District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5455, 2026

(6384 Bruce Street)

Effective Date:

LGDM-546724895-25938

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5455, 2026

Table of Contents

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5455, 2026

A bylaw to rezone property at 6384 Bruce Street for a mixed-use building with a daycare and stacked townhouses.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5455, 2026.

Part 2 Severability

2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds the CD90 Zone and Rezones the Site

3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones) is hereby amended by adding Section 690 as the CD90 – Comprehensive Development Zone 90 (6384 Bruce Street), as set out in **Schedule A** attached to this bylaw.

3.2 The Lands shown shaded on the map attached as **Schedule B** to this bylaw are rezoned from RD2 (Duplex Dwelling Zone 2) to Comprehensive Development Zone 90 (6384 Bruce Street), as set out in **Schedule A** attached to this bylaw.

Part 4 Amends the Table of Contents

4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly.

Part 5 Amends the Zoning Maps

5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2 Zoning Maps is hereby amended by changing the zoning on the Lands as shown shaded on the map in Schedule B attached to this bylaw:

From: RD2 – Duplex Dwelling Zone 2

To: CD90 – Comprehensive Development Zone 90 (6384 Bruce Street)

Schedules

Schedule A – CD90 - Comprehensive Development Zone 90 (6384 Bruce Street)
Schedule B – Amendment to Zoning Maps

PUBLICATION OF NOTICE OF CONSIDERATION on May 27 and June 3, 2026

READ A FIRST TIME on June 8, 2026

READ A SECOND TIME on June 8, 2026

READ A THIRD TIME on June 8, 2026

APPROVED by the Ministry of Transportation and Transit on June 9, 2026

ADOPTED by the Council on [Date].

_____
Mayor

_____
Corporate Officer

Schedule A – CD90 – Comprehensive Development Zone 90 (6384 Bruce Street)

690 CD90 (6384 Bruce Street)

AMENDING BYLAW

SECTION REGULATION

690.01 Permitted Uses

(1) accessory buildings, structures and uses
(2) child care
(3) community care
(4) townhouses

690.02 Floor Area Ratio

(1) Maximum: 1.2 FAR

690.03 Setbacks

(1) Bruce Street (Front): 1.4 m
(2) Lane (Rear): 12 m
(3) East (Side): 1.5 m
(4) West (Side): 1.7 m

690.04 Building Height

(1) Maximum: 11.5 metres
(2) For clarity, elevator overruns and exterior mechanical equipment are excluded from building height.

690.05 Number of Storeys

(1) Maximum: 3

690.06 Site Coverage

(1) Maximum: 40%

690.07 Off-Street Parking

(1) Minimum of:

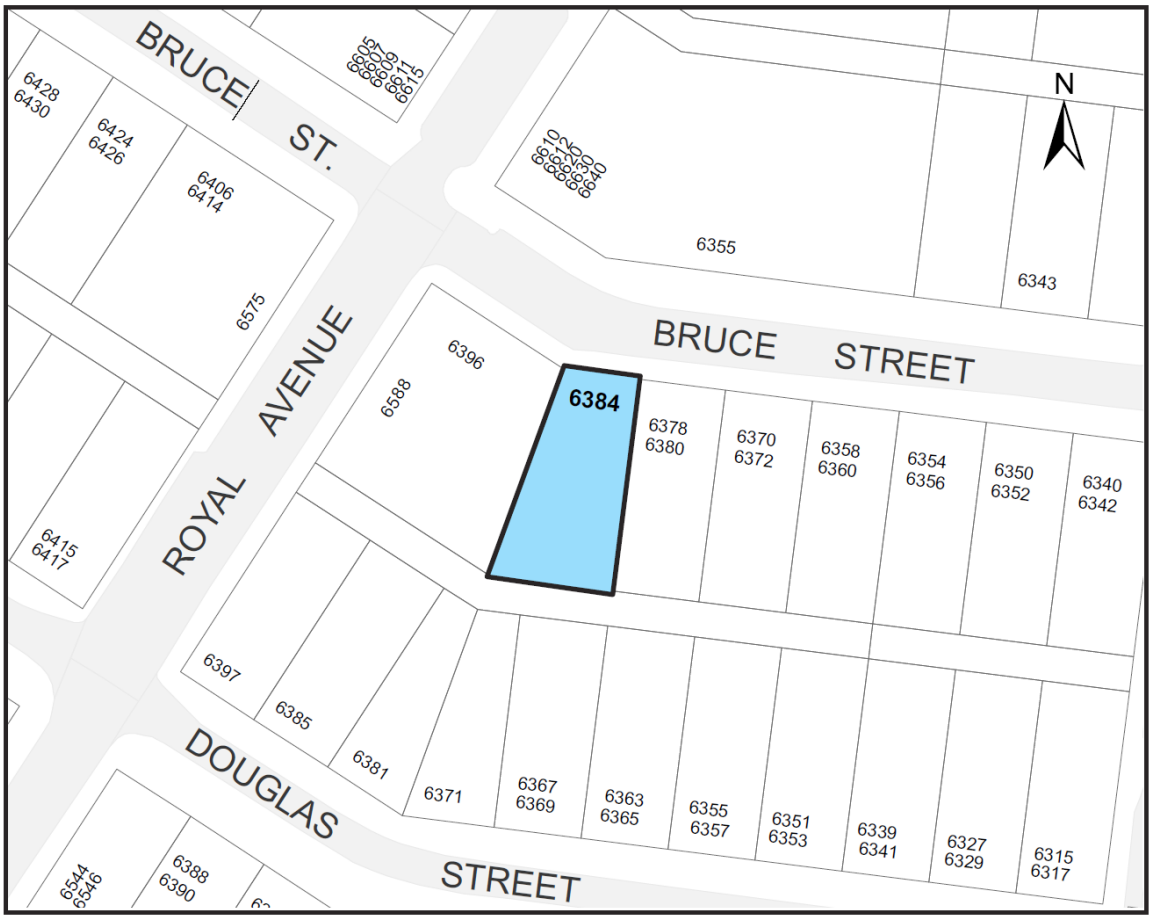
(a) Child care: 4 spaces

(b) Townhouses: 4 spaces

Schedule B – Amendment to Zoning Maps

Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

Sketch plan showing the area to be rezoned to CD90:



LGDM-546724895-25938

District of West Vancouver
Proposed
Development Permit No. 24-075

CURRENT OWNER: SAEID ANSARI & SIMINTADJ BADR

THIS DEVELOPMENT PERMIT APPLIES TO:

CIVIC ADDRESS: 6384 BRUCE STREET

LEGAL DESCRIPTION: 014-048-990
LOT 3 BLOCK 37 DISTRICT LOT 430 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 2103
(the 'LANDS')

1.0 This Development Permit:

(a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as the Village Townhouse Development Permit Area to promote the transition between the Neighbourhood and the retail and service centre of Horseshoe Bay, subject to the General Guidelines, Sub-Area Guidelines 5.3 "Village", and the Public Realm Guidelines specified in the Official Community Plan; and

(b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

2.0 The following requirements and conditions shall apply to the Lands:

2.1 Zoning Bylaw No. 4662, 2010 is varied as generally shown in **Schedule A.**

2.2 Building, structures, on-site parking, driveways and site development shall take place in substantial accordance with the attached **Schedule A**.

2.3 Sprinklers must be installed in all areas as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.

2.4 On-site landscaping shall be installed at the cost of the Owner in substantial accordance with the attached **Schedule A**.

2.5 Sustainability measures and commitments shall take place in substantial accordance with the attached **Schedule A**.

2.6 All balconies decks and patios are to remain fully open and unenclosed and the weather wall must remain intact.

3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:

3.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.

3.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.

3.3 Submit off-site frontage streetscape designs and civil plans

3.4 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.

4.0 Prior to Building Permit issuance:

4.1 Provide engineering civil drawings detailing works, including but not limited to:

(a) storm water management measures;

(b) site service connections;

(c) new boulevard plan along the frontage of the site including curbs, sidewalk and grading plan; and

(d) repaving along the frontage of the Lands,

which must be submitted for acceptance, and security provided for the due and property completion of the engineering works, all to the satisfaction of the District's Manager of Land Development.

5.0 Prior to Occupancy Permit issuance:

5.1 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

6.0 Security for Landscaping

6.1 Prior to building permit issuance, security for the due and proper completion of the landscaping set forth in section 2.0 of this Development Permit (the "Landscaping Works") shall be provided in the amount of $85,000 (the "Landscape Deposit") to the District in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union.

6.2 Release of the Landscape Deposit:

(a) Following installation of the Landscaping Works and upon receipt of a certified letter or report by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects to the District stating that:

a. the Landscaping Works have been installed substantially in accordance with Schedule A; and

b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:

i. any adjustments to retaining walls,

ii. changes to the mixture or sizes of any plant materials or trees,

iii. completion of any off-site or boulevard works,

iv. any areas that received alternative treatment,

v. any paving changes, or

vi. any other additional or omitted plantings or alterations,

together with a clear rationale and explanation thereof and stating

c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,

d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and

e. notwithstanding outstanding works in 5.2(a)(d) above, that the Landscaping Works are complete,

then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

(b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

6.3 Additional Landscape Security

(a) No occupancy shall be issued nor will any other final approvals be given for any individual building site identified as a "Parcel" on attached Schedule B, until:

a. all of the Landscaping Works are completed, or

b. the Owner provides security in addition to and separate from the Landscape Deposit, and in the amount of 110% of the value of the uncompleted Landscaping Works for that specific Parcel only (the "Additional Security Deposit") for the due and proper completion of the uncompleted or deficient Landscape Works for that specific Parcel only, as determined and certified by the consultant of record; and

c. the Additional Security Deposit will be released upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects following certification that all of the Landscaping Works on the Parcel have been completed.

7.0 This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [INSERT DATE] .

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 7.0 THIS PERMIT IS ISSUED ON [INSERT DATE] .
Council Report: COUNCIL REPORT 05 11 2026 REZONING AND DEVELOPMENT PERMIT FOR 6384 BRUCE STREET.docx

Schedules:

A. Architectural Plans
B. Landscape Plans

Schedule A to DP 24-075

6384 BRUCE STREET, WEST VANCOUVER, HORSESHOE BAY

MULTI-USE BUILDING - RESIDENTIAL & CHILDCARE FACILITY

Issued for Rezoning/ Development Permit	2024-07-05
Response to District Rezoning/ DP Initial Comments	2025-01-30
Second Response to District Rezoning / DP Comments	2025-08-06
Respose to District Rezoning / DP Comments	2026-01-21
Re-issued for Rezoning/Development Permit	2026-04-15

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Arborist
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Civil
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Email: lwansbrough@creus.ca
Tel: 604.987.9070

Traffic
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101A-1952 Kingsway Ave
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ARCHITECTS
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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
COVER PAGE & DRAWING LIST

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-08-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-issued for RZ/DP

REVISION

No.	Date	Description

Scale:

DWG. NO:
A001

Plot Date: 2026-04-15 11:46:08 AM D:\001 REVIT LOCAL FILES\1654_01_MAIN_R23_DP_6384 Bruce St Horseshoe Bay Daycare_cassandra7L54D.rvt

6384 Bruce Street, West Vancouver (Horseshoe Bay)

SITE INFORMATION

Legal Description:
Lot 3, Block 37, District Lot 430, Group 1, New Westminister District, Plan 2103. P.I.D. 014-048-990

Civic Address:
6384 Bruce Street, Horseshoe Bay, West Vancouver, BC, V7W 2G4

Zoning:
RD2 TO BE REZONED TO CD (Comprehensive Development).
(In accordance with 'Village Townhouse' Land Use Designation per West Vancouver OCP which allows Multi-family residential use, 1.2 FAR, 3-storeys height)

VARIANCES PROPOSED:
- Off-site foliage removed along south property, adjacent to parking area

Proposed Use:
Mixed-Use Commercial Childcare Facility & Residential Development (Childcare allowable per 120.28 Zoning Bylaw No 4662.)

Survey Information:
Based on survey information by Bennett Land Surveying Ltd. Dated: December 29th, 2025

Total Site Area:
6856.8 ft² (637m²)

Site Width:
43' - 1 1/2" (13.15m) (Per zoning bylaw #5122, section 120.25(1))

DEVELOPMENT INFORMATION

Floor Area Proposed:
7,656.15ft² (711.28 m²) (Refer to Net Floor Areas table and Floor Area Plans with corresponding areas)

Floor Area Ratio Proposed:
7,736.28 ft² / 6856.8 ft² = **1.13**

Site Coverage Proposed:
Projected Area: 2,727.75 ft² (253.41 m²)
Site Coverage: 2,727.75 ft² / 6856.8 ft² = 0.397 or 39.7%

Setbacks Proposed:
Front Yard (North): 4'-9 3/4" (1.47m)
Rear (South): 40'-9" (12.42m)
Side (East): 5'-1" (1.55m)
Side (West): 5'-10" (1.78m)

Building Height Proposed:
3 Storeys: 36'-11" (11.25 m) Height from Average Grade Calculation to the highest point of building (Top roof parapet)

Rental Unit Matrix Proposed:

Unit 101:	1 Bed + Den + 1 Bath	886.98 ft² (82.40 m²)
Unit 102:	3 Bed + 2 Bath	1,169.91 ft² (108.69 m²)
Unit 203:	2 Bed + 2 Bath	1,014.48 ft² (94.25 m²)
Unit 204:	3 Bed + 2 Bath	1,251.91 ft² (116.31 m²)

RESIDENTIAL UNIT COUNTS:
Total number of units = 4
- 2 x 3 bedroom units
- 1 x 2 bedroom unit
- 1 x 1 bedroom + den unit

Parking Required:
Per Zoning Bylaw No 4662, Section 300 Multiple Dwelling Zones:
Residential Units:
1 stall per Unit = **(4 stalls)**
Per Zoning Bylaw No 4662, Section 120.28 (3)(b)(i):
1 off-street parking space shall be provided for every 4 child care spaces;
Commercial Daycare (2 Groups of 8 children) = **(4 stalls)**
Per Zoning Bylaw No. 4662, Section 142.04(2):
Maximum 30% parking spaces may be designated as small car spaces.
Per Zoning Bylaw No. 4662, Section 142.09(1):
1 Space for persons with disabilities for 10-75 required parking stalls

Parking Proposed:
Residential Units:
3 Regular Stalls
1 Small Car (25% of total residential parking)
Total Residential Stalls Provided = **4**
Daycare:
3 Regular Stalls
1 Small Car (25% of total daycare parking)
Total Daycare Stalls Provided = **4**

Total Small cars provided: 2 qty. = 25% (No Variance proposed)
No Disabled parking proposed (not required where under 10 stalls provided)

Net Floor Area Table

Name	Area (ft2)	Area (m2)	Comments
Daycare	2046.75	190.15	
Daycare Storage	97.29	9.04	
Elec. Room	118.35	11.00	
Exterior - Roof cover	80.14	7.45	North Balcony overhang above more than 1.2m from exterior wall (therefore included to area)
Outdoor Patio - Enclosed	443.86	41.24	Exterior area with more than 85% of perimeter enclosed by privacy screen (therefore included to area)
Outdoor Patio - Roof cover	102.02	9.48	South Balcony/ building overhang above more than 1.2m from exterior wall (therefore included to area)
Level 1 Area total:	2888.42	268.34	
Level 2 - Unit 101	886.96	82.40	
Level 2 - Unit 102	1169.91	108.69	
Level 2 - Unit 203	87.69	8.15	
Level 2 - Unit 204	110.76	10.29	
Mech. Closet	52.43	4.87	
Unit 101 Covered Balcony	80.14	7.45	North Balcony overhang above more than 1.2m from exterior wall (therefore included to area)
Unit 102 Deck	113.39	10.53	South Deck overhang above more than 1.2m from exterior wall (therefore included to area)
Level 2 Area total:	2501.32	232.38	
Level 3 - Unit 203	1014.48	94.25	
Level 3 - Unit 204	1251.91	116.31	
Unit 203 Covered Balcony	80.16	7.45	North roof overhang more than 1.2m from exterior wall (therefore included to area)
Level 3 Area total:	2346.55	218.00	
Total Gross Floor Area	7736.28	718.72	

Note: Secure bicycle room is excluded from Total Gross Floor Area calculations.
Refer to Floor Area Plans for corresponding areas shown on the table above.

Secure Bicycle Parking Required:
1.5 per dwelling (Townhouse or Apartment)
0.3 per 100 m² (Commercial)

1.5 spaces x 4 units = 6 spaces
0.3 per 100 m² x 2 = 0.6 or 1 space

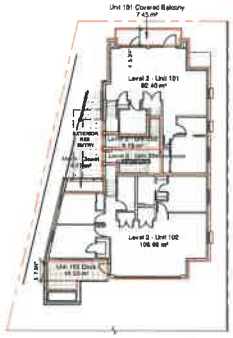
Secure Bicycle Parking Proposed:
7 spaces (6 Residential + 1 Commercial)

Short Term Bicycle Parking Required:
0.2 per dwelling (Townhouse or Apartment)
0.4 per 100 m² (Commercial)

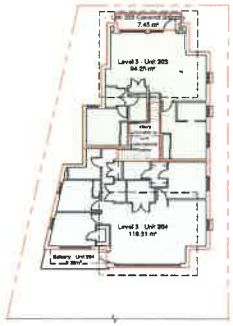
0.2 spaces x 4 units = 0.8 or 1 space
0.4 per 100 m² x 2 = 0.8 or 1 space

Short Term Bicycle Parking Proposed:
2 spaces (1 Residential + 1 Commercial)

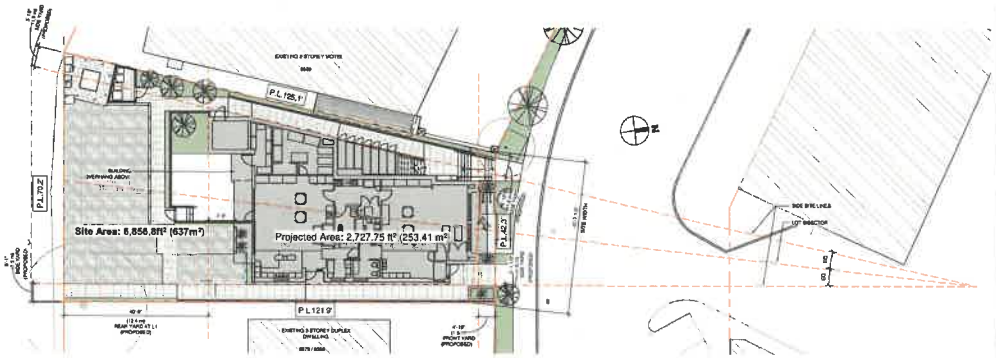
1 LEVEL 1 FLOOR AREAS
1/16" = 1'-0"



2 LEVEL 2 FLOOR AREAS
1/16" = 1'-0"



3 LEVEL 3 FLOOR AREAS
1/16" = 1'-0"



5 SITE COVERAGE, SETBACKS AND LOT SIZE INFORMATION
1/16" = 1'-0"

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
STATISTICS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to Dwelle's Rezoning/ DP Issued Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/16" = 1'-0"

DWG. NO:
A005

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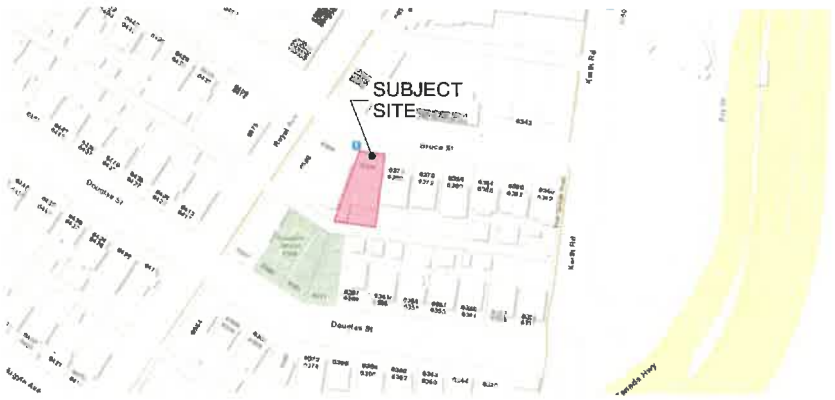
Plot Date: 2026.04.15 11:46:08 AM

Project Overview

The project proposed a 3-storey, mixed use building with a daycare on the ground level and four rental stacked townhomes above. Surface parking is located at the rear of the site directly off of the lane (similar to the neighbouring residential homes). The daycare is a 16-seat facility that will have a program for eight Infant/Toddlers and eight 3-5 year olds. The stacked townhomes consist of one 1-bedroom unit, one 2-bedroom unit and two 3-bedroom units ranging from ~885sf to 1360sf. The residential entries are located on the west side of the site off Bruce Street off an exterior stair, and the daycare entry is located on the east side of the site off Bruce Street.

The daycare takes up the entirety of the ground level and has a dedicated outdoor play area at the rear of the site. Landscape buffers are located to the screen the parking area from the daycare outdoor play area and the common walkway that wraps around the building.

The residential entry is located on the west side of the site, and individual unit front doors are access from an exterior stair, under which is located secure residential bike storage. The residential units are oriented to point north and south and feature spacious decks off the living areas.



VIEW OF SITE FROM BRUCE STREET

AERIAL VIEW OF SITE FROM BRUCE STREET

AERIAL VIEW OF SITE FROM LANEWAY

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Project:
1654
Owner: Parig Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
CONTEXT

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-07-08	Issued for Rezoning Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale: As indicated

DWG. NO: **A030**

Plot Date: 2026-04-15 11:46:08 AM
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Corridor view for the neighboring area from the corner of Royal Avenue and Bruce Street, looking southeast towards the proposed property.

BEFORE

AFTER

Corridor view from the front commercial parking lot area at Bruce Street, looking south towards the proposed property.

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Project:
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Owner: Panz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
VIEW CORRIDORS - STREET VIEW CONTEXT

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-08	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale: 6" = 1'-0"

DWG. NO: **A031**

Plot Date: 2026-04-15 11:46:09 AM D:\001 REVIT LOCAL FILES\1654_01_MAIN_R23_DP_6384 Bruce St Horseshoe Bay Daycare_cassandra7LSAD.rvt

Corridor view for the neighboring area on Bruce Street, looking southeast towards the proposed property.

BEFORE

AFTER

Corridor view for the neighboring area on Bruce Street, looking west towards the proposed property.

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Project:
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Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
VIEW CORRIDORS - STREET VIEW CONTEXT

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-20	Response to Dstrct Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
6" = 1'-0"

DWG. NO:
A032

Plot Date: 2026-04-15 11:46:09 AM
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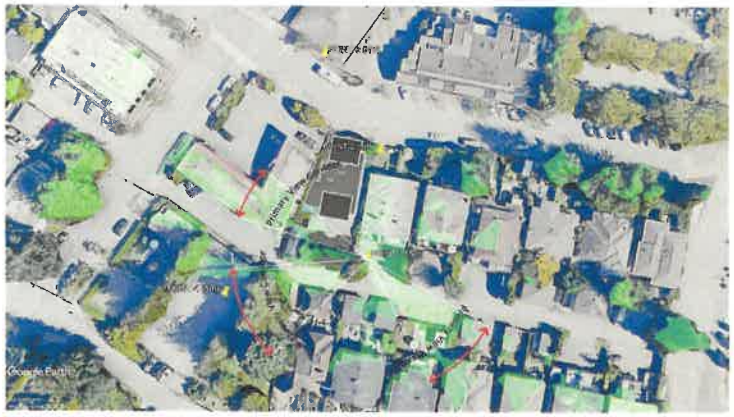
Viewshed highlights everything in your line of sight from a placemark's location (areas highlighted in green)



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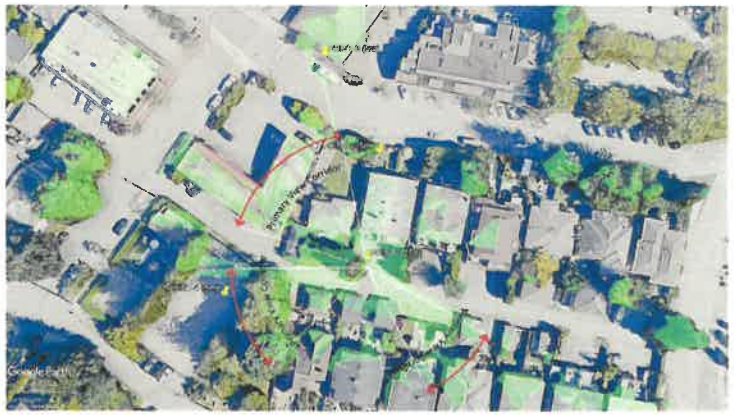

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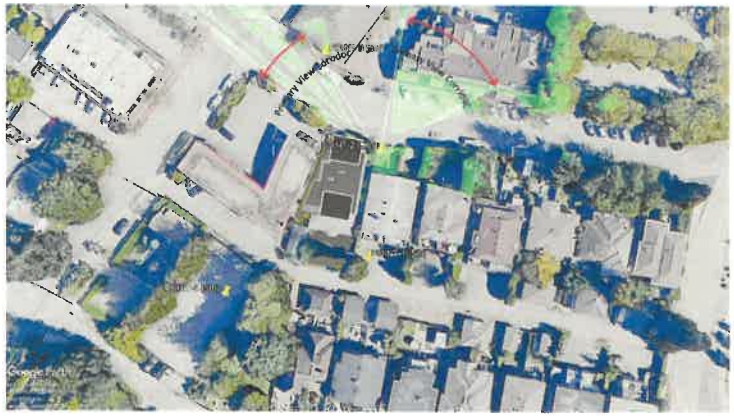

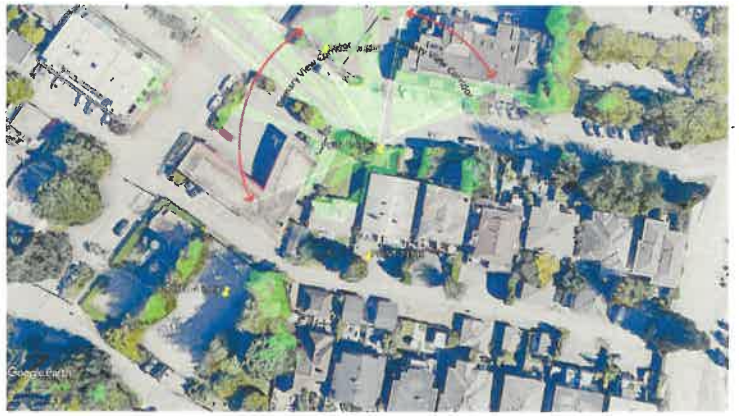

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
VIEW CORRIDORS - PLAN
VIEW ANALYSIS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
3" = 1'-0"

DWG. NO:
A033

Plot Date: 2026-04-15 11:46:11 AM
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DOUGLAS PARK AND SPORTS COURT PHOTOS

CONTEXT PLAN - AWAY PLAY SPACE PLAN (FOR 30 MONTH - SCHOOL AGE GROUP CHILD CARE)

THE FOLLOWING CONTEXT PLAN WAS INCLUDED AS PART OF OUR SUBMISSION TO VANCOUVER COASTAL HEALTH TO CONFIRM AN ALTERNATIVE OUTDOOR PLAY AREA FOR THE 30 MONTH- SCHOOL AGE CHILD CARE GROUP IS FEASIBLE AND TO DEDICATE THE ON-SITE OUTDOOR PATIO AREA FOR THE INFANT/ TODDLER CHILD CARE GROUP. (NOTE: PRELIMINARY CLEARANCE PROVIDED FOR THIS OPTION)

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Project:
1854

Owner: Parriz Development Corporation

6384 Bruce Street

6384 Bruce Street, West Vancouver

Drawing:
CONTEXT - AWAY PLAY SPACE PLAN (PARK)

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to Delmar's Rezoning/ DP Initial Comments
2025-08-08	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
As indicated

DWG. NO:
A035

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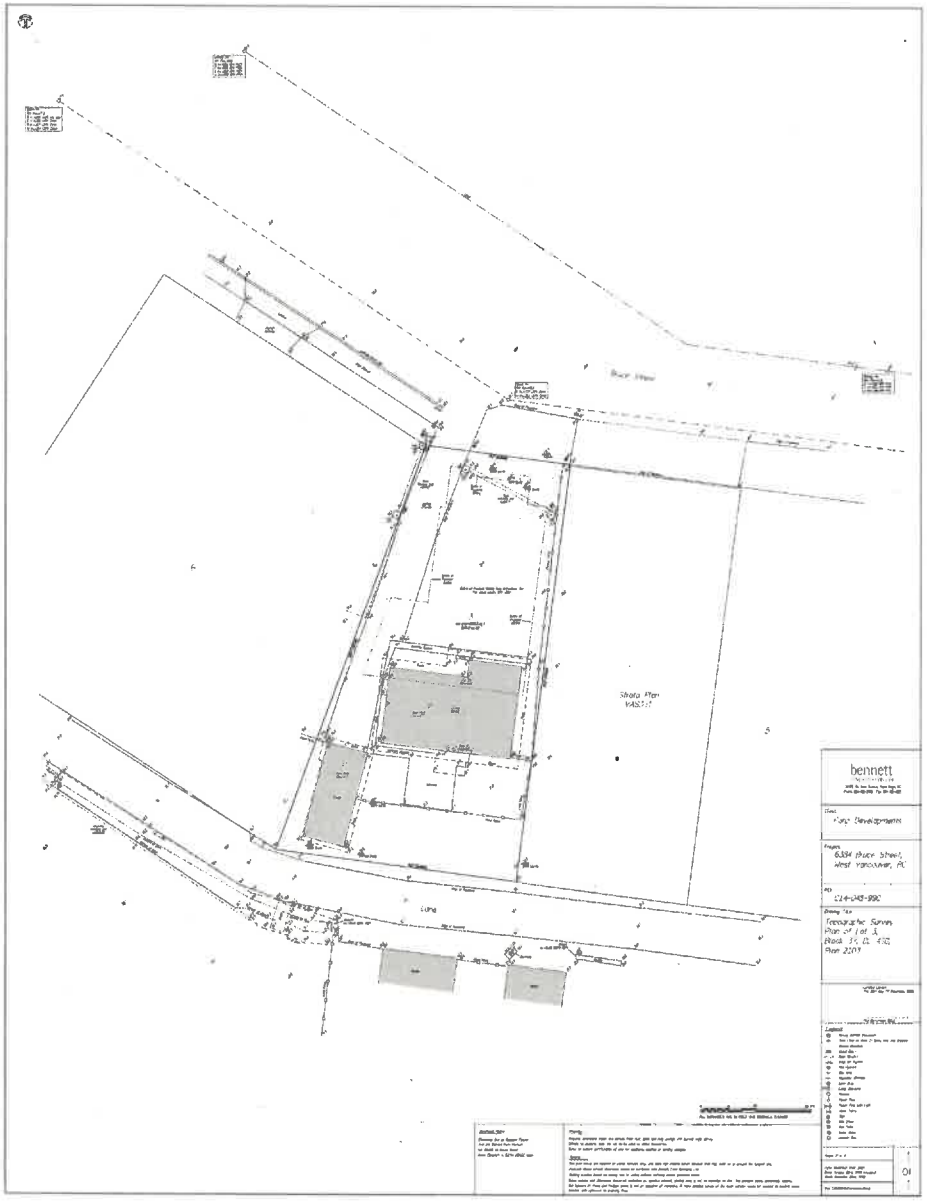

REFER TO THE ARBORIST REPORT FOR UPDATED TREE COUNT AND TREE SIZES

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Project:
1654
Owner: Parz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
SURVEY

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date	Description
2024-07-05	Issued for Rezoning/ Dev/Bpment Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-08-06	Second Response to District R/DP Comments
2026-01-21	Response to District R/DP Comments
2026-04-15	Re-Issued for R/DP

REVISION

No.	Date	Description

Scale:

DWG. NO:
A050

Plot Date: 2026-04-15 11:46:18 AM D:\001 REVIT LOCAL FILES\1654_01_MAIN_R23_DP_6384 Bruce St Horseshoe Bay-Daycare_cassandra7k5AD.rvt

1 WINTER SOLSTICS 1-30 PM

2 WINTER SOLSTICS 11-30 AM

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
OUTDOOR PLAY AREA - SUN DIAGRAMS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-08	Issued for Rezoning/ Development Permit
2025-01-30	Response to Districts Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:

DWG. NO:
A090

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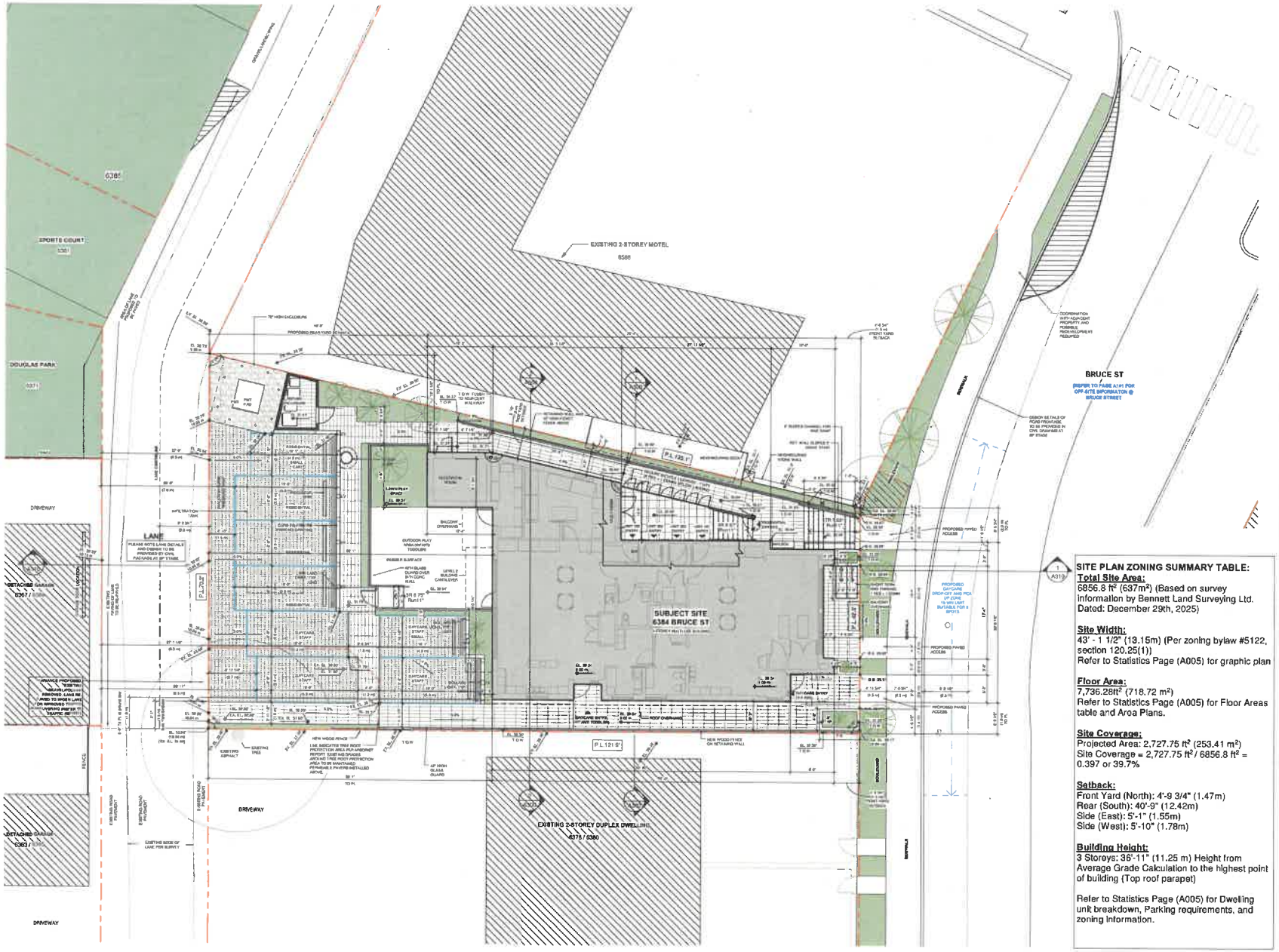

SITE PLAN ZONING SUMMARY TABLE:

Total Site Area:
6856.8 ft² (637m²) (Based on survey information by Bennett Land Surveying Ltd. Dated: December 29th, 2025)

Site Width:
43' - 1 1/2" (13.15m) (Per zoning bylaw #5122, section 120.25(1))
Refer to Statistics Page (A005) for graphic plan

Floor Area:
7,736.28ft² (718.72 m²)
Refer to Statistics Page (A005) for Floor Areas table and Area Plans.

Site Coverage:
Projected Area: 2,727.75 ft² (253.41 m²)
Site Coverage = 2,727.75 ft² / 6856.8 ft² = 0.397 or 39.7%

Setback:
Front Yard (North): 4'-9 3/4" (1.47m)
Rear (South): 40'-9" (12.42m)
Side (East): 5'-1" (1.55m)
Side (West): 5'-10" (1.78m)

Building Height:
3 Storeys: 36'-11" (11.25 m) Height from Average Grade Calculation to the highest point of building (Top roof parapet)

Refer to Statistics Page (A005) for Dwelling unit breakdown, Parking requirements, and zoning information.

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
SITE PLAN

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-08-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-issued for RZ/DP

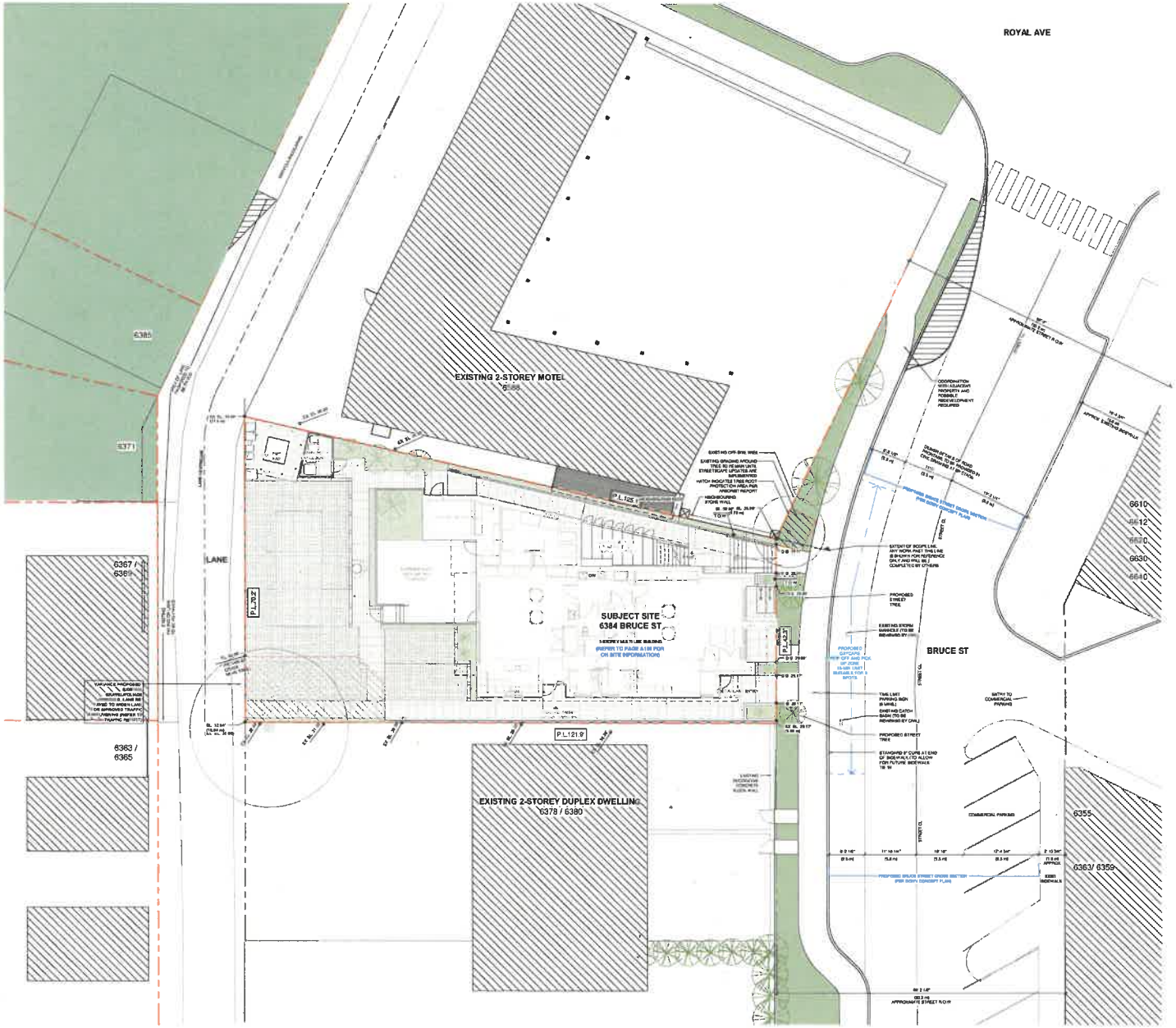
REVISION

No.	Date	Description

All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority. © Copyright Ankenman Marchand Architects. All rights reserved.

Scale:
1/8" = 1'-0"

DWG. NO:
A100



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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
STREET OFF-SITE PLAN (BRUCE ST)

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YY-1-MM-DD)	Description
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
3/32" = 1'-0"

DWG. NO:
A101

Plot Date: 2026-04-15 11:46:44 AM
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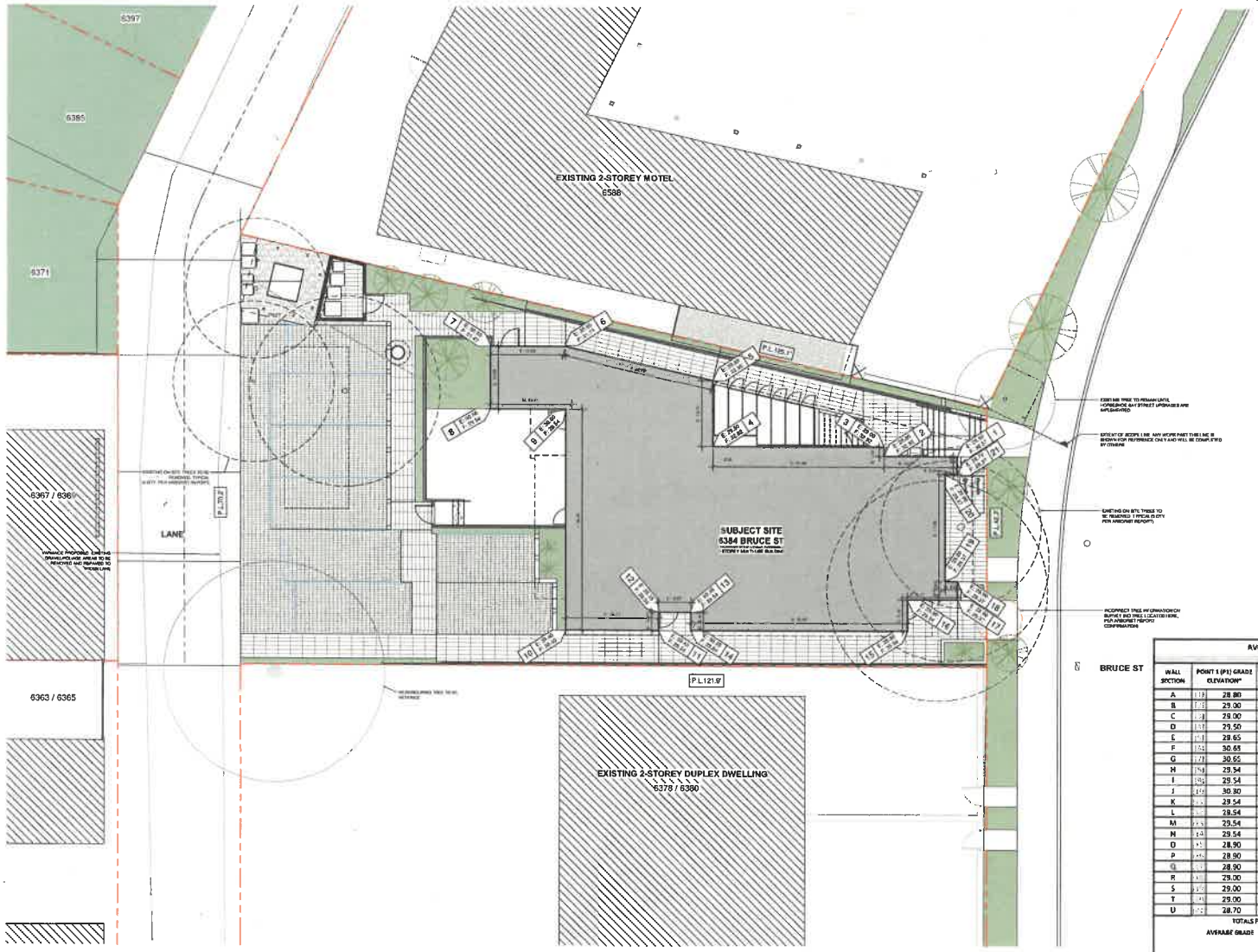

AVERAGE GRADE CALCULATION

Measurements in Imperial (ft)

WALL SECTION	POINT 1 (P1) GRADE ELEVATION*	POINT 2 (P2) GRADE ELEVATION*	AVERAGE GRADE (P1+P2)÷2	LENGTH	AVERAGE GRADE x LENGTH: "V"
A	28.80	29.00	28.90	12.00	346.80
B	29.00	29.00	29.00	1.54	44.66
C	29.00	29.50	29.25	27.96	817.83
D	29.50	29.65	29.58	10.74	317.64
E	29.65	30.65	30.15	24.74	745.91
F	30.65	30.65	30.65	12.25	375.46
G	30.65	29.54	30.10	10.29	309.68
H	29.54	29.54	29.54	12.34	362.43
I	29.54	30.30	29.92	36.03	1078.02
J	30.30	29.54	29.92	15.17	453.89
K	29.54	29.54	29.54	3.00	88.62
L	29.54	29.54	29.54	5.35	355.09
M	29.54	29.54	29.54	3.00	88.62
N	29.54	28.80	29.17	35.49	1035.24
O	28.90	28.90	28.90	5.16	149.12
P	28.90	28.90	28.90	8.17	236.11
Q	28.90	29.00	28.95	3.00	86.85
R	29.00	29.00	29.00	2.00	58.00
S	29.00	29.00	29.00	17.33	502.57
T	29.00	28.70	28.85	2.00	57.70
U	28.70	28.80	28.75	3.00	86.25
		TOTALS FOR AVERAGE GRADE CALCULATION:		250.46	7396.48

AVERAGE GRADE = TOTAL "V" ÷ TOTAL PERIMETER LENGTH

= 7396.48 ÷ 250.46

= 29.53 FT

* Metres (dm) are former of natural grade and finished grade at each gridpoint

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
SITE PLAN - AVERAGE GRADE CALCULATION & PROPOSED ON-SITE TREE REMOVAL
Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-05-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/8" = 1'-0"

DWG. NO:
A105

Plot Date: 2026-04-15 11:46:46 AM
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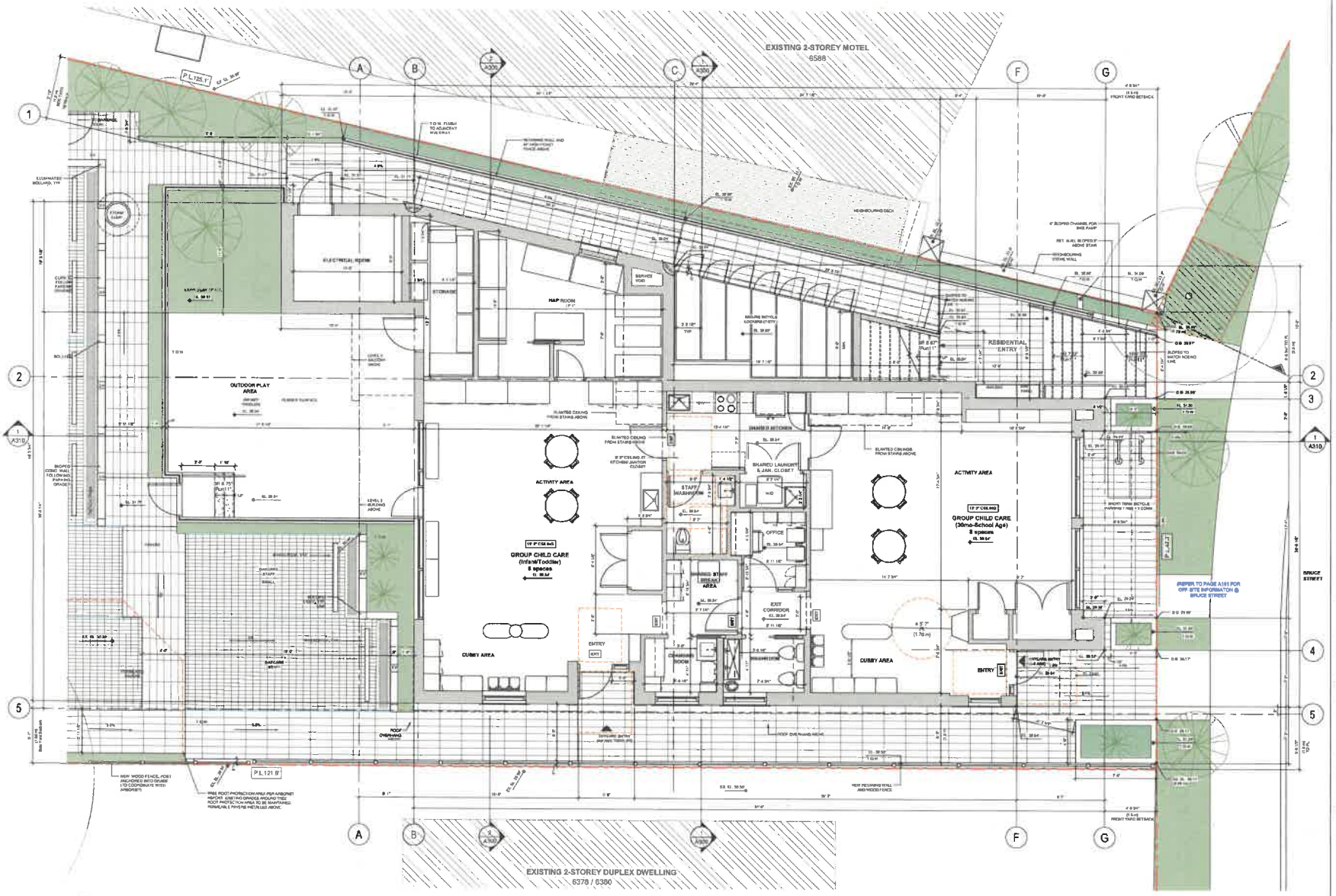

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Project:
1654

Owner: Pariz Development Corporation

6384 Bruce Street

6384 Bruce Street, West Vancouver

Drawing:
LEVEL 1 PLAN

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-08-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/4" = 1'-0"

DWG. NO:
A110

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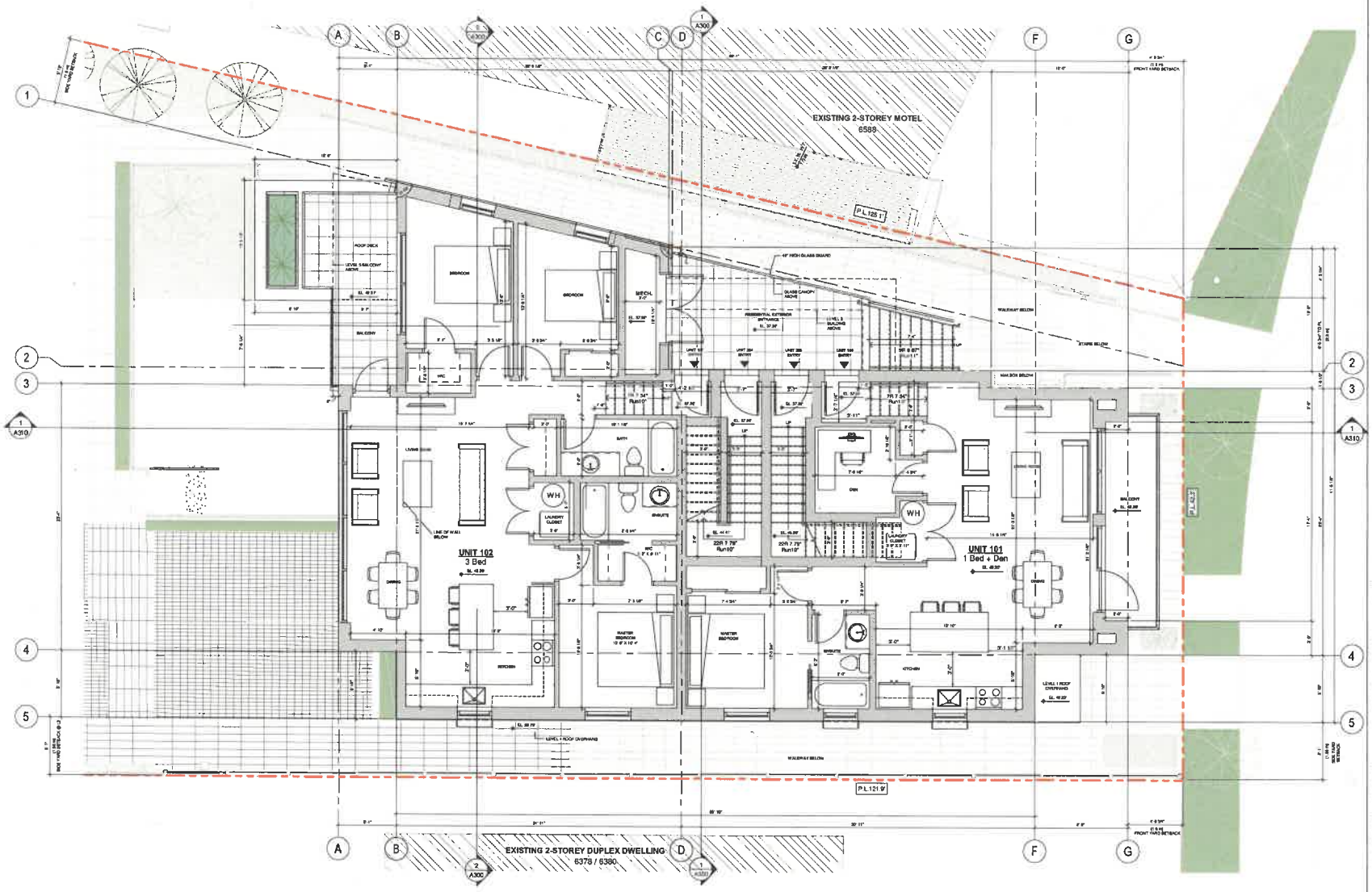

ARCHITECTS

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
LEVEL 2 PLAN

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-08-08	Second Response to District RZ/DP Comments
2026-03-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/4" = 1'-0"

DWG. NO:
A120

Plot Date: 2026-04-15 11:46:46 AM
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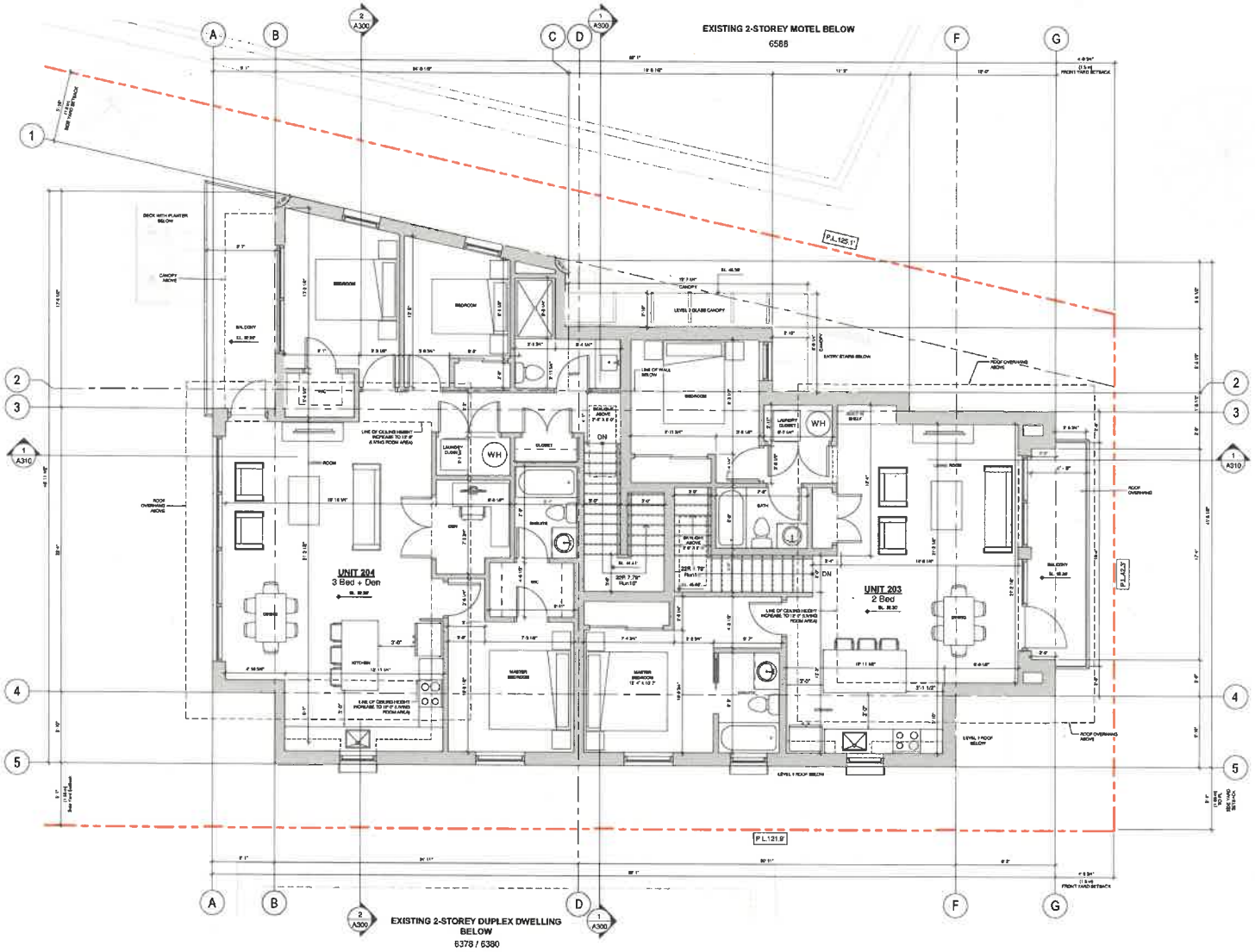

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Project:
1654
Owner: Parz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
LEVEL 3 PLAN

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-08-08	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/4" = 1'-0"

DWG. NO:
A130

Plot Date: 2026-04-15 11:46:49 AM
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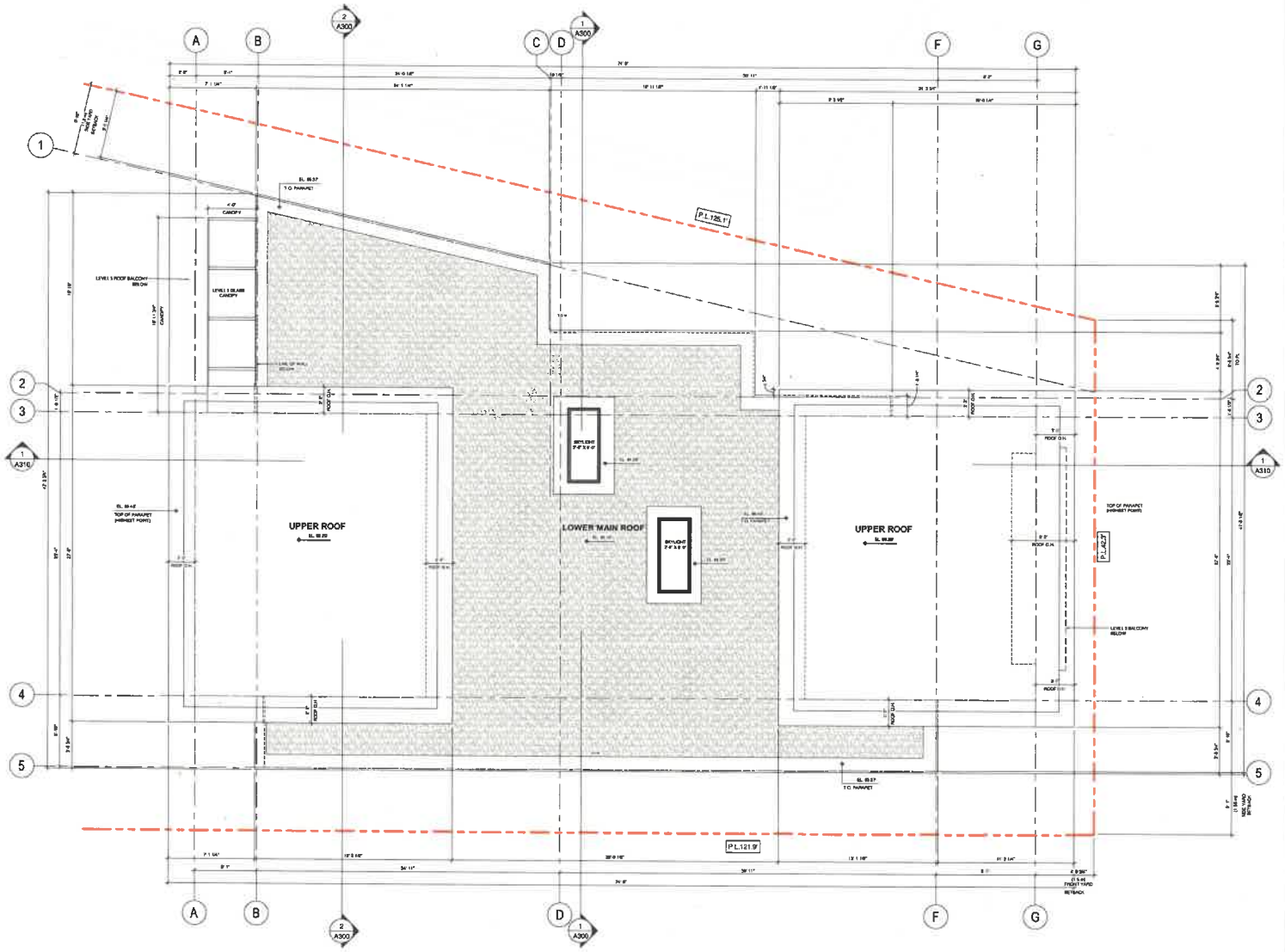

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
ROOF PLAN

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-06-04	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/4" = 1'-0"

DWG. NO:
A140

Plot Date: 2026-04-15 11:46:49 AM
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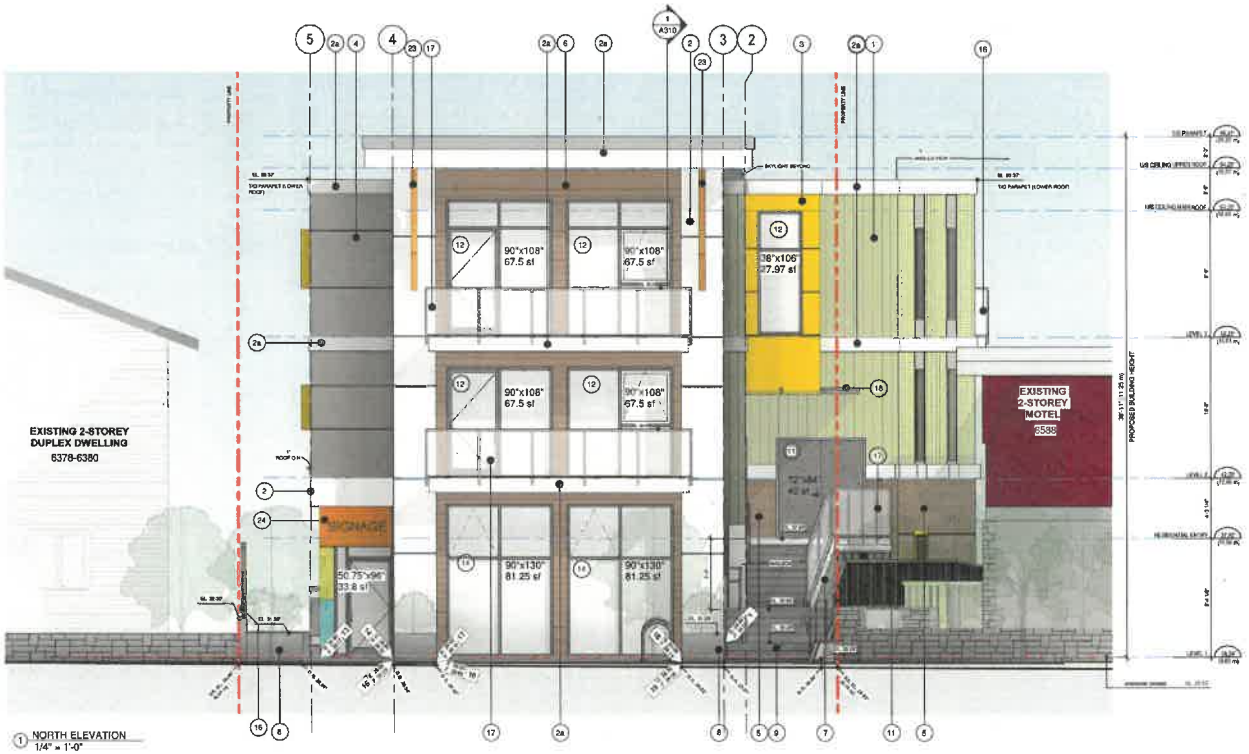

1 NORTH ELEVATION
1/4" = 1'-0"

MATERIAL BOARD


FIBER CEMENT VERTICAL SIDING & REVEAL PANEL, SMOOTH - COLOUR: HEATHERED MOSS


FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: MONTEREY TAUPE


VINYL WINDOWS, ALUMINUM GUARDS, DOOR PANELS, FRAMES, CANOPY FRAME, MAIN ROOF METAL SOFFIT, FIBER CEMENT REVEAL PANEL - COLOUR: CHARCOAL

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: ARCTIC WHITE


BRICK, RUNNING BOND - COLOUR: REGENCY BROWN


METAL WINDOW FRAME - COLOUR: YELLOW

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: YELLOW


METAL REVEAL PLANK WALL SIDING AND BALCONY/ BUILDING OVERHANG SOFFIT WITH WOODGRAIN PRINT - COLOUR: DARK WALNUT


METAL PANEL SIDING COLOUR: VARIES

MATERIAL LEGEND

#	MATERIAL DESCRIPTION
1	FIBER CEMENT ARTISAN V-GROOVE VERTICAL SIDING, SMOOTH FINISH - COLOUR: HEATHERED MOSS
2	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: ARCTIC WHITE
2a	FIBER CEMEMT ROOF FASCIA, PARAPET FASCIA, WALL TRIM, BALONY EDGE TRIM - COLOUR: ARCTIC WHITE
3	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: YELLOW
4	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: MONTEREY TAUPE
5	BRICK, RUNNING BOND - COLOUR: REGENCY BROWN
6	METAL REVEAL PLANK WALL SIDING WITH WOODGRAIN PRINT - COLOUR: DARK WALNUT
7	CAST-IN-PLACE CONCRETE WALL - COLOUR: NATURAL, CLEAR SEALER
8	CAST-IN-PLACE CONCRETE PLANTER WALL - COLOUR: NATURAL, CLEAR SEALER
9	CAST-IN-PLACE CONCRETE STAIRS - COLOUR: NATURAL, CLEAR SEALER
10	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: PRE-PAINTED TO MATCH CHARCOAL
11	STEEL SERVICE DOOR/ STORAGE DOOR FOR SINGLE BIKE STALL - COLOUR: CHARCOAL
12	VINYL WINDOW / SWING DOORS - COLOUR: CHARCOAL OR YELLOW
13	METAL WINDOW FRAME - COLOUR: YELLOW
14	ALUMINUM STOREFRONT - COLOUR: CHARCOAL
15	ALUMINUM PICKET GUARD - COLOUR: CHARCOAL
16	WOOD PRIVACY FENCE/ GARBAGE ENCLOSURE - COLOUR: NATURAL CEDAR
17	ALUMINUM GLASS GUARD - COLOUR: CHARCOAL
18	CLEAR GLASS CANOPY WITH METAL FRAME - COLOUR: CHARCOAL
19	FULL LITE FROSTED FIBERGLASS ENTRY DOOR - FRAME AND PANEL COLOUR: CHARCOAL
20	FROSTED PRIVACY GLASS GUARD WITH COLOURED TINT - COLOUR: YELLOW
22	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: HEATHERED MOSS
23	DECORATIVE HEAVY TIMBER WOOD BRACKET, CEDAR, CLEAR SEALER
24	METAL PANEL SIDING, VARIOUS COLOURS

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver
Drawing:
NORTH ELEVATION

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale: 1/4"=1'-0"
As indicated
DWG. NO:
A210

Plot Date: 2026-04-15 11:46:59 AM
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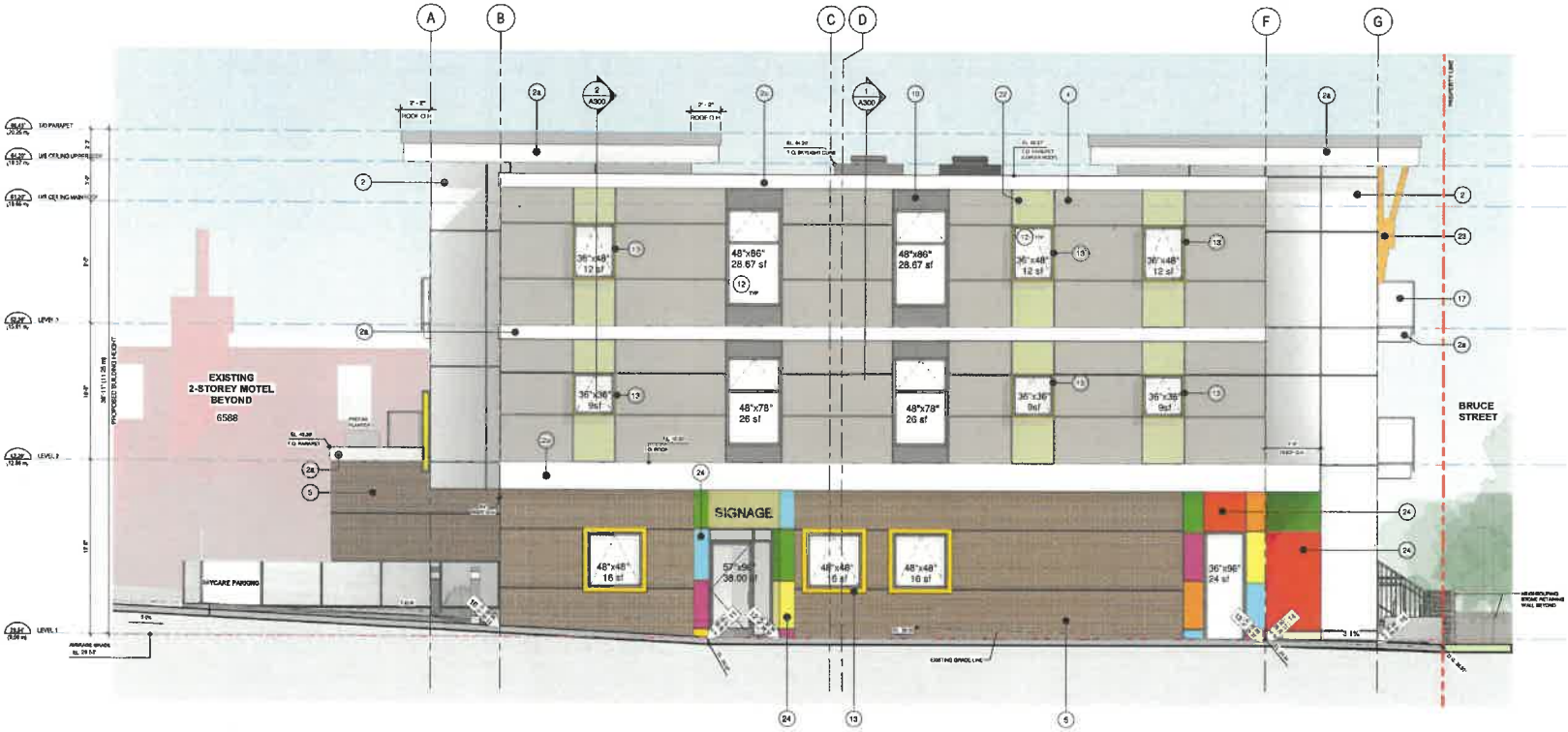

1 EAST ELEVATION
1/4" = 1'-0"

MATERIAL BOARD

FIBER CEMENT VERTICAL SIDING & REVEAL PANEL, SMOOTH - COLOUR: HEATHERED MOSS

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: ARCTIC WHITE

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: YELLOW

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: MONTEREY TAUPE

BRICK, RUNNING BOND - COLOUR: REGENCY BROWN

METAL REVEAL PLANK WALL SIDING AND BALCONY SOFFIT WITH WOODGRAIN PRINT - COLOUR: DARK WALNUT

VINYL WINDOWS, ALUMINUM GUARDS, DOOR PANELS, FRAMES, CANOPY FRAME, MAIN ROOF METAL SOFFIT, FIBER CEMENT REVEAL PANEL - COLOUR: CHARCOAL

METAL WINDOW FRAME - COLOUR: YELLOW

METAL PANEL SIDING COLOUR: VARIES

MATERIAL LEGEND

#	MATERIAL DESCRIPTION
1	FIBER CEMENT ARTISAN V-GROOVE VERTICAL SIDING, SMOOTH FINISH - COLOUR: HEATHERED MOSS
2	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: ARCTIC WHITE
2a	FIBER CEMEMT ROOF FASCIA, PARAPET FASCIA, WALL TRIM, BALONY EDGE TRIM - COLOUR: ARCTIC WHITE
3	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: YELLOW
4	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: MONTEREY TAUPE
5	BRICK, RUNNING BOND - COLOUR: REGENCY BROWN
6	METAL REVEAL PLANK WALL SIDING WITH WOODGRAIN PRINT - COLOUR: DARK WALNUT
7	CAST-IN-PLACE CONCRETE WALL - COLOUR: NATURAL, CLEAR SEALER
8	CAST-IN-PLACE CONCRETE PLANTER WALL - COLOUR: NATURAL, CLEAR SEALER
9	CAST-IN-PLACE CONCRETE STAIRS - COLOUR: NATURAL, CLEAR SEALER
10	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: PRE-PAINTED TO MATCH CHARCOAL
11	STEEL SERVICE DOOR/ STORAGE DOOR FOR SINGLE BIKE STALL - COLOUR: CHARCOAL
12	VINYL WINDOW / SWING DOORS - COLOUR: CHARCOAL OR YELLOW
13	METAL WINDOW FRAME - COLOUR: YELLOW
14	ALUMINUM STOREFRONT - COLOUR: CHARCOAL
15	ALUMINUM PICKET GUARD - COLOUR: CHARCOAL
16	WOOD PRIVACY FENCE/ GARBAGE ENCLOSURE - COLOUR: NATURAL CEDAR
17	ALUMINUM GLASS GUARD - COLOUR: CHARCOAL
18	CLEAR GLASS CANOPY WITH METAL FRAME - COLOUR: CHARCOAL
19	FULL LITE FROSTED FIBERGLASS ENTRY DOOR - FRAME AND PANEL COLOUR: CHARCOAL
20	FROSTED PRIVACY GLASS GUARD WITH COLOURED TINT - COLOUR: YELLOW
22	FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: HEATHERED MOSS
23	DECORATIVE HEAVY TIMBER WOOD BRACKET, CEDAR, CLEAR SEALER
24	METAL PANEL SIDING, VARIOUS COLOURS

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
EAST ELEVATION

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-08-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-issued for RZ/DP

REVISION

No.	Date	Description

Scale: 1/4"=1'-0"
As indicated

DWG. NO:
A220

Plot Date: 2026-04-15 11:47:15 AM
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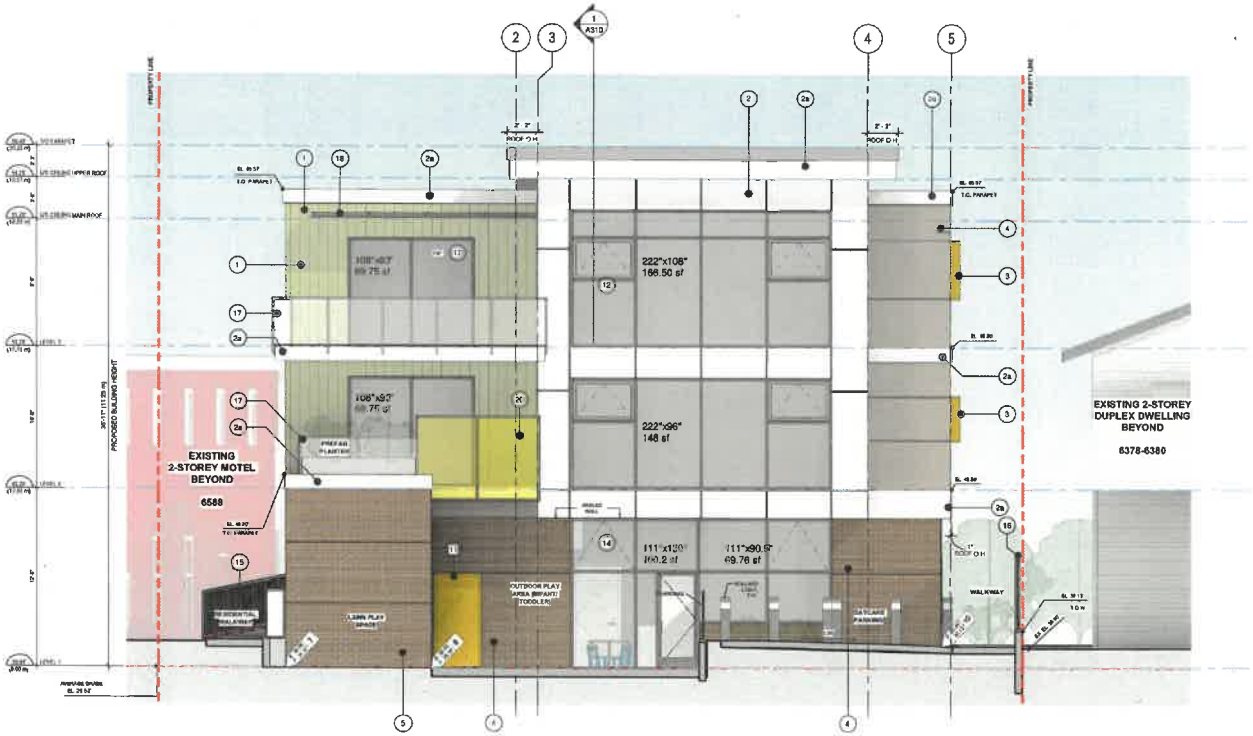

1 SOUTH ELEVATION
1/4" = 1'-0"

MATERIAL BOARD

FIBER CEMENT VERTICAL SIDING, SMOOTH - COLOUR: HEATHERED MOSS

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: ARCTIC WHITE

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: YELLOW

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: MONTEREY TAUPE

BRICK, RUNNING BOND - COLOUR: REGENCY BROWN

METAL REVEAL PLANK WALL SIDING AND BALCONY SOFFIT WITH WOODGRAIN PRINT - COLOUR: DARK WALNUT

VINYL WINDOWS, ALUMINUM GUARDS, DOOR PANELS, FRAMES, CANOPY FRAME, MAIN ROOF METAL SOFFIT, FIBER CEMENT REVEAL PANEL - COLOUR: CHARCOAL

METAL WINDOW FRAME - COLOUR: YELLOW

METAL PANEL SIDING COLOUR: VARIES

MATERIAL LEGEND

#	MATERIAL DESCRIPTION
1	FIBER CEMENT ARTISAN V-GROOVE VERTICAL SIDING, SMOOTH FINISH - COLOUR: HEATHERED MOSS
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Project:
1654
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6384 Bruce Street
6384 Bruce Street, West Vancouver
Drawing:
SOUTH ELEVATION

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-08-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale: 1/4"=1'-0"
As indicated

DWG. NO:
A230

Plot Date: 2026-04-15 11:47:25 AM
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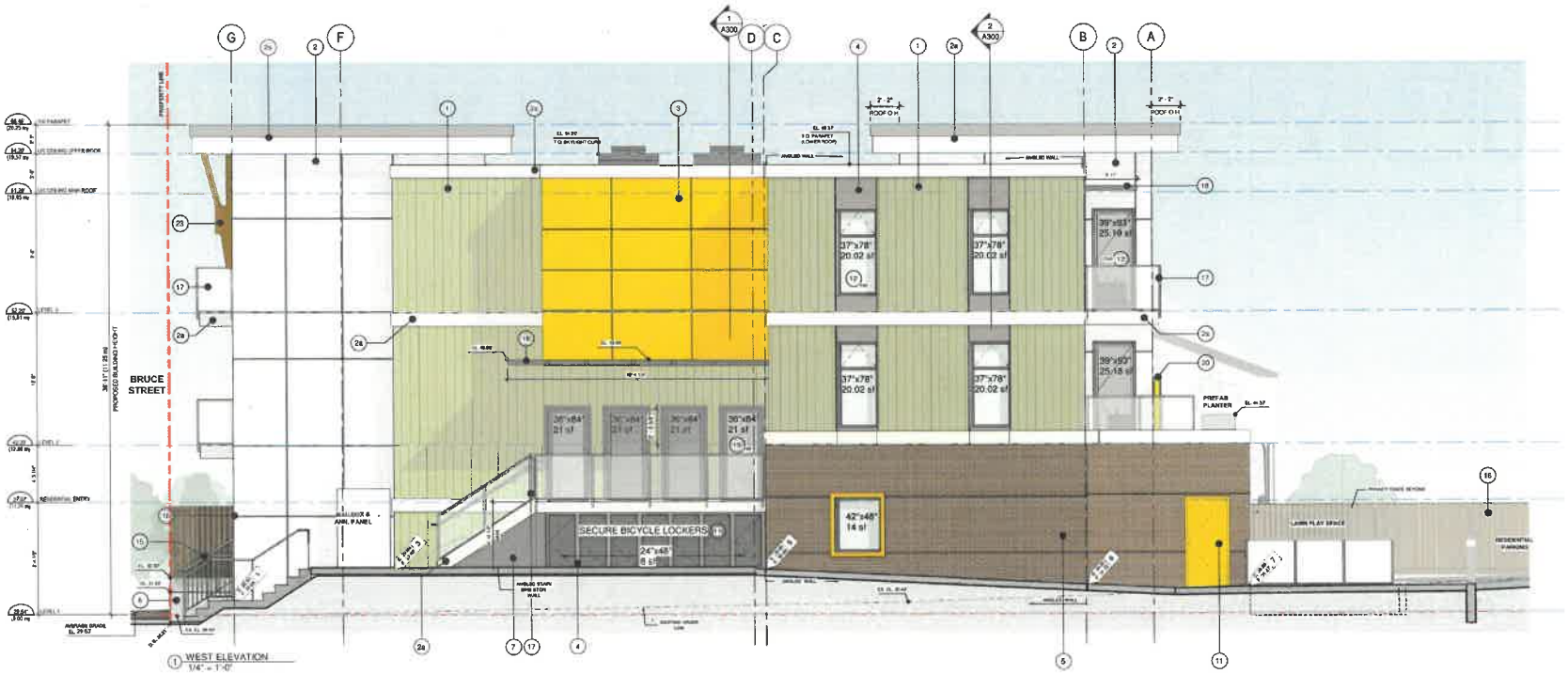

MATERIAL BOARD

FIBER CEMENT VERTICAL SIDING, SMOOTH - COLOUR: HEATHERED MOSS

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: MONTEREY TAUPE

VINYL WINDOWS, ALUMINUM GUARDS, DOOR PANELS, FRAMES, CANOPY FRAME, MAIN ROOF METAL SOFFIT, FIBER CEMENT REVEAL PANEL - COLOUR: CHARCOAL

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: ARCTIC WHITE

BRICK, RUNNING BOND - COLOUR: REGENCY BROWN

METAL WINDOW FRAME - COLOUR: YELLOW

FIBER CEMENT REVEAL PANEL, SMOOTH FINISH - COLOUR: YELLOW

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METAL PANEL SIDING COLOUR: VARIES

MATERIAL LEGEND

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
WEST ELEVATION

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YY-MM-DD)	Description
2024-07-08	Issued for Rezoning/ Development Permit
2025-01-30	Response to Dalini's Rezoning/ DP Initial Comments
2025-08-08	Second Response to Dalini RZ/DP Comments
2026-01-21	Response to Dalini RZ/DP Comments
2026-04-16	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale: 1/4"=1'-0"
As indicated

DWG. NO:
A240

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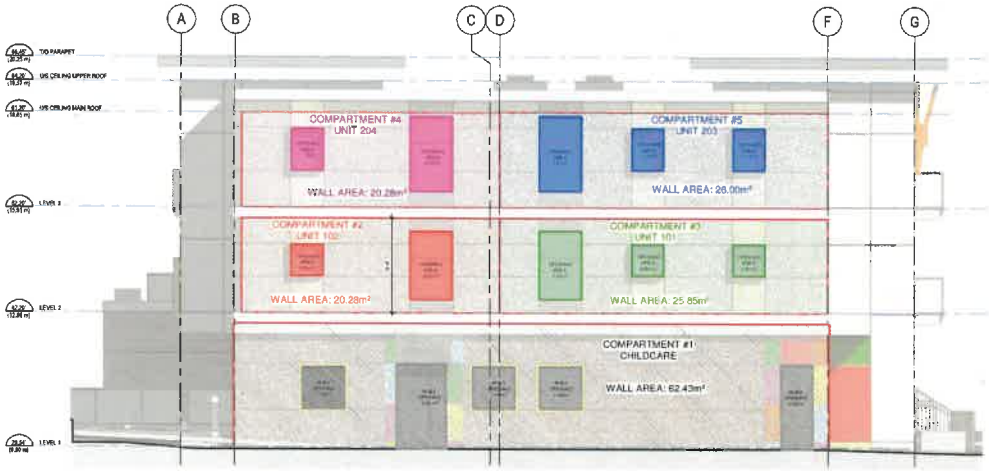
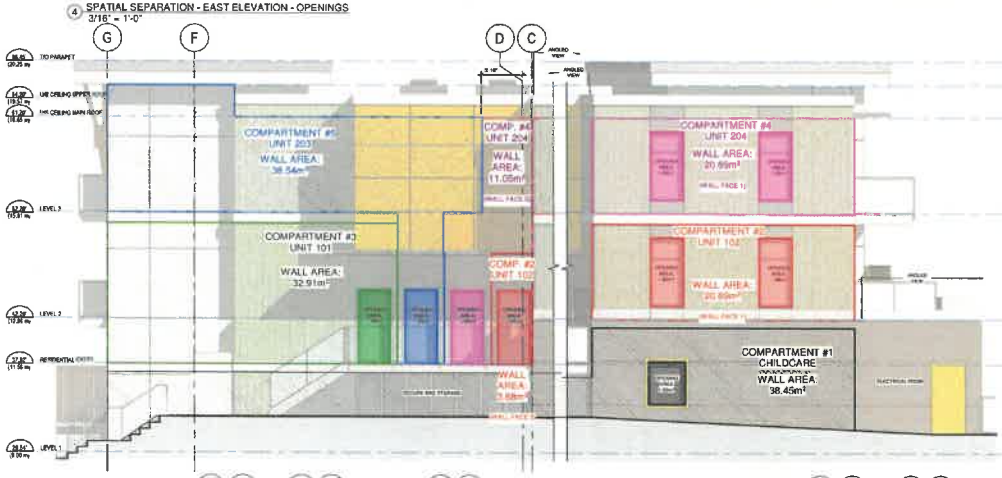


4 SPATIAL SEPARATION - EAST ELEVATION - OPENINGS
3/16" = 1'-0"



CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #1 - DAYCARE)

LIMITING DISTANCE:	1.75m
WALL AREA:	62.43m²
OPENING AREA:	10.22m²
ALLOWED:	18.00%
PROPOSED:	**16.38%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #3 - UNIT 101)

LIMITING DISTANCE:	1.56m
WALL AREA:	25.85 m²
OPENING AREA:	4.1m²
ALLOWED:	18.59%
PROPOSED:	**15.86%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #5 - UNIT 203)

LIMITING DISTANCE:	1.56m
WALL AREA:	26.00m²
OPENING AREA:	4.91m²
ALLOWED:	18.91%
PROPOSED:	**18.89%**

NOTE: SPATIAL SEPARATION CALCULATED BY INTERPOLATION OF BCBC 2024 TABLE 3.2.3.1-D

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #4 - UNIT 204) - WALL FACE 1

LIMITING DISTANCE:	1.82m
WALL AREA:	31.70m²
OPENING AREA:	5.65m²
ALLOWED:	21.50%
PROPOSED:	**17.82%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #3 - UNIT 101)

LIMITING DISTANCE:	3.15m
WALL AREA:	32.91m²
OPENING AREA:	1.95m²
ALLOWED:	48.70%
PROPOSED:	**5.9%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #2 - UNIT 102)

LIMITING DISTANCE:	1.55m
WALL AREA:	20.28m²
OPENING AREA:	3.26m²
ALLOWED:	20.88%
PROPOSED:	**16.07%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #4 - UNIT 204)

LIMITING DISTANCE:	1.55m
WALL AREA:	20.28m²
OPENING AREA:	3.79m²
ALLOWED:	20.88%
PROPOSED:	**18.68%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #1 - DAYCARE) - WALL FACE 1

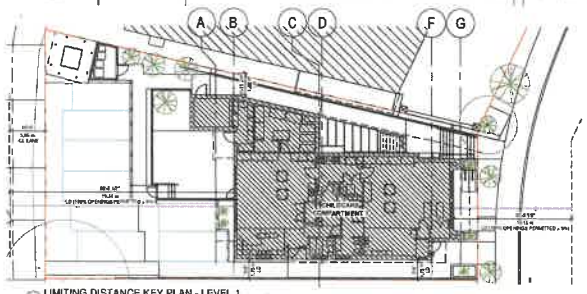
LIMITING DISTANCE:	1.82m
WALL AREA:	38.45m²
OPENING AREA:	1.33m²
ALLOWED:	20.15%
PROPOSED:	**3.4%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #2 - UNIT 102) - WALL FACE 1

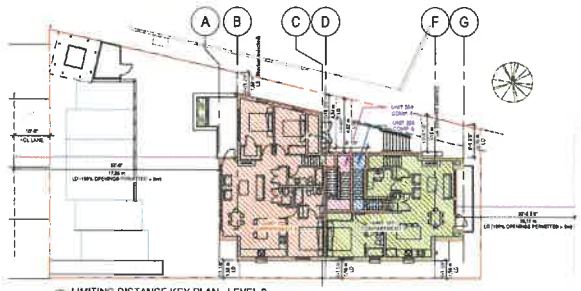
LIMITING DISTANCE:	1.82m
WALL AREA:	24.37m²
OPENING AREA:	5.65m²
ALLOWED:	23.53%
PROPOSED:	**23.18%**

CALCULATION OF SPRINKLERED BLDG - EXPOSING BLDG FACE:
BCBC 2024 TABLE 3.2.3.1-D (CALCULATE BY FIRE COMPARTMENT)
EAST ELEVATION (COMPARTMENT #5 - UNIT 203)

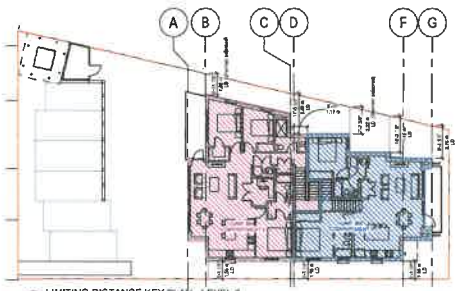
LIMITING DISTANCE:	2.32m
WALL AREA:	38.54m²
OPENING AREA:	1.95m²
ALLOWED:	27.60%
PROPOSED:	**5.06%**



1 LIMITING DISTANCE KEY PLAN - LEVEL 1
1/16" = 1'-0"



2 LIMITING DISTANCE KEY PLAN - LEVEL 2
1/16" = 1'-0"



3 LIMITING DISTANCE KEY PLAN - LEVEL 3
1/16" = 1'-0"

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
SPATIAL SEPARATION CALCULATIONS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Reviewing/ Development Permit
2025-01-20	Response to District's Reviewing/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-03-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
As indicated

DWG. NO:
A250

Plot Date: 2026-04-15 11:47:54 AM
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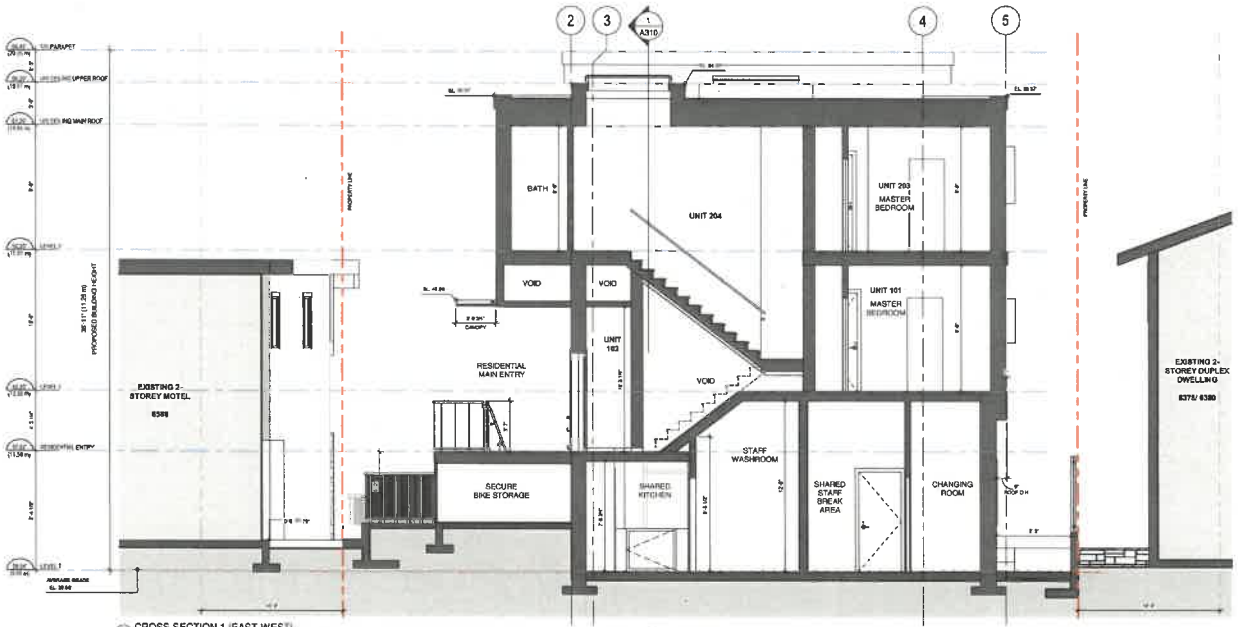
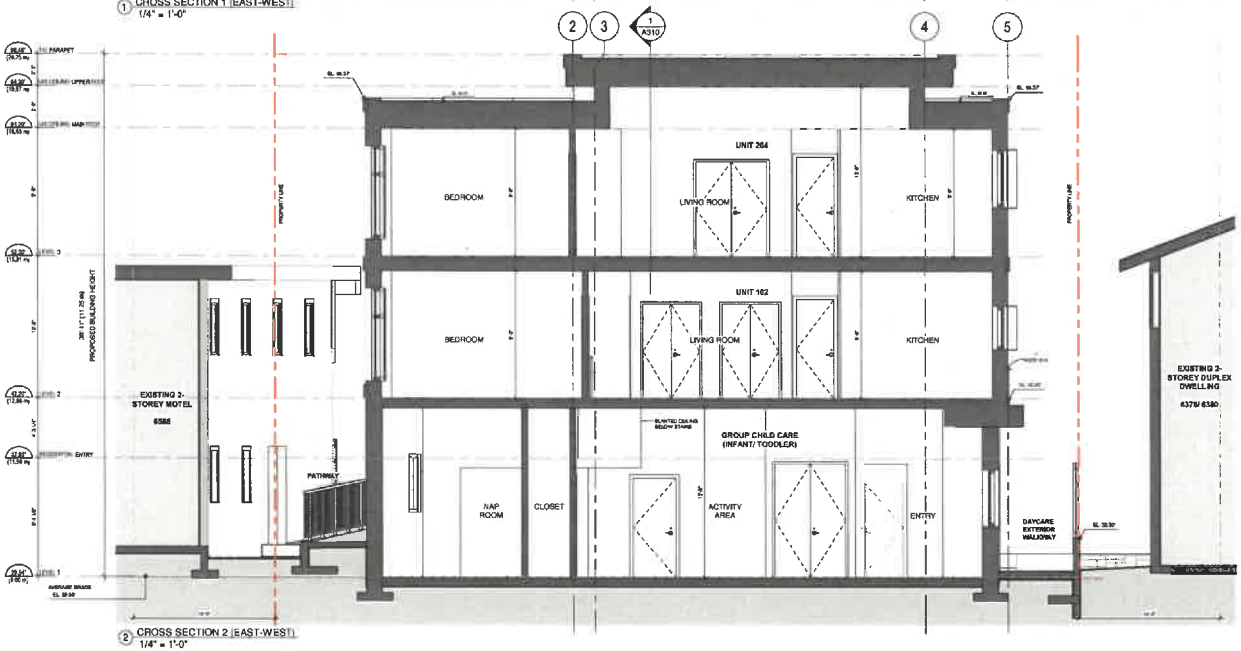


1 CROSS SECTION 1 (EAST-WEST)
1/4" = 1'-0"



2 CROSS SECTION 2 (EAST-WEST)
1/4" = 1'-0"

ARCHITECTS

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Project:
1654
Owner: Panz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
SECTIONS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2021-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to Dialog's Rezoning/ DP Initial Comments
2025-06-06	Second Response to Dialog RZ/DP Comments
2026-03-21	Response to Dialog RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
1/4" = 1'-0"

DWG. NO:
A300

Plot Date: 2026-04-15 11:47:55 AM
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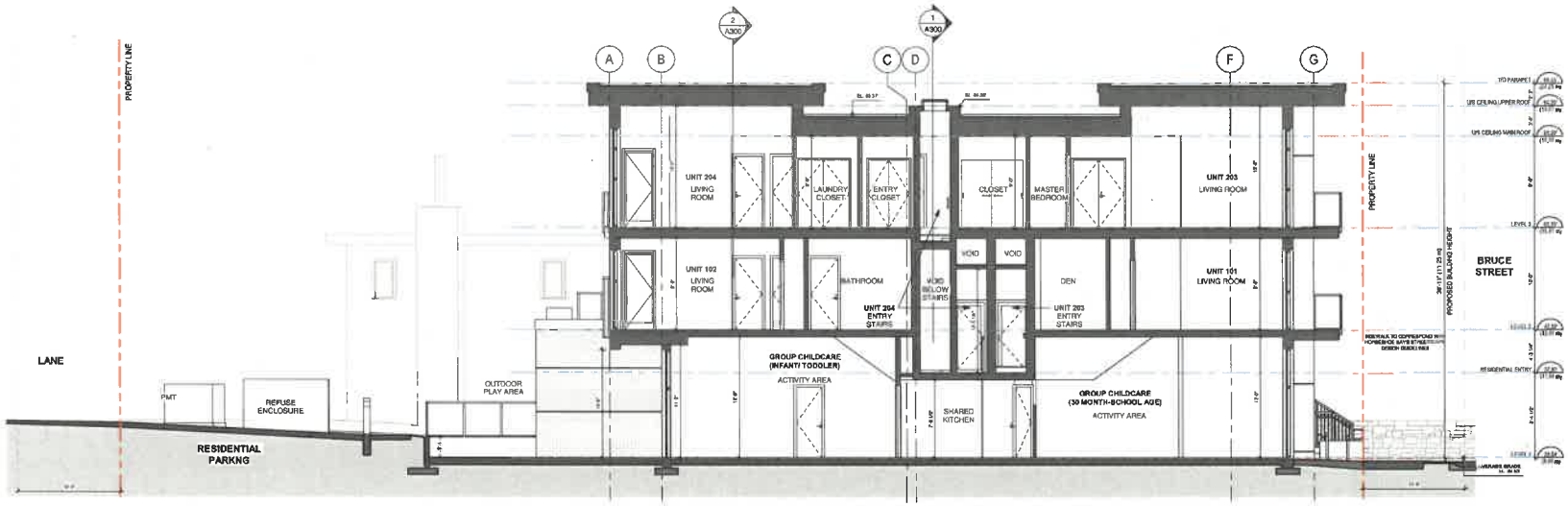


1 LONGITUDINAL SECTION (SOUTH TO NORTH)
3/16" = 1'-0"

PRELIMINARY ROOF/ FLOOR/WALL ASSEMBLIES

[NOTE: SUBJECT TO CHANGE UPON FURTHER CONFIRMATION WITH FUTURE ASSIGNED ENERGY ADVISOR ON STEP CODE 4 COMPLIANCE]

EXTERIOR WALL
FIBER CEMENT SIDING

- FIBER CEMENT SIDING (VERTICAL PLANKS, REVEAL PANEL), REFER TO ELEVATIONS FOR COLOURS, TYPE
- VERTICAL STRAPPING (3/4" PT WOOD, OR Z-GIRTS)
- BREATHABLE AIR/ WEATHER BARRIER SHEATHING MEMBRANE
- R18 (4") RIGID MINERAL WOOL INSULATION
- 1/2" PLYWOOD SHEATHING
- STUD FRAMING @ 16" O.C. (2X6 WOOD STUDS OR 6" STEEL STUDS)
- 6 MIL POLY AIR/ VAPOUR BARRIER
- 5/8" GYPSUM WALL BOARD TYPE 'X'
- PAINT FINISH

EXTERIOR WALL
BRICK VENEER SIDING

- BRICK VENEER SIDING, REFER TO ELEVATIONS FOR COLOURS, PATTERN
- BRICK VENEER METAL TIES
- BREATHABLE AIR/ WEATHER BARRIER SHEATHING MEMBRANE
- R5 (2") RIGID MINERAL WOOL INSULATION
- 1/2" PLYWOOD SHEATHING
- 6" STEEL STUD FRAMING @ 16" O.C.
- 6 MIL POLY AIR/ VAPOUR BARRIER
- 5/8" GYPSUM WALL BOARD TYPE 'X'
- PAINT FINISH

INTERIOR WALL
FIRE SEPARATION BETWEEN CHILDCARE & RESIDENTIAL UNITS

- PAINT FINISH
- 2 LAYERS 5/8" GYPSUM WALL BOARD TYPE 'X'
- 8" STEEL STUD FRAMING @ 16" O.C.
- BATT INSULATION TO FILL STUD CAVITY
- 2 LAYERS 5/8" GYPSUM WALL BOARD TYPE 'X'
- PAINT FINISH

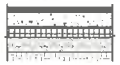
INTERIOR WALL
FIRE SEPARATION BETWEEN RESIDENTIAL UNITS

- PAINT FINISH
- 5/8" GYPSUM WALL BOARD TYPE 'X'
- 2X4 WOOD STUD FRAMING @ 16" O.C.
- BATT INSULATION TO FILL STUD CAVITY
- 1" AIR GAP
- 2X4 WOOD STUD FRAMING @ 16" O.C.
- BATT INSULATION TO FILL STUD CAVITY
- 5/8" GYPSUM WALL BOARD TYPE 'X'
- PAINT FINISH

INTERIOR WALL
PARTITION WALL

- PAINT FINISH
- 1/2" GYPSUM WALL BOARD
- STUD FRAMING @ 16" O.C.
- (2X4/ 2X6 WOOD STUD OR 3 5/8"/ 6" STEEL STUD)
- 1/2" GYPSUM WALL BOARD
- PAINT FINISH

CONCRETE FLOOR SLAB
SLAB ON GRADE - CHILDCARE



- FLOOR FINISH
- 6" CAST-IN-PLACE REINFORCED CONCRETE SLAB-ON GRADE
- 6 MIL POLY VAPOUR BARRIER
- R26 (4") XPS RIGID INSULATION
- 6" COMPACT GRAVEL

CONCRETE FLOOR SLAB
SUSPENDED - LEVEL 2 BETWEEN CHILDCARE & RESIDENTIAL UNITS

- FLOOR FINISH
- STEEL TROWEL FINISH CAST-IN-PLACE REINFORCED CONCRETE SUSPENDED SLAB
- PAINT FINISH ON SMOOTH EXPOSED CONCRETE SURFACE

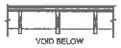
CONCRETE FLOOR SLAB
SUSPENDED - LEVEL 2 BETWEEN CHILDCARE OUTDOOR PLAY AREA & RESIDENTIAL UNIT INTERIOR

- FLOOR FINISH
- STEEL TROWEL FINISH CAST-IN-PLACE REINFORCED CONCRETE SUSPENDED SLAB
- LIGHTWEIGHT STEEL STUD FRAMING
- R40 (6 1/2") SPRAYED POLYURETHANE INSULATION
- 5/8" GYPSUM WALL BOARD TYPE 'X' EXTERIOR SHEATHING
- BREATHABLE AIR/ BARRIER SHEATHING MEMBRANE
- METAL SOFFIT PANELING, REFER TO MATERIAL LEGEND ON ELEVATIONS FOR COLOUR, TYPE

WOOD FLOOR JOISTS
LEVEL 3 BETWEEN RESIDENTIAL UNITS

- FLOOR FINISH
- 1 1/2" CONCRETE TOPPING
- 5/8" PLYWOOD SHEATHING
- 2X10 FLOOR JOISTS @ 16" O.C.
- R14 (4") THERMAL/ ACOUSTIC BATT INSULATION WITHIN JOIST CAVITY
- 1/2" RESILIENT CHANNELS @ 16" O.C.
- 2 LAYERS 5/8" GYPSUM WALL BOARD TYPE 'C'
- PAINT FINISH

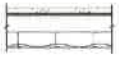
WOOD FLOOR JOISTS
STAIR ASSEMBLY WITHIN UNITS



VOID BELOW

- FLOOR FINISH
- 5/8" PLYWOOD SHEATHING
- 2X10 FLOOR JOISTS @ 16" O.C.

CONCRETE ROOF SLAB
LEVEL 2 ROOF DECK WITH STORAGE ROOM BELOW

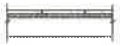


- CONCRETE PAVERS ON 3/4" PEDESTALS
- DRAINAGE STRUCTURE
- WATERPROOF MEMBRANE
- BUILT UP CONCRETE SLAB TO PROVIDE 2% SLOPE TO DRAIN
- CAST-IN-PLACE REINFORCED CONCRETE SUSPENDED SLAB
- LIGHTWEIGHT STEEL STUD FRAMING
- R40 (6 1/2") SPRAYED POLYURETHANE INSULATION
- 1/2" GWB
- PAINT FINISH

CONCRETE ROOF SLAB
LEVEL 2 BALCONY

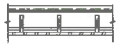
- PEDESTRIAN TRAFFIC GRADE WATERPROOF DECK COATING MEMBRANE
- BUILT-UP CONCRETE SLAB TO PROVIDE 2% SLOPE AWAY FROM BUILDING
- CAST-IN-PLACE REINFORCED CONCRETE SUSPENDED SLAB
- METAL SOFFIT PANELING, REFER TO MATERIAL LEGEND ON ELEVATIONS FOR COLOUR, TYPE

CONCRETE ROOF SLAB
RESIDENTIAL EXTERIOR ENTRY



- CONCRETE PAVERS ON 3/4" PEDESTALS
- DRAINAGE STRUCTURE
- WATERPROOF MEMBRANE
- BUILT-UP CONCRETE SLAB TO PROVIDE 2% SLOPE TO DRAIN
- CAST-IN-PLACE REINFORCED CONCRETE SUSPENDED SLAB

WOOD ROOF JOIST
LEVEL 3 BALCONY



- PEDESTRIAN TRAFFIC GRADE WATERPROOF DECK COATING MEMBRANE
- 5/8" PLYWOOD SHEATHING
- SLEEPERS TO PROVIDE 2% SLOPE AWAY FROM BUILDING
- 2X8 WOOD JOISTS @ 16" O.C.
- METAL SOFFIT PANELING, REFER TO MATERIAL LEGEND ON ELEVATIONS FOR COLOUR, TYPE

WOOD ROOF JOIST
MAIN ROOF

- WATERPROOF MEMBRANE
- PROTECTION BOARD
- R26 (7") XPS RIGID INSULATION
- SELF ADHERED AIR/ VAPOUR BARRIER
- 5/8" EXTERIOR GRADE PLYWOOD SHEATHING
- WOOD SLEEPERS TO PROVIDE 2% SLOPE TO DRAIN
- 2X10 WOOD JOISTS @ 16" O.C.
- R12 (3.5") BATT INSULATION HELD TIGHT AGAINST U/S SHEATHING WITH METAL SUPPORT
- 1/2" GYPSUM WALL BOARD
- PAINT FINISH

ARCHITECTS
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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
SECTIONS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-08	Issued for Rezoning/ Development Permit
2025-01-30	Response to District Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
As indicated

DWG. NO:
A310

Plot Date: 2026-04-15 11:48:05 AM
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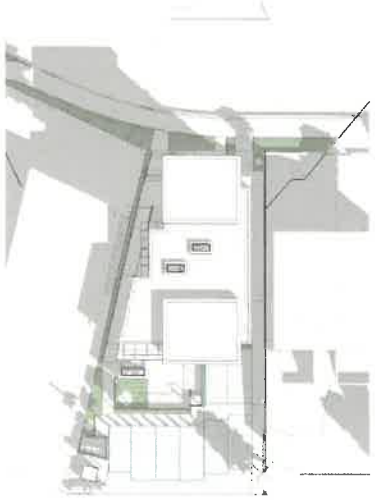
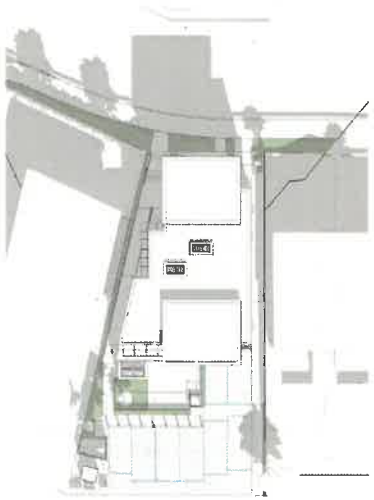
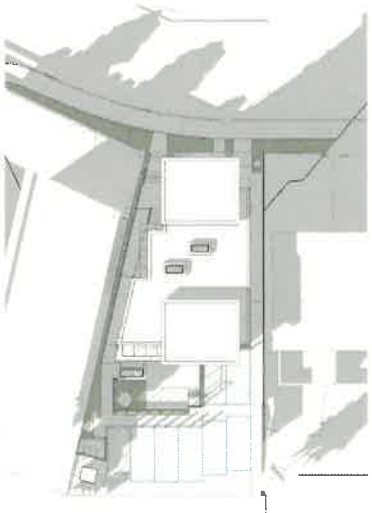


3 SPRING EQUINOX 10-AM

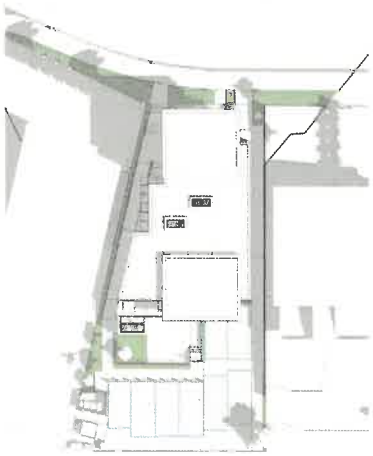


4 SPRING EQUINOX 12-PM

1 SPRING EQUINOX 2-PM

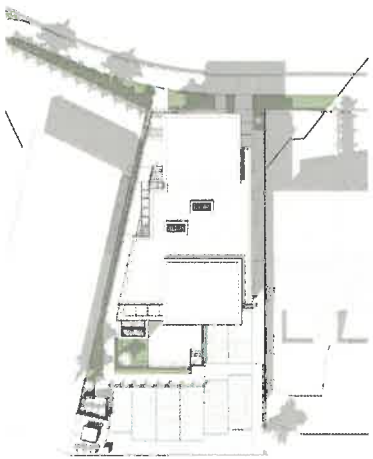


2 SPRING EQUINOX 4-PM

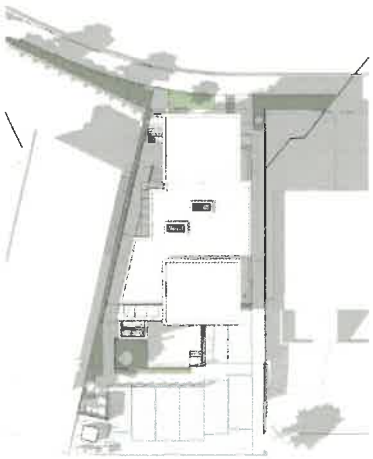


7 SUMMER SOLSTICE 10-AM

8 SUMMER SOLSTICE 12-PM



5 SUMMER SOLSTICE 2-PM



6 SUMMER SOLSTICE 4-PM

ARCHITECTS

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Drawing:
SHADOW STUDY

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:

DWG. NO:
A901

Plot Date: 2026-04-15 11:46:32 AM D:\001 REVIT LOCAL FILES\1854_01_MAIN_R23_DP_6384 Bruce St Horseshoe Bay-Daycare_cassandra7L5AD.rvt

NORTHWEST VIEW FROM LANE

SOUTHEAST VIEW FROM BRUCE STREET - RESIDENTIAL ENTRY

SOUTH VIEW FROM BRUCE STREET

NORTHEAST VIEW FROM PARKING LOT

ARCHITECTS

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Project:
1654
Owner: Pariz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
RENDERINGS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY MM DD)	Description
2024-07-05	Issued for Rezoning/ Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-06-06	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
12" = 1'-0"

DWG. NO:
A910

Plot Date: 2026-04-15 11:46:36 AM D:\001 REVIT LOCAL FILES\1654_01_MAIN_R23_DP_6384 Bruce St-Horseshoe Bay-Daycare_cassandra715AD.rvt

INTERIOR VIEW OF DAYCARE FACING NORTH OPEN AREA

This rendering illustrates the interior of the daycare facility with a view oriented toward the north-facing outdoor play area. The image showcases natural daylight entering through large glazing, enhancing visibility and connection to the open space

DAYCARE OPEN AREA

The seamless integration of indoor and outdoor spaces

OUTDOOR ACTIVITY AREA

OUTDOOR ACTIVITY AREA

The outdoor area offers safe, stimulating play spaces with age-appropriate equipment, soft surfaces, and secure fencing designed to maximize sunlight and indoor visibility.

ARCHITECTS

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Owner: Paniz Development Corporation
6384 Bruce Street
6384 Bruce Street, West Vancouver

Drawing:
RENDERINGS

Project Status:
Rezoning/ Development Permit

SUBMISSION

Date (YYYY-MM-DD)	Description
2024-07-05	Issued for Rezoning Development Permit
2025-01-30	Response to District's Rezoning/ DP Initial Comments
2025-08-04	Second Response to District RZ/DP Comments
2026-01-21	Response to District RZ/DP Comments
2026-04-15	Re-Issued for RZ/DP

REVISION

No.	Date	Description

Scale:
12" = 1'-0"

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A912

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Schedule B to DP 24-075

DRAWING LIST

SHEET	DRAWING TITLE
L00	COVER SHEET
L101	L1 LANDSCAPE PLAN
L102	L1 PLANTING PLAN
L103	L2 LANDSCAPE AND PLANTING PLAN
L201	LANDSCAPE SECTIONS
L301	DETAILS
T101	EXISTING TREES MANAGEMENT PLAN

LANDSCAPE NOTES

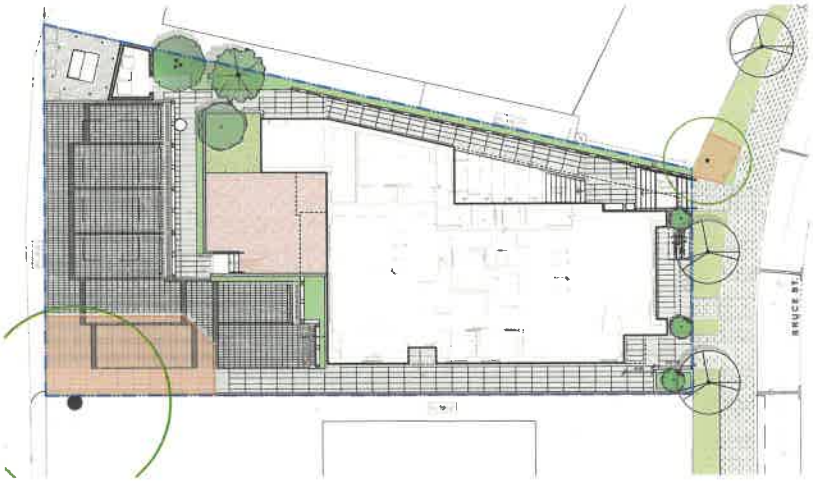
1. All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
2. Refer to Architectural package for overall plan, survey information and dimensioned site plan.
3. For hard landscape details attached to the building - REFER TO ARCHITECTURAL.
4. For parking layout and number of spaces - REFER TO ARCHITECTURAL.
5. For hard landscape grading information - REFER TO ARCHITECTURAL.
6. For drainage information - REFER TO MECHANICAL.
7. ALL STREET TREES Install 8' x 18" Deep Root Barrier centred on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
8. ALL STREET TREES to be installed to City Standards.
9. Although not always shown, all planting areas adjacent to the building face to be separated by a min. 6" wide gravel strip, separated by a pressure treated wood assembly as shown in the details.
10. Soil depths to meet or exceed the Canadian Landscape Standard, as described in Landscape Specifications.
11. All ground level patios to be provided with a hose bib at each unit.

GRAPHIC LEGEND

- PROPERTY LINE
- WOOD FENCE
- GLASS OR METAL GUARD
- BUILDING OVERHANG
- TREE PROTECTION FENCING
- ALUMINUM PICKET GUARD

MATERIALS LEGEND

- **CIP CONCRETE** STAIRS, PARKING, SIDE PATHWAY
- **UNIT PAVERS** MAIN ENTRANCES AND PATHWAYS
- **UNIT PAVERS** BOULEVARD PAVERS
- **PERMEABLE UNIT PAVERS** PARKING
- **GRAVEL** DRIP STRIP, GARBAGE AREA AND PMT AREA
- **LAYERED SHRUB PLANTING** GROUND LEVEL AND L2
- **POUR IN PLACE RUBBER** PLAY AREA
- **MULCH** SURROUNDING EXISTING TREE TRUNK AT LANE



PLANT LIST

TREES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	3	*Acer palmatum 'Butterfly'*	Butterfly Japanese Maple	2.5m ht., B&B
	1	*Acer palmatum 'Sangokaku'*	Coral Bark Japanese Maple	2.5m B&B, Multistem
	1	*Cedrus deodara 'Aurea'*	Golden Deodar Cedar	3.5m Ht.
	1	*Styrax japonicus*	Japanese Snowbell	5cm cal., B&B

*Final location and species selection for Street Trees shall be to the satisfaction of the District of Horseshoe Bay.

SHRUBS

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Ew	22	*Erica carnea 'Springwood White'*	Springwood White Heather	#1 pot / 15" O.C.
Ef	2	*Euonymus fortunei 'Emerald Gaiety'*	Emerald Gaiety Wintercreeper	#1 pot / 18" O.C.
Ho	10	*Hosta 'Captain Kirk'*	Captain Kirk Plantain Lily	#2 Pot, 18" O.C.
Lr	50	*Lavandula angustifolia 'Hidcote'*	Hidcote Lavender	#1 pot / 18" O.C.

GROUNDCOVERS, GRASSES, FERNS & VINES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Au	75	*Arctostaphylos uva-ursi*	Bearberry	#1 pot / 12" O.C.
Dc	17	*Deschampsia cespitosa*	Tufted Hair Grass	#2 pot / 12" O.C.
Fg	21	*Festuca glauca 'Elijah Blue'*	Elijah Blue Fescue	#1 pot / 18" O.C.
Hm	2	*Hakonechloa macra*	Japanese Forest Grass	#1 pot / 15" O.C.
Lm	52	*Liriope muscari*	Lily Turf	#1 pot / 18" O.C.
St	4	*Stipa tenuissima*	Mexican Feather Grass	#2 pot / 24" O.C.

N

no.:	date:	Item:
5	2025-04-15	RE-ISSUED FOR REZONING
4	2025-07-02	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2025-01-13	ISSUED FOR REVIEW
1	2024-05-06	ISSUED FOR REVIEW

Revisions:

Stamp:

dk
DURANTE KREUK LTD. LANDSCAPE ARCHITECTS
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P 604.564.4811 | F 604.564.0577 | www.dkl.bc.ca

Client:

Project:

6384 Bruce St. - Daycare, Horseshoe Bay

6384 Bruce St., West Vancouver, British Columbia

Drawn by:	SM
Checked by:	SV
Date:	2025-07-18
Scale:	3/32" = 1'0"

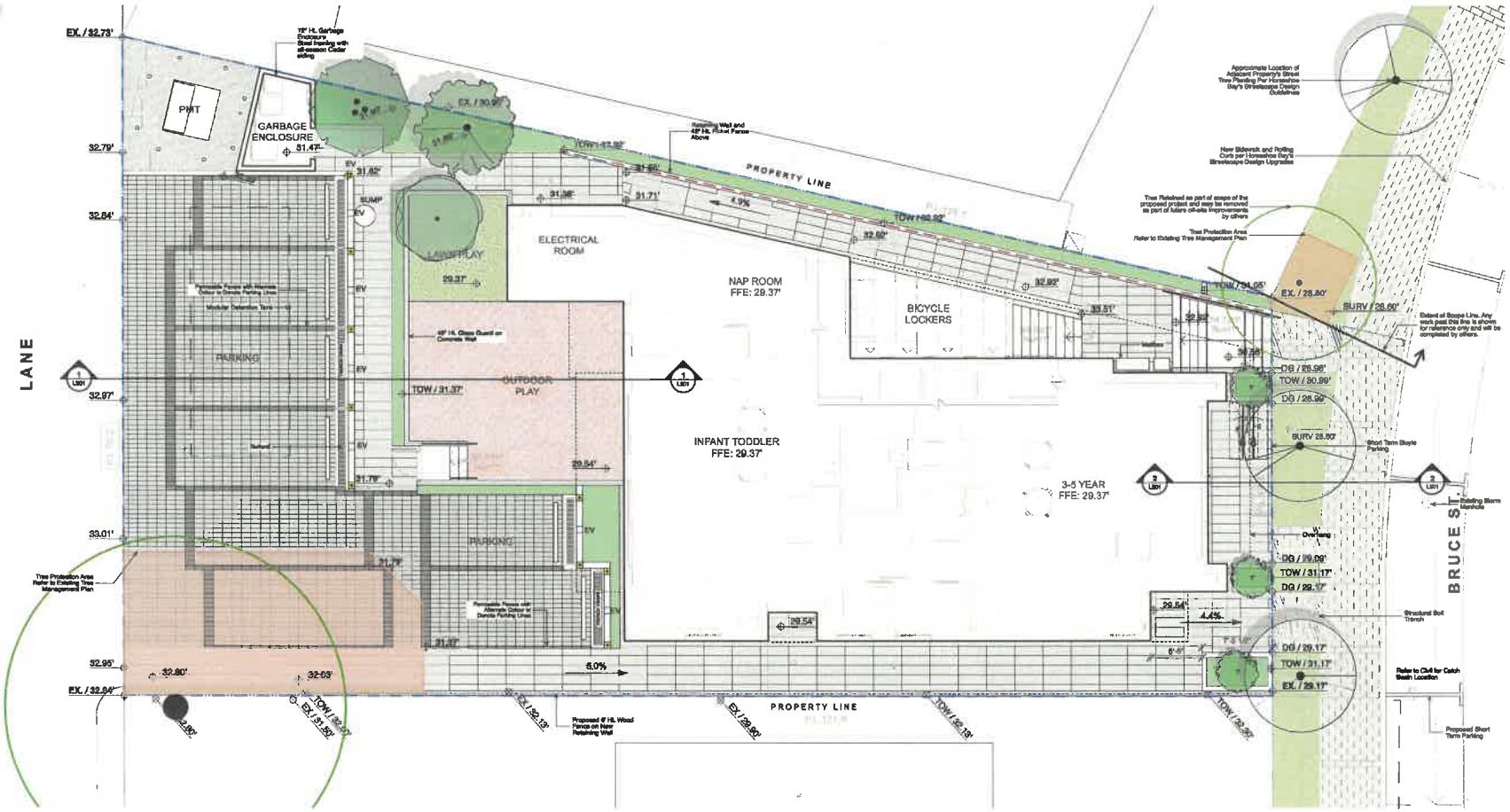
Drawing Title:

COVER SHEET

Project No.:
23085

Sheet No.:

L00



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5	2026-04-15	RE-ISSUED FOR REZONING
4	2025-07-02	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2025-01-13	ISSUED FOR REVIEW
1	2024-05-06	ISSUED FOR REVIEW

Revisions:

Stamp:

DURANTE KREUK LTD. LANDSCAPE ARCHITECTS
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Client:

Project:

6384 Bruce St. - Daycare, Horseshoe Bay

6384 Bruce St., West Vancouver, British Columbia

Drawn by: SM

Checked by: SV

Date: 2025-07-10

Scale: 3/16" = 1'0"

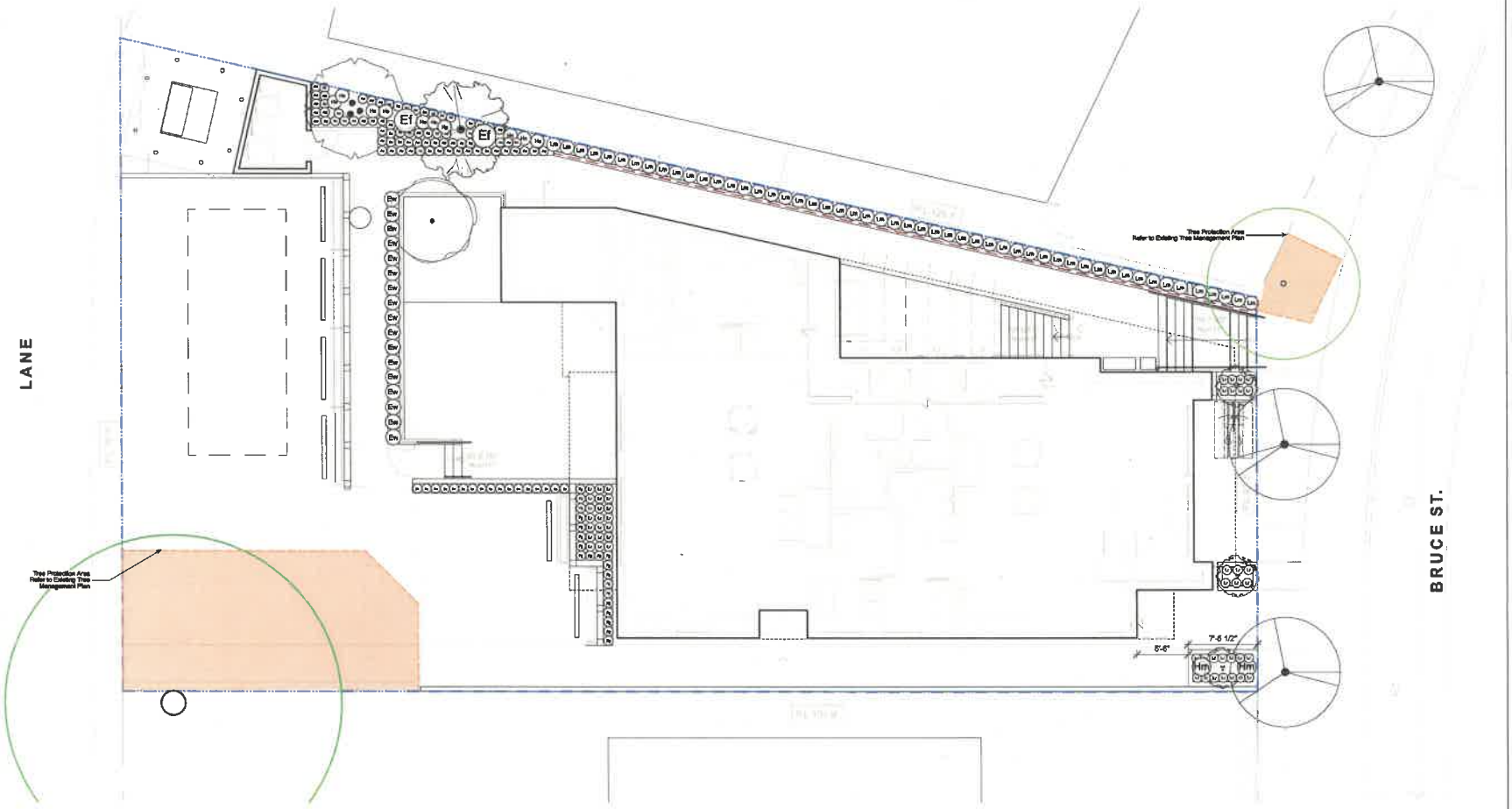
Drawing Title:

L1 LANDSCAPE PLAN

Project No.: 23085

Sheet No.:

L101



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no:	date:	item:
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4	2025-07-02	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2025-01-13	ISSUED FOR REVIEW
1	2024-05-08	ISSUED FOR REVIEW

Revisions:

Stamp:

dk
DURANTE KREUK LTD. LANDSCAPE ARCHITECTS
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Client:

Project:

6384 Bruce St. - Daycare, Horseshoe Bay

6384 Bruce St., West Vancouver, British Columbia

Drawn by: SM

Checked by: SV

Date: 2025-07-18

Scale: 3/16" = 1'0"

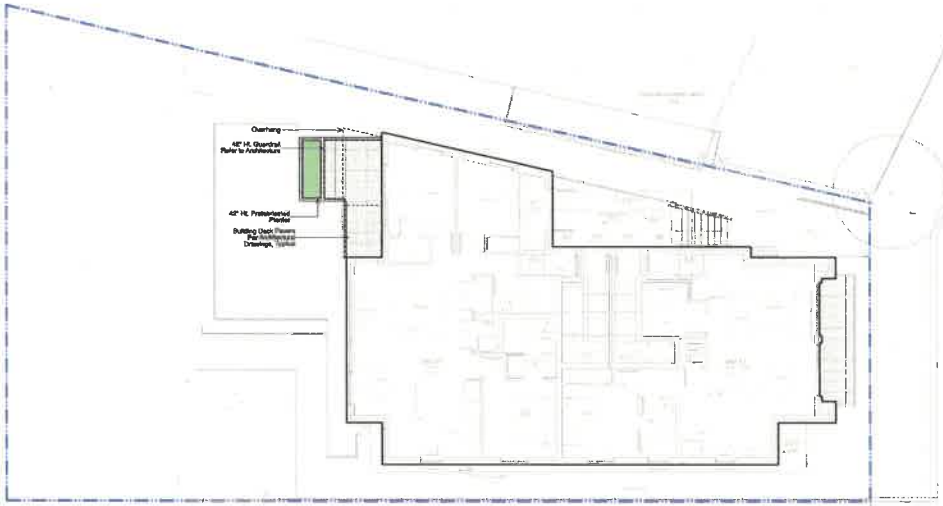
Drawing Title:

L1 PLANTING PLAN

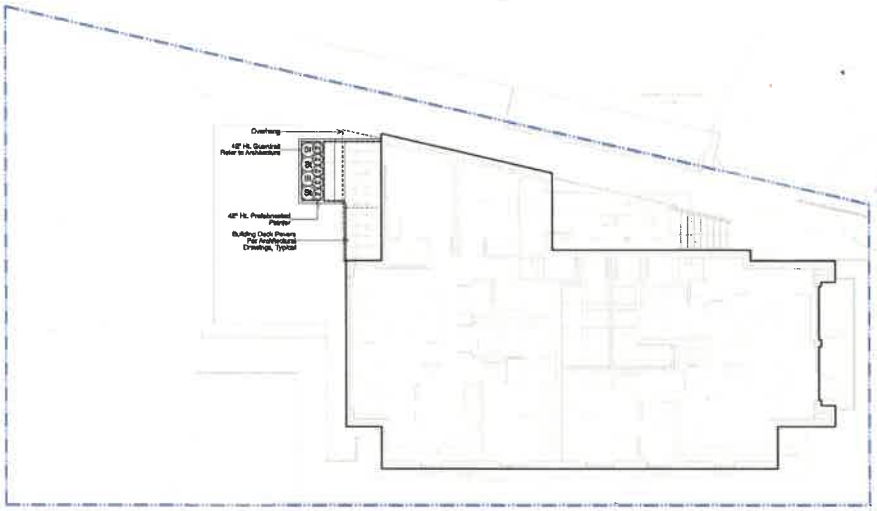
Project No.:
23085

Sheet No.:

L102



1 L103 **LEVEL 2 LANDSCAPE PLAN**
Scale = 1/8" = 1'-0"



2 L103 **LEVEL 2 PLANTING PLAN**
Scale = 1/8" = 1'-0"

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4	2025-07-22	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2025-01-13	ISSUED FOR REVIEW
1	2024-05-08	ISSUED FOR REVIEW

Revisions:

Stamp:

dk
DURANTE KREUK LTD. LANDSCAPE ARCHITECTS
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Client:

Project:

6384 Bruce St. - Daycare, Horseshoe Bay

6384 Bruce St., West Vancouver, British Columbia

Drawn by:	SM
Checked by:	SV
Date:	2025-07-15
Scale:	3/16" = 1'0"

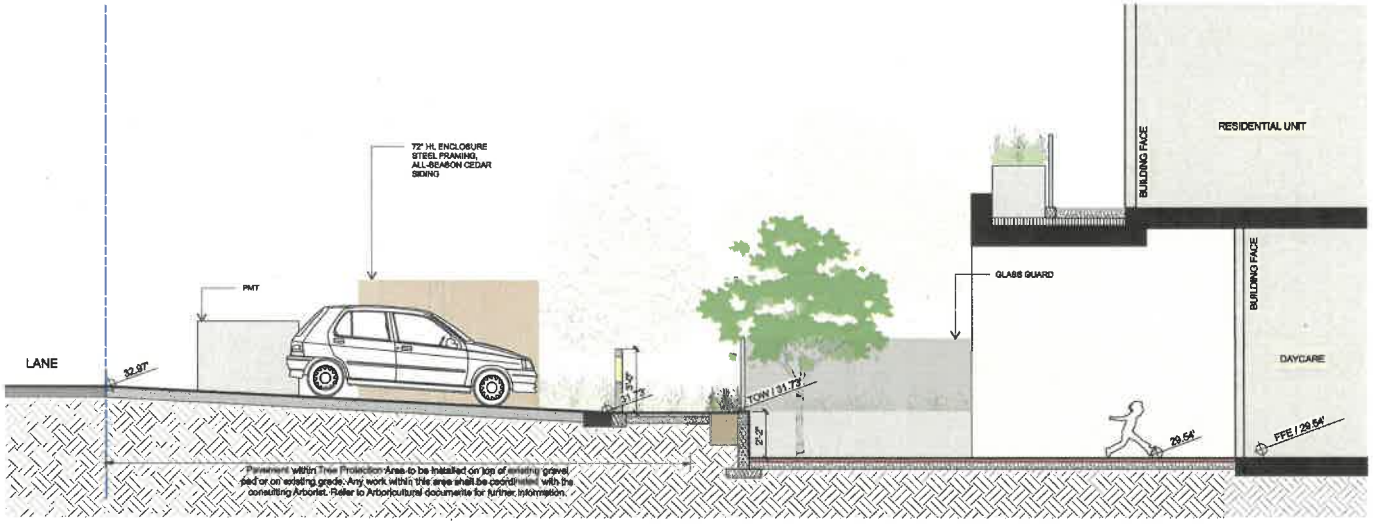
Drawing Title:

L2 LANDSCAPE AND PLANTING PLAN

Project No.:
23085

Sheet No.:

L103



1 L201 **OUTDOOR PLAY AND PARKING SECTION**
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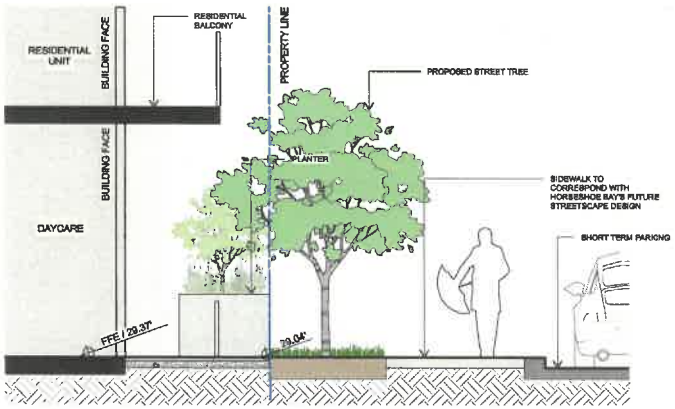

2 L201 **BRUCE ST. SECTION**
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no.:	date:	item:
5	2026-04-15	RE-ISSUED FOR REZONING
4	2025-07-02	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2025-01-13	ISSUED FOR REVIEW
1	2024-05-06	ISSUED FOR REVIEW

Revisions:

Stamp:

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Client:

Project:

6384 Bruce St. - Daycare, Horseshoe Bay

6384 Bruce St., West Vancouver, British Columbia

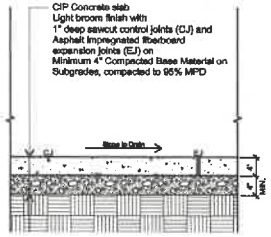
Drawn by:	SM
Checked by:	SV
Date:	2025-07-13
Scale:	AS NOTED

Drawing Title:

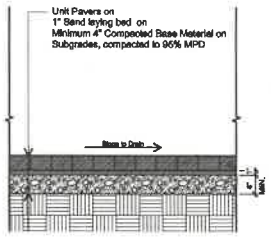
LANDSCAPE SECTIONS

Project No.: 23085

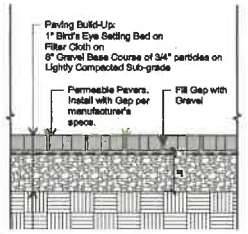
Sheet No.: **L201**



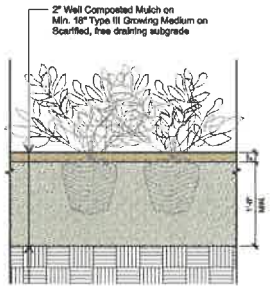
1 L301 **CIP CONCRETE - ON GRADE**
Scale = 1" = 1'-0"



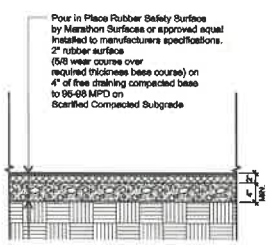
2 L301 **UNIT PAVERS - ON GRADE**
Scale = 1" = 1'-0"



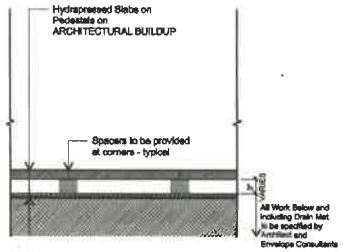
3 L301 **PERMEABLE PAVERS - ON GRADE**
Scale = 1" = 1'-0"



4 L301 **PLANTING - ON GRADE**
Scale = 1" = 1'-0"



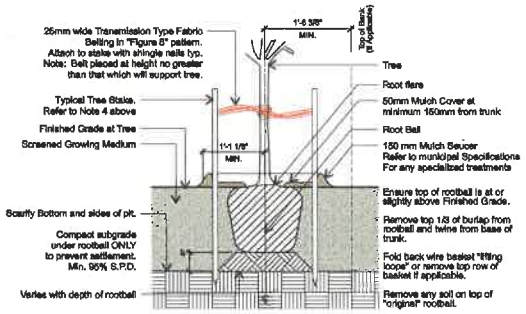
5 L301 **POUR IN PLACE RUBBER - ON GRADE**
Scale = 1" = 1'-0"



6 L301 **HYDRAPRESSED SLABS - ON SUSPENDED SLAB**
Scale = 1" = 1'-0"

TREE PLANTING NOTES

1. All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
2. Do not cut Tree Leader.
3. Ensure tree location does not conflict with Underground Services. "Call before digging".
4. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
5. Provide min. 5 cubic meters of growing medium per tree, unless otherwise stated.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



Depth	10 Cubic Meter - Soil Volume			5 Cubic Meter - Soil Volume		
Growing Medium Subgrade (mm)	Area (m2)	SQUARE Size of Surface	CIRCLE Size of Surface	Area (m2)	SQUARE Size of Surface	CIRCLE Size of Surface
450	22.10	4.7m x 4.7m	7.06 M Ø	11.11	3.3m x 3.3m	3.80 M Ø
600	16.60	4.1m x 4.1m	5.17 M Ø	8.33	2.9m x 2.9m	3.25 M Ø
750	13.70	3.7m x 3.7m	4.36 M Ø	6.67	2.6m x 2.6m	2.90 M Ø

7 L301 **TYPICAL TREE PLANTING**
Scale = NTS

no.:	date:	item:
5	2026-04-15	RE-ISSUED FOR REZONING
4	2025-07-02	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2025-01-13	ISSUED FOR REVIEW
1	2024-05-06	ISSUED FOR REVIEW

Revisions:

Stamp:

DURANTE KREUK LTD. LANDSCAPE ARCHITECTS
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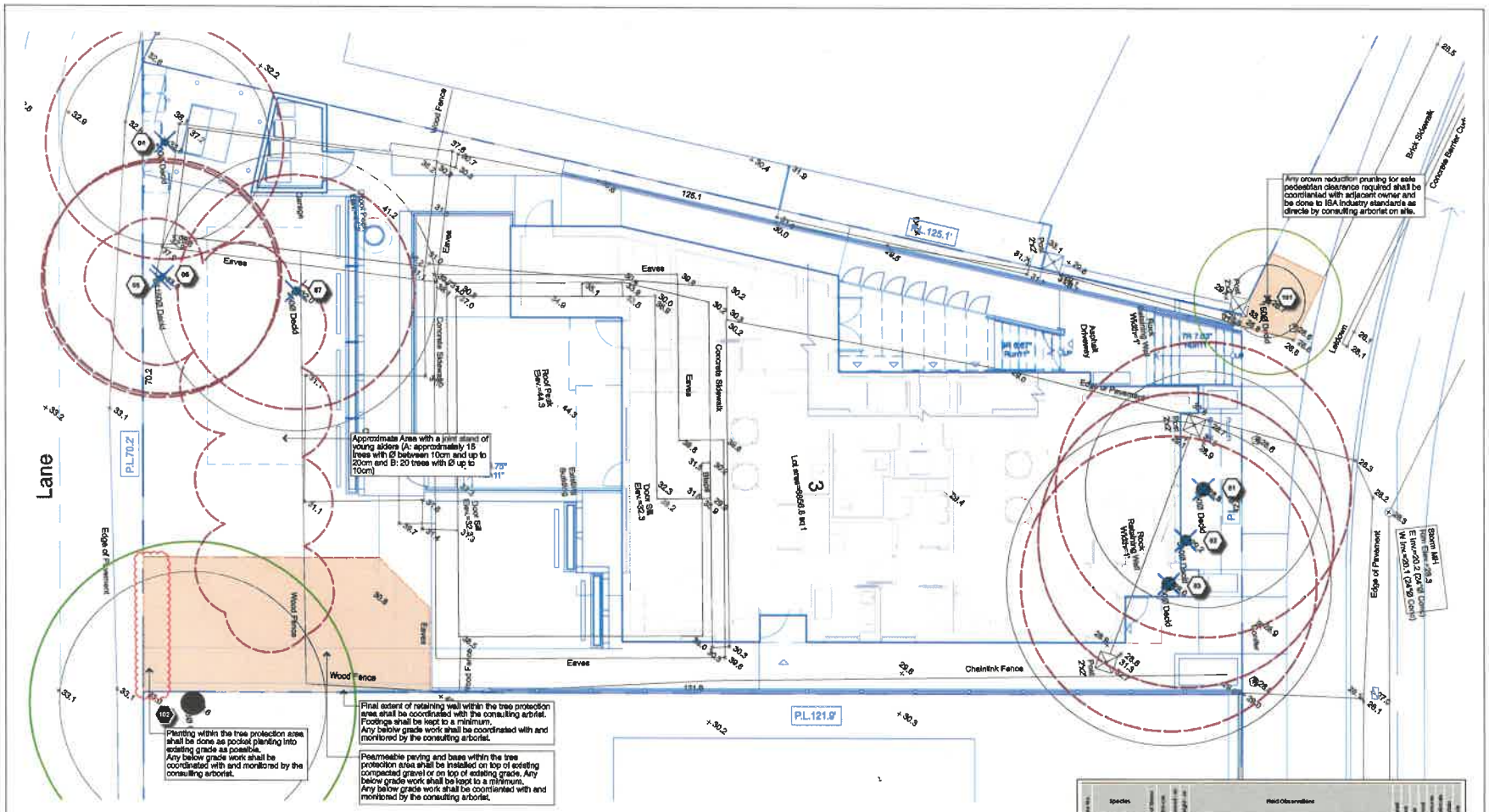
DETAILS

Project No.: 23085

Sheet No.:

L301



DETAIL TREE PROTECTION BARRIER TYPICAL

LEGEND

- extent of dripline of existing tree recommended for removal (location from BCLS Land Surveyor) unless otehrwise noted.
- extent of dripline of existing tree recommended for retention (location from BCLS Land Surveyor) unless otehrwise noted.
- Tree Protection Fencing shall be built to municipal standards to extent as shown on drawings.
- Tree Number referred to in Existing Trees List and Report for BY-LAW size with DBH 0.20m or larger.
- Existing Condition per Survey
- Proposed Condition per Architectural Site Plan

GENERAL ARBORICULTURAL NOTES

1. Trees, their environment, their health and structrual stability change over time. Our arboricultural recommendations are based on observations made on the date noted. Observations are done as an ISA Level 2 basic visual assessment, unless noted otherwise. Durante Kreuk Ltd. cannot guarantee that trees recommended for retention will remain whole or structurally stable.
2. Durante Kreuk Ltd. assumes no responsibility for tree protection unless we have been contracted to provide services in that regard, and provided appropriate notice when work on or near the trees is to be done.
3. Consulting arborist shall be called to site to coordinate and monitor excavation or other work within any tree protection area or as noted otherwise within the arboricultural documentations.
4. All work within the tree protection area shall be coordinated with and supervised by the consulting arborist.
5. All root pruning and crown pruning shall be done as directed by consulting and/or City arborist. All work shall be done to ISA industry standards.
6. It is the responsibility of the general contractor to ensure all protection measures and other arboricultural recommendations are applied as required. It is the general contractors responsibility to engage the consulting arborist at appropriate times as outlined in arboricultural documentations.
7. Tree Protection Barrier shall be kept in place until final inspection by the City. Any adjustment to the barrier/fencing or temporary relocation has to be approved in writing by the consulting arborist. 48 hour minimum notification required.

Tree No.	Species	Diameter (cm)	Crown Spread (m)	Height (m)	Field Observations	Retention	Removal	Protection Fencing	Protection Barrier	Note
	TREES									
1	Prunus var (cherry)	42	11	11	Ground north of tree compacted by paving cars. Damaged surface roots. Low landscape wall located south of tree. Sub-dominant leader at base. Joint crown. Asymmetrical crown		◆	◆		
2	Prunus var (cherry)	30	6	11	Ground north of tree compacted by paving cars. Damaged surface roots. Low landscape wall located south of tree. Phototropic lean. Joint crown. Asymmetrical crown		◆	◆		
	Prunus var (cherry)	42	11	7	Ground north of tree compacted by paving cars. Damaged surface roots. Low landscape wall located south of tree. Phototropic lean. Joint crown. Asymmetrical crown.		◆	◆		
4	Alnus rur (alder)	2	1	11	Sweep at base. Joint crown. Asymmetrical crown		◆	◆		
5	Alnus rur (alder)	11	6	12	Joint base with tree #6. Joint crown. Asymmetrical crown.		◆	◆		
6	Alnus rur (alder)	11	6	12	Joint base with tree #5. Joint crown. Asymmetrical crown		◆	◆		
7	Alnus rur (alder)	5	3	11	Strong but lean north. Phototropic lean. Stop grading trunk at 2m above ground. Joint crown. Asymmetrical crown		◆	◆		
A	Alnus rur (alder)				Joint stand of alders. Approximately 15 trees with DBH between 10cm and up to 20cm		◆	◆		
B	Alnus rur (alder)				Joint stand of alders. Approximately 20 trees with DBH of up to 10cm		◆	◆		
	BY-LAW TREES									
101	Acer palmatum (Japanese maple)	17	5	5	Located between driveway, sidewalk and low landscape wall. Strong but lean north. Previously poorly pruned. Wire around development foil.		◆			◆
102	Thuja plicata (western red cedar)	72	11	22	Located between asphalt pavement on adjacent site and compacted gravel parking on subject site. Heaving asphalt. Heavily pruned. Predated upper neat top of tree. 95% LCR	◆				◆
	OFF SITE									
◆	Non- bylaw trees under 0.75 DBH dead trees or as specified otherwise in the by-law listed on shaded background.									
◆	Bylaw trees over 0.75 DBH or as specified otherwise in the by-law are listed on a white background.									

N

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4	2025-07-22	RE-ISSUED FOR REZONING
3	2025-01-30	RE-ISSUED FOR REZONING
2	2024-11-13	ISSUED FOR REVIEW
2	2024-12-23	ISSUED WITH ARB. REPORT
1	2024-05-08	ISSUED FOR REVIEW

Revisions:

Stamp:

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Drawn by: FF

Checked by: SV

Date: 2025-07-15

Scale: 3/16" = 1'0"

Drawing Title:

EXISTING TREES MANAGEMENT PLAN

Project No.: 23085

Sheet No.: **T101**

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