

ADJOURNED TO MAY 8, 2023

PUBLIC HEARING NOTICE

Proposed zoning amendment for 325 Keith Road

WHAT: A public hearing will be held regarding proposed Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023.

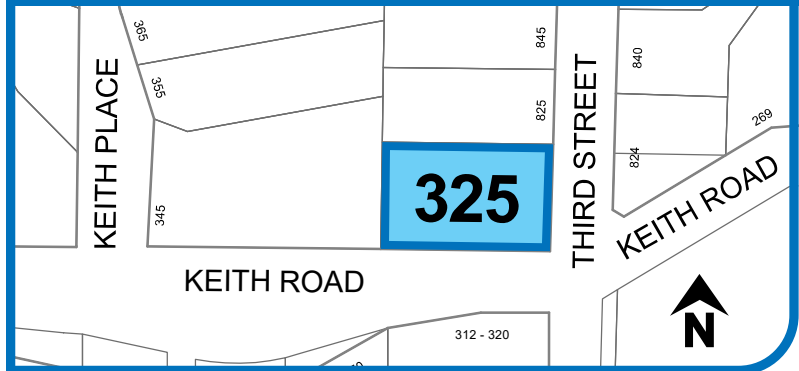
WHEN: 7 p.m. on March 27, 2023

WHERE: West Vancouver Municipal Hall Council Chamber (750 17th Street) and via electronic communication facilities (WebEx video conferencing software). Members of the public may hear, or watch and hear, the hearing by attending the Council Chamber, or via electronic communication facilities through the link provided on the District's webpage.

AERIAL IMAGE OF 325 KEITH ROAD



SUBJECT LAND SHOWN SHADED



SUBJECT LAND: 325 Keith Road. The subject land is shown shaded on the map.

PROPOSED ZONING BYLAW NO. 4662, 2010, AMENDMENT BYLAW NO. 5081, 2023: would amend the zoning regulations of the Single-Family Dwelling Zone 3 (RS3) to facilitate subdivision of the property. The proposed zoning amendment would allow for retention of the existing coach house and single-family dwelling and implement the following changes:

1. Reduce the minimum lot size for the site to allow for the proposed subdivision; and
2. Limit the floor area ratio of both proposed lots to the existing floor area ratio already in existence.

COUNCIL WELCOMES YOUR INPUT: All persons who believe their interest in property is affected by the proposed bylaw will be given an opportunity to present written submissions and to be heard during the public hearing regarding the proposed bylaw. To participate in person, please attend the Municipal Hall Council Chamber at the date and time listed above. To participate by video-conferencing software, please call 604-925-7004 on March 27, 2023 to be added to the speakers list. Detailed instructions on how to participate in the public hearing are available at westvancouver.ca/government-administration/mayor-council/attending-council-meeting-or-public-hearing.

PRIOR TO THE PUBLIC HEARING YOU MAY PROVIDE YOUR SUBMISSION: via email to correspondence@westvancouver.ca; via mail to Municipal Hall, 750 17th Street, West Vancouver BC V7V 3T3; or place your submission, addressed to Legislative Services, in the drop box located at the main entrance of Municipal Hall. Please provide written submissions by noon on March 27, 2023 to ensure their inclusion in the public information package for Council's consideration. No further submissions can be considered by Council after the public hearing has closed.

MORE INFORMATION: The proposed bylaw and other relevant documents that Council may consider in deciding whether to adopt the proposed bylaw may be inspected online at westvancouver.ca/news/notices and at the main entrance to Municipal Hall from March 10 to March 27, 2023 (Monday to Friday, except statutory holidays, 8:30 a.m. to 4:30 p.m.).

QUESTIONS? Erik Wilhelm, Senior Community Planner | ewilhelm@westvancouver.ca | 604-925-7236

PLANNING & DEVELOPMENT SERVICES

750 17th Street, West Vancouver BC V7V 3T3 | 604-925-7055 | planning@westvancouver.ca | westvancouver.ca



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District of West Vancouver
Public Hearing on March 27, 2023
Re: Proposed Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5081, 2023
(325 Keith Road)

File: 1610-20-5081

REPORTS TO COUNCIL			
REPORT TITLE	REPORT DATED	RECEIVED AT COUNCIL MEETING	#
Proposed Zoning Amendment for 325 Keith Road to Allow Subdivision	January 23, 2023	February 6, 2023	R-1

WRITTEN SUBMISSIONS			
SUBMISSION AUTHOR		SUBMISSION DATED	#
R. Dickson		February 6, 2023	C-1
Redacted		March 13, 2023	C-2
R. Dickson		March 21, 2023	C-3
R. Dickson (On-Table)		Undated	C-4

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COUNCIL AGENDA	
Date: February 16, 2023	Item: 161
March 27, 2023 PH	R-1

DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	January 23, 2023
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Zoning Amendment for 325 Keith Road to Allow Subdivision
File:	05.1010.20/19-111.2019

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023” be read a first time.

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023” be presented at a public hearing on March 27, 2023, at 7 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software), and that notice be given of the scheduled public hearing.

1.0 Purpose

To present to Council a proposed zoning amendment to allow subdivision of 325 Keith Road.

2.0 Legislation/Bylaw/Policy

Local Government Act

The *Local Government Act* requires that a public hearing be held on the proposed rezoning bylaw.

Transportation Act

As the subject site is located within a “controlled area¹”, in compliance with Section 52 of the Transportation Act, the Ministry of Transportation and Infrastructure (MOTI) will be required to approve the zoning amendment for the subject site to accommodate the proposal.

Zoning Bylaw

The site is currently zoned Residential Single Family Dwelling Zone 3 (RS3) and a text amendment is required to amend the RS3 zone to facilitate the proposed infill subdivision.

¹ Land located within a radius of 800 metres from an intersection of a MOTI controlled access highway

3.0 Official Community Plan (OCP) and Council Strategic Objective(s)

Official Community Plan (OCP)

The OCP includes policies to address the housing needs of present and future generations within the community. The OCP aims to regenerate neighbourhoods with an estimated 300 - 400 new sensitive infill units (e.g., coach house, duplex, secondary suite, and infill subdivision) which can provide sensitive infill options that respect the scale and character of existing neighbourhoods. Policy 2.1.1 specifically states “amend neighbourhood subdivision standards (including consideration of site-specific applications) to enable the development of smaller houses on smaller lots in existing detached residential areas”.

2021 – 2022 Council Strategic Goals and Objectives

Applicable strategic goals and objectives:

- Goal 1.0: Significantly expand the diversity and supply of housing, including housing that is more affordable.
 - Objective 1.1: Approve an average of 250 net new housing units each year, including accessible housing, of which approximately 100 are market or non-market rental, approximately 75 are infill or missing middle (such as coach houses, multiplexes, and townhouses), and approximately 75 are strata apartment or mixed-use.

4.0 Financial Implications

4.1 Community Amenity Contribution

New developments where zoning amendment is necessary are expected to deliver community amenities. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning and land uses onsite. District policy defines a range of appropriate amenities, including housing affordability and diversity, childcare and cultural facilities, heritage preservation, public art, and public space, parks and the environment.

Consistent with District policy and through a negotiated approach, the applicant offers a voluntary community amenity contribution (CAC) of \$175,125 in cash. District staff consulted with a third-party financial consultant (at the cost of the developer) to determine the voluntary CAC. Staff recommend acceptance of the CAC that would flow into the District's amenity reserve account(s) to contribute to future amenity projects as determined by Council.

4.2 Development Cost Charges (DCCs)

At the subdivision stage, the applicant will be required to provide applicable DCCs for one new single-family lot as per the “Development Cost Charge Bylaw No. 3801, 1993”.

4.3 Infrastructure Upgrades

The Land Development Department confirmed that subdivision of the site will require infrastructure upgrades (to be paid for by the applicant). Individual water, sanitary, and stormwater lines are required to service each of the new potential lots². No adjacent roadway or boulevard improvements are required.

5.0 Background

The site, located at 325 Keith Road, is within the Cedardale neighbourhood east of Taylor Way (**Appendix A**). The site, which is currently 1,916.8 m² (20,632 sq. ft.) in area, is located east of the Taylor Way local area planning boundary and northwest of the Woodcroft apartment complex. The ‘corner site’ has an existing two-storey single family dwelling on the eastern portion of the site and an accessory one-storey coach house (with basement) on the western portion of the site (Figure 1). There are no significant trees onsite and Brothers Creek flows southwards west of the site. The site is surrounded by the following land uses:

- North & Northeast: Single-Family Dwellings
- Southeast: Woodcroft Apartments (District of North Vancouver)
- South: Townhouses
- West: Brothers Creek (and Single-Family Dwellings)

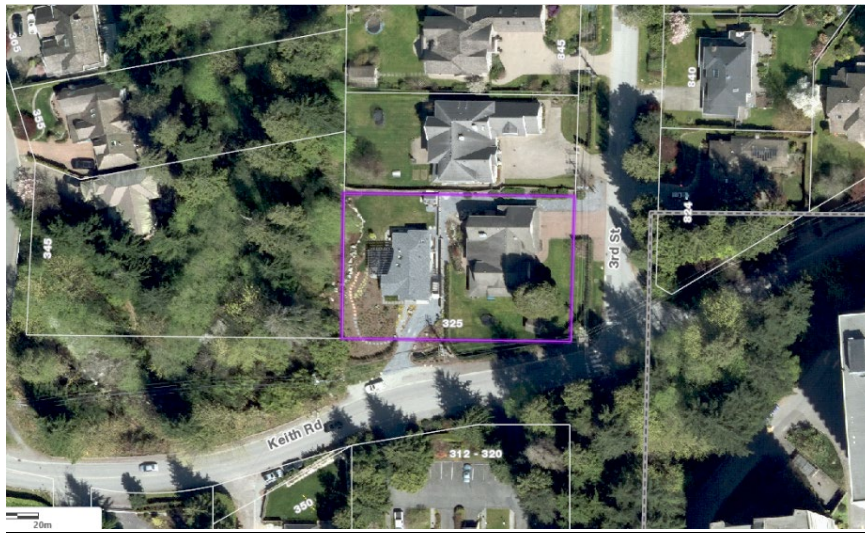


Figure 1 – Aerial Image of 325 Keith Road

² The existing single-family dwelling and coach house on site currently share infrastructure services (water, sanitary and storm sewer lines).

The single-family dwelling and coach house function entirely separately and are set apart by a fence and cedar hedging. As indicated in Figure 1, the coach house (on the west side of the property) is provided vehicular access from Keith Road and the single-family dwelling has driveway access from 3rd Street. The property owner (and applicant) has resided within the coach house since 2016 and currently rents the single-family dwelling to a family.

5.1 Previous Decisions

The Director of Planning and Development Services approved Development Permit 15-042 (circa 2015) allowing for construction of the accessory coach house on the western portion of the site. The development permit regulated the form and character of the coach house and ensured watercourse protection guidelines. As part of the previous development permit process, the owner was required to locate the coach house outside the 15 m watercourse protection area of Brothers Creek, remove invasive species, and demolish a shed located within the watercourse protection area. At that time, the owner was required to remove the existing secondary suite within the single-family dwelling in compliance with the zoning bylaw³.

6.0 Analysis

6.1 Proposal

The application proposes to amend the zoning for the property to facilitate a subdivision to create a total of two lots. Proposed Lot A (with the coach house) would have a lot area of approximately 741.1 m² (7,977 sq. ft.) and proposed Lot B (with the existing single-family dwelling) would have a lot area of approximately 1,175 m² (12,655 sq. ft.) (Figure 2 and **Appendix B**). Building drawings of the existing coach house and single-family dwelling are provided within **Appendix C**.

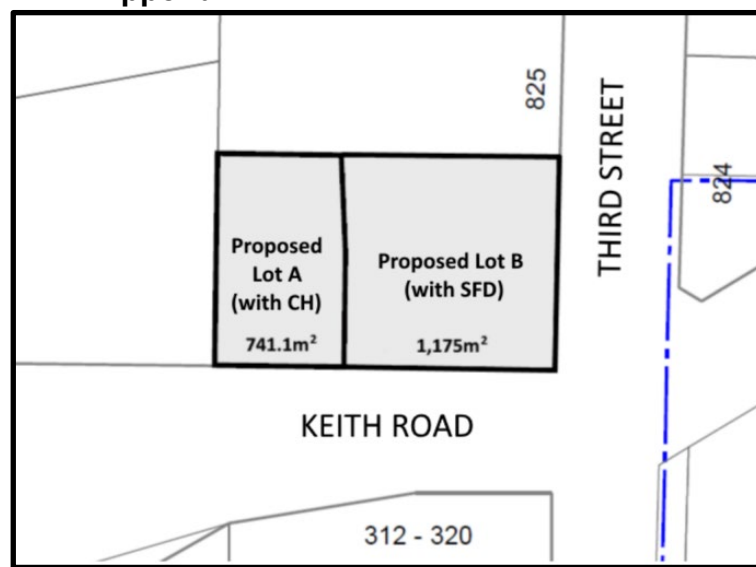


Figure 2 – Proposed Subdivision of 325 Keith Road

³ The zoning bylaw at the time of the coach house development permit approval did not permit both a secondary suite and a coach house on the same property.

6.2 Discussion

The site is currently zoned Residential Single Family Dwelling Zone 3 (RS3). The RS3 zoning requires that all new lots created through subdivision must have a lot area of at least 975 m² (10,494.8 sq. ft.). Accordingly, as proposed Lot A (at 741.1 m² [7,977 sq. ft.]) would not meet the minimum lot area requirement, a text amendment to the RS3 zone is required to amend the subdivision standards within the RS3 zone to permit the proposed infill subdivision. Proposed Lot B (at 1,175 m² [12,655 sq. ft.]) is larger than the minimum lot area and compliant with RS3 lot area requirements.

The proposed zoning amendment (**Appendix D**) would implement 3 primary changes:

1. Reduce the minimum lot size for the site to allow for the proposed subdivision.
2. Limit the allowable floor area of proposed Lot A to the existing Floor Area Ratio (FAR) already in existence. Accordingly, proposed Lot A will be limited to 0.184 FAR which is the FAR of the existing coach house⁴. This limitation on FAR is to ensure the size of any future dwelling is in alignment with the current coach house (rather than a dwelling with a potential 0.3 FAR currently allowed within the RS3 zone).
3. Proposed Lot B will be permitted a maximum 0.35 FAR which is the approximate FAR of the existing single-family dwelling⁵.

Planning staff support the zoning amendment for the following reasons:

- The proposed zoning amendment would facilitate an infill subdivision that is supported by the OCP's sensitive infill policies.
- As the existing coach house and single-family dwelling are already constructed, the proposed zoning amendment and resultant legal subdivision would have minimal construction impact on the immediate neighbourhood.
- Overall, on aggregate, the two proposed lots will maintain a FAR of 0.285 in alignment with the RS3 zone that limits the FAR to 0.30 for larger sites.

6.3 Sustainability

The proposed infill subdivision will utilize existing infrastructure such as roads, sewer and water and would not require demolition of the existing dwellings.

6.4 Public Engagement and Outreach

Public Information Meetings

Prior to submission of the formal rezoning application, and in compliance with District public engagement requirements, the applicant completed an in-

⁴ The single-storey coach house has a 1,464 sq ft. floor area (at grade) with a 1,158 sq ft. basement.

⁵ The two-storey single-family dwelling has a total floor area of 4,411.5 sq ft. floor area (including basement).

person Preliminary Public Information Meeting on November 27, 2019. A summary of the meeting is provided in **Appendix E**. To summarize, the meeting was attended by 10 residents and the proposal was unanimously supported by meeting attendees “as there would not be any significant changes to the existing property”.

Should the proposal advance, the applicant will be required to advertise and conduct a second public information meeting prior to the public hearing.

Signage

Should the proposal advance, the applicant will be required to install a development information sign with particulars about the second public information meeting and public hearing.

Public Hearing and Notification

A public hearing must be held to consider the proposed bylaws. The recommendation herein projects the public hearing to be held on March 27, 2023. Notice of the public hearing will be given in accordance with District procedures.

Website

In alignment with current practise, a description of the proposal, applicable dates and architectural drawings have been placed on the District website. The website will be updated should the proposal advance.

5.4 Conditions Precedent to Adoption

As the property is located within 800 metres of a Controlled Access Highway⁶ interchange, Ministry of Transportation and Infrastructure approval will be required for the rezoning bylaw in accordance with section 52 of the *Transportation Act*.

Additionally, a development covenant registered on title will be required to ensure subdivision servicing requirements and to secure payment of the CAC prior to subdivision approval.

7.0 Options

7.1 Recommended Option

It is recommended that Council give first reading to the proposed zoning bylaw and set a date for a public hearing.

7.2 Considered Options

Council may:

- a) give first reading to the proposed bylaw and set an alternative date (to be specified) for a public hearing; or
- b) defer consideration pending receipt of additional information (to be

⁶ Taylor Way and intersection of Taylor Way and Marine Drive is within ministerial jurisdiction.

- specified); or
c) reject the proposal.

8.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable based on relevant OCP policy. Specifically, the proposal is generally consistent with Policy 2.1.1 which aims to facilitate infill development in existing neighbourhoods. As the proposed rezoning will facilitate an infill subdivision that would integrate into this area of Cedardale, staff recommends that the proposed zoning bylaw be given first reading and a date for a public hearing be scheduled.

Author:



Erik Wilhelm, Senior Community Planner

Concurrence



Michelle McGuire, Senior Manager of Current Planning and Urban Design

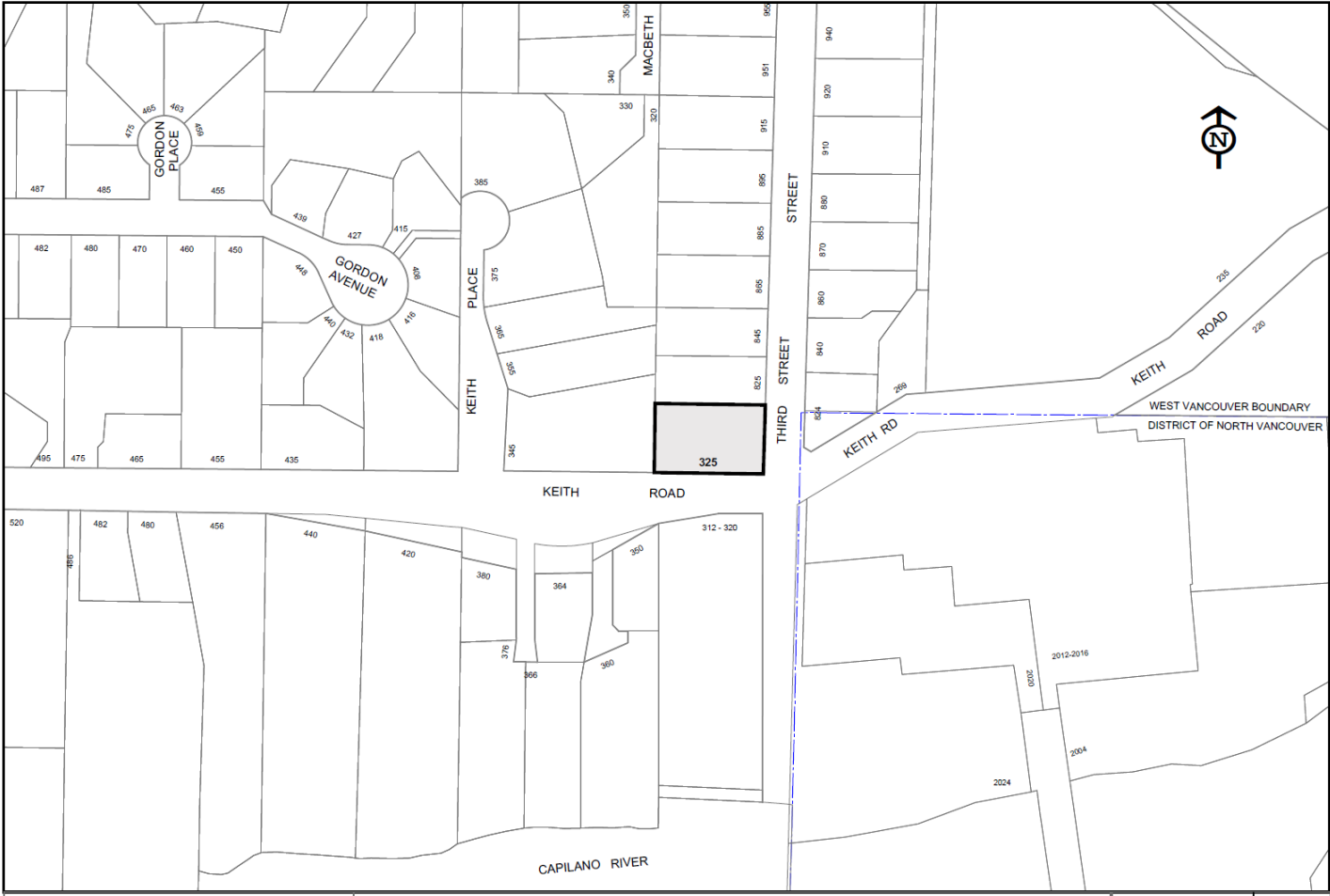
Appendices:

- A - Subject Property Map (325 Keith Road)
- B - Proposed Subdivision and Survey Information
- C - Building Drawings (of existing structures)
- D - Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023
- E - Preliminary Public Information Meeting Summary

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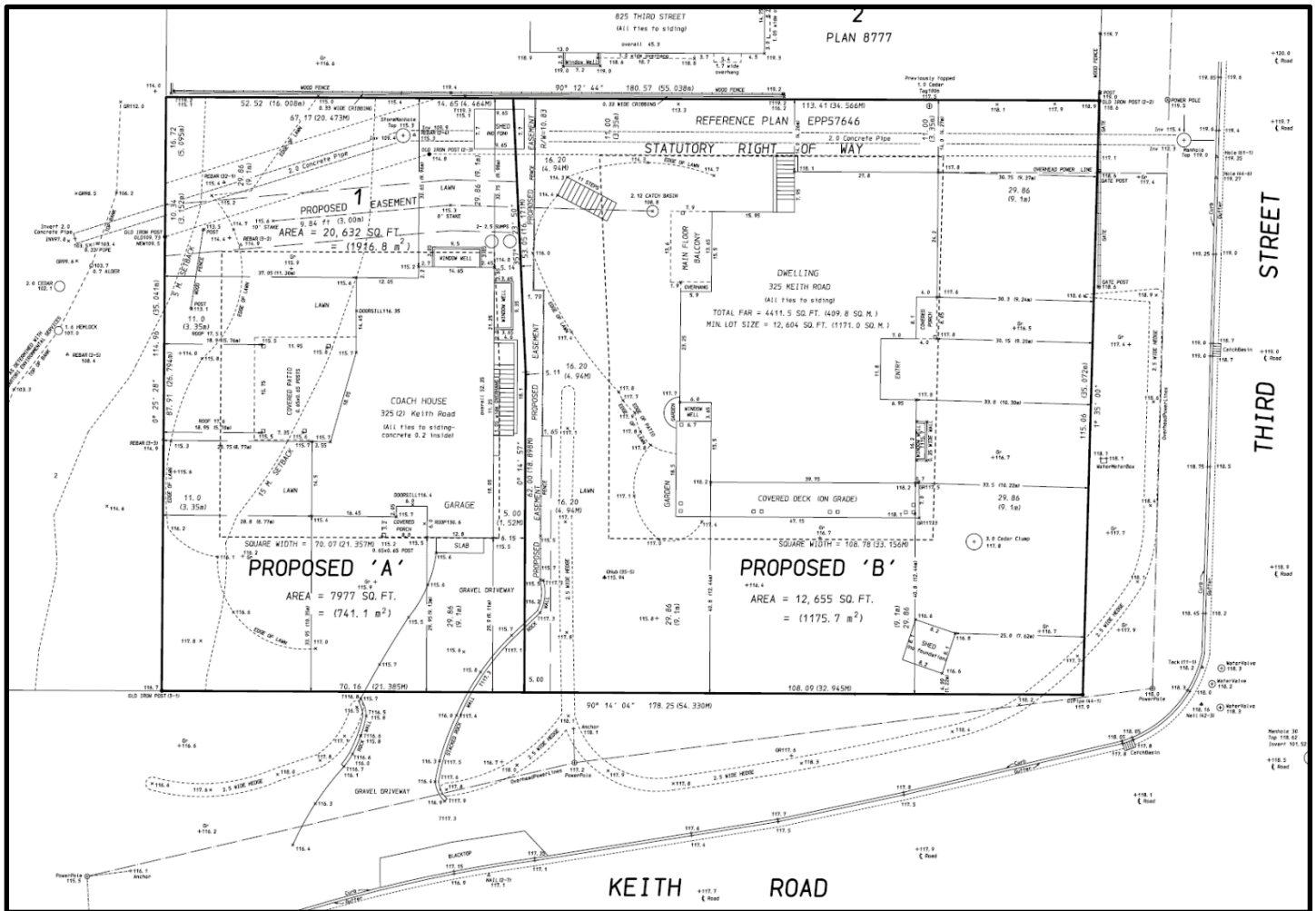
Appendix A – Subject Property Map (325 Keith Road)



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Appendix B – Proposed subdivision and survey information



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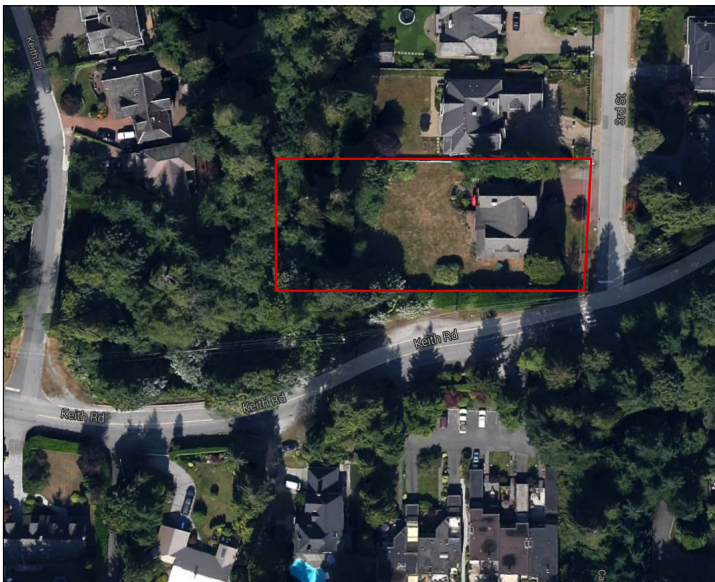
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Appendix C

LEGAL INFORMATION

Site Address: 325 KEITH ROAD, WEST VANCOUVER, BC
Legal Address: LOT 1, SOUTH EAST 1/4 OF DISTRICT LOT 1043, GROUP ONE NWD, PLAN 8777
Zoning: RS-3
Lot Size: 20,630 SQ. FT. (1916.58m²)

CONTEXT PLAN - SCALE (n.t.s)



DRAWING LIST

No.	Sheet Title
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LEGAL INFORMATION

A0.00	Cover Sheet
A0.01	General Notes

SITE PLANS

A1.01	Site Plan
A1.02	Landscaping Plan
A1.03	Construction Assemblies/ Site Details
A1.04	Sediment Plan

BUILDING PLANS

A2.01	Basement Floor Plan - Main House - Proposed Lot B
A2.02	Main Floor Plan - Main House - Proposed Lot B
A2.03	Upper Floor Plan - Main House - Proposed Lot B
A2.04	Existing Elevations - Main House - Proposed Lot B
A2.04A	Existing Elevations - Main House - Proposed Lot B
A2.05	Basement Floor Plan - Coach House - Proposed Lot A
A2.06	Main Floor Plan - Coach House - Proposed Lot A
A2.07	Roof Plan - Coach House - Proposed Lot A

Building Sections

A3.01 Cross Section AA & BB

Exterior Elevations

A4.01 Exterior Elevations

Envelope Details

A5.01 Construction Details

SITE ZONING SUMMARY:

Lot Zone	RS3	
Lot Area	1,916.58m ²	Min 1,115m ²
Lot Width	35.06m	Min 24.4m
Lot Flanking Lot Width	35.06m	Min 29m
Max Lot Depth	54.86m	4 x width

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE
SUPERVISOR OR GENERAL CONTRACTOR.

SITE CONTACT:
MARC DUBRULLE
778-899-6272

OFFICE CONTACT:
BRIAN SHEEHAN
604-264-8837 (157)



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Dickson
Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Cover Sheet

SCALE

DRAWN BY	CHECKED BY
BS	

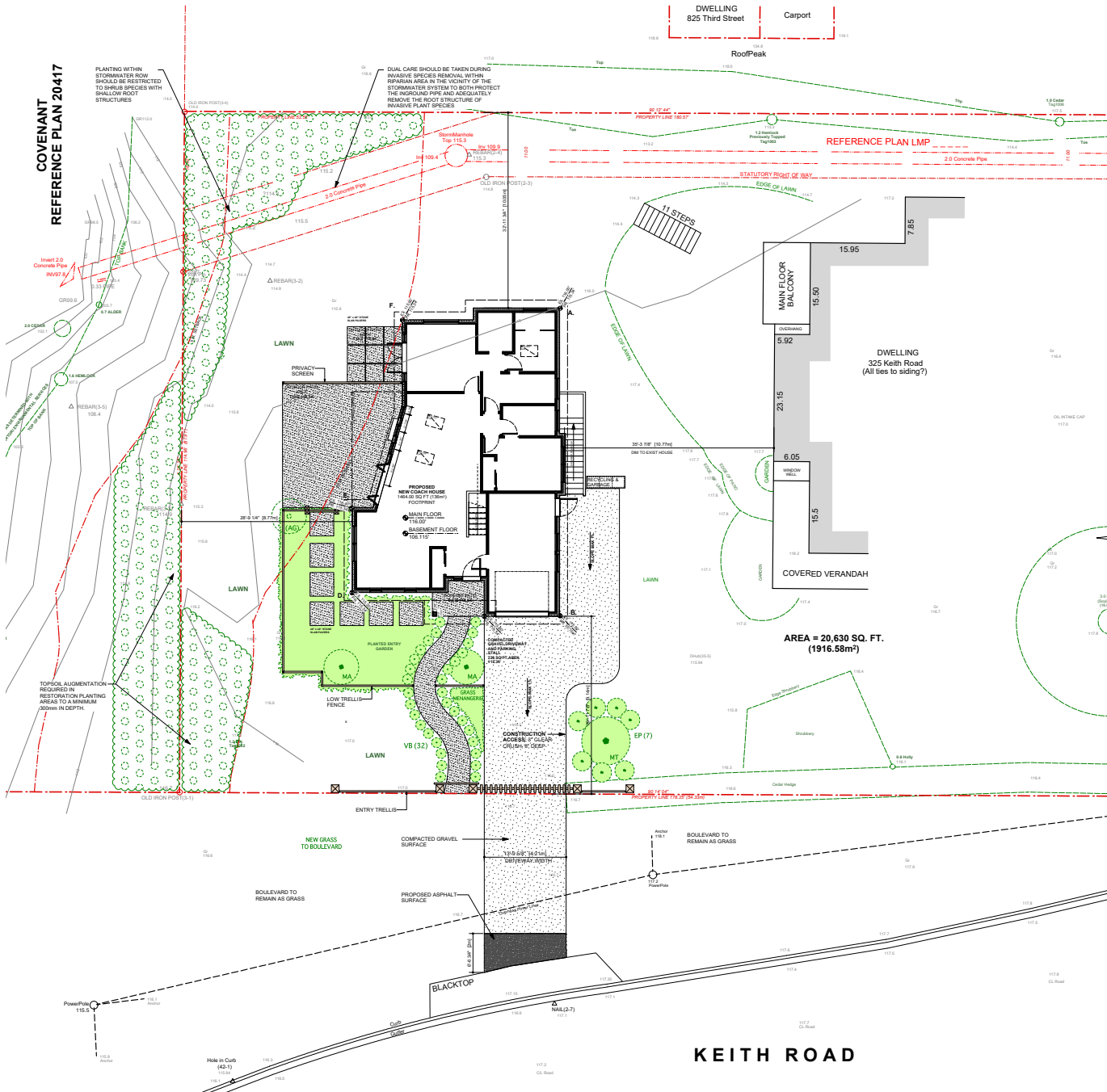
ISSUED FOR

Rezoning

ISSUE	DATE	DESCRIPTION
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SHEET NUMBER

A1



LANDSCAPING PLAN NOTES:

REFER TO KEY PLAN A1.00 FOR EXISTING SITE TREE SCHEDULE.

REFER TO ENGINEERING PLAN ON A1.01 FOR SITE SERVICES LOCATIONS AND INFO.

REFER TO LANDSCAPE PLAN ON A1.04 FOR NEW PLANTING LIST AND NEW HARDSCAPING INFO.

REFER TO SITE DETAILS ON A1.05 FOR ALL NEW SITE DETAILS.

- DENOTES EXTENT OF PROPERTY
- DENOTES EXTENT OF TREE PROTECTION FENCING. REFER TO A1.02.

NEW LANDSCAPING

- DENOTES NEW PLANTING

NEW PLANTING LIST

MT	MONKEY TAIL TREE	
SIZE:	3.5M B+B	
QUANTITY:	1	
MA	MAGNOLIA	
SIZE:	3.5M B+B	
QUANTITY:	2	
AG	ACER GRISEUM	
SIZE:	3.5M B+B	
QUANTITY:	1	
EP	EUPHORBIA	
SIZE:	3.5M B+B	
QUANTITY:	7	
VB	VARIEGATED BOX	
SIZE:	#3 POT	
QUANTITY:	32	

RIPARIAN REVEGETATION

REFER TO ENVIRONMENTAL REPORT BY SANTORI ENVIRONMENTAL SERVICES

CONIFEROUS TREES
(5.0 - 7.0m SPACING FROM OTHER CONIFEROUS TREES, AND PURCHASED AT A MINIMUM HEIGHT OF 1.2m, UNLESS OTHERWISE SPECIFIED BELOW)

4 - SHORE PINE *Pinus conorta*

TOTAL - 4

DECIDUOUS TREES
(3.0 - 5.0m SPACING FROM OTHER DECIDUOUS AND CONIFEROUS TREES, AND PURCHASED AT A MINIMUM HEIGHT OF 1.2m, UNLESS OTHERWISE SPECIFIED BELOW)

4 - VINE MAPLE *ACER CIRCINATUM*
4 - RED ALDER *ALNUS RUBRA*
4 - PACIFIC WILLOW *SALIX LUCIDIA* SPP. *LASIANDRA*
4 - BITTER CHERRY *PRUNUS EMARGINATA*

TOTAL - 16

SHRUBS
(0.25 - 1.0m SPACING FROM OTHER VEGETATION AND PURCHASED IN MINIMUM #1 OR ONE GALLON CONTAINERS)

10 - SALMONBERRY *RUBUS SPECTABILIS*
10 - BALDHIP ROSE *ROSA GYMNOCARPA*
10 - RED-OSIER DOGWOOD *CORNUS STOLONIFERA*
10 - RED HUCKLEBERRY *VACCINIUM PARVIFOLIUM*
10 - PACIFIC NINEBARK *PHYSCARPUS CAPITATUS*
10 - WESTERN SWORDFERN *POLYSTICHUM MUNITUM*
10 - DEER FERN *BLECHNUM SPICANT*
10 - SALAL *GAULTHERIA SHALLON*

TOTAL - 80

NEW SITE HARDSCAPING

ALL CONC. HARDSCAPING TO BE BROOM FINISHED.

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Landscape Plan

SCALE
1/8" = 1'-0"

DRAWN BY CHECKED BY

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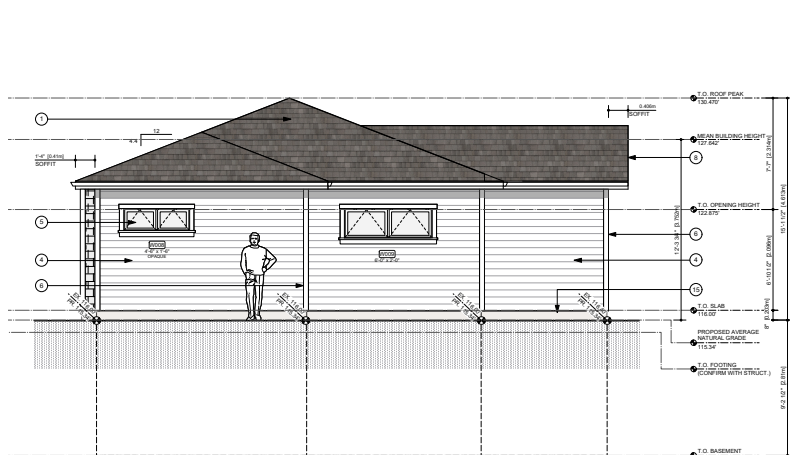
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Rezoning

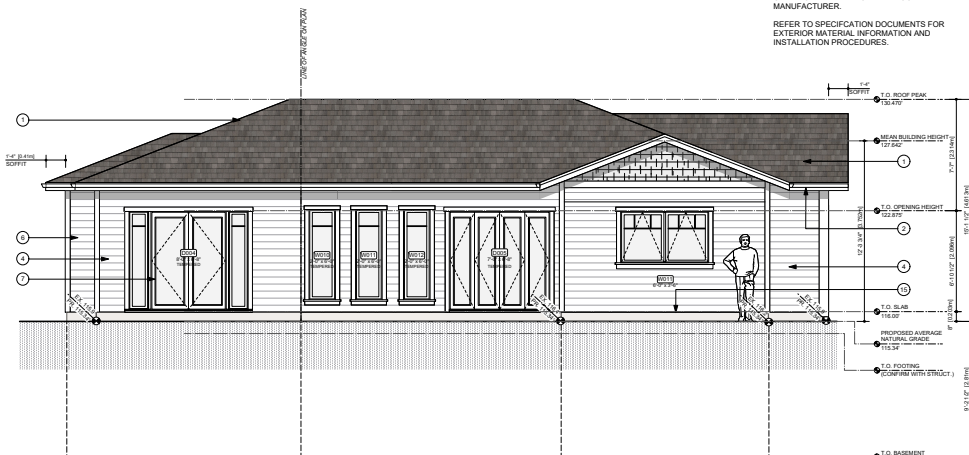
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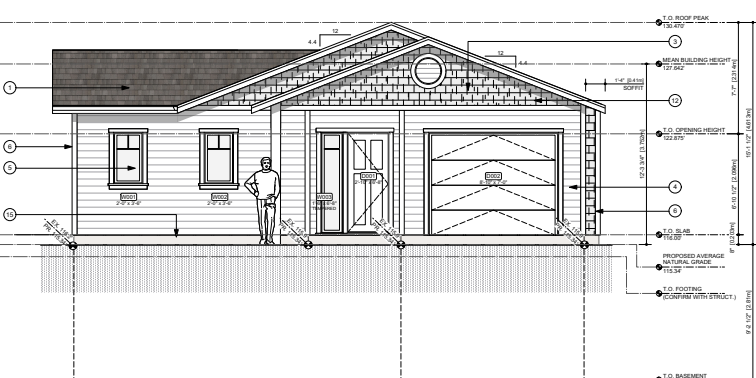
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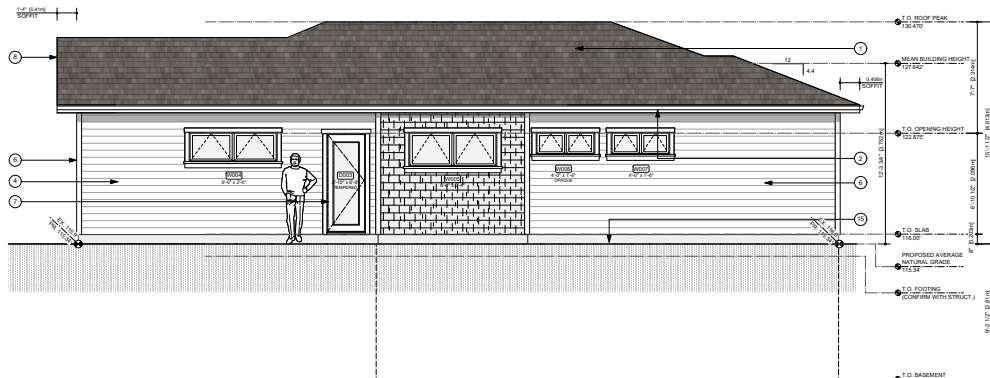
NORTH ELEVATION - REAR YARD
Scale: 1/4" = 1'-0"



WEST ELEVATION - SIDE YARD
Scale: 1/4" = 1'-0"



SOUTH ELEVATION - STREET VIEW
Scale: 1/4" = 1'-0"



EAST ELEVATION - SIDE YARD
Scale: 1/4" = 1'-0"

SPATIAL SEPARATION:
(North)

Exposed Building Face	245.00 sq.ft. (22.77 sq.m.)
Limiting Distance (to PL)	32.98 ft. (10.05 m.)
Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4 COV Building Bylaw (Interpolated Value)	100.00 % = 22.77 sq.m.
Calculated Area of Glazed Openings (7.47 %)	1.70 sq.m.

SPATIAL SEPARATION:
(West)

Exposed Building Face	399.00 sq.ft. (37.08 sq.m.)
Limiting Distance (to PL)	28.88 ft. (8.80 m.)
Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4 COV Building Bylaw (Interpolated Value)	100.00 % = 37.08 sq.m.
Calculated Area of Glazed Openings (38.67 %)	14.34 sq.m.

SPATIAL SEPARATION:
(South)

Exposed Building Face	328.00 sq.ft. (30.48 sq.m.)
Limiting Distance (to CL of Keith Rd)	28.26 ft. (8.61 m.)
Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4 COV Building Bylaw (Interpolated Value)	100.00 % = 30.48 sq.m.
Calculated Area of Glazed Openings (7.41 %)	2.26 sq.m.

SPATIAL SEPARATION:
(East)

Exposed Building Face	369.70 sq.ft. (34.36 sq.m.)
Limiting Distance (1/2 dist to house)	17.75 ft. (5.41 m.)
Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4 COV Building Bylaw (Interpolated Value)	65.00 % = 22.33 sq.m.
Calculated Area of Glazed Openings (15.08 %)	5.18 sq.m.

EXTERIOR MATERIALS:

- 30yr ASPHALT SHINGLE ROOFING COLOUR - REFER TO SPEC
- PRE-FIN ALUMINUM GUTTERS & DOWNSPOUTS
- EXTERIOR SHINGLE SIDING
- EXTERIOR PAINT FINISH 5" EXPOSURE CEDAR SIDING
- VINYL FRAME DUAL PANE WINDOWS
- 2" x 6" PAINTED WOOD CORNER TRIM
- SMOOTH FIBREGLASS EXT DOOR
- 1" x 8" PAINTED FASCIA
- 2" x 6" PAINTED WOOD EXT DOOR TRIM
- PAINTED WOOD KNEE BRACES
- DUAL BC HYDRO METER
- VELUX SKYLIGHT
- 1" x 12" PAINTED BAND BOARD
- CONCRETE FOUNDATION

EXTERIOR ELEVATION NOTES:

WINDOW AND DOOR SIZES SHOWN ARE FOR DESIGN COORDINATION AND ESTIMATING ONLY. CONFIRM OPERATION AND ROUGH OPENINGS WITH WINDOW AND DOOR MANUFACTURER.

REFER TO SPECIFICATION DOCUMENTS FOR EXTERIOR MATERIAL INFORMATION AND INSTALLATION PROCEDURES.

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

SITE CONTACT:

MARC DUBRULLE
778-899-6272

OFFICE CONTACT:

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Exterior Elevations

SCALE

1/4" = 1'-0"

DRAWN BY

BS

CHECKED BY

ISSUED FOR

Rezoning

DATE

ISSUE DATE

DESCRIPTION

SHEET NUMBER

A4

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SITE CONTACT: **MARC DUBRILLE**
778-899-6272

OFFICE CONTACT: **BRIAN SHEEHAN**
604-264-8837 (157)

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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Cross Section A-A & B-B

SCALE
1/4" = 1'-0"

DRAWN BY: BS

CHECKED BY:

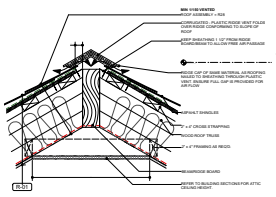
ISSUED FOR: **Rezoning**

DATE:

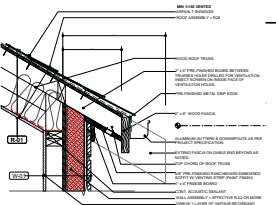
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SHEET NUMBER

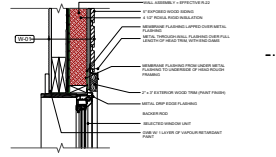
A5



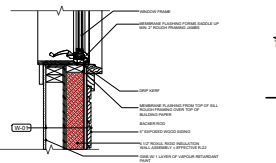
SECTION DETAIL - TYP. ROOF RIDGE VENTING
SCALE: 1/4" = 1'-0"



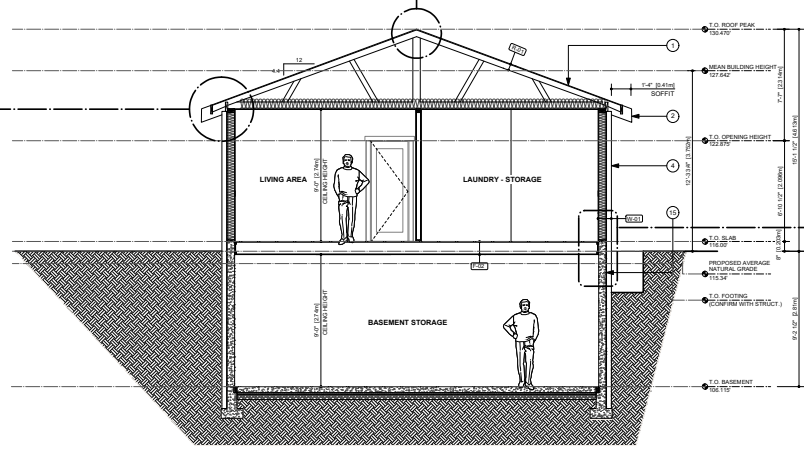
SECTION DETAIL - TYP. ROOF OVERHANG
SCALE: 1/4" = 1'-0"



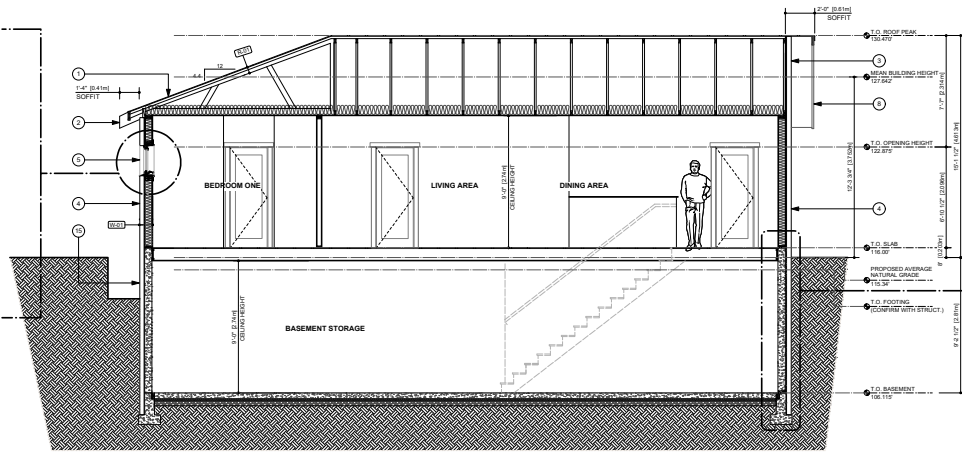
SECTION DETAIL - TYP. WINDOW HEAD
SCALE: 1/4" = 1'-0"



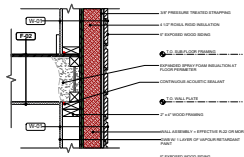
SECTION DETAIL - TYP. WINDOW SILL
SCALE: 1/4" = 1'-0"



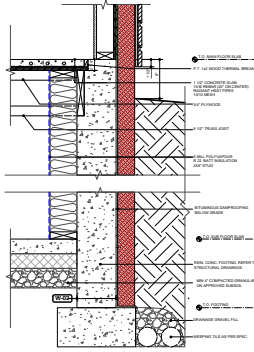
SECTION - AA
Scale: 1/4" = 1'-0"



SECTION - BB
Scale: 1/4" = 1'-0"

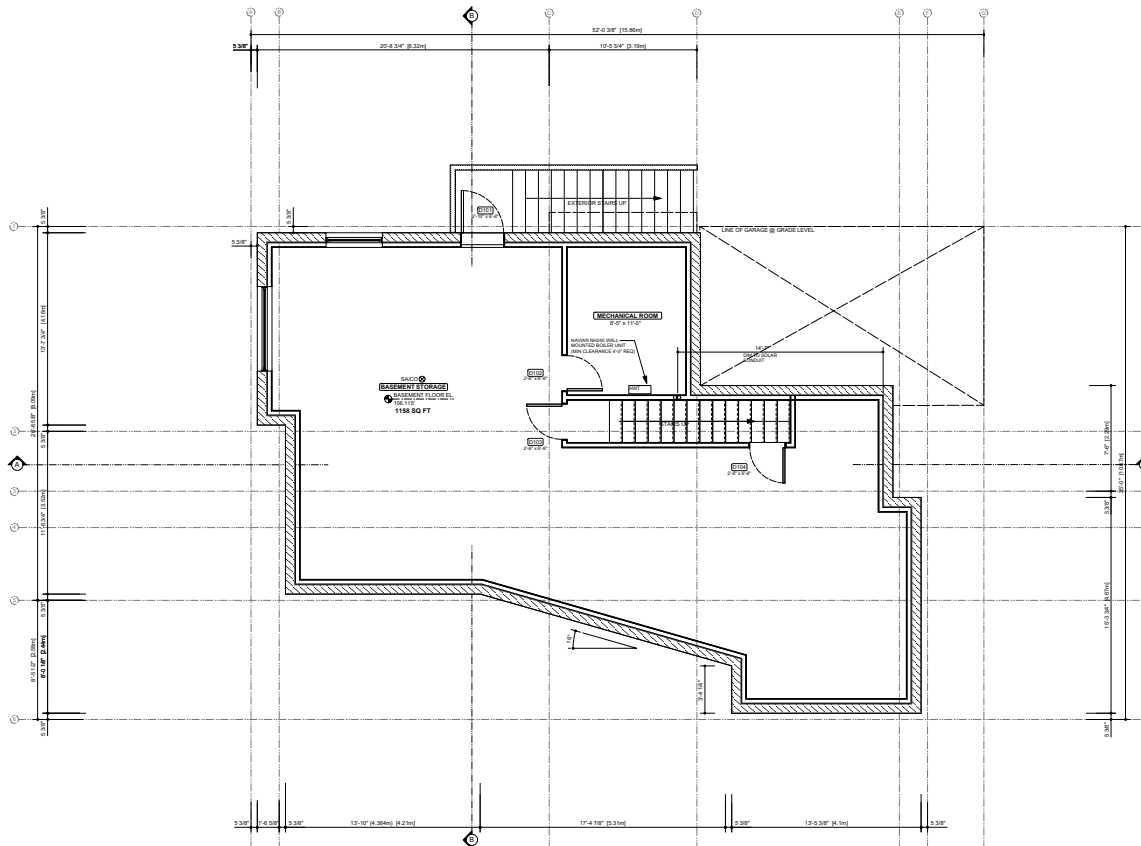


SECTION DETAIL - TYP. FLOOR AT EXT. WALL
SCALE: 1/4" = 1'-0"



SECTION DETAIL - TYP. CRAWL SPACE FOUNDATION
SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS:**
- 30yr. ASPHALT SHINGLE ROOFING
 - COLOR - REFER TO SPEC
 - PRE. FIN. ALUMINUM GUTTERS & DOWNSPOUTS
 - EXTERIOR SHINGLE SIDING
 - EXTERIOR PAINT FINISH 5" EXPOSURE CEDAR SIDING
 - VINYL FRAME DUAL PANE WINDOWS
 - 2" x 6" PAINTED WOOD CORNER TRIM
 - SMOOTH FIBREGLASS EXT. DOOR
 - 1" x 8" PAINTED FASCIA
 - 2" x 6" PAINTED WOOD EXT. DOOR TRIM
 - 2" x 4" PAINTED WOOD WINDOW TRIM
 - DUAL BC-HYDRO METER
 - PAINTED WOOD KNEE BRACES
 - VELUX SKYLIGHT
 - 1" x 12" PAINTED BOARD
 - CONCRETE FOUNDATION



BASEMENT FLOOR PLAN NOTES:

REFER TO A1.02 FOR ALL GENERAL BUILDING NOTES AND BUILDING CODE INFORMATION.

REFER TO A2.00 FOR ALL CONSTRUCTION ASSEMBLIES.

REFER TO O2.01 & O2.02 FOR ALL FSR (FLOOR SPACE RATIO) CALCULATIONS

WINDOW AND DOOR SIZES SHOWN ARE FOR DESIGN COORDINATION AND ESTIMATING ONLY. CONFIRM OPERATION AND ROUGH OPENINGS WITH WINDOW AND DOOR MANUFACTURER

ALL EXTERIOR DIMENSIONS TO OUTSIDE OF THE SHEATHING, UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSION TO OUTSIDE FACE OF THE SHEATHING UNLESS OTHERWISE NOTED.

ALL EXTERIOR WALLS TO BE W-01 UNLESS NOTED OTHERWISE.

ALL INTERIOR PARTITIONS TO BE P-03 UNLESS NOTED OTHERWISE.

ALL INTERIOR PLUMBING WALLS TO BE P-02.

STAIR NOTES:

STAIR TREADS AND RISERS TO COMPLY WITH BCBC 2012, DIVISION B - PART 9 TABLE 9.8.4.2

SUB-FLOOR: 9'-0" = 14 RISERS

STAIR WIDTH: 3'-0"

RISE: 7.71"

RUN: 10"

TREAD: 11"

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

SITE CONTACT: **MARC DUBRULLE**
778-899-6272

OFFICE CONTACT: **BRIAN SHEEHAN**
604-264-8837 (157)

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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Basement Floorplan

SCALE
1/4" = 1'-0"

DRAWN BY: BS
CHECKED BY:

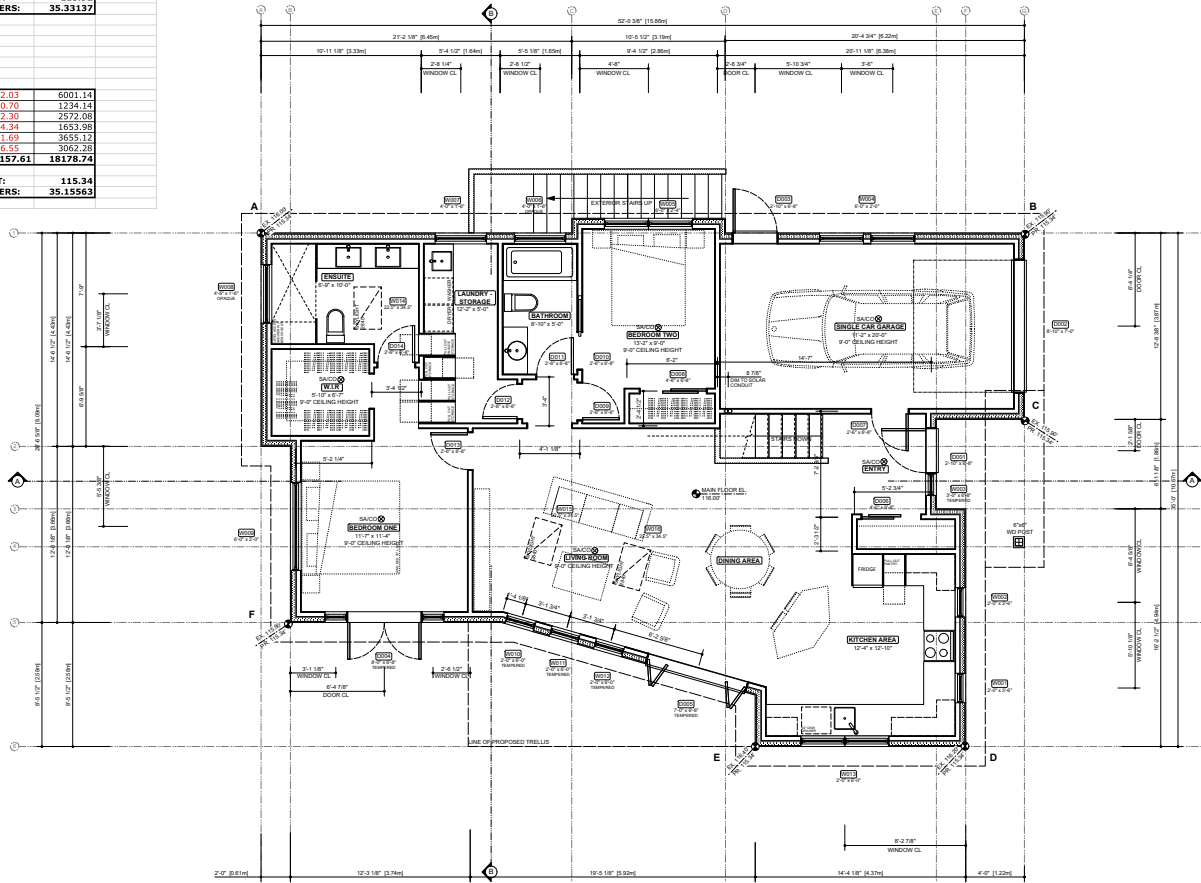
ISSUED FOR: **Rezoning**
DATE:

ISSUE DATE DESCRIPTION

SHEET NUMBER

A6

NATURAL GRADE				
A:	116.00	B:	115.90	LENGTH: 52.03
B:	115.90	C:	115.90	LENGTH: 10.70
C:	115.90	D:	115.20	LENGTH: 22.30
D:	115.20	E:	110.40	LENGTH: 14.34
E:	116.40	F:	115.90	LENGTH: 31.69
F:	115.90	G:	116.00	LENGTH: 26.55
TOTALS:			157.61	18269.61
AVERAGE NATURAL GRADE IN FEET: 115.92				
AVERAGE NATURAL GRADE IN METERS: 35.31317				
FINISHED GRADE				
A:	115.34	B:	115.34	LENGTH: 52.03
B:	115.34	C:	115.34	LENGTH: 10.70
C:	115.34	D:	115.34	LENGTH: 22.30
D:	115.34	E:	115.34	LENGTH: 14.34
E:	115.34	F:	115.34	LENGTH: 31.69
F:	115.34	G:	115.34	LENGTH: 26.55
TOTALS:			157.61	18178.74
AVERAGE NATURAL GRADE IN FEET: 115.34				
AVERAGE NATURAL GRADE IN METERS: 35.15563				



MAIN FLOOR PLAN NOTES:

REFER TO A1.02 FOR ALL GENERAL BUILDING NOTES AND BUILDING CODE INFORMATION.

REFER TO A2.00 FOR ALL CONSTRUCTION ASSEMBLIES.

REFER TO O2.01 & O2.02 FOR ALL FSR (FLOOR SPACE RATIO) CALCULATIONS

WINDOW AND DOOR SIZES SHOWN ARE FOR DESIGN COORDINATION AND ESTIMATING ONLY. CONFIRM OPERATION AND ROUGH OPENINGS WITH WINDOW AND DOOR MANUFACTURER.

ALL EXTERIOR DIMENSIONS TO OUTSIDE OF THE SHEATHING, UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSION TO OUTSIDE FACE OF THE SHEATHING UNLESS OTHERWISE NOTED.

ALL EXTERIOR WALLS TO BE W-01 UNLESS NOTED OTHERWISE.

ALL INTERIOR PARTITIONS TO BE P-03 UNLESS NOTED OTHERWISE.

ALL INTERIOR PLUMBING WALLS TO BE P-02.

STAIR NOTES:

STAIR TREADS AND RISERS TO COMPLY WITH BCBC 2012, DIVISION B - PART 9 TABLE 9.8.4.2

MAIN FLOOR SLAB TO TOP OF UPPER LEVEL
SUB-FLOOR: 9'-0" = 14 RISERS
STAIR WIDTH: 3'-0"
RISE: 7.71"
RUN: 10"
TREAD: 11"

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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SITE ADDRESS:
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WEST VANCOUVER, BC

Existing Coach House Main Floorplan



SCALE
1/4" = 1'-0"

DRAWN BY: BS

CHECKED BY:

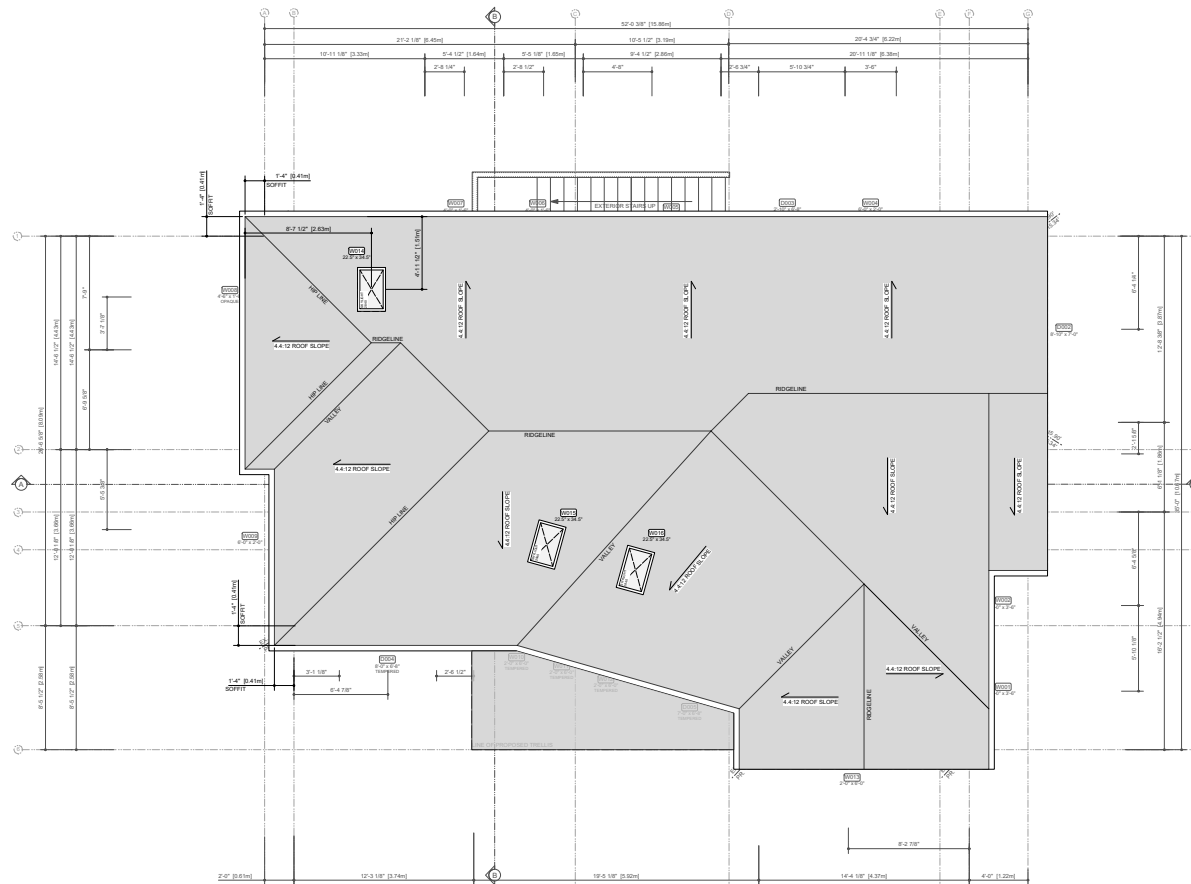
ISSUED FOR: Rezoning

DATE:

ISSUE DATE DESCRIPTION

SHEET NUMBER

A7



ROOF PLAN NOTES:

REFER TO A1.02 FOR ALL GENERAL BUILDING NOTES AND BUILDING CODE INFORMATION.

REFER TO A2.00 FOR ALL CONSTRUCTION ASSEMBLIES.

REFER TO O2.01 & O2.02 FOR ALL FSR AREA CALCULATIONS

ALL LISTED WINDOW AND DOOR SIZES FOR DESIGN COORDINATION AND ESTIMATING ONLY. REFER TO SPECIFICATIONS FOR UNIT SIZES, OPERATION AND ROUGH OPENINGS.

ALL EXTERIOR DIMENSIONS TO OUTSIDE OF STUD, UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSION TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.

ALL EXTERIOR WALLS TO BE W-01 UNLESS NOTED OTHERWISE.

ALL INTERIOR PARTITIONS TO BE P-03 UNLESS NOTED OTHERWISE.

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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OFFICE CONTACT: **BRIAN SHEEHAN**
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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Roof Plan



SCALE
1/4" = 1'-0"

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BS

CHECKED BY

ISSUED FOR
Rezonig

DATE

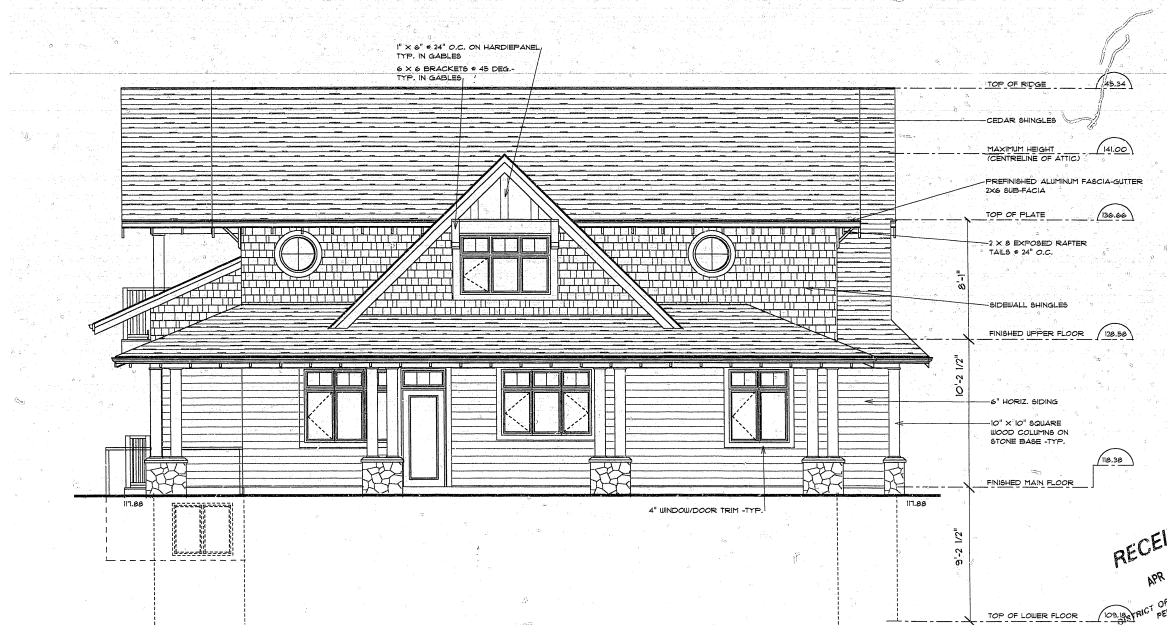
ISSUE DATE DESCRIPTION

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RIGHT ELEVATION - North Elevation



LEFT ELEVATION - South Elevation

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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Elevations

SCALE
1/4" = 1'-0"

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DATE

ISSUE DATE DESCRIPTION

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SITE ADDRESS:
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WEST VANCOUVER, BC

Existing House Basement Floorplan



SCALE
1/4" = 1'-0"

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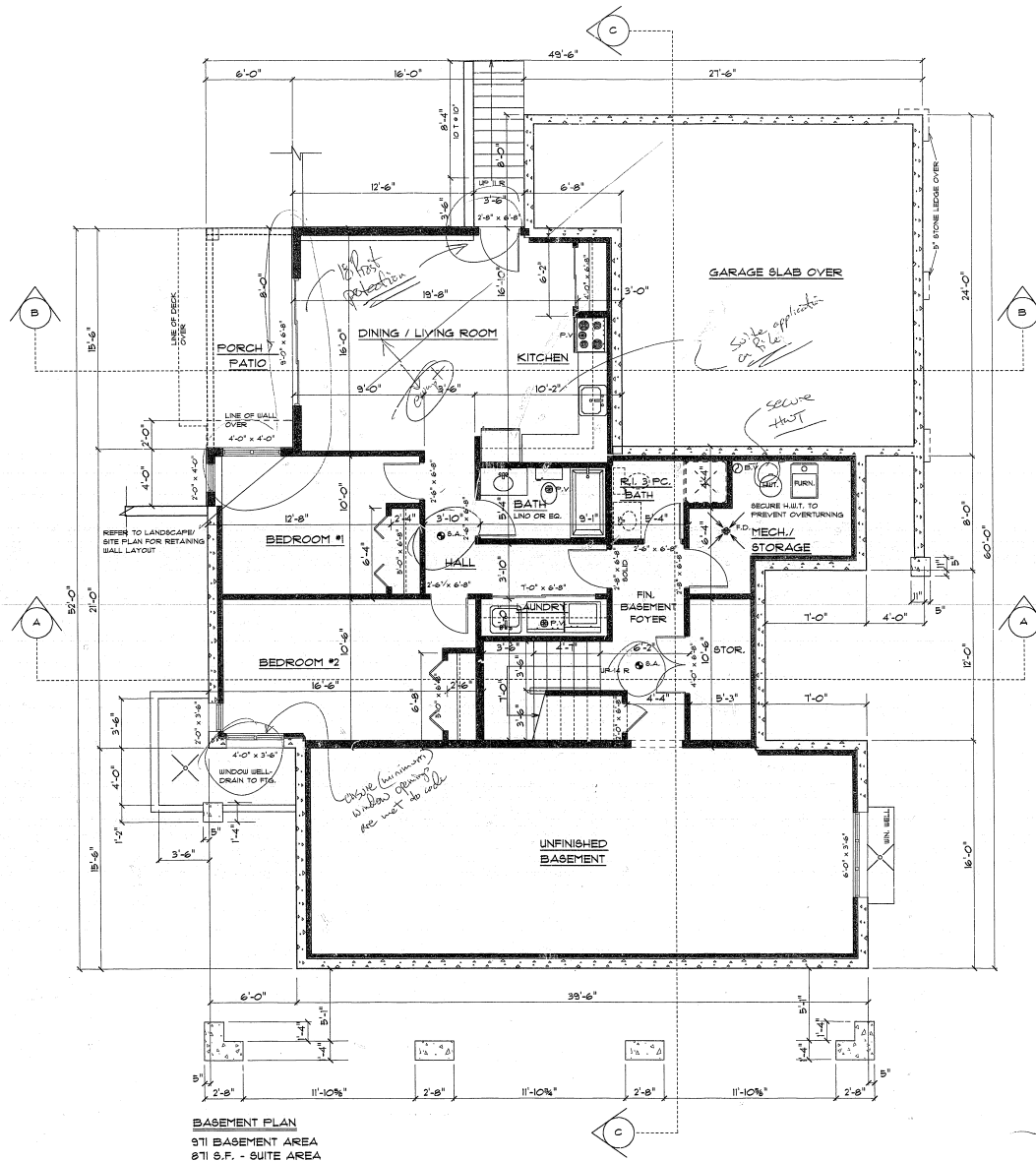
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Rezoning

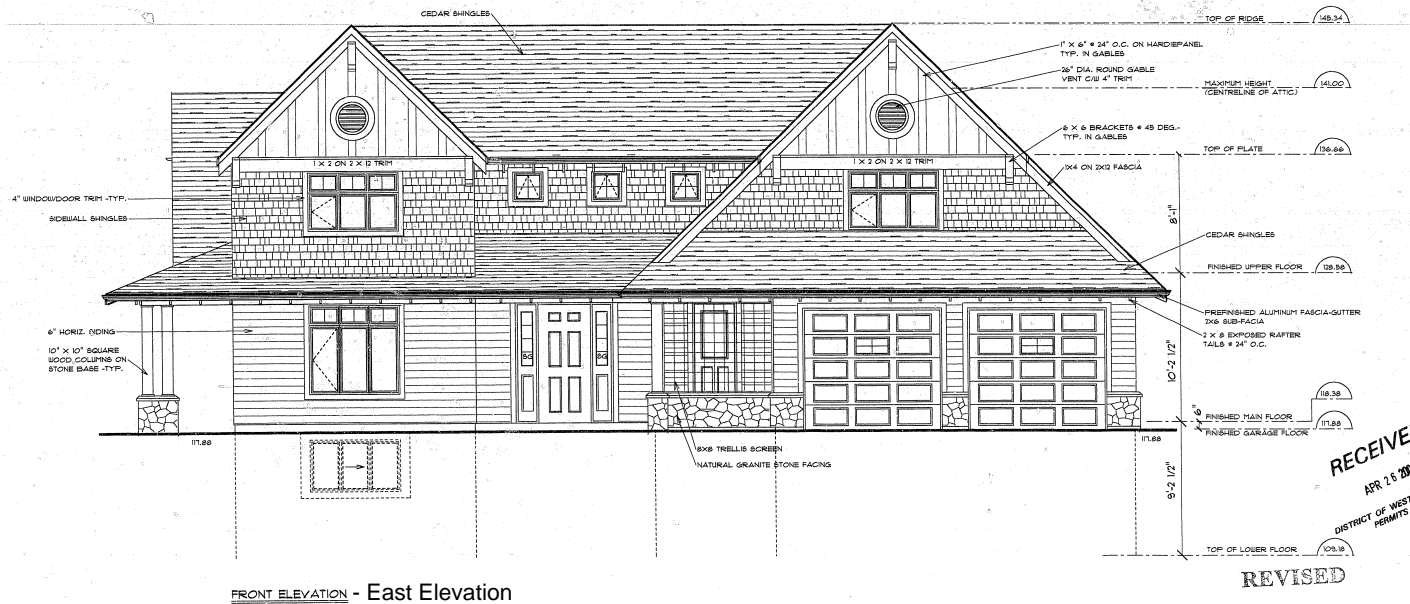
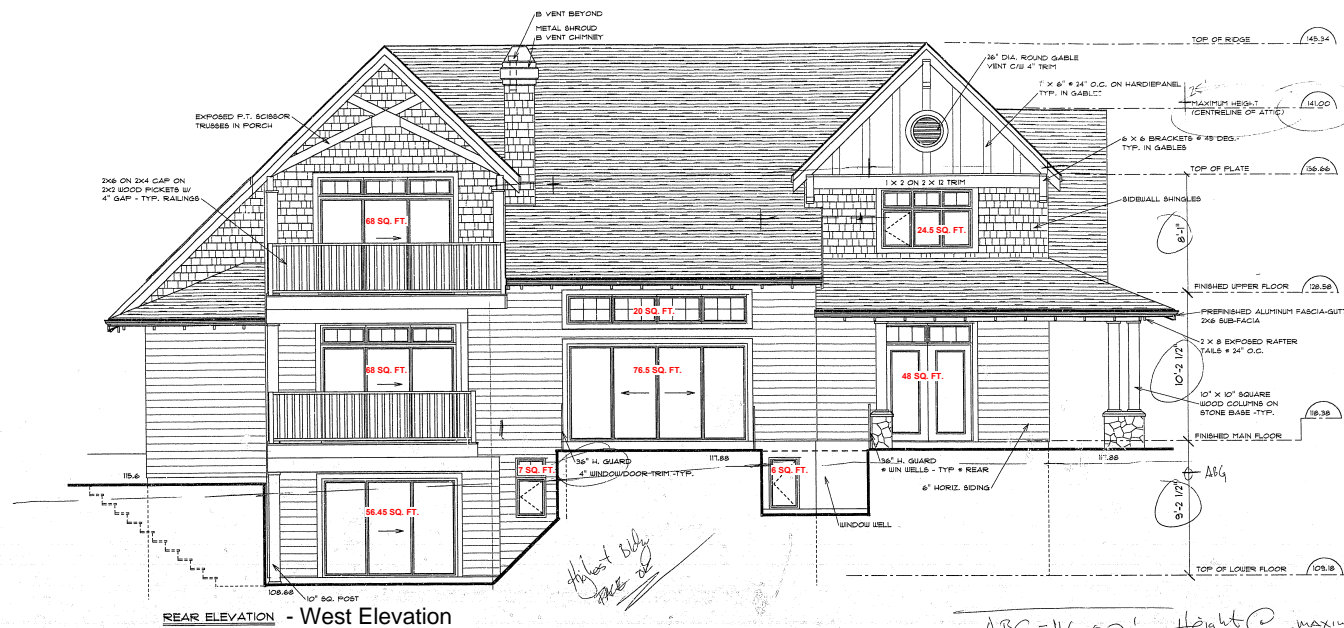
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A10





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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Elevations

SCALE
1/4" = 1'-0"

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ISSUED FOR Rezoning	DATE
ISSUE DATE	DESCRIPTION
SHEET NUMBER A11	

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
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SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Main Floorplan

 SCALE
1/4" = 1'-0"

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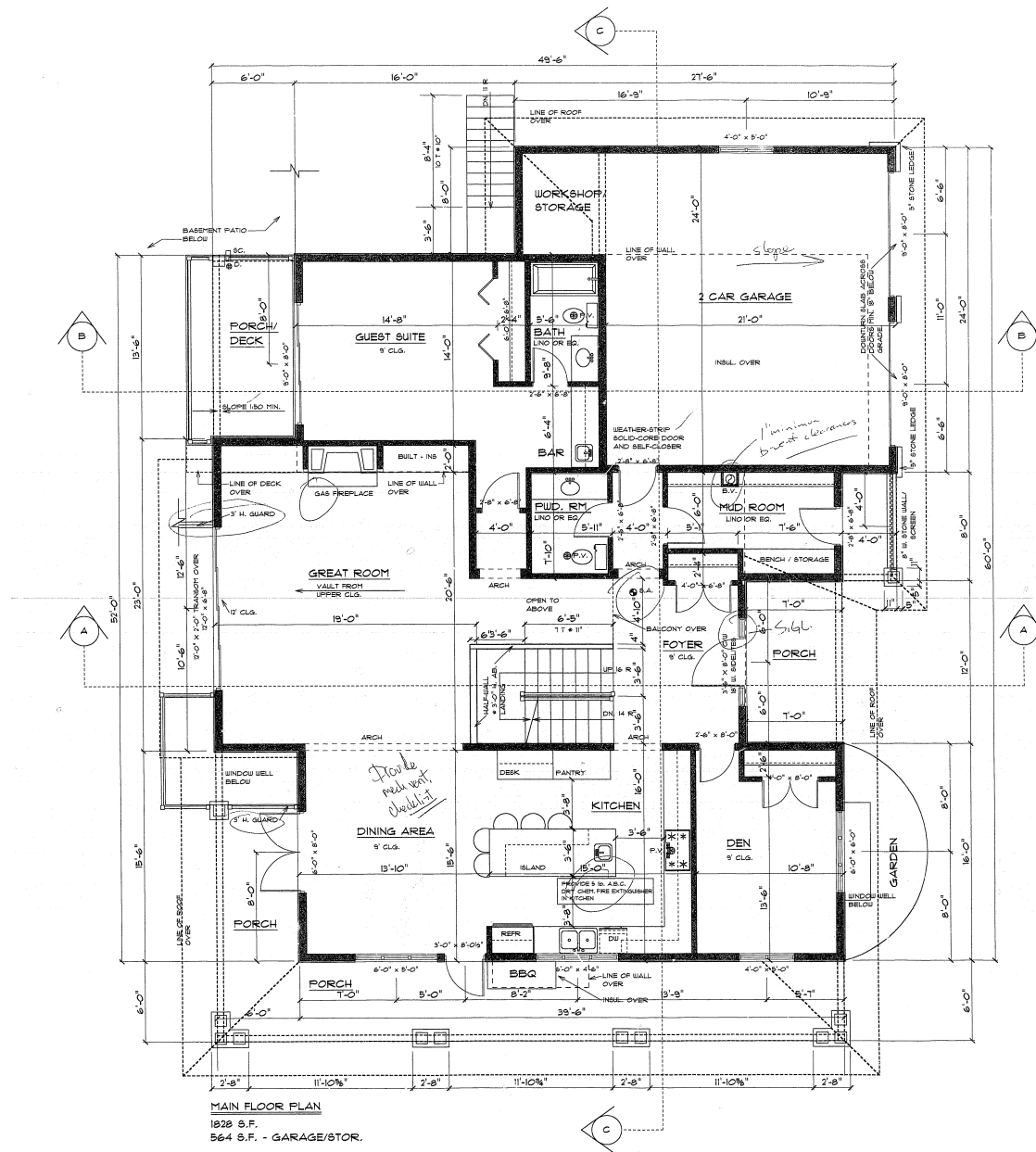
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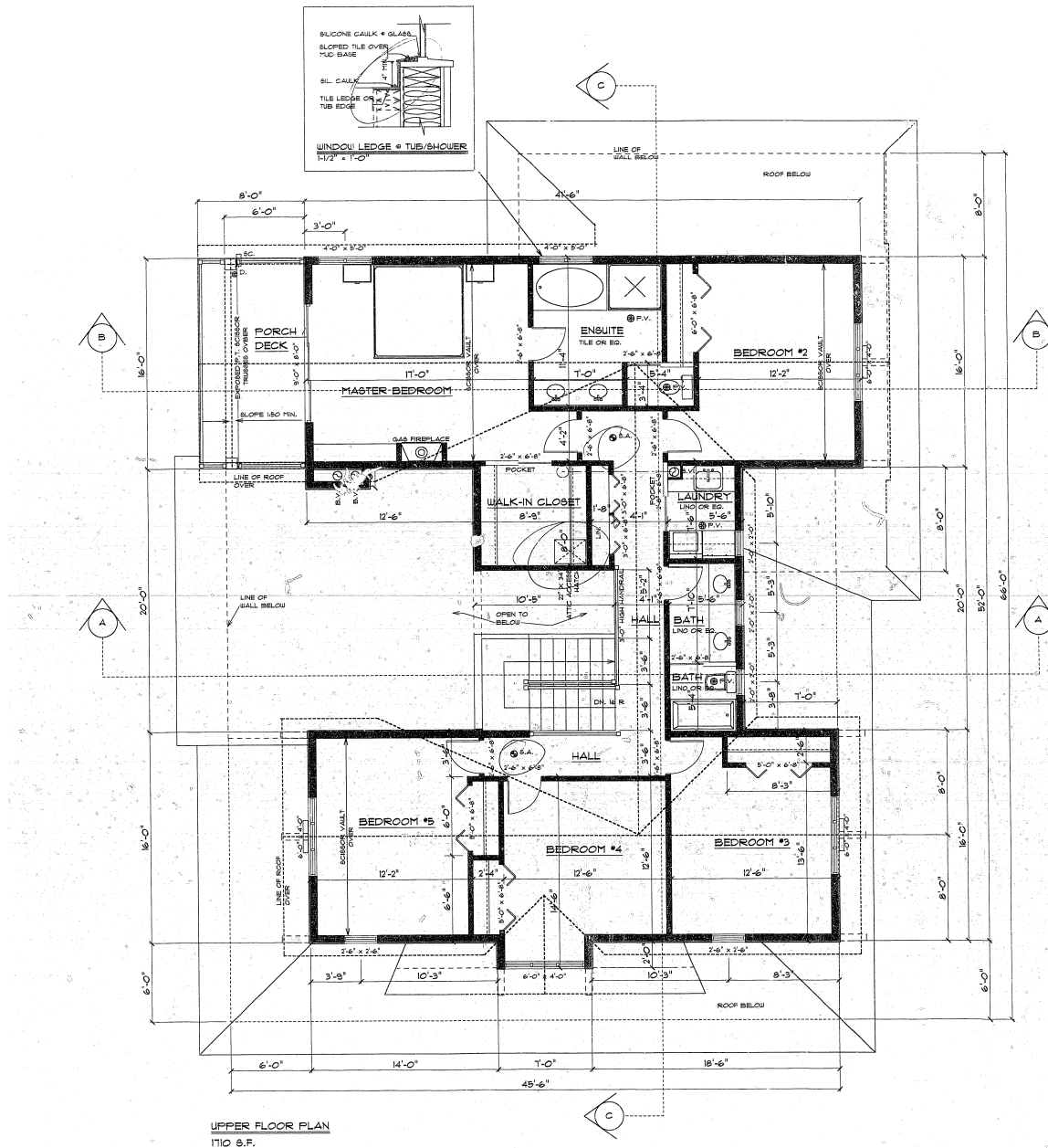
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Dickson Project

SITE ADDRESS:
325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Upper Floorplan

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

ISSUED FOR
Rezoning

DATE

ISSUE DATE

DESCRIPTION

SHEET NUMBER

A13

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District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5081, 2023
(325 Keith Road)**

Effective Date:

District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5081, 2023**

Table of Contents

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Part 2	Severability	1
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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023

A bylaw to amend subdivision standards within the RS3 zone to facilitate an infill subdivision at 325 Keith Road

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5028, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, and 5201.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an infill subdivision at 325 Keith Road;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023.

Part 2 Severability

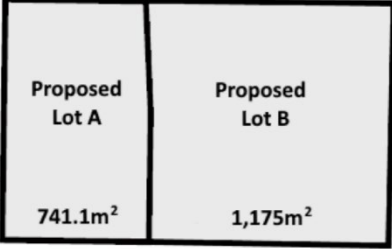
- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Zoning Bylaw Amendments

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 203 (RS3 Single Family Dwelling Zone 3) is hereby amended by adding the following new section immediately after existing Section 203.12:

“203.13 Alternative zoning standards

- (1) Notwithstanding sections 203.03, 203.04, and 203.05 for the Land legally known as LOT 1 SOUTH EAST 1/4 OF DISTRICT LOT 1043 PLAN 8777 at 325 Keith Road as shown in the map below, for the purposes of an infill subdivision, the following shall apply:

Lots created by subdivision of 325 Keith Road	Minimum site area (square metres)	Maximum floor area ratio		
Lot A fronting Keith Road	741.1m ²	0.184		
Lot B fronting 3rd Street	1,175m ²	0.35		

READ A FIRST TIME on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by the Ministry of Transportation and Infrastructure, in accordance
with section 52 (3) (a) of the *Transportation Act* on

ADOPTED by the Council on

Mayor

Corporate Officer

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Preliminary Public Information Meeting Summary – 325 Keith Road

Record “Preliminary development information meeting” held Nov 27, 2019, Regarding Rezoning and Subdivision of 325 Keith Road.

Ten neighbours attended the meeting. A sign in sheet showing names and address was available.

In addition, the applicant team Bill Chapman, Barbara Dickson, and Richard Dickson were present. The ten neighbours represented eight properties including all the immediate properties. Erik Wilhelm, Senior Community Planner was unable to attend due to a scheduling conflict.

The meeting started at 5:30pm and ended at 7:30pm, most attendees left at approximately 8pm.

Comments:

A review of the process prior to the meeting and after was presented as well as a review of the letter circulated to the neighbours dated November 13 2019, which included the process and feedback regarding previous concerns or questions. Including:

That it was a rezoning / subdivision proposal and not a stratification proposal.

That rezoning is based on a case-by-case basis and does not apply to the whole area. Attendees were pleased to know that anyone wanting to make a similar application would be required to meet all the municipal requirements.

That the proposal does not include the building of any additional structures, only the straightening of the current coach house driveway. All attendees agreed that they liked the way the coach house was added and appreciated the properties current appearance, which would not change.

That upon subdivision the main house suite would be eligible to be recommissioned however there were no immediate plans to do so as the main house is best rented as a whole rather than two tenants (and recommissioning requires the suite to be compliant with current standards resulting in significant costs).

General topics raised/ discussed:

Cost to the property owner to make application to municipality was discussed and answered.

A neighbour asked if the planned Brothers Creek Keith bridge replacement may affect the realignment of Keith Road at the front of the property. It was thought that Keith would likely not be able to be realigned as Brothers Creek washout had required Keith to be realigned south many years ago.

Attendees advised they had no objections and supported the proposal. Attendees were asked if they had heard any concerns or objections from any other neighbours and they indicated they had not.

They were particularly supportive as there would not be any significant changes to the existing property.

Submitted by
Richard S Dickson (Owner/Applicant)

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Feb 6 2023

Regarding my application for a Rezoning/Subdivision of 325 Keith Rd. West Vancouver.

It is my understanding that this council wishes to approach densification in a proactive manner. You may wish to use my experience as an example, of how it works now, and how it may be improved.

This application was submitted April 2019. We are now approaching April 2023, 4 years later. For my part I put my application on hold for 7 months hoping the CAC calculations would change as a result of the neighbourhood committee report. Unfortunately the council at that time did not support the committees recommendations regarding CAC procedures.

I have spent approximately \$40,000 to date including almost \$20,000 for the CAC consultants.

To complete my rezoning / Subdivision it has been estimated that it will cost approximately \$400,000, in addition to the \$40,000 I have spent to-date, plus the currently agreed CAC amount of \$175,125.

Therefore, in order to subdivide my property, making no property changes, only adding separate utilities for the coach house, it will cost a minimum of \$615,000.

I request, council reconsider the current CAC amount assessed for my application, in order to facilitate council's desire to increase single family property density, which would make this process more financially feasible for myself and others.

Respectfully submitted by:

Rick [REDACTED] s. 22(1) Dickson.
[REDACTED] s. 22(1)
West Vancouver

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From: s. 22(1)
Sent: Monday, March 13, 2023 6:19 PM
To: correspondence
Cc: Sharon Thompson; +plambur@westvancouver.ca; +ngamboli@westvancouver.ca; +ccassidy@westvancouver.ca; +masager@westvancouver.ca; +lwatt@westvancouver.ca; +ssnider@westvancouver.ca
Subject: Proposed zoning amendment for 325 Keith Road

CAUTION: This email originated from outside the organization from email address s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council Members,

I write in favour of the proposed zoning amendment for 325 Keith Road. Having received an earlier invitation by mail to learn more from the owners of the subject land and in meeting them, I see that these thoughtful long-time residents of the District are contributing to a worthwhile project that looks to the future. I commend them for their efforts and wish that a speedy and reasonable passage forward is granted in adopting the proposed zoning amendments by Council.

Regards,

--

s. 22(1)

West Vancouver, BC s. 22(1)

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From: Rick Dickson [REDACTED] s. 22(1)
Sent: Tuesday, March 21, 2023 10:05 AM
To: Mark Sager <mark@westvancouver.ca>; Christine Cassidy <ccassidy@westvancouver.ca>; Nora Gambioli <ngambioli@westvancouver.ca>; Peter Lambur <plambur@westvancouver.ca>; Scott Snider <ssnider@westvancouver.ca>; Sharon Thompson <sthompson@westvancouver.ca>; Linda Watt <lwatt@westvancouver.ca>
Subject: #25 Keith Road-Rezoning Application

CAUTION: This email originated from outside the organization from email address [REDACTED] s. 22(1). Do not click links or open attachments unless you validate the sender and know the content is safe. If you believe this e-mail is suspicious, please report it to IT by marking it as SPAM.

Dear Mayor and Council members

I am following up from the Feb 6 Council meeting, by attaching a short letter plus three invoices as discussed and requested, in preparation for the March 27 Public Hearing.

Please do not hesitate to contact me should you have any questions or require any additional information.

Regards
Rick Dickson

March 21 2023

West Vancouver Mayor and Council

RE: Rezoning Application – 325 Keith Road, West Vancouver

Dear Mayor and Council Members

I am following up from the February 6, 2023 meeting in preparation for the Public Hearing scheduled for March 27, 2023.

Background:

I have lived on the property since 1947. I purchased the property in the early 1990's when my parents, then in their eighties, moved to an apartment.

I built the main house in 2002 for my family which included a separate suite for the future use of s.22(1)

In 2016 s.22(1) I completed the coach house which we live in now. I have since been renting out the main house.

My primary reason for subdividing the property is not for profit making. Instead, subdividing the two homes on the property will provide me with some options to serve my family and settle my estate.

I am approaching 80, s.22(1) younger than me. When I die, the estate will be settled, allowing s.22(1) to stay in the coach house. Then the main house may be sold with proceeds going to my estate.

Rezoning application:

I understand my application is appropriate and supportable based on relevant OCP policy.

I am very grateful for our neighbours support of this application.

The most challenging aspect of this application has been the determination of the CAC.

It is my understanding that there is currently only one way to calculate a CAC. The current method may be applicable to rezoning for new or added development which may increase the value of the property.

My application does not include any new development or added structures. I have agreed to a covenant which restricts the square footage so the coach house will remain as is.

I have paid \$19,995.94 for the CAC consultants report which attempted to determine the CAC, I have attached the invoices as requested. The total cost to-date of my rezoning application is \$ 40,316.42 plus the subdivision costs estimated at \$ 256,716.00. (CAC not included)

I am not trying to be unreasonable, only to be treated equitably given my unique circumstances. I am seeking flexibility in the future for myself and family.

It is my request and hope that council will consider, my rather unique circumstances, and consider significantly decreasing the prescribed CAC amount.

Please do not hesitate to contact me to discuss any details, I would be happy to show you the property.

You may prefer my surveyor Bill Chapman who would be happy to walk the site with you. You can contact Bill at 604-328-4616

Respectfully submitted,
s. 22(1)

Rick Dickson
s. 22(1)

westvancouver

District of West Vancouver

750 17th St, West Vancouver, BC V7V 3T3

p: 604-925-7082 | f: 604-925-5981

e: accountsreceivable@westvancouver.ca

Invoice



Customer # 11228

BILL TO

Chapman Land Surveying Ltd.
107 - 100 PARK ROYAL SOUTH
WEST VANCOUVER BC V7T 1A2

DATE INVOICE NO.
21/03/10 29845

Due Upon Receipt

Remark	Amount
Coriolis Consulting #21022	795.00
GST-Coriolis Consulting #21022	39.75
Admin Fee 20%	159.00
325 Keith Road - CAC Analysis	
SUB-TOTAL	993.75
GST # R121453963	7.95
PST	
TOTAL	1,001.70

2% Finance charges applied on invoices over 30 days old.

Payment Options:

Pay by E-Transfer to accountsreceivable@westvancouver.ca

Pay by cheque (mail or drop off at Municipal Hall Drop-Box at 750-17th St, West Vancouver)

Pay by credit card by phone at 604-925-7082

PAID BY CHQ #760
MARCH - 14 - 2021

westvancouver

District of West Vancouver

750 17th St. West Vancouver, BC V7V 3T3

p: 604-925-7082 t: 604-925-5981

e: accountsreceivable@westvancouver.ca

Invoice



Customer # 11228

BILL TO

Chapman Land Surveying Ltd.
107 - 100 PARK ROYAL SOUTH
WEST VANCOUVER BC V7T 1A2

DATE INVOICE NO.
22/02/28 31278

Due Upon Receipt

Remark	Amount
Coriolis Inv #22004	12,500.00
Admin fee 20% of \$12,500	2,500.00
SUB-TOTAL	15,000.00
GST # R121453963	750.00
PST	
TOTAL	15,750.00

2% Finance charges applied on invoices over 30 days old.

Payment Options:

Pay by E-Transfer to accountsreceivable@westvancouver.ca

Pay by cheque (mail or drop off at Municipal Hall Drop-Box at 750-17th St. West Vancouver)

Pay by credit card by phone at 604-925-7082

District of West Vancouver
750 17th St, West Vancouver, BC V7V 3T3
p: 604-925-7082 | f: 604-925-5981
e: accountsreceivable@westvancouver.ca

Statement Number 47697
Account 11228
Date 23/01/31
Page Number: 1

Billing Address:

Chapman Land Surveying Ltd.
107 - 100 PARK ROYAL SOUTH
WEST VANCOUVER BC V7T 1A2

Payment Terms:
Due Upon Receipt

Document Type	Inv. No.	Inv Date	Remark	Previous Balance	New Invoices	Payments Received	Outstanding Balance
Invoice	32537	22/11/30	Coriolis Consulting #22188	3,177.39			3,177.39
Finance Charge	32582	22/12/31	Finance Charge	1.66			1.66
Finance Charge	32718	23/01/31	Finance Charge		65.19		65.19
				3,179.05	65.19	.00	3,244.24

ACCOUNT AGING

Future	Current	31 - 60	61 - 90	91 - 120	121 - 999	Over 999
	65.19	1.66	3,177.39			

Please Pay

Payment Options:

- E-Transfer accountsreceivable@westvancouver.ca
- Cheque (Mail or drop off at Municipal Hall 750-17th St, West Vancouver)
- Pay by credit card at 604-925-7082

3,302.74
PAID BY VISA

received at the March 27, 2023 public hearing

Richard Dickson 325 Keith Road

Good Evening Mayor and Council

I am here tonight with [REDACTED] s. 22(1) and my land surveyor Bill Chapman.

I appreciate my application is being considered at this Public Hearing.
I understand that staff have indicated my application is appropriate and supportable based on relevant OCP policy.

I wish to take a little time to address the assessed CAC attached to my application.

In order to have a rezoning application considered by Council, an applicant must follow the procedures set out by policy and staff. As a result I agreed to a CAC amount of \$175,125 which was determined by the existing formula, prior to submitting my application to Council.

The CAC consultant provided by the District and paid for by the applicant must follow a prescribed formula that determines the profit a developer can make as a result of the rezoning of the property. The formula takes into account cost such as construction, financing, servicing, taxation, carrying costs, realtor commissions, etc. in other words all the expenses a normal developer would incur.

Unlike the Taylor Way and Clyde Avenue development application that was recently considered by Council, my home owner application is significantly different.

Why do I want to subdivide something I already have?

The value of the property once subdivided is similar to the value of the property not subdivided.

The increase value may be up to \$300,000, the cost to subdivide is \$297,032 therefore a possible profit of \$2,968, excluding any contingencies and CAC

Then why do I want to do it?

For future flexibility for myself, family, and my estate.

The guidelines specify that applicants may be responsible for **up to** 75% of the determined increased value. I agreed, in order to have the opportunity to explain the unique nature of my application.

I understand this application is the first of it's kind.
This property is not being changed in any way with the exception of adding utilities.

I respectfully request Council evaluate the unique aspects of my application and amend the CAC , to the lowest permitted amount.

I wish to thank everyone that have assisted in my application and neighbours for their support, particularly Tom Sullivan who tragically died Feb 28 while going to help a neighbour.

Thank you

Rick Dickson