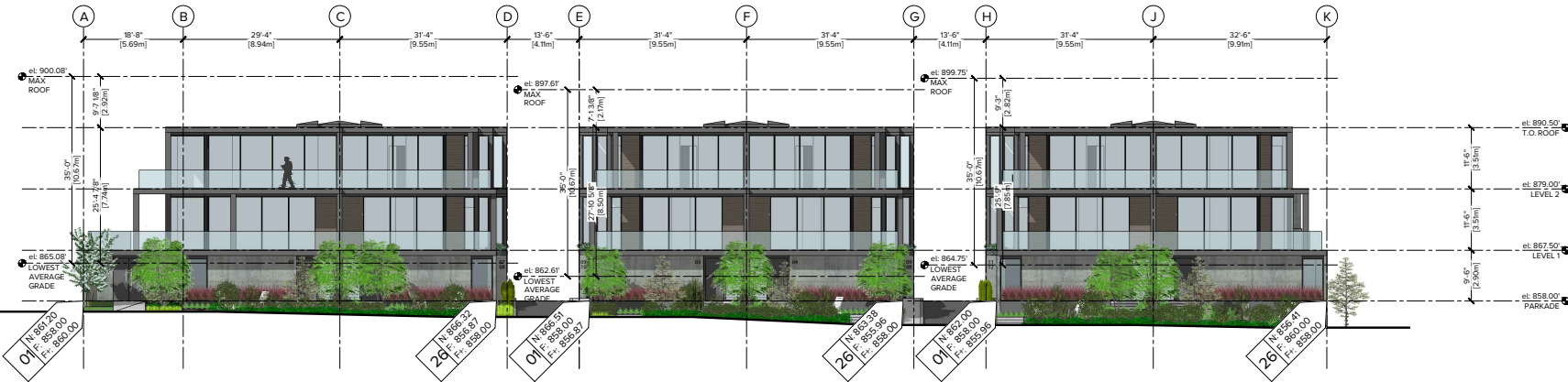
DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A230**  
 ROOF PLAN



1 ELEVATION - NORTH



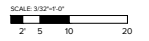
2 ELEVATION - SOUTH

2023.04.14	RE ISSUED FOR DPR#2	RB
2021.12.05	ISSUED FOR REVIEW	RB
2021.02.02	ISSUED FOR DPR#1	RB
DATE	NO. DESCRIPTION	BY

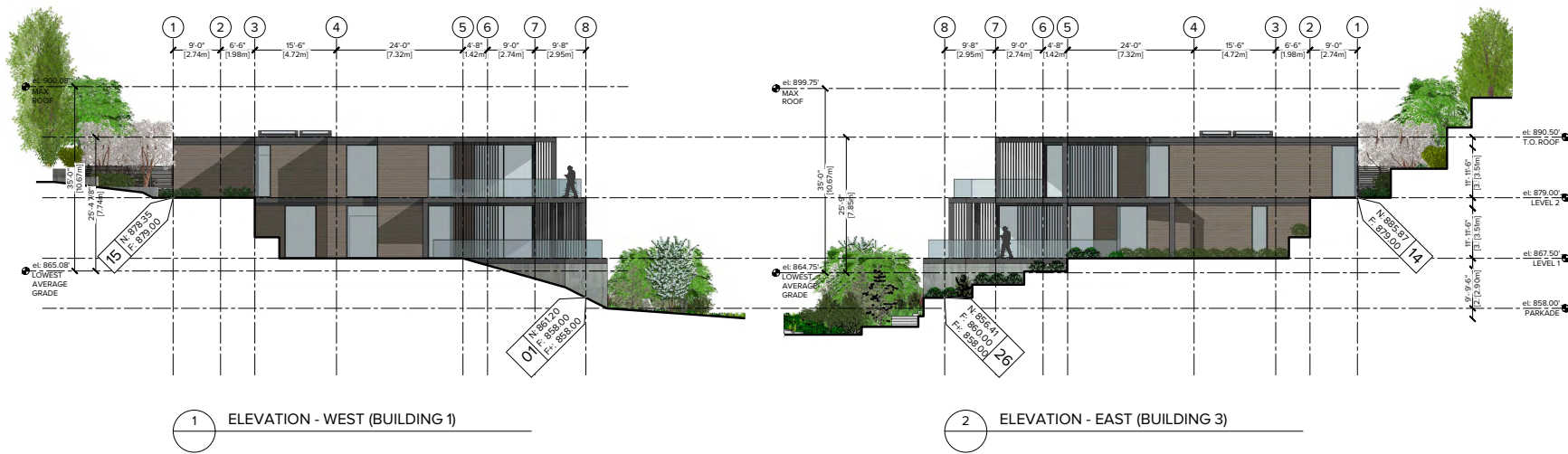
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604.926.6058  
 FAX 604.926.9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A301**  
 ELEVATION  
 NORTH & SOUTH



1 ELEVATION - WEST (BUILDING 1)

2 ELEVATION - EAST (BUILDING 3)

DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#1	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH: 604.926.6058  
 FAX: 604.926.9141  
 EMAIL: cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C



**A302**  
 ELEVATION  
 WEST & EAST



2023.04.14 RE-ISSUED FOR DPR2 RB  
 2021.12.05 ISSUED FOR REVIEW RB  
 2021.02.02 ISSUED FOR DPR1 RB  
 DATE NO. DESCRIPTION BY

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

SCALE 1/4"=1'-0"  
 1 3 6 10

**A303**  
 ELEVATION  
 EAST (BUILDING 2)



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR/2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR/2	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

**A801**  
 AERIAL VIEW



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR/2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR/2	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL [cedric@burgersarchitecture.com](mailto:cedric@burgersarchitecture.com)

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

**A802**  
 STREET VIEW



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR/2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR/2	RB

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

**A803**  
 ELEVATED VIEW



DATE	NO.	DESCRIPTION	BY
2023.04.14	RE-ISSUED FOR DPR/2	RB	
2021.12.06	ISSUED FOR REVIEW	RB	
2021.02.02	ISSUED FOR DPR/2	RB	

**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1  
 PH 604 926 6058  
 FAX 604 926 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

**A804**  
 SOUTH ELEVATION



DATE	NO.	DESCRIPTION	BY
2023.04.14		RE-ISSUED FOR DPR#2	RB
2021.12.06		ISSUED FOR REVIEW	RB
2021.02.02		ISSUED FOR DPR#2	RB

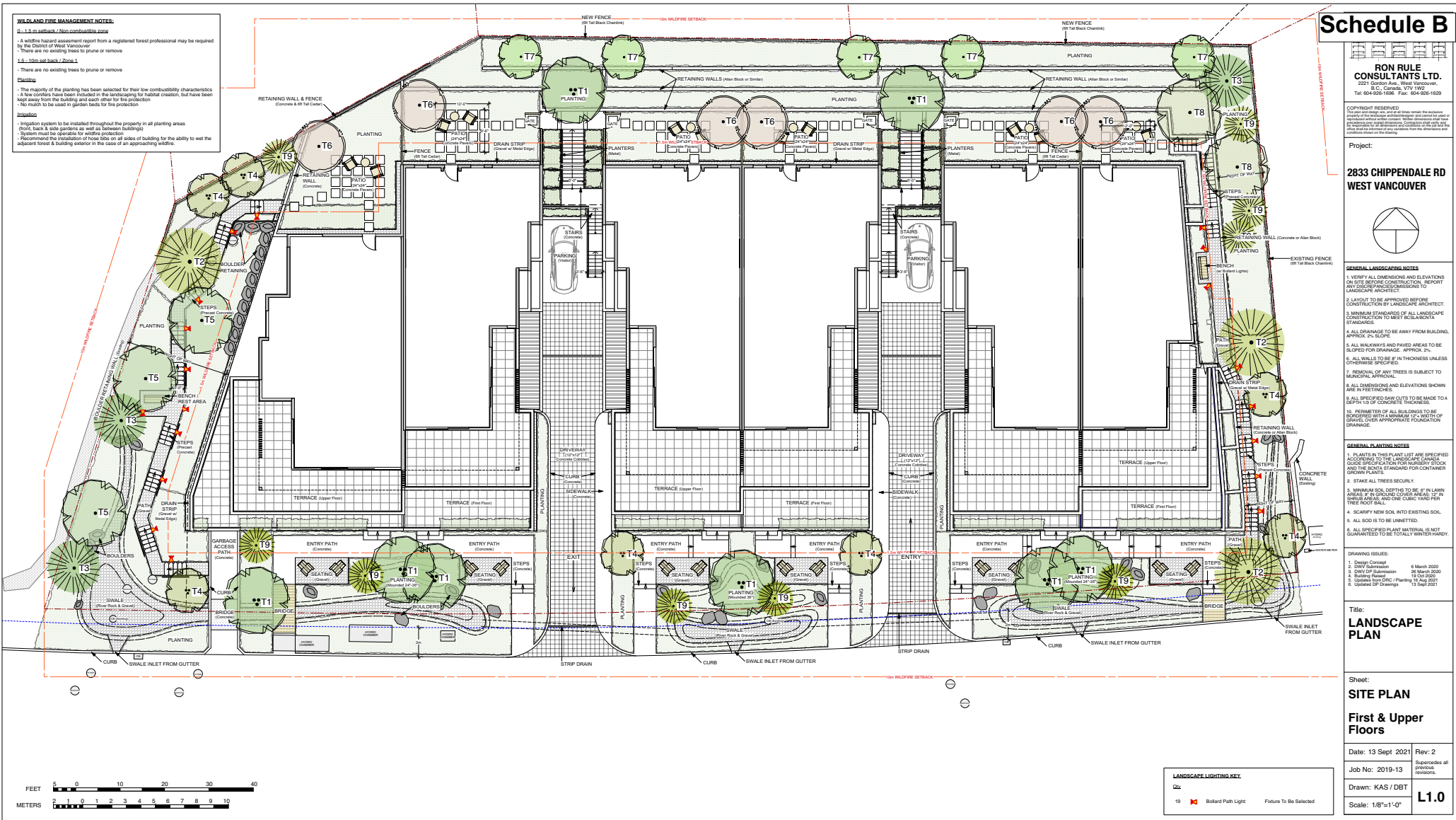
**BURGERS ARCHITECTURE**  
 2488 HAYWOOD AVENUE  
 WEST VANCOUVER, BC  
 V7V 1Y1

PH 604 920 6058  
 FAX 604 920 9141  
 EMAIL cedric@burgersarchitecture.com

**CHIPPENDALE  
 TERRACED HOMES**  
 2833 CHIPPENDALE ROAD  
 WEST VANCOUVER, BC

DESIGNED UNDER PART 9, BCBC 2018  
 MAJOR OCCUPANCY CLASSIFICATION:  
 RESIDENTIAL C

**A805**  
 VIEW TO BURRARD INLET



**WILDLAND FIRE MANAGEMENT NOTES:**

1. 1.5 m setback / Non combustible zone
2. A wildfire hazard assessment report from a registered forest professional may be required by the District of West Vancouver
3. There are no existing trees to prune or remove

**1.5 m Non Combustible Zone:**

1. There are no existing trees to prune or remove

**Planting:**

1. The majority of the planting has been selected for their low combustibility characteristics kept away from the building and each other for fire protection
2. A fire context has been included in the landscaping for habitat creation, but have been kept away from the building and each other for fire protection
3. No mulch to be used in garden beds for fire protection

**Irrigation:**

1. Irrigation system to be installed throughout the property in all planting areas
2. Front back & side gardens as well as between buildings
3. System must be operable for wildfire protection
4. Recommend the installation of hose bibs on all areas of building for the ability to wet the adjacent forest & building exterior in the case of an approaching wildfire.

# Schedule B

**RON RULE CONSULTANTS LTD.**  
 2221 GERRARD AVE. WEST VANCOUVER  
 B.C. CANADA V7V 1V2  
 Tel: 604-265-1656 Fax: 604-265-1629

**Copyright Reserved**  
 No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ron Rule Consultants Ltd.

Project:  
**2833 CHIPPENDALE RD  
 WEST VANCOUVER**



- GENERAL LANDSCAPING NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON THE BEFORE CONSTRUCTION. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT
  2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
  3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET BC LANDSCAPE STANDARDS
  4. ALL DRAINAGE TO BE AWAY FROM BUILDING, APPROX. 2% SLOPE
  5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE, APPROX. 2%
  6. ALL WALLS TO BE 8" IN THICKNESS UNLESS OTHERWISE SPECIFIED
  7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL
  8. ALL DIMENSIONS AND ELEVATIONS SHOWN ARE IN FEET/INCHES
  9. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 1/3 OF CONCRETE THICKNESS
  10. PERIMETER OF ALL BUILDINGS TO BE BOUNDARY WITH A MINIMUM 12" WIDTH OF GRAVEL OVER APPROPRIATE FOUNDATION DRAINAGE

- GENERAL PLANTING NOTES**
1. PLANTS IN THIS PLAN LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA PLANT SPECIFICATION FOR HARDY STOCK AND THE BC HORTICULTURE LAND FOR CONTAINER GROWN PLANTS
  2. STAKE ALL TREES SECURELY
  3. SURROUND SOIL DEPTHS TO BE 1' IN LAWN AREAS, 4" IN GROUND COVER AREAS, 2" IN TREE ROOT BALLS AND ONE CUBIC YARD PER TREE ROOT BALL
  4. SCARIFY NEW SOIL INTO EXISTING SOIL
  5. ALL SOIL IS TO BE UNSETTLED
  6. ALL SPECIFIED PLANT MATERIAL IS NOT GUARANTEED TO BE TOTALLY WINTER HARDY

**DRAWING ISSUES:**

1. Design Concept	6 March 2020
2. DWG Submission	26 March 2020
3. Building Planning / Preliminary	17 April 2020
4. Update DWG Drawings	13 Sept 2021

Title:  
**LANDSCAPE PLAN**

Sheet:  
**SITE PLAN**  
**First & Upper Floors**

Date: 13 Sept 2021 Rev: 2  
 Job No: 2019-13 Revisions all previous versions.  
 Drawn: KAS / DBT  
 Scale: 1/8"=1'-0"  
**L1.0**



**LANDSCAPE LIGHTING KEY**

19 Botland Path Light Future To Be Selected



**WILDLAND FIRE MANAGEMENT NOTES:**

1. 1.5 m setback / Non combustible zone
2. A wildfire hazard assessment report from a registered forest professional may be required by the District of West Vancouver
3. There are no existing trees to prune or remove

**1.5 m Non Combustible Zone:**

1. There are no existing trees to prune or remove

**Planting:**

1. The majority of the planting has been selected for their low combustibility characteristics kept away from the building and each other for fire protection
2. No mulch to be used in garden beds for fire protection

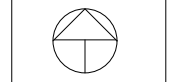
**Irrigation:**

1. Irrigation system to be installed throughout the property in all planting areas
2. Front back & side gardens as well as between buildings
3. System must be operable for wildfire protection
4. Recommend the installation of hose bibs on all areas of building for the ability to wet the adjacent forest & building exterior in the case of an approaching wildfire.

**RON RULE CONSULTANTS LTD.**  
 2221 GERRARD AVE. WEST VANCOUVER  
 B.C. CANADA V7V 1W2  
 Tel: 604-265-1656 Fax: 604-265-1629

**COPYRIGHT RESERVED**  
 No part of this drawing or any part thereof may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the author.

Project:  
**2833 CHIPPENDALE RD  
 WEST VANCOUVER**



- GENERAL LANDSCAPING NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON THIS BEFORE CONSTRUCTION. REPORT TO LANDSCAPE ARCHITECT
  2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
  3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET BC LANDSCAPE STANDARDS
  4. ALL DRAINAGE TO BE AWAY FROM BUILDING. APPROX. 2% SLOPE
  5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE. APPROX. 2%
  6. ALL WALLS TO BE 8" IN THICKNESS UNLESS OTHERWISE SPECIFIED.
  7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL.
  8. ALL SPECIFIED NEW CUTS TO BE MADE TO A DEPTH 150 OF CONCRETE THICKNESS.
  9. ALL PERIMETER OF ALL BUILDINGS TO BE SLOPED WITH A MINIMUM 1% AND 10' OF GRAVEL OVER APPROPRIATE FOUNDATION DRAINAGE.

- GENERAL PLANTING NOTES**
1. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATION FOR HARDY TREE STOCK AND THE BC BUSH STANDARD FOR CONTAINER GROWN PLANTS.
  2. STAKE ALL TREES SECURELY.
  3. MINIMUM SOIL DEPTH TO BE 4" IN LAWN AREAS & 8" IN GROUND COVER AREAS; 12" IN TREE ROOT BALL.
  4. SECURELY NEW SOIL INTO EXISTING SOIL.
  5. ALL SOIL IS TO BE UNNETTED.
  6. ALL SPECIFIED PLANT MATERIAL IS NOT GUARANTEED TO BE TOLERANT WINTER-HARDY.

- DRAWING ISSUES:**
- |                                   |               |
|-----------------------------------|---------------|
| 1. Design Concept                 | 6 March 2020  |
| 2. DWG Submission                 | 26 March 2020 |
| 3. Building Approved (Permitting) | 12 Oct 2020   |
| 4. Updated DWG Drawings           | 13 Sept 2021  |

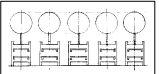
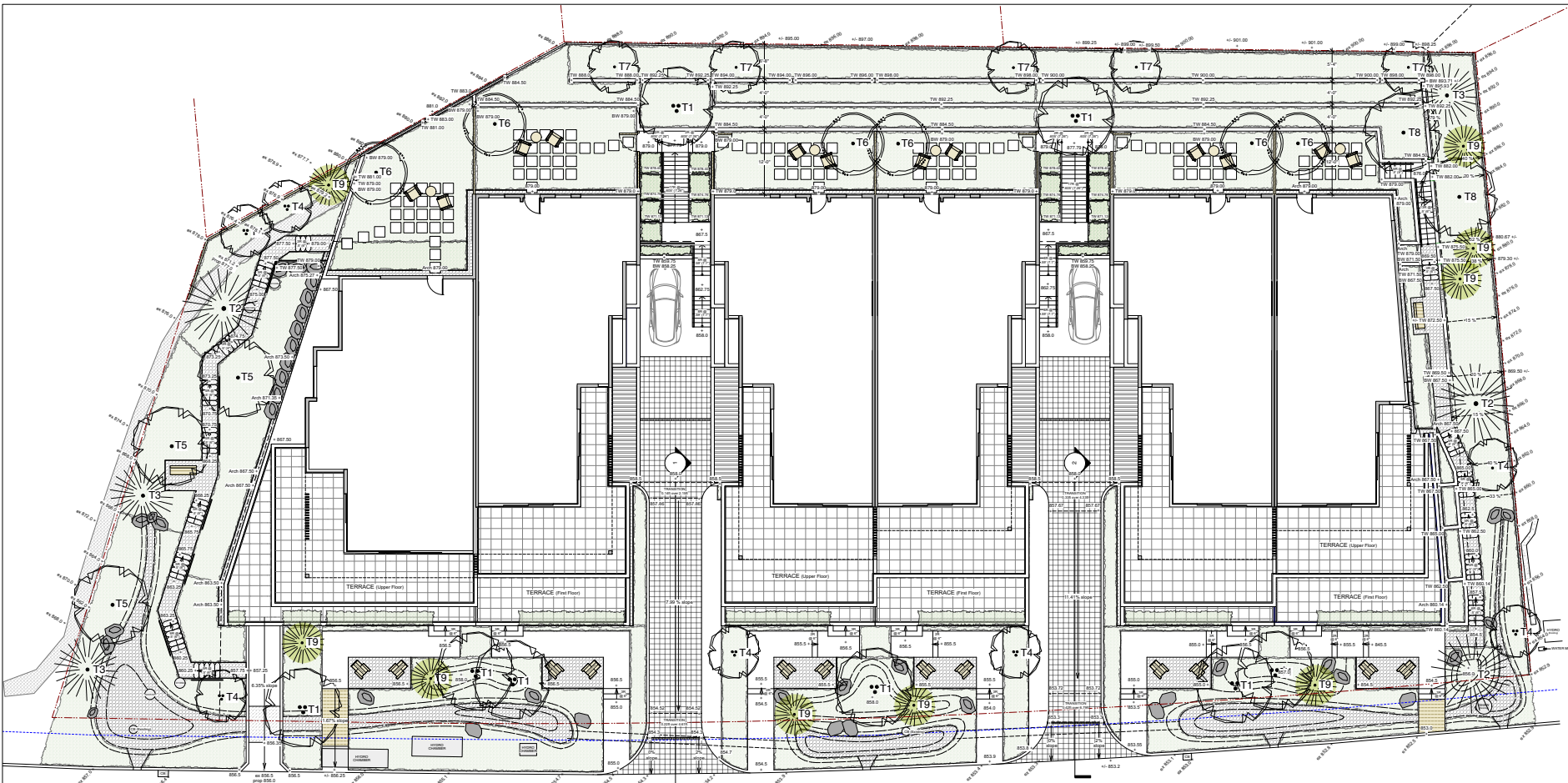
Title:  
**LANDSCAPE PLAN**

Sheet:  
**SITE PLAN**  
**Parking Garage**

Date: 13 Sept 2021 Rev: 2  
 Job No: 2019-13  
 Drawn: KAS / DBT  
 Scale: 1/8"=1'-0"

**LANDSCAPE LIGHTING KEY**

19	Botard Path Light	Future To Be Selected
----	-------------------	-----------------------



**RON RULE CONSULTANTS LTD.**  
 2221 OSBORN AVE. WEST VANCOUVER  
 B.C. CANADA V7V 1V2  
 Tel: 604-265-1656 Fax: 604-265-1629

**COPYRIGHT RESERVED**  
 No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ron Rule Consultants Ltd.

Project:  
**2833 CHIPPENDALE RD  
 WEST VANCOUVER**

- GENERAL LANDSCAPING NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE BEFORE CONSTRUCTION. REPORT LANDSCAPE ARCHITECT
  2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
  3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET BC LANDSCAPE STANDARDS
  4. ALL DRAINAGE TO BE AWAY FROM BUILDING. APPROX. 2% SLOPE
  5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE. APPROX. 2%
  6. ALL WALLS TO BE 8" IN THICKNESS UNLESS OTHERWISE SPECIFIED
  7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL
  8. ALL DIMENSIONS AND ELEVATIONS SHOWN ARE IN FEET/INCHES
  9. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 1 1/2" OF CONCRETE THICKNESS
  10. PERIMETER OF ALL BUILDINGS TO BE BOUNDARY WITH 4" MINIMUM 12" WADTH OF GRAVEL OVER APPROPRIATE FOUNDATION DRAINAGE

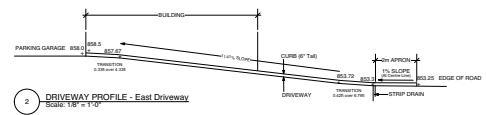
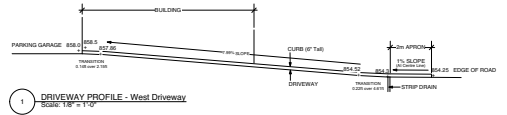
- GENERAL PLANTING NOTES**
1. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK AND THE BC HORTICULTURE STANDARD FOR CONTAINER GROWN PLANTS
  2. STAKE ALL TREES SECURELY
  3. MINIMUM SOIL DEPTHS TO BE 1' IN LAWN AREAS, 1' IN GROUND COVER AREAS, 2' IN TREE ROOT BALLS
  4. SCAPED NEW SOIL INTO EXISTING SOIL
  5. ALL SOIL IS TO BE UNNETTED
  6. ALL SPECIFIED PLANT MATERIAL IS NOT GUARANTEED TO BE TOTALLY WINTER HARDY

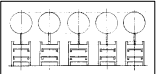
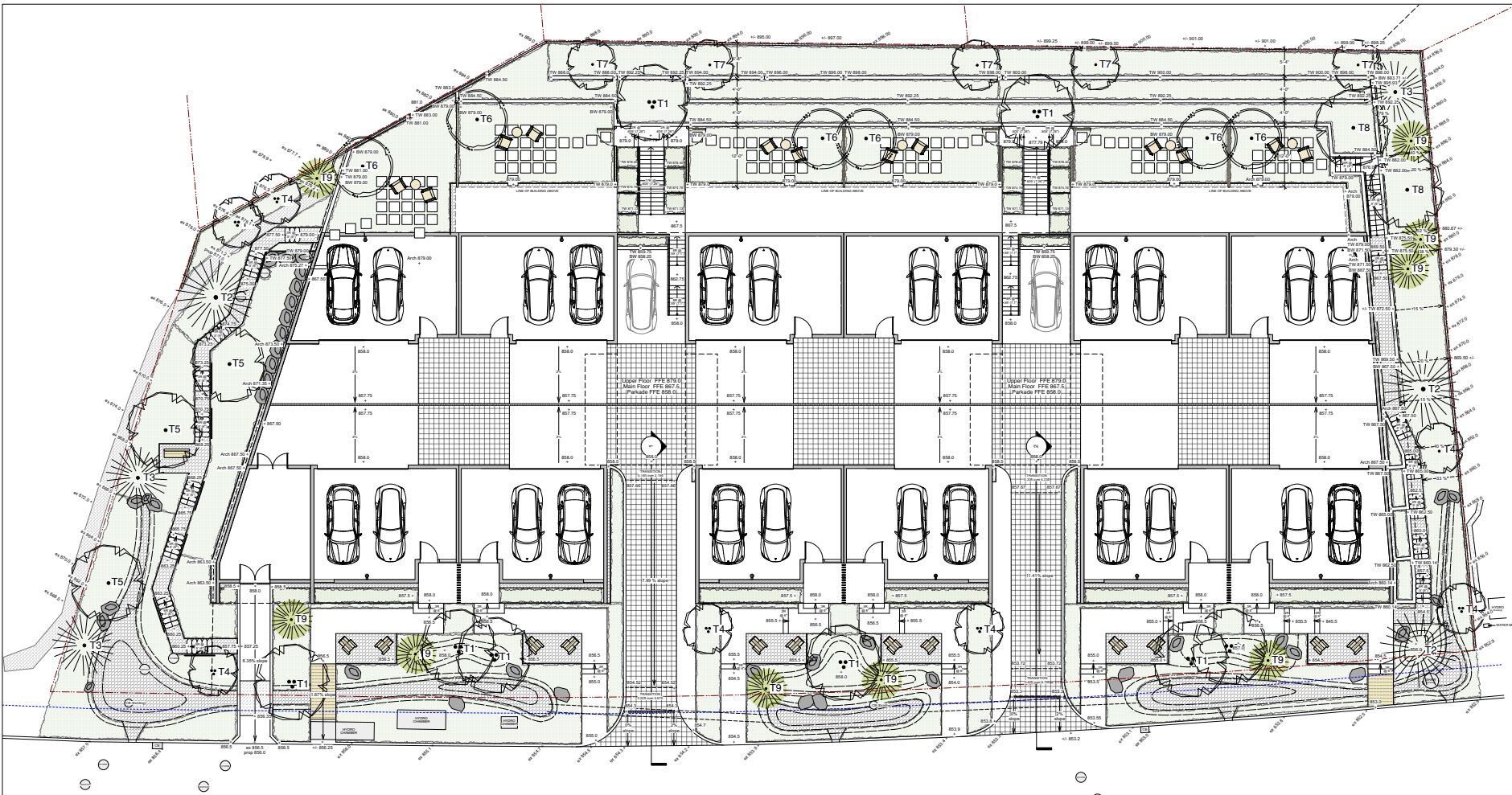
- DRAWING ISSUES**
- |                   |               |
|-------------------|---------------|
| 1. Design Concept | 6 March 2020  |
| 2. DWV Submission | 26 March 2020 |
| 3. Update DWV     | 17 April 2020 |
| 4. Update DWV     | 13 Sept 2021  |

Title:  
**LANDSCAPE PLAN**

Sheet:  
**GRADING  
 First & Upper Floors**

Date: 13 Sept 2021 Rev: 2  
 Job No: 2019-13  
 Drawn: KAS / DBT  
 Scale: 1/8"=1'-0" **L2.0**

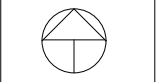




**RON RULE CONSULTANTS LTD.**  
 2221 OSBORN AVE. WEST VANCOUVER  
 B.C. CANADA V7V 1V2  
 Tel: 604-265-1656 Fax: 604-265-1429

COPYRIGHT RESERVED  
 This drawing and all other drawings within the schedule of drawings are the property of Ron Rule Consultants Ltd. and are not to be reproduced without the written consent of Ron Rule Consultants Ltd. All rights reserved. This drawing shall not be used for any other project without the written consent of Ron Rule Consultants Ltd. The client shall be responsible for the accuracy and completeness of the information provided to the consultant and the consultant shall not be responsible for the accuracy and completeness of the information provided to the client.

Project:  
**2833 CHIPPENDALE RD  
 WEST VANCOUVER**



- GENERAL LANDSCAPING NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON GIVE BEFORE CONSTRUCTION. REPORT LANDSCAPE ARCHITECT
  2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
  3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET BC LANDSCAPE STANDARDS
  4. ALL DRAINAGE TO BE AWAY FROM BUILDING. APPROX. 2% SLOPE
  5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE. APPROX. 2%
  6. ALL WALLS TO BE 8" IN THICKNESS UNLESS OTHERWISE SPECIFIED
  7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL
  8. ALL DIMENSIONS AND ELEVATIONS SHOWN ARE IN FEET/INCHES
  9. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 1 1/2 OF CONCRETE THICKNESS
  10. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 1 1/2 OF CONCRETE THICKNESS

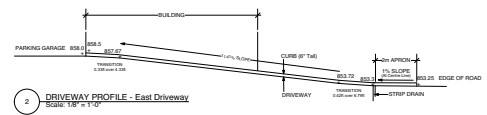
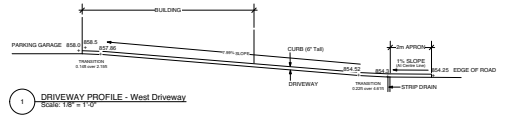
- GENERAL PLANTING NOTES**
1. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATION FOR HARDY STOCK AND THE BC NURSERY STANDARD FOR CONTAINER PLANTS
  2. STAKE ALL TREES SECURELY
  3. MINIMUM SOIL DEPTHS TO BE 1' IN LAWN AREAS, 1' IN GROUND COVER AREAS, 2' IN TREE ROOT BALLS
  4. SCAPING NEW SOIL INTO EXISTING SOIL
  5. ALL SOIL IS TO BE UNNETTED
  6. ALL SPECIFIED PLANT MATERIAL IS NOT GUARANTEED TO BE TOTALLY WINTER HARDY

- DRAWING ISSUES**
- |                       |               |
|-----------------------|---------------|
| 1. Design Concept     | 6 March 2020  |
| 2. DWV Submission     | 26 March 2020 |
| 3. Update Planting    | 17 June 2020  |
| 4. Update DP Drawings | 13 Sept 2021  |

Title:  
**LANDSCAPE PLAN**

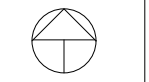
Sheet:  
**GRADING  
 Parking Garage**

Date: 13 Sept 2021 Rev: 2  
 Job No: 2019-13  
 Drawn: KAS / DBT  
 Scale: 1/8"=1'-0" **L2.1**



**COPYRIGHT RESERVED**  
 This drawing and all the rights therein are the exclusive property of Ron Rule Consultants Ltd. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ron Rule Consultants Ltd.

**Project:**  
**2833 CHIPPENDALE RD WEST VANCOUVER**



- GENERAL LANDSCAPE NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON USE BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT
  2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
  3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET B.C. STANDARDS
  4. ALL DRAINAGE TO BE AWAY FROM BUILDING. APPROX. 2% SLOPE
  5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE. APPROX. 2%
  6. ALL WALLS TO BE 8" IN THICKNESS UNLESS OTHERWISE SPECIFIED
  7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL
  8. ALL DIMENSIONS AND ELEVATIONS SHOWN ARE IN FEET/INCHES
  9. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 1 1/2" OF CONCRETE THICKNESS
  10. REINFORCEMENT OF ALL BUILDS TO BE SCHEDULED WITH A MINIMUM 12" WIDTH OF GRAVEL OVER APPROPRIATE FOUNDATION DRAINAGE

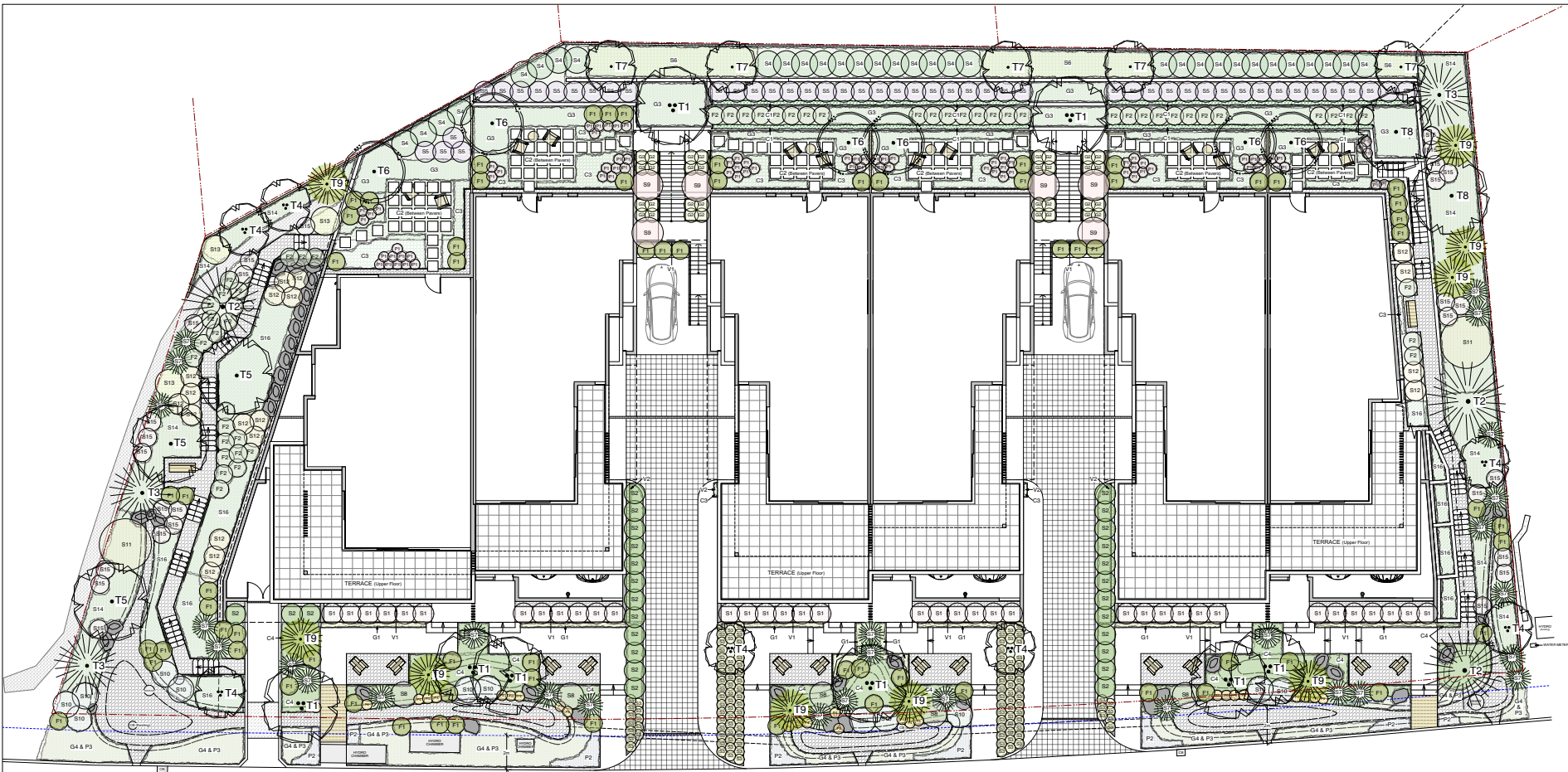
- GENERAL PLANTING NOTES**
1. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK AND THE B.C. STANDARD FOR CONTAINER GROWN PLANTS
  2. STAKE ALL TREES SECURELY
  3. MINIMUM SOIL DEPTHS TO BE 18" IN LAWN AREAS, 24" IN GROUND COVER AREAS, 24" IN TREE ROOT WALLS
  4. SCAPING NEW SOIL INTO EXISTING SOIL
  5. ALL SOIL TO BE UNNETTED
  6. ALL SPECIFIED PLANT MATERIAL IS NOT GUARANTEED TO BE TOTALLY WINTER HARDY

- DRAWING ISSUES:**
- |                   |               |
|-------------------|---------------|
| 1. Design Concept | 6 March 2020  |
| 2. DWG Submission | 26 March 2020 |
| 3. Update DWG     | 13 April 2020 |
| 4. Update DWG     | 13 April 2021 |

**Title:**  
**LANDSCAPE PLAN**

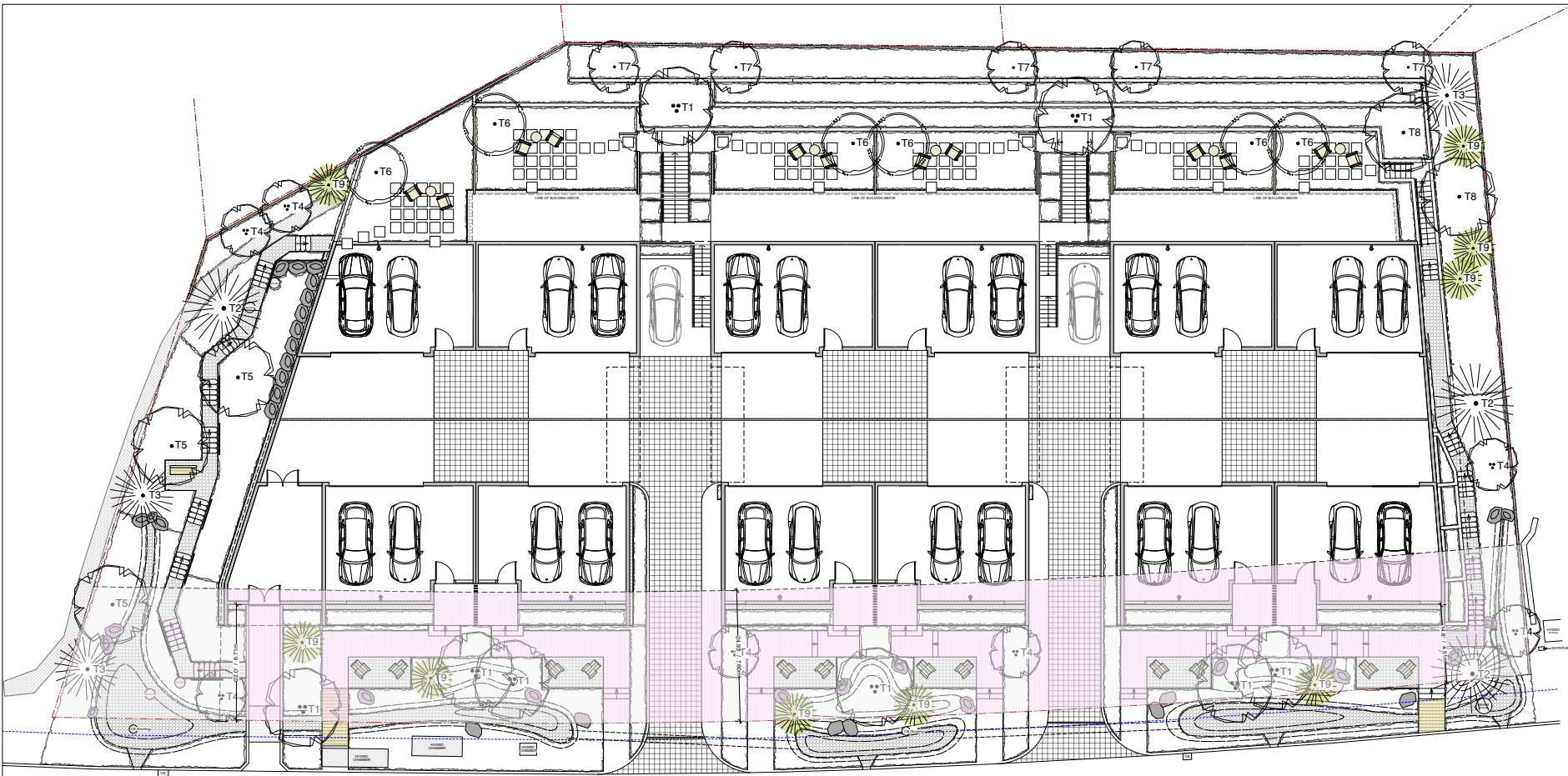
**Sheet:**  
**PLANTING PLAN**

**Date:** 13 Sept 2021 **Rev:** 2  
**Job No:** 2019-13 **Signatures:** all previous versions  
**Drawn:** KAS / DBT  
**Scale:** 1/8"=1'-0" **L4.0**



Note: First Floor architecture not shown on planting plan so that planting below overhangs is visible

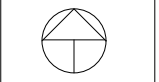
PLANT LIST				SHRUBS				GRASSES				PERENNIALS				VINES				GROUND COVER				FERNS								
Code	QTY	Botanical Name	Common Name	Details	Code	QTY	Botanical Name	Common Name	Details	Code	QTY	Botanical Name	Common Name	Details	Code	QTY	Botanical Name	Common Name	Details	Code	QTY	Botanical Name	Common Name	Details	Code	QTY	Botanical Name	Common Name	Details			
T1	8	Acer palmatum (Green Leaf)	Green Leaf Japanese Maple	10-18" tall / B&B / field grown	S1	27	Cornus stolonifera	Red-Claw Dogwood	42" o.c. / 30" tall	P1	80	Asclepias chinensis 'Visions in Red'	Visions in Red Asclepias	18" o.c. / 1 gal pot	C1	80	Actinostaphylos uva-ursi	Kinnikinnick	30" o.c. / 1 gal pot	V1	4	Patmoniscus trispicatus	Bottom Ivy	Japanese HoneySuckle	2 gal pot	F1	1	Polystichum maximum	Western Sword Fern	30" o.c. / 1 gal pot		
T2	3	Abutilon variegatum	Variegated Abutilon	10-12" tall / B&B	S2	116	Phlox subulata	Subulata Phlox	12" o.c. / 12" tall	P2	150	Lavandula angustifolia 'Hidcote Superior'	Hidcote Superior English Lavender	18" o.c. / 1 gal pot	C2	750	Lappula graveolens	Minutaire Brass Buttons	9" o.c. / 4" pot	V2	8	Lonitza japonica 'Hatsune'	Japanese HoneySuckle	2 gal pot	F2	65	Athyrium filix-femina 'Cristatum'	Crested Lady Fern	30" o.c. / 1 gal pot			
T3	3	Prunella sp. (Black Cherry)	Black Cherry	10-12" tall / B&B	S4	35	Phlox subulata	Subulata Phlox	12" o.c. / 12" tall	P3	150	Lavandula angustifolia 'Hidcote Superior'	Hidcote Superior English Lavender	18" o.c. / 1 gal pot	C3	425	Thymus praecox 'Green Shear'	Green Shear Japanese Spurge	9" o.c. / 1 gal pot													
T4	7	Acer circinnatum 'Pacific Fire'	Pacific Fire Vine Maple	8" tall / B&B / field grown	S6	45	Malva nervosa	Malva	36" o.c. / 12" tall	P4	150	Echinacea purpurea 'Mellow Yellow'	Mellow Yellow Coneflower	18" o.c. / 1 gal pot																		
T5	6	Prunus subhirtella 'Maddox'	Eastern Redbud	10-12" tall / B&B	S8	5	Ribes sanguineum 'King Edward VII'	Flowering Currant	48" o.c. / 48" tall	G1	215	Acron gramineus 'Dorset'	Dorset Variegated Sweet Flag	9" o.c. / 1 gal pot																		
T6	6	Carica concanensis	Autumn Brilliance Strawberry Tree	10-12" tall / B&B	S9	5	Hydrangea arborescens 'Ruby Spikes'	Ruby Spikes Climax Hydrangea	48" o.c. / 48" tall	G2	35	Carex elata 'Aurea'	Golden Sedge	24" o.c. / 1 gal pot																		
T7	2	Amelanchier alnifolia 'Autumn Brilliance'	Autumn Brilliance Serviceberry	10-12" tall / B&B	S10	12	Salix purpurea 'Nana'	Dwarf Arctic Willow	54" o.c. / 36" tall	G3	400	Liriodie filix blue	Blue Lily Turf	18" o.c. / 1 gal pot																		
T8	2	Cornus nutans 'Editha's White Wonder'	Strawberry Tree	6" tall / B&B	S11	2	Hemerocallis thermophila 'Arnold Promise'	Arnold Promise Daylily	12" o.c. / 12" tall	G4	700	Bouteloua gracilis	Butterfly Grass	18" o.c. / 1 gal pot																		
T9	9	Abutilon variegatum 'Compass'	Compass Abutilon	10-12" tall / B&B	S12	2	Rhododendron 'Northern H. Light'	Northern H. Light Azalea	42" o.c. / 36" tall																							
					S13	3	Cornus oregonica 'Odean Spirit'	Odean Spirit Spice Bush	54" o.c. / 36" tall																							
					S14	450	Stachytarpheta jamaicensis	Golden Spike Smoke Bush	24" o.c. / 1 gal pot																							
					S15	45	Symphoricarpos 'Proud Berry'	Coral Berry	36" o.c. / 24" tall																							
					S16	90	Lonicera pileata 'Miss Green'	Bonnie HoneySuckle	36" o.c. / 12" tall																							



  
**RON RULE CONSULTANTS LTD.**  
 2221 OSBORN AVE. WEST VANCOUVER  
 B.C. CANADA V7V 1W2  
 Tel: 604-265-1696 Fax: 604-265-1629

COPYRIGHT RESERVED  
 No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ron Rule Consultants Ltd.

Project:  
**2833 CHIPPENDALE RD  
 WEST VANCOUVER**



- GENERAL LANDSCAPE NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT
  2. LAYOUT TO BE APPROVED BEFORE CONSTRUCTION BY LANDSCAPE ARCHITECT
  3. MINIMUM STANDARDS OF ALL LANDSCAPE CONSTRUCTION TO MEET B.C. STANDARDS
  4. ALL DRAINAGE TO BE AWAY FROM BUILDING. APPROX. 2% SLOPE
  5. ALL WALKWAYS AND PAVED AREAS TO BE SLOPED FOR DRAINAGE. APPROX. 2%
  6. ALL WALLS TO BE 8" IN THICKNESS UNLESS OTHERWISE SPECIFIED
  7. REMOVAL OF ANY TREES IS SUBJECT TO MUNICIPAL APPROVAL
  8. ALL DIMENSIONS AND ELEVATIONS SHOWN ARE IN FEET/INCHES
  9. ALL SPECIFIED SAW CUTS TO BE MADE TO A DEPTH 1/3 OF CONCRETE THICKNESS
  10. PERMET TOP OF ALL BOLLARDS TO BE SPECIFIED WITH A MINIMUM 1/2" WIDTH OF GRAVEL OVER APPROPRIATE FOUNDATION DRAINAGE

- GENERAL PLANTING NOTES**
1. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK AND THE B.C. STANDARD FOR CONTAINER PLANTS
  2. STAKE ALL TREES SECURELY
  3. MINIMUM SOIL DEPTHS TO BE 4" IN LAWN AREAS, 8" IN GROUND COVER AREAS, 12" IN TREE ROOT BALLS AND ONE CUBIC YARD PER TREE ROOT BALL
  4. SCAPY NEW SOIL INTO EXISTING SOIL
  5. ALL SOIL IS TO BE UNNETTED
  6. ALL SPECIFIED PLANT MATERIAL IS NOT GUARANTEED TO BE TOTALLY WINTER HARDY

- DRAWING ISSUES**
- |                   |               |
|-------------------|---------------|
| 1. Design Concept | 6 March 2020  |
| 2. DWG Submission | 26 March 2020 |
| 3. Update DWG     | 17 Oct 2020   |
| 4. Update DWG     | 13 Sept 2021  |

Title:  
**LANDSCAPE PLAN**

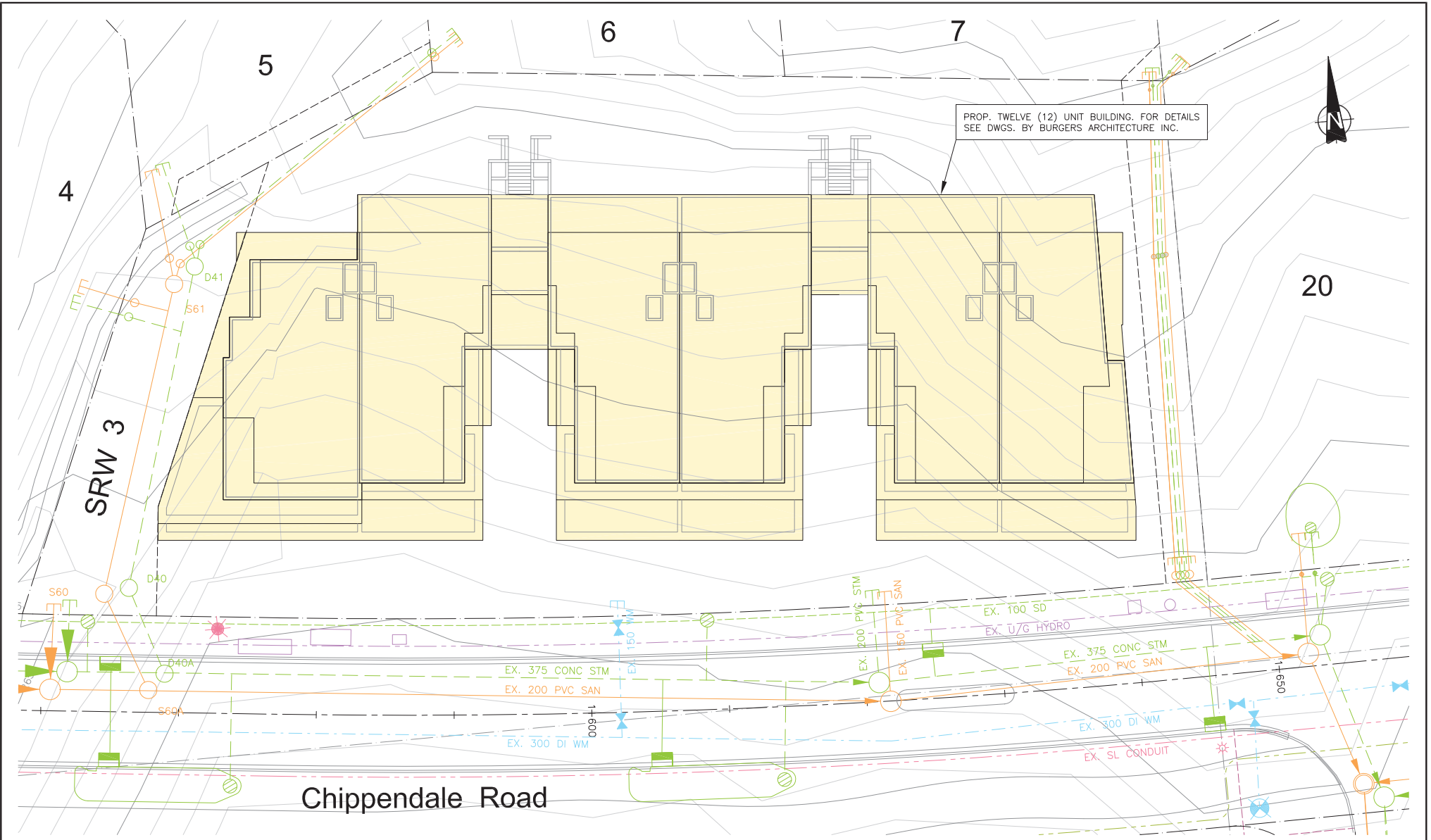
Sheet:  
**FRONT YARD PERMEABILITY PLAN**

Date: 13 Sept 2021	Rev: 2
Job No: 2019-13	Replaces all previous versions.
Drawn: KAS / DBT	
Scale: 1/8"=1'-0"	<b>L5.0</b>

 = Hardscape: Driveway, Walkways, Retaining Walls, etc.  
 = Front Yard Area

**Front Yard Permeability**

Front Yard Area:	6932.15 sq ft
Impermeable Surface: (Driveway, Walkways, Retaining Walls)	3272.17 sq ft
Percentage of Impermeable Surface: (Allowable Impermeable Surface = 50%)	47.20%



client KENSTONE WEST VANCOUVER PROPERTIES LTD.		 STEEP ROCKY TERRAIN SPECIALISTS <b>WEBSTER ENGINEERING LTD.</b> LAND DEVELOPMENT CONSULTANTS 3145 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 2Z8 965-0408	approved designed by B.J.W. drawn by B.J.W. checked by J.A.T. date FEB.26.20	title <b>SITE PLAN</b>	scales huc 1:250 vert
project 2833 CHIPPENDALE ROAD WEST VANCOUVER, BRITISH COLUMBIA					drawing no. <b>4003</b>



3641 Blenheim Street, Vancouver, BC, V6L 2Y1  
 m (604) 716-8881 / ph (604) 739-6786  
 info@phillipsengineering.ca

Keystone Properties Ltd.  
 #201 - 1926 West Broadway  
 Vancouver, BC  
 V6J 1Z2

October 24, 2019  
 Our File: 1652

Attention: Mr. Tayuan Lee, Development Manager;

**Re: Geotechnical Assessment for Proposed Terraced Housing Development  
 Located at 2833 Chippendale Road, West Vancouver, BC**

## 1.0 INTRODUCTION

As requested, Phillips & Associates Engineering Consultants Ltd. (Phillips & Associates) has completed a geotechnical assessment of the above-noted property. We understand the proposed development consist of twelve (12) terraced homes over two above grade levels, with a garage level of parking and entry areas. In preparing this report we relied on the following reference documents:

- *Preliminary Rezoning Application Plans*, prepared by Burgers Architecture Inc., dated June 2019.

The purpose of this report is to provide subsoil and bedrock information and recommendations pertaining to site preparation, foundation design, excavation and shoring, sub-drainage, and backfill for the construction of the new residential development. This geotechnical assessment is based on our site investigation and knowledge of local ground conditions in the area of the proposed residence.

This report was prepared exclusively for Kenstone Properties Ltd. (Kenstone), and for the use of their design and construction team. We understand the District of West Vancouver may rely on this report in their development review and permitting process.

## 2.0 SITE DESCRIPTION

The site is located close to Cypress Bowl Road on Chippendale Road in the upper area of Rodgers Creek The subject site is on Lot 19. The site currently has a neighbouring development of duplexes which was recently constructed on Lot 20. The remaining neighbouring areas remain undeveloped, however servicing and access roads have been constructed. The lot is currently empty (undeveloped). The lot has easements on its east and west sides, and a right of way on its west side.

The lot and surrounding area slopes steeply downward from north to south at approximately 28%. The existing elevation within the lot varies from approximately Elevation 900 ft to 852 ft.

## 2.1 Surficial Geology

The surficial geology of the project area was reviewed to supplement the field investigation. Surficial geology mapping by Armstrong<sup>1</sup> and Robert et al<sup>2</sup> indicates the site is underlain by Mesozoic bedrock from the Pre-Tertiary era. Based on mapping by Armstrong and Roddick<sup>3</sup> the bedrock is Coast Plutonic Rock consisting of Granodiorite, with hornblende constituents more abundant than diorite.

## 3.0 FIELD INVESTIGATION

### 3.1 Site Investigation

Phillips & Associates visited the site on September 25<sup>th</sup>, 2019 to conduct site investigation of the bedrock and ground conditions at the subject property. The investigation consisted of a general visual review of the site and three (3) boreholes drilled within the subject area, denoted as BH-01, BH-02, and BH-03. The boreholes were drilled to maximum depth of 4.0 meters (13 feet) below existing grade. This was the practical refusal depth of the auger drilling equipment. The boreholes were drilled using solid stem augers operated from a track-mounted drilling rig operated by Southlands Drilling Co Ltd. Dynamic cone penetration tests (DCPT) were conducted to determine the relative density of soil layers. A **Borehole Location Plan** is attached following the text of this report.

The site primarily consists of variable fill soils, generally 3.0 m (10 ft) in thickness. Below the fill BH-02 and BH-03 encountered the surficial bedrock is weathered. Loose talus or jointed rock and debris should be expected to overlie the dense glacial till and/or bedrock.

During borehole drilling monitoring wells were installed at each borehole location. Monitoring wells consist of 50 mm outside diameter, schedule 40 pvc pipe. The lower 1.5 m of pvc pipe was slotted length. The annular space between the monitoring well and surrounding soil was backfilled using No. 3 grade silica sand followed by granular bentonite and drill cuttings to the ground surface. The monitoring wells will be used for groundwater monitoring and infiltration testing.

### 3.2 Subsurface Conditions

The following is a description of the soil profile based on the observed soil conditions:

Depth	Soil	Density/Consistency	Description
0m ~ 4m	Sand/Gravel/Cobble (Fill)	Compact	Grey/brown, damp to wet.
Below ~ 4m	Bedrock	Hard	Granitic, weathered, jointed.

### 3.3 Groundwater

---

<sup>1</sup> Armstrong J.E., and Hiscock, S.R., 1976, Surficial Geology Vancouver British Columbia; Geological Survey of Canada

<sup>2</sup> Robert J.W. et al, 1998, GeoMap Vancouver; Geological Map of the Vancouver Metropolitan Area; Geological Survey of Canada, Pen File 3511.

<sup>3</sup> Armstrong J.E., and Roddick, J.A., 1964, Map 1152A, Geology Vancouver North British Columbia; Geological Survey of Canada

---

Minor seepage was observed in BH-02. Groundwater levels are expected to fluctuate seasonally and in response to climatic conditions. Based on the consistency and relative density we expect surface flows to permeate through upper fill soils where they are restricted at the bedrock stratum. Minor infiltration through bedrock could be expected where fractures exist. We expect groundwater seepage flows to be minor and manageable however, increased groundwater flows may occur after prolonged rainfall.

#### 4.0 RECOMMENDATIONS

Based on our review of the architectural plans provided, we understand the proposed development consists of a terraced residential development. Preliminary design drawings shows the garage level will be approximately 11 meters below existing grade at the north side, and 4 meters below existing grade at the south side. The lower garage level may require rock blasting to achieve the proposed grades. Our investigation indicates that suitable bearing dense glacial till and/or bedrock will be exposed at the grade of the proposed foundations. We recommend the bearing conditions be reviewed during excavation for any new foundations.

We expect the excavation will be sloped wherever possible. However, to limit the amount of blasting, a shored vertical cut may be practical at the north side. Further we expect a retaining wall or equivalent finished facing to be necessary at the north side of the property.

#### 4.1 Site Preparation

All topsoil, existing fill or and soft weathered soils should be removed from beneath the building areas prior to construction of new foundations. Once demolition, excavation, and blasting have been completed to the design elevation, Phillips & Associates should be contacted to review.

Where granitic bedrock is exposed, footings may be cast directly on exposed bedrock. Where is its necessary to raise the existing grade, or create a common grade, we recommend placing compacted shotrock fill (150 mm minus angular broken rock). Alternatively, 'Engineered Fill' may be used, as described in section 3.4 below.

*We recommend the subsurface soil conditions be reviewed by Phillips & Associates during excavation for any new foundations.*

#### 4.2 Foundation Design

Based on our interpretation of the available subsoil information, we recommend that the proposed structures be supported on strip or pad footings founded on bedrock, or engineered fill. Conventional foundations can be used to support the new structures and the following bearing pressure values can be used:

**Table 2: Geotechnical Bearing Resistance**

Bearing Layer	Ultimate Limit State	Serviceability Limit State
Weathered Bedrock	750 kPa (15664 psf)	500 kPa (10442 psf)
Structural Fill	300 kPa (6266 psf)	200 kPa (4177 psf)

The above bearing resistance are provided assuming/or based on the following:

- Site preparation is completed as indicated above and load-bearing surfaces are inspected and approved by the Geotechnical Engineer.
- Footings have a minimum width of 450 mm (18 inches). Foundation walls may be pinned directly

to bedrock without a footing.

- Footings are founded a minimum of 450 mm (18 inches) below finished exterior grades, except where foundation walls are pinned or placed directly on bedrock (non frost susceptible).
- For foundations on bedrock sloping 2H: 1V or more we recommend dowelling into the unweathered zone of bedrock, minimum of 300 mm (1 foot), at spacing specified by the structural engineer.
- A geotechnical resistance factor of 0.5 has been applied for the recommended bearing pressure parameters provided above in accordance with the Canadian Foundation Engineering Manual (CFEM, 4<sup>th</sup> Edition, 2006).

The bearing surfaces must be cleaned of all loosened or softened soils. Any soft, wet, or deleterious material encountered at bearing surface level to be over-excavated and replaced with engineered fill as described in section 3.4, "Engineered Fill". The footing locations should be reviewed when they are laid out on the site and both the bearing surface and location must be approved prior to pouring concrete.

*The footing locations should be reviewed by geotechnical engineer when they are laid out on the site and both the bearing surface and location approved prior to pouring concrete.*

#### **4.3 Slab-on-Grade**

Slab-on-grade can be supported on suitably prepared subgrade of bedrock. The subgrade surfaces must be cleaned of all loosened, softened or otherwise unsuitable materials. We recommend that a minimum of 150 mm (6") layer of 19mm (3/4") clear crush gravel be placed beneath the basement skim coat or slab-on-grade in order to provide a drainage layer for potential seepage zones. Underslab fill should be compacted using suitable compaction equipment to minimize potential settlement that could result in cracks in the slab-on-grade. The gravel drainage layer should have outlets via weep holes at the low side of foundation walls. We recommend placing a layer of 6 mil poly sheeting over the underslab drainage layer to prevent uptake of moisture to the slab.

*Fill and compaction beneath grade supported slabs to be reviewed by the geotechnical engineer.*

#### **4.4 Engineered Fill & Backfill**

Grade reinstatement beneath the foundation, interior floor slab, paved patios, walkways, and driveways should be done with compacted "engineered fill". In the context of this report engineered fill is defined as clean sand or sand and gravel fill, with less than 5% by weight passing the #200 sieve, compacted to a minimum 95 percent of ASTM D1557 modified Proctor maximum dry density (MPMDD), at a moisture content that is within 2% of optimum for compaction. Fill to be placed and compacted in lifts suitable for compaction equipment used to a maximum lift thickness of 300 mm. Upon request, Phillips & Associates can advise or comment on; suitability of specific fill materials, compaction equipment and effort, and moisture conditioning.

All backfill should be placed in a manner that avoids damaging the foundation wall, drainage tile, and damp-proofing or waterproofing on the wall. Proposed grades should slope away from the building to promote the flow of surface water runoff away from the building.

*Engineered Fill placement beneath foundations must be reviewed by the geotechnical engineer. Density test results to be provided to geotechnical engineer for review.*

#### **4.5 Seismic Design of Foundations**

Based on the current level of geotechnical data, we recommend that the structure be designed on the basis

---

of a Class C design spectrum in accordance with Table 4.1.8.4.A of the 2014 Building Code Building Code. Accordingly, the rock is expected to have an average shear wave velocity,  $V_s$ , between 366 and 762 m/s. The soils at this site are not considered susceptible to any liquefaction or strain softening in a design earthquake event (1 in 2475 year).

#### **4.6 Lateral Pressure on Subsurface Walls**

Foundation walls retaining 3 meters (10 feet) or less of backfill can be designed assuming a uniform lateral pressure of 20 kPa (400 psf) for both static and static + seismic conditions. For walls greater than 3 m (10 ft) in height, Phillips & Associates should be contacted to provide lateral earth pressures based on proposed configuration.

The earth pressure given assumes that the wall will be backfilled with clean, free draining sand or sand and gravel, the backfill is level behind the wall, the wall is frictionless and backfill is hydraulically connected to perimeter drainage system to collect and dispel water from behind walls. Earth pressures are based on unfactored soil parameters.

*Phillips & Associates should be contacted for review backfill materials and procedures.*

#### **4.7 Sub-Drainage**

Perimeter drains are required for foundation walls that retain fill with finished grades above the adjacent floor slab. Perimeter drains should be installed at the base of footing elevation consisting of a 4-inch (100 mm) diameter perforated PVC pipe surrounded by 6 inches (150mm) of  $\frac{3}{4}$  inch (19mm) clear crushed gravel or drain rock wrapped with ARMTEC 150 or equivalent filter fabric. The perimeter drain should be installed such that the top of the perforated pipe is beneath the underside of the adjacent slab-on-grade or crawl space skim coat. The perimeter drain should be connected to a pumped sump or a suitable gravity outlet. We suggest that a synthetic drainage board should be placed against the foundation wall to separate the backfill soils from the foundation wall, thereby creating a secondary barrier against moisture penetration. All other aspects of construction should meet the requirements of the 2018 British Columbia Building Code.

#### **4.8 Excavation & Shoring**

The excavation depth for the principal residence is expected to be up to 11 meters below existing grade at the north side and approximately 4 meters below existing grade at the south side. Based on our review, the upper 4 meters of the site is variable fill materials; we expect this fill will be removed during initial stages of the excavation. The resulting cuts below native bedrock at expected to be 7 meters (23 feet) at the north side tapering to nominal cut depth at the south side.

Suitable temporary cut slopes for ground conditions at the subject site are:

- 1V:1H through compact variable fill.
- 4V:1H through competent very dense till and/or bedrock.

We expect that temporary excavations would be sloped where possible at the south side, and along portions of the east and west property lines. At the north side, to limit blasting it may be preferable to shore the exposed rock cut. We recommend shoring consist of shotcrete facing supported by tieback anchors where jointed bedrock is exposed. It may be prudent to incorporate a permanent shored wall facing into the temporary shoring design.

All cobbles, boulders, and talus must be removed from the crest of slopes. No stockpiles/heavy equipment within a distance equal to the depth of excavation. Phillips & Associates to be contacted to review where

temporary surcharge loads are proposed behind shored walls or cut slopes.

*Temporary cut slopes in excess of 1.2 meters (4 feet) in height require inspection by a professional engineer prior to manned worker entry in accordance with the Work Safe BC guidelines. Upon site review the engineer will assess the excavation slope stability based on actual site conditions and may provide revised or additional recommendations.*

#### **4.9 Slope Stability Assessment**

As requested, Phillips & Associates Engineering Consultants Ltd. (Phillips & Associates) will complete a slope stability assessment pertaining to the slope located on the property from the north down to the south; this report will be forthcoming. This assessment is undertaken as per the Engineers and Geoscientists of British Columbia (EGBC) formerly APEGBC. "Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia"<sup>4</sup> where slope stability is identified as a hazard. The purpose of the slope stability assessment is to perform long term static assessments, determine the effects of seismic induced loadings, and to determine the acceptability of any proposed setbacks and to ensure the safety and functionality of the subject slope.

#### **5.0 GEOTECHNICAL REVIEW DURING CONSTRUCTION**

Geotechnical field reviews will be required to satisfy Letters of Assurance requirements and confirm that the recommendations of the geotechnical report are followed. It is considered that geotechnical field reviews will be needed to address the following issues:

- Confirm adequacy of stripping within the building envelope.
- Review stability of excavation slopes in accordance with Work Safe BC regulations.
- Review of shoring installation and tests.
- Review foundation subgrade to confirm bearing capacity and suitable locations for foundations.
- Review placement and compaction of interior slab-on-grade fill.
- Review placement and compaction of backfill along foundation walls and retaining walls.

Recommendations may not be valid if an adequate level of inspection is not provided during construction, or if relevant building code requirements are not met.

#### **6.0 CLOSURE**

Phillips & Associates has completed this report based on the preliminary information provided and our understanding of the project as described in this report. If during construction, the subsurface conditions are noted to differ from those expected, we should be notified immediately and recommendations regarding the geotechnical aspects of the development should be reviewed and modified, as appropriate.

We are pleased to be of assistance to you on this project and we trust that our comments and recommendations are both helpful and sufficient for your current purposes. If you would like further details

---

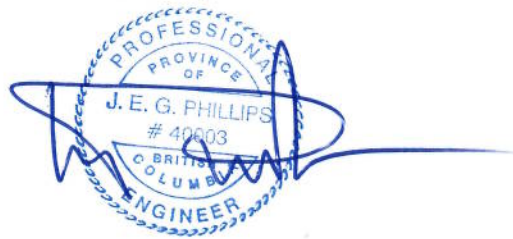
<sup>4</sup>APEGBC, revised May 2010 Guidelines for Legislated Landslide Assessments for Proposed Residential Developments in BC,

or require clarification of the above, please do not hesitate to call.

**Phillips & Associates**

Reviewed by:

DRAFT FOR CLIENT REVIEW



Ben Schmidt, B.A.Sc., E.I.T.  
Geotechnical Engineer In Training

Ward Phillips, P. Eng.  
Principal

Attachments: **Borehole Location Plan**  
**Borehole Logs**

LEGEND :



PROJECT AREA



BOREHOLE (BH) LOCATION



REFERENCE: ORTHOPHOTO TAKEN FROM WEST MAP OCTOBER 7, 2019	3641 BLEHEM ST. VANCOUVER, B.C. V6J 2Y1	DATE: OCTOBER 7, 2019	TERRACED HOUSING DEVELOPMENT 2833 CHIPPENDALE ROAD, WEST VANCOUVER BOREHOLE LOCATION PLAN	FILE NO.:	REVISIONS:
	<b>PHILLIPS &amp; ASSOCIATES</b>	DRN. BY: B.S. APP'D. W.P.		DWG. NO.:	A.
PH. (604) 710-8881 FAX (604) 730-6702	SCALE: AS SHOWN			B.	
				C.	

# Borehole Log: BH18-01

File:  
 Project: Residential Development  
 Client: Kenstone Properties  
 Location: 2833 Chippendale Rd, West Vancouver



3641 Blenheim Street  
 Vancouver, BC V6L 2Y1  
 Tel: 604 716-8881 Fax: 604 739-6782

Depth ft m	Symbol	Soil Description	Sample Type	Sample #	Water Cont.	DCPT (N-value) (blows per foot)							Remarks	
						10	20	30	40	50	60	70		
0	0	SAND & GRAVEL (FILL), some cobble, grey, damp, hard drilling, dense.	X	S1	7.2%									water level during drilling
1	5													
2	10	Sandy GRAVEL, some cobble, dense, moist at 3.0m	X	S2	9.3%									
3	15													
4	20	BEDROCK, granitic, weathered, very hard. ~ End Borehole @ 4m, practical refusal												
5	25													
6	30													
7	35													
8	40													
9	45													
10	50													
11	55													

Equipment: Track Mounted Drill Rig  
 Sampling Method: Grab Sample  
 Hammer Type: DCPT

Datum: Existing Grade  
 Surface Elevation: See Borehole Location Plan  
 Water Depth:

Logged By: BS  
 Drilling Date: September 25, 2019  
 Dwg No.: BH18-01  
 Page: 1 of 3



# Borehole Log: BH18-03

File:  
 Project: Residential Development  
 Client: Kenstone Properties  
 Location: 2833 Chippendale Rd, West Vancouver



3641 Blenheim Street  
 Vancouver, BC V6L 2Y1  
 Tel: 604 716-8881 Fax: 604 739-6782

Depth ft m	Symbol	Soil Description	Sample Type	Sample #	Water Cont.	DCPT (N-value) (blows per foot)						Remarks								
						10	20	30	40	50	60		70							
0		Silty Sandy GRAVEL (FILL), some cobble, brown, damp, some organics, dense.				•														
1			X	S1	20.3%															
5		~ Lense of organic soil, wet.	X	S2	19.8%															
10		BEDROCK, granitic, weathered, very hard.																		
4		~ End Borehole @ 4m, practical refusal																		
15																				
20																				
25																				
30																				
35																				

▽  
 water level during drilling

Equipment: Track Mounted Drill Rig  
 Sampling Method: Grab Sample  
 Hammer Type: DCPT

Datum: Existing Grade  
 Surface Elevation: See Borehole Location Plan  
 Water Depth:

Logged By: BS  
 Drilling Date: September 25, 2019  
 Dwg No.: BH18-03  
 Page: 3 of 3



# Phillips & Associates

ENGINEERING CONSULTANTS LTD.

3641 Blenheim Street, Vancouver, BC, V6L 2Y1  
m (604) 716-8881 / ph (604) 739-6786  
info@phillipsengineering.ca

Kenstone Properties Ltd.  
1926 West Broadway  
Vancouver, BC  
V6J 1Z2

March 2, 2020  
Our File: 1652

Attention: Mr. Tayuan Lee

**Re: Slope Stability Assessment for Proposed Terraced Housing Development  
Located at 2833 Chippendale Road, West Vancouver, BC**

## 1.0 Introduction

As requested, Phillips & Associates Engineering Consultants Ltd. (Phillips & Associates) has completed a slope stability assessment pertaining to the existing and proposed slope at the site. This assessment has been undertaken as per the Engineers and Geoscientists of British Columbia (EGBC) formerly APEGBC. "Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia"<sup>1</sup> where slope stability is identified as a hazard.

The site is located close to Cypress Bowl Road on Chippendale Road in the upper area of Rodgers Creek. The subject site is on Lot 19. The site currently has a neighbouring development of duplexes which was recently constructed on Lot 20. The remaining neighbouring areas are undeveloped, however site servicing, access roads, and retaining walls have been constructed. The subject lot is currently vacant (undeveloped). The lot has an easement along the east property line and a right of way along the west property line. The lot and surrounding area slopes steeply downward from north to south at approximately 28%. The existing elevation within the lot varies from approximately Elevation 900 ft to 852 ft.

The purpose of the slope stability assessment was to perform long term static assessments, determine the effects of seismic induced loadings, and to determine the acceptability of the proposed development and ensure the safety and functionality of the subject slope within the subject lot. We expect that a detailed slope stability and hazard assessment was completed by others which related to the subdivision development, including adjacent lots, roadways, and retaining walls. Any such reports, should be provided to Phillips & Associates for review.

## 2.0 Slope Stability Assessment

For the purpose of this slope assessment, two separate profiles were reviewed 1) the existing pre-development site profile and 2) the proposed post-development site profile. The existing slope profile is

---

<sup>1</sup>APEGBC, revised May 2010 Guidelines for Legislated Landslide Assessments for Proposed Residential Developments in BC,

based on the survey provided by Hobbs, Winter & MacDonald dated February 28<sup>th</sup>, 2019. The post-development profile was created based on Preliminary Rezoning Application Plans by Burgers Architecture dated June 6<sup>th</sup>, 2019. For each assessment, circular, non-circular and block failures were considered. Shallow failures along the slope, i.e. sloughing, were generally disregarded as they are not expected to affect proposed structures and can be mitigated with proper controls and vegetation.

The slope stability analyses were carried out using soil parameters, groundwater conditions from our borehole investigation completed on September 25<sup>th</sup>, 2019. The following design inputs and assumptions have been considered in the stability assessment pertaining to the fill slope at 2833 Chippendale Road:

- Steepest slope section used in analysis. Approximately through center of the lot.
- Assumed horizontal seismic coefficient,  $k_h$ , equal to PGA of 0.350g, reduced for pseudostatic assessment as per Bray & Travararou (2007)<sup>2</sup> in section 3.0 below.
- Unit Weight of 135 pcf, and Friction Angle of 33 for Sandy Gravel Fill & Colluvium/Talus. Unit Weight of 170 pcf, Friction Angle of 45, and cohesion of 2000 psf for Granitic Bedrock.
- Pore water coefficient,  $R_u$ , assumed to be negligible given the shallow bedrock. A moist unit weight was considered for Sandy Gravel Fill and Colluvium/Talus.

The slope stability of the slope with proposed structures has been assessed using the two dimensional limit equilibrium software XStabl (Version 5.209) using Bishop’s Modified method of analysis to search for the most critical potential circular failure surface of the subject slope. The software calculates factor of safety against sliding or sloughing. The slope was developed using the above defined design inputs. The seismic case was assessed based on the 2475 year return event with the addition of horizontal seismic coefficients ( $k_h$ ) for the pseudostatic seismic assessment. Recommended horizontal seismic coefficients differ depending on the Authority and vary between 0.05 – 0.15 (in the United States) to 0.5 for *catastrophic* earthquakes<sup>3</sup>. Currently, there are no generally accepted methods in British Columbia for selecting seismic coefficients for slopes. However, the Task Force on Seismic Slope Stability (TFSSS) determined that seismic coefficients used in BC are typically in the range  $0.5(PGA) \leq k \leq 1.0(PGA)$ . Therefore, the TFSSS recommends the use of  $k = 1.0(PGA)$  only for preliminary analysis. If the Factor of Safety, F.O.S., is greater than 1, when  $k = 1.0(PGA)$  is used in a pseudostatic limit equilibrium slope stability analysis, no further analyses are required.

All trials using the initial  $k = 1.0 * PGA = 0.350$  conducted resulted in a minimum F.O.S. > 1.0. Table 2 below shows the results of the slope stability analysis. A **Slope Stability Section** has been included following the text of this report which shows the slope section and the resultant slip planes.

**Table 2: Factor of Safety of Slope Stability Analysis**

Site Condition	Analysis	Minimum Calculated Factor of Safety	Minimum Recommended Factor of Safety
Pre-development	Static	2.86	1.5
Pre-development	Pseudostatic	1.60	1
Post-development	Static	2.27	1.5
Post-development	Pseudostatic	1.86	1

<sup>2</sup>Bray, JD and Travararou, T (2007). Simplified procedure for estimating earthquake induced deviatoric slope displacements. Journal of Geotechnical and Environmental Engineering, ASCE, Vol 153, No 4, pp 381-392.

<sup>3</sup>Cristiano Melo and Sunil Sharma, Seismic Coefficients for Pseudostatic Slope Analysis, 13th World Conference on Earthquake Engineering, August 1-6, 2004, Paper No. 369.

For the purpose of this report the criteria adopted for factor of safety are from the EGBC Legislated Landslide Hazard Assessment document. For static conditions an acceptable factor of safety is above 1.5. For pseudostatic conditions, a factor of safety greater than 1.0 indicate the slope is more than likely stable. A factor of safety less than 1.0 indicates that the slope is unstable. Based on the results of this slope stability analysis we consider the proposed development to be acceptable.

### **3.0 Slope Stability Assessment**

This slope stability assessment assumes that the site development or future works are undertaken in a manner that does not increase instability of the subject slope. Activities which may present instability may include but are not limited to: removing vegetation, site grading, filling, modification of natural drainage, discharge of drainage onto slope. Phillips & Associates should be contacted to review the future versions of site development plans and landscape plans. Additionally, Phillips & Associates should be provided the opportunity to review all temporary cut slopes and final grades at the above noted site.

We are pleased to be of assistance to you on this project and we trust that our comments and recommendations are both helpful and sufficient for your current purposes. If you would like further details or require clarification of the above, please do not hesitate to call.

**Phillips & Associates**

Reviewed by:

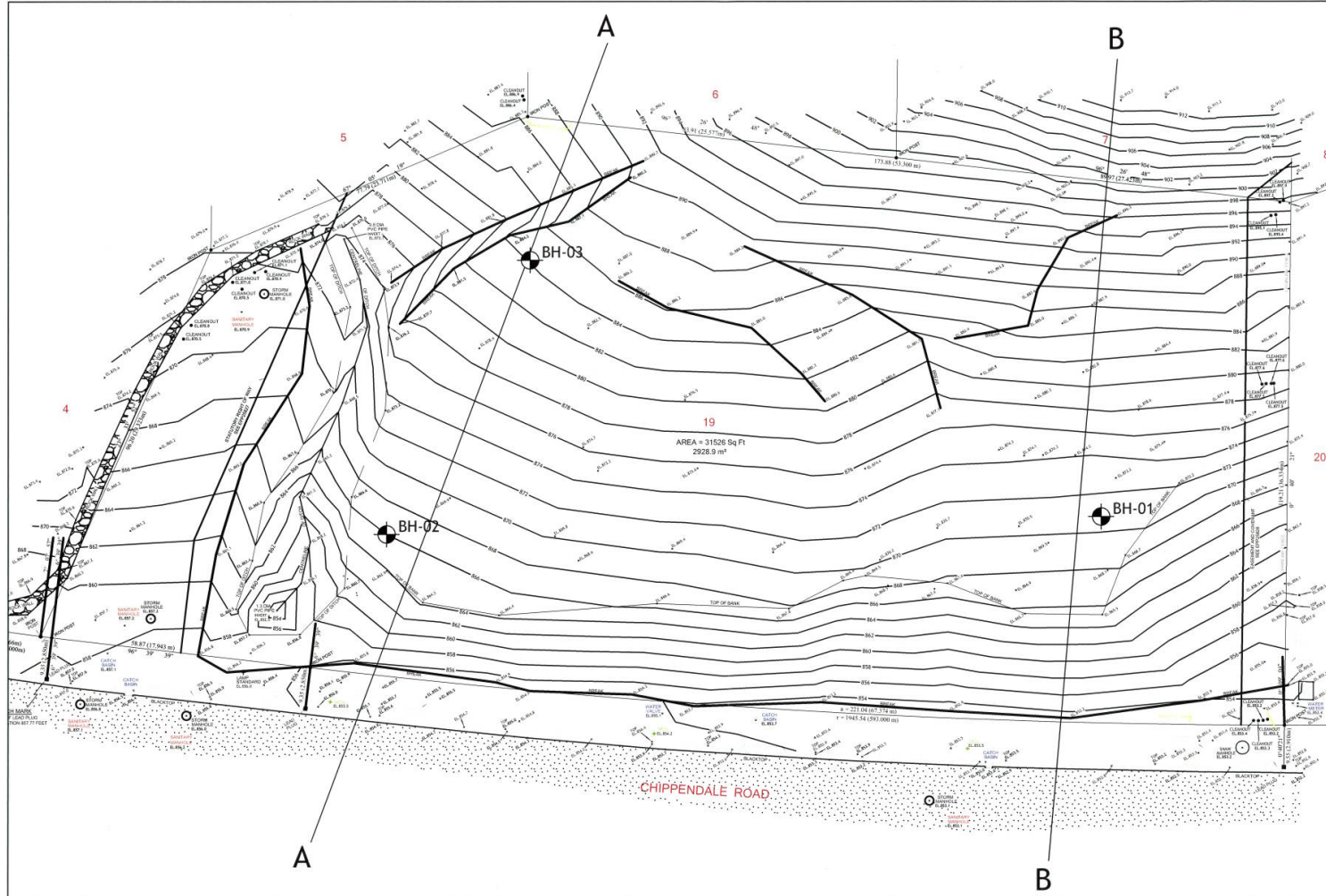
A handwritten signature in blue ink, appearing to be 'Ward Phillips', with a long horizontal line extending to the right.

Ben Schmidt, B.A.Sc., E.I.T.  
Geotechnical Engineer In Training

Ward Phillips, P. Eng.  
Principal

Attachments:

**Slope Stability Analysis Site Plan & Sections**



**SITE PLAN**

ORIGINAL PAPER SIZE: 11x17"

REFERENCE:

3641 BLENDHEIM ST.  
VANCOUVER, B.C.  
CANADA V6L 2Y1  
PHILLIPS & ASSOCIATES  
Ph: (604) 716-8881  
Fax: (604) 739-6782

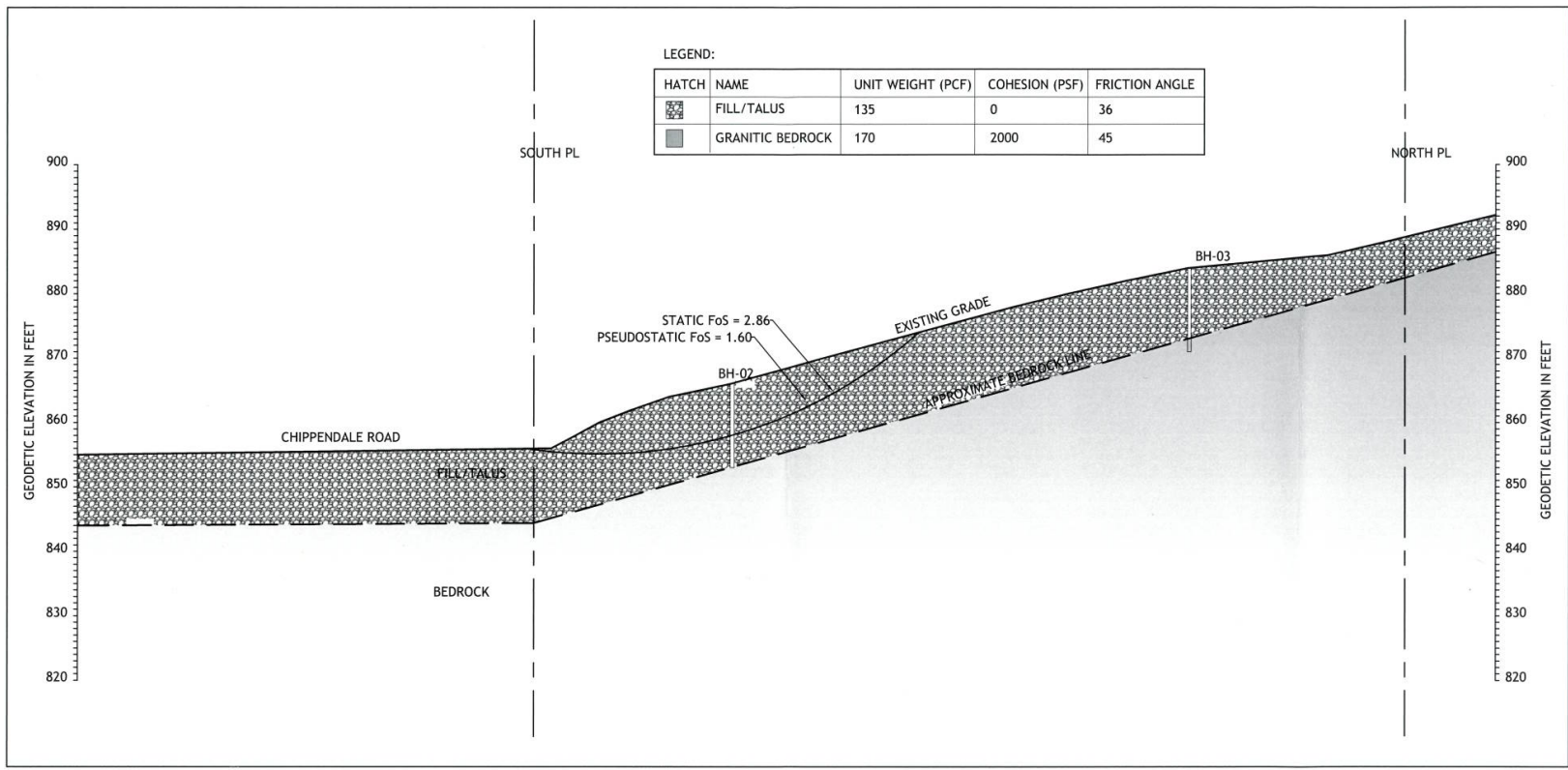
DATE: OCTOBER 30, 2019  
DRN. BY: B.S. APP'D: W.P.  
SCALE: AS SHOWN

**CHIPPENDALE TERRACED HOMES**  
2833 CHIPPENDALE ROAD, WEST VANCOUVER  
SLOPE STABILITY - SITE PLAN

FILE NO.: 1652  
DWG. NO.: SS-1

REVISIONS:

A.  
B.  
C.



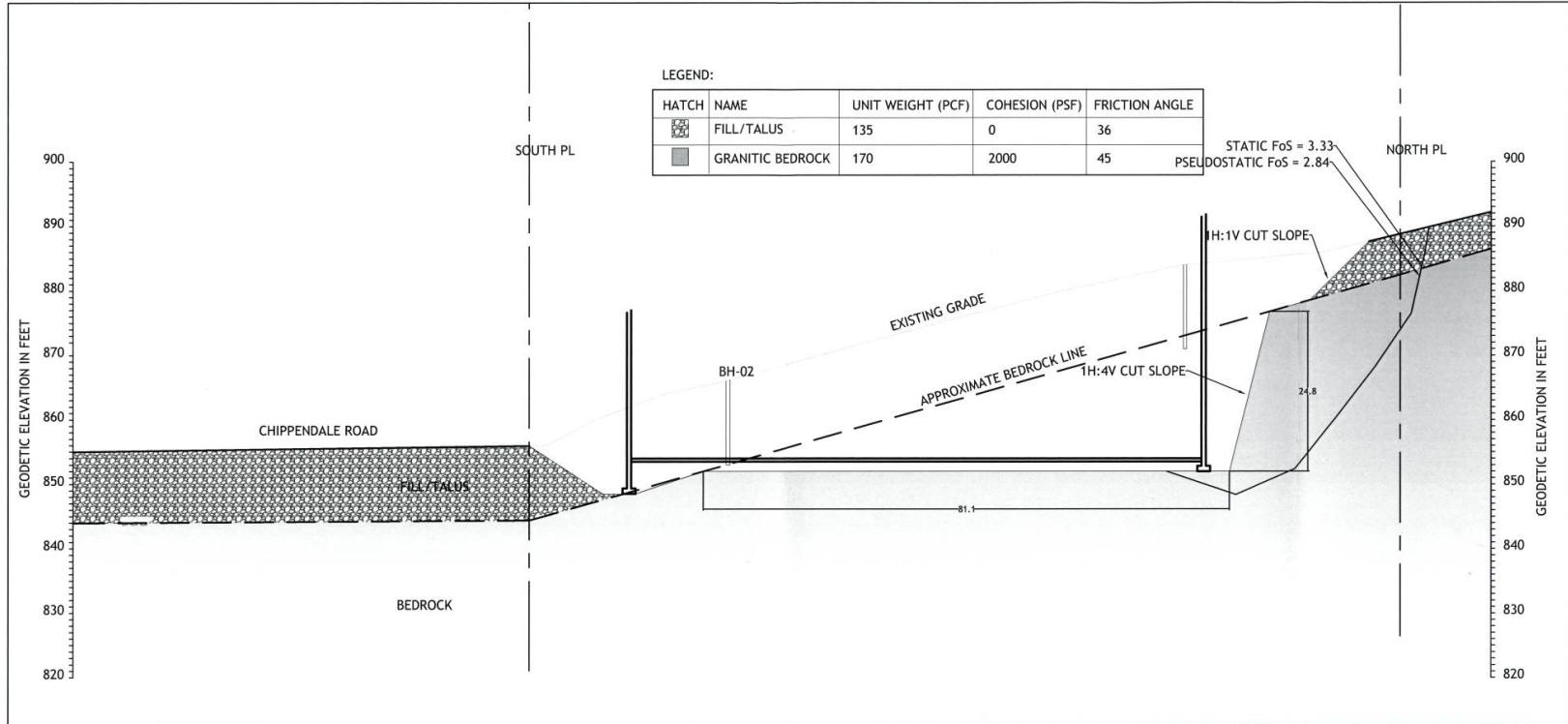
**SECTION A-A: EXISTING**

ORIGINAL PAPER SIZE: 11x17"

REFERENCE:	3641 BLENHEN ST. VANCOUVER, B.C. CANADA V6L 2Y1	DATE: OCTOBER 30, 2019	CHIPPENDALE TERRACED HOMES 2833 CHIPPENDALE ROAD, WEST VANCOUVER SECTION A-A: EXISTING	FILE NO: 1652	REVISIONS:
	PHILLIPS & ASSOCIATES	DRN. BY: B.S.    APP'D: W.P.		DWG. NO: SS-2	A.
	Ph: (604) 716-8881 Fax: (604) 739-6782	SCALE: AS SHOWN			B.
					C.

PRE-BLAST VOLUME CALCULATION:

LENGTH OF BLASTING AREA (NORTH TO SOUTH) = 81 FEET       $81 \times (25 / 2) \times 221 = 223,762 \text{ FT}^3$   
 HEIGHT OF BLASTING AREA (TAPERS) = 25 TO 0 FEET      APPROXIMATE VOLUME OF BLASTING =  $223,762 \text{ FT}^3$   
 WIDTH OF BUILDING ENVELOPE = 221 FEET



LEGEND:

HATCH	NAME	UNIT WEIGHT (PCF)	COHESION (PSF)	FRICTION ANGLE
	FILL/TALUS	135	0	36
	GRANITIC BEDROCK	170	2000	45

SECTION A-A: PROPOSED

ORIGINAL PAPER SIZE: 11"x17"

REFERENCE:	3641 BLENHEIM ST. VANCOUVER, B.C. CANADA V6L 2Y1	DATE: OCTOBER 30, 2019	CHIPPENDALE TERRACED HOMES 2833 CHIPPENDALE ROAD, WEST VANCOUVER SECTION A-A PROPOSED	FILE NO.: 1652	REVISIONS:
	PHILLIPS & ASSOCIATES Ph: (604) 716-8881 Fax: (604) 739-6782	DRN. BY: B.S.    APP'D: W.P.		DWG. NO.: SS-3	A. B. C.
		SCALE: AS SHOWN			

## APPENDIX D: LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

Note: This Statement is to be read and completed in conjunction with the "APEGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia", March 2006/Revised September 2008 ("APEGBC Guidelines") and the "2006 BC Building Code (BCBC 2006)" and is to be provided for *landslide assessments* (not floods or flood controls) for the purposes of the Land Title Act, Community Charter or the Local Government Act. Italicized words are defined in the APEGBC Guidelines.

To: The Approving Authority

Date: Mar 10 / 20

DISTRICT OF WEST VANCOUVER  
2833 CHIPPENDALE ROAD, WEST VANCOUVER, BC  
 Jurisdiction and address

With reference to (check one):

- Land Title Act (Section 86) – Subdivision Approval
- Local Government Act (Sections 919.1 and 920) – Development Permit
- Community Charter (Section 56) – Building Permit
- Local Government Act (Section 910) – Flood Plain Bylaw Variance
- Local Government Act (Section 910) – Flood Plain Bylaw Exemption
- British Columbia Building Code 2006 sentences 4.1.8.16 (8) and 9.4 4.4.(2) (Refer to BC Building and Safety Policy Branch Information Bulletin B10-01 issued January 18, 2010)

For the Property:

LOT 19, DL 816, GR 1 NEW WESTMINSTER DISTRICT PLAN EPP 25820  
 Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a *Qualified Professional* and is a *Professional Engineer* or *Professional Geoscientist*.

I have signed, sealed and dated, and thereby certified, the attached *landslide assessment* report on the Property in accordance with the *APEGBC Guidelines*. That report must be read in conjunction with this Statement. In preparing that report I have:

Check to the left of applicable items

- 1. Collected and reviewed appropriate background information
- 2. Reviewed the proposed *residential development* on the Property
- 3. Conducted field work on and, if required, beyond the Property
- 4. Reported on the results of the field work on and, if required, beyond the Property
- 5. Considered any changed conditions on and, if required, beyond the Property
- 6. For a *landslide hazard analysis* or *landslide risk analysis* I have:
  - 6.1 reviewed and characterized, if appropriate, any *landslide* that may affect the Property
  - 6.2 estimated the *landslide hazard*
  - 6.3 identified existing and anticipated future *elements at risk* on and, if required, beyond the Property
  - 6.4 estimated the potential *consequences* to those *elements at risk*
- 7. Where the *Approving Authority* has adopted a *level of landslide safety* I have:
  - 7.1 compared the *level of landslide safety* adopted by the *Approving Authority* with the findings of my investigation
  - 7.2 made a finding on the *level of landslide safety* on the Property based on the comparison
  - 7.3 made recommendations to reduce *landslide hazards* and/or *landslide risks*
- 8. Where the *Approving Authority* has **not** adopted a *level of landslide safety* I have:

- 8.1 described the method of *landslide hazard analysis* or *landslide risk analysis* used
- 8.2 referred to an appropriate and identified provincial, national or international guideline for *level of landslide safety*
- 8.3 compared this guideline with the findings of my investigation
- 8.4 made a finding on the *level of landslide safety* on the Property based on the comparison
- 8.5 made recommendations to reduce *landslide hazards* and/or *landslide risks*
- 9. Reported on the requirements for future inspections of the Property and recommended who should conduct those inspections.

Based on my comparison between

Check one

- the findings from the investigation and the adopted *level of landslide safety* (item 7.2 above)
- the appropriate and identified provincial, national or international guideline for *level of landslide safety* (item 8.4 above)

I hereby give my assurance that, based on the conditions<sup>[1]</sup> contained in the attached *landslide assessment* report,

Check one

- for subdivision approval, as required by the Land Title Act (Section 86), "that the land may be used safely for the use intended"

Check one

- with one or more recommended registered covenants.
- without any registered covenant.

- for a development permit, as required by the Local Government Act (Sections 919.1 and 920), my report will "assist the local government in determining what conditions or requirements under [Section 920] subsection (7.1) it will impose in the permit".

- for a building permit, as required by the Community Charter (Section 56), "the land may be used safely for the use intended"

Check one

- with one or more recommended registered covenants.
- without any registered covenant.

- for flood plain bylaw variance, as required by the "Flood Hazard Area Land Use Management Guidelines" associated with the Local Government Act (Section 910), "the development may occur safely".

- for flood plain bylaw exemption, as required by the Local Government Act (Section 910), "the land may be used safely for the use intended".

WARD PHILLIPS, P.ENG.

Name (print)



Signature

MARCH 10 / 20

Date

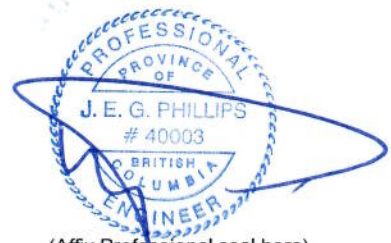
<sup>[1]</sup> When seismic slope stability assessments are involved, *level of landslide safety* is considered to be a "life safety" criteria as described in the National Building Code of Canada (NBCC 2005), Commentary on Design for Seismic Effects in the User's Guide, Structural Commentaries, Part 4 of Division B. This states:

*"The primary objective of seismic design is to provide an acceptable level of safety for building occupants and the general public as the building responds to strong ground motion; in other words, to minimize loss of life. This implies that, although there will likely be extensive structural and non-structural damage, during the DGM (design ground motion), there is a reasonable degree of confidence that the building will not collapse nor will its attachments break off and fall on people near the building. This performance level is termed 'extensive damage' because, although the structure may be heavily damaged and may have lost a substantial amount of its initial strength and stiffness, it retains some margin of resistance against collapse".*

3641 BLENHEIM STREET  
Address

VANCOUVER, BC V6L 2Y1

604 716 8881  
Telephone



(Affix Professional seal here)

If the *Qualified Professional* is a member of a firm, complete the following.

I am a member of the firm Phillips & Associates  
and I sign this letter on behalf of the firm. (Print name of firm)

# BRITISH COLUMBIA BUILDING CODE 2018

## SCHEDULE B

Forming Part of Subsection 2.2.7., Division C of the  
British Columbia Building Code

Building Permit Number  
(for authority having jurisdiction's use)

### ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each *registered professional of record*.  
(ii) This letter is endorsed by: Architectural Institute of BC, Association of Professional Engineers and Geoscientists of the Province of BC, Building Officials' Association of BC, and Union of BC Municipalities.  
(iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The *authority having jurisdiction*

District of West Vancouver

Name of Jurisdiction (Print)

Re: Chippendale Terraced Homes

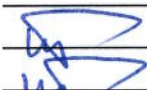

Name of Project (Print)

2833 Chippendale Road, West Vancouver, BC

Address of Project (Print)

The undersigned hereby gives assurance that the design of the

(Initial those of the items listed below that apply to this *registered professional of record*. All the disciplines will not necessarily be employed on every project.)

\_\_\_\_\_ ARCHITECTURAL  
\_\_\_\_\_ STRUCTURAL  
\_\_\_\_\_ MECHANICAL  
\_\_\_\_\_ PLUMBING  
\_\_\_\_\_ FIRE SUPPRESSION SYSTEMS  
\_\_\_\_\_ ELECTRICAL  
 GEOTECHNICAL — temporary  
 GEOTECHNICAL — permanent



March 10, 2020

Date

components of the plans and supporting documents prepared by this *registered professional of record* in support of the application for the *building* permit as outlined below substantially comply with the British Columbia Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

\_\_\_\_\_  
CRP's Initials

# BRITISH COLUMBIA BUILDING CODE 2018

Schedule B - Continued

\_\_\_\_\_  
Building Permit Number  
(for authority having jurisdiction's use)

\_\_\_\_\_  
2833 Chippendale Road, West Vancouver, BC  
Project Address

\_\_\_\_\_  
Geotechnical  
Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

Ward Phillip, P.Eng.  
\_\_\_\_\_  
Registered Professional of Record's Name (Print)

3641 Blenheim Street  
\_\_\_\_\_  
Address (Print)

Vancouver, BC, V6L 2Y1  
\_\_\_\_\_  
Address (Print) (continued)

604 716-8881  
\_\_\_\_\_  
Phone Number



\_\_\_\_\_  
March 10, 2020  
Date

(If the *Registered Professional of Record* is a member of a firm, complete the following.)

I am a member of the firm Phillips & Associates  
and I sign this letter on behalf of the firm. \_\_\_\_\_  
(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

\_\_\_\_\_  
CRP's Initials

# BRITISH COLUMBIA BUILDING CODE 2018

Schedule B - Continued

Building Permit Number  
(for authority having jurisdiction's use)

2833 Chippendale Road, West Vancouver, BC

Project Address

Geotechnical

Discipline

## SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

### ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations* and their continuity
- 1.3 *Closures*, including tightness and operation
- 1.4 Egress systems, including *access to exit* within *suites* and *floor areas*
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for firefighting access
- 1.10 Access requirements for *persons with disabilities*
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below *grade*
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building envelope, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 1.25 Building envelope, testing, confirmation or both as per Part 10 requirements



March 10, 2020

Date

### STRUCTURAL

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 Structural aspects of *deep foundations*
- 2.3 Review of all applicable shop drawings
- 2.4 Structural aspects of unbonded post-tensioned concrete design and construction

### MECHANICAL

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings
- 3.8 Mechanical systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 3.9 Mechanical systems, testing, confirmation or both as per Part 10 requirements

CRP's Initials

3 of 4

# BRITISH COLUMBIA BUILDING CODE 2018

Schedule B - Continued

Building Permit Number  
(for authority having jurisdiction's use)

2833 Chippendale Road, West Vancouver, BC  
Project Address

Geotechnical  
Discipline

## PLUMBING

- 4.1 Roof *drainage systems*
- 4.2 Site and foundation *drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 4.10 Plumbing systems, testing, confirmation or both as per Part 10 requirements

## FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

## ELECTRICAL

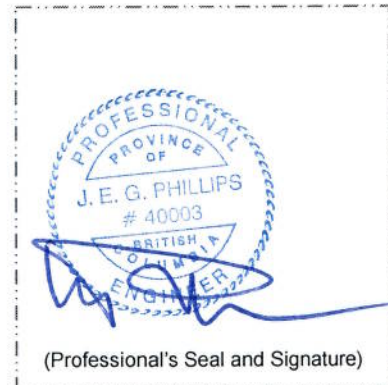
- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 6.10 Electrical systems, testing, confirmation or both as per Part 10 requirements

## GEOTECHNICAL — Temporary

- 7.1 ~~Excavation~~
- 7.2 ~~Shoring~~
- 7.3 ~~Underpinning~~
- 7.4 ~~Temporary construction dewatering~~

## GEOTECHNICAL — Permanent

- 8.1 ~~Bearing capacity of the soil~~
- 8.2 ~~Geotechnical aspects of deep foundations~~
- 8.3 ~~Compaction of engineered fill~~
- 8.4 ~~Structural considerations of soil, including slope stability and seismic loading~~
- 8.5 ~~Backfill~~
- 8.6 ~~Permanent dewatering~~
- 8.7 ~~Permanent underpinning~~



March 10, 2020  
Date

CRP's Initials



## SCHEDULE C - DECLARATION OF INSURANCE COVERAGE

### FOR REGISTERED PROFESSIONALS

Schedule C of the Building Bylaw No. 4400, 2004

Building Permit # \_\_\_\_\_

Re: Construction/Alteration \_\_\_\_\_

Civic Address 2833 CHIPPENDALE ROAD  
WEST VANCOUVER, BC

I WARD PHILLIPS P.Eng/MAIBC  
and a member of the firm PHILLIPS & ASSOCIATES declare  
that I am covered for professional errors and omissions insurance in accordance with  
policy # BC190594 issued by BENKOVY INS. CO. in  
the amount of not less than \$1,000,000

I confirm that those items identified on the *Letters of Assurance* submitted in  
support of the Building Permit are covered by the above policy.

Date: MAR 10 / 20  
Name: WARD PHILLIPS, P.ENG.  
Company: PHILLIPS & ASSOCIATES  
Signature: [Signature]

Document #: 117078

This is to certify that the Policy(ies) of insurance listed below ("Policy" or "Policies") have been issued to the Named Insured identified below for the policy period(s) indicated. This certificate is issued as a matter of information only and confers no rights upon the Certificate Holder named below other than those provided by the Policy(ies).

Notwithstanding any requirement, term, or condition of any contract or any other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the Policy(ies) is subject to all the terms, conditions, and exclusions of such Policy(ies). This certificate does not amend, extend, or alter the coverage afforded by the Policy(ies). Limits shown are intended to address contractual obligations of the Named Insured.

Limits may have been reduced since Policy effective date(s) as a result of a claim or claims.


<b>Certificate Holder:</b> Phillips & Associates Engineering Consultants Ltd. 3641 Blenheim Street Vancouver, BC V6L 2Y1  <b>To Whom It May Concern</b>	<b>Named Insured and Address:</b> Phillips & Associates Engineering Consultants Ltd. 3641 Blenheim Street Vancouver, BC V6L 2Y1
------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------

**Evidence of Insurance**

Type(s) of Insurance	Insurer(s)	Policy Number(s)	Effective/ Expiry Dates	Sums Insured Or Limits of Liability	
PROFESSIONAL LIABILITY • Claims Made Policy	Berkley Insurance Company	BC190594	Nov 08, 2019 to Oct 08, 2020	Per Claim	CDN 1,000,000
				Aggregate	CDN 2,000,000
COMMERCIAL GENERAL LIABILITY • Bodily Injury and Property Damage • Products & Completed Operations • Non-Owned Automobile • Cross Liability • Tenants Legal Liability	Berkley Insurance Company	BCP190278	Nov 08, 2019 to Oct 08, 2020	Per Occurrence	CDN 5,000,000
				Aggregate	CDN 5,000,000

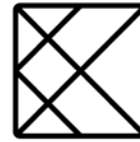
**Notice of cancellation:**

The insurer(s) affording coverage under the policies described herein will not notify the certificate holder named herein of the cancellation of such coverage.

<b>Marsh Canada Limited</b> 800 - 550 Burrard Street Vancouver, BC V6C 2K1 Telephone: (604)-4433533 Fax: - CertificateRequestsVancouver@marsh.com	Marsh Canada Limited   By: _____ Brad Greening
------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------

**This page intentionally left blank**

**This page intentionally left blank**



**KENSTONE**  
P R O P E R T I E S

# MEETING NOTES

**Chippendale Terraced Homes  
Public Information Meeting**

**Date: December 17, 2019**

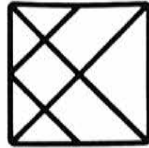
**Time: 5:30 pm – 7:30 pm**

**Location: West Vancouver Memorial Public  
Library - 1950 Marine Drive, West Vancouver**

<b>Project Address</b>	2833 Chippendale Road, West Vancouver
<b>Meeting called by</b>	Ta-Yuan Lee – Kenstone West Vancouver Properties & Cedric Burgers – BAI
<b>Attendees:</b>	<p>Cedric Burgers – BAI          Leandro Gozzi – BAI          Ta-Yuan Lee – Kenstone Properties          Behshid Foadi – Kenstone Properties          Erik Wilhelm – District of West Vancouver, Senior Community Planner          [REDACTED] – Owner [REDACTED] (adj. lot)          [REDACTED] – West Vancouver Resident</p>
<b>Project Introduction</b>	Ta-Yuan Lee
<b>Design Overview</b>	Cedric Burgers and Leandro Gozzi
<b>Documents Displayed/Presented</b>	<ol style="list-style-type: none"> <li>1. Site plan</li> <li>2. Proposed building 3D renderings</li> <li>3. Proposed building floorplans</li> <li>4. Proposed building elevations</li> <li>5. Detailed building shown as 3D digital model, details shown as requested</li> </ol>
<b>Feedback/General Discussion</b>	- Types of trees to be used in landscaping; will they grow too fast & too large and block their views to the west? Cedric responded that they aren't thinking of conifers like firs, pines that get very tall. 10-15' heights for trees being chosen; Japanese Maple as an example. Also thinking more deciduous trees as they don't dry out as much as conifers do; wildfire concerns.

- Extra foot traffic on path that is between the two lots; [REDACTED] has two large windows that face that direction (kitchen & living area.)
- Will there be a fence on the property line? Yes, as it has a drop, required for safety.
- Fears that views from [REDACTED] unit in adjacent building being affected by new dev roof line; the current dev roof line is higher than our current proposed. Cedric offered to place the current property ([REDACTED]) on their 3D model to show how sightlines may or may not be affected.
- [REDACTED] isn't sure that 12 units will sell in a timely manner; their building took 2 years to sell 4 units 2700 sq ft. units. We (Kenstone) responded that is why we reduced their size to 1500 sq ft as a reaction to the market.
- [REDACTED] likes that the area is being developed, but is concerned about increased vehicle traffic in the area due to multi-unit developments. Speed control for increased volume of cars? Erik (rep from W Van permit office) responded that with increased development, people naturally slow down because it looks like a neighbourhood rather than a highway. Changes to the road would only come in 20-30 yrs with research and needs assessments.
- All current devs are single homes at 3-4000 sq ft. How will it change the fabric of the neighbourhood? [REDACTED] does like that the homes would be marketed to new families and downsizers.
- [REDACTED] likes that there is one entry and one exit to the units rather than multiple driveways, but suggests potentially changing their location in regards to proximity to the 3-way stop and a potential blind spot due to road elevation. Noted that the road below is also a popular area for parents to drop off/pick up their kids for school as there is a walking path there.
- Erik suggested that a bike wash/tune up station be included in the development as part of a community contribution for residents and the public to use with easy access; [REDACTED] hated this idea as he felt it would increase non-resident/public foot traffic too much.
- From that idea also came a visitor's spot with good drainage and hose for washing cars, etc.
- Car charging stations were also discussed as a possibility to put in; Cedric felt it was too early for developments to implement those things; doesn't think it would get used.

End of Items



KENSTONE  
P R O P E R T I E S

## Public Information Meeting Feedback Form

**Meeting Address:** West Vancouver Memorial Library - 1950 Marine Dr. West Vancouver

**Date:** December 17, 2019

**Time:** 5:30 pm - 7:30 pm

**Topic:** Preliminary rezoning proposal for terraced dwellings at 2833 Chippendale Road

Please fill in and return this form at the end of the meeting.

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

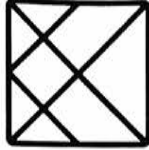
Do you support this development? Please explain.

*I support if this development creates environment & friendly matching to West Van standard!*

What do you like or dislike about this proposal? Your feedback is appreciated.

*Just inputs,*

- traffic control.
- landscaping - tree species (not to grow to be high) for both front and side (especially next to our strata)
- building heights & set-back
- building materials selection matching to our strata.
- lighting - types of lighting used in common areas.



KENSTONE  
PROPERTIES

## Public Information Meeting Feedback Form

**Meeting Address:** West Vancouver Memorial Library - 1950 Marine Dr. West Vancouver

**Date:** December 17, 2019

**Time:** 5:30 pm – 7:30 pm

**Topic:** Preliminary rezoning proposal for terraced dwellings at 2833 Chippendale Road

Please fill in and return this form at the end of the meeting.

**Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

Do you support this development? Please explain.

Very nice addition to the different and  
varied classical styles of architecture.

What do you like or dislike about this proposal? Your feedback is appreciated.

Appreciate how it is built as an extension of the  
environment; not intruding into it.

Excellent style!